

REMAINDER OF THE FARM BUFFELJACHTS NO. 357, BREDASDORP, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR THE AMENDMENT OF THE APPROVED SITE DEVELOPMENT PLAN: S FOURIE ON BEHALF OF BUFFELJAGS ABALONE FARM (PTY) LTD

Notice is hereby given in terms of Section 48, read with Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received for the Amendment of the Approved Site Development Plan in order to accommodate further amendments to the approved packing building and additional on-site parking.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Gansbaai Library, Main Road, Gansbaai. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and be submitted at the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / alida@overstrand.gov.za) on or before **23 September 2022**, quoting your name, address and contact details, interest in the application, as well as the reasons for comment. Telephonic enquiries can be made to **Mr SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

RESTANT VAN DIE PLAAS BUFFELJACHTS NO. 357, BREDASDORP, OVERSTRAND MUNISIPALE AREA: AANSOEK VIR DIE WYSIGING VAN DIE GOEDGEKEURDE TERREINONTWIKKELINGSPLAN: S FOURIE NAMENS BUFFELJAGS ABALONE FARM (PTY) LTD

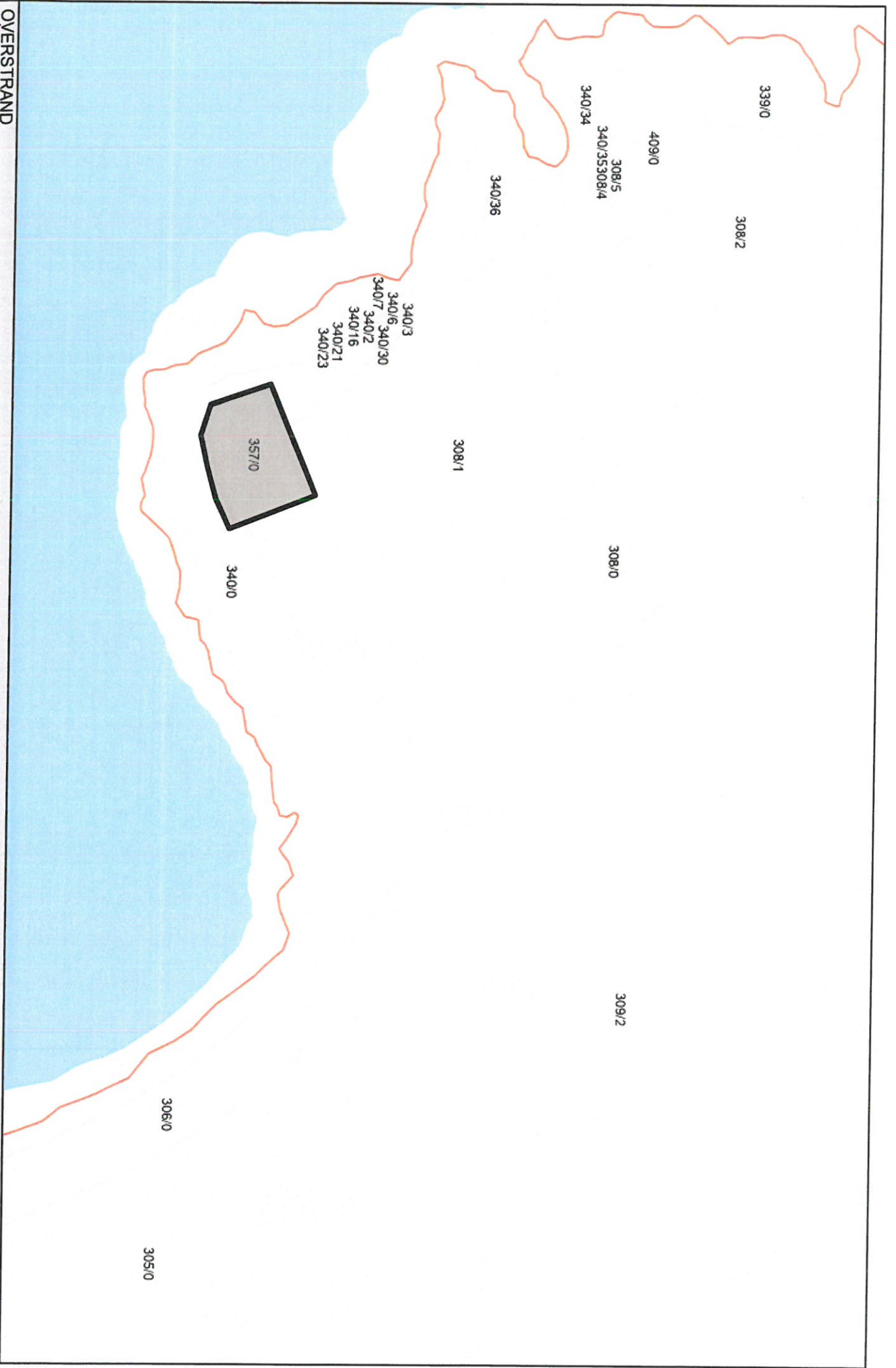
Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(l) van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruiksbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is vir die Wysiging van die Goedgekeurde Terreinontwikkelingsplan ten einde verdere aanbouings by die verpakkingsgebou en addisionele op perseël parkering te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en die Biblioteek, Hoofweg, Gansbaai. Enige skriftelike kommentaar op die voorstel moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / alida@overstrand.gov.za) bereik voor of op **23 September 2022**, met vermelding van u naam, adres, kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr SW van der Merwe** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

INTSALELA YEFAMA I-BUFFELJACHTS NO.357, EBREDASDORP, KUMMANDLA KAMASIPALA I-OVERSTRAND: ISICELO SOKWENZA IZILUNGISO KWISICWANGCISO ESIVUNYWE NGOKUSESIKWENI SOPHUHLISO LWESIKHUNDLA: U-S FOURIE EGAMENI LEFAMA I-BUFFELJAGS ABALONE (PTY) LTD

Kukhutshwa iSaziso ngokwemiqathango yeSiqendu 48, xa usifunda neSiqendu 16(2)(l) soMthetho woLungiso kaMasipala i-Overstrand malunga noCwangciso loSetyenziso loMhlaba, uMthetho kaMasipala ka2020, sokuba isicelo sokwenza izilungiso kwiSicwangciso esivunywe ngokusesikweni soPhuhliso lweSikhundla sifunyenwe khonukuze kulungiselelwe nezinye izilungiso ezisaya kwenziwa kwisicwangciso esivunywewo sokwakhiwa kwendawo yokupaka nendawo eyongezelelweyo yokupaka.

linkcukacha ezigcwelelo malunga nesi siphakamiso ziyafumaneka kwaye zilungele ukuhlolwa ngeentsuku zeveki phakathi kwentsimbi ye-08:00 neye-16:30, kwiSebe loCwangciso lweeDolophu elisePaterson Street eHermanus, ukanti nakwiThala leeNcwadi laseGansbaai eliseMain Road eGansbaai. Onke amagqabantshintshi makabhalwe phantsi andule athunyelwe ngokwemiqathango yeZiqendu 51 no 52 zoMthetho kaMasipala oxeliweyo ze afakwe kwaMasipala (kwa-16 Paterson Street, eHermanus / okanye ngomnxeba (kwinombolo yemfono-mfono u-0283132093) / kungenjalo uwathumele kule imeyile: alida@overstrand.gov.za) ngomhla okanye phambi komhla wama **23 uSeptemba 2022**, unike igama lakho, idilesi yakho neenkukacha zoqhagamshelwano, uchaze iminqwano yakho malunga nesicelo eso, unike nesizathu sokuba wenze loo magqabantshintshi uwezileyo. Ungayithumela nemibuzo onayo ngokutsalela uMnu. **SW van der Merwe** ku- 028-313 8900. UMasipala unalo ilungelo lokuwala onke amagqabantshintshi afike emva kokuba umhla wokuvula udlule. Nabani na ke ongakwazi ukufunda okanye ukubhala angandwendwela kwiSebe loCwangciso lweeDolophu, apho igosa likamasipala liya kunceda khonukuze liqinisekise ukuba loo magqabantshintshi enziwayo abhalwa phantsi ngokusesikweni.



Specify Title





MOTIVATIONAL REPORT
PROPOSED AMENDMENT OF THE SITE DEVELOPMENT PLAN: FARM 357
BREDASDORP DIVISION

*TP. n. Theart
(S. J. n. name)*

1. INTRODUCTION

An application for a Consent Use and Departure for an abalone farm on Farm 357 was approved by the Overstrand Municipal Council in March 2012. Since then, there has been a number of amendments to the initial approval, due to changing needs and circumstances in the abalone farm and industry. Further additions to the farm were made to keep it optimally functional.

A building plan was recently approved for a packing building. The approved plan's footprint complied with the initial SDP, but important additions to the building were omitted to be able to comply. An amendment to the SDP is then now applied for to allow for these additions, that include three anterooms, a second laundry room and a bulk pack area. The combined area of these additions is $\pm 43\text{m}^2$.

2. APPLICATION

Application is made for:

- An amendment of the applicable Site Development Plan in terms of section 16 (2)(l) of the Overstrand Municipality By-Law on municipal land use planning

3. PROPERTY DETAILS

TOTAL AREA	10ha
REGISTERED OWNER	Buffeljags Abalone Farm Pty Ltd
Boundaries: North	Portion 1 of Farm 308
East	Rem of Farm 340 and Portion 1 of Farm 308
South	Rem of Farm 340
West	Rem of Farm 340

Farm 357 is registered under title deed T1210/2010

FILE NO.	<i>Farm 357</i>
	<i>Buffeljags</i> ✓
SCAN NO.	
COLLABORATOR NO.	<i>1696425</i>

*7707 N01 60
TP*

4. ZONING AND LAND USE RIGHTS

Farm 357 is zoned as Agriculture Zone 1. Approval for a Consent use for Aquaculture and building line departures was granted in 2012. A further consent was granted in July 2019 for two wind turbines, departures and amendment of the Site Development Plan. There were also other minor amendments to the SDP, that is already approved.

The approvals were implemented, and activities are operational.

