

**PORTFOLIO COMMITTEE :  
INFRASTRUCTURE & PLANNING**

**Chairperson :**

**Cllr K Brice**

**Committee Members :**

**Cllrs D Botha, F Krige,  
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :  
INFRASTRUKTUUR & BEPLANNING**

**Voorsitter :**

**Rdl K Brice**

**Komiteelede :**

**Rdle D Botha, F Krige,  
S Tebele & V Pungupungu**

**INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE**  
**INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE**

**19 September 2018**

**I N D E X**

**ITEM**

**PAGE**  
**NUMBER**

**APPLICATIONS FOR LEAVE OF ABSENCE**

**STATEMENTS AND COMMUNICATIONS BROUGHT FORWARD BY THE  
CHAIRPERSON**

- |           |   |            |
|-----------|---|------------|
| <b>1.</b> | <b>TOWN- &amp; SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS<br/>CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JULY 2018 –<br/>AUGUST 2018</b>  | <b>1</b>   |
| <b>2.</b> | <b>ERF 2044 GANSBAAI, MASAKHANE: LEASE OF MUNICIPAL PROPERTY TO<br/>THE MASAKHANE PRE-SCHOOL</b>  | <b>109</b> |
| <b>3.</b> | <b>HERMANUS, A PORTION OF ERF 775 FISHERHAVEN: DEVIATION FROM<br/>PARAGRAPHS 18 AND 24 OF THE ADMINISTRATION OF IMMOVABLE<br/>PROPERTY POLICY OF 2015 ALLOWING THE MUNICIPALITY TO ENTER<br/>INTO A FUTHER TEMPORARY LEASE AGREEMENT WITH LAKE MARINA<br/>YACHT AND BOAT CLUB</b> | <b>116</b> |

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**1.  
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS  
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JULY 2018 – AUGUST  
2018**

15/3/11

R van Antwerp

(028) 313 8039

Hermanus Administration

20 August 2018

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**1. Executive Summary**

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 24 July 2018 – 20 August 2018.

**2. Service Delivery and Budget Implementation Plan - IGNITE**

Infrastructure and Planning  
Town- and Spatial Planning

**3. Compliance with Strategic Priority**

Promotion of tourism, economic and social development

**4. Delegated Authority**

Executive Mayor

**5. Legal Requirements**

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

**6. Background/Discussion/Evaluation/Conclusion**

**Background**

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

**7. Financial Implications**

None

**8. Staff Implications**

None

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**9. Comments from other Departments, Divisions and Administrations**

None

**10. Annexures**

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

**RECOMMENDATION :**

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 24 July 2018 – 20 August 2018:

Spatial Land Use Management Act (SPLUMA) Approvals

1.	Erf 2423 Onrustrivier	27 July 2018
2.	Portion 27 of the farm Wolvengat No. 297	28 July 2018
3.	Erf 362, De Kelders	28 July 2018
4.	Erf 430, Franskraal	28 July 2018
5.	Erven 1066 & 1067, Vermont	16 August 2018
6.	Erf 4580, Kleinmond	17 August 2018
7.	Erf 7910, Kleinmond	17 August 2018
8.	Erf 2382, Vermont	17 August 2018
9.	Erf 4231, Hermanus	17 August 2018
10.	Erven 266 & 277, Pearly Beach	17 August 2018
11.	Erf 2708, Gansbaai	17 August 2018
12.	Remainder Portion 20 Wolvengat No. 297 and Portion 30 (portion of Portion 20) Wolven Gat No. 297	17 August 2018
13.	Erf 2877, Onrustrivier	17 August 2018
14.	Erf 4500, Onrustrivier	17 August 2018
15.	Erf 2228, Hermanus	17 August 2018
16.	Erf 4135, Kleinmond	20 August 2018

Municipal Planning Tribunal

1.	Erf 3506, Onrustrivier	26 July 2018
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**AGENDA of the  
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19 September 2018  
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<b>RESPONSIBLE OFFICIAL :</b>	<b>R VAN ANTWERP</b>
<b>TARGET DATE FOR IMPLEMENTATION :</b>	<b>10 OCTOBER 2018</b>
<b>TARGET DATE TO INFORM APPLICANT :</b>	<b>N/A</b>
<b>TARGET DATE TO INFORM OBJECTOR :</b>	<b>N/A</b>

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**1.  
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS  
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JULY 2018 – AUGUST  
2018**

**15/3/11**

**R van Antwerp**

**(028) 313 8039**

**Hermanus Administration**

**20 August 2018**

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**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON  
19 SEPTEMBER 2018, WHICH COMMITTEE SUPPORTED THE  
RECOMMENDATION**

**RESPONSIBLE OFFICIAL :**

**R VAN ANTWERP**

**TARGET DATE FOR IMPLEMENTATION :**

**10 OCTOBER 2018**

**TARGET DATE TO INFORM APPLICANT :**

**N/A**

**TARGET DATE TO INFORM OBJECTOR :**

**N/A**

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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Spatial Land Use Management Act (SPLUMA) Approvals

**1. ERF 2423, 18 MCFARLANE STREET, ONRUS RIVER, OVERSTRAND  
MUNICIPAL AREA: PROPOSED DEPARTURE: ZA STOFFBERG**

**2423 HON (3929)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**18 July 2018**

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**Executive Summary**

An application has been received on 15 February 2018 from ZA Stoffberg on Erf 2423, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the lateral building line with Erf 3368 from 2m to 0m and the lateral building line with Erf 2422 from 2m to 1m, in order to accommodate an extension to the existing garage and enclosed sunroom respectively.

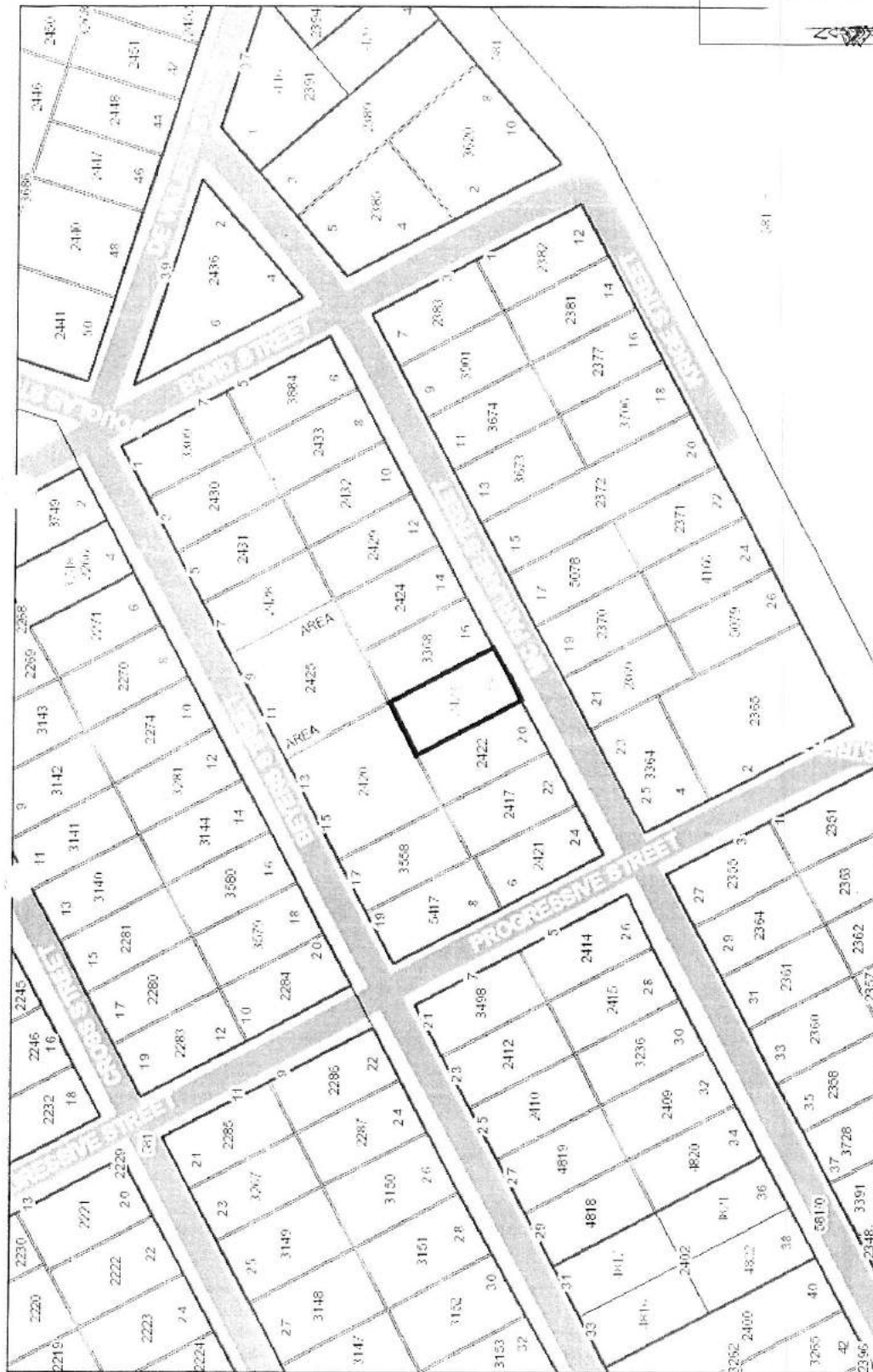
**RESOLVED :**

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 2423, Onrustrivier to relax the western lateral building line from 2m to 1m and the eastern lateral building line from 2m to 0m to accommodate a sun room and garage extension respectively, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on plan no. 2018/01/04 dated 26 January 2018, submitted with the application;
  - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (d) that all the conditions in the Services Report, be complied with;
  - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with at that stage, and
  - (f) that all the conditions of Eskom, be complied with.

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



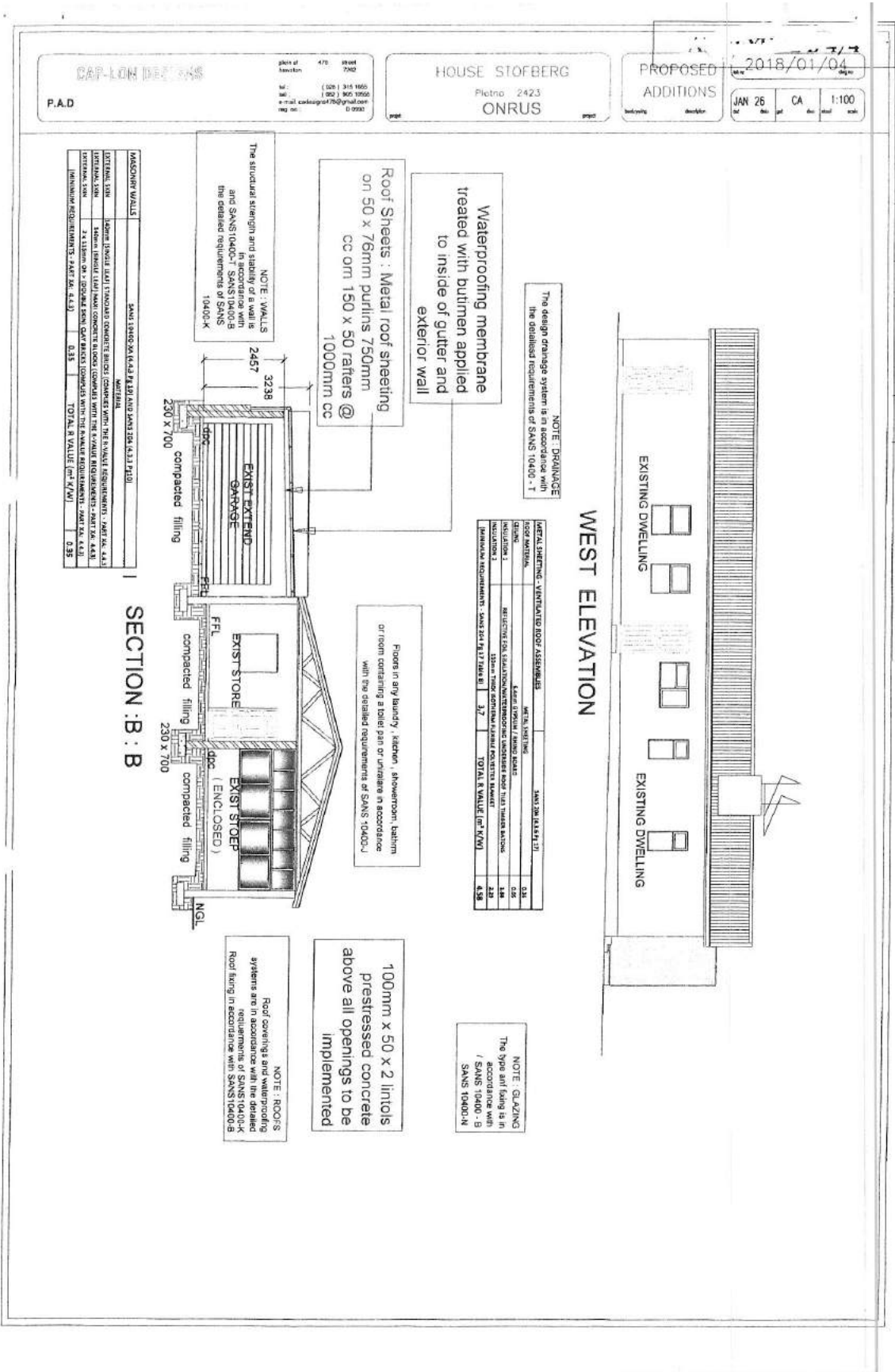
Erf 2423 Onrus River

Date: 2018-03-07









**CAP-LOW DESIGN**

P.A.D

phone 476 8867  
fax 476 8867  
tel: (021) 314 1665  
(021) 305 1060  
e-mail cadesign@caplow.co.za  
reg no: 10000

**HOUSE STOFBERG**

Plotno 2423  
**ONRUS**

**PROPOSED ADDITIONS**

2018/01/04

JAN 26 2018 CA 1:100

**MASONRY WALLS**

INTERNAL U-VALUE	0.20	0.20	0.20
EXTERNAL U-VALUE	0.20	0.20	0.20
INTERNAL SURFACE RESISTANCE	0.12	0.12	0.12
EXTERNAL SURFACE RESISTANCE	0.12	0.12	0.12
<b>TOTAL U-VALUE (per m<sup>2</sup>)</b>	<b>0.35</b>	<b>0.35</b>	<b>0.35</b>

**NOTE : DRAINAGE**  
The design drainage system is in accordance with the detailed requirements of SANS 10400 - 1

**Waterproofing membrane treated with butmen applied to inside of gutter and exterior wall**

**Root Sheets : Metal roof sheeting on 50 x 76mm purlins 750mm cc om 150 x 50 rafters @ 1000mm cc**

**NOTE : WALLS**  
The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-K

**METAL SHEETING - VENTILATED ROOF ASSEMBLY**

ROOF MATERIAL	METAL SHEETING	U-VALUE	0.24
GLAZING	GLASS	U-VALUE	0.26
INSULATION 1	100mm POLYURETHANE INSULATION	U-VALUE	0.18
INSULATION 2	100mm POLYURETHANE INSULATION	U-VALUE	0.18
<b>MINIMUM REQUIREMENTS - SANS 10400-J</b>	<b>3.7</b>	<b>TOTAL U-VALUE (per m<sup>2</sup>)</b>	<b>0.86</b>

**Rooms in dry laundry, kitchen, showerroom, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J**

**SECTION : B : B**

**NOTE : ROOFS**  
Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-K  
Roof fixing in accordance with SANS 10400-B

**100mm x 50 x 2 lintols prestressed concrete above all openings to be implemented**

**NOTE : GLAZING**  
The type and fixing is in accordance with SANS 10400 - B  
SANS 10400-N

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2423, ONRUS RIVER (3929)**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2423, Onrus River, unobstructed;
5. that no on-street parking be allowed.

p.p. R. Hendriks  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

21/01/2018  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
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**2. PORTION 27 OF THE FARM WOLVENGAT NO. 297, A DIVISION OF BREDASDORP: APPLICATION FOR DEPARTURE: MESSRS PAUL C BOSHOFF-ARCHITECT ON BEHALF OF THE JAVA PROPERTY TRUST**

**297/27 GRBRE (3946)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**11 July 2018**

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**Executive Summary**

An application for departure was received on 22 March 2018 from Messrs Paul C Boshoff Architect on behalf of the Java Property Trust for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to encroach the 10m street and lateral building line to 4m in order to accommodate a proposed shed as well as a bedroom for use by a labourer in a portion of an existing outbuilding.

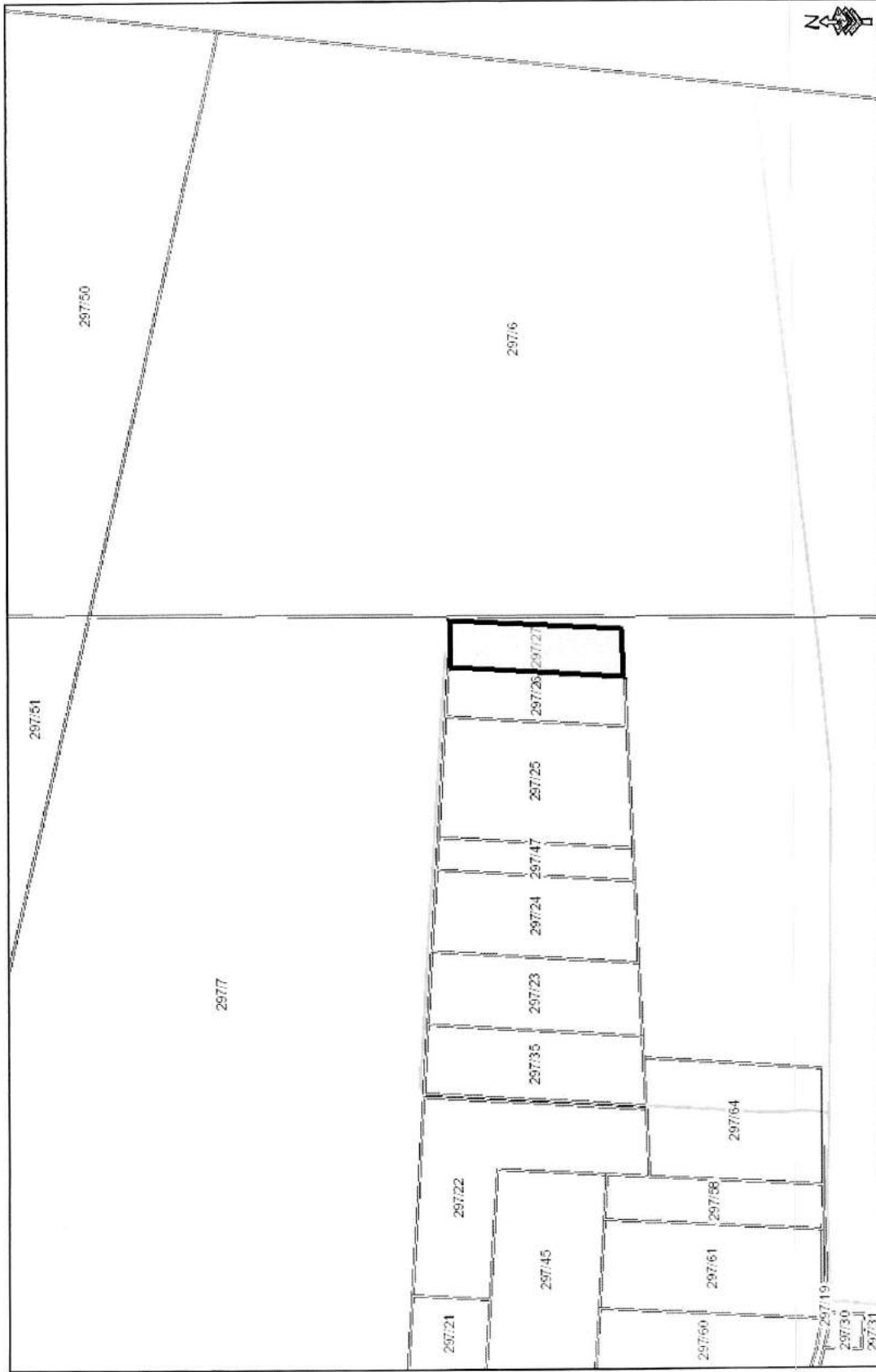
**RESOLVED :**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Portion 27 of the farm Wolvengat No 297, Bredasdorp Division, in order to encroach the 10m northern building lines to 4m and the 10m western building line to 4m and 3m respectively, to accommodate a proposed outbuilding and conversion of an existing outbuilding, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval only be applicable to the departure indicated on the Site Plan as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval;
  - (c) that the bedroom addition may not be converted into a dwelling unit without municipal approval;
  - (d) that all the conditions in the Services Report, be complied with;
  - (e) that the outbuildings may only be utilised for the purposes of an outbuilding in accordance with the provisions of the Zoning Scheme Regulations;

