

FARM NO. 764, WELTEVREDE, CALEDON DIVISION, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF STANFORD HILLS ESTATE (PTY) LTD

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for consent use in terms of Section 16(2)(o), in order to accommodate 2 additional self-catering units on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Stanford Library, Queen Victoria Street, Stanford. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **18 March 2022**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Mr P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

PLAAS NR. 764, WELTEVREDE, AFDELING CALEDON, OVERSTRAND MUNISIPALE AREA: AANSOEK OM VERGUNNINGSGEBRUIK: MNRE PLAN ACTIVE STAD- EN STREEKSBEPLANNERS NAMENS STANFORD HILLS ESTATE (EDMS) BPK

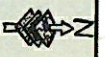
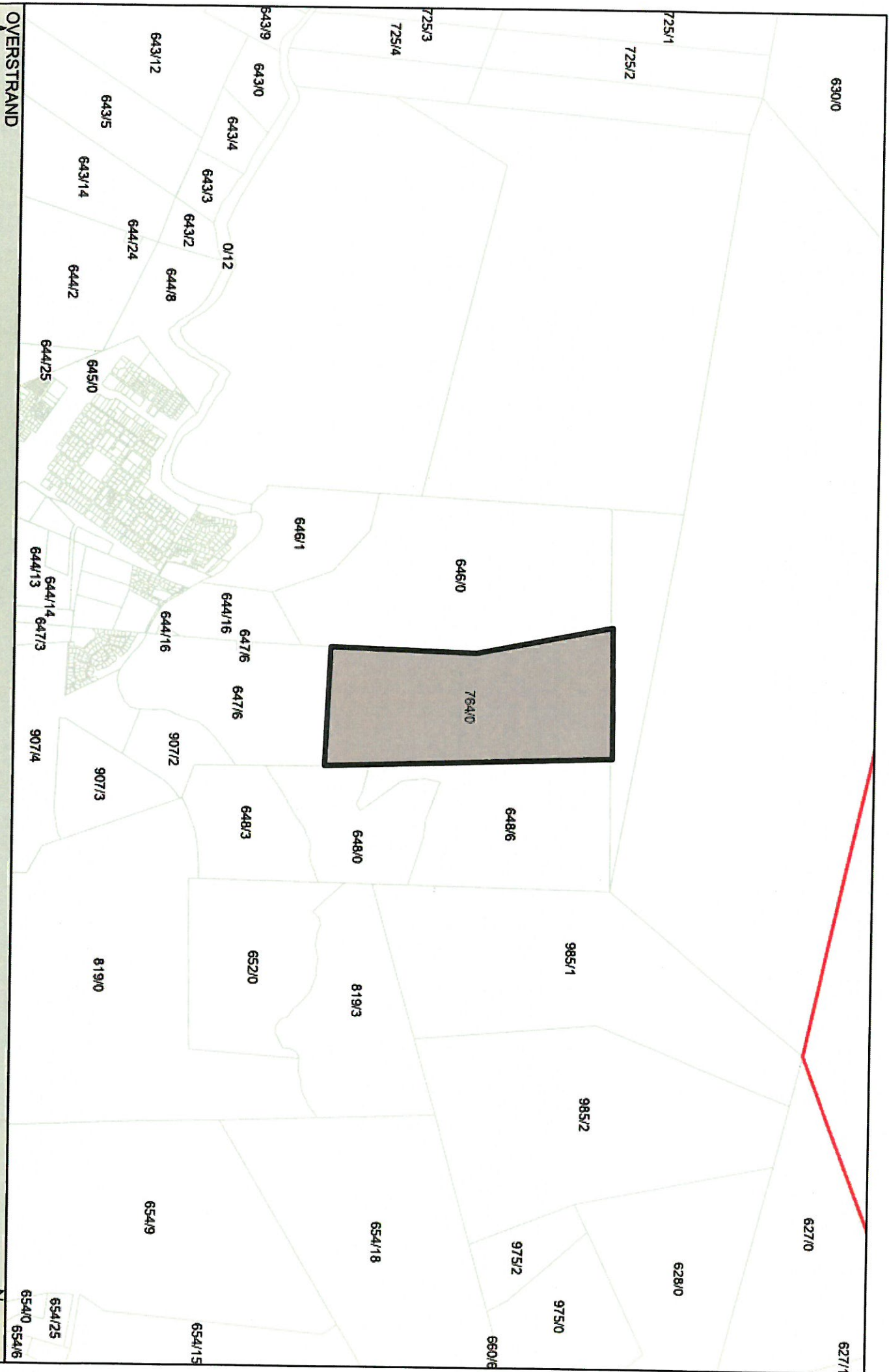
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek ontvang is om vergunningsgebruik ingevolge Artikel 16(2)(o), ten einde 2 addisionele selfsorg-eenhede op die eiendom te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en by die Stanford Biblioteek, Queen Victoria Straat, Stanford. Enige skriftelike kommentaar moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) bereik voor of op **18 Maart 2022**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