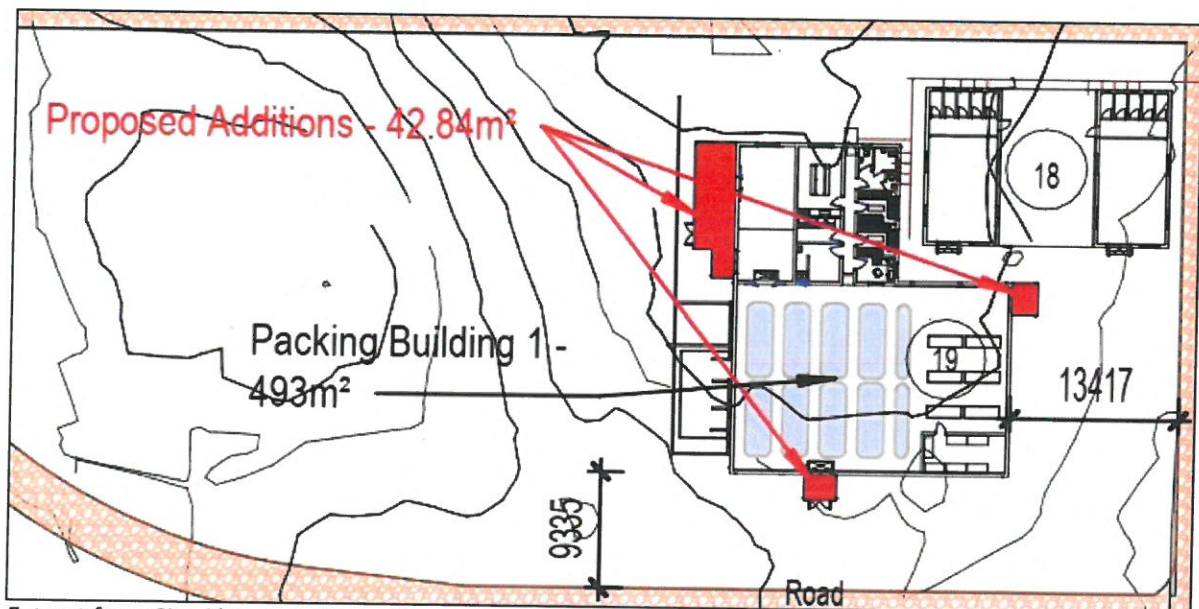
5. THE PROPOSED AMENDMENT OF THE SITE DEVELOPMENT PLAN

A building plans for a packing building was approved, but a number of essential elements were omitted from the plan to be able to comply with the approved Site Development Plan. Application is made for an amendment to the approved SDP to allow for a number of additions.

The required additions:

- 3 anterooms (for purposes of box receiving, a dispatch and product receiving)
- 1 bulk packaging room
- 1 laundry room

The additions will cover an area of approximately 43m².



Extract from Site Plan to indicate the required additions

The motivation for the additions as follow:

5.1 Anterooms

Viking Aquaculture (Buffeljags Abalone Farm) is situated in a remote, wind-prone area. After interrogation and interpretation to the South African National Standard (SANS 729:2018) for Live aquaculture abalone, especially clause 5:

5.2 "Packing facility construction, layout, and conditions -

5.2.1.1 the packing facility shall be situated in an environment deemed by the authority administering this standard to be suitable for the packing of the product. The location of the packing facility and the designed construction of the packing facility shall be such that it can be kept well free from objectionable odours, smoke, dust, and other contamination to comply with the relevant requirements of the relevant national legislation

5.2.1.2 (d) an orderly uninterrupted flow of production without any cross flows that could have an adverse effect on the quality of the product.

The three required anterooms:

A. Anteroom for packaging material

When the truck delivers the packaging material to the site, we need to bring it into the facility. If we were to open the outside doors, wind and dust would be blown into a "clean area." In other words, an area where it is hygienically clean for food safety. The packaging material itself could be cross contaminated with foreign objects that might end up in the final product. The anteroom creates space so that the packaging material could enter the facility without this risk of contamination.

B. Anteroom entrance for abalone movement to the inside holding facility

Employees that need to carry graded export stock from the outside holding facility into the inside holding tanks, need to be able to close the doors behind them so that the dirt and sand does not get blown into the holding tanks, aggregating, and sticking onto the shells and or feet of the abalone. In addition to this, without the use of an anteroom the cross flow of air can contaminate the final export product due for export within 24 hours.

C. Anteroom at dispatch area

Like the reasons mentioned above, once the final product gets loaded by the employees onto the truck for transit to the airport, the risk of dirt contamination should be reduced to zero. The use of an anteroom is therefore essential in this area too.

5.2 Annex to the pre-packing area

The current footprint/ size/ sq. meter age of the prepacking area was calculated, making use of current export volumes and all the packaging material it would require to be able to meet the current volumes.

Viking Aquaculture would like to motivate to increase this area by building the annexure adjacent to the approved area. The benefit of having this area is to increase current holding capacity of packaging material. It is well-known to the company that service providers do close for business over the festive periods. During these periods, the company needs to stockpile items which would normally be easily obtainable. In addition to suppliers closing, elevated levels of absenteeism due to annual leave and festivities are something that the company annually anticipates, therefore plan, and prepare export boxes way in advance. This space will be used effectively for the above reasons.

5.3 Laundry Room

Onsite laundry facilities remains an important biosecurity measure.

6. ACCESS & PARKING

Access and parking comply with the required parking ratio and requirements of the Zoning Scheme.

7. SERVICES

The additions to the packing building do not require any additional services.

8. RELEVANT OVERHEAD PLANNING POLICY

Various local, provincial and national forward planning documents are applicable to the application.

8.1 OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK (SDF)

The vision of the Overstrand SDF is based on the vision of the Overstrand IDP and is as follows:

‘Overstrand Municipality is striving to be the most desirable destination to visit, stay and do business.’

In order to achieve this, the document identifies various principles:

Development Principles:

- Efficient and integrated planning – Promote efficient and integrated planning and development through:
 - Integrated development and planning in rural and urban areas with a view to mutual support
 - Optimal utilisation of existing developed resources including bulk infrastructure
 - Promotion of compaction and densification as opposed to low-density sprawl
 - Protection of the agricultural resource base
 - Spatially co-ordinating sectoral activities
 - Addressing historically distorted spatial patterns

RELEVANT GOALS & OBJECTIVES FORMULATED BY THE DOCUMENT INCLUDE AMONG OTHER THE FOLLOWING:

Goal	Objective
To provide an environmentally and economically sustainable bulk service infrastructure and road transport network.	<ul style="list-style-type: none"> • To ascertain the overall carrying capacity of existing bulk services related to existing and future growth, and where appropriate, determine flood lines; • To identify critical problem areas relating to bulk water supply, groundwater abstraction and quality; • To improve and maintain the standard of bulk services with particular reference to bulk water supply, sewerage and solid waste and sewage management; and • To create an efficient, well defined hierarchy of roads.
To address the social needs and expectation of all sections of the community.	<ul style="list-style-type: none"> • To provide access to a full spectrum of social services and facilities; • To ensure the provision of basic housing and services; • To encourage public participation in all issues of public concern; and • To co-ordinate the joint management of certain

	functions on a sub-regional level, e.g. sporting facilities, education and health facilities.
To promote the conservation and sustainable use of the natural resources in the Overstrand municipal area.	<ul style="list-style-type: none"> • To protect, conserve, and restore where appropriate, all areas deemed to be conservation worthy; • To ensure that the impact of existing and proposed development is adequately evaluated from a holistic environmental perspective, taking current and future generations into account; • To promote the sound management of natural areas to ensure their sustainability; • Rehabilitate and/or restore degraded and disturbed environments where necessary to meet conservation or environmental management objectives; • To limit and control development and activities within environmentally sensitive and/or conservation worthy areas so as to ensure their sustainability taking into account affects on biodiversity; • To promote efficient use of water and energy resources; and • To implement water conservation and demand management objectives within municipal areas in order to promote savings and decrease the demand for costly bulk water supply systems.
To ensure that ongoing development pressure and its spatial implications are managed in a sustainable manner that protects the unique character of the existing cultural landscape and the place-specific character and form of the existing settlement pattern.	<ul style="list-style-type: none"> • To promote a spatial development pattern that contains urban sprawl/urban development and promotes compact well-defined settlements; • To retain and strengthen the unique identity of the municipal areas and its districts; • To determine clear limits to urban development and define the urban edge/limits of existing settlements; • To conserve and improve the visual quality of the landscape and the scenic route experience of the primary movement corridors; and • To improve the aesthetic quality of the built environment.

In terms of the SDF specifically for the Buffeljags area:

'Buffeljags is a small residential community associated with abalone farming along the easternmost coastal border of the Overstrand.'

Buffeljags is surrounded by CBA and protected areas. These areas should be preserved and maintained. This is re-iterated in the proposed EMOZ regulations.

In terms of Local Spatial Development and and Growth Management Principles:

- i) Promote: - Buffeljags as a fishing settlement and investigate its potential for the area's further development as a specialist mari-culture area.

- ii) Restrict: - further residential development must be restricted until a local development framework has been compiled for the area.

PROPOSED DEVELOPMENT COMPLIANCE

The amended Site Development Plan is not in contravention of these overhead planning principles for Buffeljags. The extensions that are apply for, does ensure that the facility remains optimally functional and compliant with health and safety measures.

8.2 OVERSTRAND SECTORAL DENSIFICATION STRATEGY

A densification study was completed by Urban Dynamics, for the Overstrand Municipality in 2010. The objective of this study is to:

- Promote a more compact, denser, efficient and environmentally sustainable;
- Protect sensitive environments and resources within and outside the urban edge; and
- Rationalise bulk infrastructure and service capacity to ensure that the bulk capacity is provided in the urban areas where growth and development is considered desirable

Critical Contextual Informant being used in the study, includes:

- Historical Development Pattern and Heritage Resources of the towns and settlements within the Overstrand Municipal Area,
- Current Land Use and Distribution Patterns (zoning, densities, land ownership, land values, erf sizes)
- Natural elements and setting
- Population growth and Housing demand
- Bulk Service Capacities
- Traffic capacities and circulation

The Overstrand Sectoral Densification strategy is not relevant to the amendments applied for.

8.3 PROVINCIAL SPATIAL DEVELOPMENT FRAMEWORK (PSDF) 2014

The Western Cape Provincial SDF was approved in 2014 by the Western Cape Parliament and serves as strategic spatial planning tool that “communicates the provinces spatial planning agenda”.

The recent shift in legislative and policy frameworks have clearly outlined the roles and responsibility of provincial and municipal spatial planning and should be integrated towards the overall spatial structuring plan for the province to create and preserve the resources of the province more effectively through sustainable urban environments for future generations. This shift in spatial planning meant that provincial inputs are in general limited to provincial scale planning. However, it is important to note some of the key policies laid down by the PSDF have a bearing on the application.

The proposed development compliments the SDF spatial goals that aim to take the Western Cape on a path towards:

- (i) Greater productivity, competitiveness and opportunities within the spatial economy;
- (ii) More inclusive development in the urban areas;
- (iii) Strengthening resilience and sustainable development.

Key policies that is supported by this application:

Policy E3: Revitalise and Strengthen Urban Space-Economies as the Engine of Growth

5. Existing economic assets (e.g. CBDs, township centres, modal interchanges, vacant and under-utilised strategically located public land parcels, fishing harbours, public squares and markets, etc.) should be targeted to levers the regeneration and revitalisation of urban economies.

9. Incentives should be put in place to attract economic activities close to dormitory residential areas, facilitate brownfields development.

Policy S3: Ensure Compact, Balanced & Strategically Aligned Activities & Land Uses

This policy reflects the main aim of the policy through targeting economic assists (e.g. Modal Interchanges underutilised strategically located land parcels) should be used as a lever to regenerate and revitalise urban settlements.

