

ERVEN 3351 & 3352, 210 SEVENTH STREET & 209 SIXTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSOLIDATION: PLANACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF J.H. PORTER

Notice is hereby given in terms of Section 48, read with Section 16(2)(e) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for the consolidation of Erven 3351 & 3352, Voëlklip, Hermanus, to create a consolidated erf of $\pm 916\text{m}^2$ in extent.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **15 July 2022**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. P. Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERWE 3351 & 3352, 210 SEWENDESTRAAT & 209 SEDESTRAAT, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM KONSOLIDASIE: PLANACTIVE TOWN & REGIONAL PLANNERS NAMENS J.H. PORTER

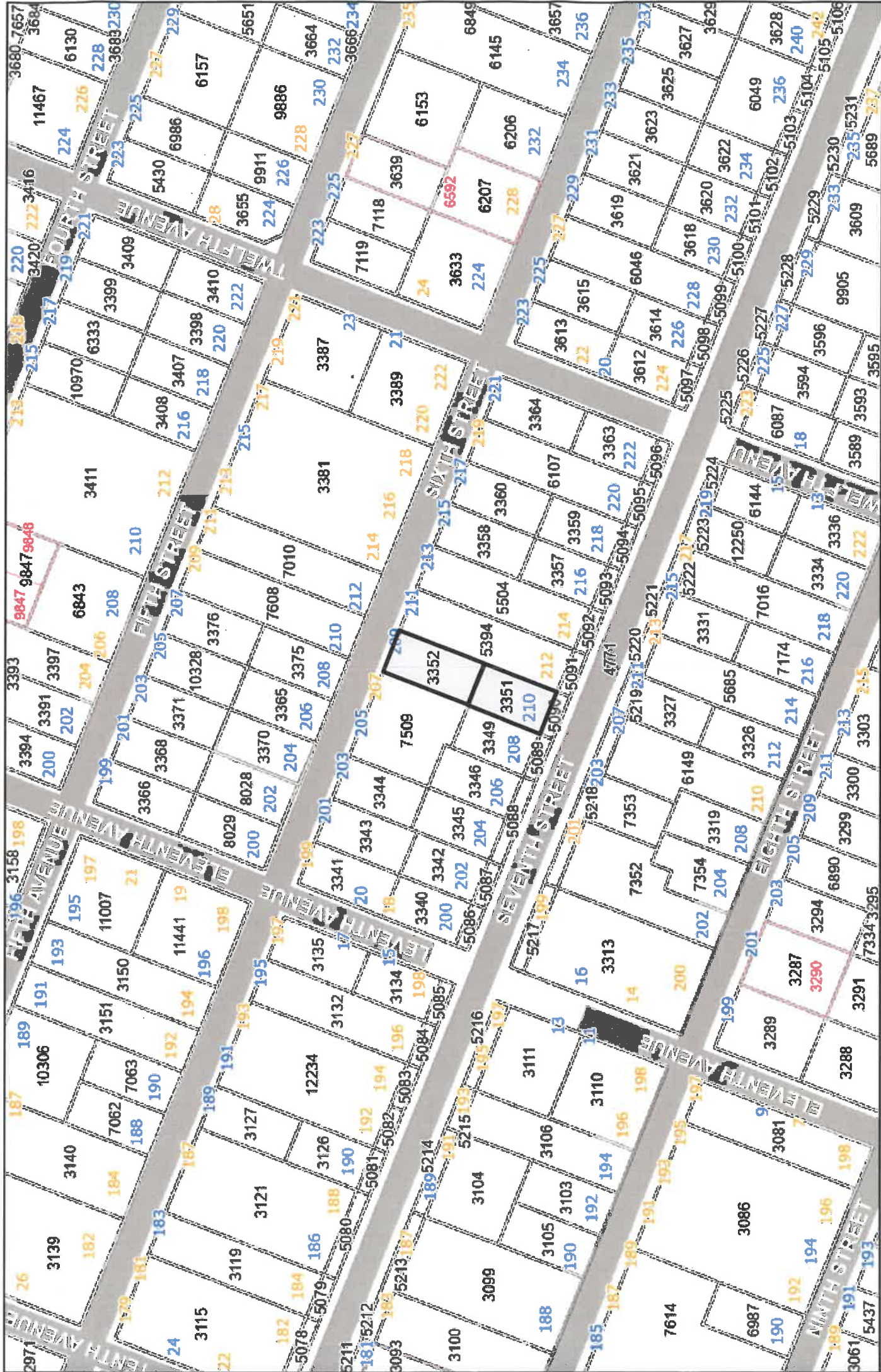
Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(e) van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om konsolidasie van Erwe 3351 & 3352, Voëlklip, Hermanus, om 'n gekonsolideerde erf van $\pm 916\text{m}^2$ te skep.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende woensdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) voor of op **15 Julie 2022**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr. P. Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ERVEN 3351 & 3352, 210 SEVENTH STREET & 209 SIXTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: ISICELO SOKUMANYANISWA: PLANACTIVE TOWN & REGIONAL PLANNERS EGAMENI LIKA J.H. PORTER