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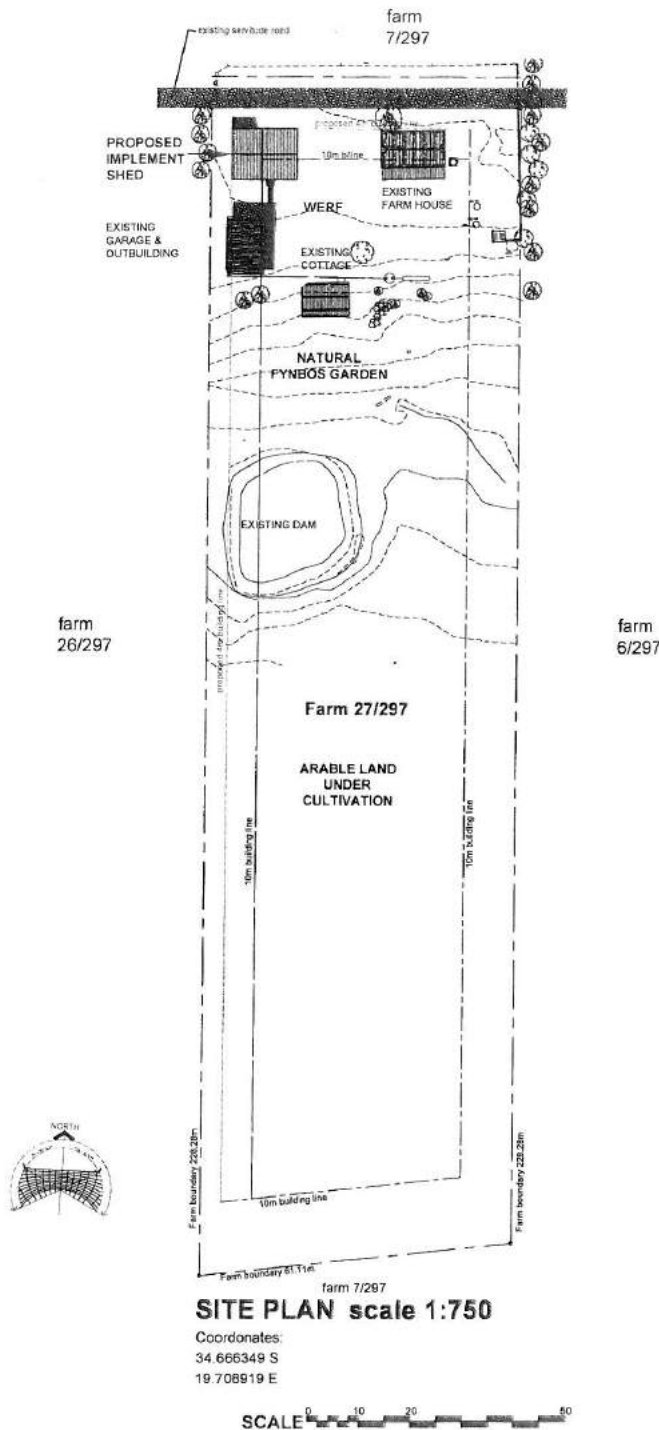
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- (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN - PORTION 27 OF FARM 297, WOIVENGAT

Date: 2018-04-06



**Notes:**  
 This drawing is subject to copyright and may only be used for its explicit intent. Figured dimensions only are to be used, any discrepancies to be notified to the architect for rectification. All work to comply with NBR and local authority regulations.

**AREA CALCS:**

Site	1.3677 ha
Shed (New)	130.00 m <sup>2</sup>
Bedroom	27.53 m <sup>2</sup>
Covered Walkway	32.32 m <sup>2</sup>
<b>S/Total</b>	<b>189.85 m<sup>2</sup></b>
Exist Outbuilding	49.52 m <sup>2</sup>
Exist Garage	19.71 m <sup>2</sup>
Exist Farmhouse	116.40 m <sup>2</sup>
Exist Cottage	60.00 m <sup>2</sup>
Exist Pump house	5.40 m <sup>2</sup>
<b>TOTAL</b>	<b>440.88 m<sup>2</sup></b>

Coverage  $[0.44/13.78]*100 = 3.2\%$

**DEPARTURE:**  
 Council Submission

**Revisions:**

05/05/18	1. indicating 10m building line
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Client:

Architect:

Project:

**Proposed  
 Alteration and Addition  
 on  
 WOLVENGAT FARM 297/27  
 for  
 JAVA PROPERTY TRUST  
 IT1085/2005**

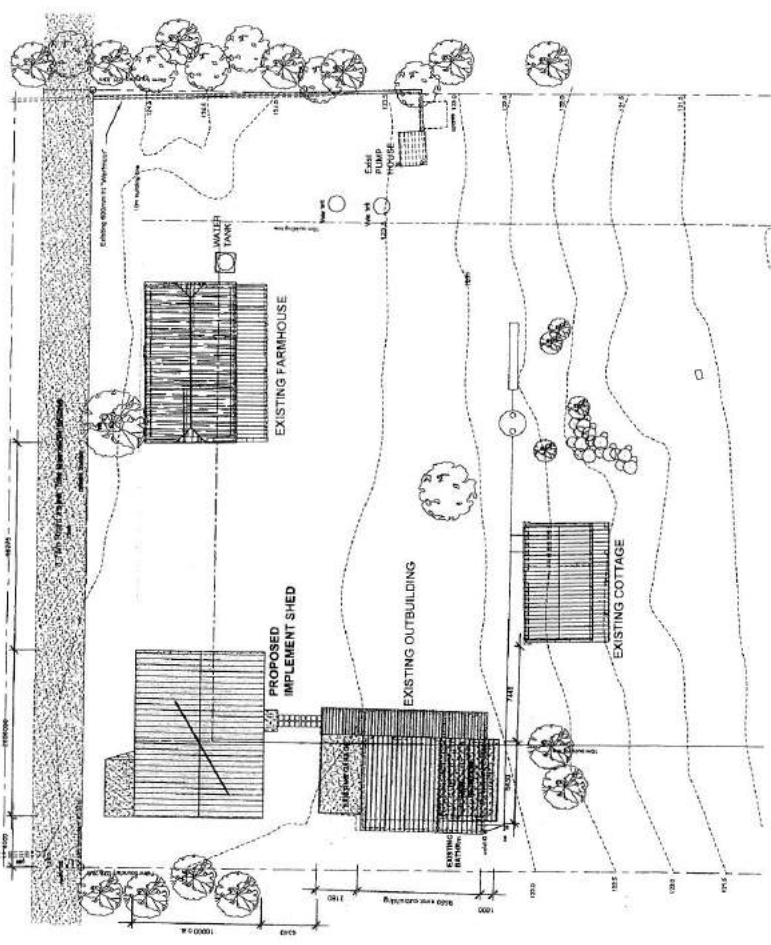
Drawing:

**SITE / DEVELOPMENT PLAN**



**Paul C Boshoff**  
 Pr Architect  
 SACAP - PrArch 7821  
 paulcbo@19kmsa.net  
 Tel: 021 219 4724 Cell: 082 219 2127

Drawn: PcB	Project no: <b>2016/05</b>
Date: 08-03-18	Drawn no: 0
Scale: As shown	Attachment no: 1



DETAILED SITE PLAN scale 1:200

**NOTES:**  
 This drawing is subject to copyright and may only be used for the project for which it was prepared. Any dimensions only are to be used, any discrepancies to be notified to the architect for rectification.  
 All work to comply with NBS and local authority requirements.

**DEPARTMENT:**  
 Council Submission

**Revisions:**

NO. 001	DATE 11/08/2008	DESCRIPTION

**Client:**

**Architect:**

**Project:**  
 Proposed Alteration and Addition on WOLVENGAT FARM 297127 for JAVA PROPERTY TRUST  
 IT10852083

**Drawing:**

Scale	1	1
Sheet	1	1
Date	08/03/18	2016105
Author	FcB	
Drawn		
Checked		

**Paul C Boshoff**  
 Pr Architect  
 SACAP - PRACT 787  
 1110852083



**NOTES:**  
 This drawing is subject to copyright and may only be used for its original intent. All dimensions are in millimeters unless otherwise stated. All work to comply with NBS and local authority regulations.  
 This drawing to be read in conjunction with the developer's drawing 1201/271

**Council Submission**

**Revisions:**

NO.	DATE	DESCRIPTION
1	12/01/18	FOR DEVELOPER'S REVIEW

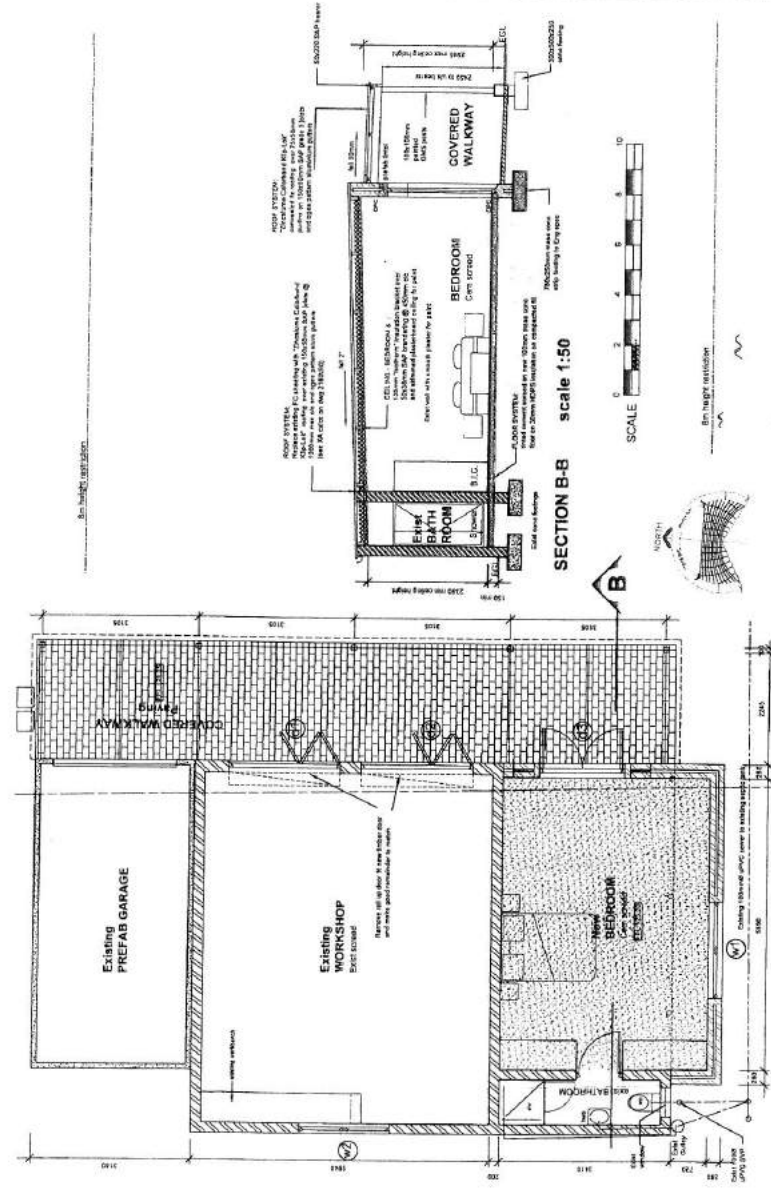
**Client:** \_\_\_\_\_

**Architect:** \_\_\_\_\_

**Project:** Proposed Alteration and Addition on WOLVENGAT FARM 28727 for JAVA PROPERTY TRUST 171045999

**Drawing:** Detail Layout and Sections: OUTBUILDING

**Paul C Boshoff Pr Architect**  
 171045999  
 2016105  
 01/01/18  
 4  
 1



**NOTES:**  
 This drawing is subject to copyright and may only be used for its original intent. All dimensions are in millimeters unless otherwise stated. All work to comply with NBS and local authority regulations.  
 This drawing to be read in conjunction with the developer's drawing 1201/271

**Council Submission**

**Revisions:**

NO.	DATE	DESCRIPTION
1	12/01/18	FOR DEVELOPER'S REVIEW

**Client:** \_\_\_\_\_

**Architect:** \_\_\_\_\_

**Project:** Proposed Alteration and Addition on WOLVENGAT FARM 28727 for JAVA PROPERTY TRUST 171045999

**Drawing:** Detail Layout and Sections: OUTBUILDING

**Paul C Boshoff Pr Architect**  
 171045999  
 2016105  
 01/01/18  
 4  
 1

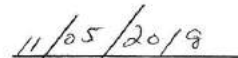
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: PTN 27 OF FARM 297, WOLVENGAT  
(3946)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any water and the distraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Senior Manager : Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWAE for approval;
5. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs.

  
**DENNIS HENDRIKS**  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
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**3. ERF 362, 38 MAIN ROAD, DE KELDERS: PROPOSED DEPARTURE:  
L JANSEN VAN VUUREN**

**362 GDK (3971)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**19 July 2018**

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**Executive Summary**

An application was received on 11 April 2018 from the owner of Erf 362, De Kelders, L Janse van Vuuren, for an application for departure in terms of Section 16(2)(b) in order to depart from the 2,1m height restriction applicable to boundary walls to construct a boundary wall which will deviate in height up to 2,75m.

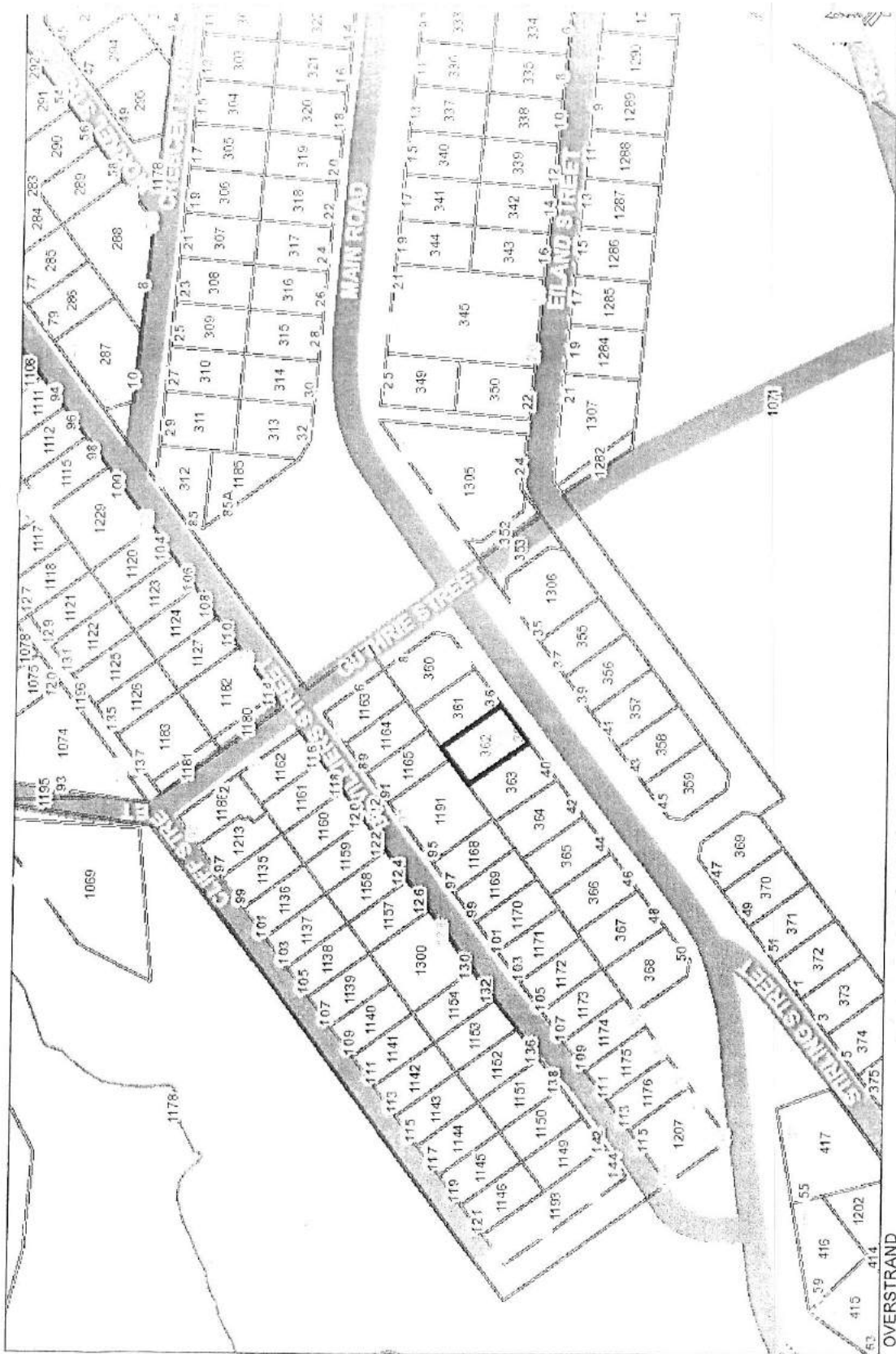
**RESOLVED :**

1. that in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 the application on Erf 362, De Kelders in order to depart from the 2,1m height restriction for boundary walls to legalise the existing boundary walls which will deviate in height up to 2,75m, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that a building plan be submitted to the Building Department for approval;
  - (b) that the approval is only for the relaxation of the height of the boundary wall as indicated on the Site Development Plan as submitted with the application;
  - (c) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
  - (d) that no filling be allowed within the building lines which is higher than 1m from the natural ground level;
  - (e) that all the conditions contained in the comment from Operational Services, be noted;
  - (f) that all the conditions in the Services Report, be adhered to, and
  - (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



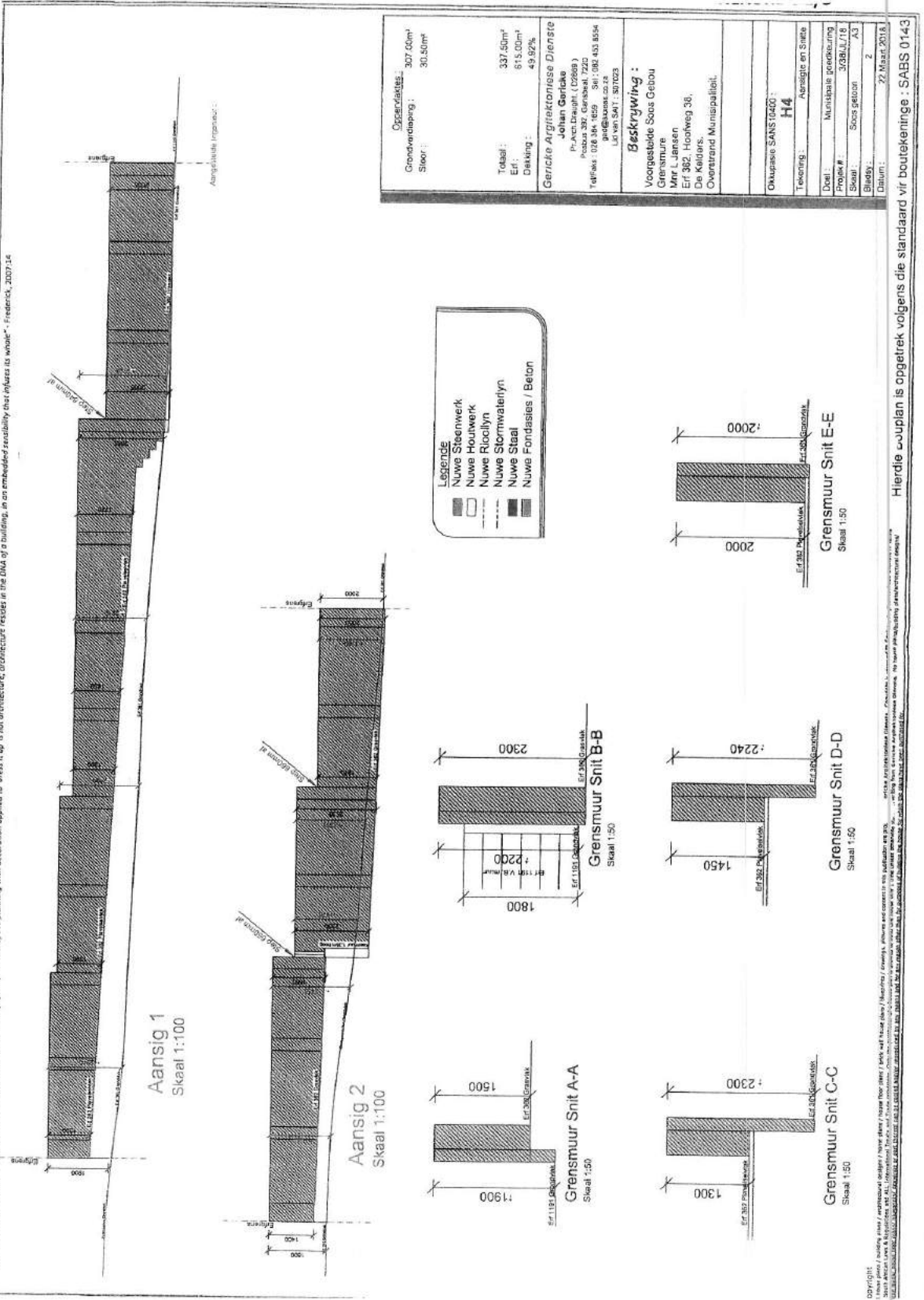
Erf 362 De Kelders Locality Plan

OVERSTRAND





"Without unbidding price informing their buildings, architects are merely space planners. Space planning with decoration applied to 'dress it up' is not architecture, architecture resides in the DNA of a building, in an embedded sensibility that informs its whole" - Frederick, 2007:14



**Legende**

- Nuwe Steenwerk
- Nuwe Houtwerk
- Nuwe Rociolyn
- Nuwe Stormwaterlyn
- Nuwe Staal
- Nuwe Fondasies / Beton

Operasies:	307,50m <sup>2</sup>
Grondoppervlakte:	30,50m <sup>2</sup>
Totaal:	337,50m <sup>2</sup>
Erf:	615,00m <sup>2</sup>
Dekking:	49,92%

**Gerieks Argitektoniese Dienste**  
**Johan Gerieks**  
 Pr. Act. Draught. (12968)  
 Posbus 307, Gereskool, 7220  
 Tel/Fax: 018 486 1029 / 018 486 433 8094  
 e-mail: johang@gerieks.co.za  
 Litsens No. SA 1 : 5017023

**Beskrywing :**  
 Voorgeselde Soos Gebou  
 Grensmuur  
 Mnr. L. Jansen  
 Erf 362, Hoofweg 36,  
 Die Kelders,  
 Overstrand Munisipaliteit.

