

**PORTFOLIO COMMITTEE :
INFRASTRUCTURE & PLANNING**

Chairperson :

Cllr K Brice

Committee Members :

**Cllrs D Botha, F Krige,
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :
INFRASTRUKTUUR & BEPLANNING**

Voorsitter :

Rdl K Botha

Komiteelede :

**Rdle D Botha, F Krige,
S Tebele & V Pungupungu**

INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE
INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE

19 March 2019

I N D E X

ITEM

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NUMBER

APPLICATIONS FOR LEAVE OF ABSENCE

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**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JANUARY 2019 –
FEBRUARY 2019**

15/3/11

R van Antwerp

(028) 313 8039

Hermanus Administration

11 February 2019

1. Executive Summary

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 11 January 2019 – 11 February 2019.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

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9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

RECOMMENDATION:

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 11 January 2019 – 11 February 2019:

Spatial Land Use Management Act (SPLUMA) Approvals

1.	Erf 2159, Pearly Beach	8 January 2019
2.	Erf 486, Gansbaai	17 January 2019
3.	Erf 2294, Pearly Beach	17 January 2019
4.	Erf 2359, Pearly Beach	17 January 2019
5.	Erf 1313, Hermanus	18 January 2019
6.	Erf 5929, Hermanus	18 January 2019
7.	Erf 58, Stanford	18 January 2019
8.	Erf 957, Stanford	18 January 2019
9.	Erf 2331, Pearly Beach	18 January 2019
10.	Erf 1746, Sandbaai	22 January 2019
11.	Erf 7349, Kleinmond	22 January 2019
12.	Erf 527, Gansbaai	22 January 2019
13.	Erf 2269, Onrustrivier	30 January 2019
14.	Erf 1079, Vermont	30 January 2019
15.	Erf 1909, Vermont	30 January 2019
16.	Erven 117 and 118, Fisherhaven	30 January 2019
17.	Erf 4599, Onrustrivier	30 January 2019
18.	Erf 2344, Pearly Beach	30 January 2019
19.	Erf 8806, Zwelihle	30 January 2019
20.	Erf 2100, Vermont	30 January 2019
21.	Erf 1653, Hawston	11 February 2019
22.	Erf 2064, Onrustrivier	11 February 2019
23.	Erven 193 and 12254, Hermanus	12 February 2019

Municipal Planning Tribunal

1.	Erven 1599 and 2461, Sandbaai	24 January 2019
2.	Erf 1638, Sandbaai	24 January 2019
3.	Erf 2028, Onrustrivier	24 January 2019

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4. Erf 4655, Onrustrivier

24 January 2019

RESPONSIBLE OFFICIAL : R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION : 10 APRIL 2019

TARGET DATE TO INFORM APPLICANT : N/A

TARGET DATE TO INFORM OBJECTOR : N/A

**AGENDA of the
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19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JANUARY 2019 –
FEBRUARY 2019**

15/3/11

R van Antwerp

(028) 313 8039

Hermanus Administration

11 February 2019

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON
19 MARCH 2019, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

10 APRIL 2019

TARGET DATE TO INFORM APPLICANT :

N/A

TARGET DATE TO INFORM OBJECTOR :

N/A

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Spatial Land Use Management Act (SPLUMA) Approvals

1. ERF 2159, C20 CARPENTER STREET, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: BM RAUCH ON BEHALF OF JH WALTERS

2159 GPB (3993)

P Roux

(028) 313 8900

Hermanus Administration

9 November 2018

EXECUTIVE SUMMARY

To consider an application received on 4 May 2018 from BM Rauch on behalf of the property owner on Erf 2159, Pearly Beach for a departure in terms of Section 16(2)(b) of the Overstrand By-Law on Municipal Land Use Planning, 2015 in order to relax the street building line from 2m to 1m to accommodate alterations and additions.

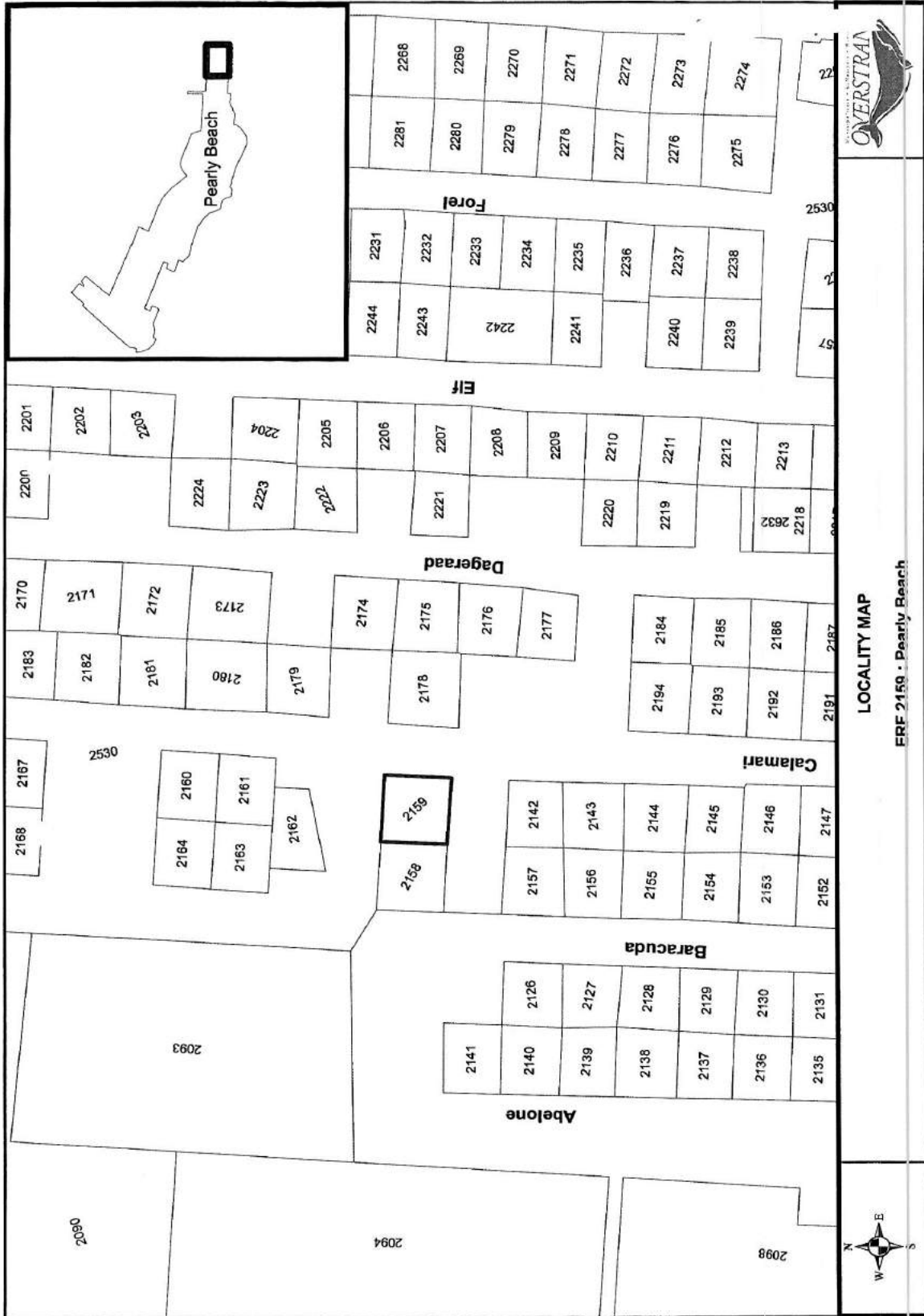
RESOLVED :

1. that in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 2159, Pearly Beach for a departure in order to relax the street building line from 2m to 1m to accommodate alterations and additions, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that alternative materials for the construction of the proposed extension in line with Part T of the SANS 10400 Regulations be indicated on a revised building plan and approved by the Pearly Beach Holiday Resort Homeowners;
 - (b) that the revised building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments, be complied with at that stage;
 - (c) that all the conditions in the Services Report and Telkom, be complied with;
 - (d) that the development be in compliance with the approved guidelines, and
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation.

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Portfolio Committee: Infrastructure & Planning
19 March 2019**

(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2159, PEARLY BEACH (3993)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2159, Pearly Beach, unobstructed;
6. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

15 / 10 / 2018

DATE

**AGENDA of the
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2. ERF 486, 14 DE WET STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA: REMOVAL OF RESTRICTIVE CONDITIONS, CONSENT USE AND DEPARTURE: MESSRS TOWN & COUNTRY CREATIVE LAND SOLUTIONS ON BEHALF OF GANSRUS (PTY) LTD

486 GB (4019)

**SW van der Merwe
4 December 2018**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 30 May 2018 from Messrs Town and Country Creative Land Solutions on behalf of Gansrus (Pty) Ltd in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- application in terms of Section 16(2)(f) for the removal of Condition C.4.(b) of Title Deed T87193/2007 applicable to Erf 486, Gansbaai in order to utilize the existing dwelling as an institution (private care home / home for the aged) and to accommodate a second dwelling unit;
- application in terms of Section 16(2)(o) for consent use (institution) in order to enable the owners to utilize the existing dwelling as a private care home / home for the aged, and
- application in terms of Section 16(2)(b) for departure of the lateral building line from 2m to 1,57m in order to accommodate a use change of an existing outbuilding to a second dwelling unit.

RESOLVED :

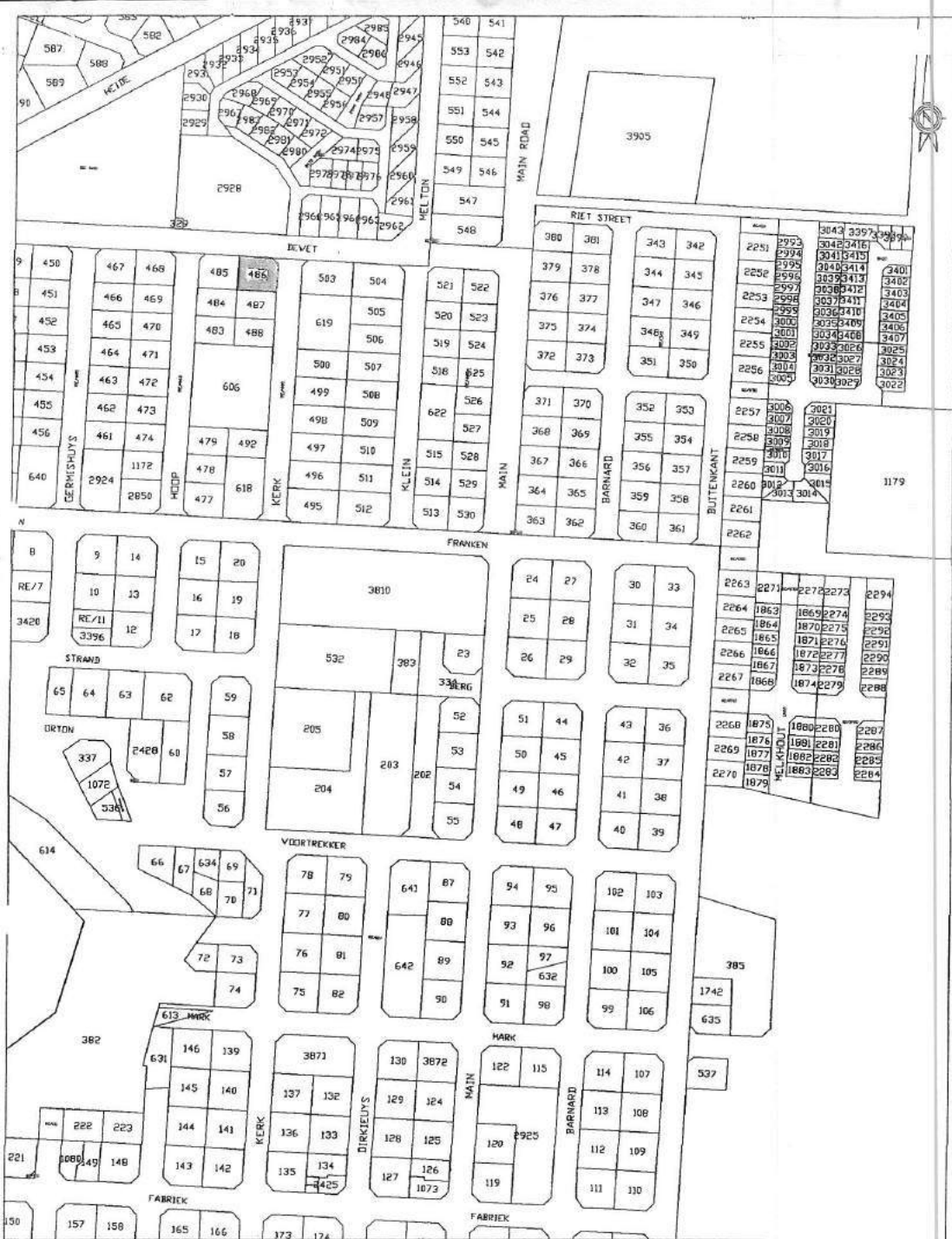
1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 486, Gansbaai for the removal of the restrictive condition Clause C.4(b) of Title Deed T87193/2007, **be approved** in terms of the provisions of Sections 61 of the By-Law;
2. that the application in terms of Section 16(2)(o) of the afore-mentioned By-Law on Erf 486, Gansbaai for consent use (institution) in order conduct a residential care home, **be approved** in terms of the provisions of Sections 61 of the By-Law;
3. that the application for departure in terms of Section 16(2)(b) of the afore-mentioned By-Law for the encroachment of the lateral building line from 2m to 1,57m in order to accommodate a use change of an existing outbuilding to a second dwelling unit, **be approved** in terms of the provisions of Sections 61 of the By-Law;

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4. that the approvals in paragraphs 1. to 3. above be subject to the following conditions:
 - (a) that the facility be restricted to a maximum of six (6) bedrooms with a maximum occupancy of twelve (12) people;
 - (b) that a revised parking layout be submitted that makes provision for a disabled parking bay within thirty (30) days following the approval of the application;
 - (c) that a minimum of one (1) permanently demarcated parking bay per bedroom be provided within the erf boundaries, subject to the approval of the Senior Manager: Town & Spatial Planning;
 - (d) that building plans be submitted within thirty (30) days following approval of the decision date and that all the requirements from the Building Control and Fire Department be adhered to;
 - (e) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (f) that the accommodation facility complies with the applicable Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (g) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
 - (h) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
 - (i) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (j) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (k) that all the conditions in the Services Report, be complied with, and
 - (l) that all conditions imposed by the Fire Department and Telkom, be complied with.


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5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

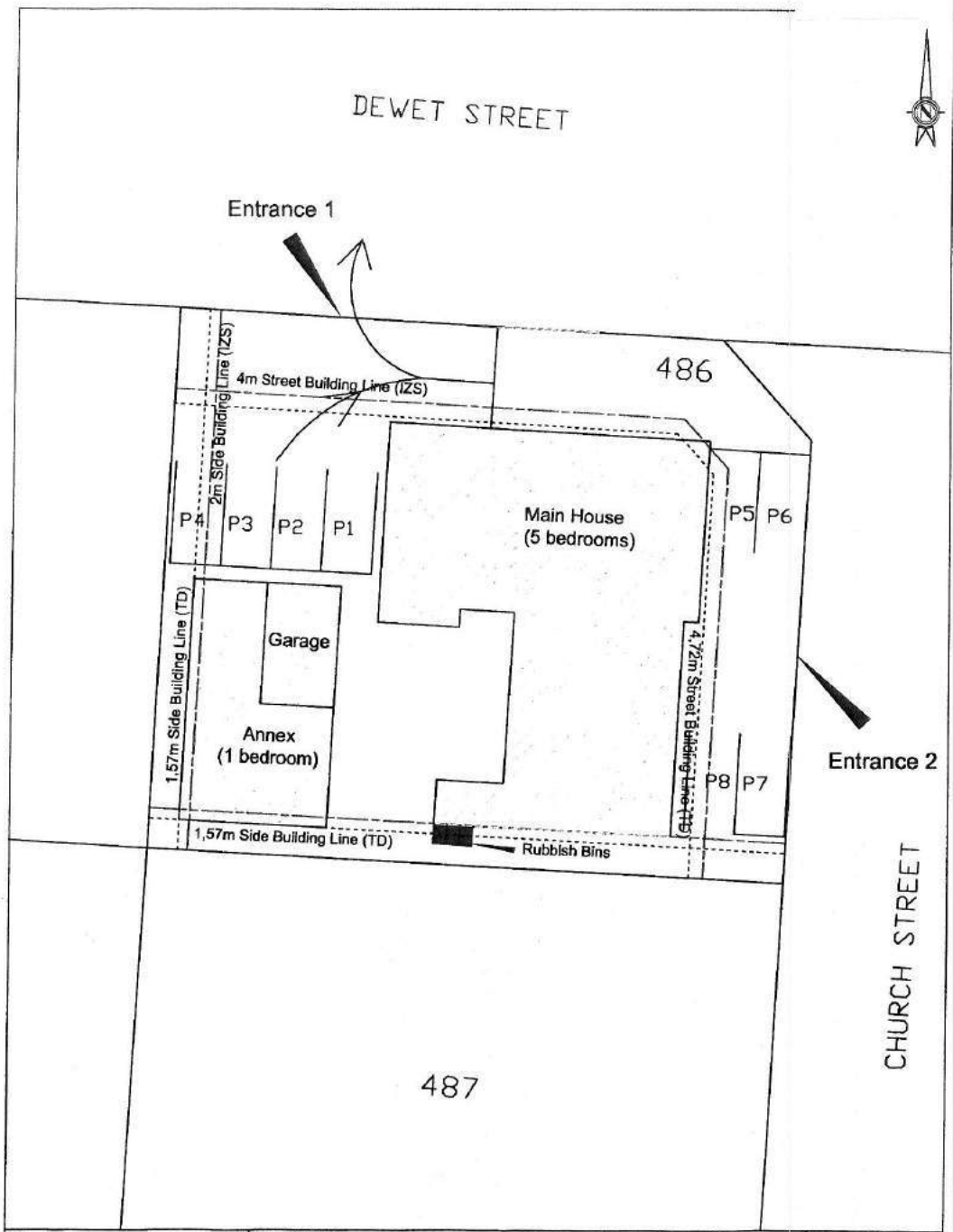



Town & Country
 Creative Land Solutions
 P.O. Box 1065
 Bredasdorp
 7280
 Tel. 028 424 1545
 Fax. 028 425 2085
 E-mail: towncountry@vodamail.co.za

PROJECT
 LOCALITY PLAN: ERF 486 GANSBAAI
 OVERSTRAND MUNICIPALITY



DRAWN	CHECKED
LT	LT
SCALE	DATE
NTS	MAY 2018
DIWG No.	REVISION
Notes:	




Town & Country <i>Creative Land Solutions</i> P.O. Box 1085 Bredasdorp 7280 Tel. 028 424 1545 Fax. 028 425 2085 E-mail: towncountry@vodamail.co.za	PROJECT SITE PLAN: ERF 486 GANSBAAI OVERSTRAND MUNICIPALITY		DRAWN LT	CHECKED LT
	 Land Surveyors • Town Planners		SCALE 1:250	DATE MAY 2018
			DWG No. 1915	REVISION 5
	Note: All areas and distances subject to survey			

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS,
CONSENT USE & DEPARTURE: ERF 486, GANSBAAI (4019)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that any repositioning of existing electrical services will be for the developer's account;
4. that any relevant commercial food preparation facilities must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
6. that any additional and / or extended vehicle entrances will be for the developer's account;
7. that stormwater be allowed to discharge through Erf 486, Gansbaai, unobstructed;
8. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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3. ERF 2294, 18 HARDER STREET, PEARLY BEACH RESORT, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: E & JHP NIEMAND

2294 GPB (3592)

SW van der Merwe

(028) 313 8900

Hermanus Administration

11 December 2018

Executive Summary

An application has been received on 24 February 2017 from the property owners, E & JHP Niemand for the encroachment of the 4m height restriction applicable in terms of the Pearly Beach Resort Development Rules to 4,08m.

RESOLVED :

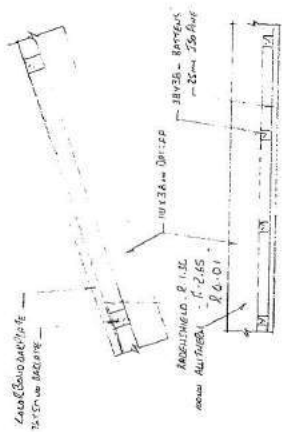
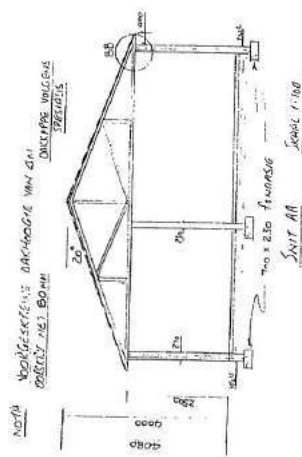
1. that in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the departure application on Erf 2294, Pearly Beach in order to encroach the 4m height restriction with 0,08m, **be approved** in terms of the provisions of Section 61 of the By-law subject to the following conditions:
 - (a) that the approval only be applicable to the relaxation of height restriction to 4,080m as indicated on the Site Development Plan;
 - (b) that building plans be submitted to the Building Department for approval and any requirements of the Building and Fire Departments be adhered to;
 - (c) that all the conditions in the Services Report, be complied with;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the Pearly Beach Development Rules be adhered to.
2. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



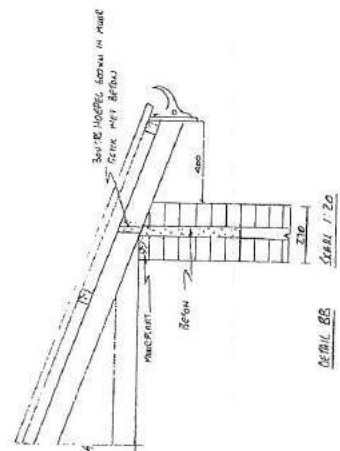
LOCALITY PLAN: ERF 2294, PEARLY BEACH

Date: 2018-12-13





DEP. DAK 700/800



DEP. DAK 700/800

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2294, PEARLY BEACH (3592)**

Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
3. that any additional and / or extended vehicle entrances will be for the developer's account;
4. that stormwater be allowed to discharge through Erf 2294, Pearly Beach, unobstructed;
5. that no on-street parking be allowed.


**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

30/5/2017.
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
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4. ERF 2359, 15, INKVIS STREET, PEARLY BEACH (PEARLY BEACH RESORT), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: IG MUSKETT-YETTS

2359 GPB (3591)

SW van der Merwe

(028) 313 8900

Hermanus Administration

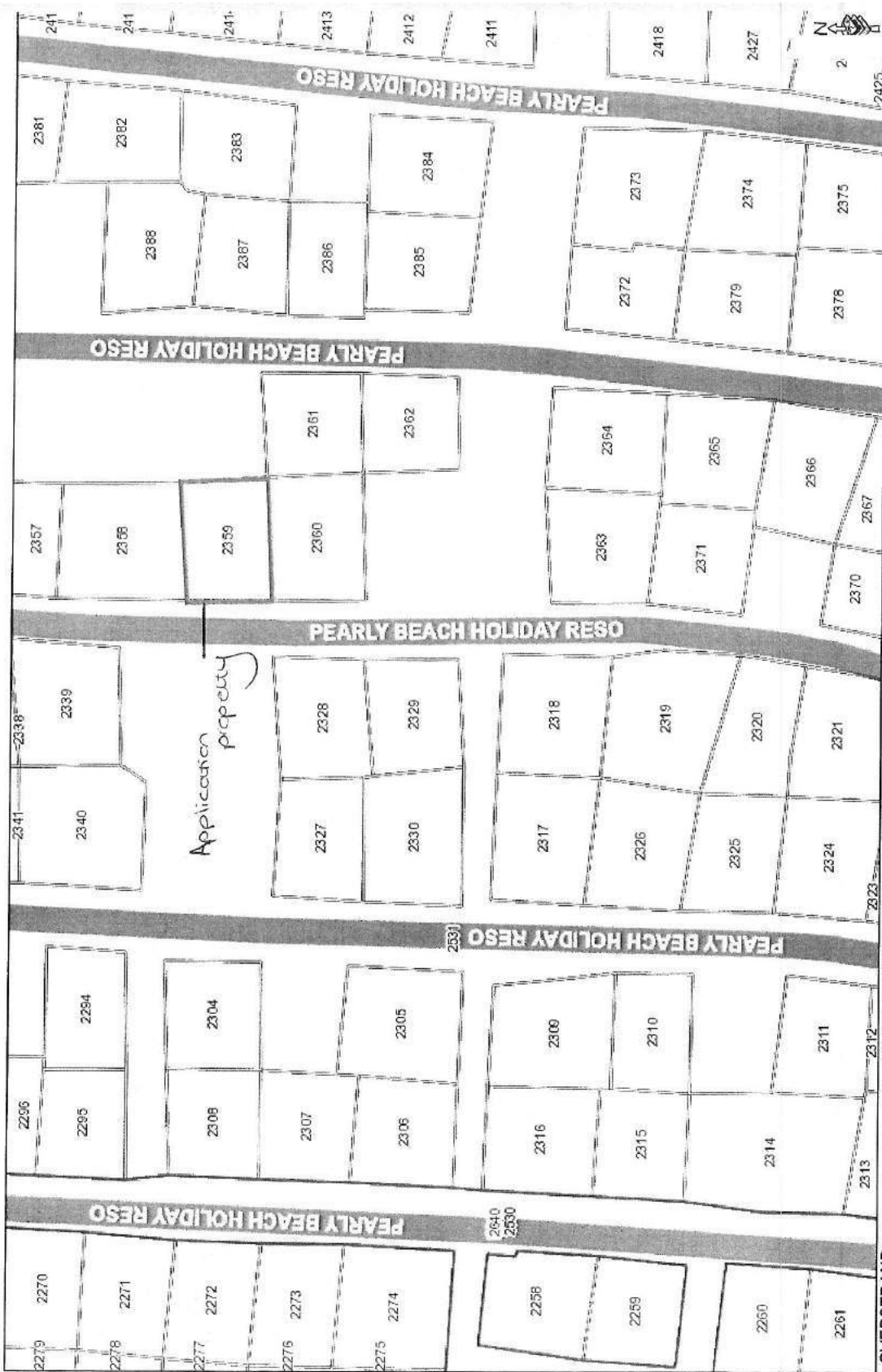
12 December 2018

Executive Summary

An application has been received on 24 February 2017 from the property owner, IG Musket-Yetts for the encroachment of the 4m height restriction applicable in terms of the Pearly Beach Resort Development Rules to 4,180m.

RESOLVED :

1. that, in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 the departure application on Erf 2359, Pearly Beach in order to encroach the 4m height restriction with 0,180m **be approved** in terms of the provisions of Section 61 of the By-law subject to the following conditions:
 - (a) that the approval only be applicable to the relaxation of height restriction to 4,180m as indicated on the Site Development Plan;
 - (b) that building plans be submitted to the Building Department for approval and any requirements of the Building and Fire Departments be adhered to;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation; and
 - (d) that all other development parameters as prescribed in the Pearly Beach Development Rules be adhered to.
2. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN: ERF 2359, PEARLY BEACH

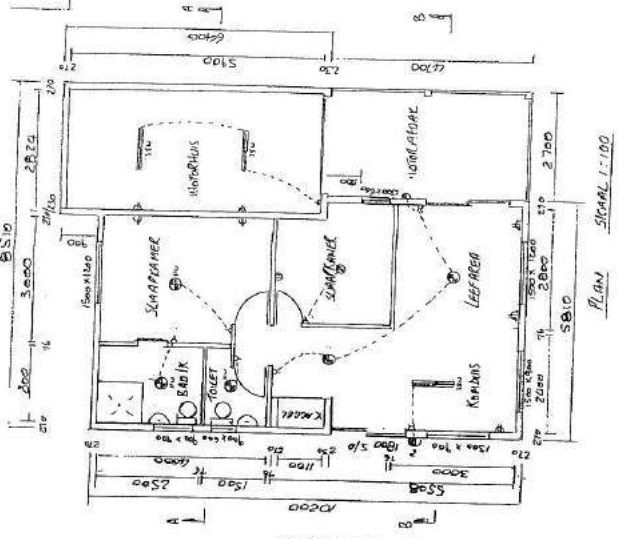


**OORGESTELDE VERANDERING AAN DAKHOOGTE VIR
L. STEENKAMP & S. SCHMIDT
OP ERF No 2359 GELEË TE PEARLY BEACH OORD**

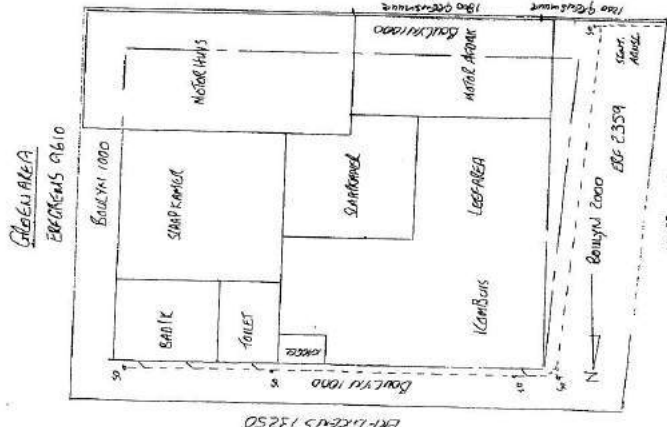
ELEKTRIESE INSTALLASIE
volgens - SANS 10400
ENERGIE VEREISTE
TOLLAATBAAR 5 W/m²
S W/m² X 1,25 = 6,25 W
A 1,25 W bulsigte = 1,25 W
B 1,25 W bulsigte = 1,25 W
TOTALE ... W
1,25 W ... W

150 L " SOLAR WATER HEATER "
wat min 70% doeltreffend moet wees.
Volvoen aan SANS 1307 en 10106.
installering volgens SANS 10254

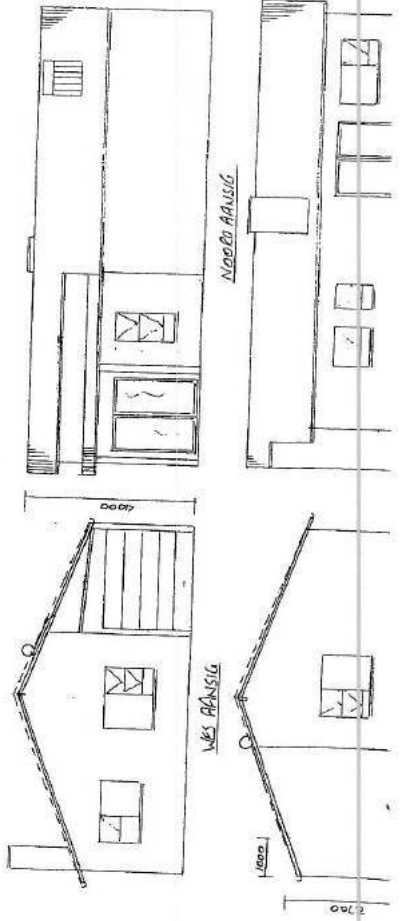
EFF-GAARTE 131 M²
BEREIKING 68 25,9



PLAN SKAAL 1:100



PERDENTPLAN SKAAL 1:100



- STEENWERK**
Bullemus bakstene "grobaj" en geref volgens etnisar se kodec
- Binnemure 9mm pleister baad lante on 4 mm horisium met 30 mm ALUTHEER luseen in
- DAKSTROOFSTRAALASIE**
Gedubbele Plaat op 75 x 50 mm dakplaat @ 1200 mm sis maks op 114x28 mm
- Gang half dekkings @ 1200 mm maks op 114 x 30 mm muurplaat voorteen van 88 x 12 mm gegelvalreende boeschoepel by elke balk
- PLAFONNE**
Rhoes and met "depression" spjelular op 3000 SAA @ 400 mm sis pleister
- VENSTERLENDEURE**
Niel Aluminium
- RIOOLWERS**
Volgens munisipale verplegca en regulasias
- SELTE**
PVC geule en altpyppe Geule op 22x12 mm fasa borg
- ELEKTRISITIEI**
Alle elektisiteit werk deur doekabls
- Volvoeringsstelsel wat moet voorden word
- OPPERVLAKTE** 56,88 m²
- Neonplaat 56,88 m²
- Moemula 56,88 m² Adak 12,69 m²
- Totale 79,57 m²
- SKAAL 1:100
- Reg no D2730

ALEMENEN
Alle mure en langtes moet in beton ingegrawe word
vande werke met beton
Mure op elke 600 mm afstand met 125 mm dikke
vloerplaat in alle gevalle min 300 mm by grondvlak
"Opdragting" moet onder alle nippelinge in betonmure
voorden word
Kopie versending met gepatenteerde buisversuipplaat
min 400 mm dikke in steenwerke
Betreke minne ons alle nippelinge
Min 400 mm met "brake lante" (metsel de
triele)
Alle dak boue wat in water in gebruik word
beide word by greftele van dit met die m
werk
ALLE BOUWERK SPESIFIKASIE VOLGENS
PROVINSIALE EN PLAASLIKE BOU R
WET
G. J. DE KUN
11/11/2011

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
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5. ERF 1313, 329 MAIN ROAD, HERMANUS (EASTCLIFF), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: M VENTER

1313 HEC (4105)

P Roux

(028) 313 8900

Hermanus Administration

6 December 2018

Executive Summary

To consider an application received on 18 July 2018 from the property owner, M Venter on Erf 1313, Hermanus (Eastcliff), in terms of Section 16(2)(o) for a consent use for the operation of a four (4) bedroom guest house.