Isaziso sikhutshwe ngokwemiqathango yeCandelo 48, elifundwa kunye neCandelo 16(2)(e) loMthetho kaMasipala oLungisiweyo wokuSetyenziswa koMhlaba woMasipala wase-Overstrand 2020 sokokuba isicelo sifunyenwe sokuhlanganiswa kweZiza 3351 & 3352, e-Voëlklip, e-Hermanus, ukulungiselela ukuyila isiza esihlanganisiweyo $\pm 916\text{m}^2$ ubukhulu.

linkcukacha ezipheleleyo ephathelelene nesindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kaMasipala mazithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi **komhla, wama-15 kaJulayi 2022**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **uMnu P. Roux** kule nombolo 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



Date: 2022/05/26

Locality Map
Erven 3351 & 3352, 210 7th Street & 209 6th Street, Voëlklip



PROPOSED CONSOLIDATION

REMAINDER ERF 3351 & ERF 3352 HERMANUS

DIVISION: CALEDON

OVERSTRAND MUNICIPALITY

MOTIVATION REPORT

1. BACKGROUND

Plan Active Town & Regional Planners has been appointed by J.H. Porter, the owner of Remainder erf 3351 and erf 3352 Hermanus, to apply for the consolidation of the aforementioned properties.

Remainder erf 3351 Hermanus is 421m² in extent, Erf 3352 Hermanus is 495m² in extent. The subject properties are held by title deed number T53331/1986.

There is a double storey dwelling situated on erf 3352 Hermanus. Remainder erf 3351 Hermanus is a vacant portion of land. Erf 3351 Hermanus was subdivided in 1966 for road widening purposes to create erf 5090 Hermanus and Remainder erf 3351 Hermanus. Refer to copies of the SG diagrams attached.

The owner intends to consolidate the subject properties since the subject properties are being used and maintained as one property. The consolidation will also ensure that her views from the existing dwelling on erf 3352 Hermanus remains unobstructed. By consolidating the subject properties, the owner ensures that no future structures on Remainder erf 3351 Hermanus impedes the views from the existing dwelling on erf 3352 Hermanus. No new development is proposed and no development proposals for future additions / alterations to the consolidated property (if any) are currently available.

2. APPLICATION DETAILS

Application is made in terms of:

- Chapter 4, Section 16(2)(e) of the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020, for the consolidation of Remainder erf 3351 and erf 3352 Hermanus.

3. GENERAL APPLICATION INFORMATION

3.1 PROPERTY DESCRIPTION

Remainder erf 3351 Hermanus is situated at 210, 7th Street, Voëlklip, Hermanus. Erf 3352 Hermanus is situated at 209, 6th Street, Voëlklip, Hermanus. The subject properties are adjacent to one another and shares a common boundary. Refer to the locality plan attached.

Erf 3352 Hermanus is developed with a double storey dwelling with stoep and balcony. Remainder erf 3351 Hermanus is a vacant portion of land. The subject properties slope in a south south-westerly direction.

The extent of the subject properties are as follows:

ERF NUMBER	EXTENT (In m²)
Remainder erf 3351	421
Erf 3352	495

3.2 ZONING

The subject properties have the following land use rights:

ERF NUMBER	ZONING
Remainder erf 3351 Hermanus	Single Residential Zone 1: Dwellings (SR1)
Erf 3352 Hermanus	Single Residential Zone 1: Dwellings (SR1)

Surrounding properties are zoned for Single Residential Zone 1: Dwellings and Transport Zone 2: Road purposes.