Okupasie SANS 10400 :  
**H4**

Tekening : Aansigte en Snie

Doel : Munisipale goedkeuring

Proef # : 30881 / 18

Skool : Soos gebou

Bladsy : 2

Datum : 22-Maart-2018

Hierdie oopplan is opgetrek volgens die standaard vir boutekeninge : SABS 0143

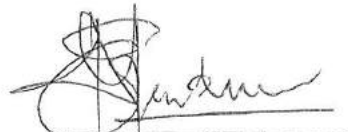


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 362, DE KELDERS (3971)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

**Conditions:**

1. that only the existing water connection and sewer conversancy tank will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 362, De Kelders, unobstructed;
6. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

13/6/2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**4. ERF 430, 193 SEA VIEW DRIVE, FRANSKRAAL, OVERSTRAND MUNICIPAL AREA: DEPARTURE: LOGO HOMES (PTY) LTD ON BEHALF OF JG CARINUS)**

**430 GFK (3966)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**16 July 2018**

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**Executive Summary**

An application has been received on 5 April 2018 from Logo Homes (Pty) Ltd on behalf of the registered owner of Erf 430, Franskraal, JG Carinus, for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the eastern lateral building line from 2m to 1,6m in order to accommodate a proposed TV room addition in line with the existing flank elevation of the house.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 430, Franskraal for departure in order to relax the eastern 2m lateral building up to 1,6m in order to accommodate a proposed tv room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval only be applicable for the encroachment indicated on the Site Plan as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all the conditions in the Services Report, be complied with;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan Erf 430 Erandreef

OVERSTRAND



**General Notes:**

- All work to be done in accordance with SANS 10032 practice for Timber Frame Buildings.
- All work to comply to municipal, provincial and standard building regulations.
- All details to be approved by Engineer.
- All timber to be treated in accordance with SANS 10400 unless otherwise stated.
- No part of building or boundary wall to encroach on any public or private property.
- Close of party walls to N.B.I.T. Regulations.
- Finish Floor Level to be confirmed on site by contractor.

**Floor:**  
 100mm Concrete slab on 250 micron DPM on well compacted fill, compacted in layers not exceeding 150mm, rising 600 x 230. To engineer's spec.  
**Walls:**  
 Studs & rails to be 114 x 38, studs @ 400c/c max. Walls clad externally with 6mm ply & 150mm handy plank, 12mm Rhinoboard to all walls. Both in bedrooms, study and passage. Double studs to all bedrooms.  
**Roof/Ceiling:**  
 Zinc/Alum roof sheets on 76 x 30 purlin on exposed rafters all to engineer detail. Spilshaken in roof. Each rafter tied down with hoop iron wrapped around and nailed to stud. Colour to owner.  
**Glazing:**  
 Windows and windows in excess of 1m<sup>2</sup> or less than 500mm above F.L. windows, access boarded side pitch line of stairs, show fronts, access boarded side lights to be safety glass. All the above to be in accordance with SABS Q137. All glazing to comply with SABS 10 400 - Part N.  
**Garage (if any):**  
 Details to be specified by owner and to conform with SAE design guidelines.  
**All concrete, timber & steel work to structural engineer's specification and detail.**

**CLIENT:**  
**RESIDENCE CARINUS**

**PROPOSED ALTERATIONS/ADDITIONS FOR:**  
 Erf 430  
 Seaview Road  
 Fransfontein

**SCALE:** AS SHOWN

**DRAWING:** Basement

**DRAWING #:** 399-002

**DESIGNED BY:** Alan Falme

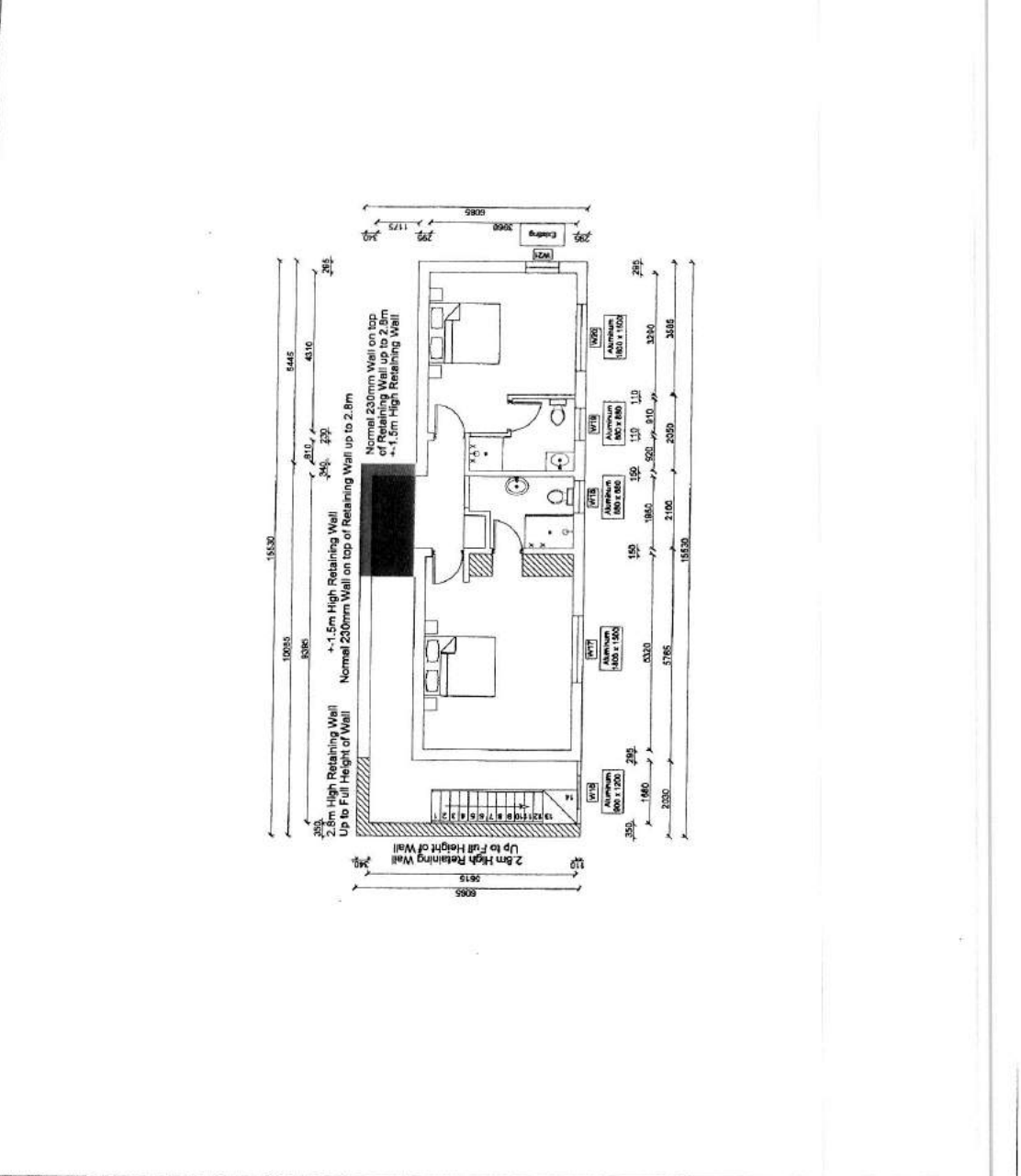
**DRAWN UP BY:** Johann Marais

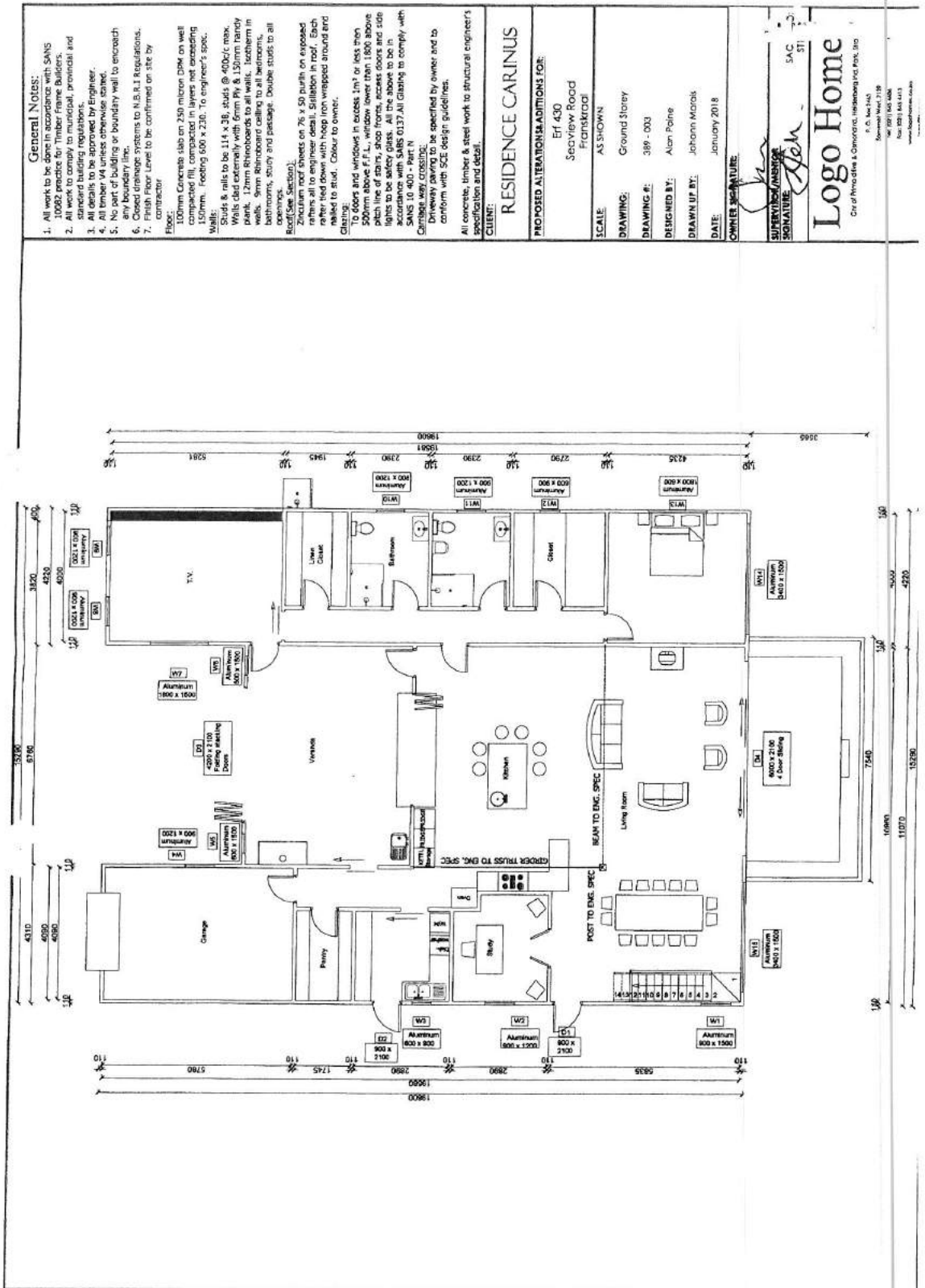
**DATE:** January 2018

**OWNER SIGNATURE:** *[Signature]*

**SUPERVISOR/ENGINEER SIGNATURE:** *[Signature]* SACPA STI

**Logo Home**  
 City of Johannesburg & eGangas and Part, Inc.  
 P. O. Box 5415  
 Springside, Midrand 2008  
 Tel: 011 443 4433  
 www.logohome.co.za









**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 430, FRANSKRAAL (3966)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 430, Franskraal, unobstructed;
6. that no on-street parking be allowed.

*p.p. R. Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*11/05/2018*  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

**5. ERVEN 1066 AND 1067, 13 & 15 KRINTANG CRESCENT, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSOLIDATION: MESSRS GEOMATICS AFRICA ON BEHALF OF BJ LUDEKE**

**1066 & 1067 HVM (3948)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**10 August 2018**

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**Executive Summary**

Application has been received on 20 March 2018 from Messrs Geomatics Africa on behalf of BJ Ludeke on Erven 1066 and 1067, Vermont for the consolidation of Erven 1066 and 1067, Vermont in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

**RESOLVED :**

1. that the application for consolidation of Erven 1066 and 1067, Vermont in terms of Section 16(2)(e) of the Overstrand By-Law on Land Use Planning, 2015 (By-Law), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the consolidation as indicated on the diagram from Messrs Geomatics Africa compiled March 2018, submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (e) that all the conditions in the Services Report, be complied with;
  - (f) that the conditions imposed by Eskom, be complied with, and
  - (g) that, should any existing municipal services be required to be moved, it be at the applicant's/owner's cost.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



SCALE 1: 200

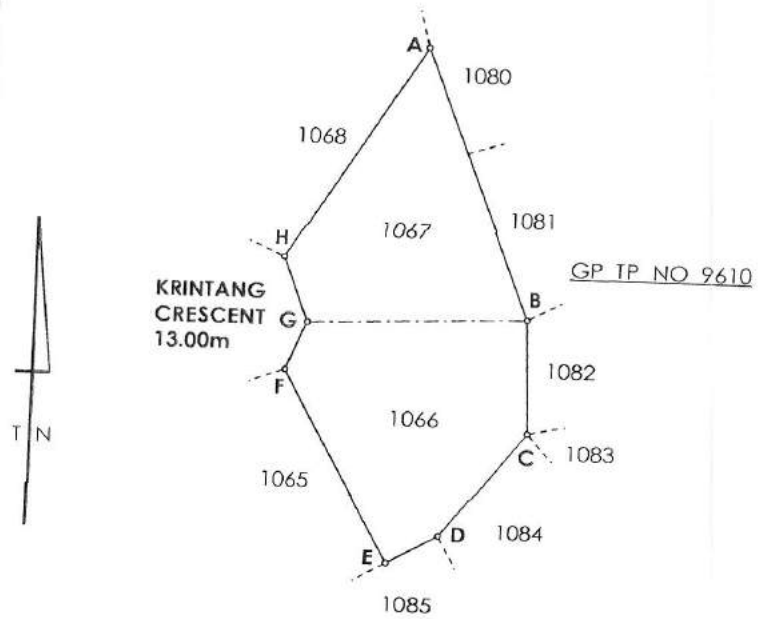
**Components:**

1. The figure ABGH represents Erf 1067 Vermont, vide GP TP No.9610.
2. The figure GBCDEF represents Erf 1066 Vermont, vide GP TP No.9610.0

S.G. No.

Approved

Surveyor-General



Scale 1: 200

The figure A B C D E F G H represents 1373 Square Metres of land, being

**ERF VERMONT (Comprising 1 and 2 as above)**

situate in Vermont Township Ext. 2 in the Overstrand Municipality Administrative District of Caledon Province Western Cape Compiled in March 2018 by me

**NA Clark**  
Professional Land Surveyor  
Registration Number PLS 1072

This diagram is annexed to  No. dated  i.f.o. Registrar of Deeds	The original diagrams are as indicated above	File No. S.R. No. Comp.AI-3CB/Y23(444)
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSOLIDATION: ERVEN 1066 & 1067, VERMONT (3948)**

Stormwater (SW) : In Order  
Electricity : Eskom Area  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that the new water connection to the consolidated erf shall be used to service the consolidated erf consisting of Erven 1066 & 1067;
2. that the proposed consolidated erf consisting of Erven 1066 & 1067 must be provided with adequate small-bore sewer tanks, which must comply with the standards and specification of the Department: Operational Services;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through the proposed erven, Vermont, unobstructed;
8. that no on-street parking be allowed.

*p.p. M. Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*01/08/2018*  
**DATE**



**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**6. ERF 4580, 18 THIRD AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: S SCHUTTE ON BEHALF OF THE SC ROSSOUW EN SEUNS TRUST**

**4580 KKM (3867)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**30 July 2018**

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**Executive Summary**

An application has been received on 28 November 2017 from S Schutte on behalf of the SC Rossouw en Seuns Trust on Erf 4580, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the lateral building line with Erf 4581 from 2m to 0,87 to accommodate a use change from an outside room to a bedroom as part of the main dwelling, simultaneously to brick the existing doors.

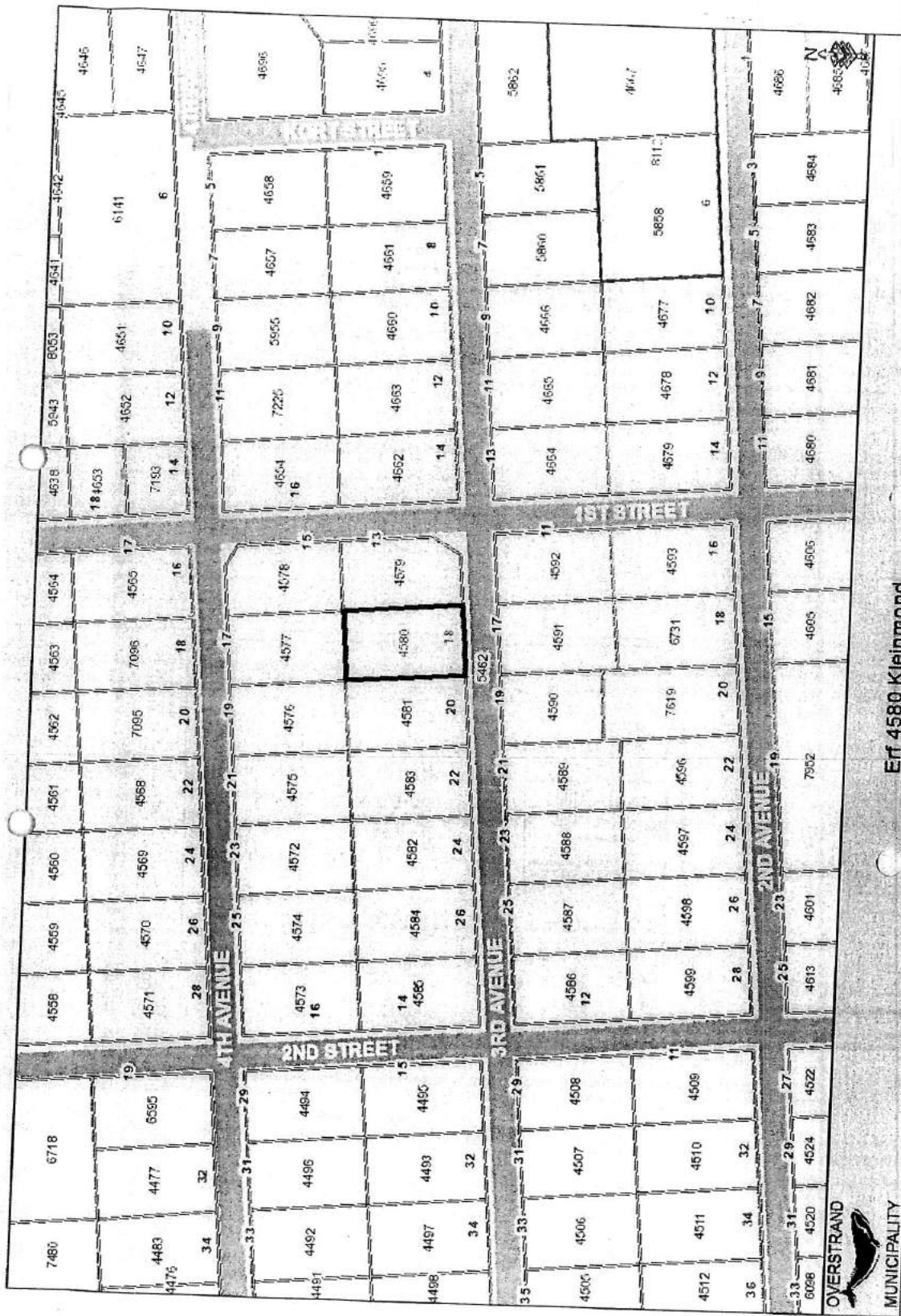
**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 7910, Kleinmond for a departure to relax the lateral building line from 2m to 0,87m to accommodate the conversion of an outbuilding room to be incorporated into the existing bedroom and closure of two (2) outside doors, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the building plan dated 31/10/2017 as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (e) that all the conditions in the Services Report, be complied with.