9. CRITERIA FOR CONSIDERATION OF APPLICATION

The Overstrand Municipal By-Law on Municipal Land Use Planning list a number of criteria that an application needs to meet. The relevant points to the information that a planning application will have to include are listed below and the application is evaluated in terms of these points.

9.1 The desirability of the proposed utilisation of land and any guidelines issued by the Provincial Minister regarding the desirability of proposed land uses.

The Western Cape Spatial Development framework has a strong emphasis on revitalising urban spaces creating an urban living environment which is more convenient, efficient and aesthetically pleasing to residents. The proposed amendments are not directly impacted on by the Western Cape SDF. The amendments do however assist in making the abalone plant economically sustainable.

9.2 The impact of the proposal on Municipal Engineering Services

The amendments do not impact on the Municipal Engineering Services.

9.3 District and Municipal Forward Planning Documents

The proposal complies with overhead planning documents.

9.4 Complies with Section 42 of the SPLUMA and Chapter 6 of LUPA:

The Spatial Planning and Land Use Management Act (SPLUMA) and Land Use Planning Act (LUPA) came into effect in the Overstrand Municipality. One of the main objectives of this act is to provide a framework for spatial planning and land use management to address past spatial and regulatory imbalances.

Section 42 of SPLUMA and Chapter 6 of LUPA prescribe certain aspects that have to be taken into consideration when deciding on an application. These are:

- development principles set out in Chapter 2 of SPLUMA
- protect and promote the sustainable use of agricultural land
- national and provincial government policies
- the municipal spatial development framework; and take into account—
 - (i) the public interest;
 - (ii) the constitutional transformation imperatives and the related duties of the State;
 - (iii) the facts and circumstances relevant to the application;
 - (iv) the respective rights and obligations of all those affected;

(v) the state and impact of engineering services, social infrastructure and open space requirements; and

(vi) any factors that may be prescribed, including timeframes for making decisions.

SPLUMA and LUPA sets out the following 5 main development principles applicable to spatial planning, land use management and land development:

1. Spatial justice
2. Spatial sustainability
3. Efficiency (optimising the use of existing resources and infrastructure)
4. Spatial resilience (allow for flexibility in spatial plans)
5. Good administration

Compliance with SPLUMA & LUPA Principles:

As discussed in this report, this development proposal is consistent with the approved statutory spatial policy framework for the area, as well as the Provincial Spatial Development Framework. The table below indicates how the proposed development will be consistent with the SPLUMA principles.

<i>SPLUMA & LUPA Principle</i>	<i>Compliance</i>
<i>Spatial Justice</i>	The required amendments are necessary to ensure the economical sustainability of the existing farm. Extensions does not compromise any natural vegetation and no additional services are required for this amendment.
<i>Spatial Sustainability</i>	The proposal is in line with existing overhead planning documents, that support economic growth and sustainability.
<i>Spatial Efficiency</i>	The additions are required to keep the facility compliant with National Health and Safety regulations. The additional packaging area ensures the abalone farm can remain economical sustainable and efficient during holiday seasons.
<i>Spatial Resilience</i>	The extensions are required for enhanced biosecurity and to comply with National Health and Safety measures. The additional packaging area ensures the abalone farm can remain economical sustainable.

Good Administration	This principle has no direct bearing on the application, however, the Overstrand municipality is obligated to consider the application fairly and within the timeframes provided in terms of the municipal planning bylaw.
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10. DESIRABILITY

10.1 Title Deed

- There are no restrictions in the deed that requires a removal of restrictions.

10.2 Physical Characteristics of the Property

- The structures applied for as part of the amendment blend in with existing buildings and structures on site. Please refer to the attached architectural plans.

10.3 Overhead Planning

- The existing abalone farm is in line with overhead planning for the Overstrand area. The amendments contribute towards compliance with biosecurity measures and making the farm economically more sustainable.

10.4 Visual Impact

No visual impact is anticipated, with all buildings being similar in design and forming part of the already operation abalone farm.

10.5 Overhead Planning

The project complies with the overhead planning for the area:

- The proposal is line with the Spatial Development Framework for this area.

10.6 Compliance with SPLUMA & LUPA

The proposal follows the principles of SPLUMA & LUPA.

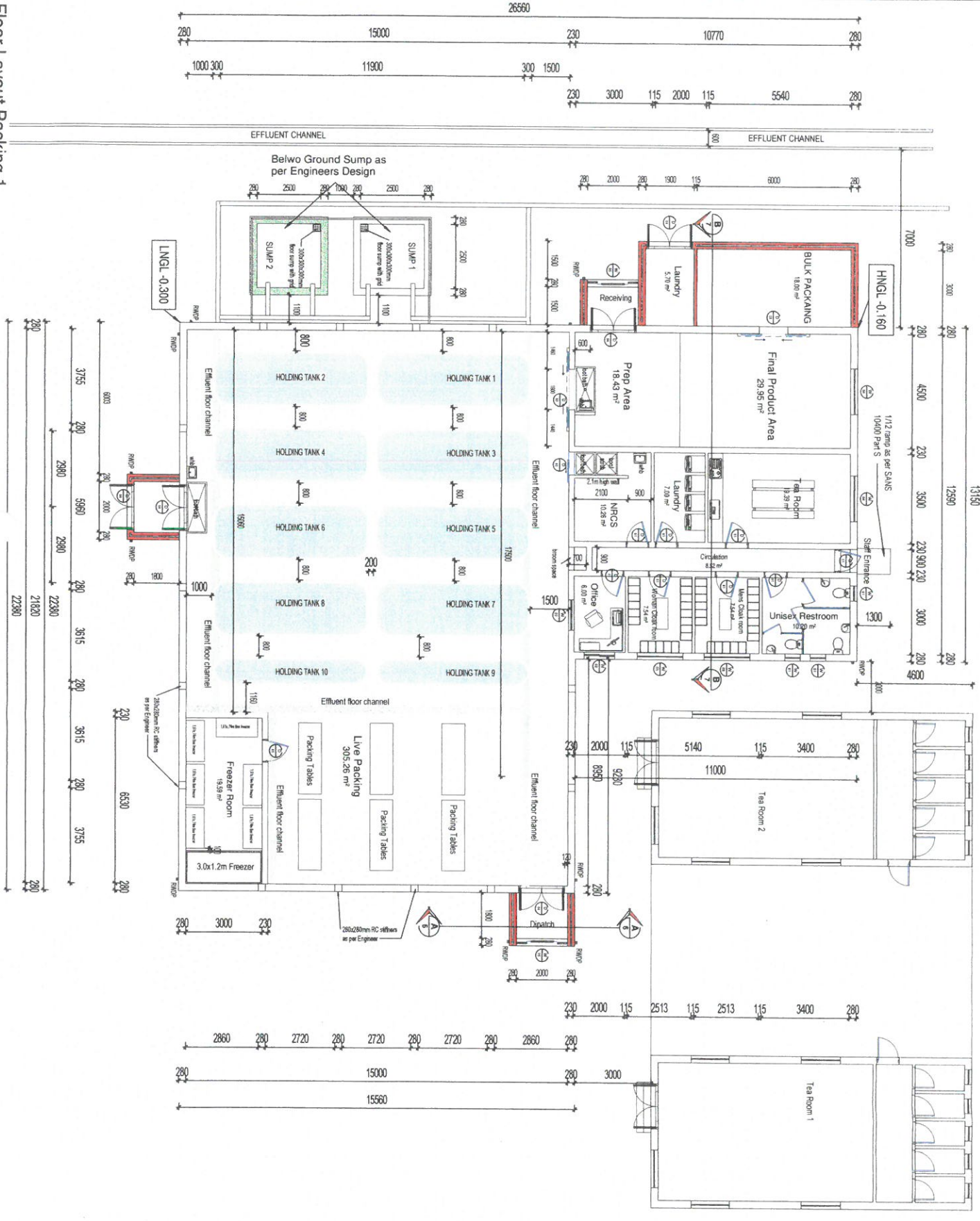
10.7 Economic Benefit to the Overstrand Municipality and local community

Improvements will ensure sustained economic benefit to the Overstrand Municipality and also the local Buffeljags community due to it keeping the existing abalone farm productive and compliant with National health and safety regulations. The most significant benefits from the amendments to the Abalone Farm will be the contribution towards sustainable employment and the local economic income. Even though no new job opportunities are created due to the extensions, the changes make the operation more productive and sustainable.

11. CONCLUSION

The proposed amendment of the site development plan is not asking for any additional land use rights. The current SDF has to be however amended to allow for a number of additions, that makes the existing facility more bio secure and efficient.

Floor Layout Packing 1
1 : 100



FARM ROAD

FARM ROAD

LEGEND:

- SITE PLAN VIEW:**
 - New Proposed Work & Approval
 - Additional to SGP - New Work
 - Approval Pending
- PLAN VIEW:**
 - New Brickwork
 - New Timberwork
 - New Steel Elements
 - New Foundation/Concrete work
 - Existing building/structures
 - Demolished work

FARM ROAD

PROPOSED NEW PACKING BUILDING 1 FOR BUFFELDUS ENKONNE FARM ON OVERSTAND.

DESCRIPTION: PACKING 1 FLOOR PLAN

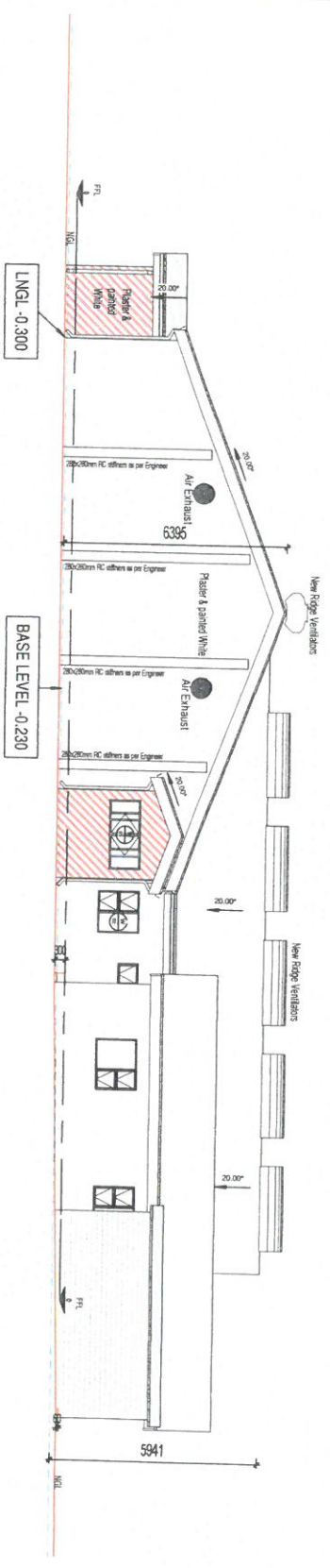
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SCALE: As indicated	DRAWING #: GB2957/BAF/21
PAGE #: 2	PROJECT DATE: 12 JAN 2022
DRAWN: Johan Diercke	SIGNATURE: [Signature]

