

ERF 17, MEERENBOSCH: APPLICATION FOR DEPARTURE: PLAN ACTIVE (obo M LEVIN)

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a departure in terms of Section 16(2)(b) to depart from the land use restrictions as contained in the Meerenbosch Homeowners Association's Building Regulations to accommodate a storage box and an extension of the existing living room on ground floor level and extensions to the existing two bedrooms on first floor level.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) on or before **27 May 2022**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the Town Planner, **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 17, MEERENBOSCH: AANSOEK OM AFWYKING: PLAN ACTIVE (nms M LEVIN)

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om afwyking ontvang is ingevolge Artikel 16(2)(b) om af te wyk van die grondgebruikbeperkings soos vervat in die Meerenbosch Huiseienaarsvereniging se Bouregulasies om 'n stookkamer en 'n uitbreiding van die bestaande sitkamer op grondvloervlak te akkommodeer, sowel as 'n uitbreiding van die bestaande twee slaapkamers op eerstevloervlak.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) voor of op **27 Mei 2022**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die Stadsbeplanner, **Mnr. H Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISZA ESINGU-ERF 17, MEERENBOSCH: ISICELO SOKWAHLULA: NGABAKWAPLAN ACTIVE (egameni likaM LEVIN)

Kukuhutshwe isaziso esingemiba emayela yeSoloty lama-48 nguMasipala waseOverstrand esingokuHlomela Umthethwana kaMasipala ngeZicwangciso Zokusetyenziswa koMhlaba kaMasipala ku2020 isaziso eso kufunyenwe isicelo sokwahula ngokwemiba yeSoloty le16(2)(b) ukwahlula nokushenxisa imiqobo yokusetyenziswa komhlaba equlethwe kwiMithetho Elawula Imiqathango yeManyano Yokwakhela Abaninimzi baseMeerenbosch ukulungiselela ibhokisi eyindawo enguvimba wokugcina impahla nokwandisa igumbi lokuhlala esele likhona kumgangatho wokuqala nokwandisa amagumbi okulala asele ekhona kumgangatho wokuqala.

linkcukacha ezipheleleyo mayela nezi zindululo ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini ukusukela kwixesha eliphakathi kwentsimbi ye08:00 neye16:30 kwiSebe: Izicwangciso zeDolophu, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo zingangeniswa kwaMasipala ngokwezibonelelo zeSoloty lama51 nelama52 loMthethwana kaMasipala ochazwe ngentla (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla **wama27 uMeyi ka2022**, uchaze igama lakho, idilesi yakho neekcukacha zakho, umdla wakho kwesi sicelo nezizathu zakho zokuhlomla. Imibuzo ngefowuni ingathunyelwa kuMwangcisi weDolophu Oyintloko, **Mnu. H Olivier** kwa028-313 8900. UMasipala angala ukwamkela izimvo ezifike emva komhla wokuvala. Nabani na ongakwazi ukufunda nokubhala angahambela kwiSebe leziCwangciso ngeDolophu apho igosa likamasipala liza kumnceda ukufaka izimvo zakhe ngokusemthethweni



	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 17 MEERENBOSCH	Plan Description: LOCALITY PLAN	Scale: NTS Drawings N.T.S. of ERF 17 MEERENBOSCH.dwg Date: MARCH 2022

PROPOSED DEPARTURE
ERF 17
MEERENBOSCH
DIVISION CALEDON
OVERSTRAND MUNICIPALITY

MOTIVATION REPORT

1. BACKGROUND

The company Plan Active Town Planners has been appointed by the owner of Erf 17 Meerenbosch, Dr M. Levin, to apply for a departure from the prescribed building lines defined in the Constitution of the *Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*.

The subject property is located in the Meerenbosch development. No building lines are prescribed in terms of the Overstrand Municipality Zoning Scheme Regulations 2020 applicable to properties that have a Resort Zone zoning. As mentioned above, land use restrictions have been imposed and form part of the Meerenbosch Homeowners Association's Constitution. The proposal is in contravention with the land use restrictions that include building lines. We are therefore applying for a departure from the prescribed building lines to address the building encroachment.

Erf 17 Meerenbosch is 214m² in extent and is held by Title Deed Number T51627/2008.

2. APPLICATION DETAILS

Application is made in terms of:

- Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020, for the **departure** from the land use restrictions defined in the Constitution of **Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association.**