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



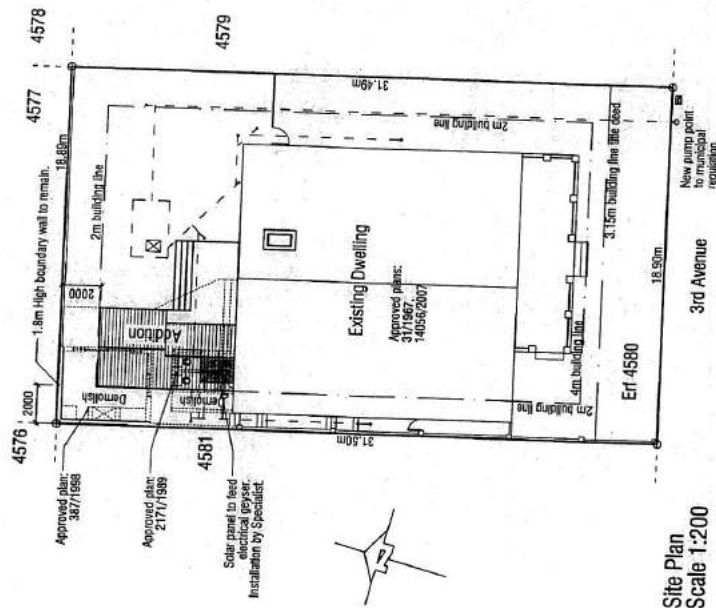
Date: 2017-12-06

Erf 4580 Kleinmond



All deviations from plan, however minor, must be reported to and approved by the Architect in writing. Failure to do so will absolve the Architect of ANY further responsibility relating directly or indirectly to the deviations.

*Handwritten signature/initials*



Site Plan  
Scale 1:200

Areas:		24.90m <sup>2</sup>	
Addition	Footprint	238.78m <sup>2</sup>	
Er	Coverage	59.5%	
Class of occupancy of building		H4	
Occupancy	Dwelling House		
Population		8	
Orientation		North	
Climatic Zone		4 - Temperate Coastal	
Scaled dimensions invalid. All measurements to be checked on site before work commences. Copyright reserved. Any discrepancies or errors must be reported to the Architect.			
<b>Sandra Schutte</b> B.Arch(UP) Pr Arch, MArch,CA Tel & Fax 082 471 7239 121 Main Road PO Box 08 Kleinmond 7195 ds@vokale@telkomsa.net			
Client	SACAP Reg No: Pr Arch 21077		
SC ROSSOUW & SEUN TRUST		1442	
Owner Signature			
Project Town Planning Application Proposed additions and alterations to existing dwelling Erf No. 4580 18 3rd Avenue Kleinmond			
Drawing			
Site Plan			
Scale	1:200		
Drawn	LS	Checked	SS
Project No	B-641-K	Revision	0
Date	2017/10/31		
Sheet No	1 of 5		



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4580, KLEINMOND (3867)**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4580, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

*D.P. R. Oudhof*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*11/05/2019*  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

**7. ERF 7910, 1 EL-SHAMMAH, HAEMANTHUS AVENUE, KLEINMOND,  
OVERSTRAND MUNICIPAL AREA : PROPOSED DEPARTURE : A VAN ZYL**

**7910 KKM (3887)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**30 July 2018**

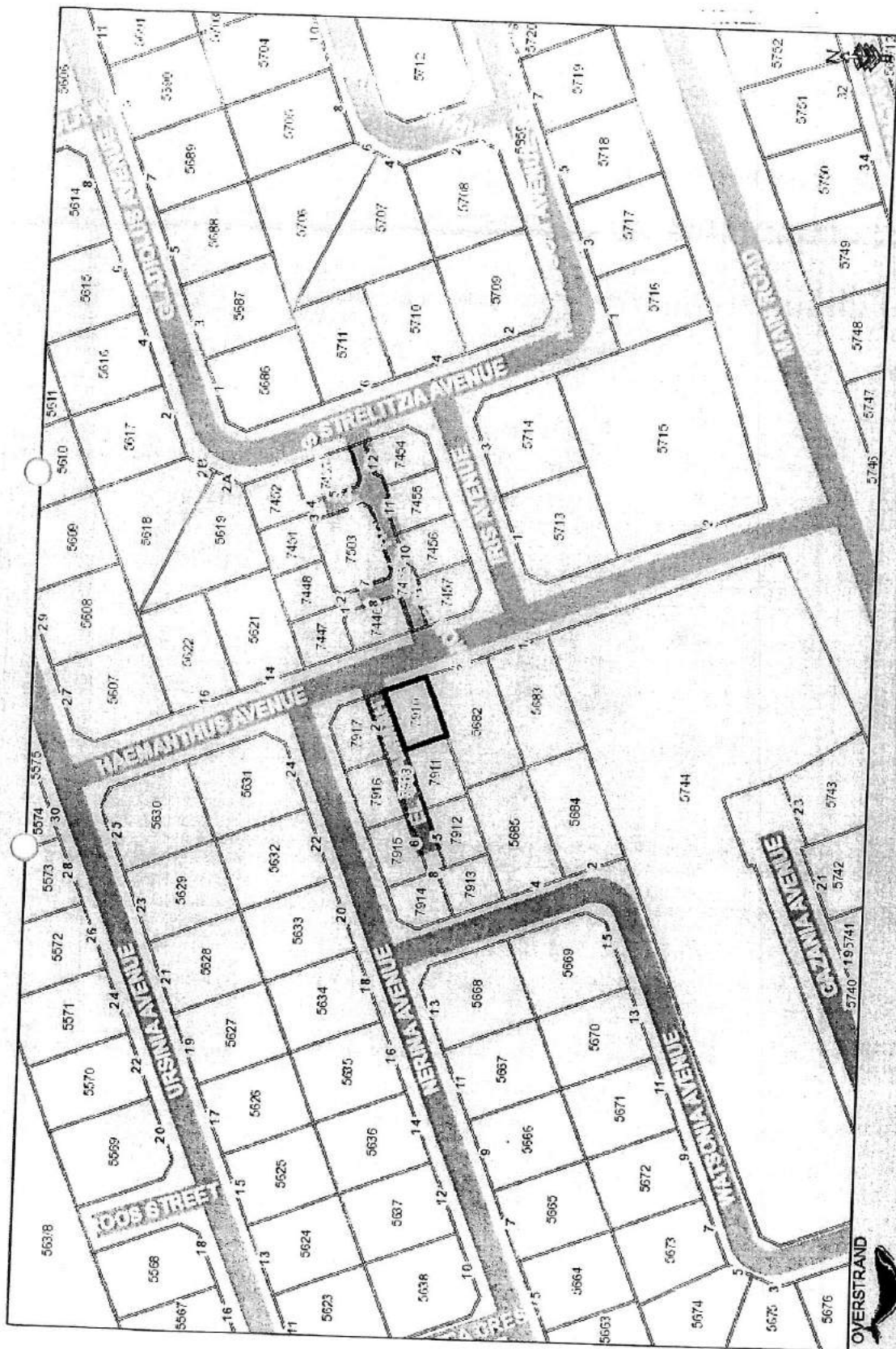
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**Executive Summary**

An application has been received on 14 December 2017 from A van Zyl on Erf 7910, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the rear building line with Erf 7911 from 3m to 2m to change the use of a garage to living space.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 7910, Kleinmond for a departure to relax the rear lateral building line from 3m to 2m to accommodate the conversion of a garage into a sewing room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the conversion of the garage into a sewing room;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



Erf 7910 Kleinmond







**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 7910, KLEINMOND (3887)**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 7910, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

D.P. Hendriks  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

11/05/2019  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

**8. ERF 2382, 2 ROCKHOPPER STREET, VERMONT, OVERSTRAND  
MUNICIPAL AREA: PROPOSED AMENDMENT OF SITE DEVELOPMENT  
PLAN: DJ & GT MIDDLETON**

**2382 HVM (3947)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**2 August 2018**

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**Executive Summary**

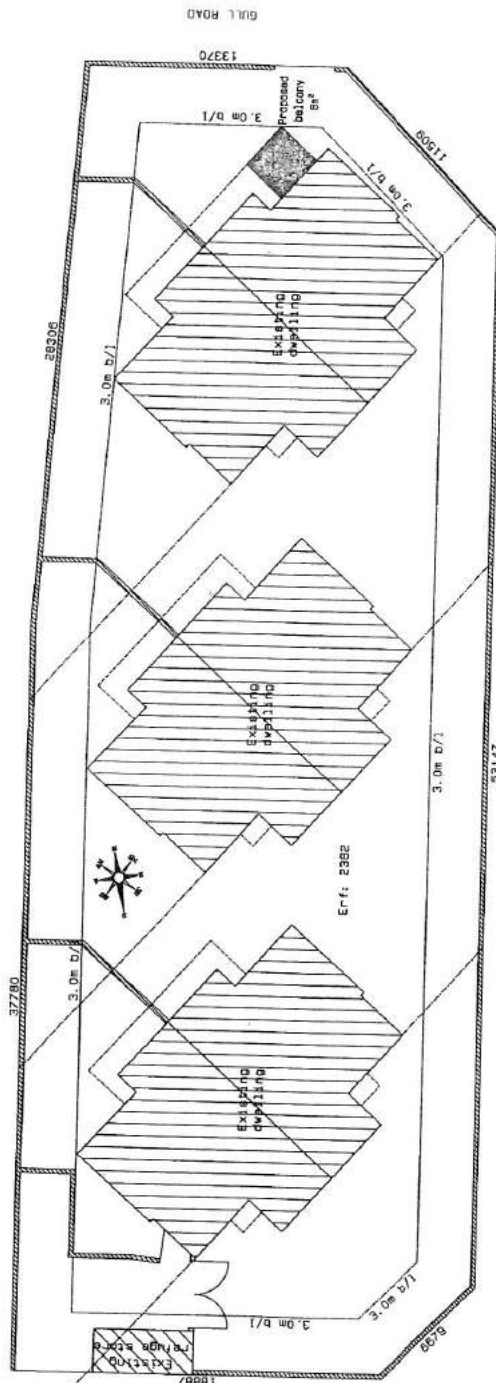
An application has been received on 22 March 2018 from DJ & GT Middleton on Erf 2382, Vermont for an application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to amend the Site Development Plan.

**RESOLVED :**

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) of an application in terms of Section 16(2)(l) to amend the Site Development Plan for the Fynbos Development on Erf 2382, Vermont as indicated on the attached Site Development Plan dated 4/11/2016, **be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ANNEXURE A



Site plan scale 1:200

FINANCY BAY CORPORATION  
 CHAIRPERSON

14/11/2018

The design on this drawing is the property of  
 Kwikplans and copyright is reserved

PROJECT:  
 PROPOSED ADDITION  
 D. & G. MIDDLETON  
 ON ERF 2382  
 HERMANUS

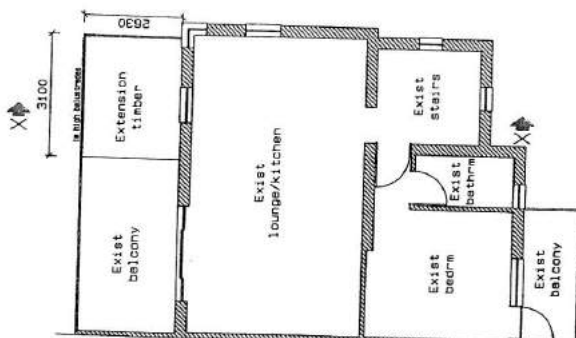
Draughtsman: *[Signature]*  
 Owner:

**KWIKPLANS**  
 Building Plans and Drawings  
 Professional Drafting Services  
 100 GARDEN ROAD  
 GARDEN GROVE, QLD 4064  
 PH: 07 550 0389  
 WWW.KWIKPLANS.COM

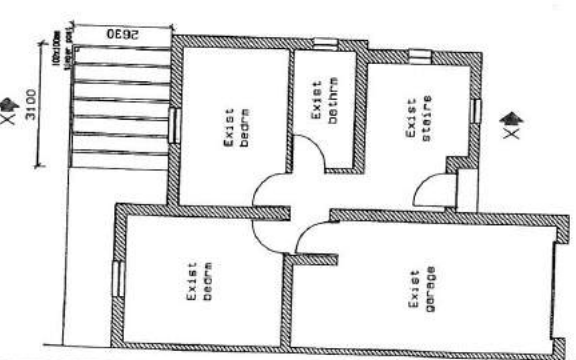
Date: 04-11-2018  
 Scale: AS SHOWN

ANNEXURE 'A'

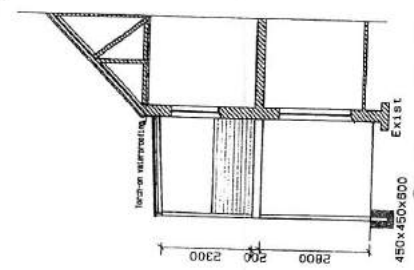
**ROOF:**  
 Rafters: 228x50mm, Purlins: 76x50mm at 1.20m c/c. Rafter: 152x38mm Grade 5 at 1.00m c/c.  
 Roof sheets: Charcoal corrugated sheets at 7° pitch. 85k clear sheets over windows and existing doors.  
 Supports: 100mm square timber posts. One end wrapped in dac & cast in concrete.  
 Rafters: Concrete outer and overwrap. Roof rain/stone water to be taken to road.  
 All timber to be SA pine boards. Timber to timber fixing: 115x10mm coach screws.  
 Timber to wall fixing: 75x10mm coach screws.  
**BALCONY:**  
 85x10mm 811u decking on 228x50mm joists at 400mm c/c. Ends fixed to 228x50mm outer frame.  
**FOUNDATIONS:**  
 Class 0 concrete in 1:4:8 mix to sizes as shown on sections. Cement to comply with SABS specs 471 and coarse aggregate to comply with SABS spec 718.  
 Continuous strip foundations to a min 200mm thick, unless laid on solid rock and 800mm wide to loadbearing capacity. Foundation masonry walls or 400mm wide for non load bearing internal masonry walls (SANS 10400-P:2010). No foundations or any other part of the building may project beyond any boundaries of this property. Foundation walls higher than 900mm thick and to project minima of 200mm past brickwork or columns.  
**BALUSTRADE:**  
 Balustrades to be 1.00m high with maximum coverings of 100mm.  
**DRAINAGE:**  
 Drainage within driveways or under buildings or drains with less than 300mm cover to be adequately protected. (SANS 10400-P:2010). Heavy duty removable covers to be provided for drainage situated within driveways or loading areas, see) Traps where necessary.  
 Any foundation within 1.25m from a drainage to be at or below such drainline.  
**LEGAL REQUIREMENTS:**  
 All work to be carried out in accordance with SANS 10400 and IACT 103 of 1977).  
 All timber sizes and grades to be verified and sealed by supplier's Engineer.  
 All dimensions, levels and heights to be verified on site prior to commencement of building work.  
 No dimensions to be figured or to be scaled from these drawings.  
 The designer accepts no responsibility for errors resulting from misinterpretation of the drawings.  
 ALL NEW WORK TO MATCH EXISTING.



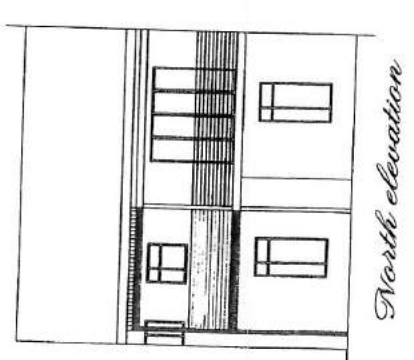
First floor storey



Ground floor storey



East elevation



North elevation

FNBOSBOY CORPORATE  
 CHAIRPERSON  
 14/3/2018

This section of the drawing is the property of KWIPOPLANS and copyright is reserved

Project:	PROPOSED ADDITION D. & G. MIDDLETON ON ERF 2382 HERMANUS
Draughtsman:	<i>[Signature]</i>
Designer:	
Date:	04-11-2016
Scale:	AS SHOWN

**KWIPOPLANS**  
 Architectural Drafting  
 Plotter in ECUN  
 Professional Address: 1001  
 Call: 041 554 838  
 Email: kwi@kwi.co.za

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR AMENDMENT OF THE SITE DEVELOPMENT PLAN: ERF  
2382, VERMONT (3947)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2382, Vermont, unobstructed;
5. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

13/6/2018  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**9. ERF 4231, 313 SIXTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS TERRAPLAN TOWN AND REGIONAL PLANNERS ON BEHALF OF THE VLOK & ALTA JOOSTE TRUST**

**4231 HVK (3916)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**6 August 2018**

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**Executive Summary**

An application has been received on 16 February 2018 from Messrs Terraplan Town and Regional Planners on behalf of the Vlok & Alta Jooste Trust, applicable to Erf 4231, Hermanus in order to accommodate a section of approximately 6m long of the existing eastern boundary wall that exceeds the prescribed 2,1m height restriction applicable to boundary walls with approximately 0,316m.

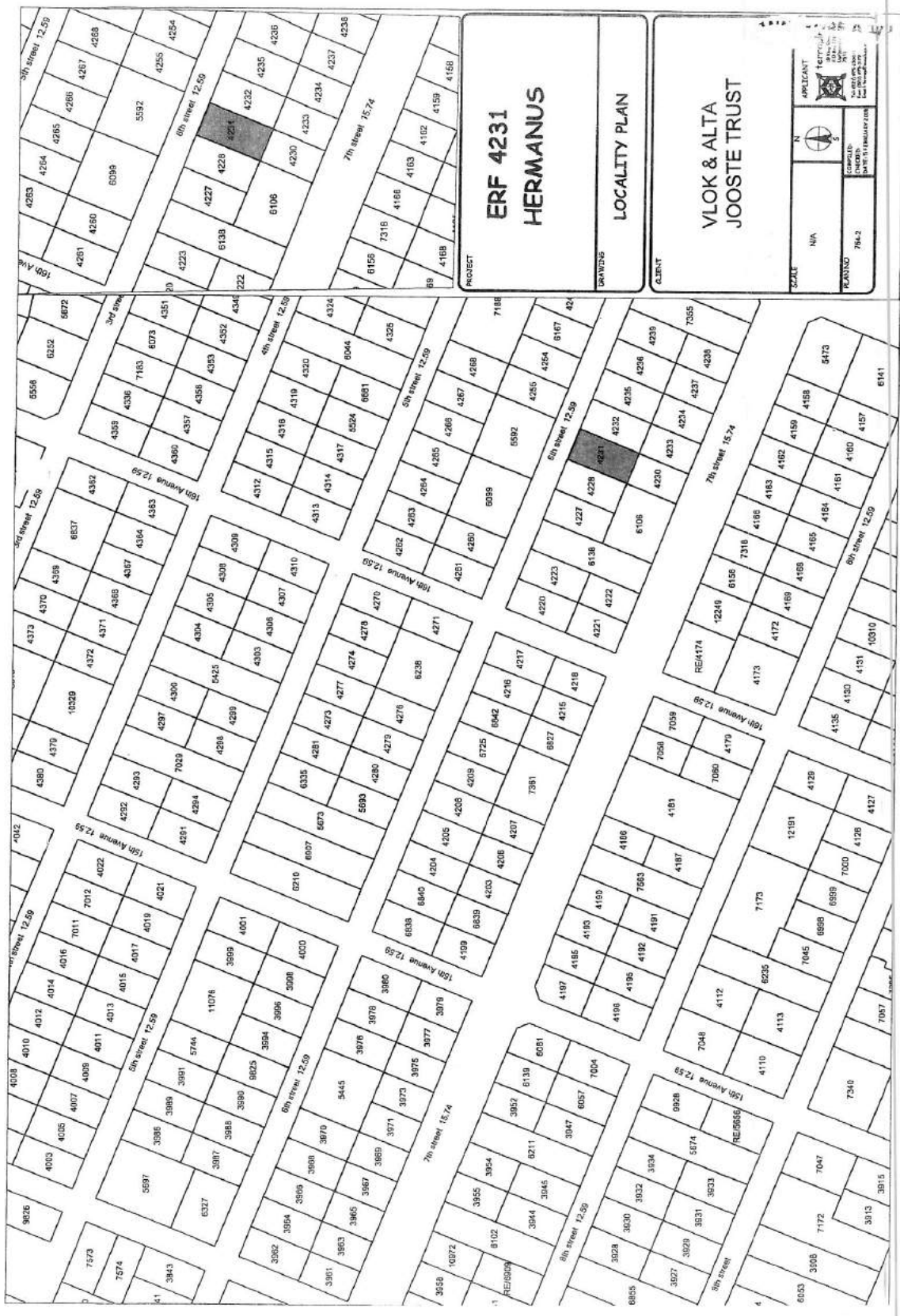
**RESOLVED :**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 4231, Hermanus to accommodate a section of the eastern boundary wall that exceeds the 2,2m height restriction applicable to boundary walls with approximately 3,16m, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the construction as indicated on Plan No. 52 dated 22 September 2017 that was submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all the applicable conditions of Engineering Services and Telkom, be complied with;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