RESOLVED :

1. that the application received from the property owner, M Venter on Erf 1313, Hermanus (Eastcliff), for a consent use in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) for the operation of a four (4) bedroom guest house, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the facilities be utilized as dwellings and guest houses only - no self-catering;
 - (b) that this approval only relates to the proposed Site Development Plan as submitted with the application;
 - (c) that building plans be submitted to the Building Department for approval and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that a maximum of four (4) bedrooms to be let, be permitted;
 - (e) that the owner/manager resides on the premises and be responsible for the proper management of the guest house;
 - (f) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on each property;
 - (g) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
 - (h) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary liquor licence;

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(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

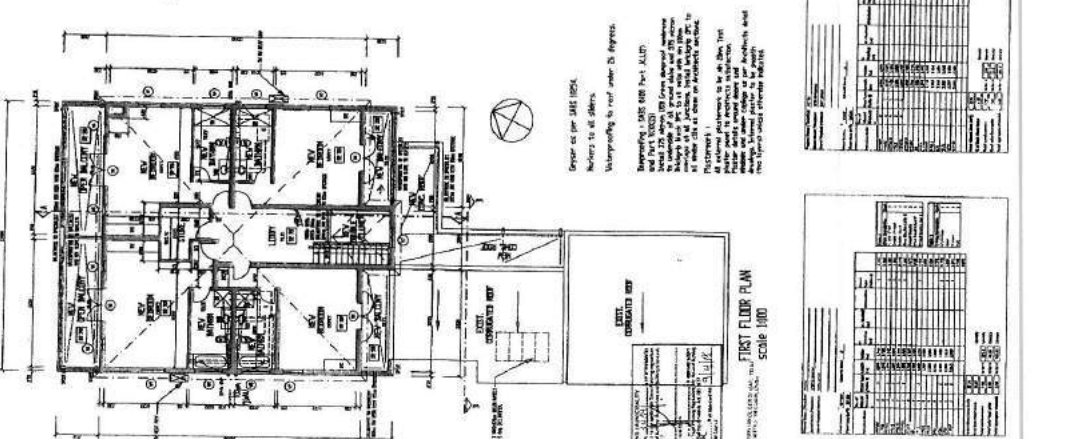
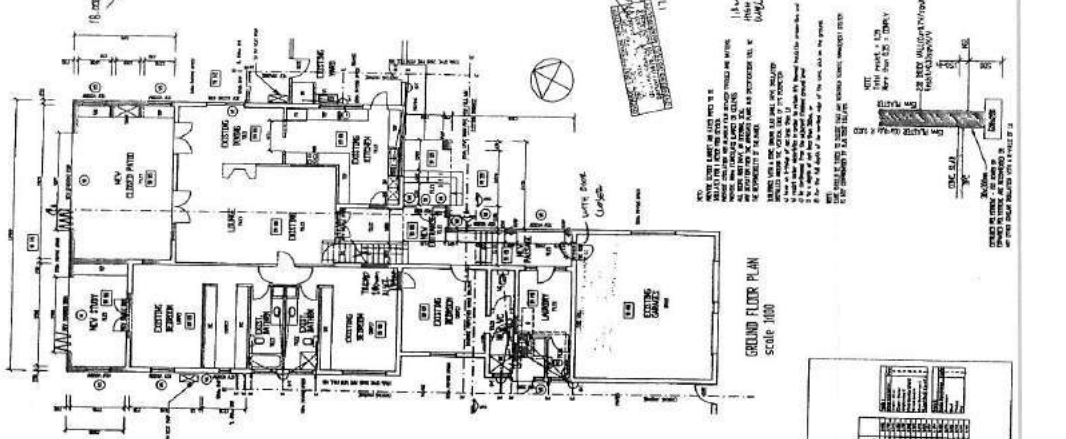
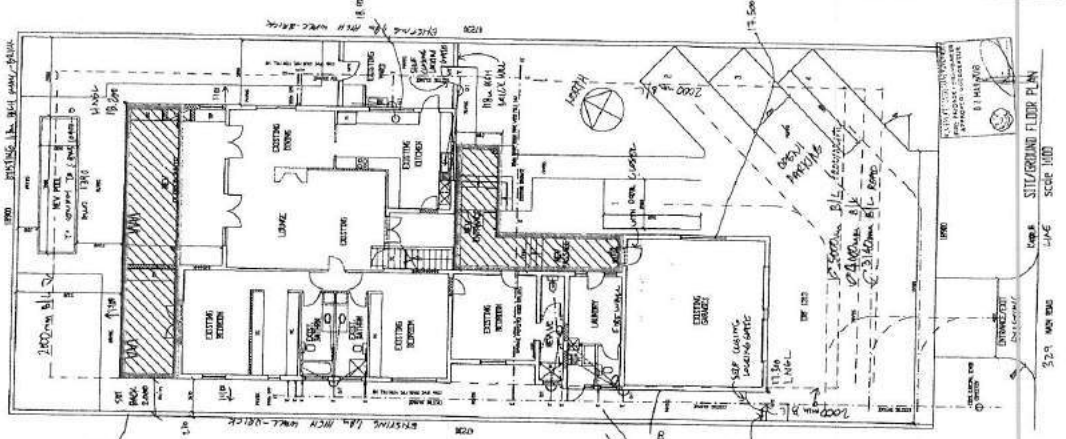
- (i) that a maximum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries;
 - (j) that the applicable tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (k) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (l) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
 - (m) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
 - (n) that all the conditions in the Services Report, be complied with;
 - (o) that all conditions imposed by the Fire Department and Department of Transport and Public Works, be complied with;
 - (p) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (q) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ET 1313 HEC

Date: 2018-01-23

CONSTRUCTION NOTES:
 Details and Materials: L&S 002 Part 1 of 2
 Details and Materials: L&S 002 Part 2 of 2
 Details and Materials: L&S 002 Part 3 of 2
 Details and Materials: L&S 002 Part 4 of 2
 Details and Materials: L&S 002 Part 5 of 2
 Details and Materials: L&S 002 Part 6 of 2
 Details and Materials: L&S 002 Part 7 of 2
 Details and Materials: L&S 002 Part 8 of 2
 Details and Materials: L&S 002 Part 9 of 2
 Details and Materials: L&S 002 Part 10 of 2
 Details and Materials: L&S 002 Part 11 of 2
 Details and Materials: L&S 002 Part 12 of 2
 Details and Materials: L&S 002 Part 13 of 2
 Details and Materials: L&S 002 Part 14 of 2
 Details and Materials: L&S 002 Part 15 of 2
 Details and Materials: L&S 002 Part 16 of 2
 Details and Materials: L&S 002 Part 17 of 2
 Details and Materials: L&S 002 Part 18 of 2
 Details and Materials: L&S 002 Part 19 of 2
 Details and Materials: L&S 002 Part 20 of 2



NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	10/15/10	J. SMITH	M. JONES
2	ISSUED FOR CONSTRUCTION	10/20/10	J. SMITH	M. JONES
3	ISSUED FOR OCCUPANCY	11/01/10	J. SMITH	M. JONES
4	ISSUED FOR AS-BUILT	11/15/10	J. SMITH	M. JONES
5	ISSUED FOR RECORD	12/01/10	J. SMITH	M. JONES

ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NOTES:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- 5. ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN UNDERLAYS.
- 6. ALL FOUNDATIONS SHALL BE CONSTRUCTED ON UNDISTURBED SOIL OR ON PILES.
- 7. ALL STRUCTURAL MEMBERS SHALL BE PROTECTED AGAINST COLLISION AND DAMAGE.
- 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 9. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
- 10. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
- 11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- 13. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- 14. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- 15. ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN UNDERLAYS.
- 16. ALL FOUNDATIONS SHALL BE CONSTRUCTED ON UNDISTURBED SOIL OR ON PILES.
- 17. ALL STRUCTURAL MEMBERS SHALL BE PROTECTED AGAINST COLLISION AND DAMAGE.
- 18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 19. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
- 20. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.

CONSTRUCTION NOTES

Slabs and Foundations - S&S 008 Part I & II

Slabs and foundations shall be constructed in accordance with the specifications and conditions of contract. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

Slabs: Slabs shall be cast in place and shall be supported by formwork. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All slabs shall be finished to the specified grade and shall be protected from damage during construction.

Foundations: Foundations shall be constructed on undisturbed soil or on piles. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All foundations shall be finished to the specified grade and shall be protected from damage during construction.

Structural Members: All structural members shall be protected against collision and damage. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All structural members shall be finished to the specified grade and shall be protected from damage during construction.

Utilities: All utilities shall be protected and deeper than underlays. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All utilities shall be finished to the specified grade and shall be protected from damage during construction.

Foundations: Foundations shall be constructed on undisturbed soil or on piles. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All foundations shall be finished to the specified grade and shall be protected from damage during construction.

Structural Members: All structural members shall be protected against collision and damage. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All structural members shall be finished to the specified grade and shall be protected from damage during construction.

Utilities: All utilities shall be protected and deeper than underlays. The contractor shall be responsible for providing adequate bracing and shoring for the formwork during the casting process. All utilities shall be finished to the specified grade and shall be protected from damage during construction.

PROJECT INFORMATION

PROJECT NO. 1806. VARIOUS
BY DATE 11/13/2013
REVISIONS

DESIGNER
A. Elshain Arch' Designs

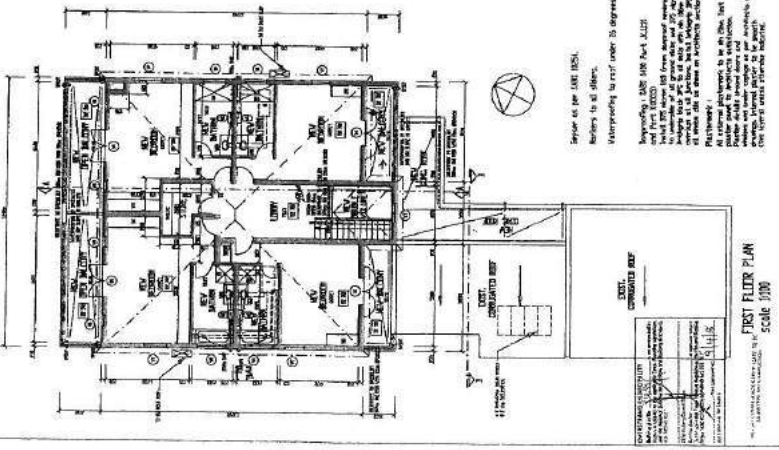
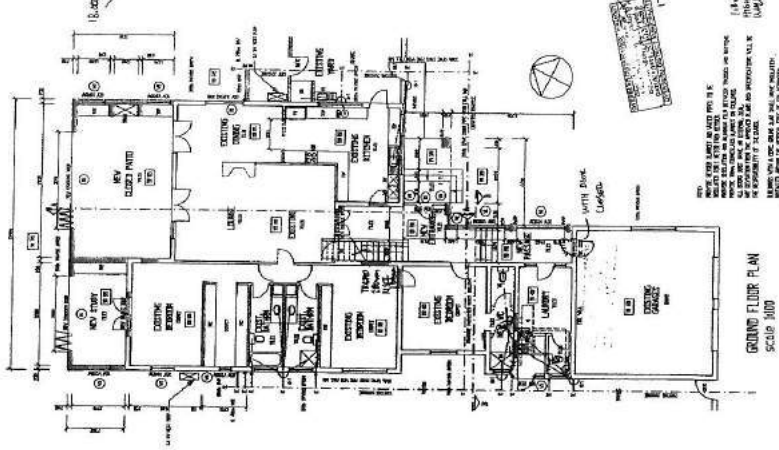
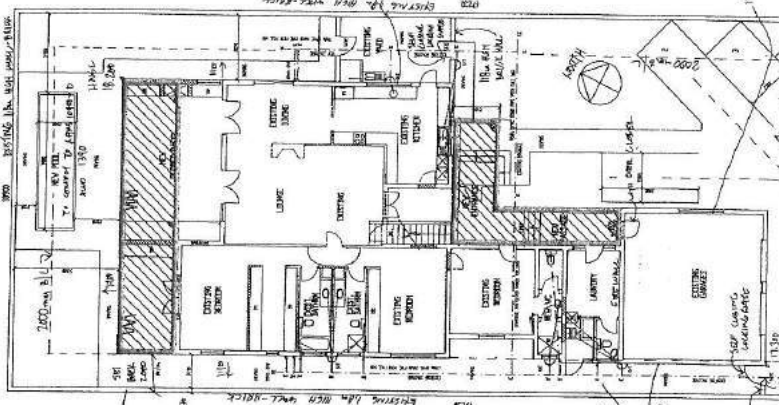
DATE
11/13/2013

SCALE
1/8" = 1'-0"

PROJECT NAME
SITE PLAN
GROUND FLOOR PLAN
FIRST FLOOR PLAN

CLIENT
A. ELSHAIN ARCH' DESIGNS

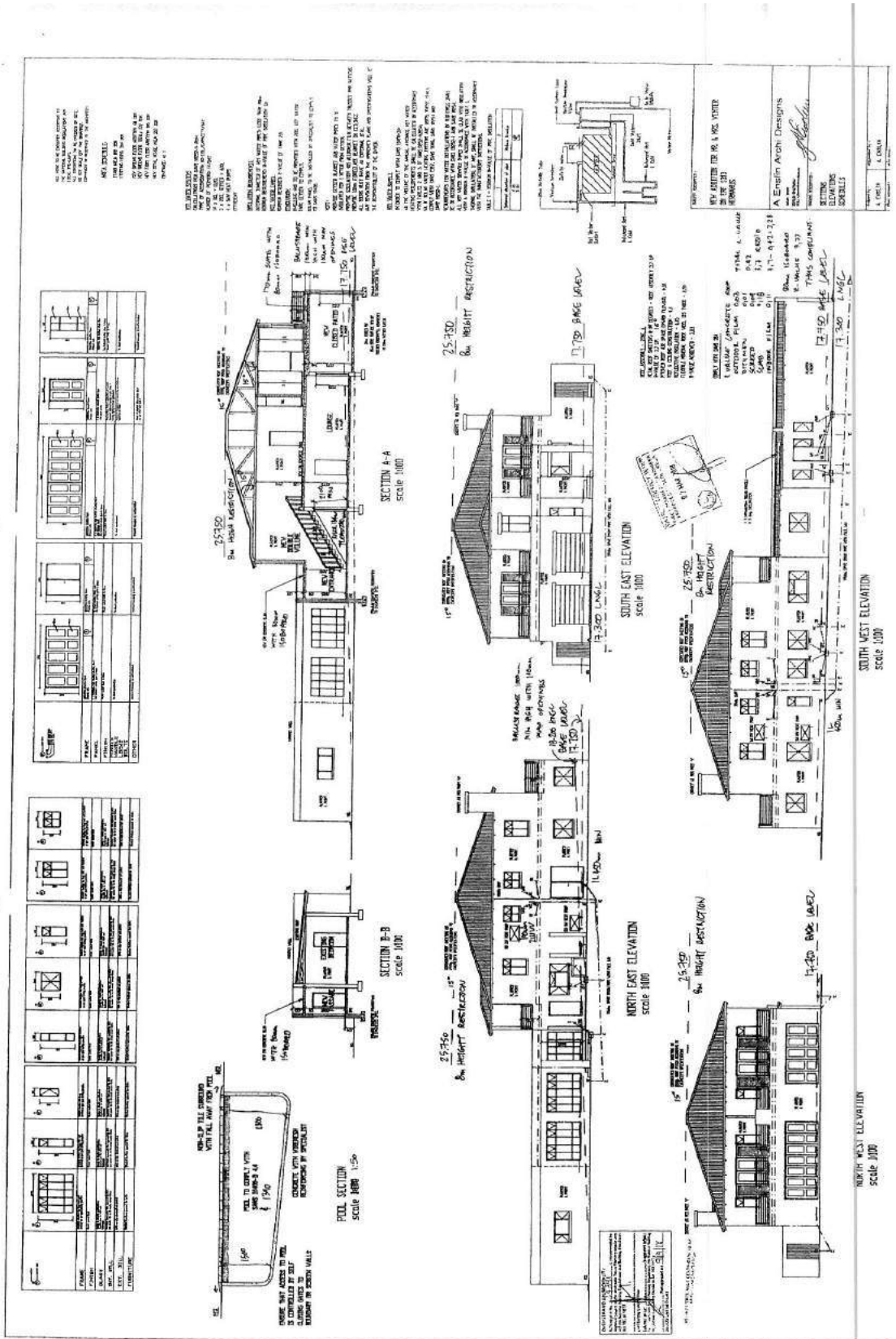
LOCATION
1806 VARIOUS



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/13/2013
2	REVISIONS	

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/13/2013
2	REVISIONS	

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/13/2013
2	REVISIONS	



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 1313, HERMANUS (4105)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewer connections will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through Erf 1313, Hermanus, unobstructed;
8. that the proposed development on Erf 1313 be provided with a central refuse collection facility, which must comply with the standards of the Department: Operational (Hermanus);
9. that refuse will be removed from sidewalks as per municipal arrangement;

10. that no on-street parking be allowed.

p.p. R. Cluck

DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

2/11/2012

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

6. ERF 5929, 7 KLIPSPRINGER STREET, HERMANUS (HERMANUS HEIGHTS), OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: DJMS & M COLLET-SERRET

5929 HHH (4144)

P Roux

(028) 313 8900

Hermanus Administration

10 December 2018

Executive Summary

An application has been received on 16 August 2018 from DJMS & M Collet-Serret, the property owners of Erf 5929, Hermanus (Hermanus Heights), in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a consent use in order to utilize the two (2) bedroom apartment, above the main dwelling, as self-catering holiday accommodation.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 5929, Hermanus (Hermanus Heights) for a consent use in order to utilize the two (2) bedroom apartment, above the main dwelling, as self-catering holiday accommodation, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that a building plan be submitted to the Building Department for approval;
 - (b) that approval is only for the renting of the apartment to a maximum of four (4) people and to a single family;
 - (c) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
 - (d) that no tourist facilities are made available on the property;
 - (e) that all the conditions in the comment from the Fire Department and the Services Report, be adhered to;
 - (f) that applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (g) that the consent use approved in paragraph 1. above be conducted in such a manner that it is not found detrimental to the peacefulness and amenity of the area, and
 - (h) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Date 2016-08-22

5929 HHH



Not To Scale

The drawing set includes several architectural views:

- Section 37:** A vertical section showing the internal structure of a building, including a roof truss system and interior walls.
- Section 38:** Another vertical section, possibly showing a different part of the building or a detail of a specific component.
- Section 39:** A section showing a building with a prominent gabled roof and a porch area.
- Section 40:** A section showing a building with a flat roof and a large open area.
- Section 41:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 42:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 43:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 44:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 45:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 46:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 47:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 48:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 49:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 50:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 51:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 52:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 53:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 54:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 55:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 56:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 57:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 58:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 59:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 60:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 61:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 62:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 63:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 64:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 65:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 66:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 67:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 68:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 69:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 70:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 71:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 72:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 73:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 74:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 75:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 76:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 77:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 78:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 79:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 80:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 81:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 82:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 83:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 84:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 85:** A section showing a building with a gabled roof and a porch, similar to Section 39.
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- Section 87:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 88:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 89:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 90:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 91:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 92:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 93:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 94:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 95:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 96:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 97:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 98:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 99:** A section showing a building with a gabled roof and a porch, similar to Section 39.
- Section 100:** A section showing a building with a gabled roof and a porch, similar to Section 39.

Notes:

1. All work to be done in accordance with the specifications and drawings.
2. The contractor shall be responsible for obtaining all necessary permits.
3. The contractor shall be responsible for the safety of the work.
4. The contractor shall be responsible for the quality of the work.
5. The contractor shall be responsible for the completion of the work.
6. The contractor shall be responsible for the maintenance of the work.
7. The contractor shall be responsible for the repair of the work.
8. The contractor shall be responsible for the replacement of the work.
9. The contractor shall be responsible for the removal of the work.
10. The contractor shall be responsible for the disposal of the work.

Contractor: [Name]

Architect: [Name]

Engineer: [Name]

Inspector: [Name]

Owner: [Name]

Date: [Date]

Scale: [Scale]

Sheet: [Sheet Number]

Project: [Project Name]

Location: [Location]

Address: [Address]

City: [City]

State: [State]

Zip: [Zip]

Phone: [Phone]

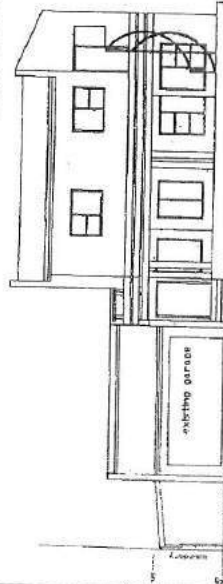
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E-mail: [E-mail]

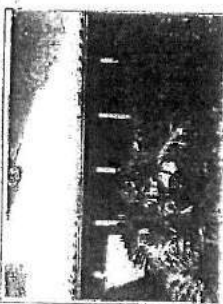
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Logo: [Logo]

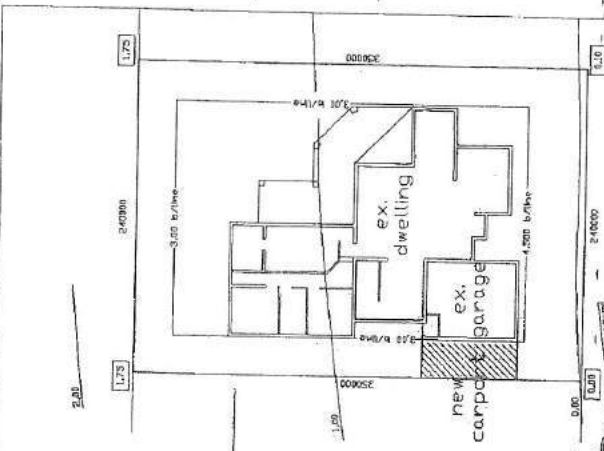
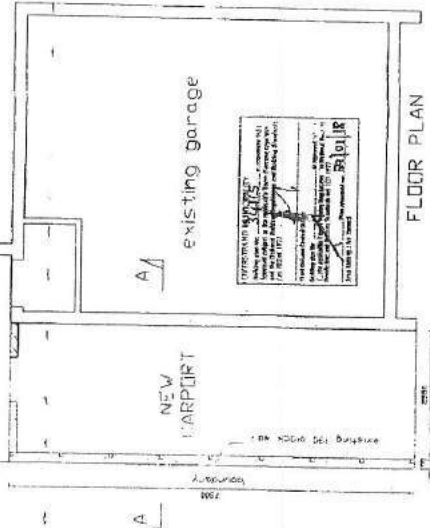
NOT TO SCALE



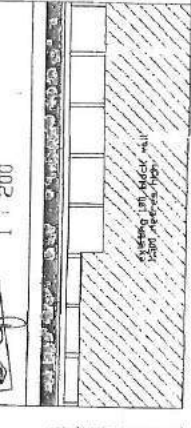
SOUTH ELEVATION



WEST ELEVATION



WEST ELEVATION



SECTION THRU 'A-A'

SECTION THRU 'A-A'

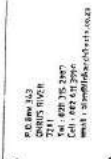
'AS-BUILT' Plan for CARPORT on
Erf 5929 Hermanus
No. 7 Klipspringer Street, Hermanus Heights
for Mr. Jorri Foutie

FLOOR AREAS
Existing ground floor : 338,0 m²
New Carport : 214,4 m²
Total : 359,4 m²
Erf Area : 84,0 m²
Coverage : 42,79 %

GENERAL SPECIFICATIONS
ALL WORK TO COMPLY WITH N.B.R.