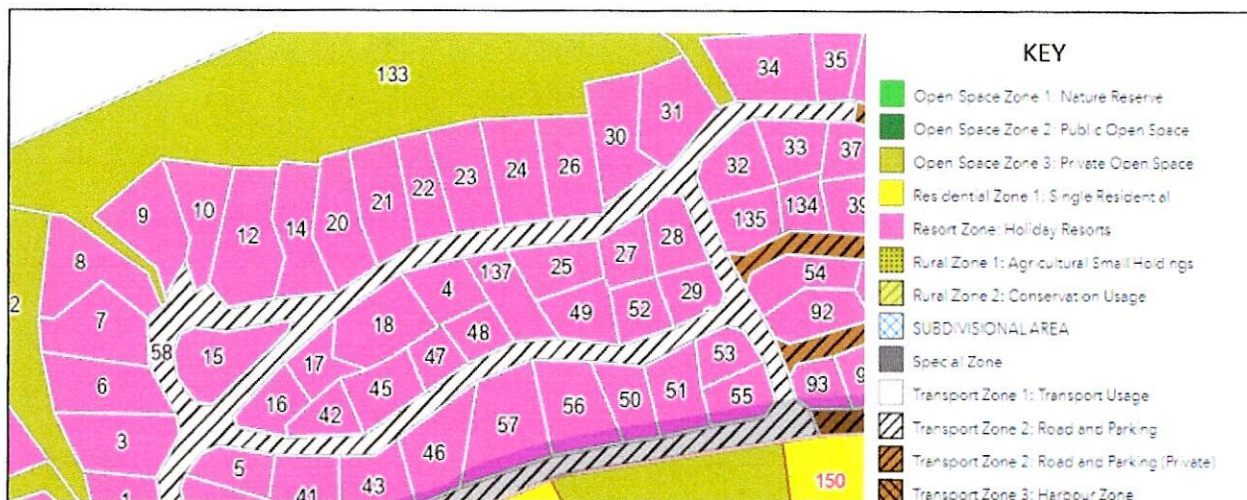
3. GENERAL APPLICATION INFORMATION

3.1 PROPERTY DESCRIPTION

The subject property is situated ±16km west of Hermanus in close proximity to Fisherhaven and Hawston, within the Meerenbosch Development. Refer to the attached locality plan. Erf 17 Meerenbosch is 214m² in extent and is held by Title Deed No. T51627/2008.

3.2 ZONING

The subject property is zoned Resort Zone: Holiday Resort with holiday housing rights. Surrounding properties are also zoned as Resort Zone, Transport Zone 2 (private roads) and Open Space Zone 3 (private open spaces). Please refer to the abstract of the zoning map below.



3.3 LAND USE

A double storey, wooden holiday house is established on the subject property. Land uses that surround Erf 17 Meerenbosch are holiday houses, private roads and private open spaces. The subject property is situated within the Meerenbosch Development.

The **Meerenbosch** development is also surrounded by the following developments:

- **Sandown Bay;**
- **Meerensee;**
- **Flamingo Bay.**

All the above-mentioned developments, including Meerenbosch are members of the master homeowner's association, namely the **Middelvlei Homeowners Association**.

3.4 PROPOSED DEVELOPMENT

The following is proposed:

- The **departure** from the land use restrictions defined in the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association***, in terms of Chapter 4, Section 16(2)(b) of the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020.

Objective:

- To depart from the land use restrictions defined in the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019.

The subject property is situated within the **Meerenbosch development** and is 214m² in extent. Erf 17 Meerenbosch is held by Title Deed No. T51627/2008. The intention of the owner of the subject property is to carry out additions and alterations to the existing, double storey, wooden, holiday house. The proposed additions and alterations will cause a **departure** from the guidelines as prescribed in the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019.

The existing, double storey, holiday house situated on Erf 17 Meerenbosch consists of the following:

Ground floor:

- Living room;
- kitchen;
- 1 bathroom.

First floor

- Family Room;
- 1 bathroom;
- 2 bedrooms.

The intention of the owner of the subject property is to carry out additions and alterations to the existing, wooden, double storey, holiday house. The following additions to the existing dwelling are proposed:

- **Storage box (6m x1m)**
- **Extended living room on ground floor (6m x1.5m)**
- **2 additional bedrooms on first floor (6m x1.5m)**

The land use restrictions prescribed in the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association***, as updated and amended: 21 December 2019, that will be departed from with reference to the proposed additions and alterations are as follow:

Section of Building Regulations for Meerenbosch Homeowners Association	Detail	Proposal
Section 2.3.2 (<u>Types of houses to be erected</u>)	<i>Type 2: a double story, wooden house (6m x 6m) with a ridge-height of 6,0m from the finished floor level with a roof pitch of 15° and a veranda of 6m x1.5m under roof.</i>	New proposed footprint of Dwelling (without Stoep): 48 (6mx7.5m) in lieu of the prescribed 6m x 6m.
Section 3 .2 (<u>Placing of Houses</u>)	<i>A house may not be built within the 1.5m building line and may only with the permission from the</i>	The proposed storage box is proposed <u>0.745m</u> and <u>0.599m from the</u>

	<i>Meerenbosch Homeowners Association as well as the adjacent owner (if applicable), be built closer to the erf boundary than the 1.5m building line</i>	boundary in lieu of the 1.5m prescribed building line applicable to the northern lateral building line
--	--	--

The owner intends to **extend** the existing holiday house on the subject property. The intention is to extend the living room on the ground floor and add two bedrooms to the first floor. The proposed extension will constitute 6m x 1.5m in extent. The intention is also to add a storage box on the northern side of the subject property.