PROJECT  
**ERF 4231  
HERMANUS**

DRAWING  
**LOCALITY PLAN**

CLIENT

**VLOK & ALTA  
JOOSTE TRUST**

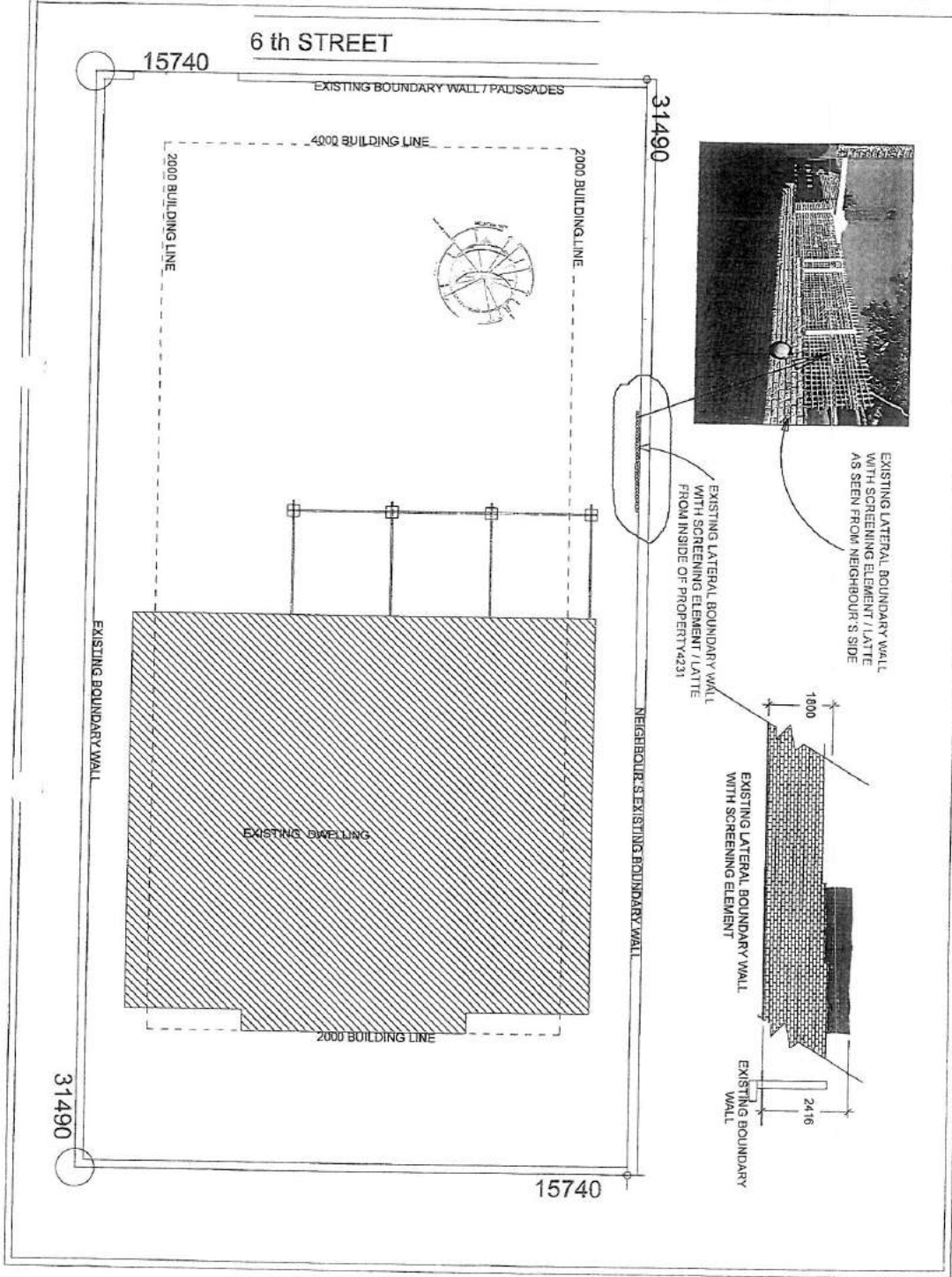
SCALE  
N/A

APPLICANT  
VLOK & ALTA  
JOOSTE TRUST

PREPARED BY  
VLOK & ALTA  
JOOSTE TRUST

DATE  
2014/08/20

CAP-LON DESIGNS P.A.D.	plan no 478	sheet 7007	HOUSE JOOSTE PLOT NO 4231 VCELKLIP	PROPOSED	2017/08/02
	date 15/09/2017	scale 1:50		SCREEN/ LATTE	SEP 22 CA 1:50

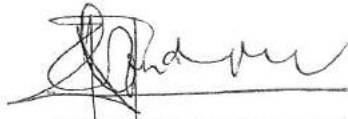


COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4231, VOELKLIP (3916)

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 4231, Voelklip, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

13/6/2018

**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**10. ERVEN 266 AND 277, 32 TWIST STREET AND 39 CENTRAL STREET,  
PEARLY BEACH: OVERSTRAND MUNICIPAL AREA: PROPOSED  
CONSOLIDATION: MESSRS PLAN ACTIVE ON BEHALF OF GOLD CUP  
ELECTRONICS (PTY) LTD**

**Erf 266 & 277 GPB (3949)**

**SW van der Merwe (028) 313 8900**

**Hermanus Administration**

**3 August 2018**

---

**Executive Summary**

To consider an application received on 26 March 2018 from Messrs Plan Active Town & Regional Planners on behalf of Gold Cup Electronics (Pty) Ltd for a consolidation of Erven 266 and Erf 277, Pearly Beach in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

**RESOLVED :**

1. that the application for consolidation in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate Erven 266 and 277, Pearly Beach, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval only has reference to the proposed Consolidation Diagram, Erf 2642, Pearly Beach, dated February 2018, as submitted with the application;
  - (b) that it is the owner/applicant's responsibility to register the approved consolidation within five (5) years from the date of approval;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation; and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval



**Plan Active** Stads-en Streeksplanners  
Town & Regional Planners

Property Description: **ERVEN 266 & 277 PEARLY BEACH**

Scale: NTS  
Drawing Nr: PEARLY266.dwg  
Date: FEBRUARY 2018

All rights reserved. Approximate and subject to survey.  
COPY RIGHT RESERVED

VAN DYK & Associates Inc. (V18084)

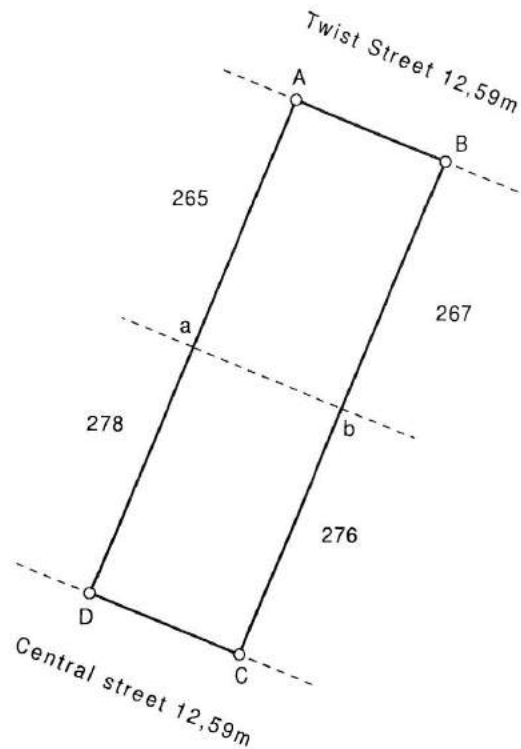
Components:

1. The figure ABba represents Erf 266 Pearly Beach  
Vide Diagram No. 8284/1956  
D/T No.
1. The figure abCD represents Erf 277 Pearly Beach  
Vide Diagram No. 8517/1956  
D/T No.

SG No.

Approved

for  
SURVEYOR-  
GENERAL



Scale : 1 / 750

The figure ABCD  
represents 1596 square metres of land ,being

**Erf 2642 Pearly Beach  
(comprising of 1 and 2 above)**

situate in the Overstrand Municipality  
in Pearly Beach Township  
Administrative District of Bredasdorp  
Western Cape Province  
Compiled in February 2018 by me

*LA van Dyk*

LA van Dyk  
Professional Land Surveyor  
Registration Number: PLS 1069

This Diagram is annexed to No.	The original diagrams are as indicated above	File:
Registrar of Deeds		S.R. No. Compiled GP SG No. T.P. 841 LD Comp AI-5DB/X5 (514) LPI No. C0110006

Erf 2642 Pearly Beach

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSOLIDATION: ERVEN 266 & 277, PEARLY BEACH  
(3949)**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water connection to Erf 266 shall be used to service the proposed consolidated erf consisting of Erven 266 & 277;
2. that only the existing sewer conservancy tank on Erf 266 shall be used to service the proposed consolidated erf consisting of Erven 266 & 277;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
5. that the consolidated erf will be entitled to only one electrical meter;
6. that on-site parking facilities be provided to the satisfaction of the Department: Operations;
7. that any additional and / or extended vehicle entrances will be for the developer's account;
8. that stormwater be allowed to discharge through the proposed Erven, Pearly Beach, unobstructed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

03/07/2019  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**11. ERF 2708, 9 MELTON STREET, GANSBAAI (PERLEMOENBAAI),  
OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: DG & AM  
VERMEULEN**

**2708 GGB (3931)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**3 August 2018**

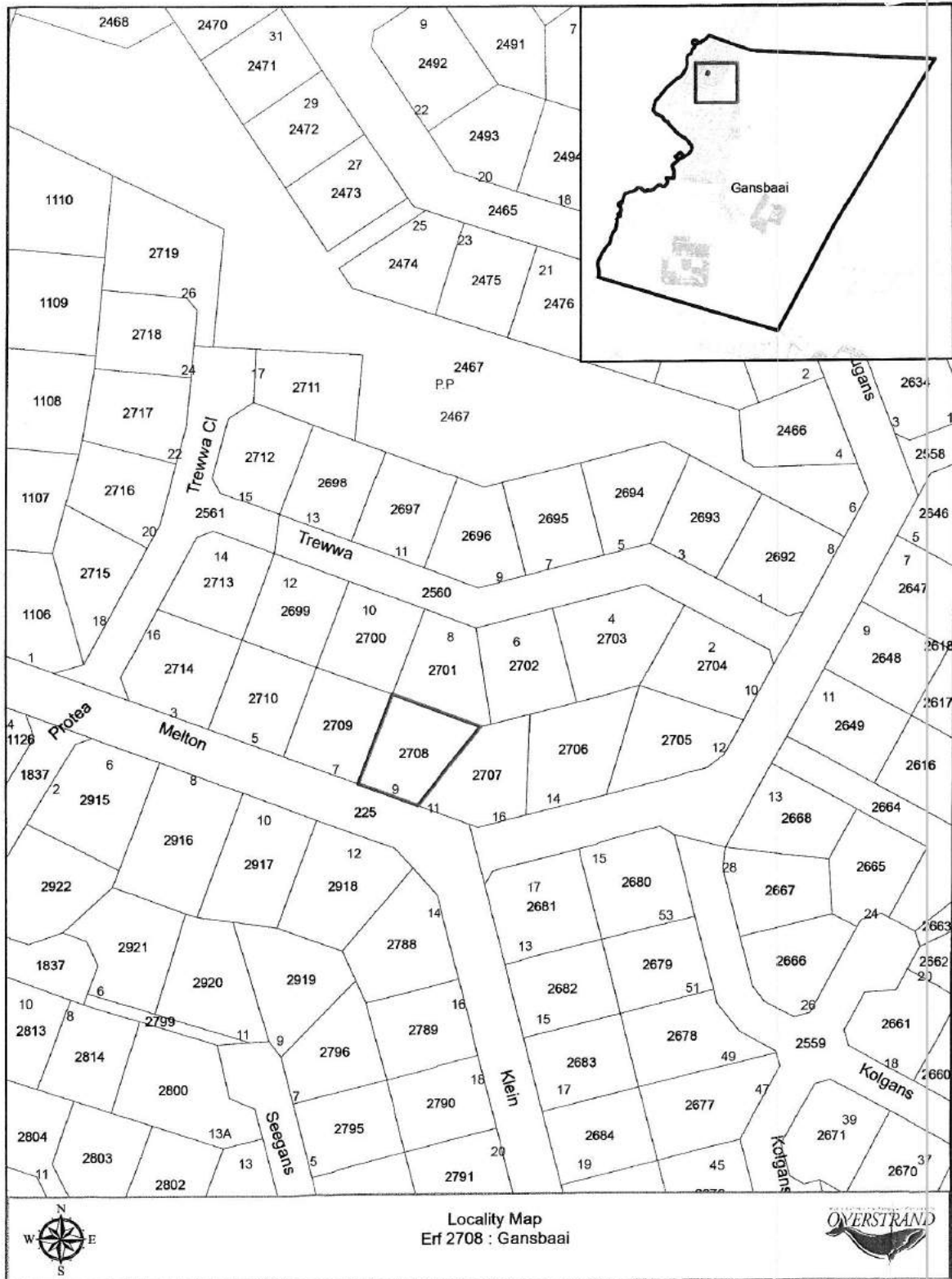
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**Executive Summary**

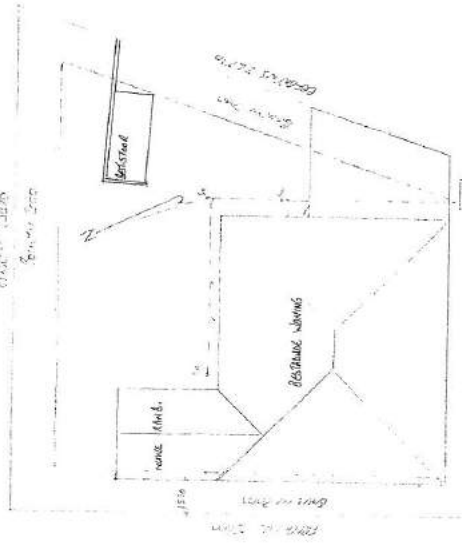
To consider an application received on 5 March 2018 from DG & AM Vermeulen, the owners of Erf 2708, Gansbaai (Perlemoenbaai), for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to encroach the lateral building line from 2m to 1,57m to accommodate a proposed living room on the existing concrete roof.

**RESOLVED :**

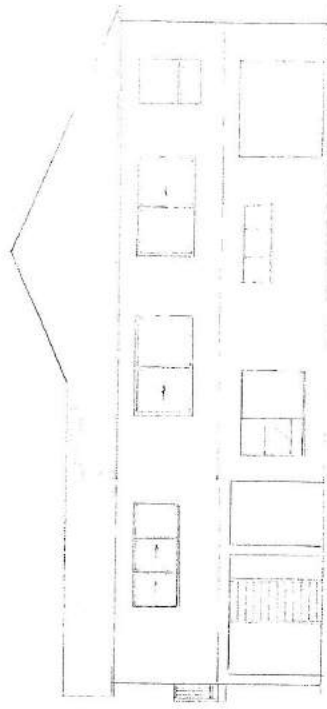
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for departure on Erf 2708, Gansbaai (Perlemoenbaai) in order to relax the 2m lateral building line up to 1,57m to accommodate a proposed living room addition, **be approved**, in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval only be applicable for the encroachment indicated on the Site Plan as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



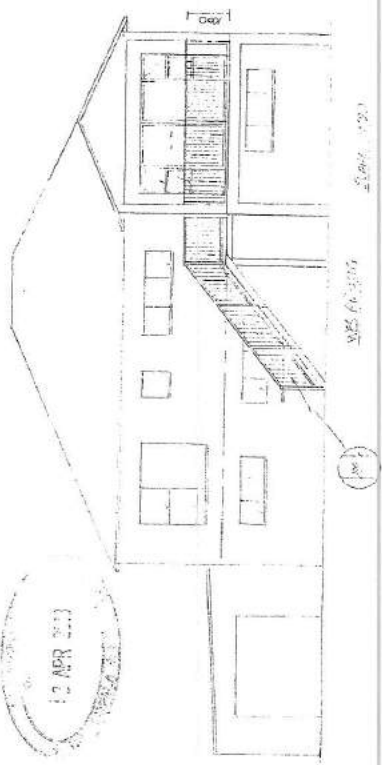
VOORGESTELDE NUWE AANBOUING VIR  
D.G. VERMEULEN  
OP ERF No 2708 GELEË TE PERLEMOENBAAL



12 APR 2011



OVERSTRAND  
ERFVEREENIGING  
07 FEB 2010  
D/O B P LORE



12 APR 2011

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2708, PERLEMOENBAAI (3931)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2708, Perlemoenbaai, unobstructed;
6. that no on-street parking be allowed.

*p.p. R. Lachlan*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*03/07/2019*  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

**12. REMAINDER PORTION 20 (A PORTION OF PORTION 7) OF THE FARM WOLVEN GAT NO. 297 AND PORTION 30 (A PORTION OF PORTION 20) OF THE FARM WOLVEN GAT NO. 297, DIVISION OF BREDASDORP, OVERSTRAND MUNICIPAL AREA: PROPOSED SUBDIVISION AND CONSOLIDATION: MESSRS PLAN ACTIVE ON BEHALF OF MM IRVINE**

**Ptn 20 & 30/297 GRBRE (3810)**

**SW vd Merwe (028) 313 8900**

**Hermanus Administration**

**2 August 2018**

---

**Executive Summary**

To consider an application received on 11 October 2018 from Messrs Plan Active Town and Regional Planners on behalf of the owner, MM Irvine, for the following:

- ❖ subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to subdivide Portion 20 (a Portion of Portion 7) of the Farm Wolven Gat No. 297 in two (2) portions, namely a Remainder approximately 1,1705 ha and Portion A approximately 0,5095 ha in extent; and
- ❖ consolidation in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate Portion A (0,5095 ha) with Portion 30 (a Portion of Portion 20) of the Farm Wolven Gat No. 297 to create a consolidated property of approximately 0,7236 ha in extent.