SIGNATURE

Date



PLAN No. : 096/2018
Sheet No. : 1 of 1
Scales : 1:50 - 1:200
Principal : Alan Woolhough (M.Arch)
SACAP Reg No : T1124
SAIAT Reg No : 32097
Date : 7th January 2018
Drawn by : adw
Checked by : adw
Rev 1: 18/1/2018 : Roof covering amended to Fibre

Roof Construction - Pitch 3 degrees
30 mm G.P. waterproofing membrane on
100mm concrete slab
100mm G.P. insulation
124 x 38 pine rafters at 975 c/c's
Attached to garage with galv steel truss hangers
at three points @ 875 centres
bolted to boundary wall with galv steel brackets

existing 100 high wall
0,200 meters high

SECTION THRU 'A-A'

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 5929, HERMANUS HEIGHTS
(4144)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewer connections will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that only the existing, approved driveway access will be available for the development
6. that the driveway access to the property over the sidewalk be limited to a maximum width of 6m wide, so as to limit the impact on pedestrian traffic- and development of driveways over sidewalks and / or services;
7. that that any additional and / or extended vehicle entrances be required will be for the owner's account and subject to written approval by the Area Manager: Hermanus;
8. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
9. that stormwater be allowed to discharge through Erf 5929, Hermanus Heights, unobstructed;

10. that the proposed development on Erf 5929 be provided with a central refuse collection facility, which must comply with the standards of the Department; Operational (Hermanus);
11. that refuse will be removed from sidewalks as per municipal arrangement;
12. that no on-street parking be allowed.

p.p. D. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

05/11/2010
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**7. ERF 58, 10 VLEI STREET, STANFORD, OVERSTRAND MUNICIPAL AREA:
APPLICATION FOR CONSENT USE: A MOUTON**

58 SSS (4079)

P Roux

(028) 313 8900

Hermanus Administration

10 December 2018

Executive Summary

An application has been received on 2 July 2018 from A Mouton, the property owner of Erf 58, Stanford, in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use in order to use the second dwelling as self-catering tourist accommodation.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 58, Stanford for a consent use in order to utilize the second dwelling as self-catering tourist accommodation, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for use of the second dwelling for tourist accommodation as indicated on the Site Plan as submitted with this application;
 - (b) that approval is only for the renting of the apartment to a maximum of two (2) people;
 - (c) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
 - (d) that no tourist facilities are made available on the property;
 - (e) that all the conditions in the comment from the Fire Department and the Services Report be adhered to;
 - (f) that applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

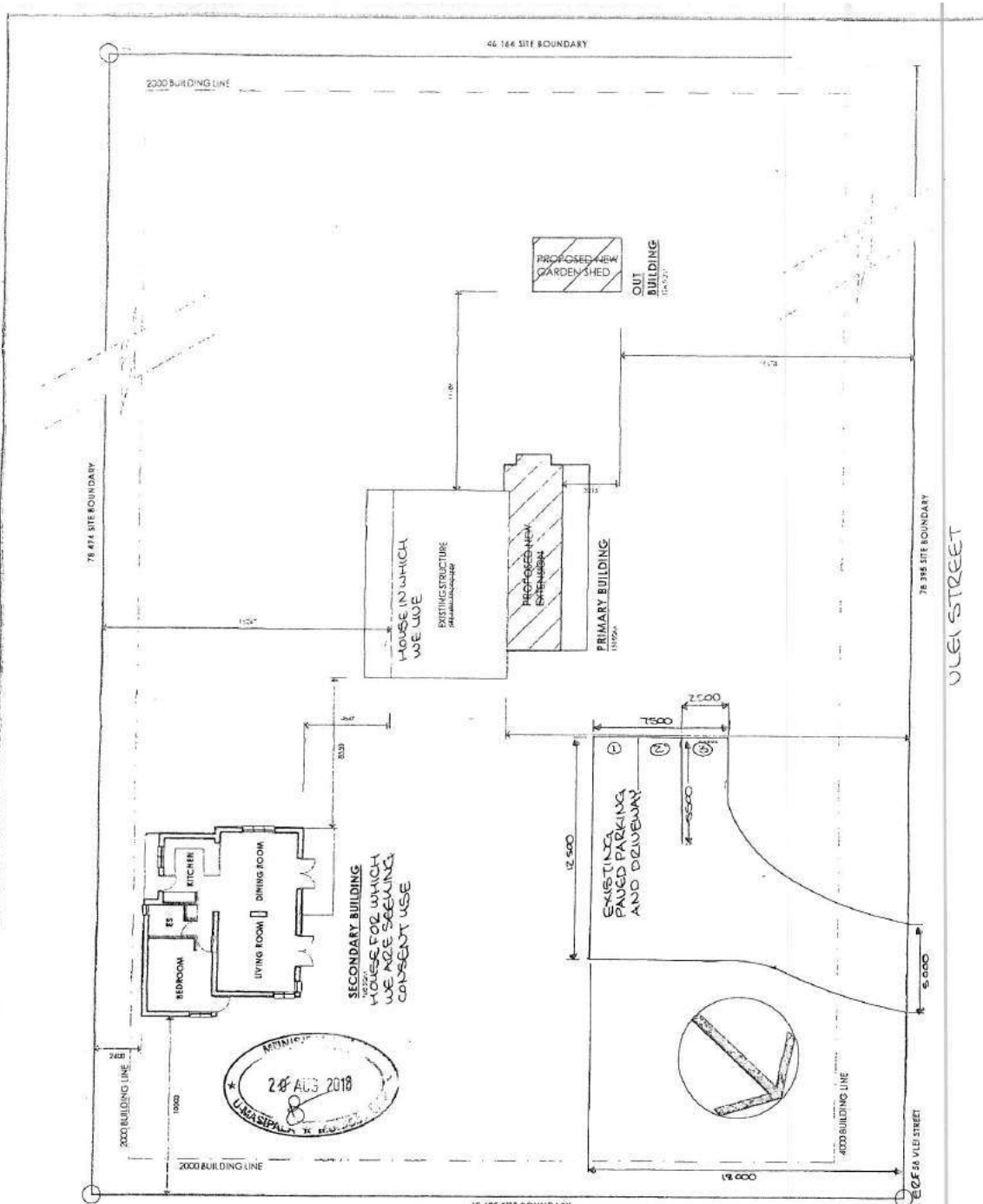
- (g) that the consent use approved in terms of paragraph 1 above be conducted in such a manner that it is not found detrimental to the peacefulness and amenity of the area;
 - (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval



LOCALITY PLAN: ERF 59, STANFORD

Date: 2019-03-14





SITE PLAN
SCALE 1 : 200

Keystone
construction
10 Tubby Swingle, Orms, 7201 - 076 3300 330
keystone@vodamail.co.za

Client: **DR. A. MOUTON**
Project: **ADDITIONS AND ALTERATIONS TO EXISTING STRUCTURE ON ERF 58 STANFORD.**

Drawing Name: **SITE PLAN**
Scale: 1 : 200
Project No: 58/M
Date: Jan 2011
Drawn By: JS

DRG No: **100/01/A**

VLEI STREET

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 58, STANFORD (4079)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 58, Stanford, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

8. ERF 957, 59 DREYER STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: KR JULIES

957 SSS (3936)

P Roux

(028) 313 8900

Hermanus Administration

11 December 2018

Executive Summary

An application has been received on 12 March 2018 from KR Julies, the property owner of Erf 957, Stanford, in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- ❖ to depart from the 50% coverage in order to allow the construction of a carport which will cause the coverage to be 60%; and
- ❖ to depart from the prescribed 2m building line in order to construct a carport on the property boundary.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 957, Stanford for the following:
 - ❖ departure from the 50% coverage in order to allow the construction of a carport which will cause the coverage to be 60%; and
 - ❖ departure from the 2m building line in order to construct a carport on the property boundary;

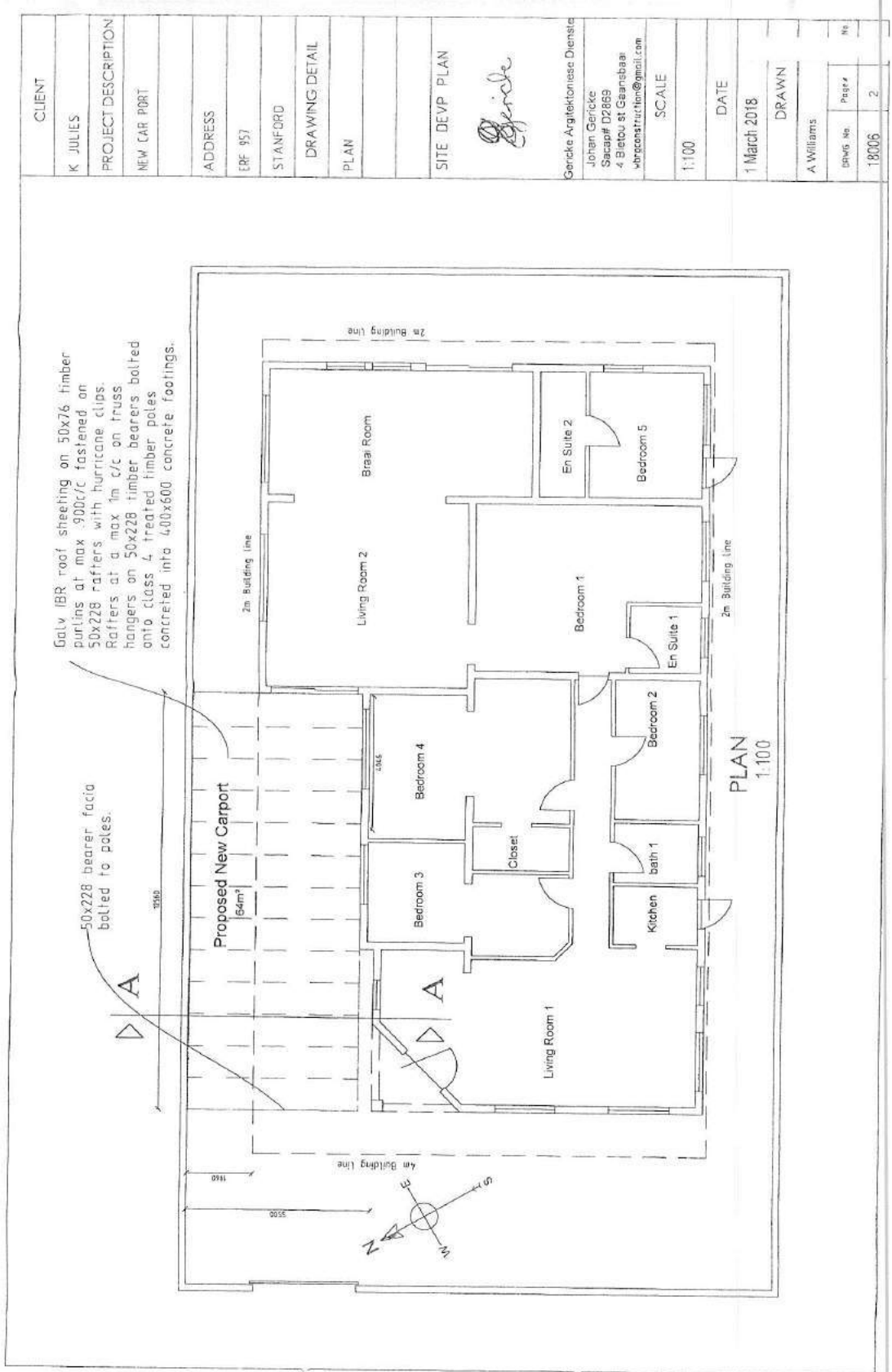
not be approved in terms of the provisions of Section 61 of the By-Law, due to the reasons provided in paragraph 11.;
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval



644/26

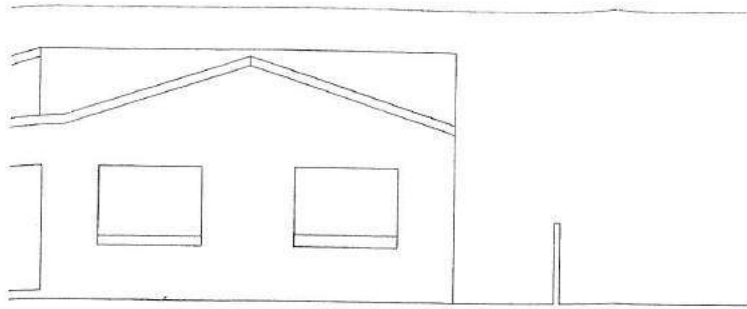


Erf 957 SSN



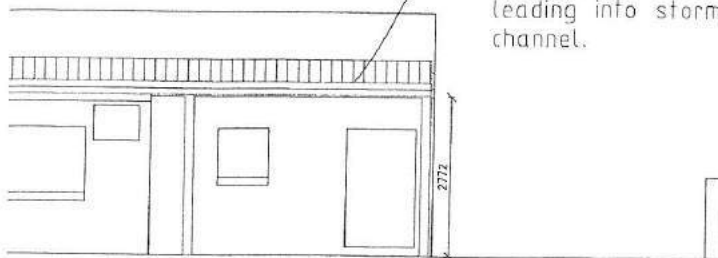
CLIENT	K JULIES
PROJECT DESCRIPTION	NEW CAR PORT
ADDRESS	ERF 957
DRAWING DETAIL	STANFORD
PLAN	
SITE DEVP PLAN	<i>Gerick</i>
SCALE	1:100
DATE	1 March 2018
DRAWN	A Williams
Drawn No.	18006
Page #	2
No.	

Gerieke Argitektoniese Dienste
 Johan Gerieke
 Sersaap# D2869
 4 Bietou st Gainsbaai
 wbrconstruction@gmail.com



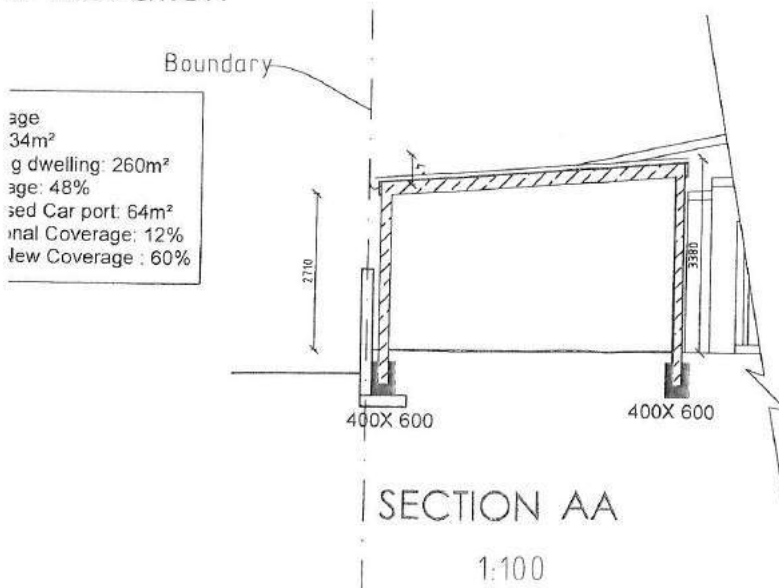
West Elevation

1:100



Painted IBR roof sheets
Complete with gutter &
down pipe with storm water
leading into storm water
channel.

East Elevation



Age
34m²
g dwelling: 260m²
Age: 48%
sed Car port: 64m²
nal Coverage: 12%
ew Coverage : 60%

CLIENT		
K JULIES		
PROJECT DESCRIPTION		
NEW CAR PORT		
ADDRESS		
ERF 957		
STANFORD		
DRAWING DETAIL		
ELEVATIONS		
SITE PLAN		
SECTION		
SITE DEVP PLAN		
		
Gericke Argitektoniese Dienste		
Johan Gericke Sacap# D2869 4 Bietou st Gaansbaai wbrgconstruction@gmail.com		
SCALE		
1:100 & 1:200		
DATE		
1 March 2018		
DRAWN		
A Williams		
DRWG No.	Page#	REV No.
18006	1	A

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 957, STANFORD (3936)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that, there are existing poles on either side of the erf boundary which cannot be moved. Repositioning of any other existing services will be for the developer's account;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 957, Stanford, unobstructed;
7. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

17 / 10 / 2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

9. ERF 2331, 34 INKVIS STREET, PEARLY BEACH (PEARLY BEACH RESORT), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: EC & PP RAKER

2331 GPB (3775)

**SW van der Merwe
18 December 2018**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 6 September 2017 from the owners of Erf 2331, Pearly Beach (Pearly Beach Resort), EC & PP Raker, for a departure from the street building line in terms of the Pearly Beach Resort Development Rules from 2m to 0,3m (roof overhang) and 1,485m (pillar) respectively in order to accommodate the existing canopy and pillar.

RESOLVED :

1. that the application for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to retain the existing canopy and pillar, which structures encroach the 2m street building line up to 1,485m and 0,3m respectively, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the departure as indicated on the Site Plan as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (d) that the canopy may not be enclosed.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2331, PEARLY BEACH RESORT (3775)

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

19/12/2017
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

10. **ERF 1746, CORNER OF MAIN ROAD AND LONG STREET, SANDBAAI: APPLICATION FOR THE DELETION OF A CONDITION OF APPROVAL AND SUBSEQUENT AMENDMENT OF THE APPROVED SITE DEVELOPMENT PLAN: MESSRS PLANACTIVE ON BEHALF OF "SOBREY EIENDOMS BELEGGINGS BK" (PADDAKOOR PRE-PRIMARY SCHOOL)**

1746 HSB (3991)

H van der Stoep

19 November 2018

(028) 313 8900

Hermanus Administration

Executive Summary

An application, applicable to Erf 1746, Sandbaai has been received on 3 May 2018 from Messrs PlanActive on behalf of "Sobrey Eiendoms Belegging BK" in terms of Sections 16(2)(h) and 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following :

- ❖ amendment of Condition 4. in respect of the Mayoral Committee's Resolution 7. dated 28 October 2015 for the approval of a consent use to conduct a pre-primary school (Paddakoor Pre-Primary School) from the above property, which condition restricts the development of the pre-primary school on the property to Plan No SANDB1746sdp.DRW dated October 2014; and
- ❖ the subsequent amendment of the above approved Site Development Plan in order to accommodate the following:
 - the change of an approved classroom to a garden shed;
 - the relocation of the said classroom to the front side of the property; and
 - the enclosure of the existing covered stoep that has been incorporated into the main building of the pre-primary school.

RESOLVED :

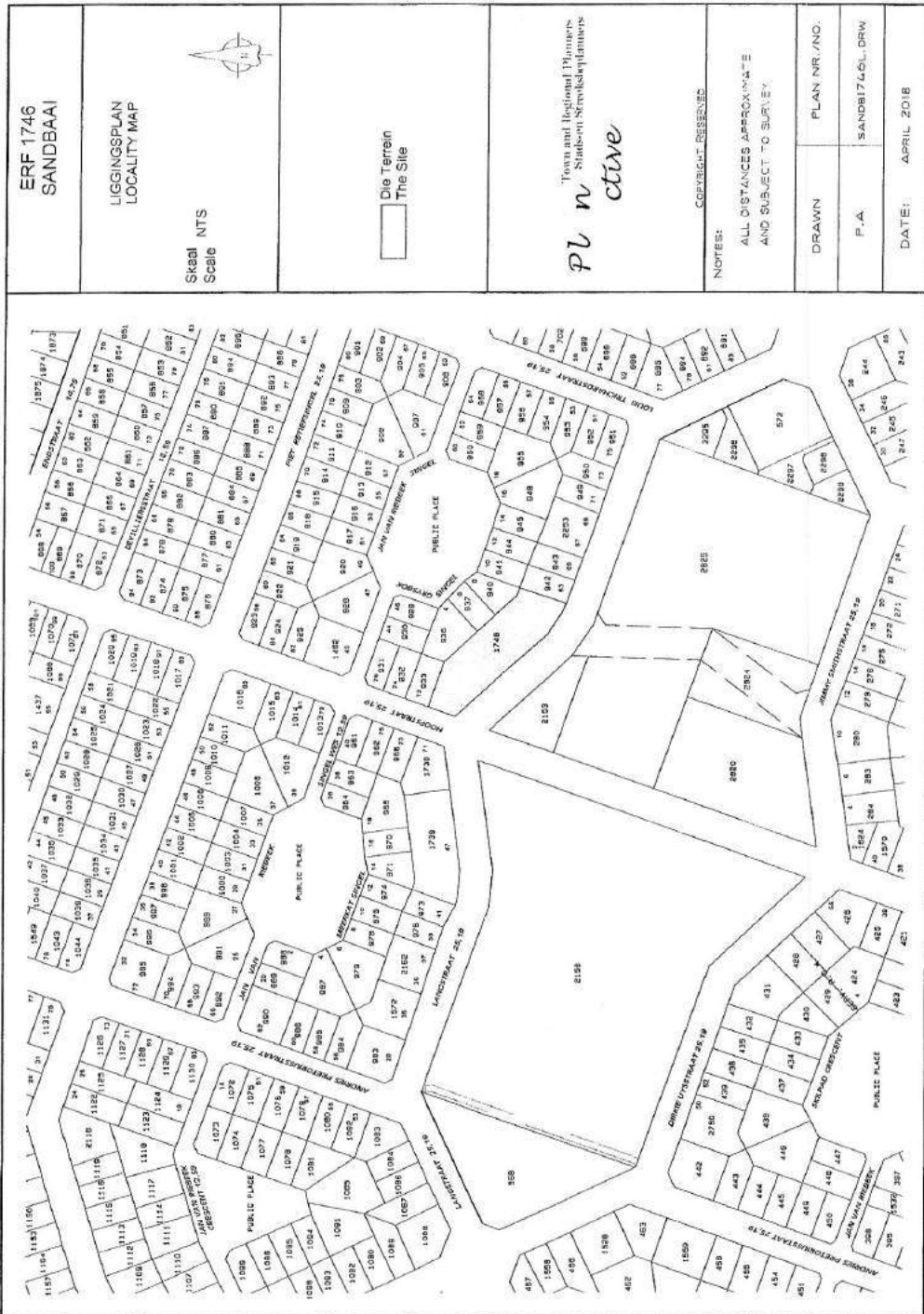
1. that the application in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 1746, Sandbaai for the amendment of Condition 4. in respect of the Mayoral Committee's Resolution 7. of 28 October 2015, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 1746, Sandbaai for the subsequent amendment of the approved Site Development Plan in order to accommodate the following:

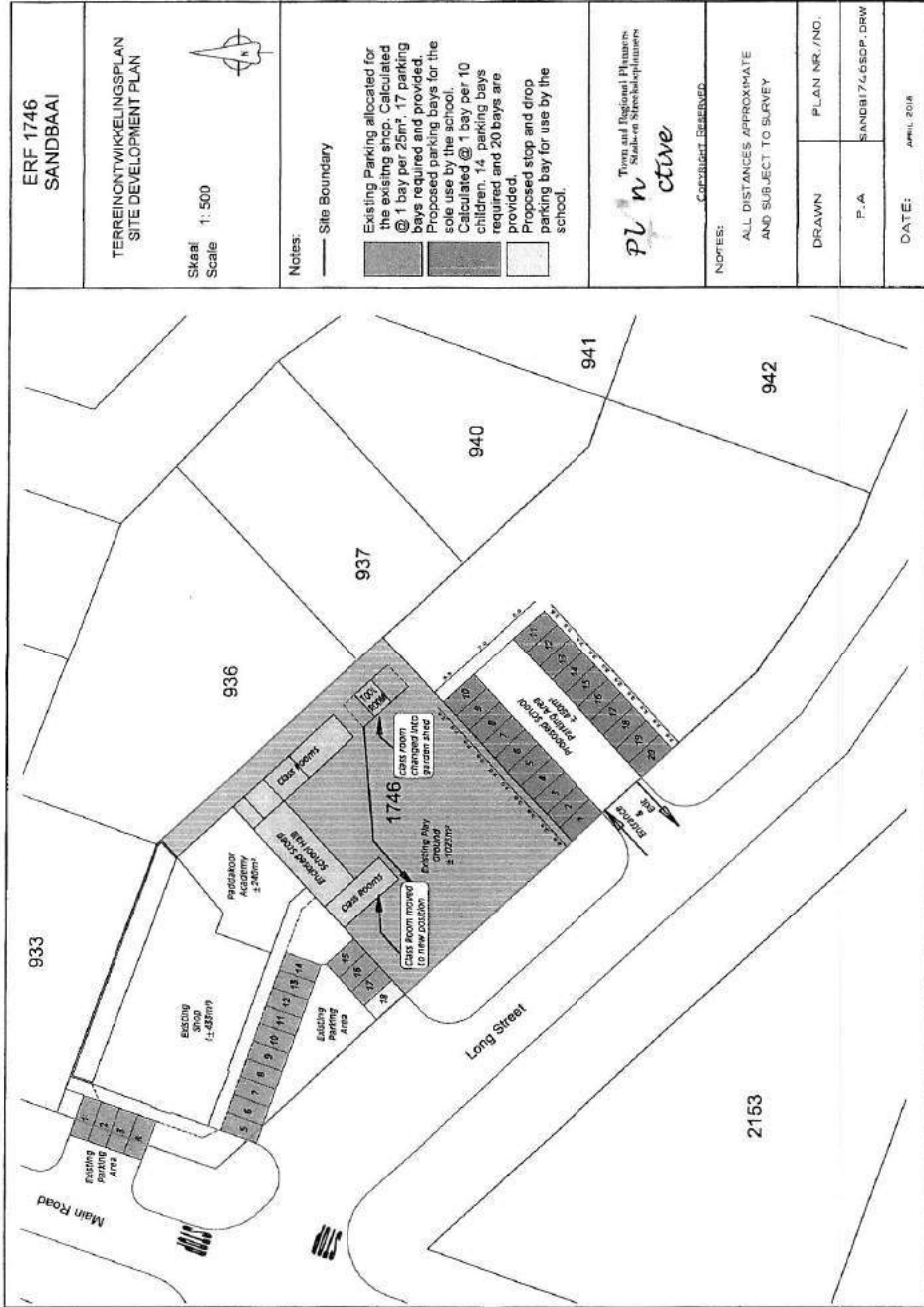
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- the change of an approved classroom to a garden shed;
- the relocation of the said classroom to the front side of the property; and
- the enclosure of the existing covered stoep that has been incorporated into the main building of the pre-primary school;

be approved in terms of the provisions of Section 61 of the By-Law;

3. that the approvals in 1. and 2. above be subject to the following conditions:
 - (a) that the development be restricted to Plan No. SANDB1746SDP.DRW dated APRIL 2018 that was submitted with the application;
 - (b) that the parking area to accommodate twenty (20) parking bays, be constructed within six (6) months of the date of this approvals in collaboration with and to the satisfaction of the Area Manager: Hermanus;
 - (c) that building plans be submitted to the Building Department for approval, and that all relevant conditions of the Building – and the Fire Department be complied with at that stage
 - (d) that the conditions of the Engineering Services and Telkom, be adhered to;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
4. that the applicant be notified of its appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF CONDITIONS IN RESPECT OF AN
EXISTING APPROVAL & AMENDMENT OF THE APPROVED SITE
DEVELOPMENT PLAN: ERF 1746, SANDBAAI (3991)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 1746, Sandbaai, unobstructed;
5. that, please note that there is a possibility that the proposed parking area will be built over a Municipal sewer line and that cannot happen and that therefore the parking layout would possibly be redesigned;
6. that no on-street parking be allowed.

pp. M. A. Hendriks

DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

01/09/2018

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**11. ERF 7349, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED
CONSENT USE AND DEPARTURE: OVERSTRAND MUNICIPALITY**

7349 KKM (2942)

H van der Stoep

(028) 313 8900

Hermanus Administration

19 November 2018

Executive Summary

An application has been received on 15 June 2015 from Overstrand Municipality (Town Planning Department) on Erf 7349, Kleinmond for the following:

- ❖ Consent Use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to utilize the existing building on the property for a crèche and the proposed new building for a pre-school.
- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the following building lines :
 - to relax the lateral building line with a length of 32m from 5m to 1m to accommodate a new building,
 - to relax the lateral building line with a length of 22,05m from 5m to 3,715m to accommodate the existing building.
 - to relax the lateral building line with a length of 8,97m from 5m to 2m to accommodate the corner of the new building and a storage container
 - Relax the street building line on Geelbek Street from 5m to 2m to accommodate the corner of the new building and storage.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand By-Law on Land Use Planning, 2015 for a consent use on Erf 7349, Kleinmond to utilize the existing building on the property for a crèche and the proposed new building for a pre-school, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 7349, Kleinmond for the following departures:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- to relax the lateral building line with a length of 32m from 5m to 1m to accommodate a new building,
- to relax the lateral building line with a length of 22,05m from 5m to 3,715m to accommodate the existing building.
- to relax the lateral building line with a length of 8,97m from 5m to 2m to accommodate the corner of the new building and a storage container
- Relax the street building line on Geelbek Street from 5m to 2m to accommodate the corner of the new building and storage.

be approved in terms of the provisions of Section 61 of the By-Law;

3. that the approvals in points 1. and 2. above be subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan numbers erf7349_OM_A1/01-2015-Rev2, dated December 2017, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that all the conditions in the Services Report, be complied with, and
 - (f) that all the conditions imposed by the Fire Department, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

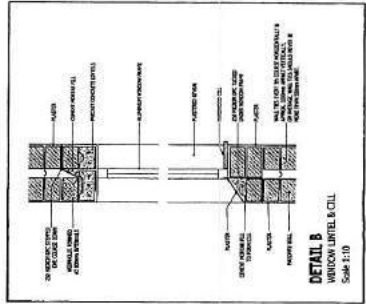
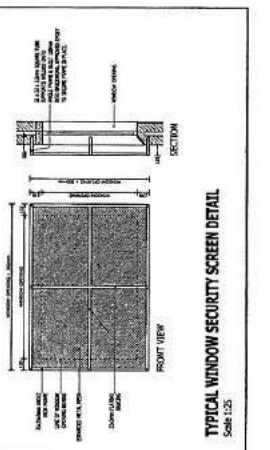
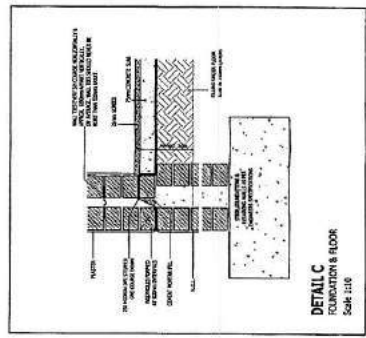
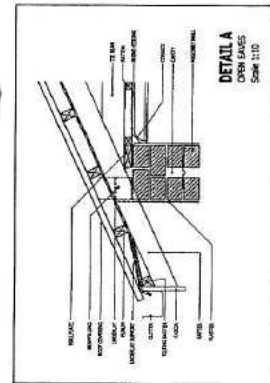
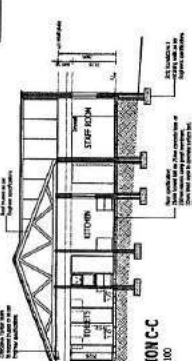
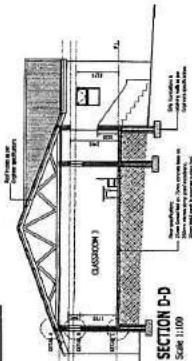


LOCALITY PLAN
 ERF 7349
 OVERHILLS, KLEINMOND



ENERGY EFFICIENCY - ROOF ASSEMBLY :

U-Value	0.18
Thermal Mass	1.5
Sound Reduction Index	25
Light Transmittance	0.8
Glare	15



- 1. All work shall be in accordance with the relevant parts of the Building Regulations 2010.
- 2. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 3. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 4. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
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- 14. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 15. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 16. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 17. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 18. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 19. The design shall be in accordance with the relevant parts of the Building Regulations 2010.
- 20. The design shall be in accordance with the relevant parts of the Building Regulations 2010.

WINDOW SCHEDULE : ALL ALUMINIUM FRAME & LAMINATED GLAZING UNITS

NO.	DESCRIPTION	NO.	DESCRIPTION	NO.	DESCRIPTION
101	1000 x 1500	102	1200 x 1500	103	1500 x 1500
104	1800 x 1500	105	2400 x 1500	106	3000 x 1500
107	3600 x 1500	108	4200 x 1500	109	4800 x 1500
110	5400 x 1500	111	6000 x 1500	112	6600 x 1500

Architectural Office
100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000.