IFAMA ENGUNO. 764, WELTEVREDE, CALEDON DIVISION, EKUMMAMDLA KAMASIPALA WASEOVERSTRAND: ISICELO SOKUVUMELA UKUSEBENZISA: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS EGAMENI LESTANFORD HILLS ESTATE (PTY) LTD

Kukhutshwe isaziso esimayela nemiba yeSoloty lama48 nguMasipala waseOverstrand esimayela nokuHlomela Umthethwana Ongezicwangciso Ngokusetyenziswa koMhlaba kaMasipala ku2020 (Umthethwana) isaziso eso sithi kufunyenwe isaziso esimayela nokusetyenziswa komhlaba ngokwemiba yeSoloty le16(2)(o), ukulungiselela iiyunithi ezi-2 ezongezelweyo zokuziphekela kwabahambela kulo mhlaba okanye kwesi siza.

linkcukacha ezimayela nesi siphakamiso ziyafumaneka ukuze zihlolwe ngexesha leentsuku zaphakathi evekini ukusukela phakathi kwentsimbi ye08:00 neye16:30 kwiSebe: Lezicwangciso NgeDolophu, ePaterson Street, Hermanus naseStanford Library, Queen Victoria Street, Stanford. Naziphi na izimvo ezibhaliweyo kufuneka zifike kwaMasipala ngokwezibonelelo zeSoloty LoMthethwana wama51 nowama52 (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambili komhla **18 uMatshi ku2022**, uchaze igama lakho, idilesi neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zakho zokuhlomla. Imibuzo ngefowuni ingabuzwa ku**Mnu P Roux** kwa028-313 8900. UMasipala angala ukwamkela izimvo emva komhla wokuvala. Nabani na ongakwazi ukufunda nokubhala angandwendwela kwiiOfisi zeSebe Lezicwangciso ngeDolophu apho igosa likaMasipala liza kumnceda afake isicelo sakhe ngokusemthethweni.



APPLICATION FOR CONSENT USE
THE FARM No.764

OVERSTRAND MUNICIPALITY

CALEDON DISTRICT

MOTIVATION REPORT

1. BACKGROUND

The owner, Stanford Hills Estate (Pty) Ltd, committed themselves to apply and promote sustainable farming practices. To ensure the feasibility of the farm through diversification, the owner established vineyards and a winery on the farm.

An application for consent use for a service trade was also approved for an airfield that is being used by African Wings air charters on the property and a subsequent application was also approved to utilise the existing Manor House as a 3 guestroom guesthouse, 2 additional dwelling units to be utilised as self-catering cottages, tourist facilities consisting of a restaurant, wine tasting facilities and venue.

An application was also approved to make provision of a low impact tented camp consisting of 5 tents that are managed by AfriCamps and a small special needs school.

The last application that was approved, 25 October 2018, was for a place of instruction for children with special needs. The Butterfly Foundation was established in 2013 that aimed to raise funds to improve the lives of children with a variety of special needs. Jami and Peter Kastner , founders of the Butterfly Foundation, decided to accommodate the school on their farm, Farm Weltevrede NO.764.

The owner intends to now construct another 2 self-catering units that are attached to one another on the subject farm. During our discussions with the Overstrand Municipality it has also come to light that the approval for the self-catering units that were approved in 2013, situated in close proximity of the airfield, has lapsed due to the fact that it was accommodated as a consent use for additional dwelling units and a departure to be used as tourist accommodation at the time. We will also address this matter as part of this application. This application for the proposed consent use for the new 2 self-catering units will also include the reinstatement of the rights of the 2 self-catering units that were previously approved.

In order to accommodate the above mentioned land uses the company Plan Active was appointed to apply for a consent use to accommodate 2 proposed self-catering units and to reinstate the use of the 2 previously approved self-catering units on the subject farm.

Please take note that the primary use of the farm will remain agricultural. The proposal and current land uses will be described in detail further in this document.

2. APPLICATION DETAILS

2.1 Property Description

The Farm No.764 is 131.8595ha in extent, held by Title Deed T33150/2005 and is situated ±2.5km north east of Stanford and approximately 22km from Hermanus.