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PROFESSIONAL ARCHITECTURAL
QUALIFICATION
2014 10/10/2014

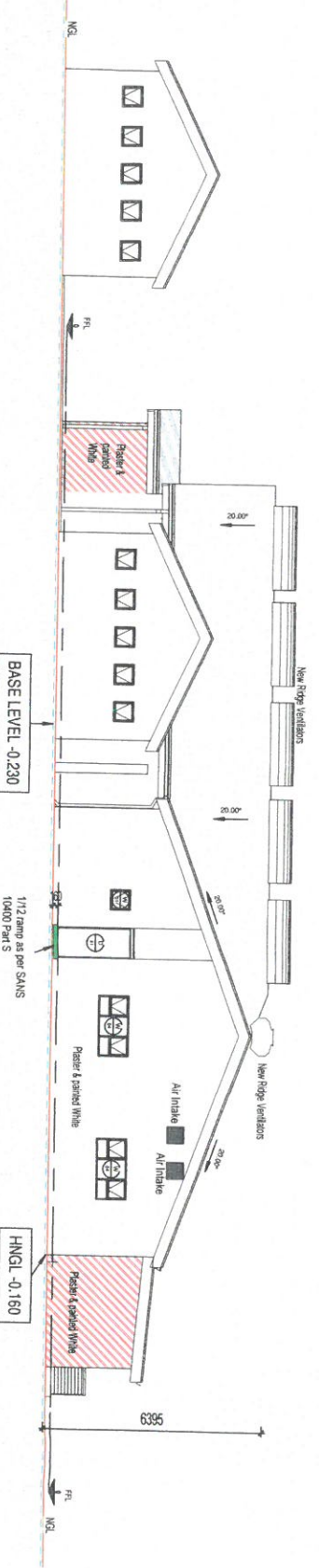
8M HEIGHT RESTRICTION 11.770

East Elevation Packing
1 : 100



8M HEIGHT RESTRICTION 11.770

North Elevation Packing
1 : 100



**PROPOSED NEW PACKING BUILDING 1
FOR BUFFELJAGS ABAJONE FARM ON
ERF 357 BUFFELJAGSBAAL,
OVERSTRAND.**

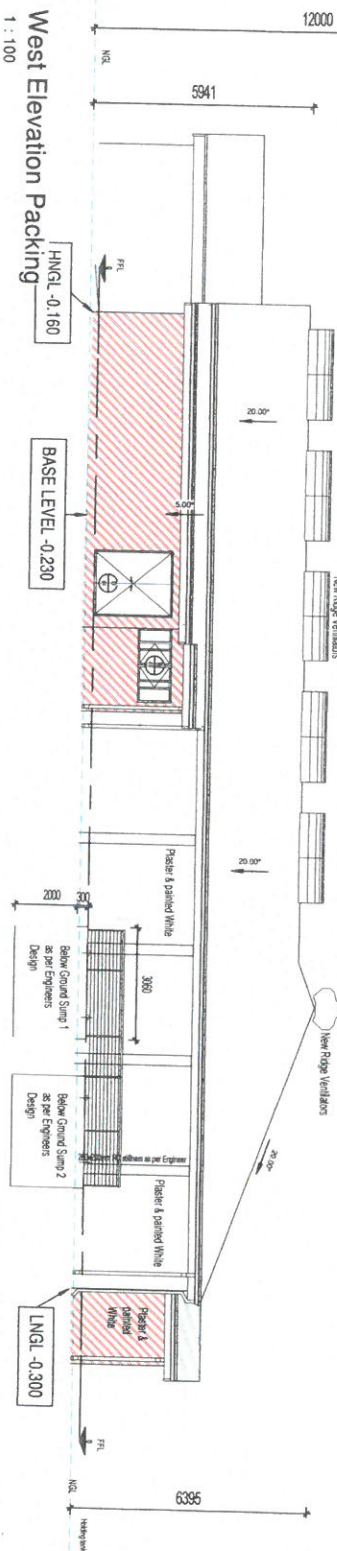
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DRAWING DATE:	06-Apr-22 11:55:10 AM	PLOT DATE:	
DRAWN:	John Gerdes	SIGNATURE:	<i>[Signature]</i>

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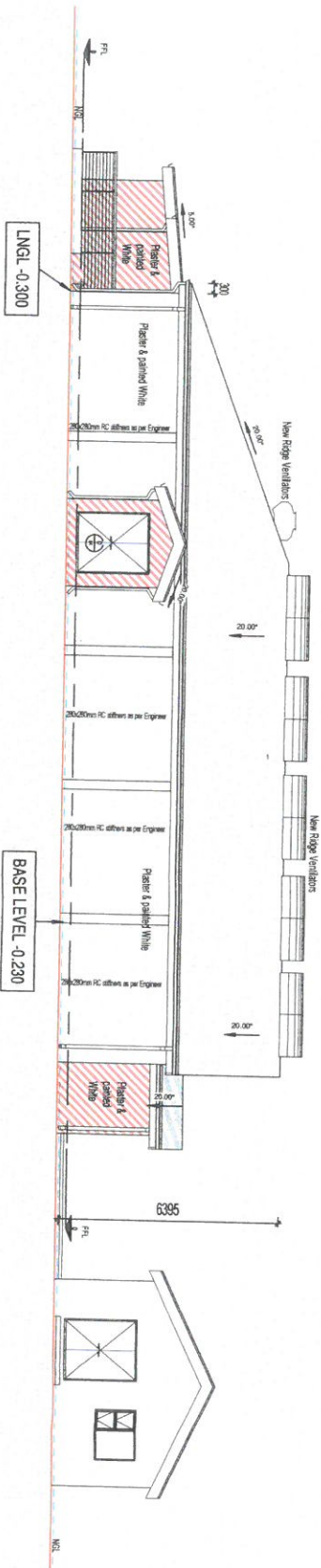
REGISTERED ARCHITECTS
JOHN GERDES ESTABLISHMENT OFFICE
28 De Waard Street, Cape Town, 7701

8M HEIGHT RESTRICTION 11.770



West Elevation Packing
1 : 100

8M HEIGHT RESTRICTION 11.770



South Elevation Packing
1 : 100

External - Conclude 14M² nominal compressive strength NFX barbearing Imperial foundation brick, size 222 x 105 x 75mm, manufactured in accordance with SANS 227:2007 laid in foundations walls bedded and jointed in Class II mortar.

All brickwork, blockwork and masonry walls shall comply with the following specifications: In all load bearing brickwork supply approved NHBRC continuous brickwork in every fourth layer.

In addition, supply continuous NHBRC approved continuous brickwork every second layer, in addition, supply continuous NHBRC approved brickwork in every layer for the first four layers above and below the top of foundations & slabs, as well as over and below all window and door openings. Minimum tops to be 300mm. In all foundation walls, supply continuous NHBRC approved brickwork in every layer up to the DPC layer.

In cavity walls, wall ties to be embedded in masonry joints at right angles to the brick slips. The number of wall ties per m² of walling shall be 23 ties.

All brickwork shall be fixed to concrete & steel columns by means of galvanized 1.5 x 32mm x 600mm long hoop iron and fixed at every fourth course of brickwork and blockwork every second course.

Class II mortar mix for brickwork, composed of 1 part Surebuild 42.5M cement (Code: CEM II/B 42.5N) and 5 parts sand in thickness as indicated to blockwork. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

Indoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42.5M cement (Code: CEM II/B 42.5N) and 5 parts sand 10mm - 20mm thick finished with a steel trowel to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

Outdoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42.5M cement (Code: CEM II/B 42.5N) and 5 parts sand 10mm - 20mm thick finished with a wood float to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

All the hardware of brickwork / blockwork and concrete elements the Contractor is to make deep V-joints right through the plaster thickness.

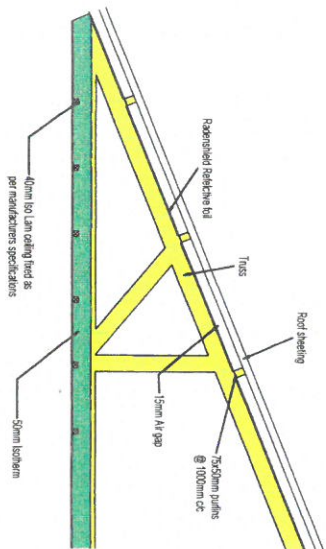
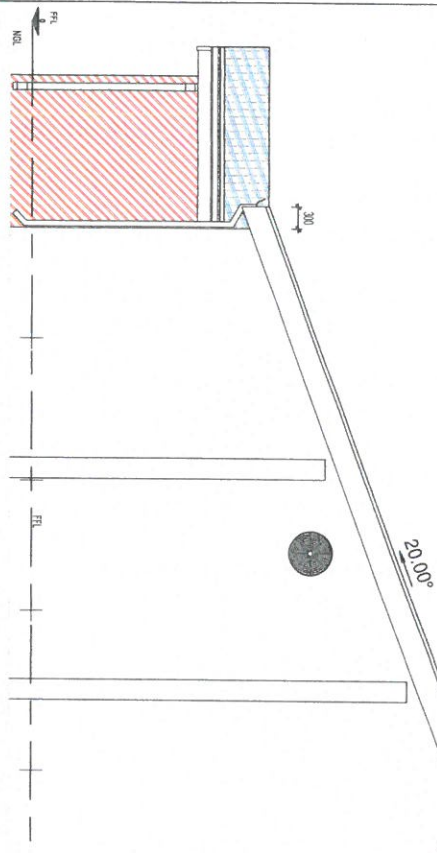
All walls, links and construction joints to comply with SANS 10400 Part K and SANS 2001-CM1.