**RESOLVED :**

1. that the application in terms of Sections 16(2)(d) and 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), for the following:
  - subdivision of Portion 20 (a Portion of Portion 7) of the Farm Wolven Gat No. 297 in two (2) portions, namely, a Remainder approximately 1,1705 ha and Portion A approximately 0,5095 ha in extent; and
  - the consolidation of Portion A (0,5095 ha) with Portion 30 (a Portion of Portion 20) of the Farm Wolven Gat No. 297 to create a consolidated property of approximately 0,7236 ha in extent,

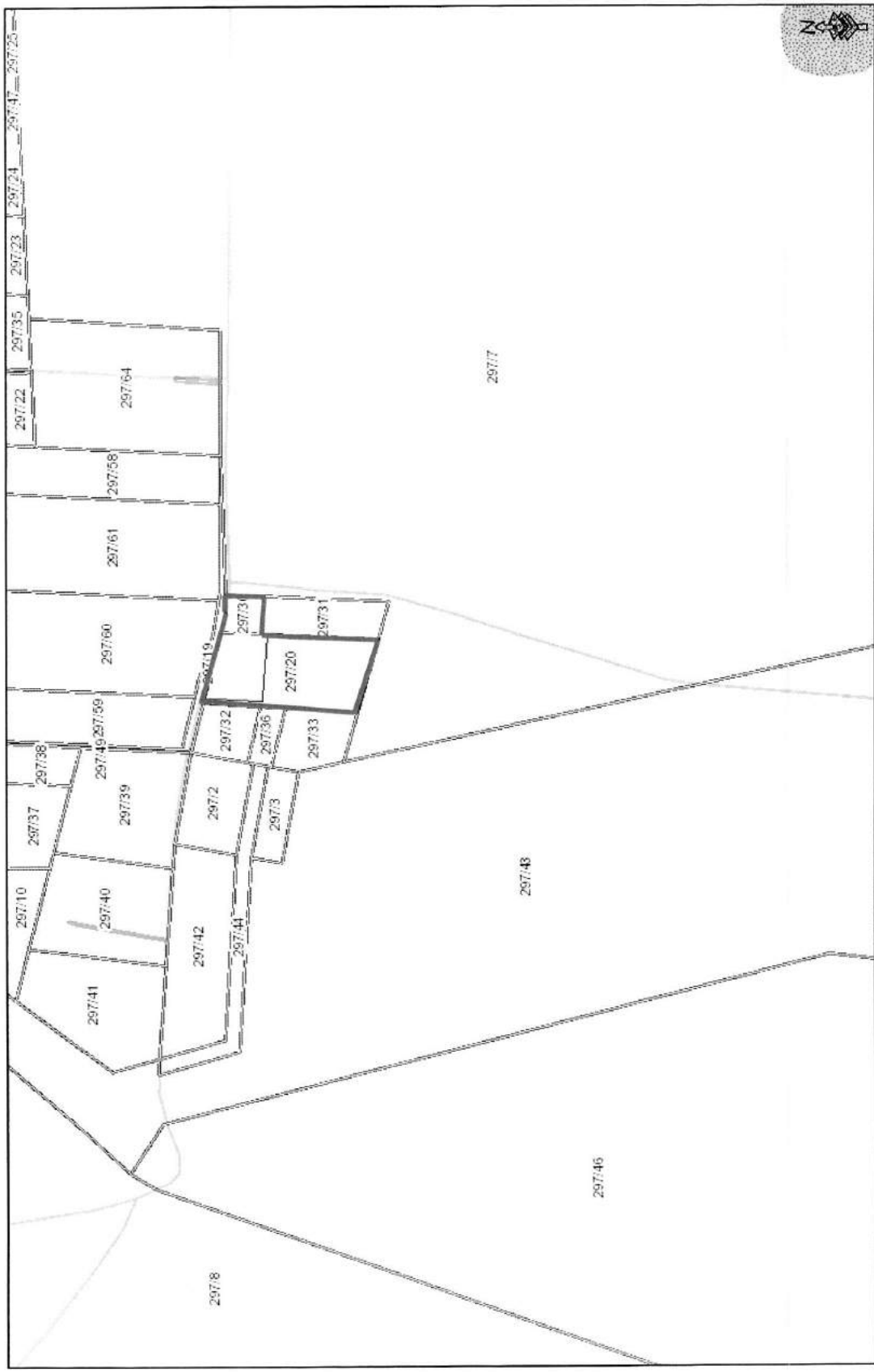
**be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

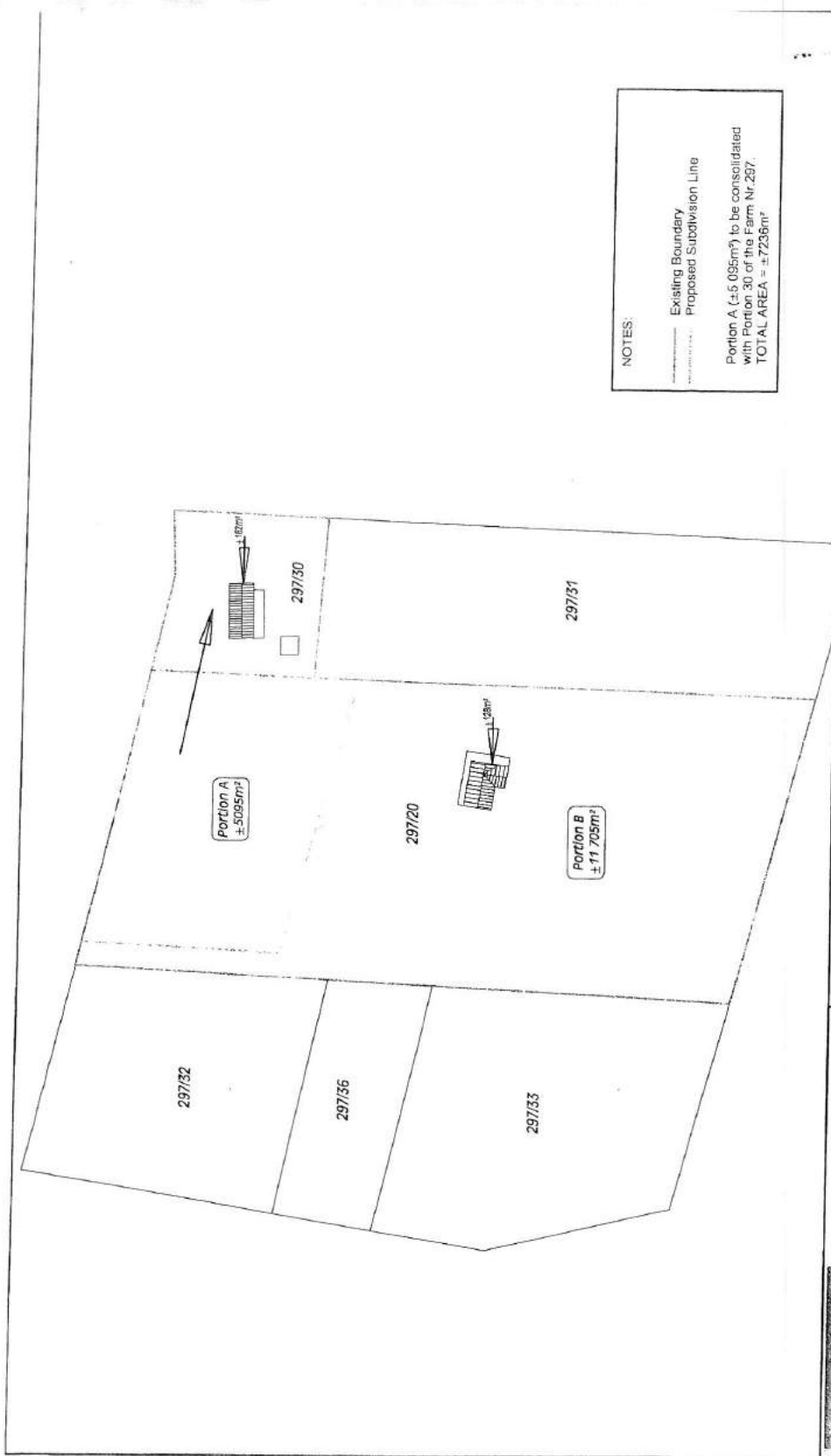
  - (a) that the approval is only for the subdivision and consolidation as indicated on the Subdivisional Plan as submitted with the application;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

- (b) that Portion A simultaneous with the registration of the subdivision be consolidated with Farm 297/30;
  - (c) that the conditions compiled in the Services Report, be complied with;
  - (d) that the conditions by Eskom and Telkom, be complied with, and
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval





NOTES:

- Existing Boundary
- Proposed Subdivision Line

Portion A (±5,095m<sup>2</sup>) to be consolidated with Portion 30 of the Farm Nr.297.  
 TOTAL AREA = ±7236m<sup>2</sup>

<b>PLANNING</b> <b>Active</b>	Stads- en Streeksbeplanners Town & Regional Planners	Property Description: <b>PORTIONS 20 &amp; 30                  OF FARM No.297</b>	Plan Description: <b>PROPOSED                  SUBDIVISION &amp;                  CONSOLIDATION</b>	Scale: <b>1:1500</b> Drawing Nr: farm297-20a.dwg Date: 09/2017
	All distances approximate and subject to survey. COPY RIGHT RESERVED			

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR SUBDIVISION & CONSOLIDATION: PTN 20 & 30 OF  
FARM 297, WOLVENGAT (3810)

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water and sewer services from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
6. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma.

*p.p. R. Hendriks*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*03/07/2018*  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**13. ERF 2877, 8 BEACH ROAD, ONRUST RIVER : PROPOSED DEPARTURE :  
MESSRS PLAN ACTIVE ON BEHALF OF D FABEL**

**2877 HON (3861)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**17 July 2018**

---

**Executive Summary**

An application has been received on 20 November 2017 from Messrs Plan Active on behalf of D Fabel on Erf 2877, Onrust River for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to :

- ❖ Relax the Beach Road street building line from 4m to 1,645m and 2,15m respectively to accommodate new shade ports.
- ❖ Relax the western lateral building line from 2m to 0,71m and 0m respectively to accommodate new shade ports.
- ❖ Relax the Green Street building line from 4m to 0m to accommodate the proposed new shade ports.
- ❖ Relax the southern lateral building line from 2m to 1,31m to accommodate the proposed shade ports.

**RESOLVED :**

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) Section 16(2)(b) on Erf 2877, Onrust River to relax the following:

- ❖ the Beach Road street building line from 4m to 1,645m and 2,15m respectively to accommodate new shade ports;
- ❖ the western lateral building line from 2m to 0,71m and 0m respectively to accommodate the new shade ports;
- ❖ the Green Street building line from 4m to 0m to accommodate a proposed shade port, and
- ❖ the southern lateral building line from 2m to 1,31m to accommodate the proposed carport,

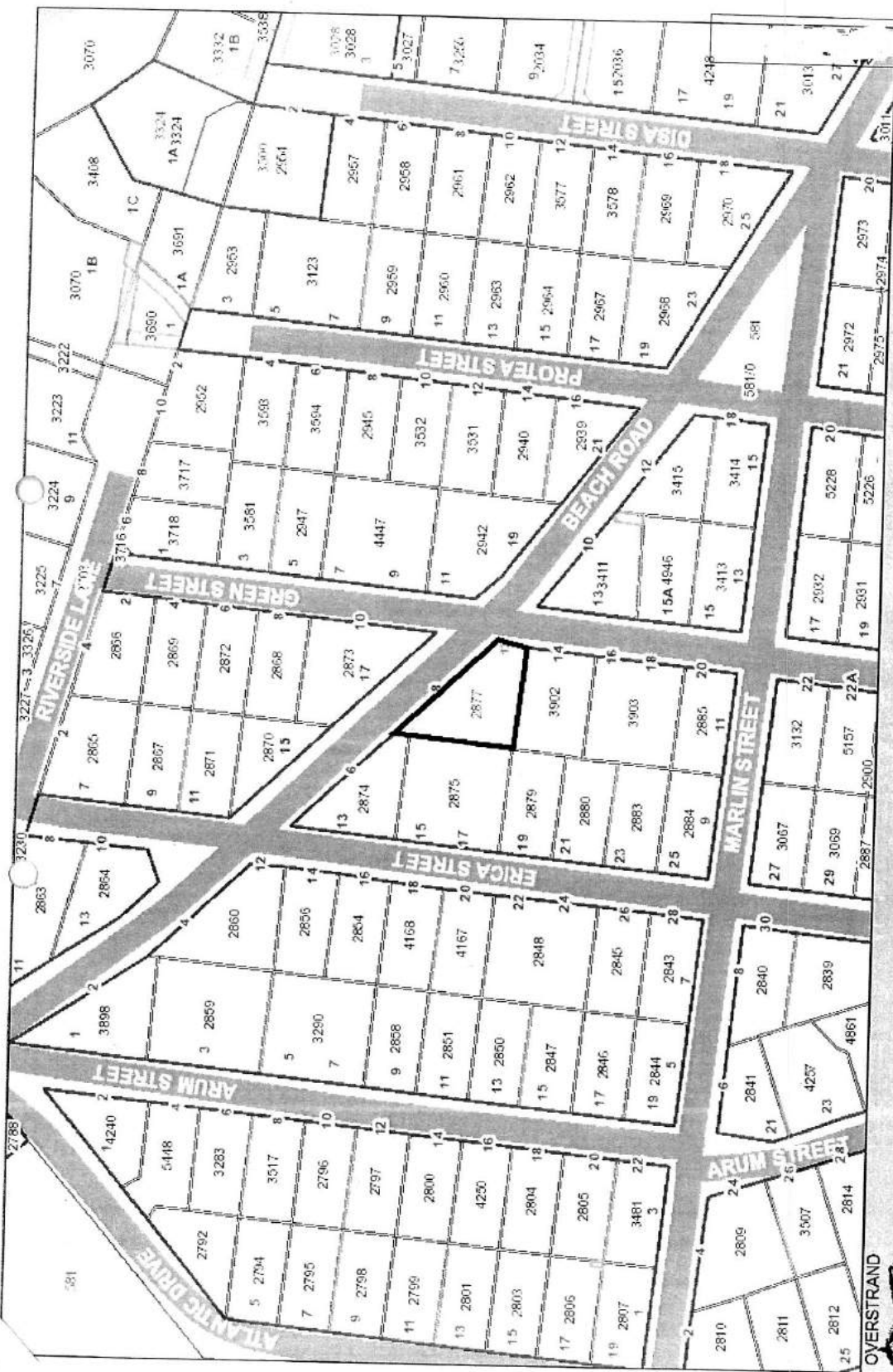
**be approved** subject to the following conditions:

- (a) that this approval is only for the approval of the shade ports as indicated on plan no's 801/01 to 801/04 dated October 2017, submitted with the application;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

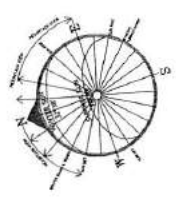
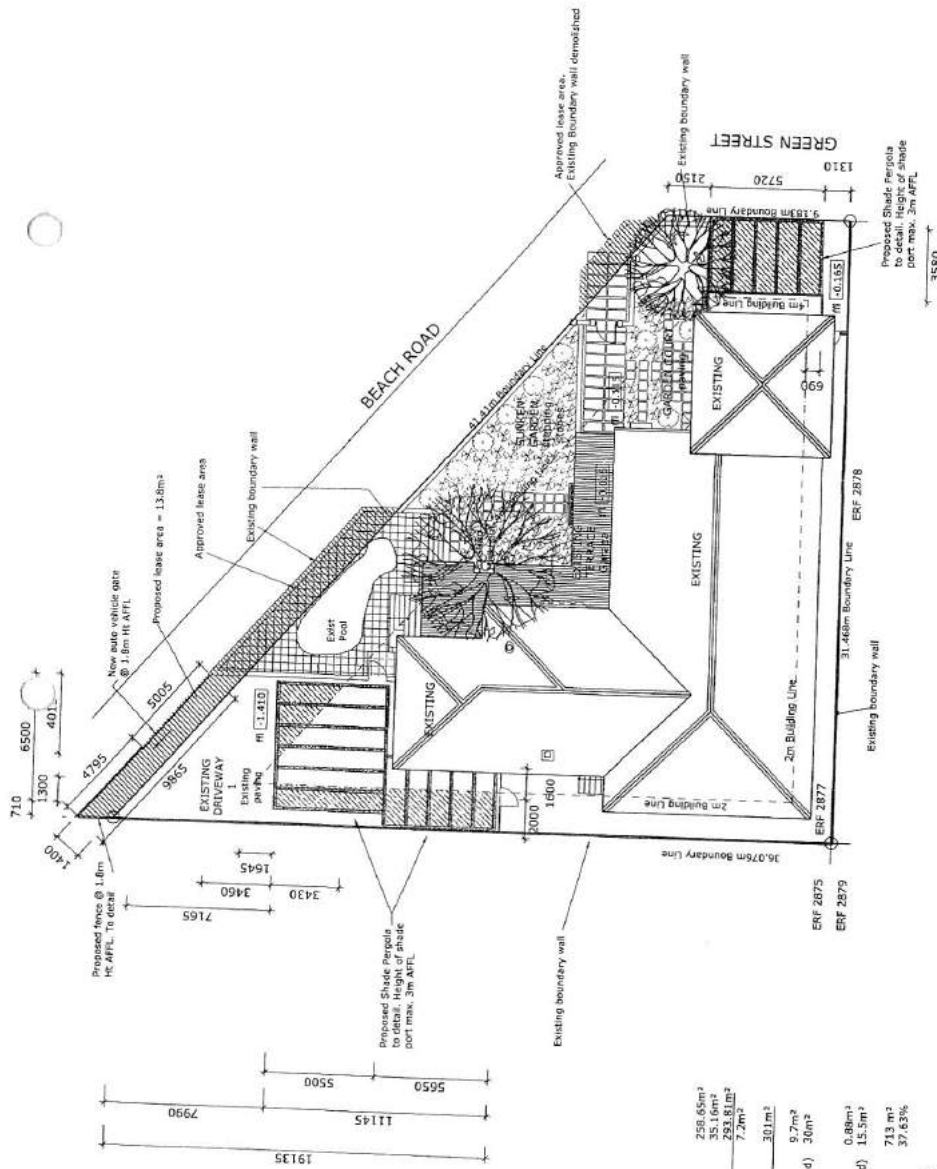
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- (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (d) that all the conditions in the Services Report, be complied with; and
  - (e) that building plans be submitted to the Building Department for approval, and that all additional conditions set by the Building – and the Fire Department be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 2877 Onrus River





<b>DEPARTURE APPLICATION</b>	
	AFFECTED AREA
	APPROVED LEASE AREA
	APPROVED LEASE AREA

<b>DRAWING:</b> DEPARTURE APPLICATION
<b>SITE PLAN</b>
<b>DWG NO: 801/01</b>
<b>SCALE: 1 : 200</b>
<b>DATE: OCTOBER 2017</b>
<b>DRAWN: LAS</b>

<b>AREAS:</b>	
Building:	258.65m <sup>2</sup>
Ground Storey:	35.1m <sup>2</sup>
First Storey:	35.1m <sup>2</sup>
Sub Total:	293.81m <sup>2</sup>
Covered Terrace:	7.2m <sup>2</sup>
<b>Total:</b>	<b>301m<sup>2</sup></b>
Balcony:	9.7m <sup>2</sup>
Terrace (uncovered):	30m <sup>2</sup>
<b>New:</b>	<b>0.88m<sup>2</sup></b>
Terrace (uncovered):	15.5m <sup>2</sup>
<b>Area of Site:</b>	<b>713 m<sup>2</sup></b>
<b>Coverage:</b>	<b>37.63%</b>

**SITE PLAN**  
Scale: 1:200

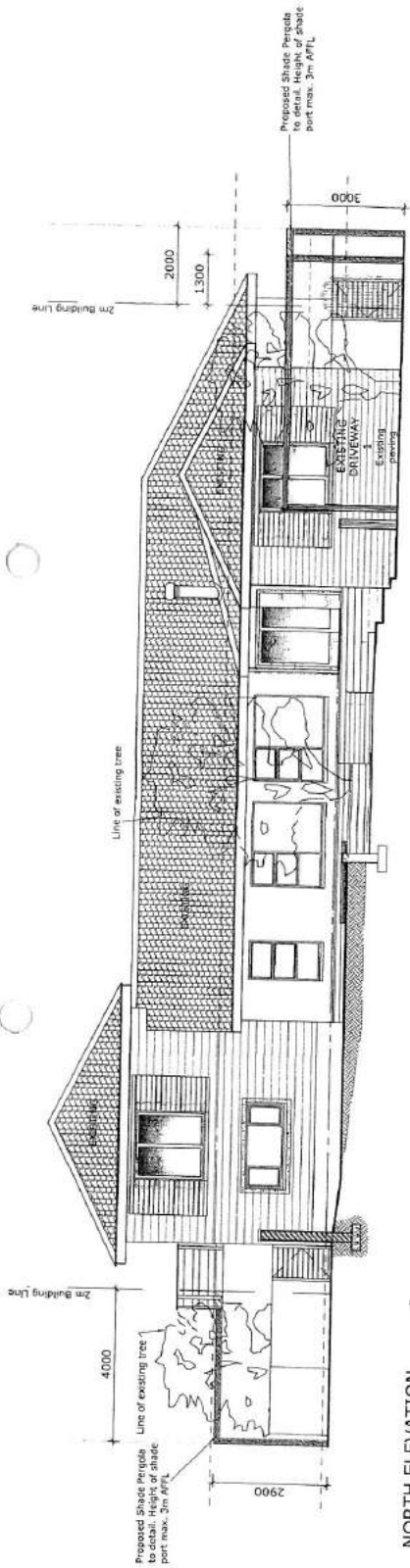
**NICOLETTE LLOYD ma (ca)**  
Structural Engineers & Architects  
**Architectural Designer**  
 32 Mitford Street  
 Hermanus, 6020  
 Tel: (082) 312-2271  
 Fax: (082) 312-2028  
 Email: nloyd@hermanus.co.za

Contractor to verify all dimensions and levels on site before commencing. Use given dimensions, do NOT scale.  
 ALL work to comply with NBR and Local Authority requirements.  
 © COPYRIGHT NICOLETTE LLOYD

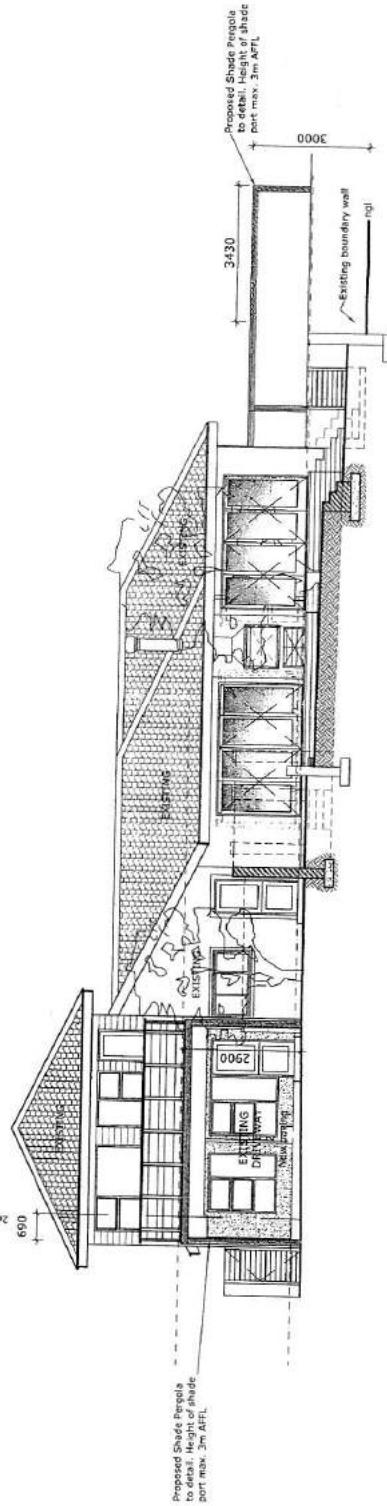
**HOUSE LABEL**  
**ERF 2877**  
 No. 8  
 c/o BEACH ROAD & GREEN STREET  
 ONRUS  
 HERMANUS