The property is within an area of natural beauty and is primarily used for agricultural purposes. The owner has also obtained additional land use rights by means of consent uses and departures that can be listed as follow:

- Winery;
- Airfield;
- 3 Guestroom Guesthouse;
- Restaurant, wine tasting facility and venue;
- 2 Self-catering units;
- AfriCamps tented camp (5 Tents):
- Place of instruction.

2.2 Application

It is the owner's intention to also now accommodate 2 proposed self-catering units and to reinstate the rights of 2 existing self-catering units by means of a consent use. Application is therefore made for the following:

- Chapter 4, Section 16(2)(o) of the Overstrand Municipality's revised By-law on Municipal Land Use Planning, 2020, for a consent use for tourist accommodation.

3. ZONING

The Farm No.764 is zoned Agriculture Zone I in terms of the Overstrand Municipality Zoning Scheme with an approval for a winery, an airfield, 3 guestroom guesthouse, 2 self-catering units that have lapsed rights, wine tasting facilities, restaurant, venue and tented camp facility and a small special needs school.

4. LAND USE

The land use of the farm is primarily agricultural and consists of the following land uses:

CULTIVATED LAND	
Vineyards (Chardonnay, Pinotage, Sauvignon Blanc & Shiraz)	±12ha
Proteas and Pincushions for export purposes	±15ha

With reference to the above mentioned table, flower picking takes place from July to December.

Other farming activities that take place on the subject farm consist of a wine cellar where ±30 000 bottles of wine are produced per year and a wine tasting facility, restaurant and venue. African Wings air charters also operate from the farm making use of the hangar and airfield. The manor house makes provision for 3 guestrooms and 2 self-catering units are also established on the farm. A tented camp consisting of 5 tents managed by AfriCamps are also established on the farm.

The farmstead forms a distinct compact settlement covering a small portion of the farm. The werf is defined by the surrounding buildings and serves as an important communal outdoor space.

The harmonious architectural characteristics of these buildings reinforce the rural ambience and have created a strong sense of place to the farm. Individually these buildings are the following:

- A Manor house
- Wine tasting facility
- Restaurant
- Associated farm stores

The special needs school is located south west of the farmstead and is in close proximity to the internal access routes and has no effect on the ongoing daily activities associated with the various land uses of the farm.

5. PROPOSAL

Due to the popularity of the winery, wine tasting facility, air charters and beautiful setting of the farm the owner intends to further diversify the farm by adding 2 additional self-catering units and to reinstate the rights of 2 formerly approved self-catering units by means of a consent use under the current agricultural zoning.

There is a great demand for tourist accommodation, wedding venues and other tourist related uses in the area and the owner intends to make use of the opportunity to reinstate the land use rights of 2 exiting self-catering units and proposed 2 additional self-catering units.

The buildings indicated as No.29 were 2 unoccupied labourer's cottages that were renovated and used as self-catering units. The 2 self-catering units were approved as 2 additional dwelling units and departures to be used as tourist accommodation of which the land use rights have lapsed. In order to reinstate the use of the 2 self-catering units are we applying for a consent use for tourist accommodation.

Each self-catering unit still consists of a lounge, kitchen, 2 bedrooms and an en-suite bathroom. Each unit sleeps 4 people. The use of each of these self-catering units remains the same as it was approved in 2013. The area of each self-catering unit is $\pm 58\text{m}^2$. The cottages are accessible from the main access road bisecting the farm and a road along the eastern boundary of the farm.

The 2 new cottages (Building 34) will be located in close proximity to the end of the airfield on the southern section of the farm, east of the manager's dwelling and north-east of the existing airplane hangar. Each self-catering unit will consist of the following:

- 2 bedrooms;

- 1 bathroom;
- Open plan kitchen, dining and living area;
- Covered stoep;
- Garden;
- 1 carport.

With reference to the architectural style and layout of each of the proposed self-catering units please refer to the enclosed building plan provided by Clemence Architecture. The design is a typical farm cottage style that is in line with the current built style of the existing structures on the farm. Each proposed self-catering unit has a footprint of $\pm 95\text{m}^2$ and is a single storey structure. The communal wall between the 2 self-catering units has a door that can be opened in order to accommodate extended families combining the 2 self-catering units. The 2 self-catering units can accommodate 4 guests each. Combined, the self-catering units can accommodate 8 guests.

The combined footprint of all the structures on the farm is $\pm 3\ 108\text{m}^2$ including the proposed 2 new self-catering units. This means that the total covered area would be less than $5\ 000\text{m}^2$ floor space allowed for all buildings established on a farm portion.