It is stipulated in the applicable land use restrictions that a house could be built **closer than 1.5m** (prescribed building line) to the boundary with the permission of the Meerenbosch Homeowners Association. The HOA has provided their approval for the proposed extensions and alterations. It is also mentioned that the adjacent owner (if applicable) should provide permission for the building line departure. As can be noted in *figure 1 below*, there are no adjacent owners abutting the boundary where the departure is applied for. Only a portion of the storage box will encroach the prescribed building line.

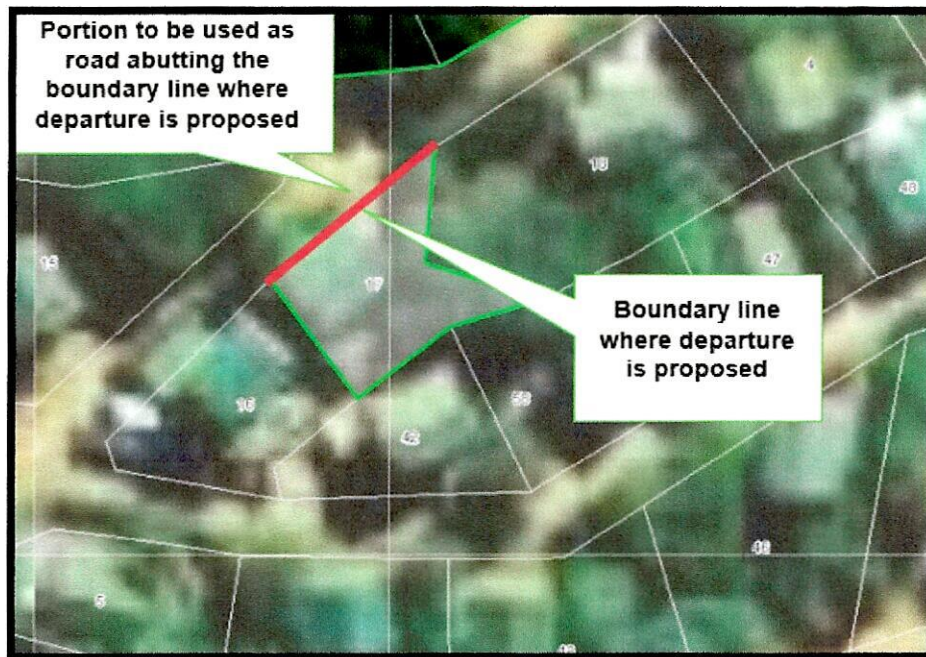


Figure 1

According to **Section 16 (Storage Box)** of the **Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association** as updated and amended: 21 December 2019, only one (1) storage box is

allowed per house and must be fixed to the house. The following specifications are also prescribed for a storage box in the applicable design guidelines:

16.2.1 the storage box must be of the same wood cladding as the house

16.2.2 the maximum length is 6m and the box may not extend past the wall of a house

16.2.3 The maximum depth (away from the wall) is 1m

16.2.4 The maximum height (above floor level) for a double storey house and for a single storey house, is ceiling level. The increased storage box may not become another room or part of the house.

It should be noted that the storage box is proposed as per the specifications as set out above and does not depart from the design guidelines in terms of the specifications. The proposed storage box will be situated closer than 1.5m building line (as per **Building Regulations for Meerenbosch Homeowners Association**) to the northern boundary. It should be noted that the proposed encroachment can be seen as a minor encroachment as an area of only $\pm 4.8\text{m}^2$ in extent of the storage box will encroach the applicable building line. The proposed position of the storage box will not have a negative impact on the surrounding properties or character of the greater Meerenbosch area.