FOR LOCAL COUNCIL USE





**NORTH ELEVATION**  
Scale 1:100



**EAST ELEVATION**  
Scale 1:100

**DEPARTURE APPLICATION**  
AFFECTED AREA

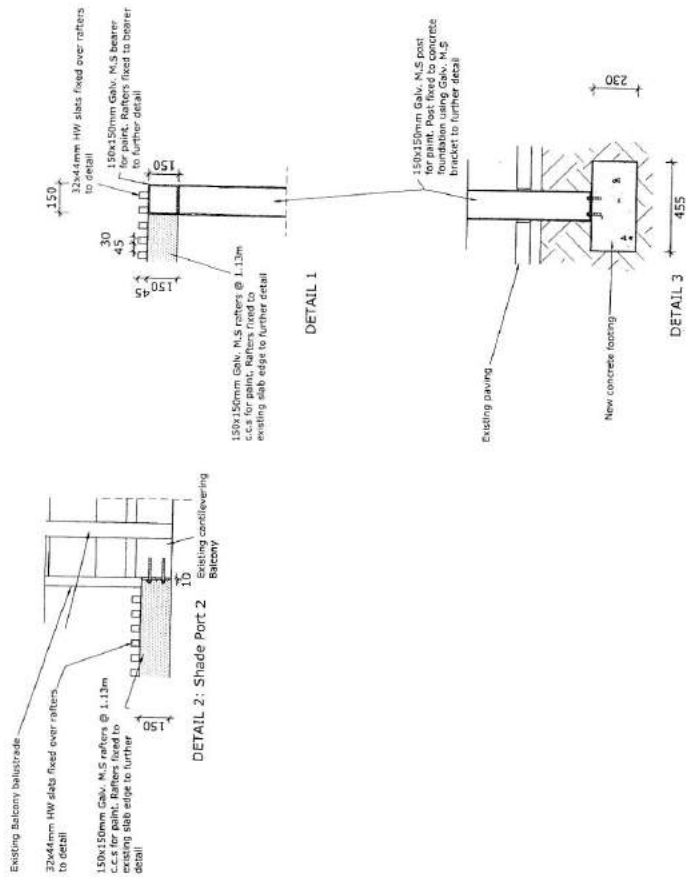
**DRAWING:**  
DEPARTURE APPLICATION  
**ELEVATIONS**  
DWG NO: 801/03  
SCALE: 1 : 100  
DATE: OCTOBER 2017  
DRAWN: LAS

FOR LOCAL COUNCIL USE

**HOUSE LABEL**  
**ERF 2877**  
No. 8  
c/o BEACH ROAD & GREEN  
STREET  
ONRUS  
HERMANUS

Contractor to verify all dimensions and levels on site before commencing work.  
Use given dimensions, do NOT scale.  
ALL work to comply with NER and Local Authority requirements.  
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**NICOLETTE LLOYD ma (rca)**  
SACA Registration No. 87794  
**Architectural Designer**  
32 Michael Street  
HERMANUS, 7200  
Tel: (028) 312-3771  
Fax: (028) 312-2026  
Email: lloyd@hermanus.co.za



**TYPICAL PERGOLA DETAILS**  
Scale 1:120

**NICOLETTE LLOYD ma (rcs)**  
 RICS Reg. No. 51194  
**Architectural Designer**  
 122 Canal Street  
 HERMANUS  
 Tel: (023) 312-3771  
 Fax: (023) 312-3006  
 Email: lloyd@hermanus.co.za

Contractor to verify all dimensions and locate on site before commencing. Use given dimensions, do NOT scale.  
 All work to comply with NGR and Local Authority requirements.  
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**HOUSE LABEL**  
**ERF 2877**  
 NO. 8  
 STREET  
 ONRUS  
 HERMANUS

FOR LOCAL COUNCIL USE

**DRAWING:**  
 DEPARTURE APPLICATION  
**Typical Pergola details**  
**DWG NO: 801/04**  
**SCALE: 1 : 20**  
**DATE: OCTOBER 2017**  
**DRAWN: IAS**

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2877, ONRUS RIVER (3861)**

Stormwater (SW) : In order  
Electricity : Escom Area  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

The Engineering Services Department supports the recommendation from Operational Services to **decline the application for encroachment on the sidewalk** along Erf 2877, Onrus River.

The Engineering Services and Operational Services Departments **have no objections with regard to the application with regard to the building line restrictions** on Erf 2877, Onrus River, subject to the following conditions:

1. That the applicant must comply with all statutory requirements that may be applicable to the proposed development on Erf 2877, Onrus River.
2. That only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. That only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
4. That, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. That stormwater be allowed to discharge through Erf 2877, Onrus River, unobstructed;
6. That no on-street parking be allowed
7. That on-site parking facilities be provided as per Planning Schedule, and to the satisfaction of the Directorate: Operational Services.
8. That any additional/extended vehicle entrances will be for the owner's account.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER: ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

---

**14. ERF 4500, YELLOW WOOD ROAD, ONRUS RIVER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ENGELBRECHT AND SCORGIE ON BEHALF OF W BENEKE**

**4500 HON (3877)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**31 July 2018**

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**Executive Summary**

An application has been received on 7 December 2017 from Messrs Engelbrecht and Scorgie on behalf of W Beneke on Erf 4500, Onrustrivier for the relaxation of the lateral building line with Erf 4501 from 2m to 0m to allow a garage in excess of 3,5m (4,294m) above the natural ground level.

**RESOLVED :**

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 4500, Onrustrivier for a departure to relax the lateral building line with Erf 4501 from 2m to 0m to accommodate the construction of a garage in excess of 3,5m (4,294m) above the natural ground level, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on plan no. Erf4500\_BEINEKE\_A1/11-2017-WD dated November 2017, submitted with the application;
  - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (d) that all the conditions in the Services Report, be complied with,
  - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage, and
  - (f) that the applicant provide the Municipality with a written agreement signed by the applicant and the owner of Erf 4501 that the conditions in the conditional approval between the two (2) parties will be complied with, prior to building plan approval.

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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2. that the applicant and the objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.







**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4500, ONRUS RIVER (3877)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 4500, Onrus River, unobstructed;
5. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

05/4/2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**15. ERF 2228, 71 TENTH STREET, HERMANUS (VOËLKLIP) : OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: K NEWMAN ON BEHALF OF ONSHELF PROPERTY EIGHTY SEVEN (PTY) LTD**

**2228 HVK (3786)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**3 July 2018**

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**Executive Summary**

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 1 December 2017 (revised on 2 July 2018) from K Newman on behalf of Onshelf Property Eighty Seven (Pty) Ltd applicable to Erf 2228, Hermanus for the relaxation of the western lateral building line from 2m to 1,2m in order to accommodate a portion of an extended bedroom and a portion of a new veranda.

**RESOLVED :**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2228, Hermanus to relax the western lateral building line from 2m to 1,2m in order to accommodate the extension of a portion and a veranda, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only as per the dimensions as indicated on Plan Numbers A\_1101 – A\_1101 dated dated 19 March 2018;
  - (b) that the necessary building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that the applicable conditions of Engineering Services, Telkom and Heritage Western Cape, be complied with;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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2. that the applicant and the objector be notified of their rights of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditional approval.



ERF 2226, 71 TENTH STREET, HERMANUS (VOELKLIP)

Date: 2018-07-23





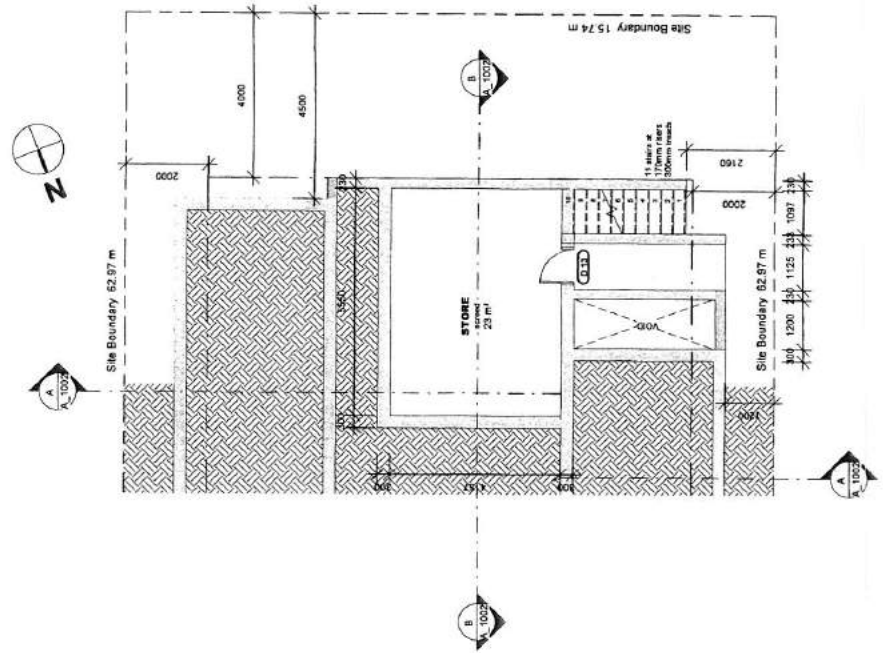


**NORTH FACING ELEVATION (STANDING IN THE ROAD LOOKING TOWARDS THE BEACH)**



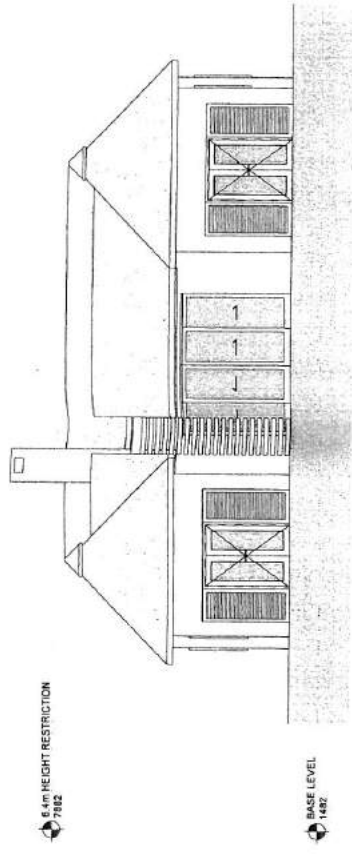
**SOUTH FACING ELEVATION (STANDING FROM THE BEACH LOOKING BACK AT THE HOUSE TOWARDS THE MOUNTAINS)**

Thiwa Architects (Pty) Ltd  
Heritage Western Cape  
- 8 MAY 2018



**1 BASEMENT STOREY**  
1:100

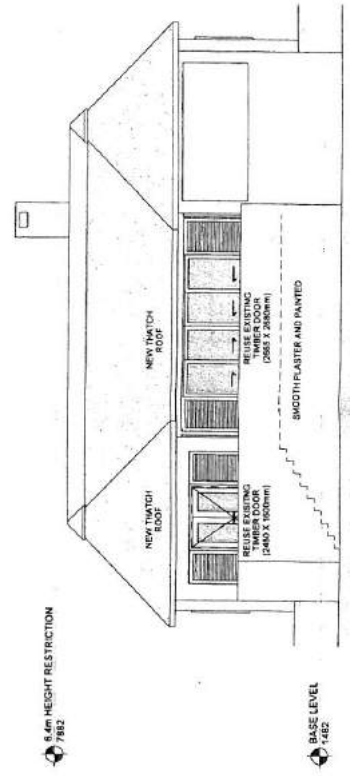
	NEWMAN ARCHITECTURE AND DESIGN ARCHITECTS AND DESIGNERS 111, 113, 115, 117, 119, 121, 123, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 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3895, 3897, 3899, 3901, 3903, 3905, 3907, 3909, 3911, 3913, 3915, 3917, 3919, 3921, 3923, 3925, 3927, 3929, 3931, 3933, 3935, 3937, 3939, 3941, 3943, 3945, 3947, 3949, 3951, 3953, 3955, 3957, 3959, 3961, 3963, 3965, 3967, 3969, 3971, 3973, 3975, 3977, 3979, 3981, 3983, 3985, 3987, 3989, 3991, 3993, 3995, 3997, 3999, 4001, 4003, 4005, 4007, 4009, 4011, 4013, 4015, 4017, 4019, 4021, 4023, 4025, 4027, 4029, 4031, 4033, 4035, 4037, 4039, 4041, 4043, 4045, 4047, 4049, 4051, 4053, 4055, 4057, 4059, 4061, 4063, 4065, 4067, 4069, 4071, 4073, 4075, 4077, 4079, 4081, 4083, 4085, 4087, 4089, 4091, 4093, 4095, 4097, 4099, 4101, 4103, 4105, 4107, 4109, 4111, 4113, 4115, 4117, 4119, 4121, 4123, 4125, 4127, 4129, 4131, 4133, 4135, 4137, 4139, 4141, 4143, 4145, 4147, 4149, 4151, 4153, 4155, 4157, 4159, 4161, 4163, 4
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6.4M HEIGHT RESTRICTION  
7882

BASE LEVEL  
1482

1 NORTH ELEVATION  
1 : 100



6.4M HEIGHT RESTRICTION  
7882

BASE LEVEL  
1482

2 SOUTH ELEVATION  
1 : 100

Hifa IchMvelu iintshona Koloni  
Ezemti Wesi-kozi  
Heritage Western Cape  
- 8 MAY 2018

 NEWMAN ARCHITECTURE AND DESIGN SUITE 101/102, 103, 104, 105 11A, JARDINERIA, WOODBURY PARK TEL: 021 925 2727	PROJECT TITLE	HOUSE NEWMAN
	DRAWING TITLE	ELEVATIONS
DATE	2018 03 19	DEV. JC NUMBER
SCALE	1 : 100	REVISION NUMBER
	4 : 000	

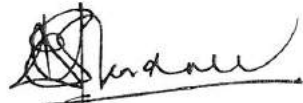


COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2228, VOELKLIP (3786)

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and / or development of the sidewalk adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2228, Voelklip, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

24 / 1 / 2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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**16. ERF 4135, 96 FIFTH AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: BN VAN DER WESTHUIZEN**

**4135 KKM (3776)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**1 August 2018**

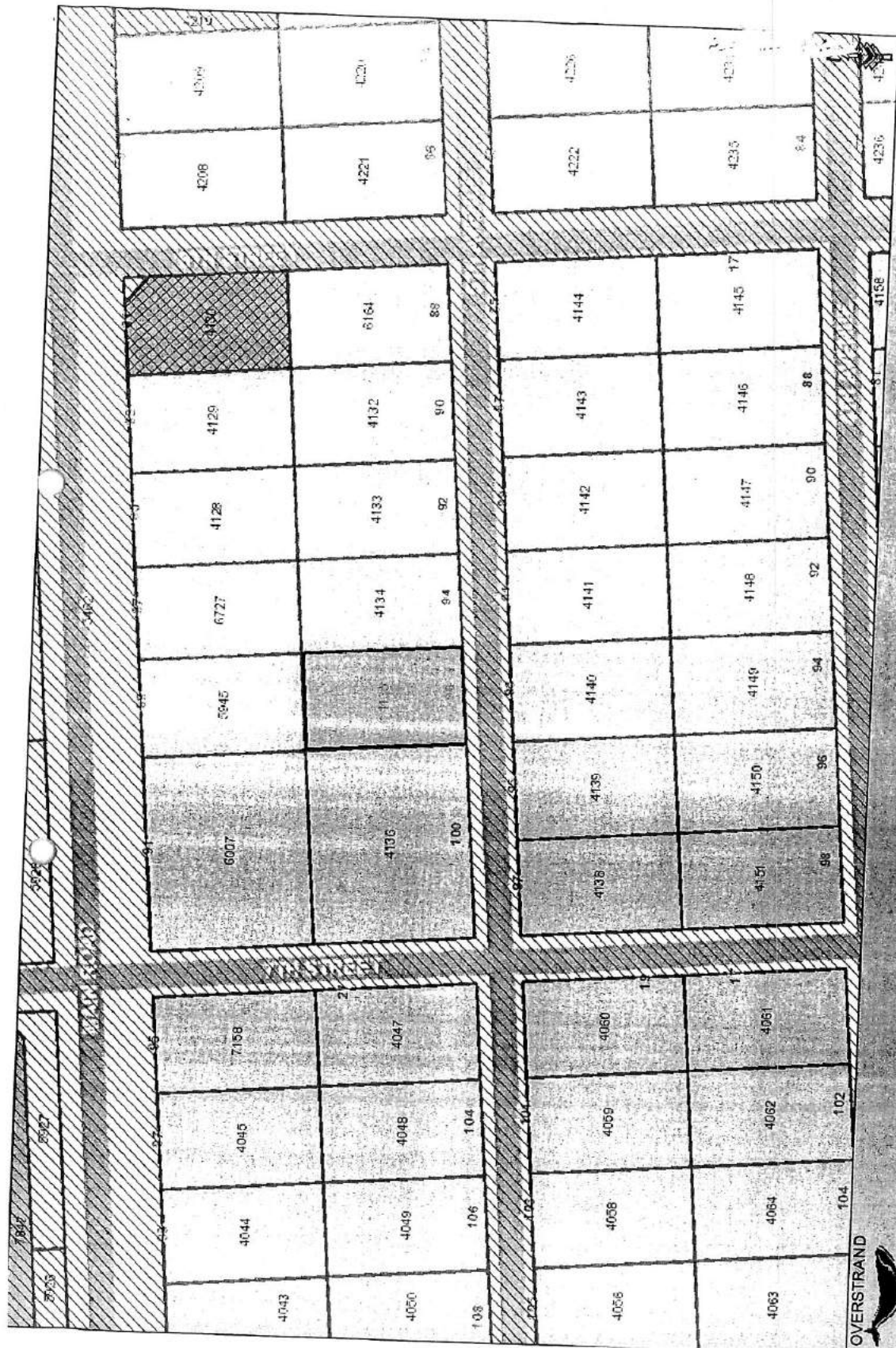
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**Executive Summary**

An application has been received on 28 February 2018 from BN van der Westhuizen on Erf 4135, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the lateral building line with Erf 4134 from 2m to 0m and the third or 9m restriction of structures transgressing the building line.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4135, Kleinmond for a departure to relax the lateral building line with Erf 4134 from the third or 9m restriction of structures transgressing the building line, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the structure as per building plan no. 170702/01, dated 8/82017;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ERF 4155 KKM







- KONSTRUKSIE NOTAS:**
1. ALBODIEN
    - 1.1 Alle afmetings moet op die grond tegevoeg word Avontuur (dit het konsekwent begin word)
    - 1.2 Alle konstruksie volgens N.B.R. Byvoorskrif 1010/2010 (SANS 10400) of 1010/2010.
    - 1.3 Alle papier afmetings in tekening.
    - 1.4 Volgens die tekening moet alle konstruksie in vloerplaat.
    - 1.5 Alle 280 mm konstruksie in die konstruksie vermaakt.
    - 1.6 Indien enige veranderinge in konstruksie vermaakt, moet dit deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.
    - 1.7 Dit konstruksie moet geteken word deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.
    - 1.8 Alle konstruksie moet geteken word deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.
    - 1.9 Alle konstruksie moet geteken word deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.
    - 1.10 Alle konstruksie moet geteken word deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.
    - 1.11 Alle konstruksie moet geteken word deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.
  2. STRUKTURELE WERK
    - 2.1 Alle konstruksie vloer, muur & fondamente volgens tekening.
  3. FONDAMENTE
    - 3.1 Vloerplaat (1000 x 1000mm) onder konstruksie.
  4. DAKKONSTRUKSIE
    - 4.1 Dakhout moet geteken word deur die ontwerper (of ander persoon wat verantwoordelik is vir die konstruksie) geteken word.