6. ACCESS ROADS

Access to the subject farm is obtained from the R43 and Minor Road 4033 bisecting the farm into a northern and southern portion. This access road also provides access to the surrounding farm portions. Please refer to the enclosed site development plan. The existing self-catering cottages are accessible from the main access road bisecting the farm and an existing farm road along the eastern boundary of the farm.

The existing internal farm road that provides access to the manager's dwelling and airplane hangar will be used to gain access to the proposed 2 new self-catering units. No additional access roads will be required for the proposed consent use.

7. PROVISION OF SERVICES

All services with regards to the provision of water, electricity, sewerage and refuse removal exist. Water for the manor house, restaurant / wedding facility, wine tasting facility and self-catering units is obtained from the mountain, a registered water source, which is used to fill 3 dams which meet the needs of the farm. Please refer to the enclosed water registration certificates.

There is sufficient water capacity on the farm. Water connections points are found in close proximity to the proposed self-catering units and therefore it can be linked in order to provide the necessary development. The quality of potable water will comply with SANS0241.

Refuse will be removed and delivered to the Stanford dump on own expenses by the owner.

Electricity is currently supplied by ESKOM. The current electricity supply is sufficient to accommodate the 2 proposed self-catering units.

Being within a rural area no municipal sewer system exists to which the proposed self-catering units can connect. The development of the sewage system will be done in line with the municipal guidelines.

A carport is provided at each of the proposed self-catering units that will be accessible from the existing internal farm road mentioned above.

The existing 2 self-catering cottages of which we are proposing to have the rights reinstated are already serviced and no additional services are required for them.

8. CHARACTER OF THE ENVIRONMENT

It is proposed that the rights for the 2 existing self-catering units be reinstated and to make provision for 2 additional self-catering units that sleeps 4 guests each. The proposed development will not affect the agricultural activities on the subject farm. The current zoning is Agriculture Zone 1 and this zoning will be retained. The impact on the character of the area will be minimal. It should also be noted that the total area

proposed for 2 self-catering units are located in close proximity to the manager's house, the airplane hangar and airfield. Subsequently the proposed 2 self-catering units are clustered with existing structures located south of Minor Road 4033.

9. POTENTIAL OF THE PROPERTY (DESIRABILITY OF THE PROPOSED UTILIZATION)

The subject property's zoning will remain unchanged, the proposed tourist accommodation will be accommodated as a consent use. The location of the subject farm within a rural area allows the farm to be developed for low impact land uses such as tourist facilities, tourist accommodation, creche, institutions, place of instruction, place of assembly etc. as being provided for as a consent use under the current Agriculture Zone 1 zoning.

Since the zoning will remain unchanged the impact on the surrounding farms will be kept to a minimum. Property values of surrounding farms will therefore not be negatively affected by the proposed application.

10. TITLE DEED

There are no restrictive title deed conditions in Title Deed 33750/2005 that will have to be removed to accommodate the proposed 2 self-catering units and to reinstate the rights for the 2 previously approved self-catering cottages.

There are no bonds registered against the subject farm.

11. OTHER RELEVANT LEGISLATION FOR CONSIDERATION OF THE APPLICATION

11.1. HERITAGE VALUE

The farm Weltevrede No. 764 is not situated within the Heritage Overlay Zone as determined by the Overstrand Municipality Growth Management Strategy (2010). The farm is earmarked for heritage conservation purposes in terms of the Overstrand Heritage Survey Report (2009). In terms of the report the farm has a 3B rating with the following description:

“Of intrinsic historical architectural value in terms of the remaining historical fabric and period features. Possessing distinctive architectural qualities especially in terms of the length of homestead. One of the few remaining fairly intact werfs dating to the 19th century.”