<p>PROPOSED NEW PACKING BUILDING 1 FOR BUFFELJAGS ABLONE FARM ON OVERSTRAND.</p>	
DESCRIPTION:	ELEVATIONS 2
SHEET FORMAT:	A2
OCCUPATION:	B3
SCALE:	As indicated
DRAWING#:	GB2357/BAF/21
PAGE#:	5
DRAWING DATE:	12 JAN 2022
PLOT DATE:	06-Apr-22 11:55:11 AM
DRAWN:	John Gerlicke
SIGNATURE:	

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 Tel: 028 394 1659 Fax: 082 453 8554
 SACRP : D2869 Prof. Pricn. Dvught

Section A-A

1 : 50



Truss Insulation Detail

Roof Insulation:	
Roof Insulation	0.00
Roof sheathing	0.00
150mm Air gap	0.88
30mm bottom	0.11
Total Insulation	1.21

Direction of flow of heat for Zone 4: 1.06

Roof U-value: 0.83

Roof insulation U-value: 1.21

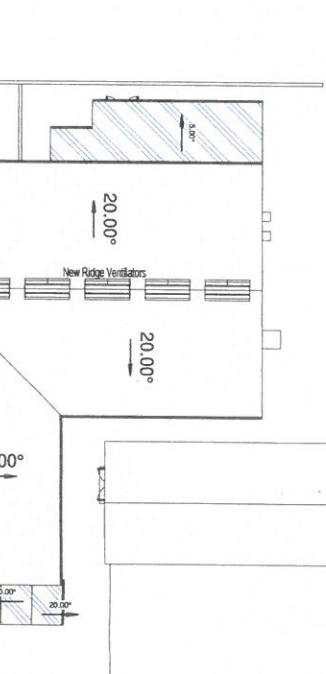
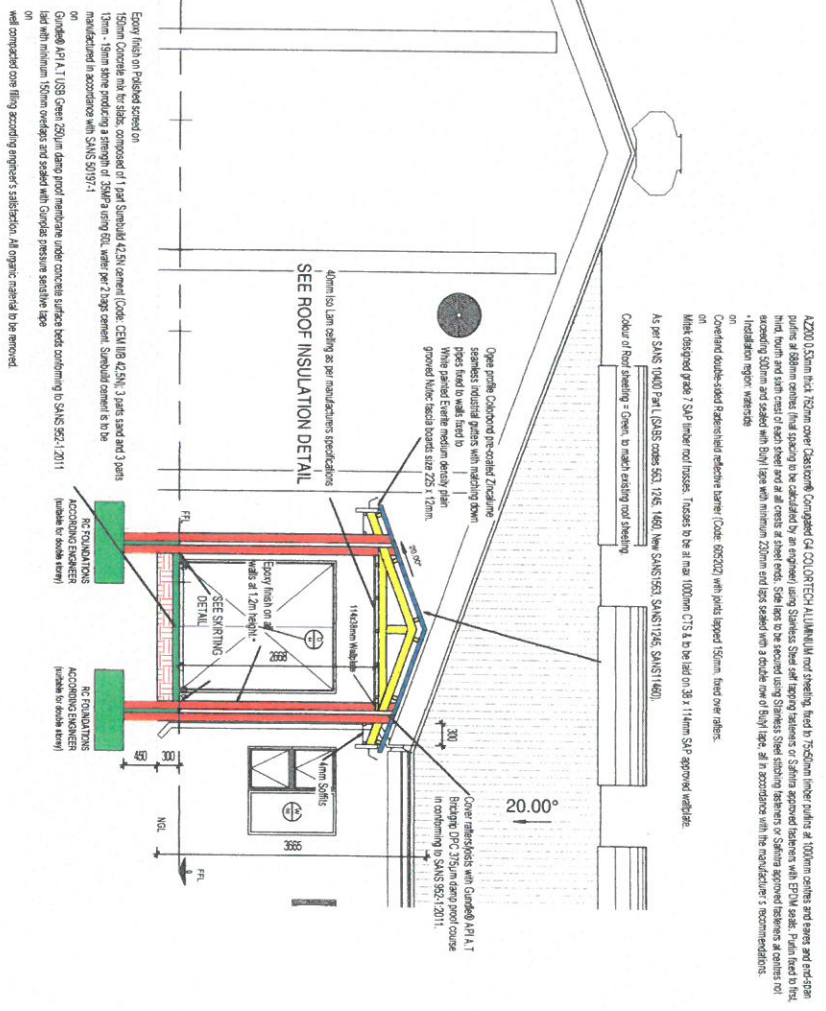
Roof U-value above truss: 1.38

R-value of insulation: 1.13 x U-value (SANS24 Table 10)

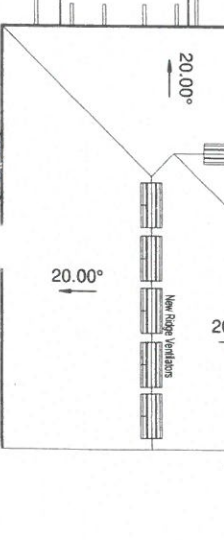
R-value of 30mm bottom insulation required:

Section A-A

1 : 50

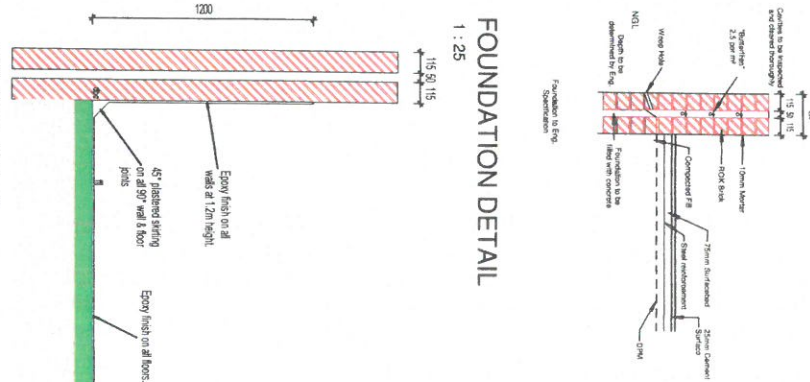


Roof Plan



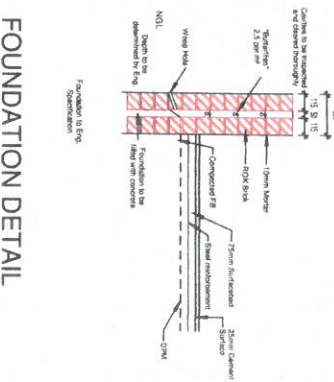
Skirting Detail

1 : 20



FOUNDATION DETAIL

1 : 25



PROPOSED NEW PACKING BUILDING 1 FOR BUJFELLAGS ABALONE FARM ON OVERSTRAND

DESCRIPTION: SECTION AA & DETAILS

SHEET FORMAT: A2

OCCUPATION: B3

SCALE: AS INDICATED

DRAWING #: GB2357/BAF/21

PAGE #: 6

DRAWING DATE: 12 JAN 2022

PLOT DATE: 06-APR-22 11:55:19 AM

DRAWN: Johan Gercke

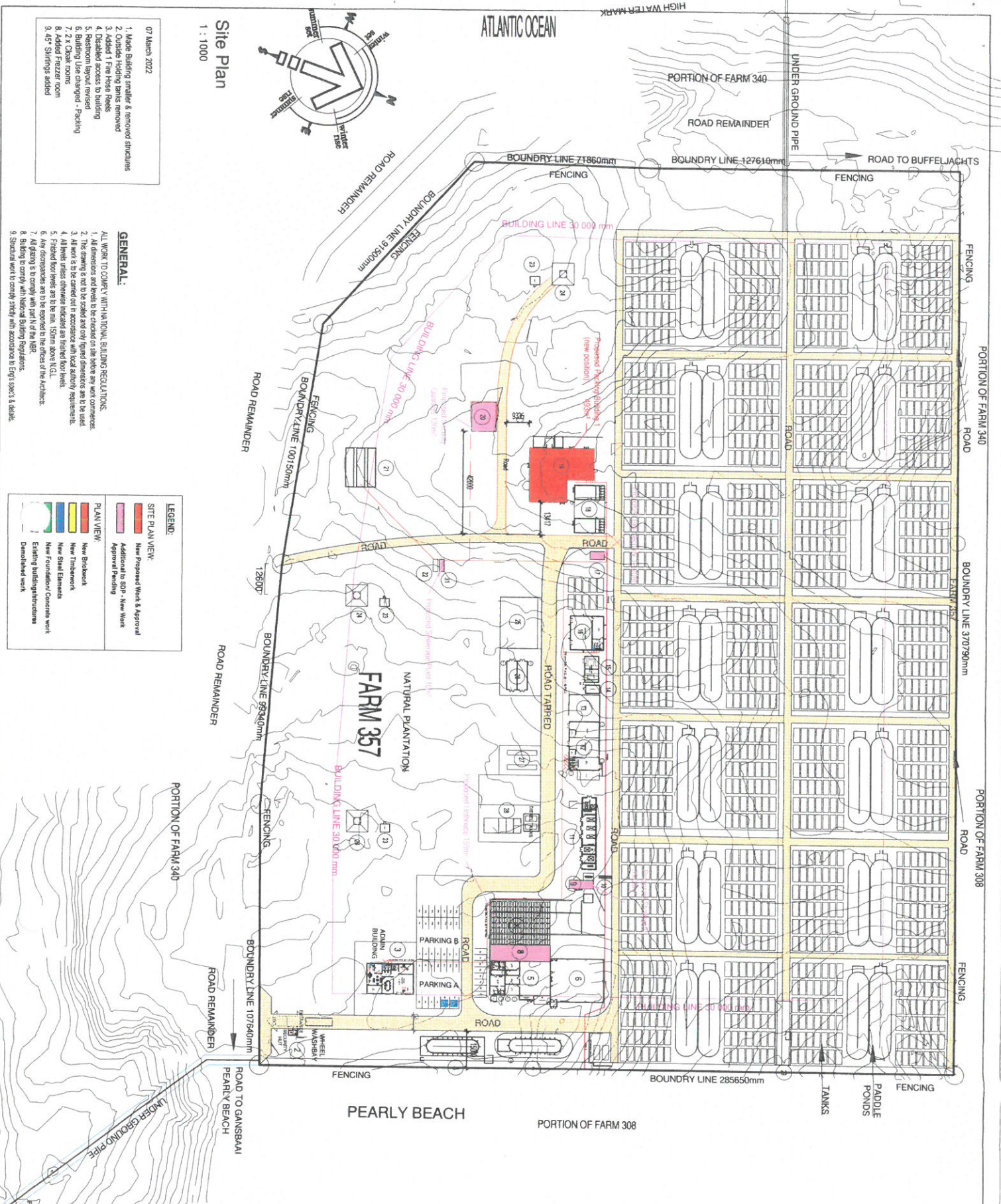
SIGNATURE: *Johan Gercke*

ARCHITECTURE: GERCKE

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Tel: 021 304 1659 Fax: 082 453 8554

SRCP - DB889 Prof. Arch. Draught



Site Plan
1 : 1000

07 March 2022

1. Made Building smaller & removed structures
2. Outside Hoarding tanks removed
3. Added 1 Fire Hose Reels
4. Disabled access to building
5. Restroom layout revised
6. Building layout revised
7. 2 x Oak rooms
8. Added Freezer room
9. 4x5 Stringers added

GENERAL:

ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.

1. All dimensions and levels to be checked on site before any work commences.
2. The drawing is not to be scaled and only figured dimensions are to be used.
3. All work is to be carried out in accordance with local authority requirements.
4. All levels unless otherwise indicated are finished floor levels.
5. Finished floor levels are to be min. 150mm above N.G.L.
6. Any discrepancies are to be reported to the office of the Architect.
7. All drawing is to comply with part N of the NBR.
8. Building to comply with National Building Regulations.
9. Structural work to comply with accordance to Eng's specs & details.