OVERSTRAND MUNICIPAL COUNCIL SUBMISSION
REWORKING OF BARRIERS PART ONE ON REF 730, G.A. STION STREET, KILKENNY

Architectural Office
100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 7349, KLEINMOND
(2942)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings
(non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2018/2019**) is as follows:

Freehold erven:

Water	R 21 688.60 x 0.076	=	R 1 648.33
Sewerage	R 14 623.16 x 0.076	=	R 1 111.36
Roads	R 6 557.01 x 6.5908	=	R 43 215.94
Stormwater	R 7 565.79 x 1.979	=	R 14 972.70
Solid Waste	R 1 311.40 x 1.673	=	<u>R 2 193.97</u>
TOTAL (inclusive of VAT)		=	R 63 142.30

Note:

1.3 The above figures are estimates

1.4 The above figures do not include connection fees

2. that only the standard water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;

2

3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
4. that stormwater be allowed to discharge through Erf 7349, Kleinmond, unobstructed;
5. that no on-street parking will be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**12. ERF 527, 30 MAIN ROAD, GANSBAAI, OVERSTRAND MUNICIPAL AREA:
PROPOSED REZONING AND REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS: MESSRS ME PLANNERS ON BEHALF OF PJA HUYSER**

527 GGB (3743)

SW van der Merwe

(028) 313 8900

Hermanus Administration

20 December 2018

Executive Summary

An application has been received on 25 July 2017 from Messrs ME Planners on behalf of PJA Huyser applicable to Erf 527, Gansbaai in terms of Section 16(2)(a), of the Overstrand By-Law on Municipal Land Use Planning, 2015 for the following:

- application in terms of Section 16(2)(f) for the removal of restrictive title conditions C4(a), C.4(b), C.4(c) and C.4(d) of Title Deed T72169/2015, and
- rezoning in terms of Section 16(2)(a) from Residential Zone 1 (SR1) to General Business Zone 2 (B2) in order to accommodate a wellness centre on the property.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title condition C.4 (a) as contained in Title Deed T72169/2015 applicable to Erf 527, Gansbaai, **not be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title condition C.4(b), C.4(c) and C.4(d) as contained in Title Deed T72169/2015 applicable to Erf 527, Gansbaai, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the rezoning of Erf 527, Gansbaai, from Residential Zone I: Single Residential (SR1) to Business Zone 2: General Business (B2) in order to accommodate the current wellness centre on the property, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

4. that the approvals in paragraphs 2. and 3. above be subject to the following conditions:
 - (a) that the parking layout be implemented to the satisfaction of the Municipality in accordance with the Site Development Plan;
 - (b) that the requirements of Building Control, District Health, Fire Services and Engineering Services, be adhered to;
 - (c) that the operation of the Wellness Centre be subject to a valid business licence;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (e) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (f) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;
 - (g) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (h) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

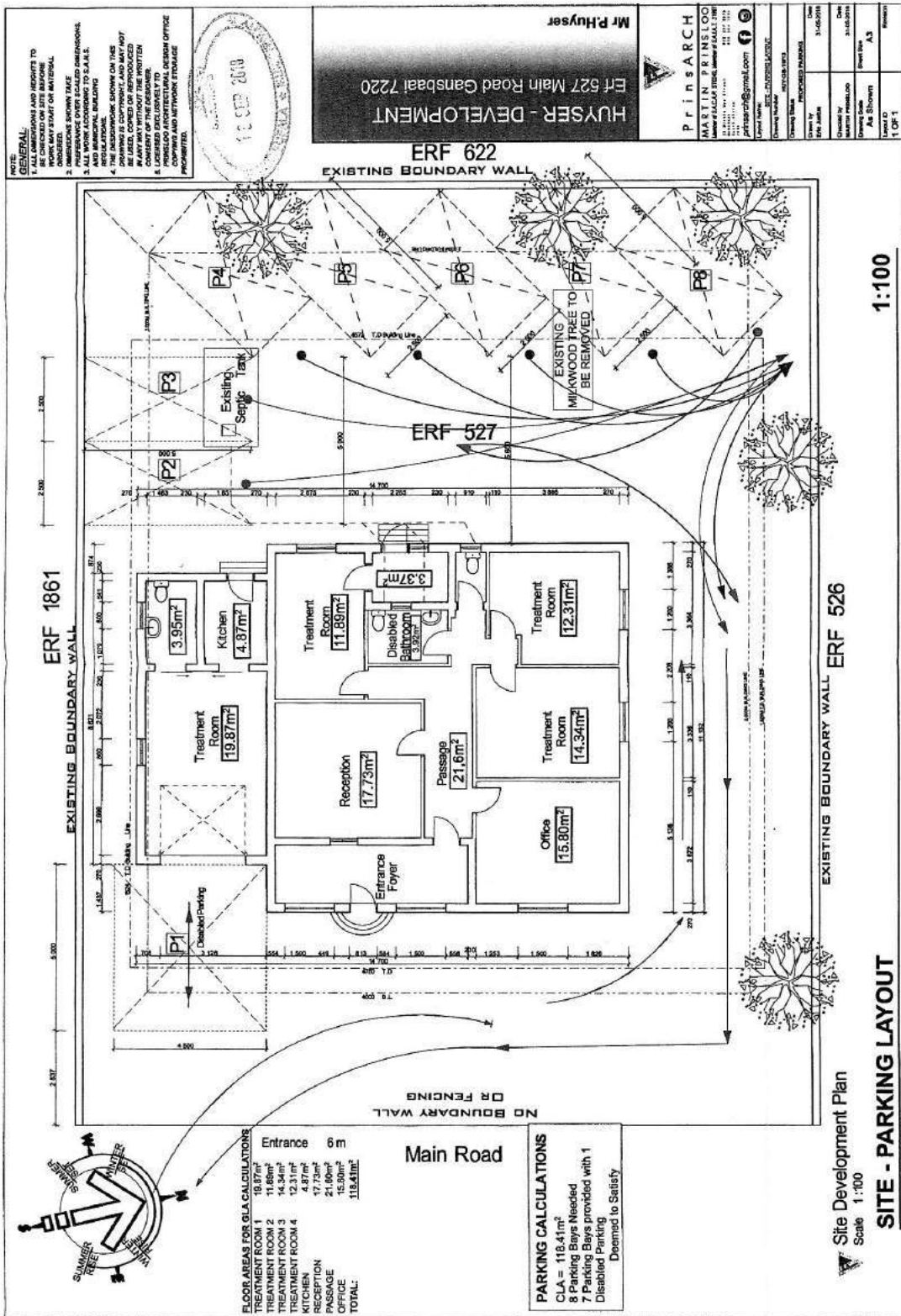
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN: ERF 527, GANSBAAI

Date: 2019-01-17





HUYSER - DEVELOPMENT
 Erf 527 Main Road Gansbaai 7220
 Mr Phuyser

Prins Arch
 MARTIN PRINSLOO
 18 BOUTERIE STRAAT
 7131 BOUTERIE
 prinsarch@gmail.com
 021 517 1112

Project Name: HUYSER DEVELOPMENT
 Drawing Number: HUYSER-010
 Drawing Date: 31-08-2018
 Checked by: M. Phuyser
 Project Code: As Shown
 Sheet No: A3
 Level: 0
 1 OF 1

12 SEP 2018

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & REMOVAL OF RESTRICTIVE
CONDITIONS: ERF 527, GANSBAAI (3743)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2018/2019) is as follows:

Freehold erven:

Water	R 21 688.60 x -0.48279	= -R 10 471.04
Sewerage	R 14 623.16 x -0.48279	= -R 7 059.92
Roads	R 6 557.01 x 2.6469	= R 17 355.75
Stormwater	R 7 565.79 x 0.8333	= R 6 304.57
Solid Waste	R 1 311.40 x 1.0625	= R 1 393.36
TOTAL (inclusive of VAT)		= R 7 522.72

Note:

The above figures are estimates

2. that the existing water connection and sewer conservancy tank to Erf 527 shall be used to service Erf 527;
3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
4. that any repositioning of existing electrical services will be for the developer's account;
5. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
6. that those on-site parking facilities are provided as per the planning Schedule, and to the satisfaction of the Department: Operational Services;
7. that any additional and / or extended vehicle entrances will be for the developer's account;
8. that stormwater be allowed to discharge through Erf 527, Gansbaai, unobstructed;
9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

13. ERF 2269, 5 CROSS STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS SMART SOLUTIONS ON BEHALF OF HML SCHREUDER

2269 HON (4177)

H Olivier

(028) 313 8900

Hermanus Administration

12 December 2018

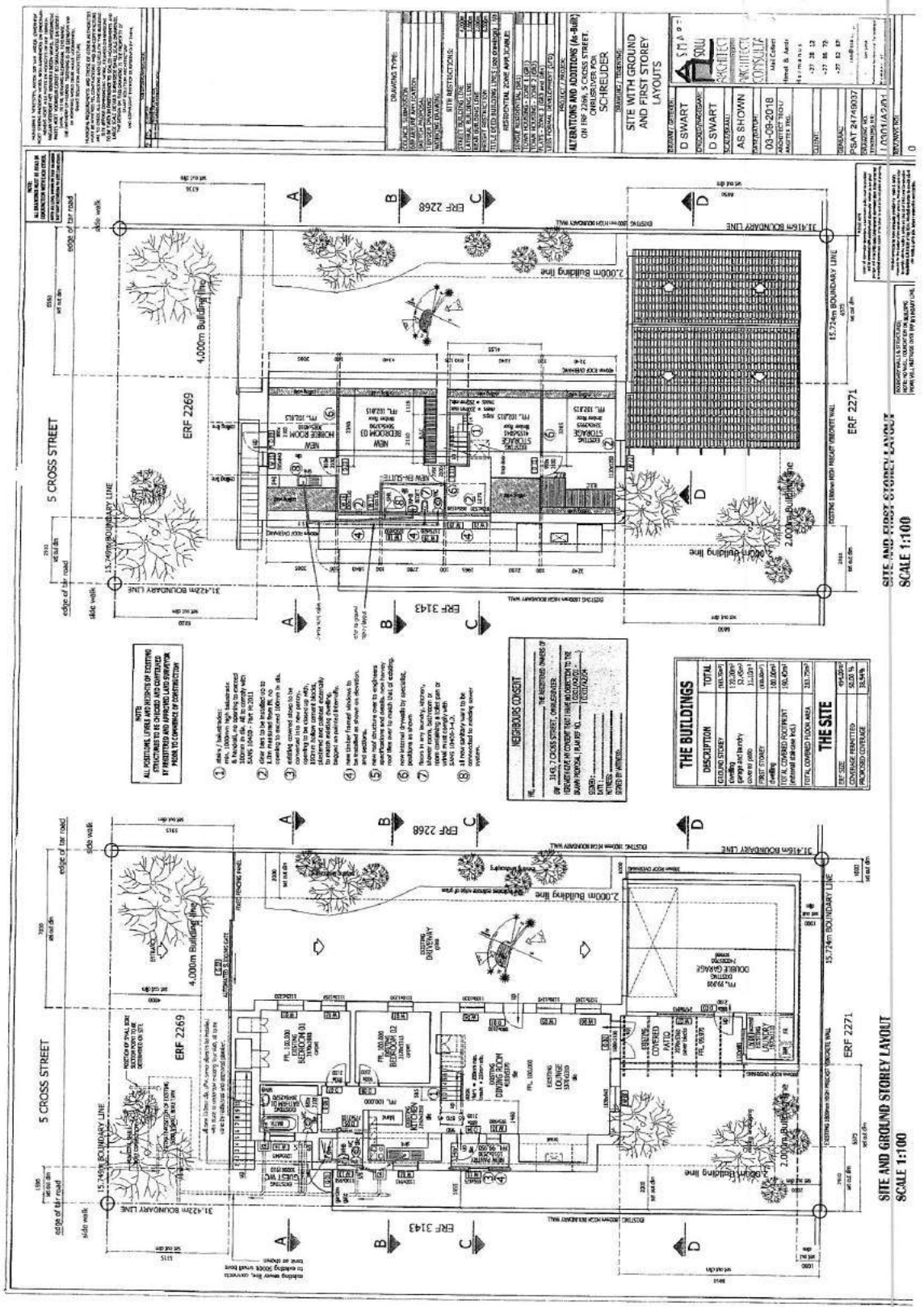
Executive Summary

An application has been received on 18 September 2018 from Messrs Smart Solutions on behalf of HML Schreuder on Erf 2269, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 1,655m to accommodate a pantry.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 2269, Onrustrivier to relax the western lateral building line from 2m to 1,665m to accommodate the closing-up of a stoep that was changed to a pantry, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan no. I0301/A2/01, I0301/A2/02, I0301/A2/03 and I0301/A2/04 dated 3 September 2018, submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





SITE AND FIRST STOREY LAYOUT
SCALE 1:100

SITE AND GROUND STOREY LAYOUT
SCALE 1:100

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

14. ERF 1079, 7 GLASOLIEN STREET, VERMONT, OVERSTRAND MUNICIPAL AREA: RELAXATION OF THE TITLE DEED RESTRICTION: MESSRS ENGELBRECHT AND SCORGIE ON BEHALF OF G BEYL

1079 HVM (4132)

H Olivier

(028) 313 8900

Hermanus Administration

8 January 2019

Executive Summary

An application has been received on 3 August 2018 from Messrs Engelbrecht and Scorgie Architectural Office on behalf of G Beyl for a relaxation of restrictive condition in Title Deed T17323/2017, Condition E.7. which reads as follows:

“7. No building or structure or any portion thereof except boundary walls and fences, shall except with the consent of the Administrator, be erected nearer than 5 metres to the street line which forms a boundary of this erf, nor within 3 metres of the rear of 1,5 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority:

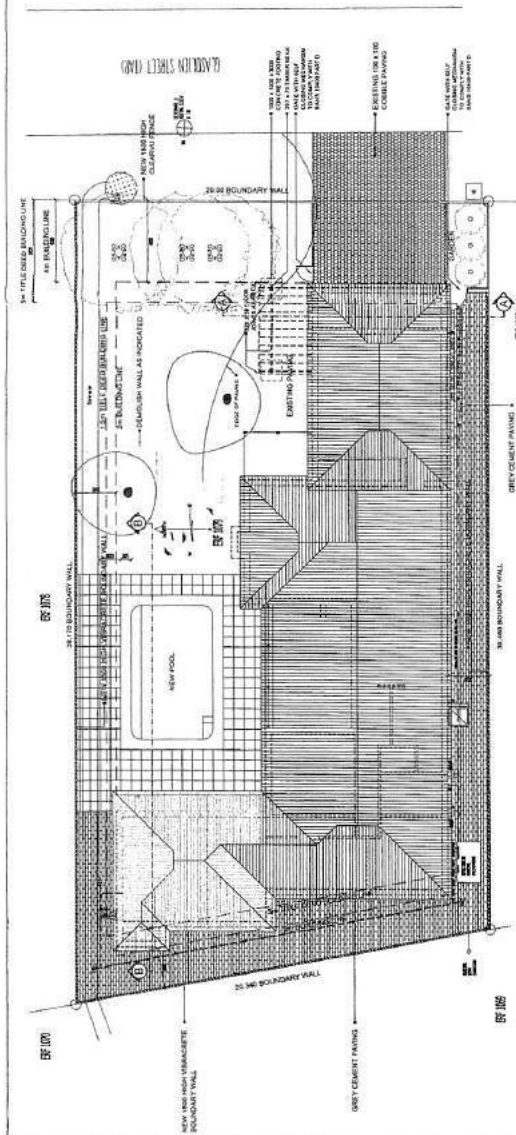
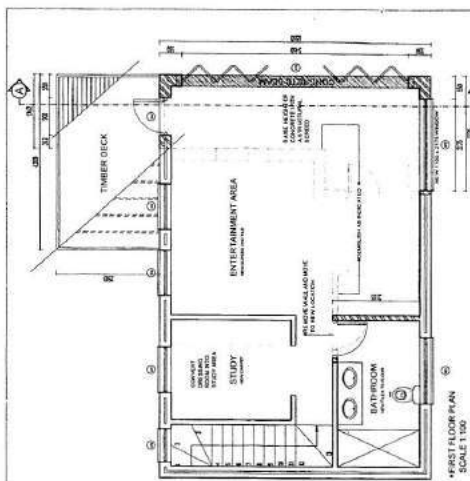
(i) ...”

RESOLVED :

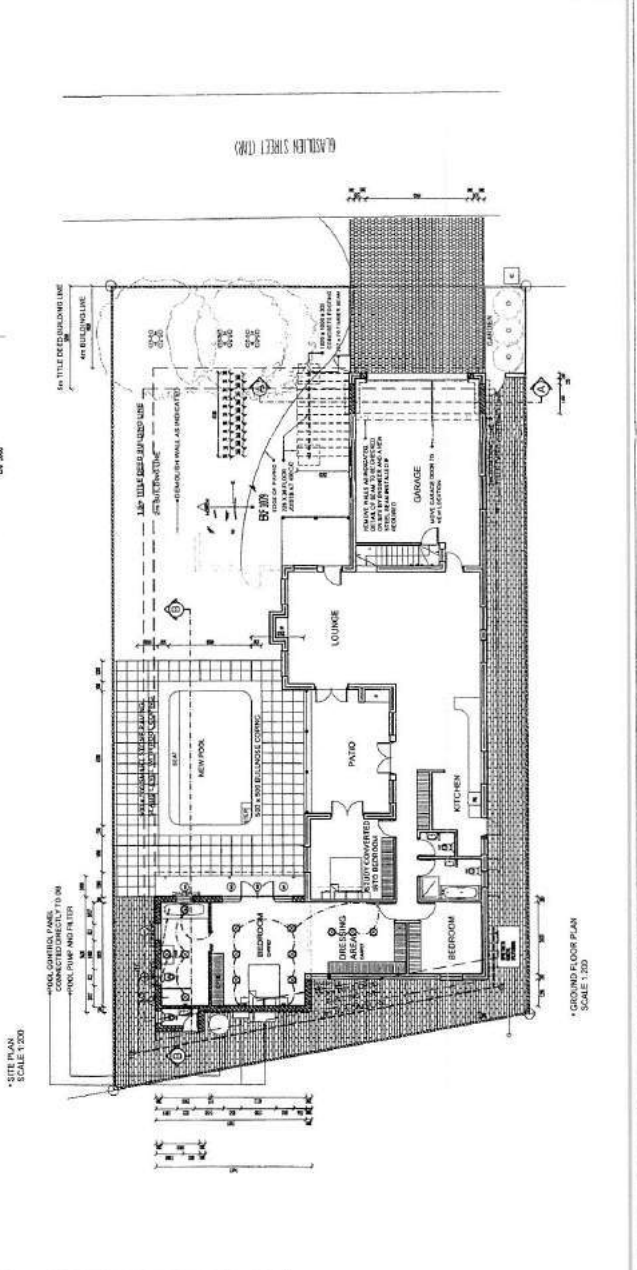
1. that the application for the relaxation of Title Deed T17323/2017, Condition E.7., in terms of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 1079, Vermont, **be approved** in terms of the provisions of Section 61 of the By-Law subject to the following conditions:
 - (a) that this approval only relate to the building extensions as indicated on plan number erf1079_BEYL_A1/03-2018-5D dated June 2018 submitted with this application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (e) that should it be required that any milkwood trees have to be trimmed or removed, the necessary approvals be obtained from the Department of Water Affairs and Forestry, and
 - (f) that all the conditions of Eskom, be complied with.
2. that the applicant be notified of the decision.



ARCHITECTURAL OFFICE 1000 W. GARDEN STREET VERMONT, VERMONT TEL: (802) 244-1111 FAX: (802) 244-1112	
PROJECT: NEW ADAPTIVE AND ACCESSIBLE GARAGE AND FAMILY TRUST ON 875 GARDEN STREET, VERMONT, VERMONT.	
CLIENT: GEORGE REY, FAMILY TRUST	
SUBMISSION DRAWINGS: SITE PLAN, GROUND FLOOR AND FIRST FLOOR PLAN	
DATE: 01/14/2010	SCALE: 1/320
PROJECT NO.: 1000	DATE: 01/14/2010
PROJECT NO.: 1000	DATE: 01/14/2010



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

15. ERF 1909, 13 SEPIA STREET, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE : D MATHEWS ON BEHALF OF WF AND M BRIERS

1909 HVM (4063)

H Olivier

(028) 313 8900

Hermanus Administration

11 December 2018

Executive Summary

An application has been received on 19 June 2018 from D Matheys on behalf of WF and M Briers on Erf 1909, Vermont for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the following building lines to accommodate and legalize the existing garage, laundry and lapa:

- The street building line from 4m to 2m to accommodate the garage;
- The southern lateral building line from 2m to 0m to accommodate the garage, laundry and garden shed, and
- The rear building line from 2m to 0m to accommodate the lapa.

RESOLVED :

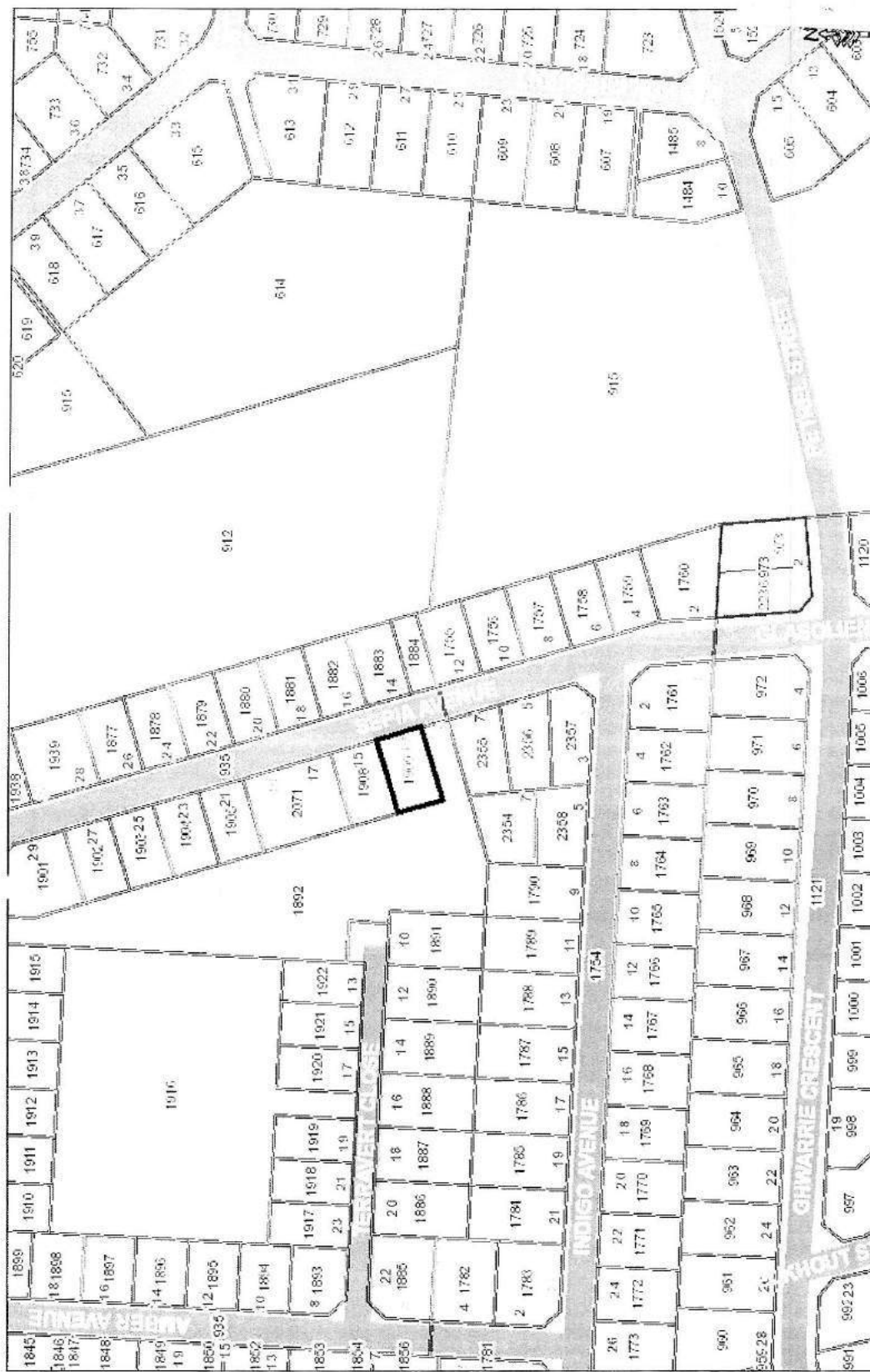
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 1909, Vermont to relax the following building lines:
 - street building line from 4m to 2m to accommodate the garage;
 - southern lateral and rear building lines from 2m to 0m to accommodate the lapa, and
 - southern lateral building line from 2m to 0m, only to accommodate a lean-to roofed structure not fully enclosed,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on the plan submitted by the architect (Plan Number LAD-18-1909-01 dated 19 June 2018), except that the area indicated as laundry be changed into a roofed stoep area by not placing sliding doors on the western side;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

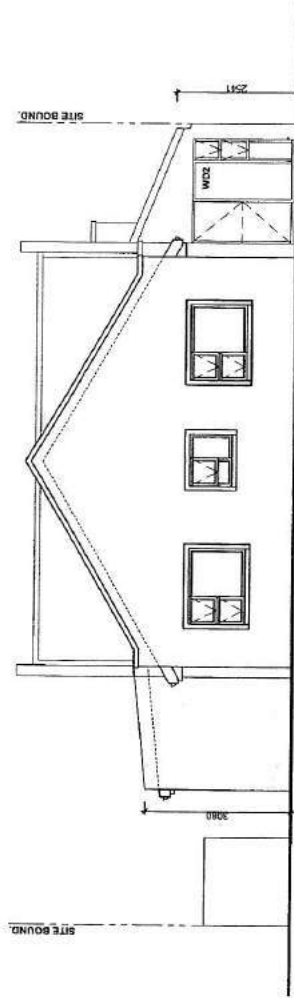
- (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with;
 - (f) that all the conditions of Eskom, be complied with, and
 - (g) that all the conditions by Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.”



Erf 1909 Vermont

Date: 2018-06-29





1:100 WEST ELEVATION

AREA CALCULATIONS

SITE AREA	480 ²
EXISTING STRUCTURES:	
DWELLING:	133m ²
GROUND STOREY	20m ²
COVERED PATIO	8m ²
LAPPA	4m ²
SHED	4m ²
TOTAL	169m²
PROPOSED STRUCTURES:	
DOUBLE GARAGE	32m ²
LAUNDRY	12m ²
E/S	8m ²
TOTAL	50m²
ZONING INFO:	
COVERAGE REQ. (60%)=240m ²	45%=215m ²
ZONING	SRT

NOTE : SANS10400-XA : 2011

- HOT WATER HEATING REQUIREMENT**
- AT LEAST 50% OF THE ANNUAL AVERAGE HOT WATER HEATING REQUIREMENT SHALL BE PROVIDED BY MEANS OTHER THAN ELECTRICAL RESISTANCE HEATING INCLUDING BUT NOT LIMITED TO SOLAR HEATING, HEAT PUMPS, HEAT RECOVERY FROM OTHER SYSTEMS OR PROCESSES AND RENEWABLE COMBUSTIBLE FUEL.
- ALL NEW HOT WATER CYLINDERS TO BE INSULATED WITH 100MM ISO THERM THERMAC GEYSER BLANKET. ALL EXISTING GEYSERS TO BE INSULATED WITH THERMAFLUX (POLYETHYLENE FOAM) INSULATION WITH A MIN R-VALUE OF ONE (IE 25MM POLYURETHANE FOAM)
- ALL HOT WATER HEATING SPECIFICATIONS TO BE CONFIRMED WITH A SPECIALIST.
- INSULATION OF THE GEYSER TO BE INSTALLED ACCORDING TO THE MANUFACTURERS/SPECIALISTS INSTRUCTIONS.
- ALL SOLAR OR HEATING SYSTEMS USED TO COMPLY WITH THE REQUIREMENTS FOR WATER INSTALLATION IN BUILDINGS SHALL BE INSTALLED IN ACCORDANCE WITH SANS 10262-1, 10262-2, 1027, 10264 & 10108

SIGNATURES:

.....

.....

1.) OWNERS SIGNATURE :
MR. WILFRED BRIERS

3.) MR. ERYKLIEF
S.A.C.A.P. REG. NO.: ST1596
DATE: 24.03.18

PROJECT TITLE:
ALTERATIONS & ADDITIONS TO EXISTING DWELLING ON ERF1009 @ 43 SEPPIA STREET, VERMONT, HERMANUS, W/CAPE S AFRICA.
CLIENT: MR. WILFRED BRIERS

AUTHOR: DANIEL MATTHEWS ARCHITECTURE
Cell.: 0815144736
E.mail.: architecture.za@gmail.com
IN ASSOCIATION
ARCHITECTURAL TECHNOLOGY
Edirahim RYKLIFF (Pr. Soc. Arch. Tech.)
S.A.C.A.P. REG. NO.: ST1596

DRAWING TITLE:
COUNCIL SUBMISSION

DRAWN: D. MATTHEWS
E. RYKLIFF

DATE: 19.06.18

SHEET NO.: LAD-18-1909-01

REVISION NO.:

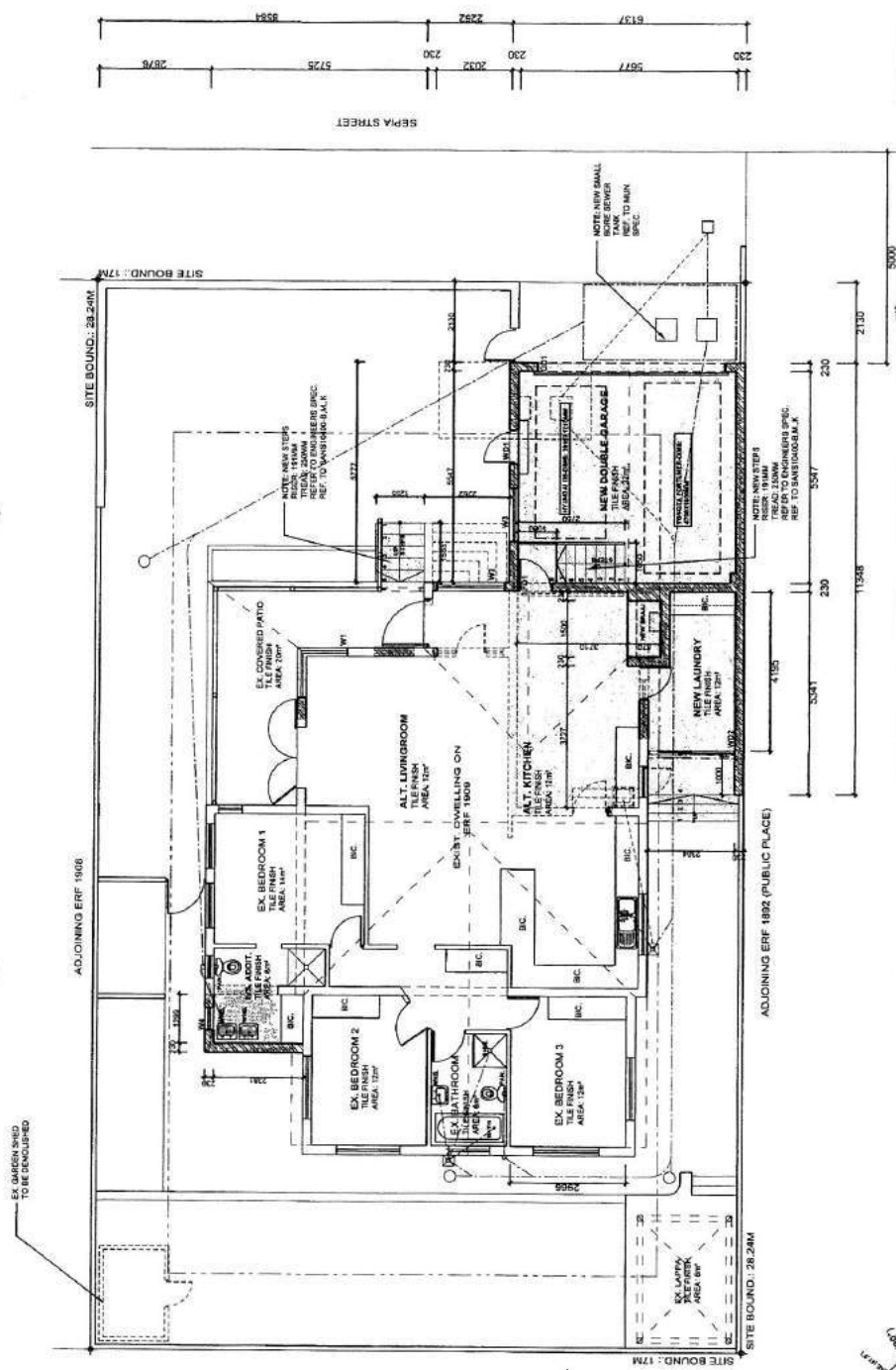
SHEET SIZE: A1

SCALE: 1:100

**NOTE: CLIMATIC ZONE 4
TEMPERATE COSTAL**

**NOTE: CLASS OF OCCUPANCY :
H4 (DWELLING HOUSE)**

**NOTE: FOR INFORMATION PURPOSES
ONLY**



1:100 GROUND STOREY / SITE PLAN



TO STREET

SEPA STREET

EX. GARDEN SHED TO BE DEMOLISHED

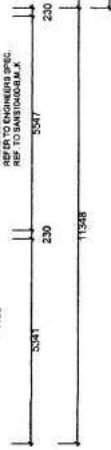
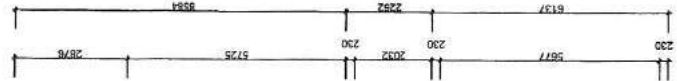


ADJOINING ERF 1892 (PUBLIC PLACE)

ADJOINING ERF 1892 (PUBLIC PLACE)