3.3 LAND USE

Erf 3352 Hermanus is developed with a double storey dwelling with stoep and balcony. The total floor area of all structures on the subject property amounts to ±160m² (inclusive of the stoep and balcony; excluding staircases). All existing As Built structures have approved building plans (1971; 24 May 1991). Remainder erf 3351 Hermanus is currently a vacant portion of land.

Land uses that surround the subject properties are single residential dwellings, public open spaces and public roads.

3.4 THE POTENTIAL OF THE PROPERTY

The erven in the Voëlklip suburb are small in extent and narrow in width, hence the trend to consolidate properties to create a larger portion of land is not a strange phenomenon in this area. The context of the suburb with its location between the mountains and ocean also leads to alternative reasons for property owners to

consider the consolidation of their properties – for reasons such as protecting views, creating privacy and ensuring that the value of their properties are not compromised.

Remainder erf 3351 Hermanus is slightly smaller than the average erf in Voëlklip due to the portion that was subdivided for road widening purposes. In addition, the back section of erf 3352 Hermanus is already developed, which means that selling Remainder erf 3351 Hermanus in future and the development that follows might compromise the existing views from erf 3352 Hermanus. The subject properties have the same owner and are managed and maintained as such. The extent of the subject properties and the As Built structures therefore confirms the potential of Remainder erf 3351 and erf 3352 Hermanus to be considered for consolidation.

It is proposed to retain the zoning and land use of the newly consolidated portion. The location of the subject property within an existing established single residential area allows the property to be developed in future for low impact land uses only.

The proposal is considered in line with the character of the area since adjacent properties and properties in the immediate area has similar and larger erf sizes than proposed with this application.

When evaluating the proposed consolidation against surrounding erf sizes, minimum erf sizes, minimum street frontage widths, etc. it is evident that the subject properties have the potential to be consolidated to create a larger portion of land.

The position of the existing structures does not hinder the proposed consolidation. No deviations from land use restrictions will apply to the existing structures on the consolidated property.

Compliance with the current spatial planning policies (discussed in this report) support and confirm the potential of the subject property for development.

3.4 PROPOSED DEVELOPMENT

The following is proposed:

- The consolidation of Remainder erf 3351 and erf 3352 Hermanus in terms of Chapter 4, Section 16(2)(e) of the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020, as follows:
 - Remainder erf 3351 Hermanus of 421m² in extent to be consolidated with
 - Erf 3352 Hermanus of 495m² in extent to create a newly consolidated SR1 zoned portion of 916m² in extent.

When the proposed consolidation of the subject properties was considered, cognisance was taken of the following criteria:

- accessibility to the subject property;
- impact on the character of the area;
- erf shape;
- position of the existing approved structures;
- land use restrictions;
- applicable spatial planning policies and densification guidelines.

It is proposed to consolidate the subject properties as follows:

PROPOSED CONSOLIDATION	Remainder erf 3351: 421m ² Erf 3352: 495m ²
TOTAL EXTENT OF PROPOSED CONSOLIDATION	916m ²

Refer to the proposed consolidation plan attached.

The existing dwelling will remain on the consolidated property. No new development is proposed and no development proposals for future additions / alterations to the consolidated property (if any) are currently available. The SR1 zoning building lines will remain relevant to the consolidated property (4m street building lines and 2m lateral building lines). Although the existing dwelling encroaches the 2m eastern and western lateral building lines, the dwelling was constructed in line with the approved building plans (1971 and 24 May 1991). As a result, no deviation from the applicable

building lines is required to accommodate the existing structures on the consolidated property.

The coverage of the existing structures on the newly consolidated erf is $\pm 18\%$ ($\pm 160\text{m}^2$). The coverage will therefore be within the maximum prescribed coverage of 50% for SR1 zoned properties.

The proposed consolidation does not have a negative impact on the surrounding even as the subject property's zoning will remain Single Residential Zone I and the proposed portion size is compatible with similar surrounding property sizes.

The proposed consolidation of Remainder erf 3351 and erf 3352 Hermanus is not in contrast to the existing land uses tendencies in the surrounding environment and we therefore do not foresee any problems with the proposed application.