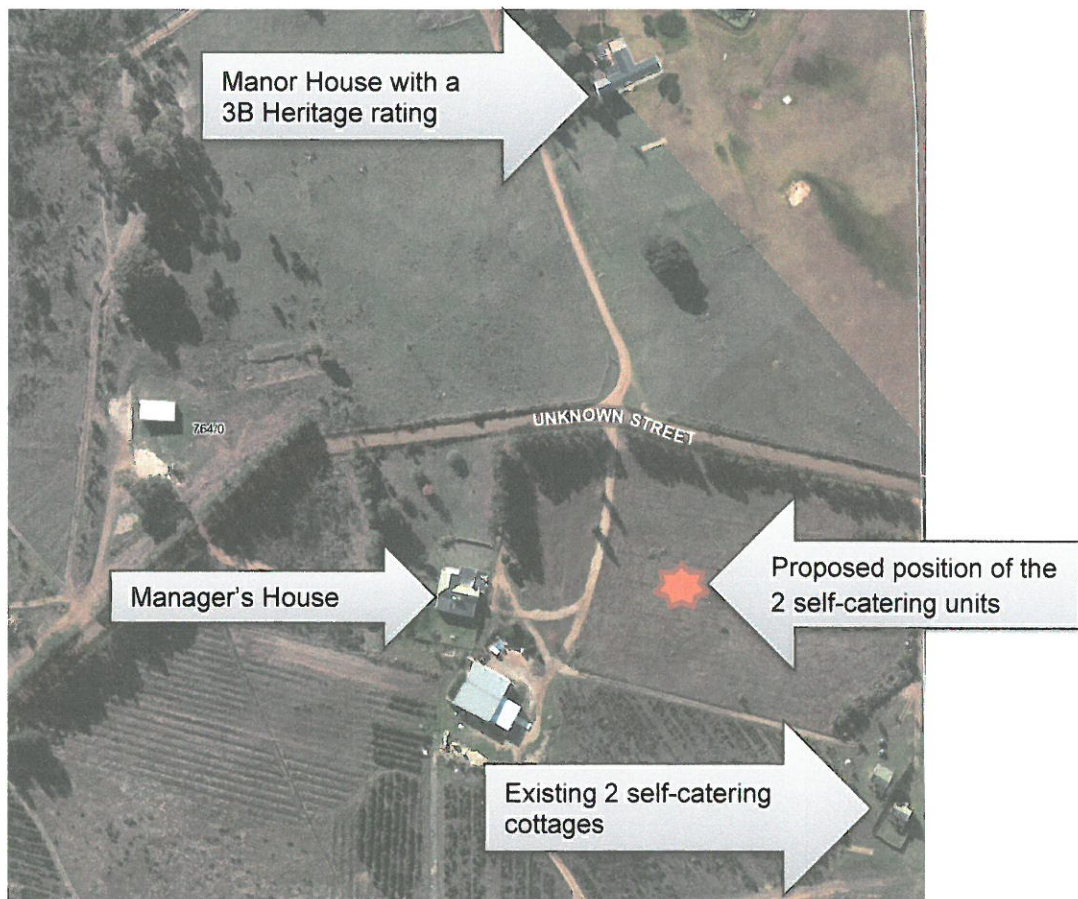


Grade 3B: Heritage resources, buildings and sites of considerable local architectural, aesthetic, social and historical value.

Grade 3B resources are, buildings and sites of considerable local architectural, aesthetic, social and historical value. This grading is applied to buildings and / or sites of a marginally lesser significance than Grade 3A, and such marginally significance militates against the regulation of internal alterations.

Motivation report

The proposed 2 self-catering units are located south of Minor Road 4033 in close proximity to the manager's house and airplane hangar. The farmstead is located $\pm 260\text{m}$ north of the proposed position of the 2 new self-catering units. The other 2 self-catering cottages are existing and they are situated some distance from the werf and have no impact on the werf. Please refer to the aerial photograph below indicating the location of the manor house in relation to the proposed 2 self-catering units and the 2 existing self-catering cottages.



From the above aerial photograph it is also clear that Minor Road 4033 bisects the farm and that the original werf is disconnected from the structures built south of the minor road. Even though the designs of the self-catering units follow the same character and style as that of the manor house (Farmstead), due to the location of the proposed self-catering units it will not have a negative impact on the farmstead and the werf.

The subject property is not associated with any important persons or groups or important events and activities. The subject property has no association with the history of slavery and is not used for living heritage.

In the light of the above mentioned it is evident that the proposed consent use will not have a negative impact on the heritage value of the subject property and can be supported.

11.2. IMPACT ON THE BIOPHYSICAL ENVIRONMENT

A minimalistic approach was taken for the placement of the proposed 2 self-catering units in close proximity to the manager's house and airplane hangar to minimise the impact on the natural environment and the existing farming activities. The other existing 2 self-catering cottages are having their rights reinstated by this application. According to our knowledge the proposed consent use does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998).

11.3. FORWARD PLANNING AND LAND USE DOCUMENTS

The ***Overstrand Spatial Development Framework (2006)*** earmarks the area where the farm Weltevrede No.764 is situated, as core agricultural area. The zoning of the subject farm will remain unchanged and the application consists of a consent use to reinstate the land use rights of 2 existing self-catering cottages and obtain rights for the 2 new self-catering units. The main land use of the farm will remain agricultural and therefore the proposed application falls within the existing planning for the area.

The ***Overstrand Municipal Growth Management Strategy (OMGMS, 2010)*** does not include the specific farm within an urban edge and is therefore not addressed in this document.