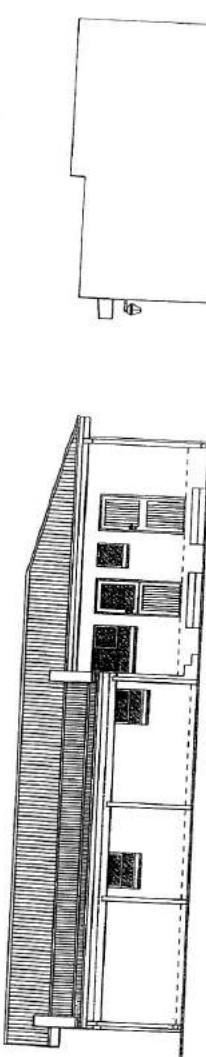
PROEKT: HUIS VAN DER WESTHUIZEN IN SDE LAAN, KLEINMOND, ERF 4135

TEKENING: VOORGESTELDE NUWE MOTORAFDAK

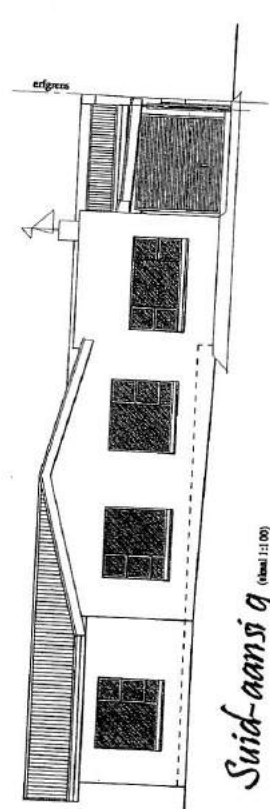
TEKENING DOOR	HER	PROEKNOMMER
DATEUM 08/08/2017	A	170702 / 02
SKAAL: 1:100		

die ontwerper - cntrl (p)

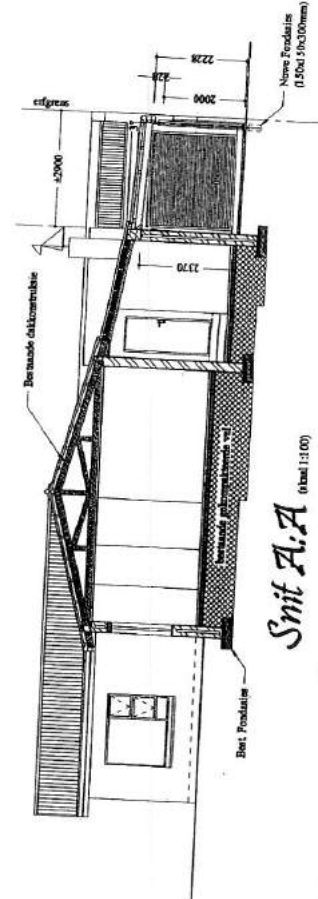
Architectural Drafting & Design  
 1010/2010 Reg. No. D21 20  
 daisy@dieontwerper.co.za  
 (021) 277-3141



Oos-aansig (skaal 1:100)



Suid-aansig (skaal 1:100)




Snit A-A (skaal 1:100)

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4135, KLEINMOND (3776)**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that, the electrical meter be moved for easy access or converted to prepaid meter, at the developer's cost;
4. that stormwater be allowed to discharge through Erf 4135, Kleinmond, unobstructed;
5. that no on-street parking be allowed.

  
\_\_\_\_\_  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
\_\_\_\_\_  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
19 September 2018  
(Also the agenda for the Mayoral Committee Meeting : 26 September 2018)**

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Municipal Planning Tribunal

1. **ERF 3506, 45 VILJOEN STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA : DEPARTURE AND CONSENT USE : MESSRS WRAP ON BEHALF OF V GROVE**

**3506 HON (3710)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**24 May 2018**

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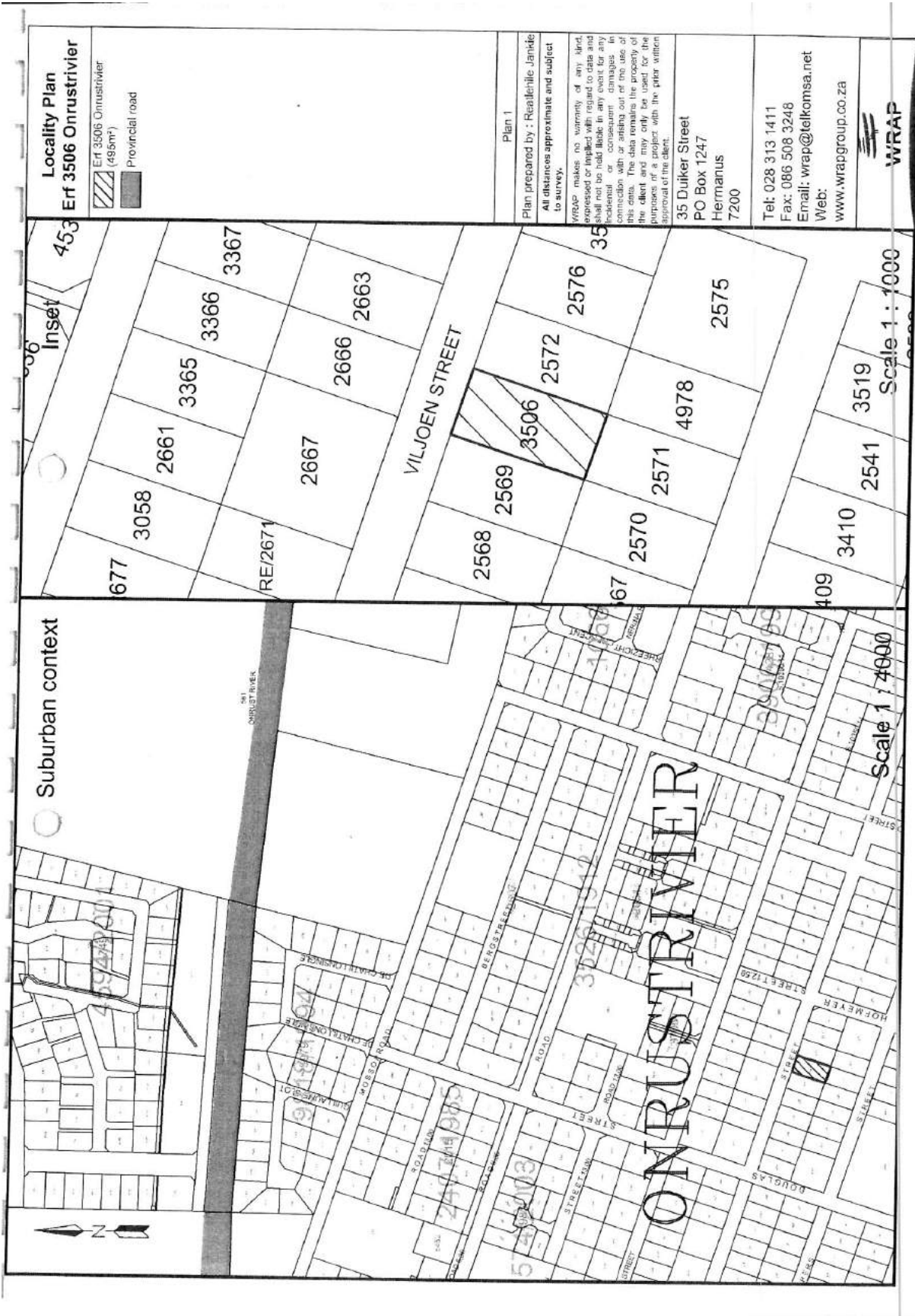
**Executive Summary**

An application has been received on 8 June 2017 from Messrs WRAP on behalf of V Grove on Erf 3506, Onrustrivier in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure in order to relax the eastern lateral building line and the rear building line from 2m to 0m and 0,8m respectively to accommodate the use change of a garage into a second dwelling.

Application is also made in terms of Section 16(2)(c) of the same By-Law for a consent use in order to utilise the second dwelling unit as tourist accommodation.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 3506, Onrustrivier for a departure to relax the eastern lateral building line from 2m to 0m and the rear building line from 2m to 0,8m to legalize the use change of a garage to a second dwelling, **not be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(o) of the same By-Law as above for a consent use in order to utilize the second dwelling unit as tourist accommodation, **not be approved** in terms of the provisions of Section 61 of the By-Law; and
3. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



**Locality Plan**  
**Erf 3506 Onrustrivier**  
 Erf 3506 Onrustrivier  
 (495m<sup>2</sup>)  
 Provincial road

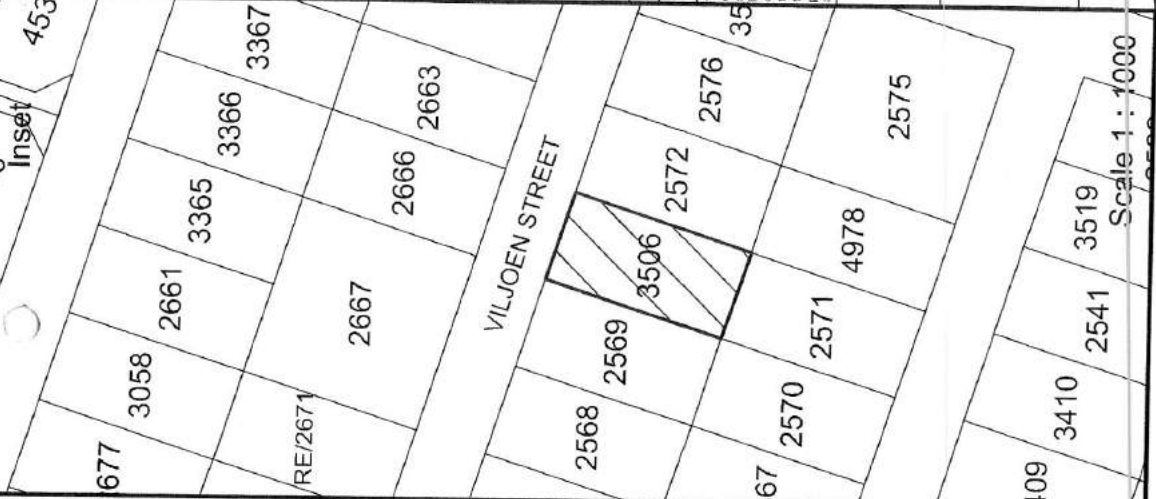
Plan 1

Plan prepared by : Realetjie Jankie  
 All distances approximate and subject to survey.

WRAP makes no warranty of any kind, expressed or implied with regard to data and shall not be held liable in any event for any accidental or consequent damages in connection with or arising out of the use of the data. The data remains the property of the client and may only be used for the purposes of the plan, with the prior written approval of the client.

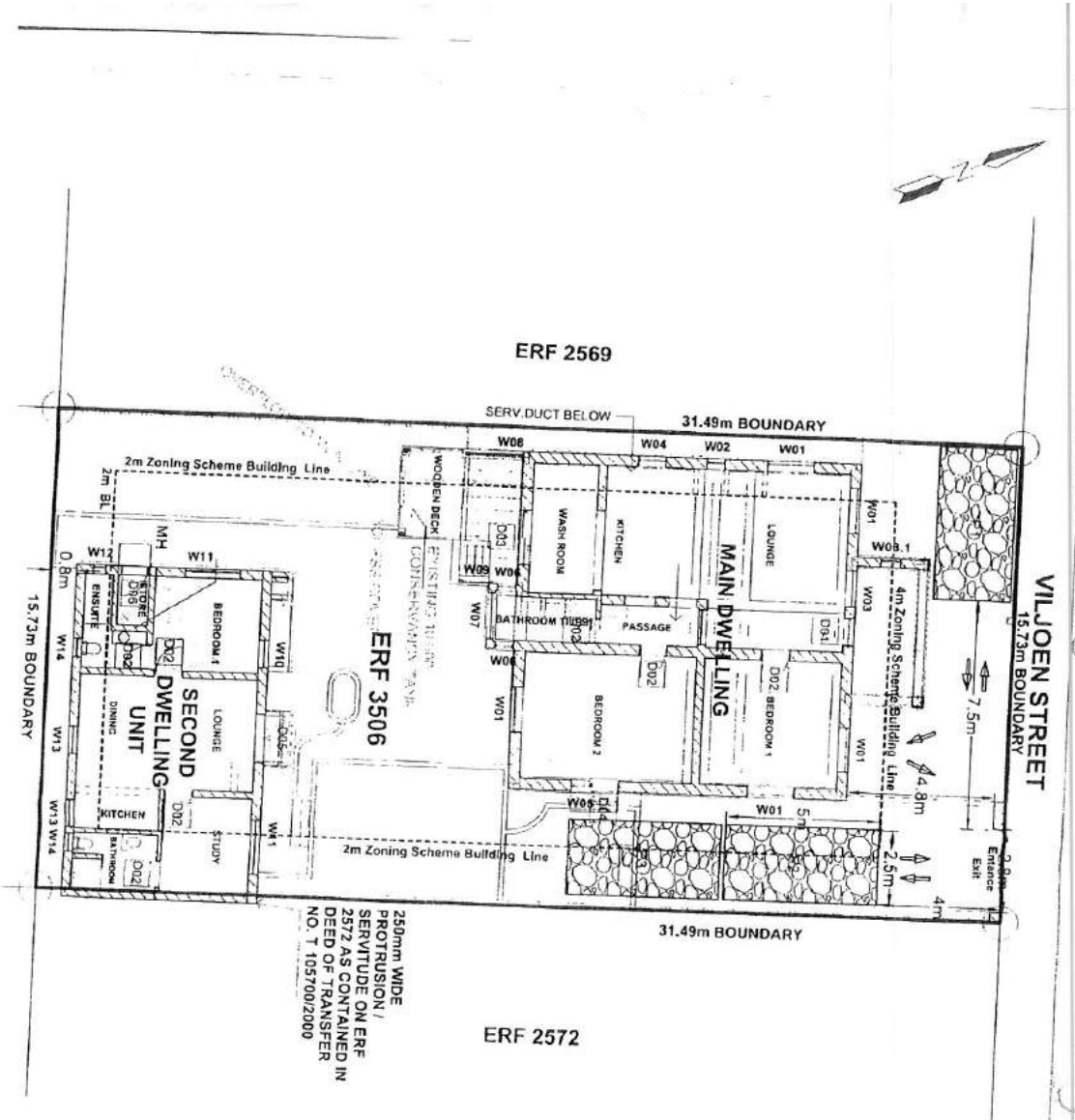
35 Duiker Street  
 PO Box 1247  
 Hermanus  
 7200

Tel: 028 313 1411  
 Fax: 086 508 3248  
 Email: wrap@telkomsa.net  
 Web: www.wrapgroup.co.za



Scale 1 : 1000

Scale 1 : 4000



250mm WIDE  
PROTRUSION /  
SERVITUDE ON ERF  
2572 AS CONTAINED IN  
DEED OF TRANSFER  
NO. T 105700/2000

**Site Development  
Plan of  
Erf 3506 Onrustvriër**

- ERF 3506 Onrustvriër (4859m<sup>2</sup>)
- Proposed layout/ accommodation
- Car movement
- ROOM SCHEDULE
- MAIN DWELLING

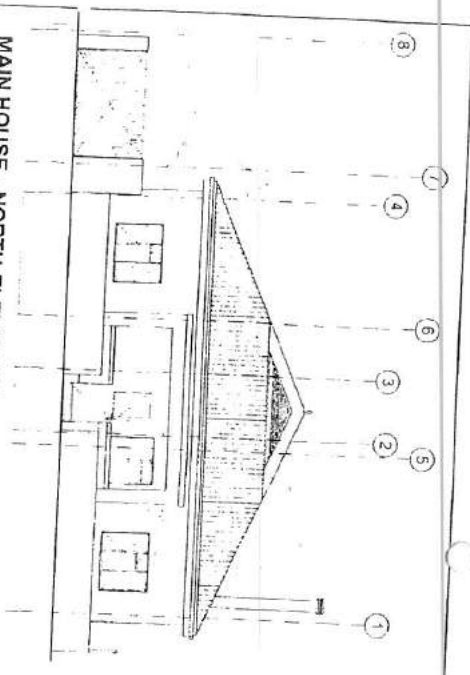
NO.	DESCRIPTION	AREA (m <sup>2</sup> )	PERCENTAGE
1	LOUNGE	28	0.58
2	KITCHEN	18	0.37
3	WASH ROOM	10	0.21
4	BATHROOM	10	0.21
5	PASSAGE	5	0.10
6	BEDROOM #1	12	0.25
7	BEDROOM #2	12	0.25
8	PATIO	10	0.21
9	REAR	10	0.21
10	SHED	10	0.21
11	25000 m <sup>2</sup>	25000	514.1
<b>COTTAGE</b>			
12	BEDROOM #1	12	0.25
13	LOUNGE	10	0.21
14	STUDY	10	0.21
15	KITCHEN	10	0.21
16	DINING BODY	10	0.21
17	BATHROOM	10	0.21
18	SHED	10	0.21
<b>TOTAL SITE AREA</b>		<b>4859</b>	
<b>TOTAL BUILDING FOOTPRINT</b>		<b>41.8%</b>	
<b>TOTAL % COVER</b>		<b>20%</b>	

Plan 4  
Scale 1:125  
Plan prepared by: Reatellie Jankie  
All dimensions approximate and subject to survey.  
WRAP makes no warranty of any kind (expressed or implied) with regard to data and incidental or consequential damages in connection with or arising out of the use of this data. The data remain the property of the client and may only be used for the purposes of a project with the prior written approval of the client.  
35 Duker Street  
Pobox 1247  
Hermanus  
7200  
Tel: 028 313 1411  
Fax: 086 508 3248  
Email: wrap@elkomsa.net  
Web: www.wrapgroup.co.za

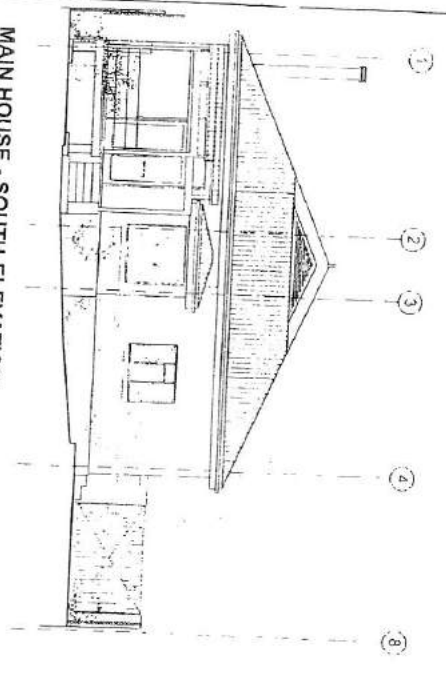




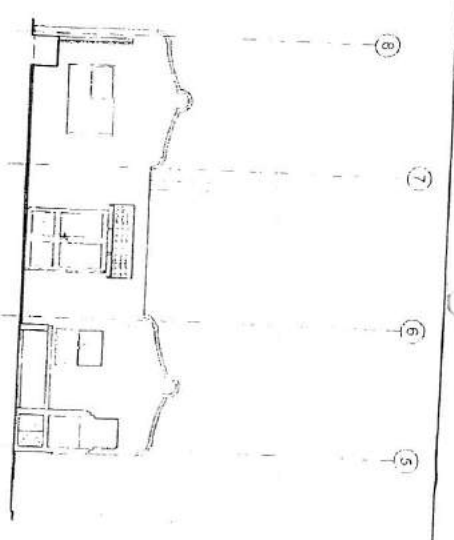
MAIN HOUSE - NORTH ELEVATION  
SCALE: 1:100



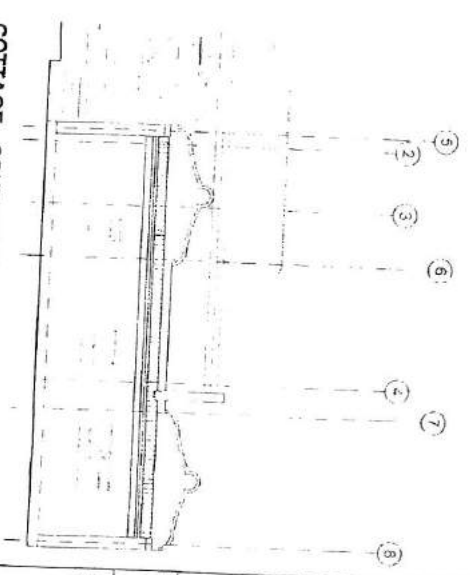
MAIN HOUSE - SOUTH ELEVATION  
SCALE: 1:100



COTTAGE - NORTH ELEVATION  
SCALE: 1:100



COTTAGE - SOUTH ELEVATION  
SCALE: 1:100



NOTES

ALL DRAWINGS AND DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

CONSULTANTS

JACOBS

PROJECT TITLE

HOUSE GROVE  
 ERE 3506  
 45 WILSON STREET  
 ONRUSRIEVER

CLIENT DETAILS

DRAWING NAME

ELEVATIONS 2

DRAWING NO

104-04

REVISION

104-04

DATE: 17-06-2016  
 DRAWN BY: JMW  
 SCALE: 1:100  
 PROJECT NO: 104-04  
 PROJECT NAME: HOUSE GROVE  
 PROJECT ADDRESS: 45 WILSON STREET, ONRUSRIEVER  
 PROJECT CONTACT: 08 9437 2222

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 3506, ONRUS RIVER (3710)

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 3506, Onrus River, unobstructed;
5. that no on-street parking be allowed.

  
\_\_\_\_\_  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

21/2/2018

\_\_\_\_\_  
**DATE**