The proposed consolidation of the abovementioned properties will not have a negative impact on the environment, traffic or character of the area (the land use will remain unchanged). We therefore do not anticipate any problems with the proposed application.

3.5 CHARACTER OF THE ENVIRONMENT

It is not proposed to change the land use or zoning of the subject property. The impact on the character of the area will therefore remain unchanged. The dwelling currently positioned on erf 3352 Hermanus already exists and as a result the impact on the character of the environment will remain unchanged. Future additions / alterations (if any) to the newly consolidated property will be undertaken in line with the land use parameters applicable to SR1 zoned properties. Any deviations from the SR1 land use parameters will have to follow a new land use application and will inform adjacent property owners accordingly.

The proposed erf size is compatible with the surrounding erf sizes. Erven 5394, 5504 and 6107 Hermanus, situated east of the subject properties, of ±990m² in extent are similar consolidations that were approved in the immediate area in the past. The proposed portion shape after consolidation is consistent with the grid layout of the area. In addition, the consolidated property is developed in line with the approved building plans. The visual impact and in turn the impact on the character of the area will consequently be kept to a minimum.

3.5 ECONOMIC IMPACT

The proposed consolidation will have a positive impact on the economy of the area. No additional load on the existing bulk services in the area is anticipated with the proposed consolidation. The proposed consolidation will not have a negative impact on the property values of the area.

The proposed consolidation will create a larger residential erf in a well-located area.

3.6 SOCIAL IMPACT

The proposal will have no impact on the social wellbeing of the area. One family will continue to occupy the property and no negative impacts are anticipated.

There will be no impact on the social wellbeing and social coherence of the adjacent community given the extent of the proposed portion after consolidation as well as the fact that the zoning and land use of the consolidated portion will be in line with the zoning and land uses associated with the immediate area.

3.7 COMPATIBILITY WITH SURROUNDING LAND USES

The subject property is situated in an existing low-density residential area. The application proposes to create a larger single residential erf. The land use will

therefore be for single residential (dwelling with outbuilding) purposes. The proposed consolidation creates an erf that is compatible with the surrounding zonings and land uses of the area.

As mentioned in Sections 3.4 and 3.5 of this report the surrounding erf sizes, the average erf size for the area, the street frontage widths of existing erven of similar sizes, the proposed layout and shape of the newly consolidated residential portion are compatible with the layout and erf shapes of the existing residential area, the fact that similar consolidated portions exist, etc. proof that the consolidation is compatible with the existing context and character of the area. Properties of $\pm 950 - 995\text{m}^2$ in extent exist in the immediate vicinity of erven 3351 and 3352 Hermanus. The extent of the newly consolidated portion is compatible with the existing low-density residential area.

In addition, the proposed consolidation will have no impact on the views of the adjacent properties or properties situated in the immediate vicinity.

According to the development rules of the Overstrand Land Use Scheme (2020) the consolidation will allow for the development rules for erven $>400\text{m}^2$ to apply to the newly consolidated single residential portion. The proposed consolidation will therefore maintain the existing development parameters that apply to the existing residential erven before consolidation and the erven in the immediate vicinity.

3.8 IMPACT ON EXTERNAL ENGINEERING SERVICES

Erven 3351 and 3352 Hermanus are fully serviced. No additional load on the existing bulk services in the area is anticipated with the proposed consolidation.

Additional services (if any) will be provided to the satisfaction of the Overstrand Municipality.

3.9 IMPACT ON SAFETY, HEALTH AND WELLBEING OF SURROUNDING COMMUNITY

The proposed consolidation will have no impact on the general safety and wellbeing of the surrounding community. It is anticipated that one family will continue to occupy the newly consolidated portion.

Furthermore, future alterations and / or additions (if any) will conform to the relevant land use and construction guidelines of the municipality. The latter will ensure the safe construction of additions and guarantee the safety and minimal noise pollution during construction to the immediate community.

Since the proposed consolidation is not associated with a noxious trade with polluting air emissions the impact on the health of the community will be kept to a minimum.

3.10 IMPACT ON HERITAGE

The application does not involve changing the character of a site larger than 5 000m². Consequently, the proposed application for consolidation does not trigger Section 38 of the National Heritage Resources Act, 1999 (Act No. 25 of 1999).