LEGEND:

- SITE PLAN VIEW:**
- New Proposed Work & Approval
 - Additional to SPP - New Work
 - Approval Pending
- PLAN VIEW:**
- New Brickwork
 - New Timberwork
 - New Steel Elements
 - New Foundation Concrete work
 - Existing buildings/structures
 - Demolished work

SCHEDULE OF RIGHTS	
PROPERTY DESCRIPTION	
Erf Number: 577 Site Area: BUFFELAGSBAAI	
Erf size: 10 Hektar	
ZONING INFORMATION	
Town Planning Scheme: OVERSTRAND	
Use Zone: AGRICULTURAL ZONE 1: AGRICULTURE	
DEVELOPMENT CONTROL MEASURES	
Area:	Area:
1. Pump Room	- 54,00m²
2. Security Hut	- 16,00m²
3. Admin Building	- 245,00m²
4. Paddle Ponds	- 510,00m²
5. Superception	- 389,00m²
6. Highway 1	- 350,00m²
7. New Structure	194,00m²
8. New Structure	161,00m²
10. Bio Security Hut 1	- 13,00m²
11. Generator 1	- 175,00m²
12. Workshop & Tea Room	- 289,00m²
13. Shed	- 139,00m²
14. Control Room	- 22,00m²
15. Generator 2	- 66,00m²
16. Grading Building 1	- 197,00m²
17. Bio Security Hut 2	14,00m²
18. Staff Tea Room 1&2	- 152,00m²
19. Packing Building 1	- 493,00m²
20. Security Camera	120,00m²
21. Maturation Plant	- 120,00m² No area
22. Sewerage Plant	- 17,39m²
23. Generator rooms x 3	- 36,00m²
24. W/O Base x 3	- 27,00m²
25. Basket Cleaning	- 324,00m²
26. Advised Store	- 105,00m²
27. Storage Containers	- 48,00m²
28. Diesel Tank & Storage walls	- 165,00m²
29. Soil area	- 446,00m²
30. Covered Stairwell & Lanks	- 40,00m²
31. New Sewerage Plant	- 10,00m²
Total Paddocks	- 46,00m²
Total Floor Area	- 4619,00m²
Coverage - Floor Area	- 5,00%
Coverage - Tanks	- 45%
Coverage - Total	- 50,00%

PROPOSED NEW PACKING BUILDING 1 FOR BUFFELAGSBAAI/ OVERSTRAND FARM ON OVERSTRAND

DESCRIPTION: SITE PLAN

SHEET FORMAT: A2

OCCUPATION: B3

SCALE: AS INDICATED

DRAWING #: GB2357/BAF/21

PAGE #: 1

DRAWING DATE: 12 JAN 2022

PLOT DATE: 09-MAR-22 6:07:38 PM

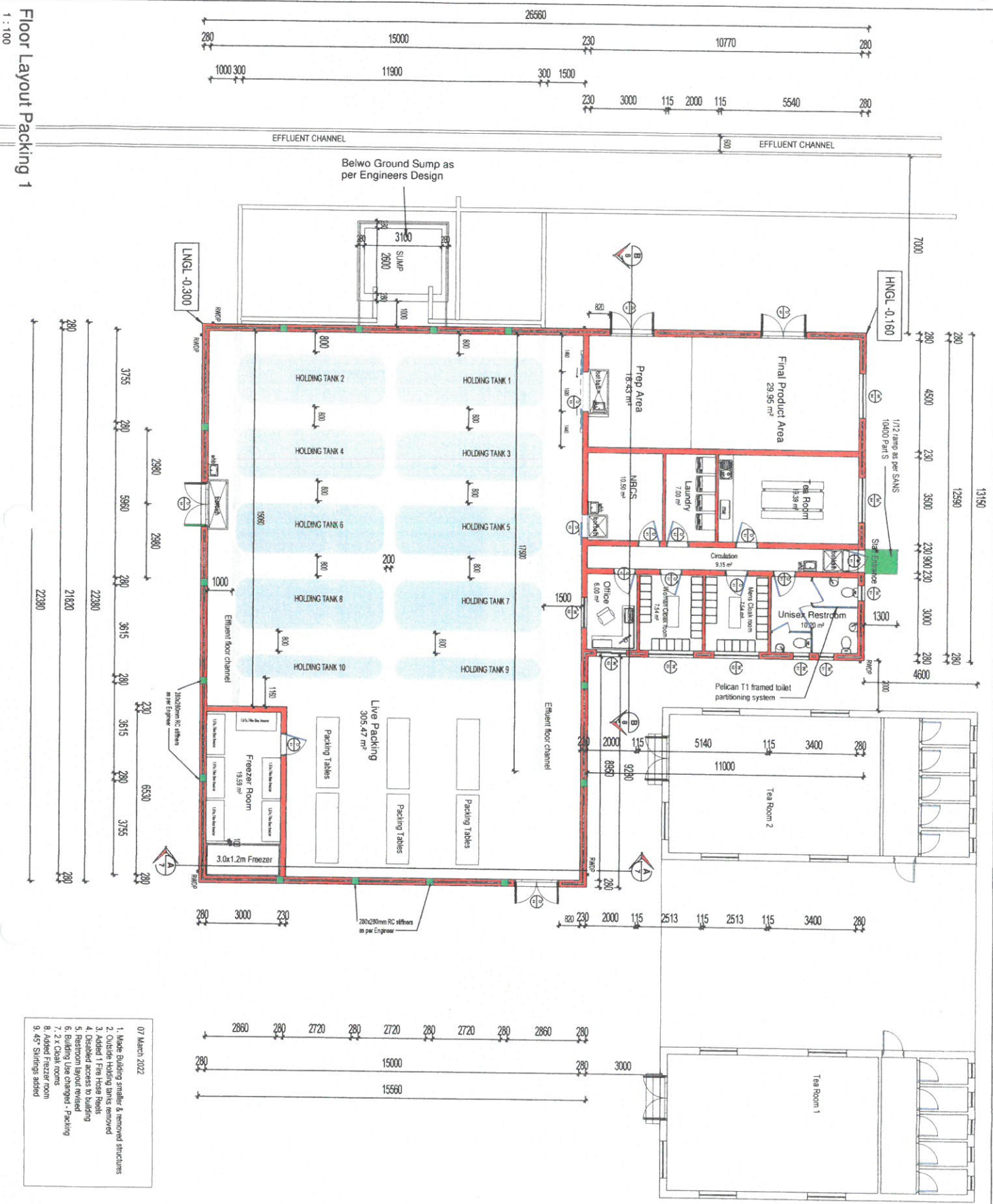
DRAWN: John Gerke

SIGNATURE:

ARCHITECTURE | GERLICKE

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 73 Oude Oos 1659 SAI, 08BE 359 8534
 SACCAP - 08885 700 Arch Design

PROFESSIONAL ARCHITECTURAL
 QUALIFICATION
 QUALIFICATION REGISTRATION NUMBER
 23116 (Architectural) 2011/001



Floor Layout Packing 1
1 : 100

- 07 March 2022
- 1. Make Building smaller & removed structures
- 2. Outside Halls have been removed
- 3. Added 1 First Floor Restroom
- 4. Disabled access to building
- 5. Restroom layout revised
- 6. Building Line changed - Packing
- 7. 2 x Chalk rooms
- 8. Added freezer room
- 9. 45° Shingles added

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PROFESSIONAL ARCHITECTURAL QUALIFICATION SOUTH AFRICAN REGISTERED ARCHITECT	
DRAWN: Johan Geiske SIGNATURE:	PLOT DATE: 08-MAR-22 6:07:38 PM
SHEET FORMAT: A2 SCALE: AS indicated PAGE #: 2	OCCUPATION: B3 DRAWINGS #: GB235/BAF/21
DESCRIPTION: PACKING 1 FLOOR PLAN	
PROPOSED NEW PACKING BUILDING, 1 FOM BUITEVLAKS PAKKALONE FARM ON OVENSTRAAT.	

LEGEND:

SITE PLAN VIEW:

- █ New Proposed Work & Approval
- █ Additional to GBP - New Work
- █ Approval Pending

PLAN VIEW:

- █ New Brickwork
- █ New Timberwork
- █ New Steel Elements
- █ New Foundation/Concrete work
- █ Existing buildings/structures
- █ Demolished work



FARM ROAD

FARM ROAD

FARM ROAD




GERLÜCKE

 ARCHITECTURE

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 082 952 8559 | 082 453 8554
 5400px | 2288px | Prof. Arch. Draught

PROFESSIONAL ARCHITECTURAL
 QUALIFICATION: ARCHITECTURAL ENGINEER

PROPOSED NEW PACKING BUILDING 1 FOR BEECHMERE FARM ON OVERSTRAND.	
DESCRIPTION:	SEWER & ELECTRICAL
SHEET FORMAT:	A2
SHEET FORMATT:	B3
SCALE:	As indicated
DRAWING #:	GB2357/BAF/21
PAGE #:	3
DRAWING DATE:	12 JAN 2022
PLOT DATE:	08-MAR-22 6:07:41 PM
DRAWN:	Johan Gerlücke
SIGNATURE:	

- LINESHIPS:**
- New Sewerage line - 110mm PVC
 - New Waste line - 50mm PVC
 - Existing Sewerage line - 110mm PVC
 - New Effluent line - 110mm PVC
 - Specialty effluent & water lines as per Specialists

LEGEND:

SITE PLAN VIEW:

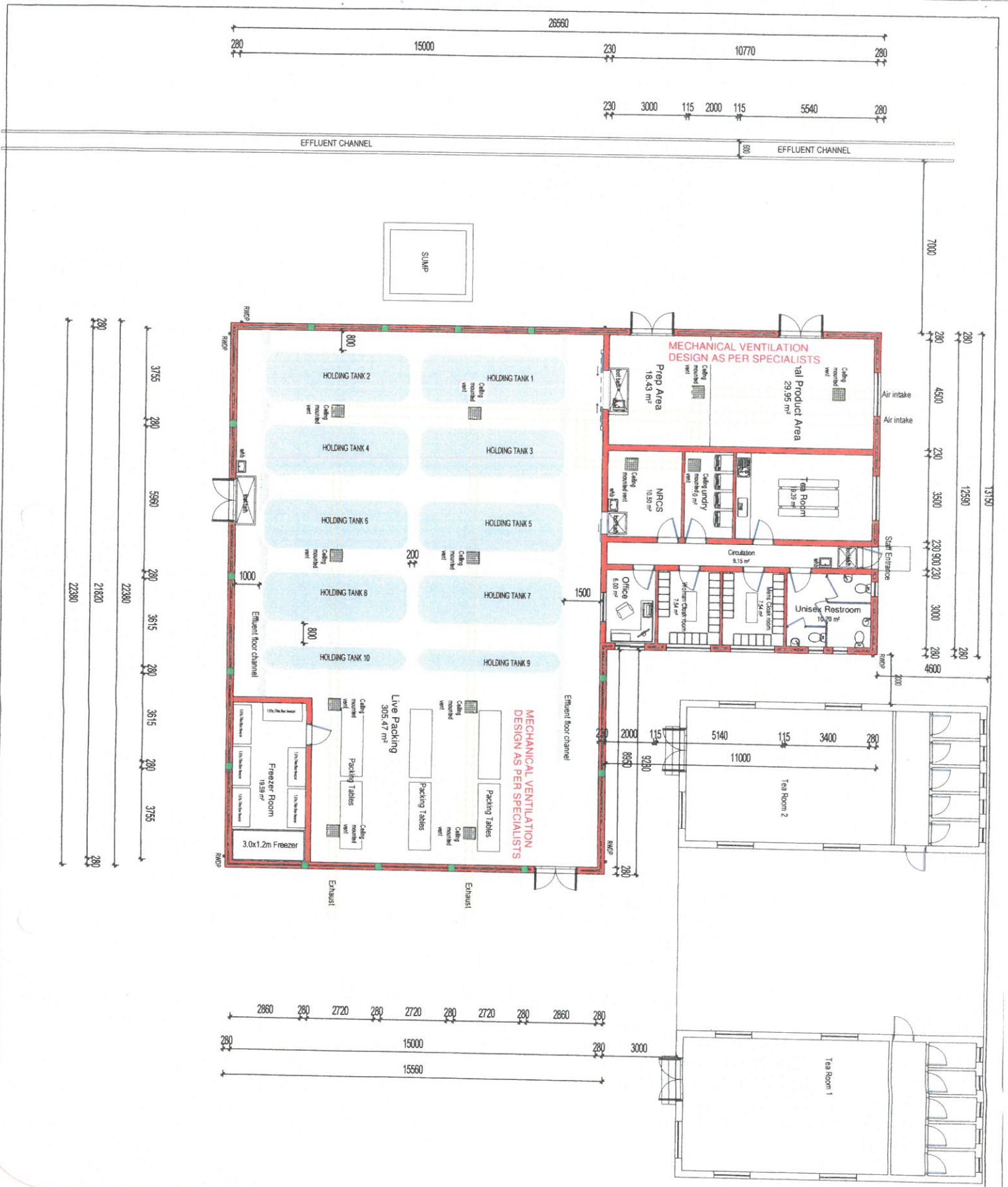
- █ New Proposed Work & Approval
- █ Additional to 80% - New Work
- █ Approval Pending

PLAN VIEW:

- █ New Brickwork
- █ New Timberwork
- █ New Steel Elements
- █ New Foundation/Concrete work
- █ Existing building/structures
- █ Demolished work

ELECTRICAL LEGEND

	230V/50Hz AC
	110V/50Hz AC
	240V/50Hz AC
	110V/60Hz AC
	240V/60Hz AC
	110V/50Hz AC with ground
	240V/50Hz AC with ground
	110V/60Hz AC with ground
	240V/60Hz AC with ground
	110V/50Hz AC with ground and neutral
	240V/50Hz AC with ground and neutral
	110V/60Hz AC with ground and neutral
	240V/60Hz AC with ground and neutral
	110V/50Hz AC with ground and neutral and ground fault circuit interrupter
	240V/50Hz AC with ground and neutral and ground fault circuit interrupter
	110V/60Hz AC with ground and neutral and ground fault circuit interrupter
	240V/60Hz AC with ground and neutral and ground fault circuit interrupter



FARM ROAD

FARM ROAD

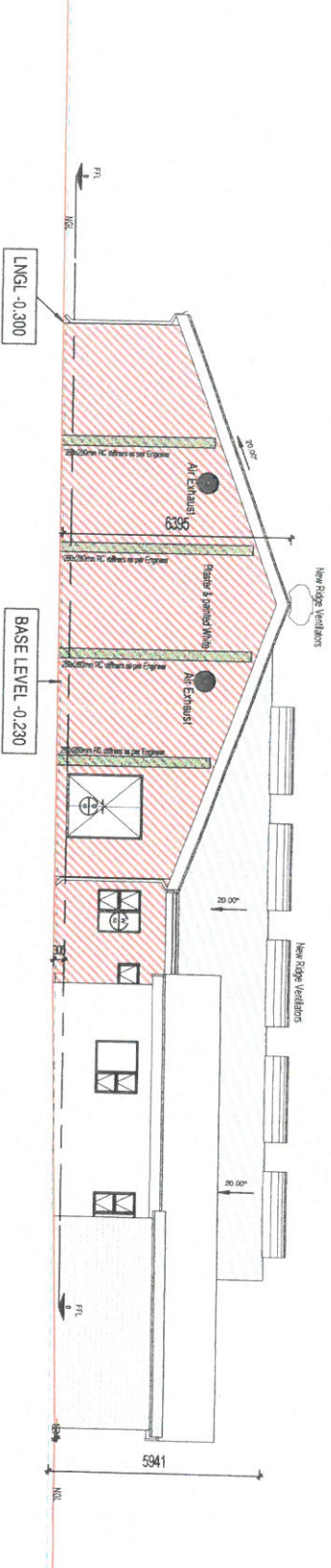
FARM ROAD

<p>PROPOSED NEW PACKING BUILDING 1 FOR BUFFELVLAGS ABALONE FARM ON ERF 957 BUFFELVLAGSBAAI, OVERSTRAND.</p>	
DESCRIPTION:	VENTILATION LAYOUT
SHEET FORMAT:	A2
OCCUPATION:	B3
SCALE:	1 : 100
DRAWING #:	GB2357/BAF/21
PAGE #:	4
DRAWING DATE:	12 JAN 2022
PLOT DATE:	08-Mar-22 6:07:42 PM
DRAWN:	Johan Gerckle
SIGNATURE:	
<p>ARCTIC ARCHITECTURE GERCKLE</p> <p>www.gerckle-architecture.co.za info@gerckle-architecture.co.za Tel : 082 364 1659 Sml : 082 453 6954 Srdcap : 08189 Prof Arch Draught</p>	



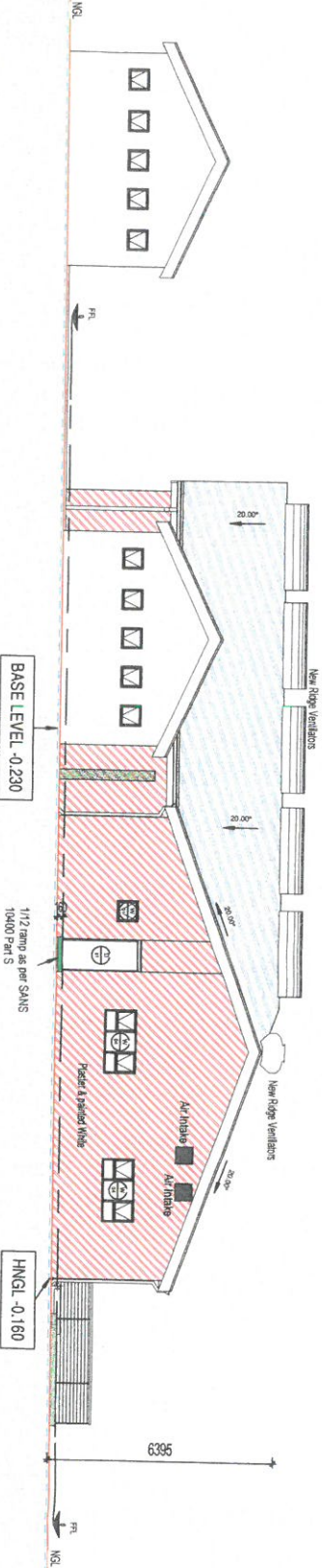
8M HEIGHT RESTRICTION 11.770

East Elevation Packing
1 : 100

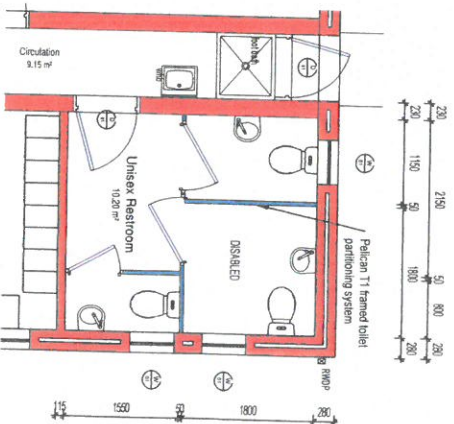


8M HEIGHT RESTRICTION 11.770

North Elevation Packing
1 : 100



Restroom Layout
1 : 50



PROPOSED NEW PACKING BUILDING 1
FOR BUFFELVLAAGS ABALONE FARM ON
ERF-357 BUFFELVLAAGSBAAI,
OVERSTRAND.

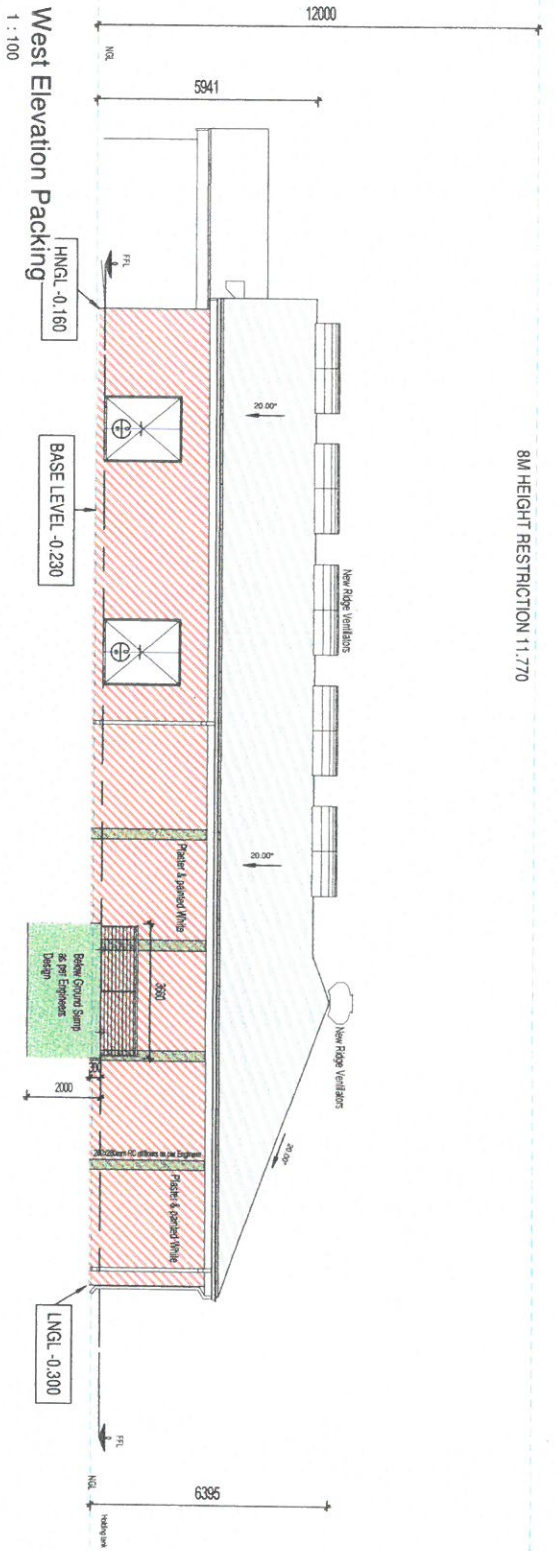
DESCRIPTION:		ELEVATIONS	
SHEET FORMAT:	A2	OCCUPATION:	B3
SCALE:	As indicated	DRAWING #:	GB2357/BAF/21
PAGE #:	5	DRAWN DATE:	08-Mar-22 6:07:44 PM
DRAWN:	Joahn Gericke	SIGNATURE:	<i>[Signature]</i>

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SRCCP: 02889 Prof Arch Draught



8M HEIGHT RESTRICTION 11,770



External - Corch@ 14M² nominal compressive strength, NFX, hotbearing, lapsped foundation brick, size 222 x 106 x 72mm, manufactured in accordance with SANS 27:2002, laid in foundations walls bedded and jointed in Class II mortar.