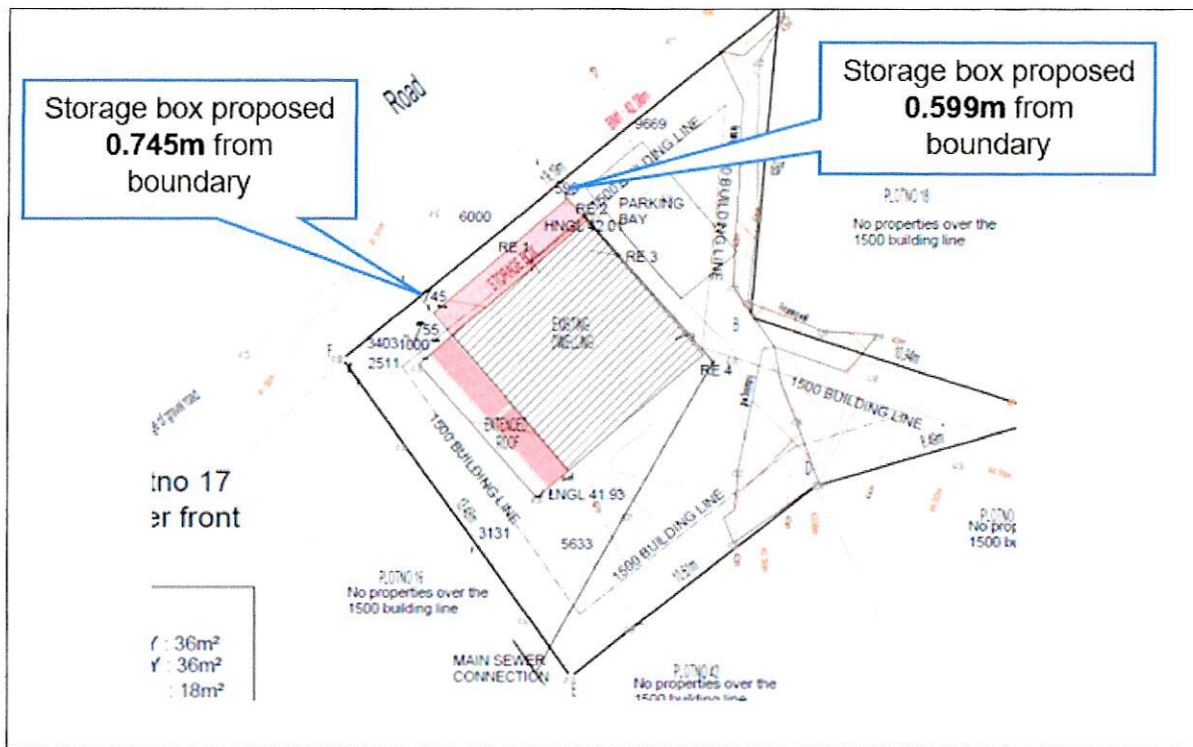


Figure 2

The proposed additions to the existing dwelling, except for the storage box, can be accommodated on the subject property without encroaching the applicable building lines. The proposed extensions however depart from the prescribed measurements for a *double story wooden house that is 6m x 6m*. The proposed measurements for the dwelling, excluding the storage box, but including the proposed additions are **6m x 7.5m** with a total footprint of **45m²** instead of the prescribed footprint of **36m²** for a holiday house. The proposed additions to the existing holiday house will be in line with the existing character. The proposed additions will increase the total footprint of the holiday house by 9m². The total floor area including the additions and the storage box constitutes 51m² in extent and a coverage of ±23.83% in total.

The detail of the sizes of the current holiday house, proposed additions and alterations is as follows:

ROOF COVERAGE	
GROUND STOREY	: 36m ²
FIRST STOREY	: 36m ²
ADDITIONS	: 18m ²
NEW BOX	: 6m ²
TOTAL NEW	: 24m ²
TOTAL AREA	: 96m ²
FOOTPRINT	: 51m ²
ERF SIZE	: 214m ²
COVERAGE	: 23.83%

Considering the extent of the subject property, the proposal is compatible with the existing character of the area.

The proposed building line departure will not have a negative impact on the neighbouring properties or the character of the greater Meerenbosch area. An opportunity is provided in the design guidelines to depart from the building lines as set out in the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019, with the consent of the neighbouring property owner/s (if applicable) and the HOA.

The ***Meerenbosch Homeowners Association*** issued their consent (attached as **Annexure B**) for the proposal. The proposed encroachment abuts the private road and therefore an adjoining landowner's consent is not applicable. With the proposed encroachment of the storage box into the northern building line, a building line of 0.745m and 0.599m is required. The proposed storage box will not be constructed right up to the northern boundary of the subject property. Please refer to the enclosed building plans drawn by **CAP-LON DESIGNS** for the detail of the holiday house and storage box. The storage box will not be used for any other purpose other than its intended storage use.

The proposed additions and alterations to the existing dwelling, the extent of the subject property, the scale of the surrounding built environment, the low impact on the streetscape, etc. allows for the consideration and approval of the proposed departure from the prescribed design guidelines without having an adverse impact on the spatial sustainability of the greater Meerenbosch area. The proposed additions and alterations will be constructed by means of the building materials stipulated in the design guidelines and will not have any neagtive impact on the character of the greater Meerenbosch area.

3.5 ACCESS

The existing access to Erf 17 Meerenbosch will be retained. The Meerenbosch development and Erf 17 Meerenbosch gain access from the Private Road / road servitude area as per **S.G. Diagram No. 5016/2006**. Please refer to Annexure C.

Figure 3 below indicates the access routes to and from the subject property via the Private Road / road servitude.



Figure 3

3.6 SERVICES

All services on Erf 17 Meerenbosch already exist. No additional services are required for the proposed application to be approved. The proposal merely constitutes additions and alterations to an already functional holiday house.