Erven 3351 and 3352 Hermanus are not earmarked for heritage conservation purposes in the Overstrand Heritage Report (2009). The subject properties do not fall within the Heritage Overlay Zone demarcated in the Overstrand Municipal Growth Management Strategy (2010). The subject properties do not fall within the Overstrand Heritage Protection Overlay Zone (2020).

Erf 3352 Hermanus is already developed. The dwelling was constructed in 1971 and is therefore not older than 60 years. Additions made to the subject property in May 1991 were done in accordance with the approved building plan. The impact on the visual landscape of the area will be kept to a minimum since no new development is proposed. Future development or alterations / additions will be done in line with the

zoning parameters for Residential Zone I: Single Residential erven as stipulated in the Overstrand Municipal Land Use Scheme Regulations (2020).

From the above it is evident that the proposed application does not encompass any heritage significance and therefore the impact on the heritage value of the area will be kept to a minimum.

3.11 IMPACT ON THE BIOPHYSICAL ENVIRONMENT

The proposed consolidation (land use application), to create a larger single residential erf does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998). The consolidation of residential properties is not considered a NEMA listed activity.

The subject properties are not earmarked for conservation purposes in terms of the Environmental Management Overlay Zone (EMOZ, 2020).

3.12 TRAFFIC IMPACT, PARKING AND ACCESS

Remainder erf 3351 Hermanus abuts 7th Street (to the south) and erf 3352 Hermanus abuts 6th Street (to the north). The access to erf 3352 Hermanus is currently obtained from 6th Street. There is currently no vehicle access to Remainder erf 3351 Hermanus (only a pedestrian access gate). After consolidation the owner will continue to make use of the existing vehicle access point in 6th Street. No new accesses are proposed.

The impact on the traffic of Voëlklip will remain unchanged since the proposal is in line with the status quo for the area and no new development or access points are proposed. A Traffic Impact Assessment / Statement is not required since the proposed consolidation does not create an additional fifty trips or more to the area and since the access to the newly consolidated portion can easily be addressed (and remains unchanged).

The newly consolidated portion will comply with the relevant scheme regulations' parking requirements – i.e. at least two parking bays / garages must be provided for on site for each new portion created. There is ample space available in the driveway to park two vehicles on site.

3.13 TITLE DEED

Title Deed no. T53331/1986 has no restrictions that need to be removed to accommodate the proposed consolidation of erven 3351 and 3352 Hermanus. Since the title deed conditions are straight forward, a conveyancer's certificate is not submitted with this application.

There are no bonds registered against the subject properties.

3.14 FORWARD PLANNING AND LAND USE DOCUMENTS

3.14.1 OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK (2020)

The *Overstrand Spatial Development Framework (2020)* earmarks the area where Remainder erf 3351 and erf 3352 Hermanus are situated, for urban development purposes. The zoning and use of the subject properties will remain unchanged (Residential Zone 1: Single Residential). The proposed consolidation is in line with the status quo of the area. As a result, the impact of the proposed consolidation on the spatial integrity of the area will be minimal and is therefore consistent with the Overstrand SDF (2020).

3.14.2 OVERSTRAND MUNICIPAL GROWTH MANAGEMENT STRATEGY
(2010)

The *Overstrand Municipal Growth Management Strategy (OMGMS, 2010)* specifies that Remainder erf 3351 and erf 3352 Hermanus form part of Planning Unit no. 3 for Hermanus East. Densification from 11du/ha to 14,3du/ha is proposed for this planning unit. No additional portions are created with this application. Although a slight decrease of the density of the area is proposed with this application, the status quo of the area (low density residential) will remain unchanged. The land use application for the subject properties therefore falls within the existing planning for the Hermanus East area.

It is important to enhance and protect the character of the existing low-density residential areas such as Voëlklip, while still sensitively densifying where appropriate. This ensures that a wide range of erf sizes and types of development are available, not only within Voëlklip, but also within the entire Greater Hermanus area.

The proposed erf size of 916m² is not smaller than the smallest erf in the immediate vicinity (which is ±421m²) or the average erf sizes for the area. Erven 3351 and 3352 Hermanus are owned by the same property owner and used and maintained as one single property. Similar consolidations in this area have been considered and approved in the past and this must be taken into consideration when considering the merit of the application. The proposal will therefore slightly impact on the density of the area while still retaining the status quo.