ADJOINING ERF 1806

SITE BOUND.: 28.24M
SITE BOUND.: 17M

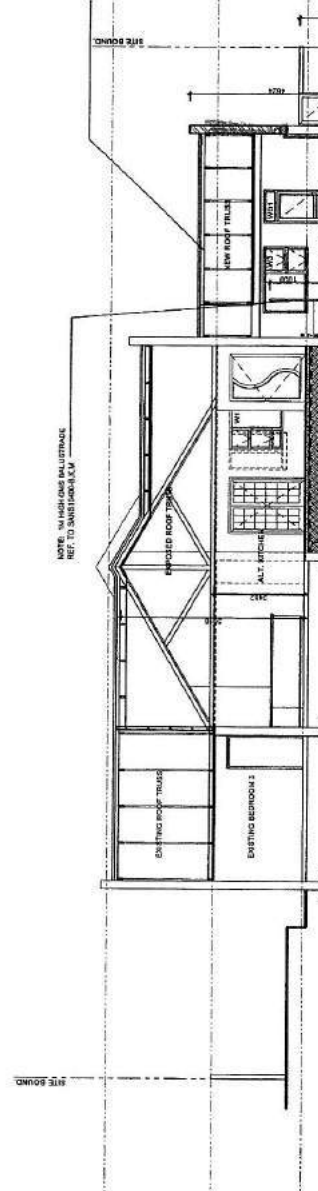


NOTE: ROOF SPEC: 20° PITCH
 2.5MM ZINCALUME CLEAN COLORBOND ROOF SHEETS ON
 SINGLE SIDED RAINSHIELD INSULATION ON 60X100MM SAP
 TRUSSES ON 80X160MM SAP WALL PLATE & TIED DOWN WITH
 6MS PCOF IRON STRAPS EMBEDDED 600MM INTO
 AUTO BRICKWORK
 NOTE: TIMBER SPECIFICATION CONFORMS TO SANS 1460,
 SANS 200-072, SANS 1700-24, SANS 1738-24
 NOTE: ALL ROOF SHEETS TO BE SINGLE LENGTH SHEETS
 (REFER TO ENGINEER DETAILS (MITEK ENGINEERED)
 BRACKETS (ON AS EXISTING) AND JOISTS (CLASS F3) GANB
 NOTE: PARTS BEING WRAPPED IN DPC BEFORE BUILT INTO
 WALLS
 NOTE: TIMBER (GRADE 5
 NO TELANG (GRADE 5), 2011 ED3

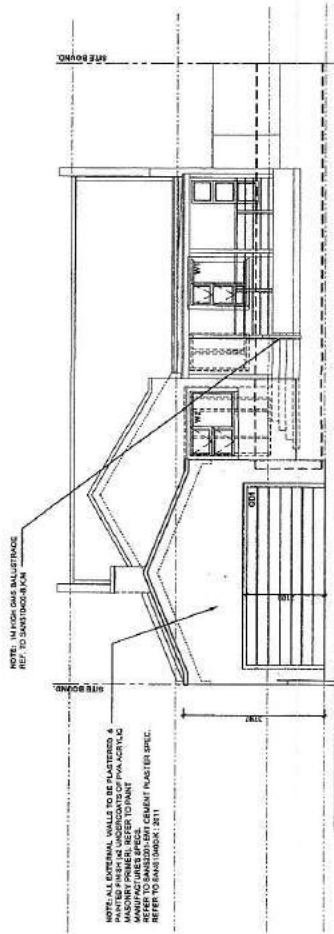
NOTE: SANS10400 PART 2A
 CALCULATIONS:
 ROOF PITCH: 20°

MATERIALS	B VALUE
RAINSHIELD INSULATION	0.03
2.5MM ZINCALUME ROOF SHEETS	0.05
100MM POLYESTER FIBRE BLANKET	2.83
60X100MM SAP TRUSSES	0.07
TOTAL R-VALUE	2.98

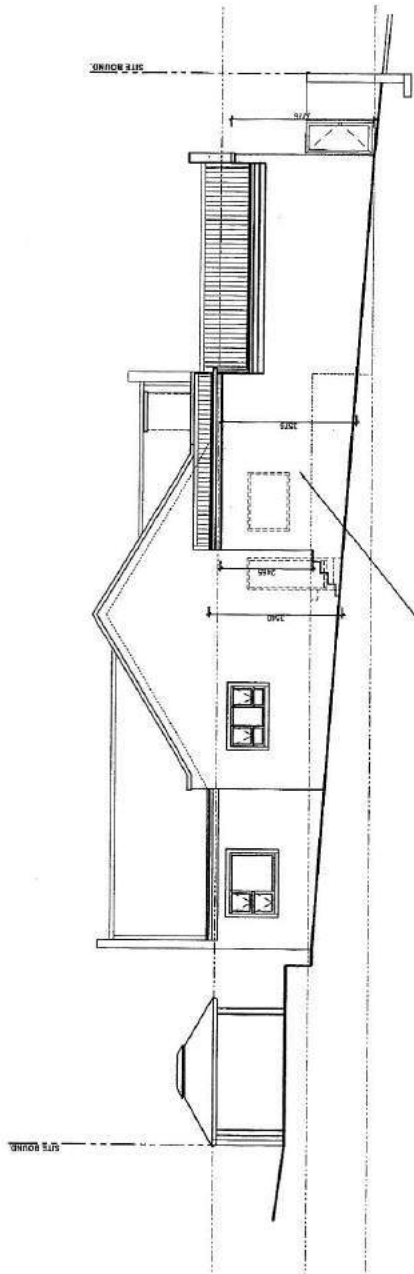
* MAX. SUMMER DISCOMFORT IN ZONE 4: COASTAL
 TEMPERATURE: 25.1°C
 REF: SANS 10400-2A:2011 SECTION 2



1:100 SECTION A

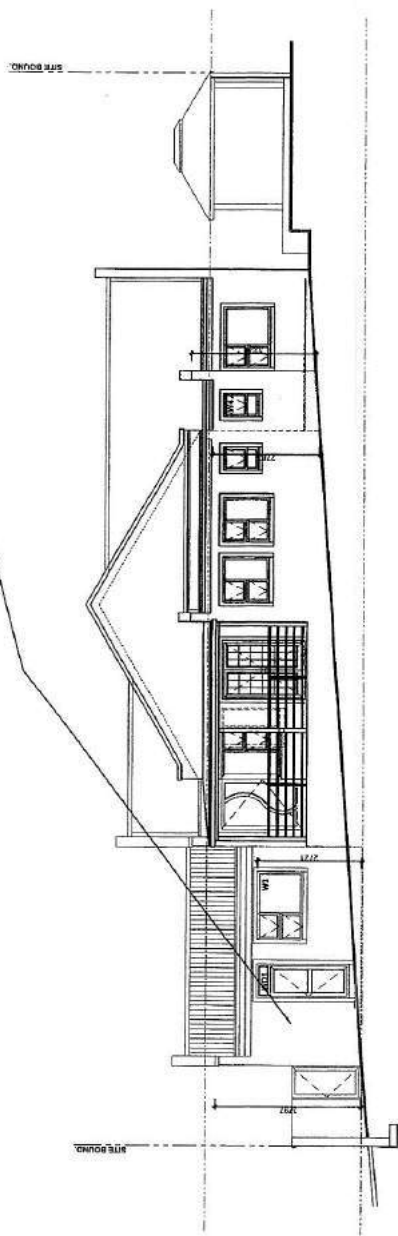


1:100 EAST ELEVATION
 SEP/IA STREET ELEVATION



NOTE: ALL EXTERNAL WALLS TO BE PLASTERED & PAINTED FINISH OR MANUFACTURE OF PARALYPTIC MANUFACTURE SPECIFIC. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MANUFACTURE SPECIFIC.

1:100 SOUTH ELEVATION



1:100 NORTH ELEVATION

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1909, VERMONT (4063)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of *SANS 10400 – P:2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1909, Vermont, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**16. ERVEN 117 AND 118, 6 & 8 SERVICE STREET, FISHERHAVEN,
OVERSTRAND MUNICIPAL AREA: REMOVAL OF RESTRICTIVE
CONDITION AND CONSOLIDATION: MESSRS INTERACTIVE TOWN AND
REGIONAL PLANNERS ON BEHALF OF D & E JACKSON**

117 & 118 HFH (4076)

H Olivier

(028) 313 8900

Hermanus Administration

7 December 2018

Executive Summary

An application has been received on 27 June 2018 from Messrs Interactive Town and Regional Planners on behalf of Mr D and E Jackson on Erven 117 and 118, Fisherhaven for the following:

- ❖ Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of the restrictive condition in Title Deed T75424/2017, Paragraph D.4(b):

“D. FURTHER SUBJECT to the following special conditions contained in Deed of Transfer Number T17674/1970 imposed by the Administrator of the Province of the Cape of Good Hope in terms of Ordinance 33 of 1934 when approving of the establishment of Fisherhaven Township, namely:

1.
2.
3.
4. *The erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Township Board and the local authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation, subject to compliance with such conditions as he may impose:*
 - (a)
 - (b) *it shall be used for shop purposes only;*
 - (c)

- ❖ Consolidation in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate Erven 117 and 118, Fisherhaven.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 118, Fisherhaven for the removal of restrictive condition D.4.(b) of Title Deed T75424/2017, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(c) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 to consolidate Erven 117 and 118, Fisherhaven, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in Points 1. and 2. be subject to the following conditions:
 - (a) that building plans be submitted to the Building Department for approval, prior to any future building work, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (b) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions of Telkom, be complied with, and
 - (f) that all the conditions of Eskom, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



PROJECT
Erven 117 & 118
Fisherhaven

TITLE
Locality Plan
Local Context

Application Area

MEMORANDUM
MEMORANDUM TO: LOCALITY PLANNING
MEMORANDUM FROM: ELISABETH AND DAVID JACKSON
SUBJECT: LOCALITY PLAN FOR ERVEN 117 & 118
DATE: 2011/08/15

CLIENT
Elisabeth and David
Jackson

DATE	2011/08/15
BY	ELISABETH AND DAVID JACKSON
CHECKED BY	ELISABETH AND DAVID JACKSON
DATE	2011/08/15
BY	ELISABETH AND DAVID JACKSON

Interactive Town & Regional Planning
10000 Highway 101, Unit 101
Fisherhaven, 7191
Tel: 021 551 1111
www.interactiveplanning.co.za

A4 Scale
1 : 2500

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION & REMOVAL OF RESTRICTION:
ERVEN 117 & 118, FISHERHAVEN (4076)**

Electricity	:	Escom Area
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water connection and sewer conservancy tanks on Erf 117 shall be used to service the proposed consolidation of Erf 117 & 188;
2. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through proposed erven, Fisherhaven, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

17. ERF 4599, 18 KINGSWAY CRESCENT, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: N LLOYD ON BEHALF OF R VENTER AND LA SMITH

4599 HON (4036)

H Olivier

(028) 313 8900

Hermanus Administration

7 January 2019

Executive Summary

An application has been received on 31 May 2018 from N Lloyd on behalf of R Venter and LA Smith on Erf 4599, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the western lateral building line from 2m to 0,985m and the rear building line from 2m to 1,695m to accommodate the use change of the existing garage as well as further extension to be used as a second dwelling.

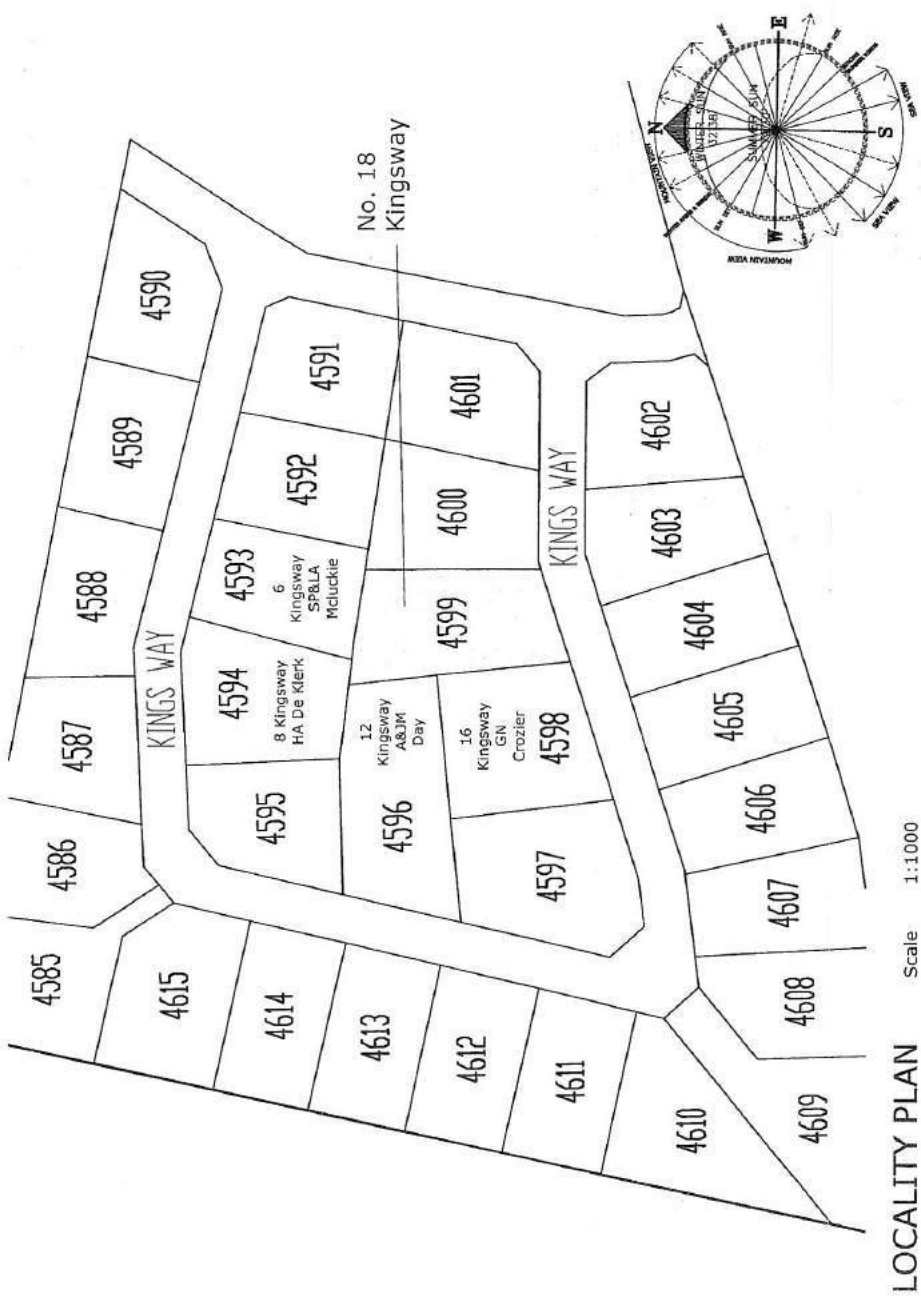
RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4599, Onrustrivier in order to relax the western lateral building line from 2m to 0,985m and the rear building line from 2m to 1,695m to accommodate the use change of the existing garage as well as further extension to be used as a second dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plans no. 807/01 – 807/05 dated March 2018 and 807/06 dated July 2018, submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions imposed by Telkom, be complied with;
 - (f) that all the conditions imposed by Eskom, be complied with, and

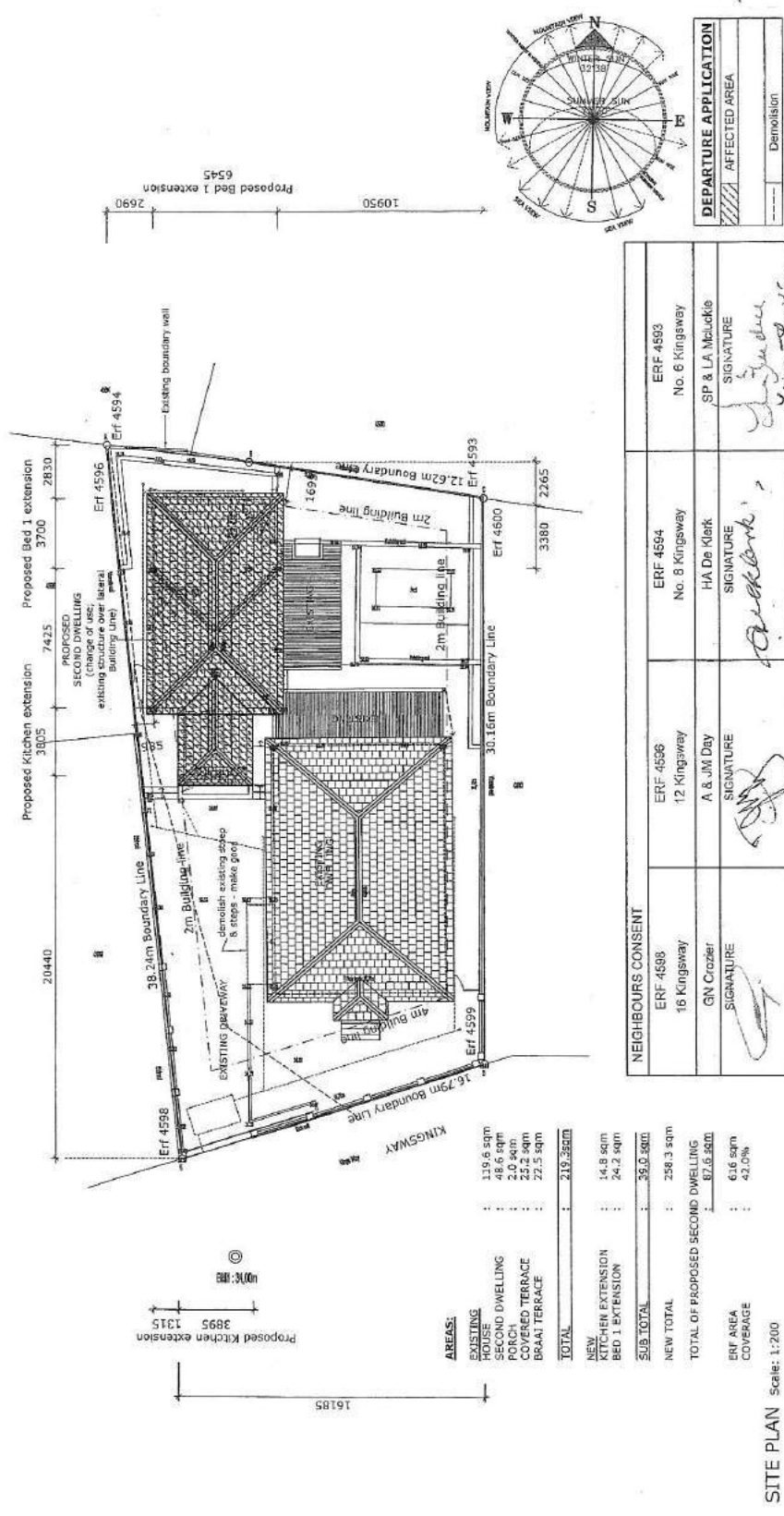
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (g) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

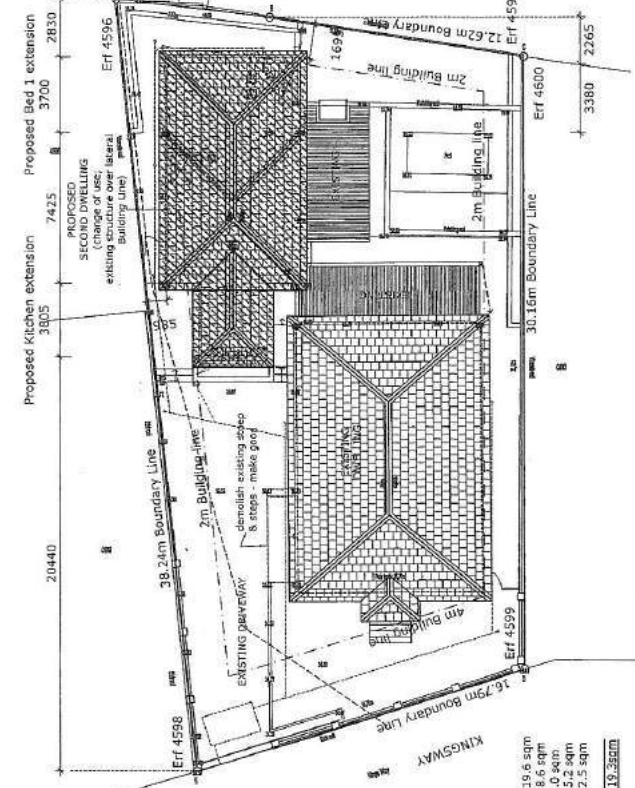
NICOLETTE LLOYD ma (cca) Architectural Designer 32 Michell Street HERMANUS 7200 Tel: (029) 312-3771 Fax: (029) 312-2026 Email: loydn@hermanus.co.za	
HOUSE Venter	ERF 4599 no. 18 Kingsway, Onrus HERMANUS
DRAWING: Deedure Application LOCALITY PLAN	
DWG NO: 807/LP	
SCALE: 1 : 1000	
DATE: January 2018	
DRAWN: LAS	



LOCALITY PLAN Scale 1:1000



Proposed Kitchen extension
16195
1315
Proposed Bed 1 extension
10950
2690



AREAS:

EXISTING HOUSE	119.6 sqm
SECOND DWELLING	416.9 sqm
COVERED TERRACE	25.2 sqm
BRAAI TERRACE	22.5 sqm
TOTAL	219.35 sqm

NEW KITCHEN EXTENSION	14.8 sqm
BED 1 EXTENSION	24.2 sqm
SUB-TOTAL	39.0 sqm
NEW TOTAL	258.3 sqm
TOTAL OF PROPOSED SECOND DWELLING	87.8 sqm
ERF AREA	616 sqm
COVERAGE	42.0%

NEIGHBOURS CONSENT

ERF 4598 18 Kingsway GN Crozier SIGNATURE	ERF 4596 12 Kingsway A & JM Day SIGNATURE	ERF 4594 No. 8 Kingsway HA De Klairk SIGNATURE	ERF 4593 No. 6 Kingsway SP & LA Mcluckie SIGNATURE
--	--	---	---

DRAWING:
DEPARTURE APPLICATION
SITE PLAN
DWG NO: 807/01
SCALE: 1 : 200
DATE: March 2018
DRAWN: LAS

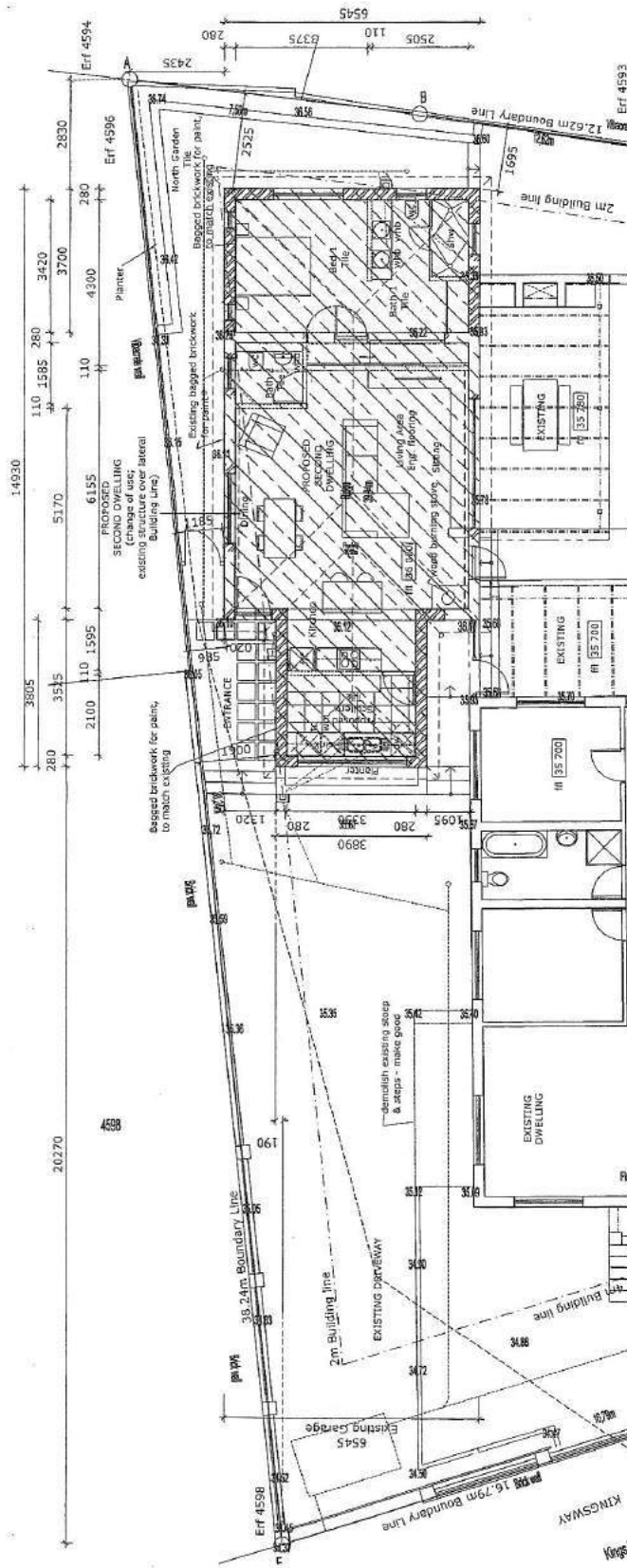
FOR LOCAL COUNCIL USE

HOUSE
Venter Smith
ERF 4599
no.18
Kingsway, Orkney
HERMANUS

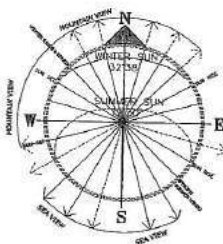
NOTES:
Contractor to verify all dimensions and levels on site before commencing.
Use other dimensions, do NOT scale.
ALL work to comply with MBR and Local Authority requirements.
© COPYRIGHT NICOLETTE LLOYD

NICOLETTE LLOYD ma (rca)
Architectural Designer
39 Middel Street
HERMANUS 7206
Tel: (028) 312-3771
Fax: (028) 312-2028
Email: lloyd@hermanus.co.za

SITE PLAN Scale: 1:200



SECOND DWELLING: LAYOUT Scale: 1:100



DEPARTURE APPLICATION	
	AFFECTED AREA
	Demolition

NEIGHBOURS CONSENT	
ERF 4598 18 Kingsway GN Crozier SIGNATURE	ERF 4596 12 Kingsway A & JM Day SIGNATURE
ERF 4594 No. 8 Kingsway HA De Klerk SIGNATURE	ERF 4593 No. 6 Kingsway SP & LA McLuckie SIGNATURE

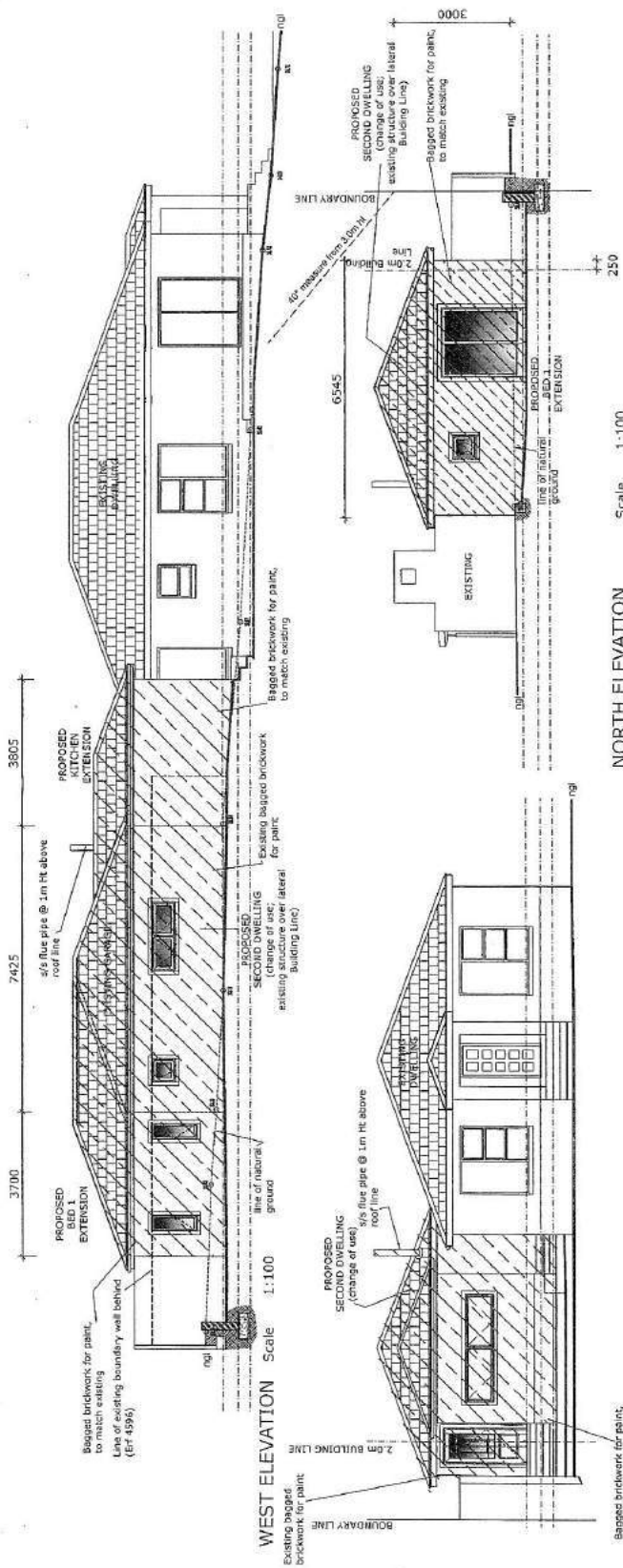
DRAWING:
DEPARTURE APPLICATION
SECOND DWELLING LAYOUT
DWG NO.: 807/03
SCALE: 1 : 200
DATE: March 2018
DRAWN: LAS

FOR LOCAL COUNCIL USE

HOUSE
**Venter
Smith**
ERF 4599
no.18
Kingsway, Orms
HERMANUS

NOTES:
Contractor to verify all dimensions and levels on site before commencing.
Use clean dimensions, do NOT scale.
ALL work to comply with NBR and Local Authority requirements.
© COPYRIGHT NICOLETTE LLOYD

NICOLETTE LLOYD ma (pca)
Architectural Designer
35 Mitchell Street
HERMANUS 7200
Tel: (028) 312-3771
Fax: (028) 312-2026
Email: nloyd@hermanus.co.za



NORTH ELEVATION Scale 1:100

SOUTH ELEVATION Scale 1:100

NEIGHBOURS CONSENT		DEPARTURE APPLICATION	
ERF 4598 16 Kingsway GN Crozier SIGNATURE	ERF 4596 12 Kingsway A & JM Day SIGNATURE	ERF 4594 No. 8 Kingsway HA De Klerk SIGNATURE	ERF 4593 No. 6 Kingsway SP & LA Maluckie SIGNATURE
FOR LOCAL COUNCIL USE		AFFECTED AREA Demolition	