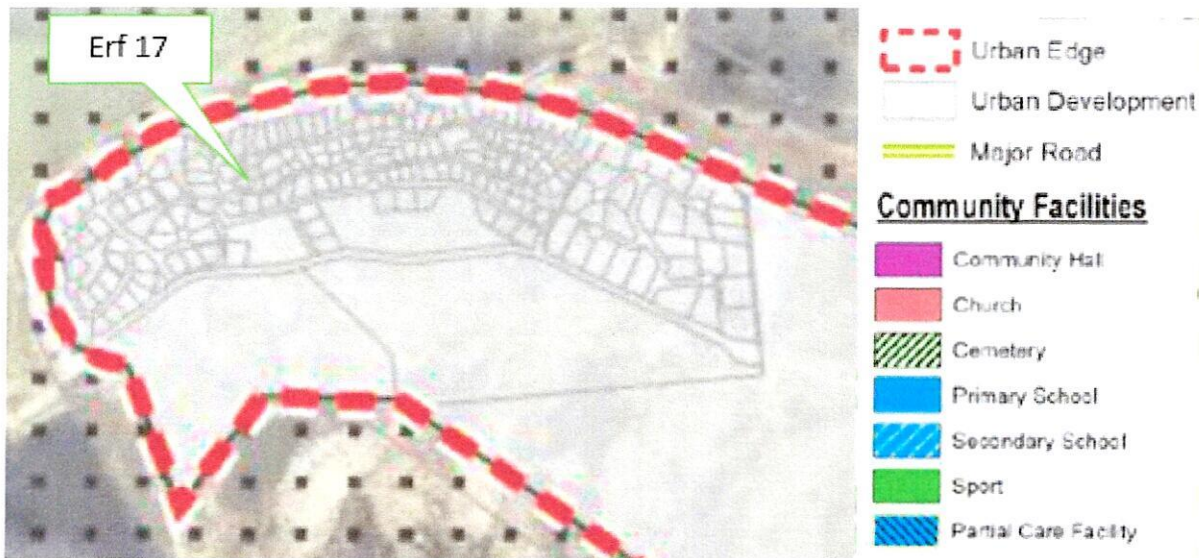
3.7 TITLE DEED

Title Deed Number T51627/2008 has no restrictions that need to be removed in order for this application for the departure from the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019 applicable to Erf 17 Meerenbosch to be approved.

There is no bond registered against the subject property.

3.8 FORWARD PLANNING

The ***Overstrand Spatial Development Framework (2020)*** earmarks the area where Erf 17 Meerenbosch is situated for urban development purposes.



The existing zoning and land use for Erf 17 Meerenbosch will be retained. This application merely constitutes the departure from the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019.

The ***Overstrand Municipal Growth Management Strategy (OMGMS, 2010)*** does not address areas in Meerenbosch in detail and only indicates it as a gated village.

It is our opinion that the above mentioned forward planning legislation has no relevance to this application as it constitutes the departure from the ***Constitution of Meerenbosch***

Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association as updated and amended: 21 December 2019 applicable to the subject erf.

The application constitutes alterations and additions to an already functional dwelling unit and therefore the application can be supported.

3.9 OTHER RELEVANT LEGISLATION FOR CONSIDERATION OF THE APPLICATION

3.9.1 HERITAGE VALUE

Erf 17 Meerenbosch is not situated within the Heritage Overlay Zone as determined by the Overstrand Municipality Growth Management Strategy (2010). The property is not earmarked for heritage conservation purposes in terms of the Overstrand Heritage Survey Report (2009).

The subject property is not associated with any important persons or groups or important events and activities. The subject property has no association with the history of slavery and is not used for living heritage.

In the light of the above mentioned it is evident that the proposed departure from the **Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association** as updated and amended: 21 December 2019, will not have a negative impact on the heritage value of the subject property or the greater area of Meerenbosch.

3.9.2 IMPACT ON THE BIOPHYSICAL ENVIRONMENT

The proposed departure application for Erf 17 Meerenbosch does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998).

The area where the subject property is situated is demarcated as part of the **Coastal Protection Zone** as seen in figure 4.



Figure 4

The proposed additions and alterations will not have any impact on the identified Coastal Protection Zone. The proposed additions and alterations are not listed as activities, which are prohibited within the Coastal Protection Zone.

3.10 PLANNING PRINCIPLES

The planning principles of spatial justice, spatial sustainability, efficiency, and spatial resilience of this application can be described as follows:

Spatial Justice refers to the need to readdress the past apartheid spatial development imbalances and aim for equity in the provision of access to opportunities, facilities, services, and land. In the broadest sense, it seeks to promote the integration of communities and the creation of settlements that allow the poorest of the poor to access opportunities. In a spatially just settlement, opportunities and access are provided to those whose historical access and opportunities have been impeded by the practice of apartheid spatial planning. Land development procedures must include provisions that accommodate access to, and facilitation of, security of tenure and the incremental upgrading of informal areas. In our opinion the principle of Spatial Justice is not relevant to the subject application.

Spatial sustainability: The additions and alterations proposed on Erf 17 Meerensbosch are in line with the current character of the area. The proposed application will have no impact on the conservation worthy areas of Meerensbosch.

Efficiency: The proposed application for the departure from the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019 will promote the optimisation of the use of space on an already developed property with an existing holiday house.

Spatial Resilience in the context of land use planning refers to the need to promote the development of sustainable livelihoods for the poor (i.e. communities that are most likely to suffer the impacts of economic and environmental shocks). Spatial resilience also refers to the requirement for flexibility in spatial plans, policies and land use management systems to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks. The spatial plans, policies and land use management systems should enable the communities to be able to resist, absorb and accommodate these shocks and to recover from these shocks in a timely and efficient manner, which includes the preservation and restoration of essential basic infrastructure and functions, but also adaptation in order to ensure increased resilience in terms of future shocks (United Nations Office for Disaster Risk Reduction, 2009). In our opinion the principle of Spatial Resilience is not applicable to this application.