The layout of the proposed consolidated single residential erf is practical in respect to access, developable area, connecting to bulk services and the installation of services.

The proposal will promote land development in a location that is sustainable. The proposed consolidation is to improved erven within an established residential area and therefore will not impact on urban sprawl or upon a sensitive environment.

3.15 PLANNING PRINCIPLES

The planning principle of spatial resilience does not apply to this application.

Spatial justice: The proposed land use application ties in with the existing character of the area and will not have a negative impact on the surrounding properties. The subject properties have been in existence since 1943.

This principle addresses the need to address the past imbalances regarding opportunity. This application is for existing erven as per the establishment of the Hermanus Township and therefore this principle not applicable.

Spatial sustainability: The proposed consolidation is to create a larger single residential erf. As contemplated in Section 3.15 the proposed land use application is in line with the spatial planning policies for the area.

The layout of the proposed consolidated single residential erf is practical with respect to access, developable areas, connecting to bulk services and the installation of services. The visual impact will be kept to a minimum since the subject properties are already developed (erf 3352) and no new development is envisaged with this application. Future addition and / or alterations (if any) will be undertaken in accordance with the relevant land use scheme regulations. Since the status quo of the area will be maintained, it is submitted that the proposed consolidation is compatible with the character of the area and will not impact negatively on the existing rights of anyone else.

As a result, the proposed consolidation will have no adverse impact on the spatial sustainability of the area.

Efficiency: The subject properties are easily accessible and conveniently located close to major routes. The consolidation of erven 3351 and 3352 Hermanus will have a low impact on the character and ambiance of the existing residential area as

motivated in this report. It proves to be efficient to allow the consolidation since the impact will be kept to a minimum. As motivated in the above sections of the report the proposal is compatible with surrounding properties in the immediate area.

The proposed consolidation proves to be efficient since it discourages the phenomenon of urban sprawl, which relates to more responsible resource and infrastructure use and sustainable development. Moreover, the proposal is efficient in that it optimizes existing resources and infrastructure and continues the existing suburban development typology.

Good administration: Our firm is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The land use application will follow due process as stipulated in the relevant municipality's bylaw and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's Amendment By-law on Municipal Land Use Planning, 2020.

4. RECOMMENDATION

When this application is evaluated, it is important to take note of the following:

- The proposed application will not have a negative impact on the existing land use rights of the subject property or those of surrounding properties;
- The proposal is compatible with the existing character and erf sizes of the immediate area;
- The zoning of Residential Zone I: Single Residential and land use (single residential) will remain and are compatible with the surrounding zonings of the area;
- The proposed consolidation complies with the spatial planning policies for the area;
- Impact on the traffic and services will be kept to a minimum;

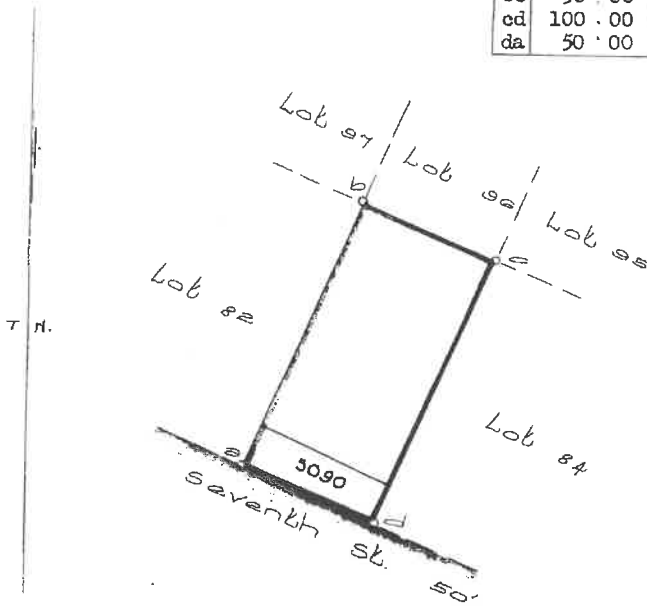
- The proposed land use application does not trigger any listed activities in terms of NEMA (Act 107 of 1998);
- The application is fully compliant with the applicable planning principles described in the LUPA (2014) and SPLUMA (2013).