The **Overstrand Municipality Spatial Development Framework** earmarks the subject farm portion for Agricultural purposes. With reference to the Heritage Protection Overlay Zone the proposed application has no impact on Scenic Drives, Landscape Significance etc. due to the fact that is not located adjacent to specific earmarked scenic routes and has also not being labelled as being of landscape significance.

With reference to the Environmental Management Overlay Zone the farm is labelled as being within a Mountain Catchment area but is not labelled as being a Protected Area. The positioning of the 2 proposed self-catering units and the reinstatement of the land use rights of the 2 existing self-catering cottages will not have a negative impact on the mountain catchment area and can be supported.

From the above it is evident that the proposed consent use adheres to the spatial planning policies for the area and subsequently falls within the existing planning for the area.

11.4. PLANNING PRINCIPLES

The planning principles of spatial justice, spatial sustainability, efficiency and spatial resilience of this application can be described as follows:

Spatial Justice: The proposed consent use to make provision for tourist accommodation will create employment opportunities for the local residents of the area and also promote tourism. The various land uses already established on the farm attract a lot of visitors to the farm that will now be able to overnight on the farm. Guests also visit other venues and tourist facilities in the area and the increase in the number of tourists is thus also beneficial to the other established businesses in the area. In the long term the whole town would benefit from the proposal.

The owner will ensure that the proposed development compliments existing land uses and the character of the farm Weltevrede No.764. The proposed 2 self-catering units

are carefully designed to fit in with the current character and built form of the area in order to sustain the sense of place.

Spatial sustainability: The farm Weltevrede No. 764 is also known as Stanford Hills Estate, that is well known for their exceptional wine, restaurant, venue facilities, AfriCamps tents and African Wings airplane charters. Being a well-established farm offering a diversity of uses attracts a large number of guests and day visitors to the farm. They are experiencing a shortage of accommodation and by means of the addition of the 2 new self-catering units it will further contribute to the sustainability of the farm. The owner will ensure that development will not have a negative impact on the farming activities, the existing tourist related land uses and the rural character of the area.

Efficiency: The proposed consent uses are easily accessible and conveniently located on the farm Weltevrede No. 764 in close proximity to Minor Road 4033.

Spatial Resilience: Spatial resilience is not applicable to this application.

Good administration: Our company is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient, uncomplicated land use planning process. The land use application will follow due process as stipulated in the relevant municipality's bylaw and related provincial and national land use planning legislation. All measures will be taken to ensure an efficient and streamlined process within the applicable timeframes as stipulated by the Overstrand Municipality's By-law on Municipal Land Use Planning.

RECOMMENDATION

- There are no Title Deed conditions that restrict the proposed consent uses for the Farm Weltevrede No. 764,

Motivation report

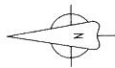
- All services can be provided on the subject farm portion to the satisfaction of the Overstrand Municipality;
- The zoning of farm portion will be retained;
- Tourism is the fastest growing land use in the Overstrand area and the farm Weltevrede No.764 is a great asset to the tourist industry;
- Diversification of the farm would have the effect that the owners would make a further income and that guests would make use of the surrounding tourist attractions that the area has to offer.
- The proposed consent use does not have a negative impact on the surrounding land uses of other farms in the area;
- The proposal is compatible with the existing built character of the area.
- The proposed consent uses will give the farm the opportunity to be further managed as a viable farm unit of which the capital can be used for the upkeep of the farmstead and the expansion of possible future farming activities.

With regards to the above mentioned it would be appreciated if the consent use application to accommodate 2 additional self-catering units and the reinstatement of the land use right for 2 existing self-catering cottages on the Farm Weltevrede No. 764 be approved.