Good administration: Our Company is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The land use application will follow due process as stipulated in the relevant municipality's bylaw and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's Amended By-law on Municipal Land Use Planning, 2020.

4. RECOMMENDATION

When this application is evaluated, it is important to take note of the following:

- The departure from the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019 as described in this report is minimal.
- The proposal is in line with the land use tendencies in the area;
- The proposal will not have a negative impact on the current character of the area;
- The **Meerenbosch Homeowners Association** issued their consent for the proposed application;

- The proposal will not have a negative impact on the existing services;
- The proposed relaxation of the building line as defined in the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019, will not have a negative impact on the land values of the surrounding erven;
- The proposed application is in line with Spatial Planning Land Use Management Act, 2013 (SPLUMA) and the Land Use Planning Act, 2014 (LUPA).

With regards to the above mentioned it would be appreciated if the Overstrand Municipality would consider the application favourably for the departure from the ***Constitution of Meerenbosch Homeowners Association, Annexure B, Building Regulations for Meerenbosch Homeowners Association*** as updated and amended: 21 December 2019, applicable to Erf 17 Meerenbosch.

ROOF:
Metal color bond sheeting on 76 mm purlins @ 1150 mm cc on 114mm x 38mm trusses at 1000mm securely Fixed to wall and wallplates with hoop iron straps

WINDOWS
Aluminium framed as shown on

WALLS
Timber walls to be cladded and interior to be fully plastered & painted

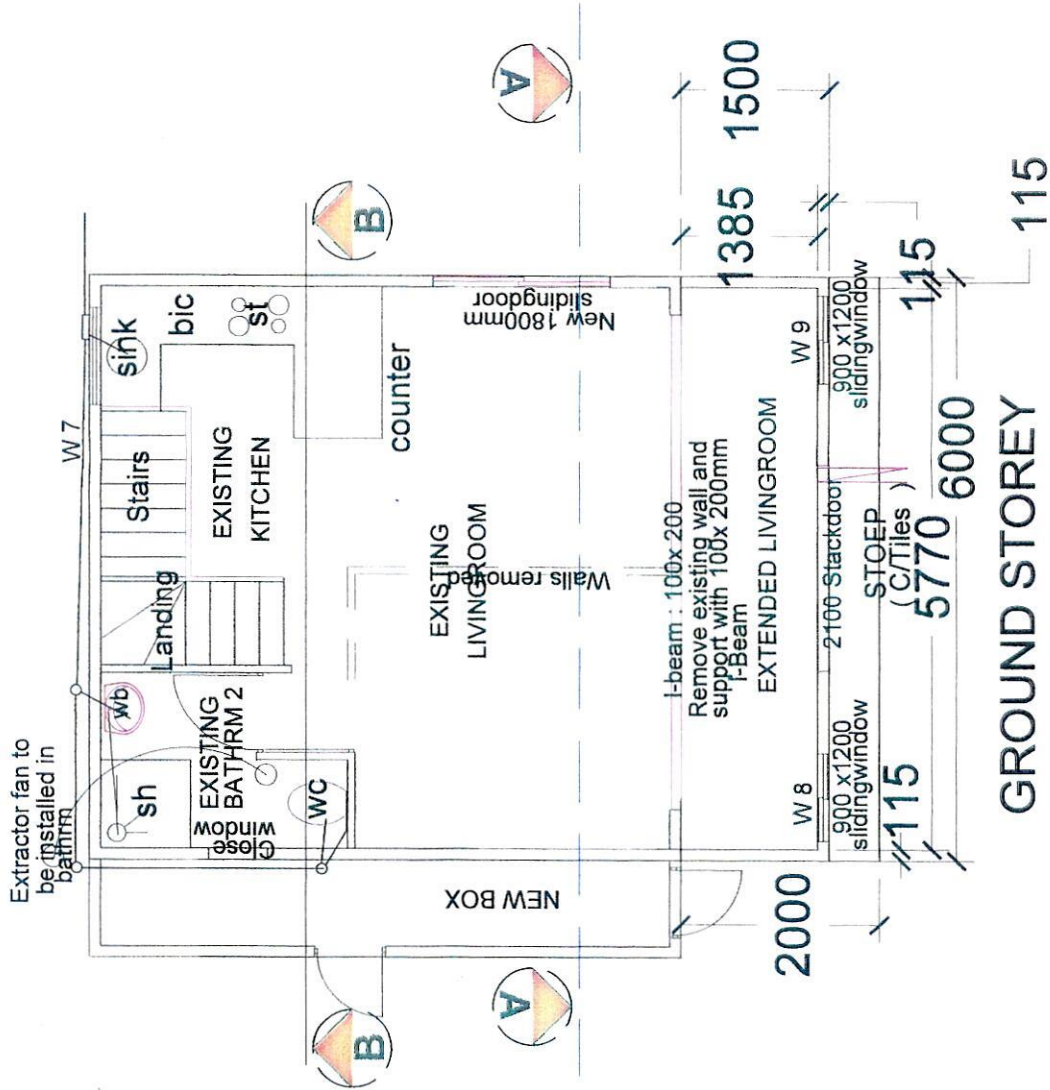
FLOORS
20 mm screed on 120mm concrete slab on 250 micron pvc on well compacted soil.