With regards to the above mentioned it would be appreciated if the application for the consolidation of erven 3351 and 3352 Hermanus be approved.

GENERAL PLAN M. 56 A.

Approved.
 (Sgd) A. C. Parry.
 for Surveyor-General.
 18/3/1943.

Sides.		Angles.	
ab	100.00	a	90.0.0
bc	50.00	b	90.0.0
cd	100.00	c	90.0.0
da	50.00	d	90.0.0



Scale: 50 Cape Feet - 1 Inch.

* NOW ERF NO. 3351 HERMANUS.

The above figure a.b.c.d. represents 34 Square Roods 104 Square Feet of land, situate in the Municipality of Hermanus, in the Division of Galedon, being Lot No. 83 Block BB Mossel River, of Lots No. 82 - 97 Block BB Mossel River, D/T. 1937-179-10114.

Bounded as indicated above.

Surveyed and Beaconsed by me according to Regulations.
 (Sgd) H. L. Hill.
 Govt. Land Surveyor.
 April, 1906.

Original Plan relating to
 Transfer of 3309.....
 26/3/1943.

V. Roemer (born Grygier).

V. Roemer

3/10/1957.

AI - 3 DA
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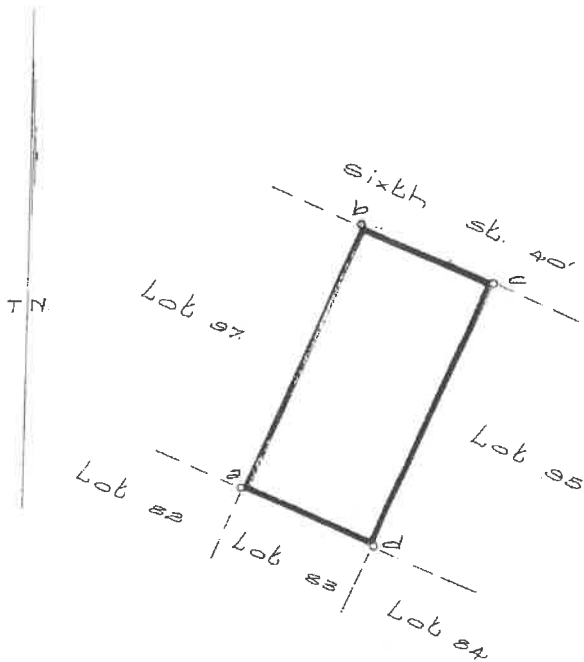
H.v.T. 3351

THE FOLLOWING DEDUCTIONS HAVE BEEN MADE FROM THIS DIAGRAM.

Survey Records	Dwg. No.	Sub. Acct. No.	Area	Deed	Remarks
E1844/64	7393/1964	ENF 5090	5.72	2075/1986.	Rev. 450 sq. ft. 10/2/66

GENERAL PLAN M. 56 A.

Approved.
 (Sgd) A. C. Parry.
 for Surveyor-General.
 18/3/1943.



Sides.	
ab	100 .00
bc	50 .00
cd	100 .00
da	50 .00

Angles.	
a	90 .0 .0
b	90 .0 .0
c	90 .0 .0
d	90 .0 .0

Scale: 50 Cape Feet - 1 Inch.

* NOW ERF NO. 3352 HERMANUS.

The above figure a.b.c.d. represents 34 Square Roods 104 Square Feet of land, situate in the Municipality of Hermanus, in the Division of Caledon, *being Lot No.96 Block BB Mossel River, of Lots No.82 - 97 Block BB Mossel River, D/T.1937-179-10114.

Bounded as indicated above.