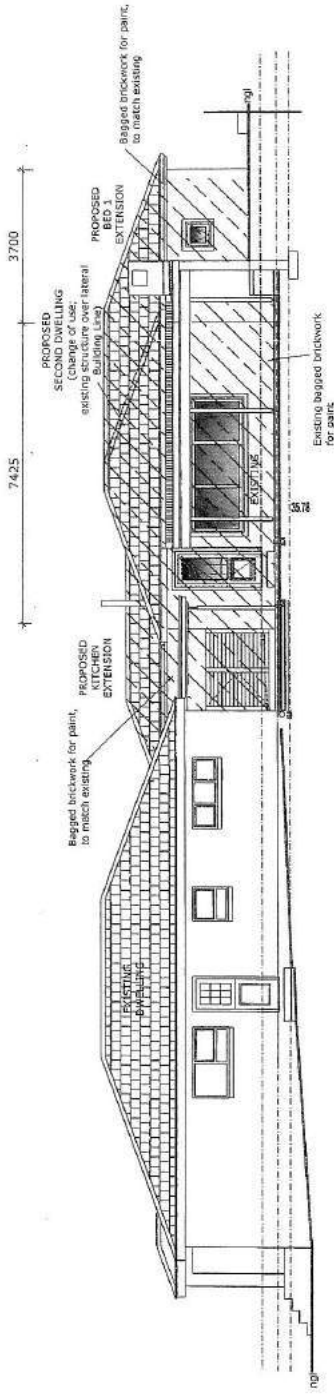
GROUND STOREY Scale: 1:200

DRAWING:
DEPARTURE APPLICATION
ELEVATIONS
DWG NO: 8077/04
SCALE: 1:100
DATE: March 2018
DRAWN: LAS

HOUSE
Venter Smith
no.18
ERF 4599
Kingsway, Orms
HERMANUS

NOTES:
Contractor to verify all dimensions and levels on site before commencing
Use given dimensions, do NOT scale.
ALL work to comply with NGR and Local Authority requirements.
© COPYRIGHT NICOLETTE LLOYD

NICOLETTE LLOYD ma (ra)
Architectural Designer
32 Mervel Street
HERMANUS, 7200
Tel: (029) 315-3771
Fax: (029) 315-3028
Email: nloyd@hermanus.co.za



EAST ELEVATION Scale 1:100

NEIGHBOURS CONSENT			
ERF 4558 16 Kingsway GN Crozier SIGNATURE	ERF 4596 12 Kingsway A & JIM DAY SIGNATURE	ERF 4594 No. 8 Kingsway HA De Klerk SIGNATURE	ERF 4583 No. 6 Kingsway SP & LA Mcluckie SIGNATURE

DEPARTURE APPLICATION
AFFECTED AREA
Demolition

GROUND STOREY Scale: 1:200

NICOLETTE LLOYD ma (pca) Architectural Designer 33 Mitchell Street HERMANUS 7200 Tel: (028) 312-3771 Fax: (028) 312-2028 Email: nllloyd@hermanus.co.za		NOTES: Contractor to verify all dimensions and levels on site before commencing. Use given dimensions, do NOT scale. ALL work to comply with NBS and Local Authority requirements. © COPYRIGHT NICOLETTE LLOYD	
HOUSE Venter Smith ERF 4599 no. 18 Kingsway, Oritrus HERMANUS		FOR LOCAL COUNCIL USE	
DRAWING: DEPARTURE APPLICATION EAST ELEVATION DWG NO.: 807/05 SCALE: 1:100 DATE: March 2018 DRAWN: LAS		DEPARTURE APPLICATION AFFECTED AREA Demolition	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4599, ONRUS RIVER (4036)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4599, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

18. ERF 2344, 25 HARDER STREET, PEARLY BEACH (PEARLY BEACH RESORT), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: PF AND A BURGER

2344 GPB (4113)

SW van der Merwe

(028) 313 8900

Hermanus Administration

18 January 2019

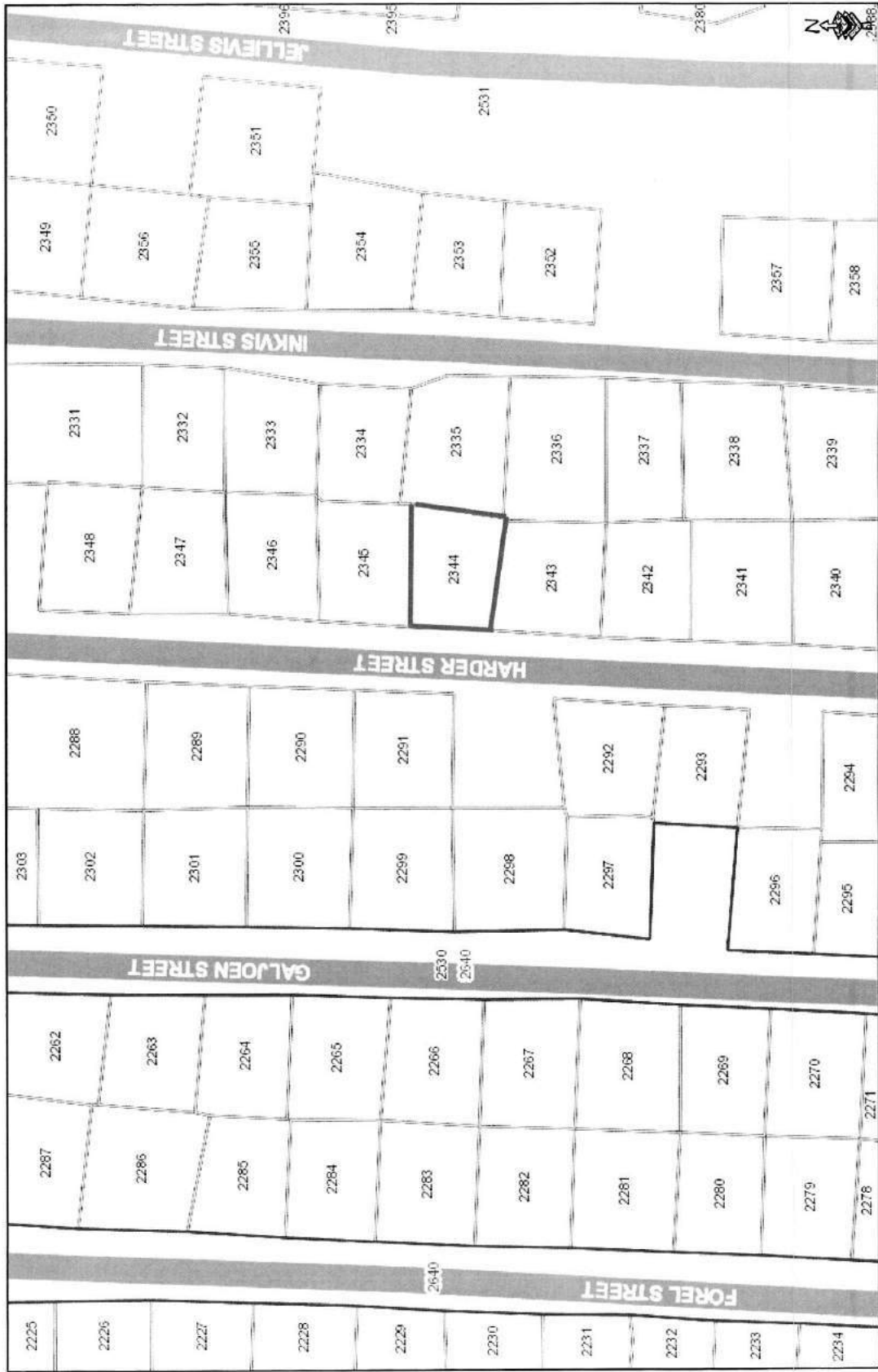
Executive Summary

An application has been received on 16 August 2018 from the property owners, PF and A Burger, on Erf 2344, Pearly Beach for a departure from the Pearly Beach Resort Development Rules to provide one (1) on-site parking bay in lieu of two (2).

RESOLVED :

1. that the application for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to provide one (1) on-site parking bay in lieu of two (2), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the departure as indicated on the Site Plan as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that the conditions compiled in the Services Report, be complied with, and
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN: ERF 2344 PEARLY BEACH

Date: 2019-01-30

NOTAS :

FONDASIES:

700 x 230 Strookfondasies vir 280mm en 230mm mure en 600 x 230 vir 115mm mure.

VLOERE:

85mm Beton vloere op 250 micron vogwerende membraan en Ref. 193 weldel mesh op goed gekom pakkerende vulband, vry van enige organiese materiaal, in die van 150mm maksimum.

MURE:

280mm en 230mm Steen mure beide kante gepleister en geverf, behalwe buitekant van motorhuis mure op grens word met sierstene gebou. 115mm Binnenmure beide kante gepleister en geverf. Alle mure op 375 micron VWL met steenversterking elke derde steen laag en min. 4 Butterfly Tuss per vkm vir 280mm mure. Beton latele oor alle openinge met horisontale sowel as vertikale VWL om openinge in 280mm mure.

DAK:

Soop per spesifikasies op Snit A - A.

PLAFON:

Soop per spesifikasies op Snit B - B.

VENSTERS EN BUIITE DEURE:

Aluminium en glas soos per Fenestrasie.

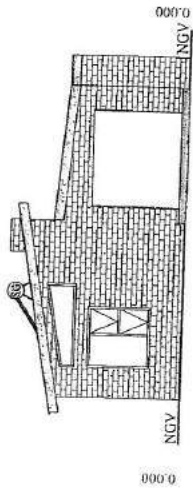
VLOERLYSTE:

Meranti hout vloerlyste.

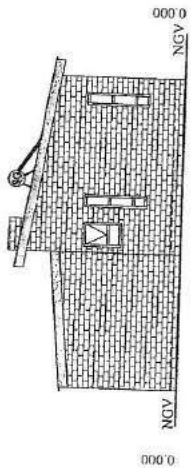
VOORGESTELDE NUWE WOONHUIS
OP ERF 2344, HARDERSTRAAT 25
PEARLY BEACH OORD, VIR P.F. EN
A. BURGER.

J.J. ROBERTS - PROF. ARCHITECTURALE TEKENAAR
 Saradweg, Va. B. 804
 jmr.roberts@pmail.com
 Pretoria 001
 Kewerstraat 7
 Pearly Beach 7200
 Tel: No. 06 06 18
 061 027 707 8200
 200 04 05

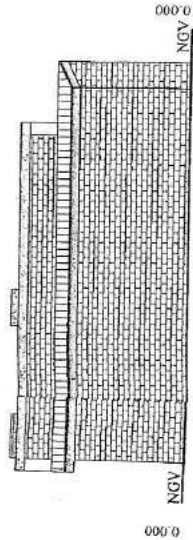
Burger: BL 1 van 3



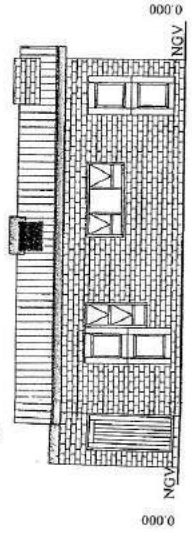
WES AANSIG Skaal 1 : 100



OOS AANSIG Skaal 1 : 100



SUID AANSIG Skaal 1 : 100



NOORO AANSIG Skaal 1 : 100

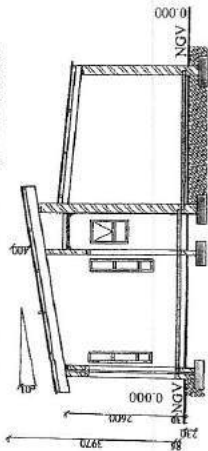
PEARLY BEACH STRANDDOORD

Bouplan, Erf No. 2344 word aanbeveel / aangekeur

PLAAN: Oordbestuurder

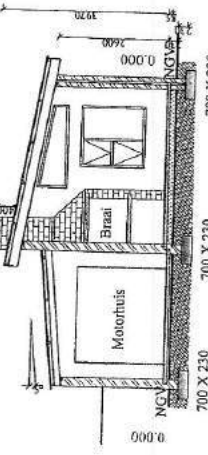
4.4m Breedte van 38.4 m diepte 7.30 m in die breedte van die deur en 13.5m in die breedte van die deur

Maks. Hoogte 4.0m



SNIT B - B Skaal 1 : 100

DAK: Chertred dakleer op 80 x 76 dakbalk (1.000) of op 225 x 50 dakbalk (1.000) of op 28 x 26 dakbalk en met geplooiende hoepel vasgeheg met 3 vertikale 50mm vierkantige houtpale vasgeheg op dakleer. Dakleer vir alle 0 m motorhuis.



SNIT A - A Skaal 1 : 100

NOTAS:

FONDASIES:

700 x 230 Strookfondasies vir 280mm en 250mm mure en 600 x 230 vir 115mm mure.

VLOERE:

85mm Beton vloere op 250 micron vogverende membraan en Rd. 195 weldet mesh op goed gekompakteerde vulsand, vry van enige organiese materiaal, in lae van 150mm maksimum.

MURE:

280mm en 230mm Steen mure, beide kante gepleister en geverf, behaive buitekant van motorhuis mure op grens word met sierstene gebou. 115mm Blinnemure beide kante gepleister en geverf. Alle mure op 75 micron VWL met steenversterking elke derde steen laag en min. 4 Buterfly Ties per vkm vir 280mm mure. Beton latele oor alle openinge met horisontale sowel as vertikale VWL om openinge in 280mm mure.

DAK:

Soos per spesifikasies op Snt A - A.

PLAFON:

Soos per spesifikasies op Snt B - B.

VENSTERS EN BUIITE DEURE:

Aluminium en glas soos per Fenestrasie.

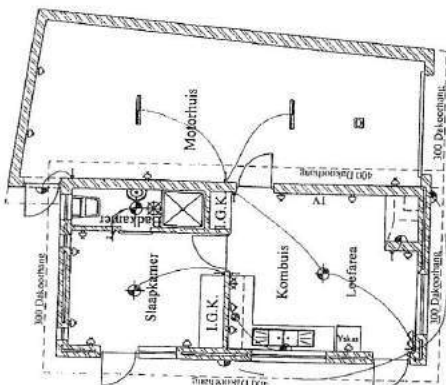
VLOERLYSTE:

Meranti hout vloerlyste.

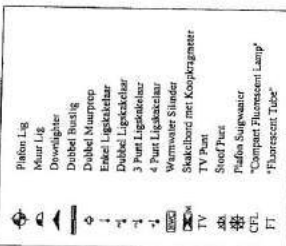
VOORGESTELDE NUWE WOONHUIS
OP ERF 2344, HARDERSTRAAT 25
PEARLY BEACH OORD, VIR P.F. EN
A. BURGER.

J.L. CHRISTENS **PROF. ARCHITECTONISCHE TEKENAR**
 Swartkopsdorp, No. 11124
 Johannesburg
 P.O. Box 1220
 Tel. No. 06 06 18
 Fax. No. 06 18
 200-04-15

Buget: Bl. 2 van 3

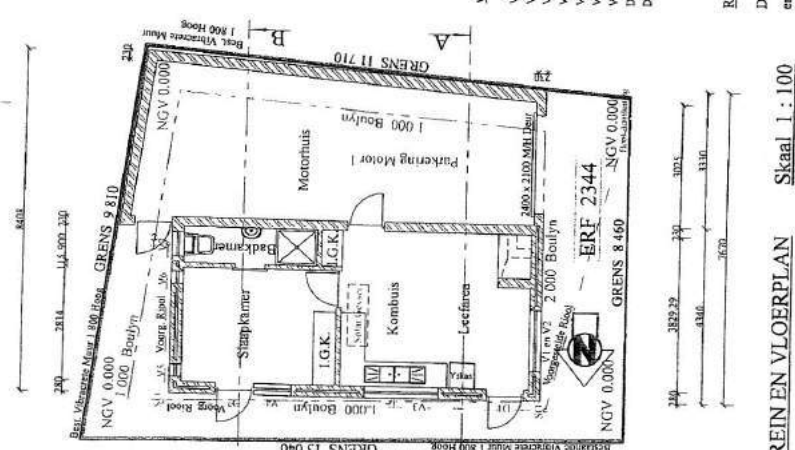


ELEKTRIESE UITLEG



"GEÏSERS":

150L "Solar Water Heater" wat min. 70% doeltreffend moet wees. Voldoen aan SANS 1507 en 10106. Instalering gedoen volgens SANS 10254.



VENSTERS:

V1	1,5 x 1,5	=	2,25
V2	2,05 x 0,34 + 2,05 x 0,17	=	1,04
V3	1,8 x 0,9	=	1,62
V4	0,6 x 1,5	=	0,60
V5	0,3 x 1,5	=	0,45
V6	0,3 x 1,5	=	0,45
V7	0,6 x 0,9	=	0,54
D1	0,9 x 2,1	=	1,89
D2	0,9 x 2,1	=	1,89
			11,03m

R - WAARDE VAN MUUR:

Dubbel ry stene met 50mm Cavity en gepleister, voldoen aan SANS 10400 SA.

TERREIN EN VLOERPLAN

Skaal 1 : 100

DAKONSTRUKSIE:

- R - waarde vir dakmateriaal : 0,36
- R - waarde vir "Reflective Foil" : 1,36
- R - waarde vir Plafon materiaal : 0,06
- R - waarde vir isolering kombors : 3,14
- Totale R - waarde : 4,92
- Minimum Toelaatbare R - waarde = 3,7
- 4,92 > 3,7 Toelaatbaar

ENERGIE VERBRUIK:

- Energie aanvraag oorgehoel = 5W/m² x 5W/m² x 63,06m² = 315,3W
- Dienste gebruik = 11 x 11W gloeilampe = 121W : 1,92W/m² x 5W/m² [Voldoen]
- Energie verbruik toegelaat = 5KWh/m² (a = 1 jaar) : 5KWh/m² x 63,06m² = 315,3 KWh. a
- Daaron 5 ure x 365 dae = 1825 ure x a
- Gloeilampe 121W = 0,121KW
- 0,121KW x 1825h : a = 220,83KWh. a : 3,51KWh/m² x 5KWh/m² [Voldoen]

Bouplan, Erf No. 2344, PEARLY BEACH STRANDoord
 word aangevoer en getoets deur
 Oordposigter
 Datum

NOTAS:

FONDASIES:
700 x 230 Strookfondasies vir 280mm en 230mm muur en 600 x 230 vir 115mm muur.

VLOERE:
85mm Beton vloere op 250 micron vogwerende membraan en Ref. 193 welded mesh op goed gekompakteerde vulsaand, vry van enige organiese materiaal, in lae van 150mm maksimum.

MURE:
280mm en 230mm Steen muur, beide kante gepolester en geverf, betelative buitekant van motoriale muur op grens word met kerstene gebou. 115mm Binnemure beide kante gepolester en geverf. Alle muur op 375 micron VVL met steerversterking elke derde steen laag en min. 4 Butterfly Ties per vkn vir 280mm muur. Beton latele oor alle openinge met horisontale sovel as vertikale VVL om openinge in 280mm muur.

DAK:
Soos per spesifikasies op Sait A - A.

PLAFON:
Soos per spesifikasies op Sait B - B.

VENSTERS EN BUIITE DEURE:
Aluminium en glas soos per Fenestrasie.

VLOERLYSTE:
Meranti hout vloerlyste.

VOORGESTELDE NUWE WOONHUIS
OP ERF 2344, HARDERSTRAAT 25
PEARLY BEACH OORD, VIR P. F. EN
A. BURGER

J.J. CHRISTENS - PROF. ARCHITECTONISIE TEGENWAARDIG
Sartoli Reg. No. 1001
Nevestraal 7
Pearly Beach 7220
Tel/Fax 020 301 904
3rd. 082 707 8200

Prof. Christens 2@gmail.com
Pousus 063
Geechad 7220
Tel. No. 06 06 16
2008-04-05

Bureer. H1.3 van 3.

FENESTRATION

ERF 2344 PEARLY BEACH										
ORIENTATION	WINDOW NO.	CONDUCTANCE		SOLAR HEAT GAIN			TYPE GLAZING			
		A	U	A	S	E		SHG		
NORTH	W1	2.25	3.4	7.65	2.25	0.66	0.47	0.70	Y	
NORTH	W2	1.04	3.4	3.43	1.04	0.66	0.32	0.24	X	
NORTH	W3	1.62	3.4	5.51	1.62	0.66	0.35	0.37	X	
NORTH	W4	0.90	3.4	3.06	0.90	0.66	0.43	0.26	Y	
NORTH	D1	1.89	3.4	6.32	1.89	0.66	0.46	0.57	Y	
NORTH	D2	1.89	3.4	6.32	1.89	0.66	0.46	0.57	Y	
EAST	W5	0.45	3.4	1.53	0.45	0.66	0.83	0.25	Y	
EAST	W6	0.45	3.4	1.53	0.45	0.66	0.83	0.25	Y	
EAST	W7	0.54	3.4	1.84	0.54	0.66	0.73	0.26	X	
TOTAL CONDUCTANCE				37.19	TOTAL SHG		3.47			
Glazing Type X = Clear Low E							Glazing Type Y = 7.38mm Laminated Float Glass Low E			
Area x Climate Zone Constant = Cu Permissible 30.92 x 1.4 = 43.29 Cu Permissible							Area x SHG Constant = SHG Permissible 30.92 x 0.13 = 4.02 SHG Permissible			
Total Cu = 37.19							Total SHG = 3.47			
37.19 < 43.29 (Permissible)							3.47 < 4.02 SHG (Permissible)			

AREA:
Voorgestelde Woonhuis : 38.67 m²
Voorgestelde Monorhuis : 36.76 m²
Total : 75.43 m²

Area van Erf : 115 m²
Dekking : 65.6 %

PEARLY BEACH STRANDGOOR
Bouplan, Erf No. 1001
word aanvaar / afkeur
[Handwritten Signature]
[Handwritten Signature]
[Handwritten Signature]
[Handwritten Signature]

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2344, PEARLY BEACH (4113)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

19. ERF 8806, CHRIS HANI STREET, ZWELIHLE, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS PLAN ACTIVE ON BEHALF OF THE CHURCH OF ENGLAND IN SOUTH AFRICA

8806 HZW (4040)

H Olivier

(028) 313 8900

Hermanus Administration

14 December 2018

Executive Summary

An application has been received on 11 June 2018 from Messrs Plan Active Town & Regional Planners on behalf of the Church of England in South Africa on Erf 8806, Zwelihle for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following departures :

- ❖ to relax the street building line from 2m to 1m and 0m respectively;
- ❖ to relax the lateral building lines from 1,0m to 0,92m and 0m respectively;
- ❖ to relax the rear building line from 1m to 0,87m to accommodate a proposed new bedroom and carport, and
- ❖ to exceed the permissible coverage of 65% to ±68,4%.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 8806, Zwelihle for the following departures :

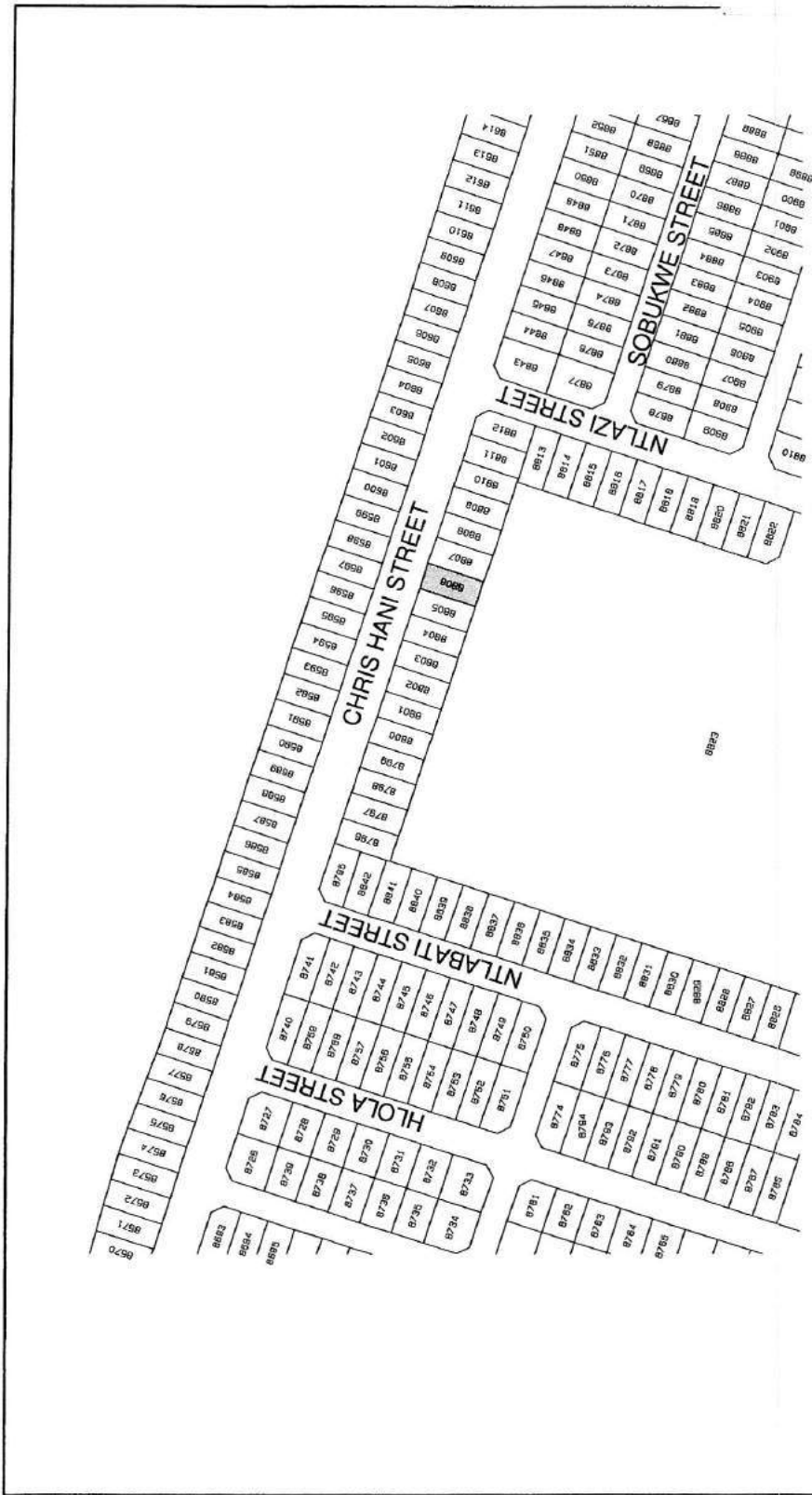
- ❖ to relax the street building line from 2m to 1m and 0m respectively;
- ❖ to relax the lateral building lines from 1m to 0,92m and 0m respectively;
- ❖ to relax the rear building line from 1m to 0,87m to accommodate a proposed new bedroom and carport, and
- ❖ to exceed the permissible coverage of 65% to ±68,4%,

be approved in terms of the provisions of Section 61 of the By-Law subject to the following conditions:

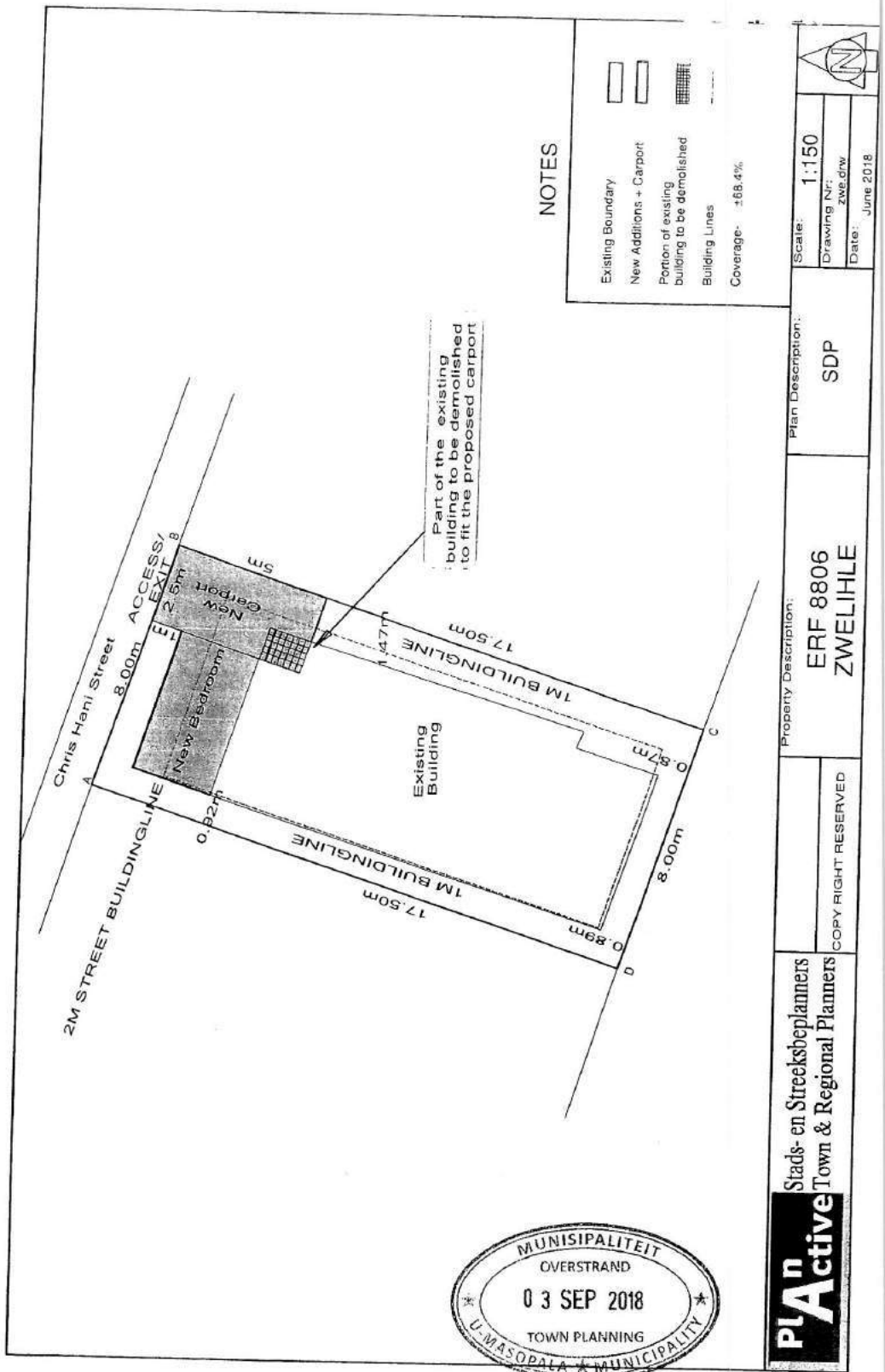
- (a) that this approval for departures only relates to the placement of the buildings as shown on plans dated June 2018, submitted with the application;
- (b) that the carport must comply with all the requirements as indicated in the Overstrand Zoning Scheme;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that all conditions imposed by the Fire Department, be complied with;
 - (f) that all the conditions in the Services Report, be complied with;
 - (g) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with, and
 - (h) that all the conditions imposed by Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