DPC
Damp proof course or membrane are required

Below the floor slab and window sills.

LINTOLS
Precast prestressed lintols over all doors & windows To be minimum of 200mm on both sides of opening with a minimum of 400mm of blockwork (2 courses) or brickwork (5 courses) above lintols.

RAINWATERGOODS
All to be pvc
Down pipes : 75mm
Gutters : 100 mm halfround



**GROUND STOREY
LAYOUT PLAN
(SCALE : 1 : 50)**

CAP-LON DESIGNS		HOUSE LEVIN		LAYOUT PLAN	
610/ELIA ST BENGHUR		PLOT NO 17 MEERENBOSCH		JAN 28 CA 1:50	
2022/01/03		2022/01/03		2022/01/03	

SPECIFICATION

NOTES :

1. General :

- 1.1 All dimensions and levels to be checked
- 1.2 levels to be checked on site.
- 1.3 All waterproofing details to be in accordance with specifications

2. Concrete :

(per engineers specifications)

- 2.1 Concrete characteristic 28-day strengths - all precast panels 35Mpa
- footings 25Mpa
- insitu slabs , screed , beams 25Mpa

2.2 Mix design for all 25Mpa concrete by builder :

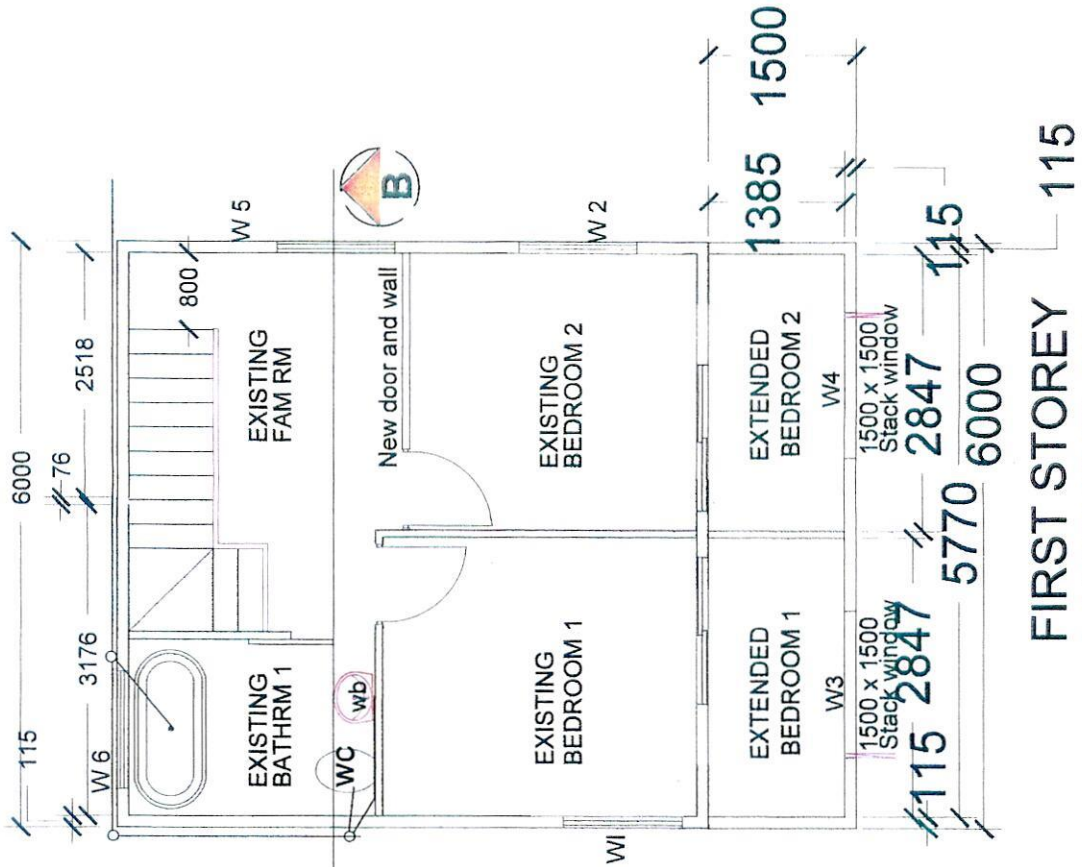
- 50kg cement
- wheelbarrows stone
- 1.5 wheelbarrow sand
- min water

2.3 Nominal concrete aggregate size :

- Screed - 9mm
- Footings , columns , beams - 19 mm
- 2.4 All slabs to be leveled and caulked tight by the builder a semi - dry sand / cement mix before joint filling concrete is placed.