All brickwork, blockwork and masonry walls shall comply with the following specifications: in all load bearing blockwork supply approved continuous brickwork in every fourth layer.

In addition, supply continuous NHRBC approved brickwork in every layer for the first four layers above and below the top of foundations & slabs, as well as over and below all window and door openings. Minimum lips to be 300mm. In all foundation walls, supply continuous NHRBC approved brickwork in every layer up to the DPC layer.

In cavity walls, wall ties to be embedded in masonry joints at right angles to the brick skins. The number of wall ties per m² of walling shall be 2.5 ties.

All brickwork shall be fixed to concrete & steel columns by means of galvanized 1.5 x 32mm x 600mm long hoop iron studs fixed at every fourth course of brickwork and blockwork every second course.

Class II mortar mix for brickwork, composed of 1 part Surebuild 42.5N cement (Code: CEM 118 42.5N) and 6 parts sand in thickness as indicated to brickwork. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

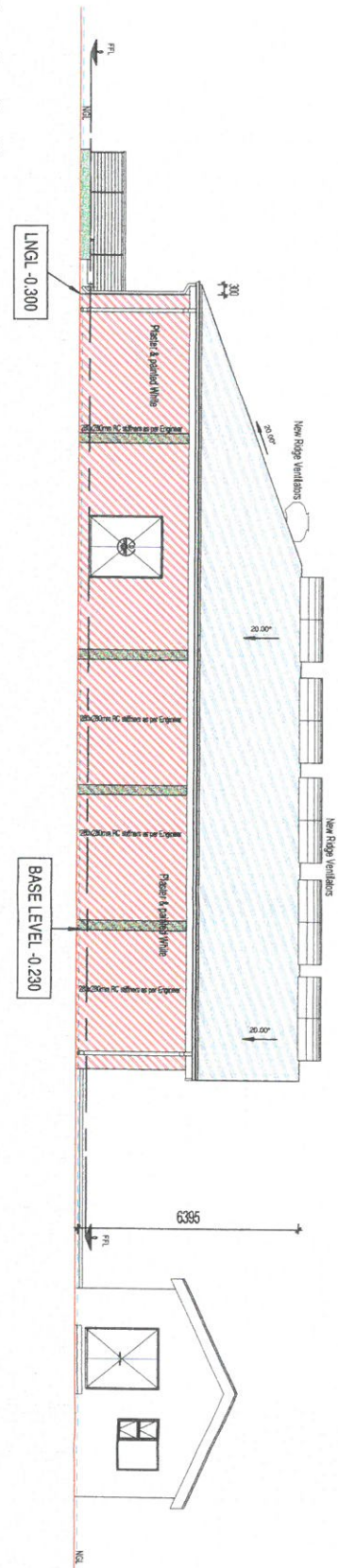
Indoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42.5N cement (Code: CEM 118 42.5N) and 6 parts sand in thickness as indicated to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

Outdoor - Plaster mix for rough brick walls, composed of 1 part Surebuild 42.5N cement (Code: CEM 118 42.5N) and 6 parts sand in thickness as indicated to rough brick walls. Surebuild cement is to be manufactured in accordance with SANS 50197-1.

At the interfaces of brickwork / blockwork and concrete elements the Contractor is to make deep V-joints right through the plaster thickness.

All walls, lintels and construction joints to comply with SANS10400 Part K and SANS2001-CM1.

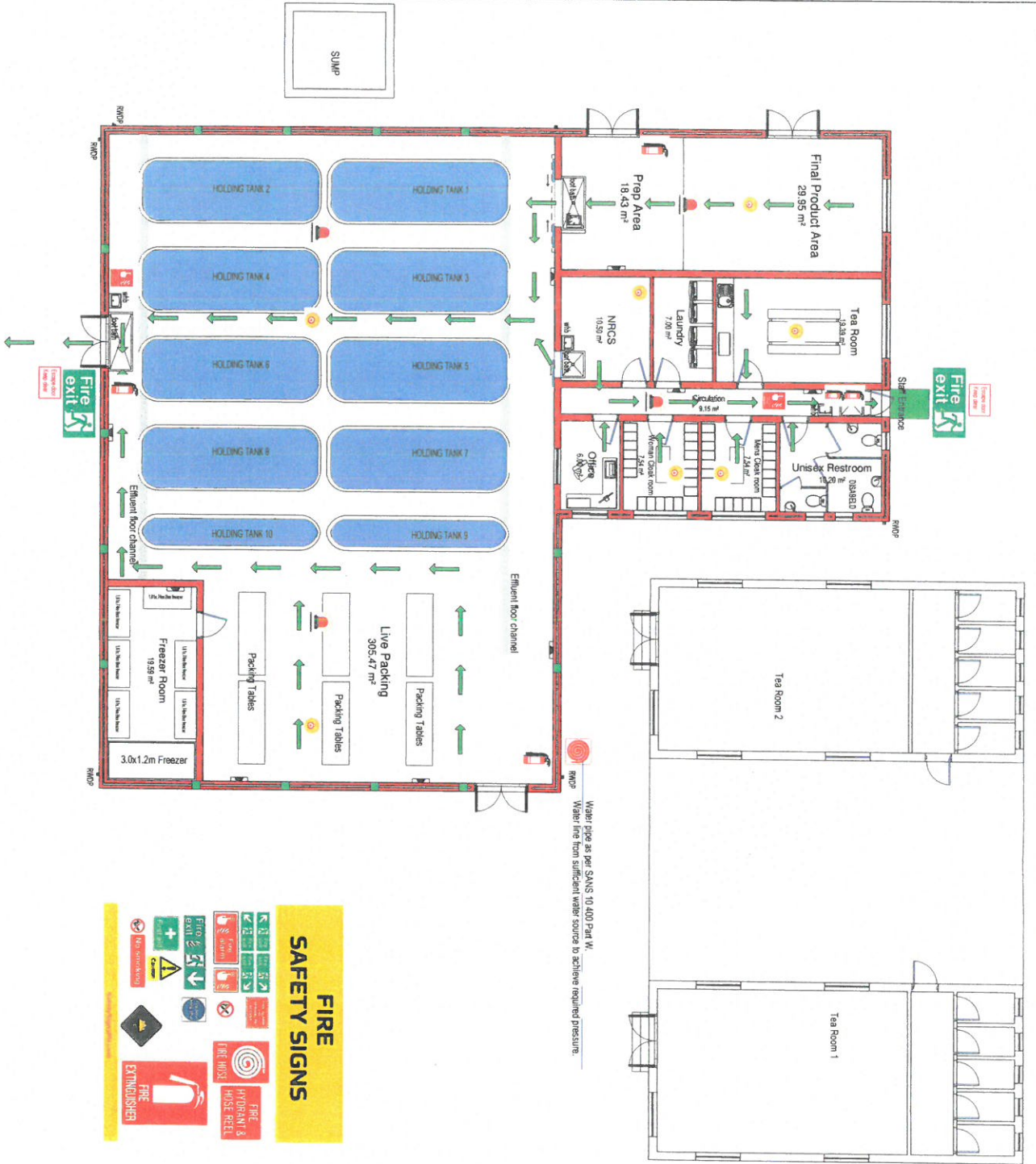
8M HEIGHT RESTRICTION 11,770



South Elevation Packing
1 : 100

<p>PROPOSED NEW PACKING BUILDING 1 FOR BUTCHER'S AND ONE FARM/ON EHF 587 BUSTERSDAAL, OVERSTRAND.</p>	
DESCRIPTION:	ELEVATIONS 2
SHEET FORMAT:	A2
SCALE:	As indicated
DRAWING #:	GB2357/BAF/21
DRAWING DATE:	12 JUN 2022
PLOT DATE:	08-Mar-22 6:07:45 PM
DRAWN:	John Gortke
SIGNATURE:	

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FIRE SAFETY SIGNS



FARM ROAD

FARM ROAD

	EXIT SIGN INSIDE AND/OR DOORS
	ALL emergency exit doors (new & existing) to be fitted Emergency exit signs and exit push bars. All doors to open outwards.
	30m FIRE ALARM BELL Installed & Designed as per SANS 10,400 Part 1 & 6. Issued by specialist.
	ADDITIONAL FIRE ALARM
	ESCAPES ROUT INDICATORS
	ESCAPES ROUT INDICATORS
	ESCAPES ROUT INDICATORS
	ESCAPES ROUT INDICATORS
	ESCAPES ROUT INDICATORS



FARM ROAD

PROPOSED NEW PACKING BUILDING 1 FOR BUFFELVLAAS ABALONE FARM ON ERFF 357 BUFFELVLAASBAAI, OVERSTRAND.

DESCRIPTION: FIRE PLAN

SHEET FORMAT: A2	OCCUPATION: B3
SCALE: 1:100	DRAWING #: GA2357/BAF/21
PAGE #: 9	PLOT DATE: 08-Mar-22 6:07:52 PM
DRAWING DATE: 12 JAN 2022	SIGNATURE:
DRAWN: Johan Gerlicke	

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 SRCP#: DB889 Prof. Arch. Draught

PROJECT NO: 2022-01-01
 SHEET NO: 01-01-01
 DATE: 12 JAN 2022

PARKING REQUIREMENTS		
New Expansion Buildings Only:	Area:	Parking Req.:
Industry/Storage - 2 per 100m ² G.A.		Provide Parking
19. Pedestrian Building 1	-493.00m ²	2 bays per 100m ² G.A.
		9,86 bays
		10 Extra Bays
		36 Bays
		51 Bays
TOTAL REQUIRED:		
APPROVED PARKING SPP SEPT 2021		
PROVIDED IN TOTAL WITH EXISTING:		
Included 2 x 4.55m Disabled Parking Bays		



IMPORTANT NOTE:
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT: PACKING BUILDING 1 FOR BUFFELJAGS ABALONE FARM ON ERF 357 BUFFELJAGSBAAL, OVERSTRAND.

DESCRIPTION: New Parking Layout

SHEET FORMAT: A3
OCCUPATION: B2

SCALE: As indicated
DRAWING #: GB/2/357/BAF/21

PAGE #: 11

DRAWING DATE: 10 April 2022
PLOT DATE: 28-Apr-22 5:46:32 PM

DRAWN: Johan Gericke
SIGNATURE:



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