THE FARM WELTEVREDE
NR.764

LOCALITY MAP

Skaal
Scale NTS



The farm

PL n
Town and Regional Planners
Stads- en Streeksplanners
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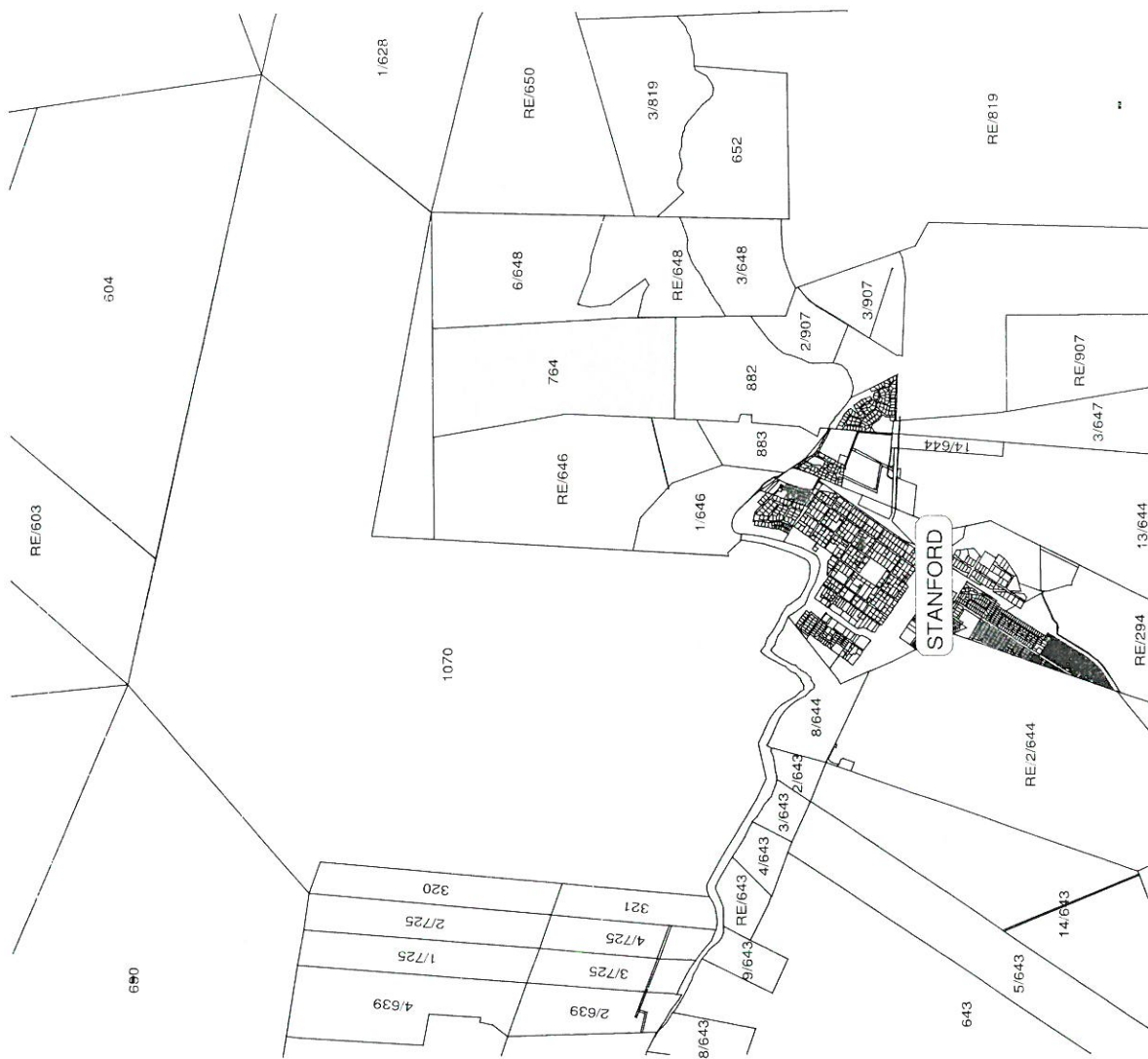
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Notes:
ALL DISTANCES APPROXIMATE
AND SUBJECT TO SURVEY