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Copied from ... relating to
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 V. Roemer (born Grygler).
Stardhope
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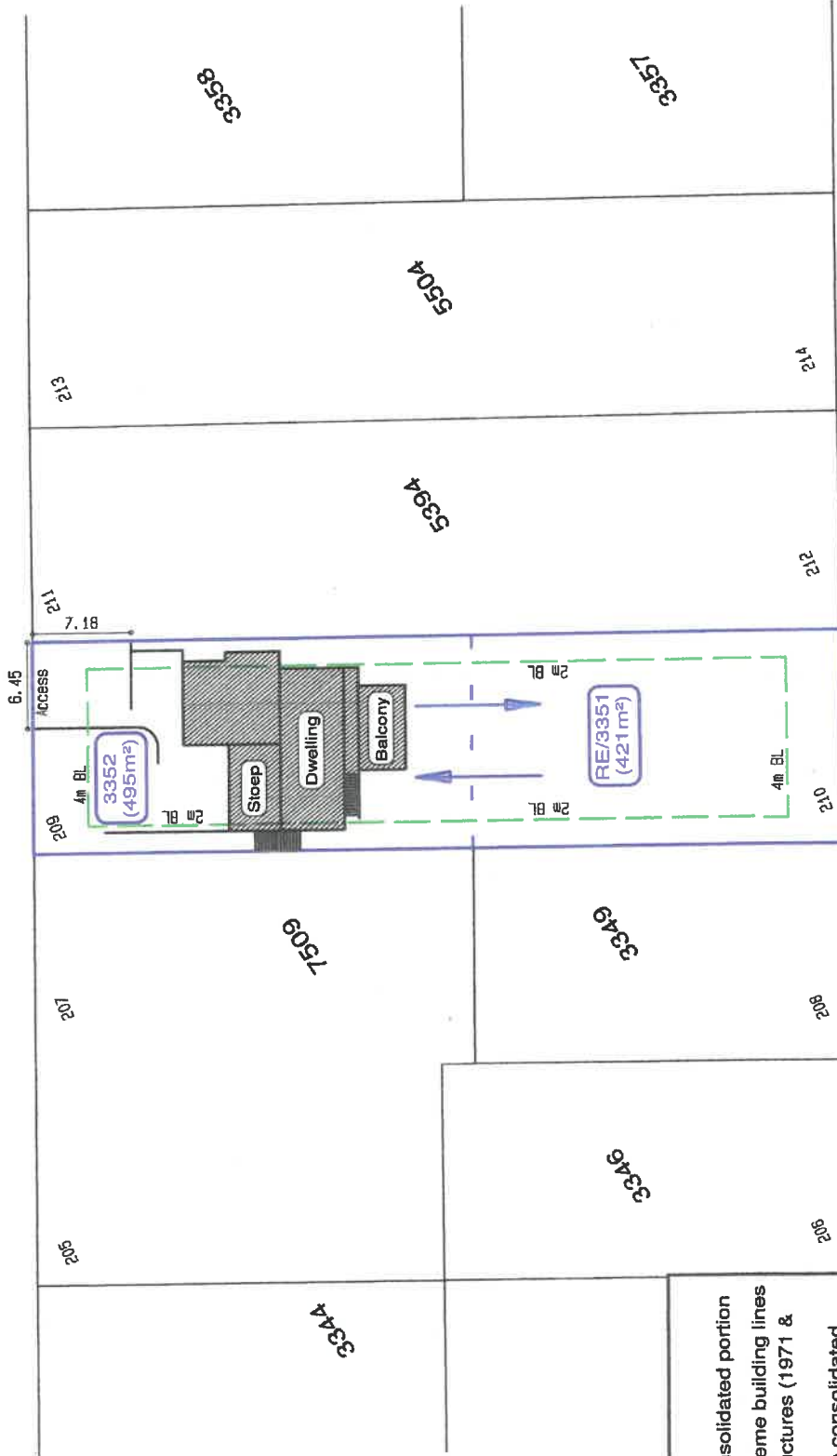
AI - 3 DA
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 Vol 67-1943
 CHECKED DATA CHECKED *b*

C
 B
 S




H.v.T. 3352

6TH STREET 12,59

7TH STREET 12,59



NOTES:

-  Proposed consolidated portion
-  Land use scheme building lines
-  Approved structures (1971 & 1991)

Re/3351 of 495m² to be consolidated with erf 3352 of 421m² to create a newly consolidated portion of 916m²

Zoning: SR1

Coverage: ±18% (±160m²)



Stads- en Streeksbeplanners
Town & Regional Planners

All distances approximate and subject to survey.

COPY RIGHT RESERVED

Property Description:

REM/ERF 3351
& ERF 3352
HERMANUS

Plan Description:

CONSOLIDATION
PLAN

Scale: 1:500

Drawing Nr:
herm3351c.drw

Date: MAY 2022