3 Re-inforcement :

- 3.1 Minimum concrete cover to re-inforcement :
 - slabs , soffits and tops 30mm
 - slab edges / brick walls 40mm
 - stairs 50mm



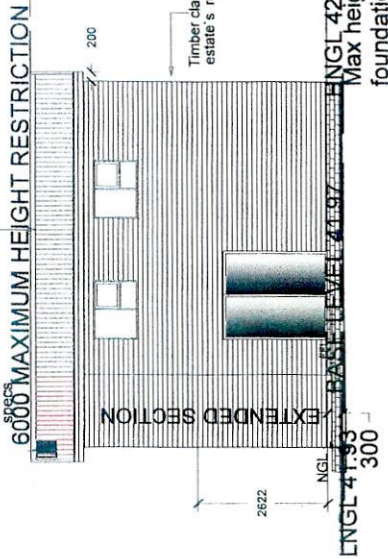
**FIRST STOREY
LAYOUT PLAN
(SCALE : 1: 50)**

DATE	DESCRIPTION
JAN 28 2022	LAYOUT PLAN
1:50	CA

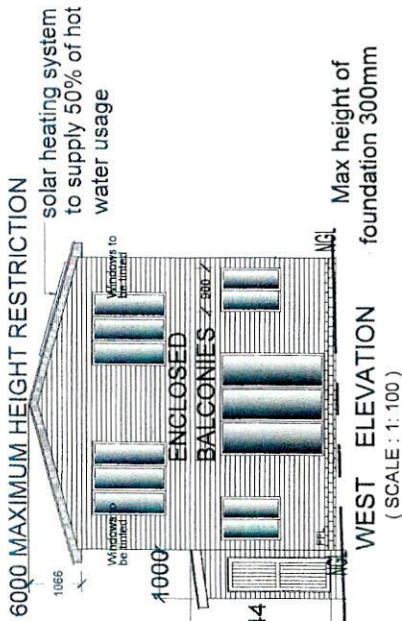
HOUSE LEVIN
PLOT NO 17 MEERENBOSCH

CAP-LON DESIGNS
OWNER: 2011
ELENELA ST RESEARCH
065 10555
e-mail: caplondesigns@gmail.com
0 0945

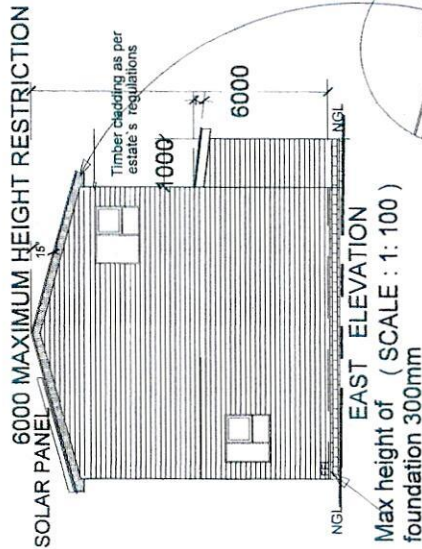
Chromadeck profile-victorian roof sheets on timber trusses as per engineer's detail and



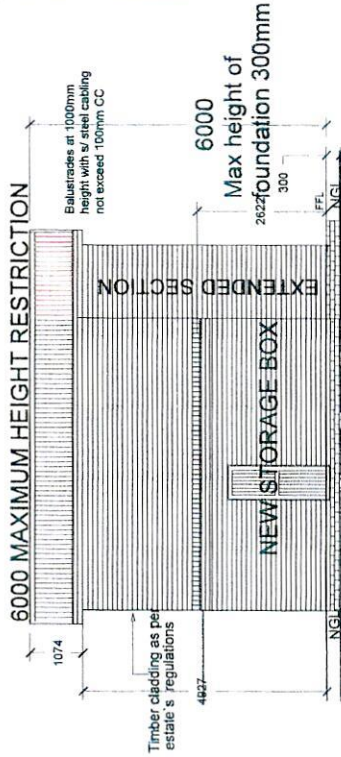
SOUTH ELEVATION
(SCALE : 1 : 100)



WEST ELEVATION
(SCALE : 1 : 100)



EAST ELEVATION
(SCALE : 1 : 100)



NORTH ELEVATION
(SCALE : 1 : 100)

Galv. double wire tie
tied around & nailed
to truss
PVC gutter
100mm Treated Loglap pine
Aluminium Anodize Bronze frame
or treated timber

(SCALE : 1 : 50)

1. All dimensions to be checked on site and altered and suit conditions where necessary.
2. All vegetable matter to be removed.
3. Floor coverings, tiles, electrical fittings, paint and sanitary ware to owner's specs.
4. All piping and conduit to be installed before cladding work commences.
5. Built-in cupboards to owner's specs.
6. All extensions and alterations to match existing.
7. The builder to make himself familiar with all the erf contours and site pegs.
8. All work to comply to local municipal standard and regulations.
9. Closed drainage systems to NBRI standards.
10. All building rubble to be removed by owner/or builder after completion of project.
11. All dimensions in MM

2022/01/03	2022/01/03
JAN 28	CA
1:50	1:100

ELEVATIONS	description
------------	-------------

HOUSE LEVIN	project
PLOT NO 17 MEERENBOSCH	project

LOGS & RESEARCH	ref. no. :
ENR/RS 7201	(002) 905 10055
	e-mail: cad@logsandresearch.com
	reg. no. : D 0903

CAP-LON DESIGNS	P.A.D
-----------------	-------