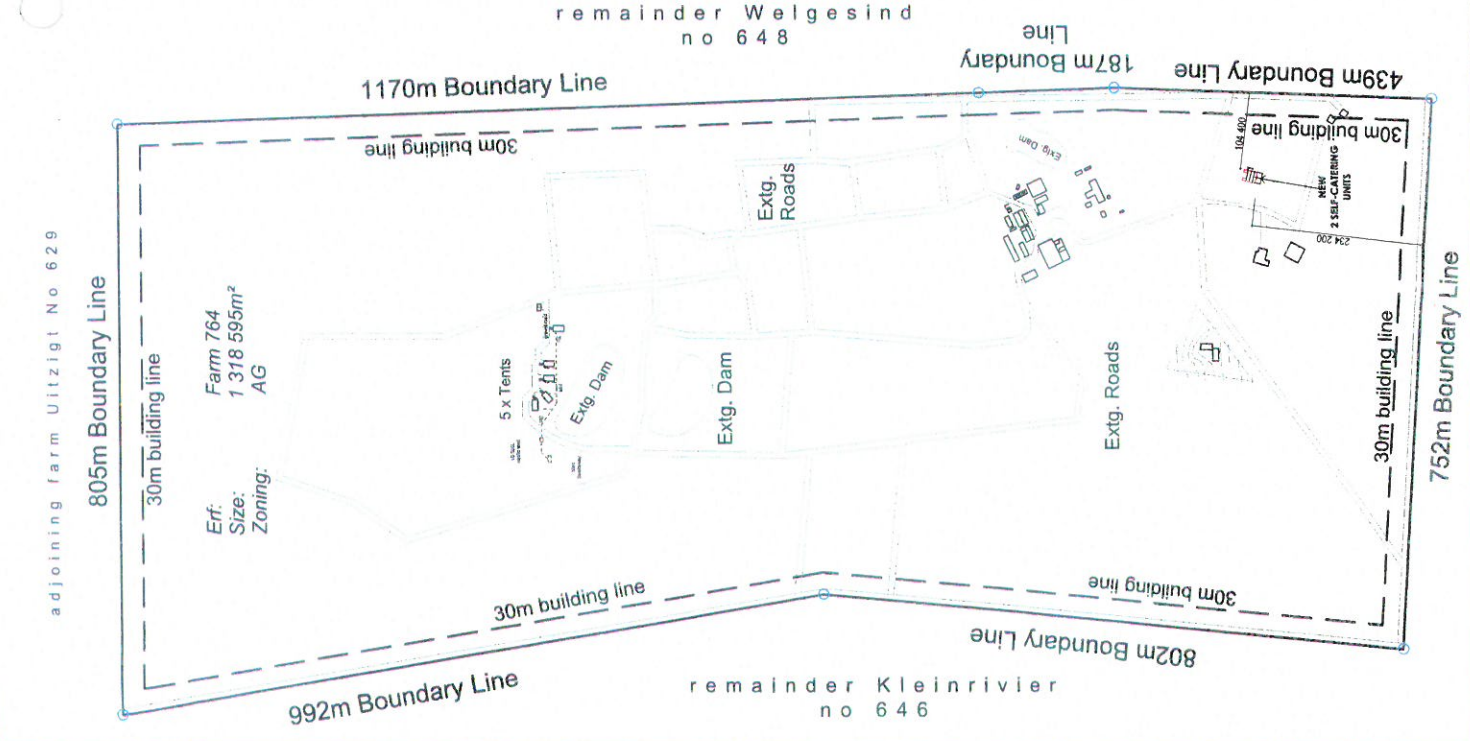
DRAWN PLAN NR./NO.

P.A farm764i.dwg

DATE: December 2021



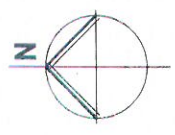
Erf	Size	Zoning
1. Sheds	142m ²	AG
2. Flat (verreikers cottage)	48m ²	
3. Store room	85m ²	
4. Workshop	85m ²	
5. Workshop	43m ²	
6. Flower dry room	43m ²	
7. Car shed	200m ²	
8. Car shed	200m ²	
9. Trucking store	440m ²	
10. Mops and ladies tablan	18m ²	
11. Cold room	18m ²	
12. Cold room	18m ²	
13. Cold room	81m ²	
14. Garage	108m ²	
15. Garage	108m ²	
16. Store wood	225m ²	
17. Dair ramp	163m ²	
18. Dair ramp	21m ²	
19. Tractor ports	28m ²	
20. Tractor ports	297m ²	
21. Pipe fittings and fittings	116m ²	
22. Main house	543m ²	
23. Main house granny flat	298m ²	
24. Main house	285m ²	
25. Main house pool	285m ²	
26. Diesel tank	285m ²	
27. Septic tanks	116m ²	
28. Septic tanks	543m ²	
29. Septic tanks	298m ²	
30. Septic tanks	285m ²	
31. Septic tanks	285m ²	
32 & 33. Ext Classroom	285m ²	
TOTAL	3168m²	



OWNERS SIGNATURE: _____
DATE: 21-06-2021
ARCHITECTS SIGNATURE: _____
DATE: 21-06-2021


CLEMMENCE ARCHITECTURE
 PRINCIPAL
 PETER CLEMMENCE
 PROFESSIONAL REGISTRATION
 PR S ARCH T 2250

CLIENT:	NEW 2 SELF - CATERING UNITS AT FARM 764, STANFORD HILLS FOR STANFORD HILLS (PTY) LTD
DESCRIPTION:	SITE PLAN/ COUNCIL SUBMISSION
SCALE:	1:100 revised as per council 14 JANUARY 2022
DATE:	14 JANUARY 2022
DRAWN:	A VAN ROOYEN
DRAWING NUMBER	REV A - 21/13/02
ALL DIMENSIONS TO BE CHECKED ON SITE	



SITE PLAN
 scale 1:5000
 SITE : 131.8595 hectare