	Stads- en Streeksbeplanners Town & Regional Planners		All distances approximate and subject to survey.	Property Description: ERF 8806 ZWELIHLE	Plan Description: LOCALITY MAP	Scale: NTS Drawing Nr.: zwe8806i.drw Date: JUNE 2018	
	COPY RIGHT RESERVED						



NOTES

- Existing Boundary
- New Additions + Carport
- Portion of existing building to be demolished
- Building Lines
- Coverage: ±68.4%



Scale:	1:150
Drawing Nr:	ZWE.dwg
Date:	June 2018

Plan Description:

SDP

Property Description:

ERF 8806
ZWELIHLE

Stads- en Streeksbeplanners
Town & Regional Planners



COPY RIGHT RESERVED



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 8806, ZWELIHLE (4040)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 8806, Zwelihle, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES


 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

20. ERF 2100, MILKWOOD LYNX ESTATE, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED AMENDMENT OF ARCHITECTURAL DESIGN GUIDELINES: H BROWN ON BEHALF OF THE MILKWOOD LYNX HOME OWNERS ASSOCIATION

2100 HVM (4109)

H Olivier

(028) 313 8900

Hermanus Administration

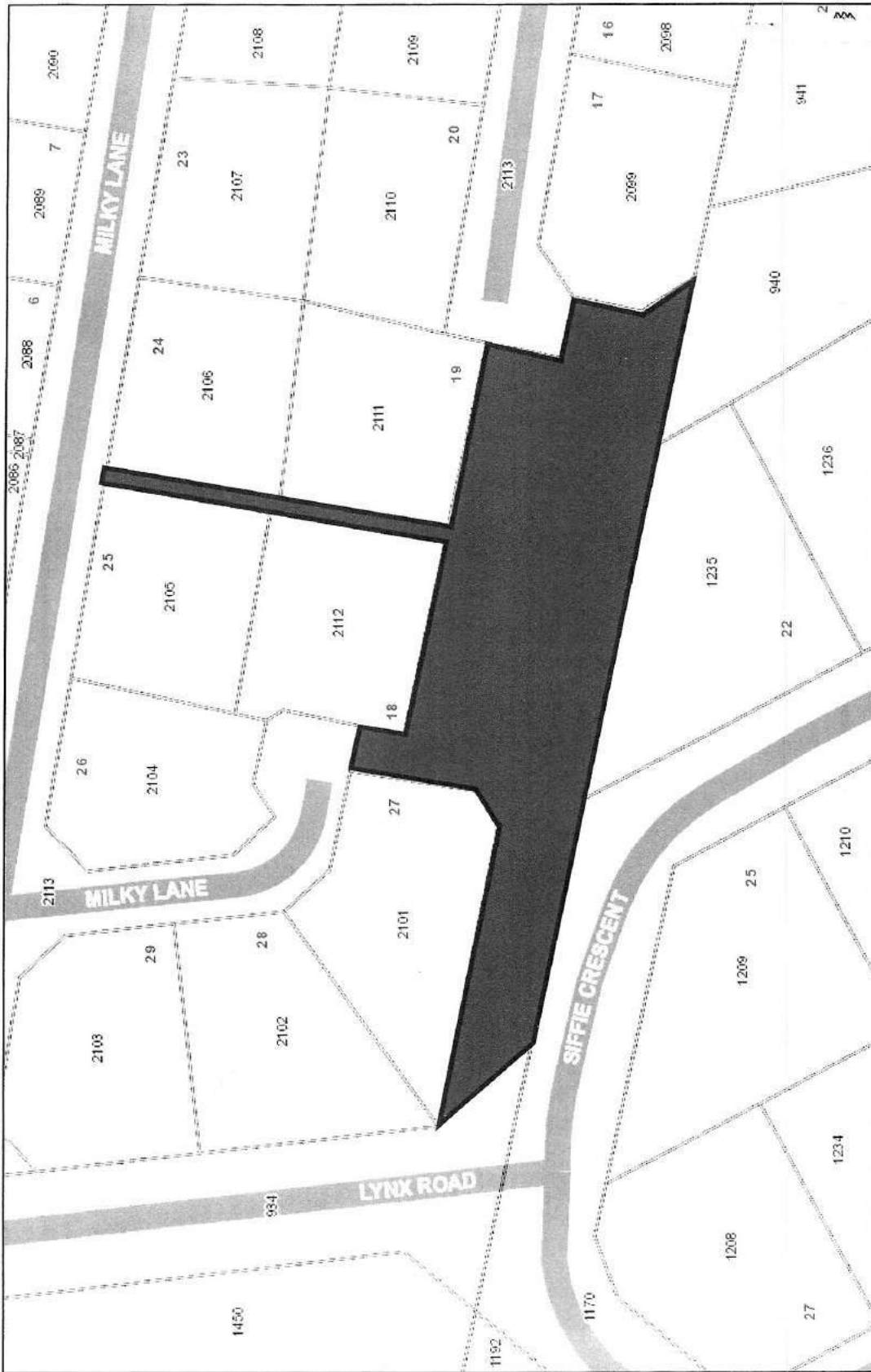
30 November 2018

EXECUTIVE SUMMARY

An application has been received on 20 July 2018 from Mr H Brown on behalf of the Milkwood Lynx Home Owners Association in terms of Section 16(2)(f) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Architectural Design Guidelines for Milkwood Lynx.

RECOMMENDATION

1. that the application in terms of Section 47 of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) of an application in terms of Section 16(2)(j) to amend the Architectural Guidelines of Milkwood Lynx Estate dated 31 October 2018, **be approved.**
2. that a copy of the amended Edition 7 of the Architectural Guidelines be submitted to the Municipality for record purposes.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Erf 2100 Vermont - Milkwood Lynx Estate

Date: 2019-01-16

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

21. ERF 1653, 4 LINFORD ROAD, HAWSTON, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: UJ LAKAY

1653 HHW (4154)

H Olivier

(028) 313 8900

Hermanus Administration

14 December 2018

Executive Summary

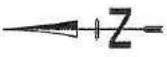
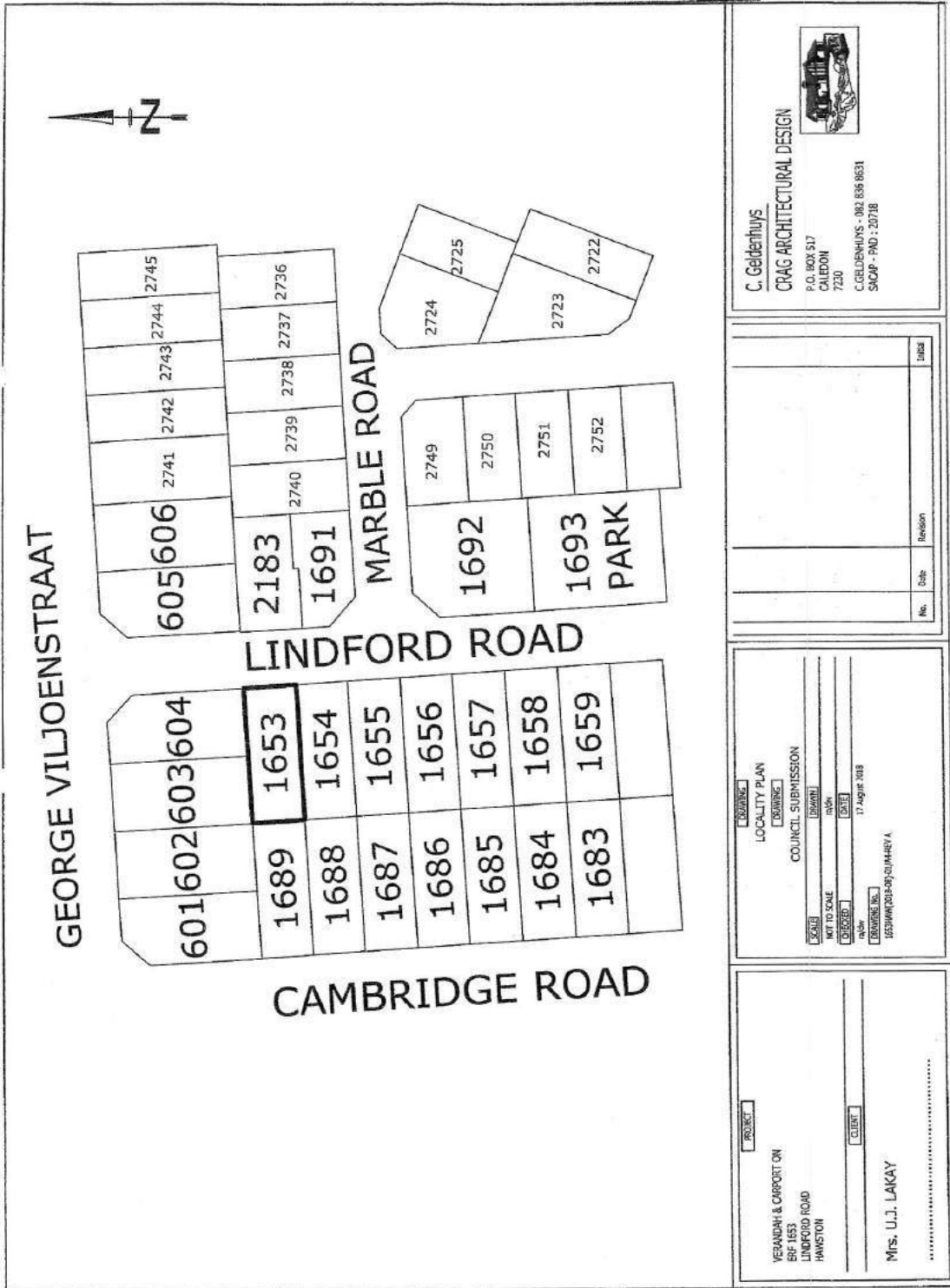
An application has been received on 28 August 2018 from UJ Lakay on Erf 1653, Hawston for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the street building line from 2m to 0,44m, and the southern and northern lateral building lines from 1m to 0,265m to accommodate an existing covered braai area/carport/verandah.

RESOLVED :

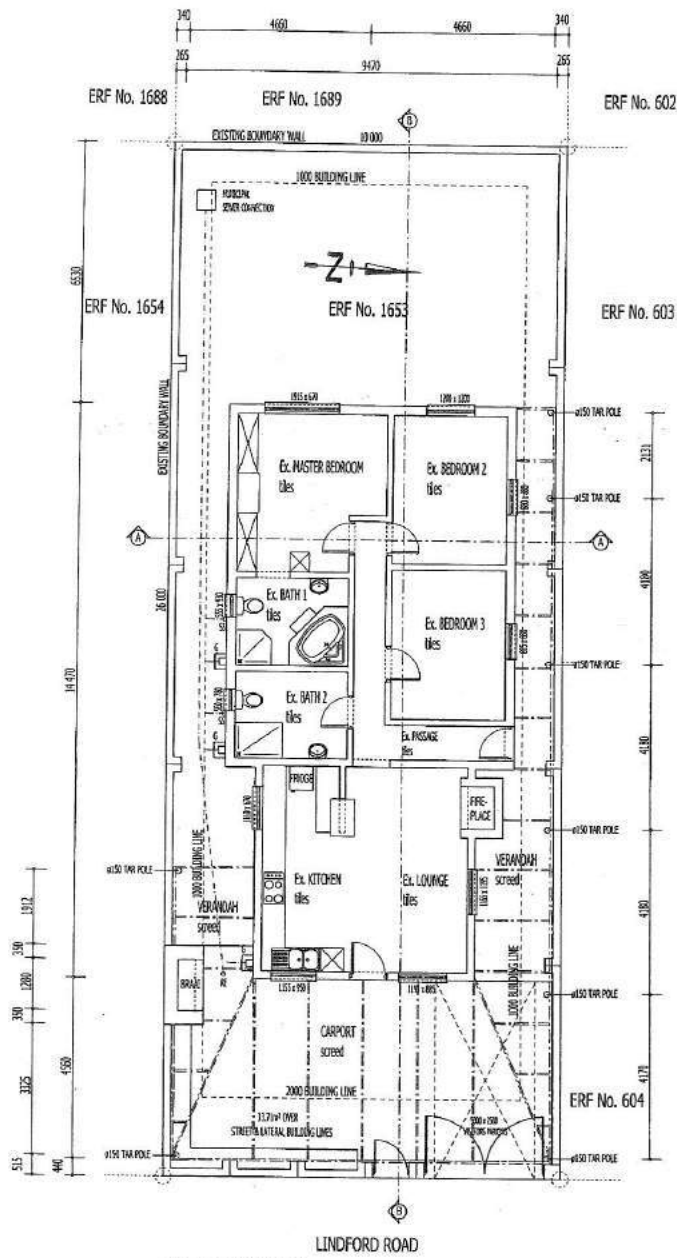
1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) to relax the northern lateral building line from 1m to 0,265m to accommodate a verandah and carport, **not be approved** in terms of the provisions of Section 61 of the By-Law:
2. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) to relax the street lateral building line from 2m to 0,44m to accommodate a carport, and to relax the southern lateral building line from 2m to 0,265m to accommodate a built braai and verandah/carport, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the verandah over the 1m northern building line be demolished, and also the portion of the carport over the 2m street building line 6,5m from the erf's south-eastern corner on to the northern boundary line, all other structures as indicated on Plan 1635HAW (2018-08)-01/A3-REV-A, is supported;
 - (b) that building plans be submitted to the Building Department for their approval, and that all conditions stipulated by the Building Department and Fire Department at that stage, be complied with;
 - (c) that this is not an approval in terms of any other legislation, and
 - (d) that the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**


3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



<p>PROJECT</p> <p>VERANDAH & CARPORT ON ERF 153 LINDFORD ROAD HAWKSTON</p> <p>CLIENT</p> <p>Mrs. U.J. LAKAY</p>	<p>DATE 17 August 2018</p> <p>CHECKED [Signature]</p> <p>DRAWING NO. 153/MW/2018-09/QUIMHEY A</p> <p>SCALE NOT TO SCALE</p> <p>LOCALITY PLAN</p> <p>COUNCIL SUBMISSION</p>	<p>NO. [] DATE [] REVISION []</p> <p>DATE []</p>
<p>C. Geldenhuys CRAG ARCHITECTURAL DESIGN</p> <p>P.O. BOX 517 CALEDON 7220 C.GELDENHUYS - 082 656 8631 SACAP - PNO : 20788</p>		



SITE- & GROUND PLAN
SCALE 1:100

<p>PROJECT</p> <p>VERANDAH & CARPORT ON ERF 1653 LINDFORD ROAD HARVESTON</p> <p>OWNER</p> <p>Mrs. U.J. LAKAY</p>	<p>DRAWING</p> <p>SITE- & FLOOR PLAN COUNCIL SUBMISSION</p> <p>SCALE DRAWN</p> <p>DATE DATE</p> <p>CHECKED DATE</p> <p>NO. 17 August 2018</p> <p>DRAWING NO. 1653/000/218-40/01/01/01/01</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> <th>By</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Date	Revision	By					<p>C. Gelderhuys CRAG ARCHITECTURAL DESIGN</p> <p>P.O. BOX 517 CALEDON 7230</p> <p>C. GELDERHUYS - 087 634 6631 SACAP - 7401 - 29718</p> 
No.	Date	Revision	By								

SECTION B-B
SCALE 1:50

VIEWING ROOF CONSULTATION:
 HAS COORDINATED DIMENSIONS AGAIN SHEETING @ 300mm ON
 R/L 300mm DIMENSIONS AT 300mm CENTRES ON
 200 x 200mm DIMENSIONS AT 300mm CENTRES ON
 FLOOR TO WALL AND 200 x 50mm WITH THUSHANGES.

SECTION B-B
SCALE 1:50

NOTES

- To the best of my knowledge these plans are drawn to comply with current and/or building specifications and are not intended to be used for any other purpose and I accept no liability for any errors or omissions and I accept no liability for any errors or omissions.
- The above drawings are not to be used for any other purpose without my written consent.
- While every effort has been made to ensure the accuracy of the drawings, the architect does not guarantee the accuracy of the drawings.
- Contractor to verify all dimensions and levels in situ before commencing work.
- Use appropriate materials, on the site.
- All work to comply with all local authority requirements.
- The architect does not accept any liability for any errors or omissions or for any damage or loss of any kind arising from the use of these drawings.

PROPERTY:

VERANDA & CARPORT ON
 100/101
 PRINCELY ROAD
 HAMILTON

CLIENT:

Mrs. U.J. LARAY

DATE: 17 August 2018

PROJECT NO.: 1833 HAMILTON HAMILTON

SCALE: SECTION 1:50

DATE: 17 August 2018

DESIGNER: C. Gelderhuys

C. Gelderhuys
CRAG ARCHITECTURAL DESIGN

P.O. BOX 517
 CALSON
 728

CELLPHONE: 080 405 6031
 FAX: 080 405 6031

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1653, HAWSTON (4154)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 1654, Hawston, unobstructed;
7. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

17/10/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**22. ERF 2064, 80 VILJOEN STREET, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS SPVW
ARCHITECTURE ON BEHALF OF MJ AND LC VAN TONDER**

2064 HON (4128)

H Olivier

(028) 313 8900

Hermanus Administration

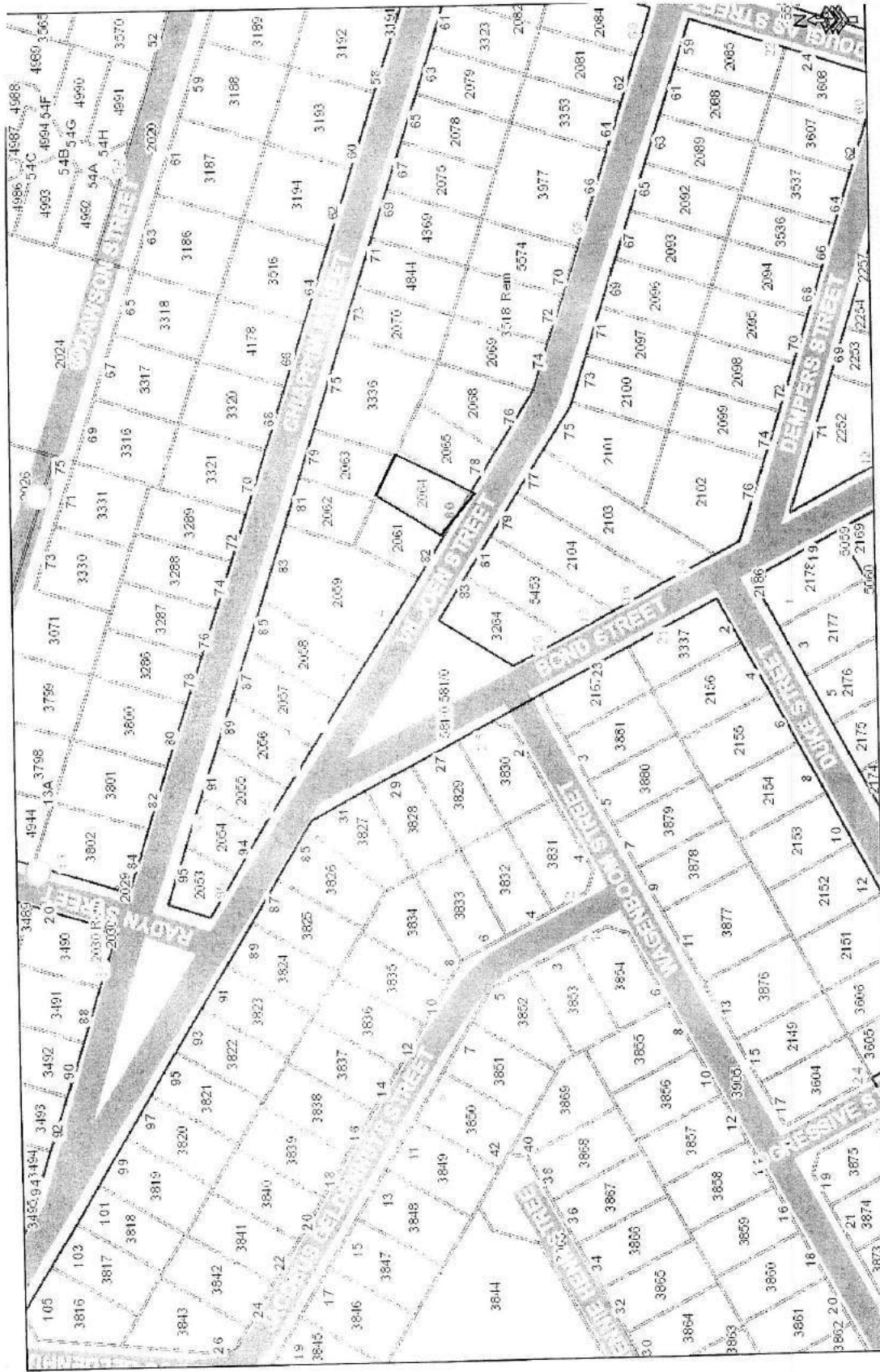
16 January 2019

Executive Summary

An application has been received on 30 July 2018 from Messrs SPVW Architecture on behalf of MJ and LC van Tonder on Erf 2064, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the northern lateral building line from 2m to 0,94m to allow a structural column.

RESOLVED :

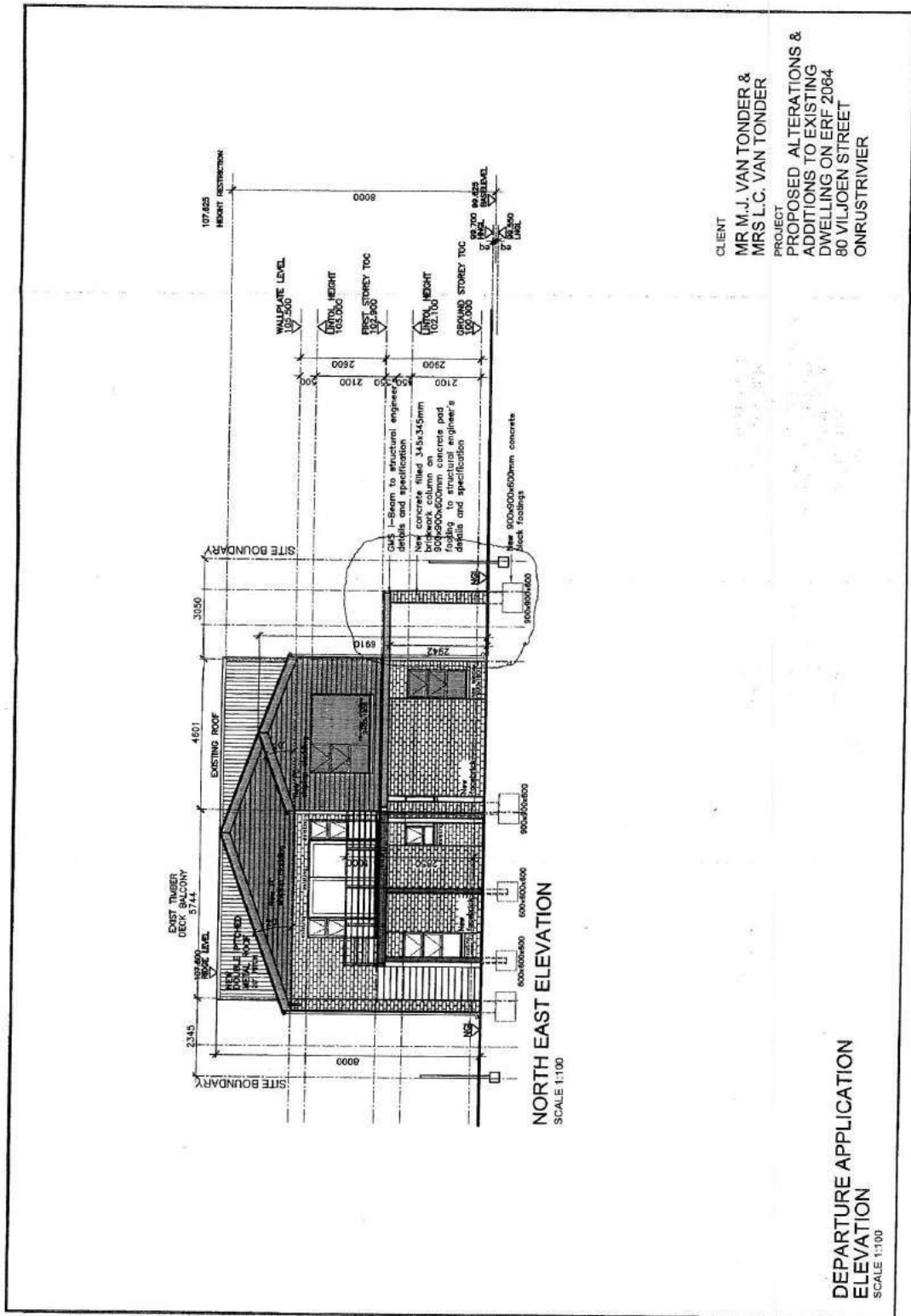
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 2064, Onrustrivier in order to relax the northern lateral building line from 2m to 0,94m to allow a structural column, **be approved** in terms of the provisions of Section 61, subject to the following conditions:
 - (a) that building plans be submitted to the Building Department, and that all conditions set by the Building and Fire Departments at that stage, be complied with;
 - (b) that this approval is only for the relaxation of the plans submitted with the application;
 - (c) that all the conditions in the Service Report, be complied with, and
 - (d) that all conditions imposed by Telkom, be complied with.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Date: 2018-11-01

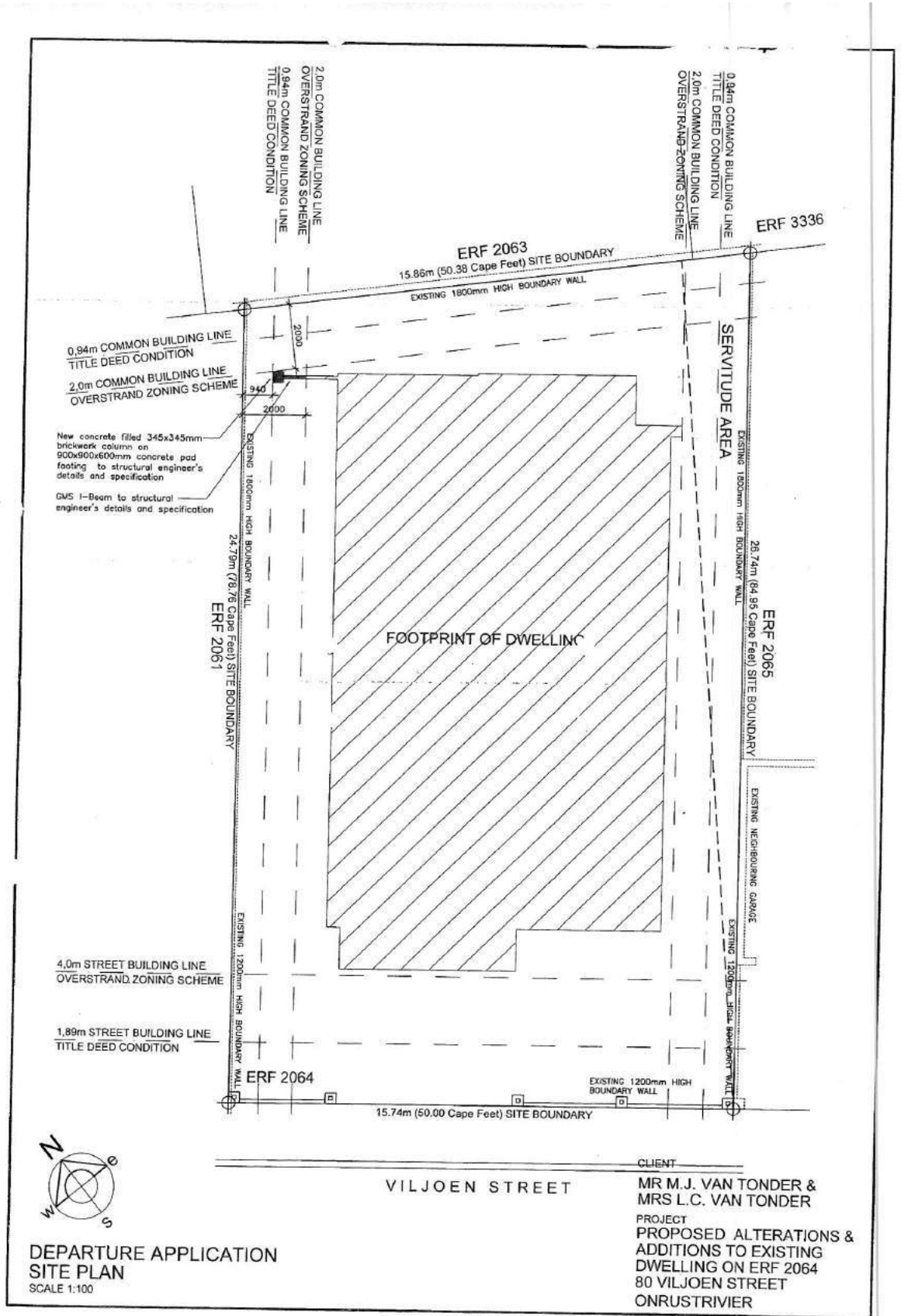
Erf 2064 ONRUSRIVER





CLIENT
 MR M.J. VAN TONDER &
 MRS L.C. VAN TONDER
 PROJECT
 PROPOSED ALTERATIONS &
 ADDITIONS TO EXISTING
 DWELLING ON ERF 2064
 80 VILJOEN STREET
 ONFRUSTRIVIER

DEPARTURE APPLICATION
 ELEVATION
 SCALE 1:100



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2064, ONRUS RIVER (4128)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2064, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

Dennis Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

13/12/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- 23. ERVEN 193 AND 12254, 77 & 79 CHURCH STREET, HERMANUS (WESTCLIFF), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, DEVIATION FROM THE SPATIAL DEVELOPMENT FRAMEWORK, REZONING, CONSOLIDATION, AMENDMENT OF THE SITE DEVELOPMENT PLAN AND AMENDMENT OF CONDITIONS OF APPROVAL: MESSRS PLANACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF THE L & R FAMILY TRUST**

193 & 12254 HWC (3961)

H van der Stoep

(028) 313 8900

Hermanus Administration

12 December 2018

Executive Summary

An application has been received on 28 March 2018 from Messrs PlanActive Town- and Regional Planners on behalf of The L & R Family Trust applicable to Erven 193 and 12254, Hermanus for the following:

- the removal, in terms of Section 16.(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), of restrictive title deed conditions B.(a), (b), (c) and (d) as contained in Title Deed T49134/2016 applicable to Erf 193, Hermanus as well as conditions I.B.(c) and (d), and II.B.(c) and (d) as contained in Title Deed T47494/2016 applicable to Erf 12254, Hermanus;
- deviation from the Overstrand Spatial Development Framework in terms of the provisions of the Municipal Systems Act, Act 32 of 2000 in order to change the reservation of Erf 193, Hermanus from single residential usage to business use;
- rezoning in terms of Section 16.(2)(a) of the By-Law of Erf 193, Hermanus from Residential Zone I: Single Residential to Business Zone 3: Local Business;
- consolidation of Erven 193 and 12254, Hermanus in terms of Section 16.(2)(e) of the By-Law;
- amendment of the existing approved Site Development Plan (SDP) applicable to Erf 12254, Hermanus in terms of Section 16(2)(h), and
- deletion of an existing condition of approval applicable to Erf 12254 in terms of Section 16(2)(h) of the By-Law.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

RESOLVED :

1. that the application applicable to Erven 193 and 12254, Hermanus for:

- the removal, in terms of Section 16.(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), of restrictive title deed conditions B.(a), (b), (c) and (d) as contained in Title Deed T49134/2016 applicable to Erf 193, Hermanus as well as conditions I.B.(c) and (d), and II.B.(c) and (d) as contained in Title Deed T47494/2016 applicable to Erf 12254, Hermanus;
- rezoning in terms of Section 16.(2)(a) of the By-Law of Erf 193, Hermanus from Residential Zone I: Single Residential to Business Zone 3: Local Business in order to conduct medical consultation rooms from the property (after consolidation with Erf 12254, Hermanus);
- consolidation of Erven 193 and 12254, Hermanus in terms of Section 16.(2)(e) of the By-Law in order to create one (1) Business Zone 3 property;
- amendment of the existing approved SDP applicable to Erf 12254, Hermanus in terms of Section 16(2)(h) in order to accommodate the expansion of the existing medical consultation rooms and to provide additional parking facilities (after consolidation with Erf 193, Hermanus) on the property, and
- the deletion, in terms of Section 16(2)(h) of the By-Law, of condition 5.(b) of the Mayoral Committee's resolution 3. dated 30 March 2016 in order to accommodate the amended SDP.

be approved in terms of the provisions of Section 61 of the By-Law subject to the following conditions:

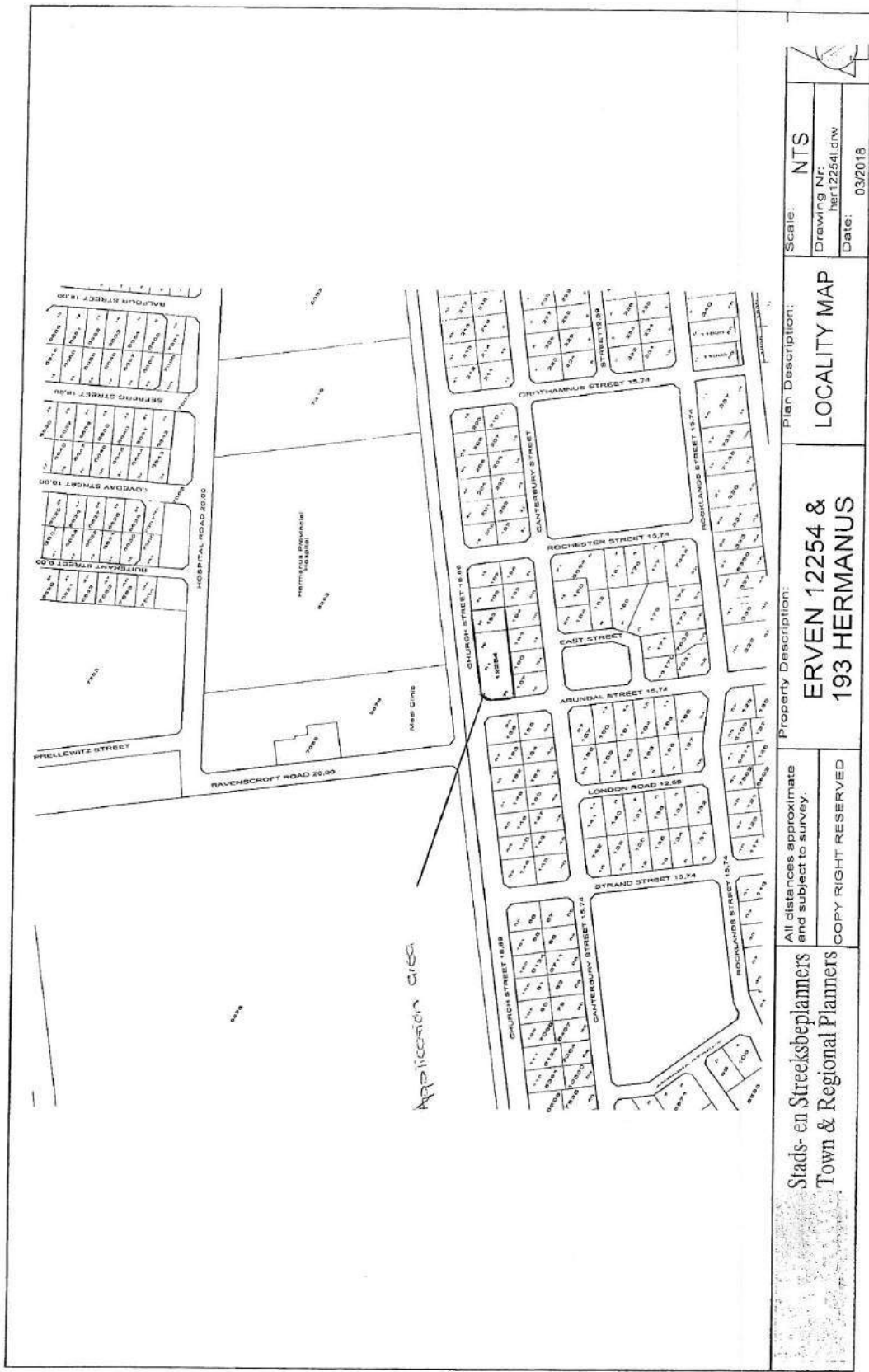
- (a) that the utilization of the consolidated property be restricted to medical suites, and uses associated to medical activities only;
- (b) that the maximum height of all structures on the consolidated property be restricted to 8m;
- (c) that building plans be submitted to the Building Department for approval and that all requirements of the Building Department and Fire Services at the time, be complied with;
- (d) that all other development parameters as prescribed in the Zoning Scheme be complied with;

**AGENDA of the
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(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (e) that the approvals do not absolve the landowners from compliance with any other applicable legislation;
 - (f) that the conditions of Engineering Services and Telkom, be complied with;
 - (g) that the paving on the road reserve that indicates parking bays on Church and Arundal Streets be landscaped to prohibit the parking of vehicles, but still leave some space for a pedestrian sidewalk;
 - (h) that the section along Church and Arundel Streets of the medical facility be curbed in such a manner to prohibit vehicle access. The be done in conjunction with the Operational Department to the cost of the applicant;
 - (i) that the difference colour pavers be removed and replaced with similar pavers as the rest of the paved area at the applicant's cost, and
 - (j) that no building plan, building work and comencing of the activity be approved until Conditions (g) – (i) have been met and signed off by the Operational Department.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

RECOMMENDATION TO COUNCIL:

1. that the application to deviate from the Overstrand Spatial Development Framework, 2006 in order to change the reservation of Erf 193, Hermanus from single residential usage to business usage, **be recommended for approval** in terms of the provisions of the Municipal Systems Act, Act 32 of 2000.



Scale: NTS
 Drawing Nr: her122541.dwg
 Date: 03/2016

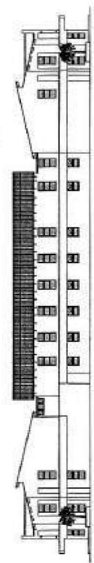
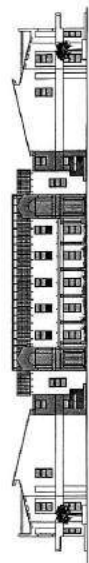
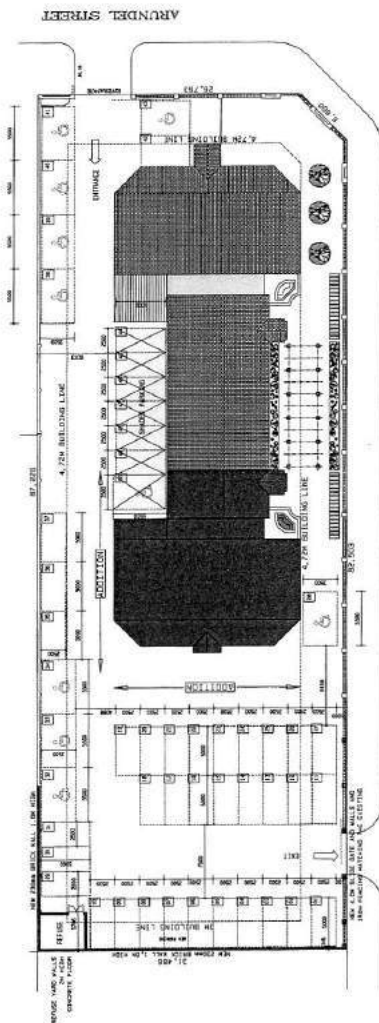
Plan Description:
 LOCALITY MAP

Property Description:
 ERVEN 12254 &
 193 HERMANUS

All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

Stads- en Streeksbeplanners
 Town & Regional Planners

SITE PLAN & ELEVATIONS, AND PARKING LAYOUT



4.00 DATA

SITE 2 730 M N

EXISTING BUILDING COVERAGE
 450 NEW COVERAGE = 201,200 M²
 TOTAL = 725,000 M² 281

GROSS LEASABLE AREA CALCULATION:

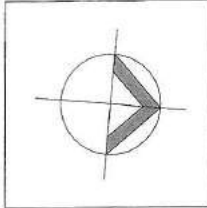
TOP FLOOR
 NEW AREA = 206,40 50 M²
 EXISTING = 240,20 50 M²
 GROUND FLOOR
 NEW AREA = 144,49 50 M²
 EXISTING = 270,00 50 M²
 TOTAL = 392,20 50 M²

TOTAL LEASABLE AREA = 598,60 50 M²

GENERAL AREA

TOP FLOOR
 EXISTING = 48,00 50 M²
 NEW = 25,80 50 M²
 GROUND FLOOR
 EXISTING = 300,10 50 M²
 NEW = 67,10 50 M²
 TOTAL FLOOR AREA = 1,132,20 50 M²

PARKING REQUIRED @ 8/100 = 50



David Penmar
 Professional Architect
 2009 4300 07th Street
 Vancouver, BC V6J 1K6
 TEL: 604-271-1111
 FAX: 604-271-1112
 WWW: www.davidpenmar.com

L. M. R. FAMILY TRUST

PROPOSED ADDITIONS TO EXISTING BUILDING
 4307 7TH STREET, VANCOUVER, BC

DATE: 11/11/2016

PROJECT NO: 11-300

DATE: 6/16/2016

01

ERF DATA

SITE 2 735 sq m

EXISTING BUILDING COVERAGE

442,00 sq m = 16,0 %
ADD NEW COVERAGE = 287,00 sq m
TOTAL = 729,00 sq m 26%

GROSS LEASABLE AREA CALCULATION
TOP STOREY

NEW AREA : 208,40 SQ M
EXISTING : 245,20 SQ M
TOTAL : 453,60 SQ M

GROUND FLOOR

NEW AREA : 144,40 SQ M
EXISTING : 237,80 SQ M
TOTAL : 382,20 SQ M

TOTAL LEASABLE AREA
835,80 SQ M

GENERAL AREA
TOP STOREY


NEW : 48,00 SQ M
EXISTING : 53,80 SQ M

GROUND FLOOR

NEW : 105,10 SQ M
EXISTING : 89,50 SQ M

TOTAL FLOOR AREA : 132,20 SQ M

PARKING REQUIRED @ 6/100 = 50

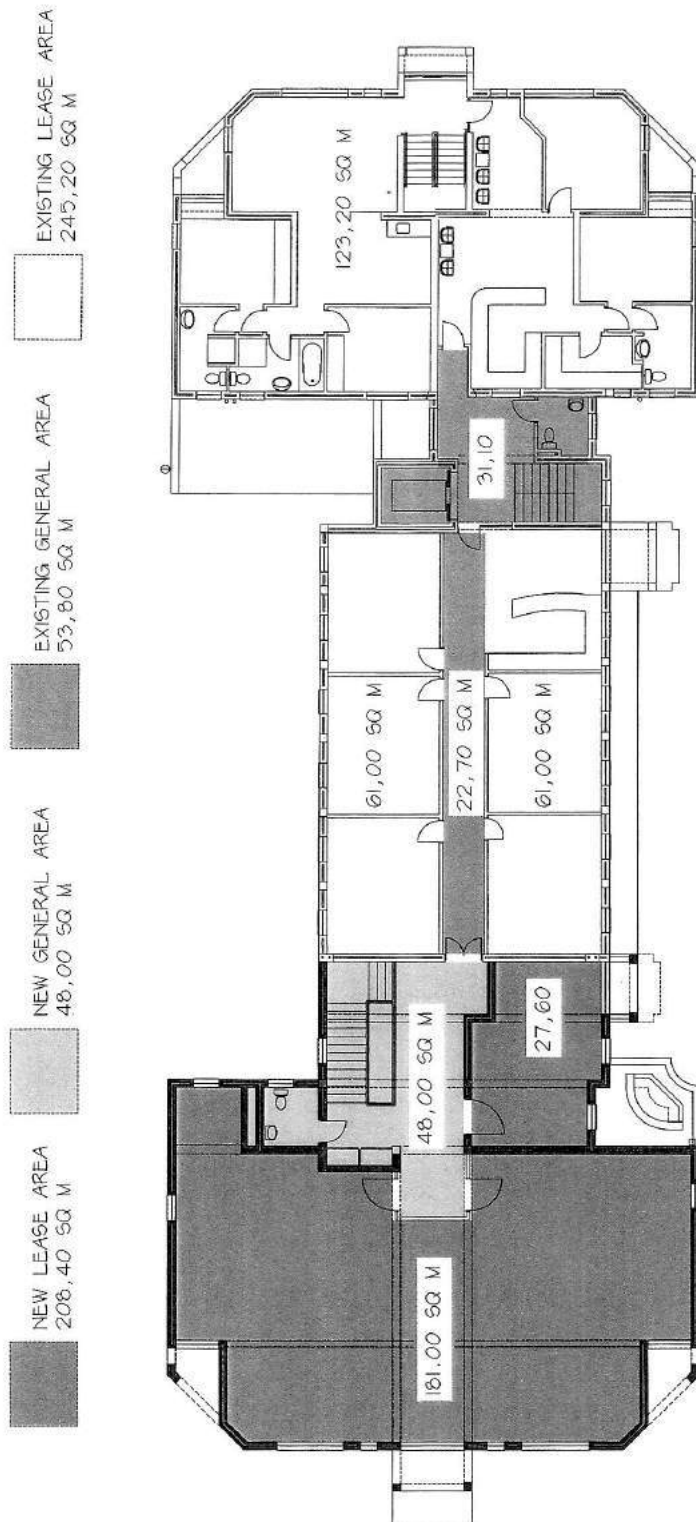


Danie Pienaar
Professional Architect
Professional Architect
SACP 4595 CPA 0027

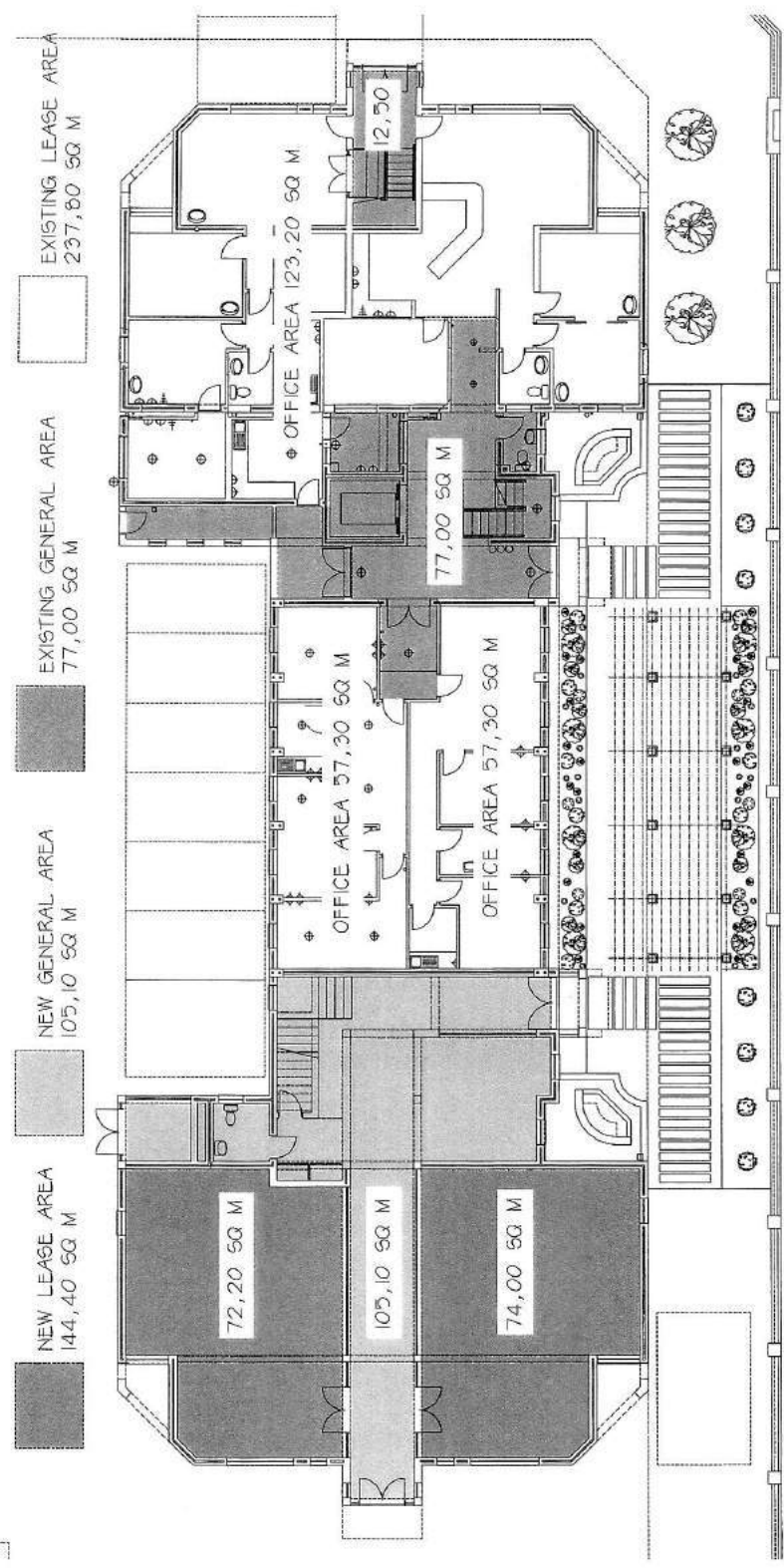
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L & R FAMILY TRUST

PROPOSED ADDITIONS TO EXISTING BUILDING
ERF 12274, ARSHELL / CHURCH STREET
BERMANS



FIRST STOREY LEASE AREAS



GROUND FLOOR LEASE AREAS

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING, CONSOLIDATION, REMOVAL OF
RESTRICTIONS, AND AMENDMENT OF CONDITIONS OF APPROVAL &
AMENDMENT OF THE SDP: ERVEN 193 & 12254, WESTCLIFF (3961)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

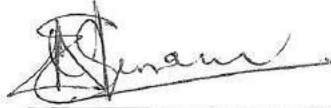
Conditions:

1. that only the existing water connection to Erf 12254 shall be used to service the proposed consolidated erf consisting of Erven 12254 & 193;
2. that the proposed consolidated erf consisting of Erven 12254 & 193 must be provided with adequate sewer tanks, which must comply with the standards and specification of the Department: Operational Services;
3. that only one electrical connection is allowed per erf, therefore the existing electrical connection to erf 193 will have to be consolidated with the existing connection on erf 12254, and the electrical department should be contacted beforehand in connection with the consolidation;
4. that should the usage of the land intensify and contribute to the additional loading on the engineering services, the additional cost or development charges will be for the owner / developer's account, as determined by the Department: Engineering Services;
5. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
6. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;

9. that stormwater be allowed to discharge through Erven 193 & 12254, Westcliff, unobstructed;

~~10. that should the usage of the land intensify and contribution to additional~~

10. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

2F/10/2018

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

Municipal Planning Tribunal

1. **ERVEN 1599 AND 2461, COVE CRESCENT (SANDY COVE) AND BERGSIG STREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA : APPLICATION FOR DEVIATION FROM THE OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK AND SPATIAL GROWTH STRATEGY, REZONING AND CONSOLIDATION : MESSRS WRAP ON BEHALF OF HERMANUPROP CC.**

1599 & 2461 HSB (3846)

H van der Stoep

(028) 313 8900

Hermanus Administration

9 November 2018

Executive Summary

An application has been received on 10 November 2017 from Messrs WRAP on behalf of Hermanuprop CC applicable to Erven 1599 and 2461, Sandbaai for the following in terms of Sections 10, 16(2)(a) and (e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, as well as the provisions of the Municipal Systems Act, 2000 (Act 32 of 2000) in order to:

- ❖ Deviate from the Overstrand Spatial Development Framework (2006) in order to change the reservation of Erf 2461, Sandbaai from residential purposes to industrial purposes, as well as to deviate from the Overstrand Municipal Spatial Growth Management Strategy (2010) in order to change the reservation of the said property from a densification grading to a local economic industrial opportunity reservation;
- ❖ Rezoning of Erf 2461, Sandbaai from General Residential Zone 1: Town Housing to Industrial Zone I: General Industry; and the
- ❖ Consolidation of Erven 2461 and Erf 1599, Sandbaai.

RESOLVED :

1. that the application in terms of Sections 16(2)(a) and (e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the rezoning of Erf 2461, Sandbaai from General Residential Zone 1: Town Housing to Industrial Zone I: General Industry and the subsequent consolidation thereof with Erf 1599, Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law; subject to the following conditions:
 - (a) that 2,5m high boundary walls be constructed by the developer on the dimensions as indicated on the revised layout plan (attached as Annexure C) (Plan No. 16/076/01), the style of which must be done in collaboration with the Home Owners Association of Sandy Cove – the

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
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walls must be maintained by the developer, or its successors in title, whenever necessary;

- (b) that after confirmation of the approvals in 1. above the developer immediately commence with the registration of the consolidation and that building plans for the above boundary walls (at the cost of the developer) be submitted to the Municipality for approval within thirty (30) days after commencement of the registration of the consolidation, and that the boundary walls be constructed within thirty (30) days after approval of the building plans at the cost of the developer;
 - (c) that the area of Erf 2461 at the developer's side may only be utilised as a parking area, and be registered as such against the Title Deed of the consolidated land unit;
 - (d) that no heavy duty vehicles are allowed on the parking area and it may also not be used as a loading zone;
 - (e) that the parking bays be clearly demarcated;
 - (f) that the landscaping and vegetation type at the Sandy Cove sides of the above boundary walls be done in collaboration with and to the satisfaction of the Home Owners Association of Sandy Cove, which landscaping and vegetation are for the cost of the developer – landscaping and vegetation must be commenced with as soon as the boundary walls have been completed;
 - (g) that the conditions of Engineering Services and Telkom, be complied with;
 - (h) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (i) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

RECOMMENDATION TO THE COUNCIL :

that the application to deviate from the Overstrand Spatial Development Framework (2006) in order to change the reservation of Erf 2461, Sandbaai from residential purposes to industrial purposes, as well as to deviate from the Overstrand Municipal Spatial Growth Management Strategy (2010) in order to

**AGENDA of the
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change the reservation of the said property from a densification grading to a local economic industrial opportunity reservation, **be recommended for approval** by Council in terms of the provisions of Section 10 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, as well as the provisions of the Municipal Systems Act, 2000 (Act 32 of 2000).



Locality map

- Erf 1599 Sandbaai 5274m²
- Erf 2461 Sandbaai 453m²

Plan 1

Plan prepared by: **Franshelle Janzile**
 All distances approximate and subject to survey.

WRAP makes no warranty of any kind expressed or implied with regard to data and shall not be held liable in any event for any additional or consequent damages in connection with or arising out of the use of this data. This data remains the property of WRAP and may only be used for the purpose of a project with the prior written approval of WRAP.

35 Dulker Street
 Pobox 1247
 Hermanus
 7200

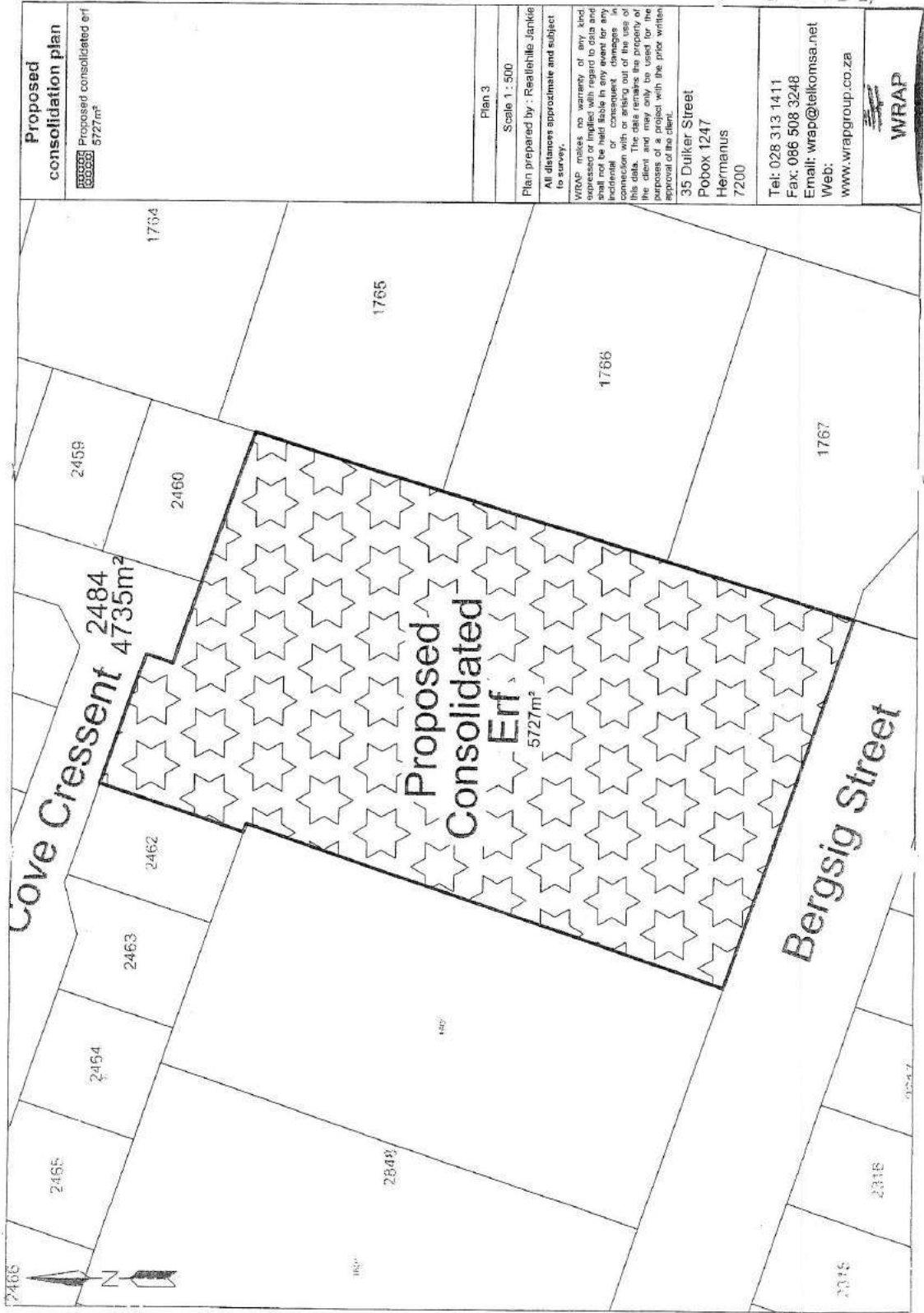
Tel: 028 313 1411
 Fax: 066 508 3248
 Email: wrap@telkomsa.net
 Web: www.wrapgroup.co.za



WRAP

Industrial and residential context

Scale 1 : 1 000



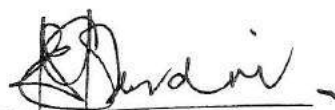
<p>Proposed consolidation plan</p> <p>Proposed consolidated erf 5727m²</p>	<p>Plan 3</p> <p>Scale 1 : 500</p> <p>Plan prepared by : Realihille Jankke</p> <p>All distances approximate and subject to survey.</p> <p>WRAP makes no warranty of any kind expressed or implied and shall not be held liable in any way for any incidental or consequent damages in connection with or arising out of the use of this data. The data remains the property of the client and may only be used for the purpose of a project with the prior written approval of the client.</p> <p>35 Duiker Street Pobox 1247 Hermanus 7200</p> <p>Tel: 028 313 1411 Fax: 086 508 3248 Email: wrap@telkomsa.net Web: www.wrapgroup.co.za</p> <p>WRAP</p>
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COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEVIATION FROM THE OVERSTRAND SPATIAL
DEVELOPMENT FRAMEWORK AND SPATIAL GROWTH MANAGEMENT
STRATEGY, REZONING & CONSOLIDATION: ERVEN 2461 & 1599, SANDBAAI
(3846)

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, an investigation be conducted with regards to the capacity required and that available, at the owner's cost;
2. that only the existing electricity connections will be available for the development, should additional capacity be required, an investigation be conducted with regards to the capacity required and that available, at the owner's cost;
3. that the electricity connections to the erven must be consolidated to one connection, and that the available capacity be combined;
4. that stormwater be allowed to discharge through the proposed erven, Sandbaai, unobstructed;
5. that no on-street parking will be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

8/2/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

**2. ERF 1638, 2 KUSWEG, SANDBAAI, OVERSTRAND MUNICIPAL AREA:
APPLICATION FOR REMOVAL OF RESTRICTION AND SUBDIVISION:
MESSRS PLAN ACTIVE ON BEHALF OF MV ALCOCK**

1638 HSB (3857)

H van der Stoep

(028) 313 8900

Hermanus Administration

19 November 2018

Executive Summary

An application applicable to Erf 1638, Sandbaai has been received on 17 November 2017 from Messrs Plan Active on behalf of MV Alcock for the following:

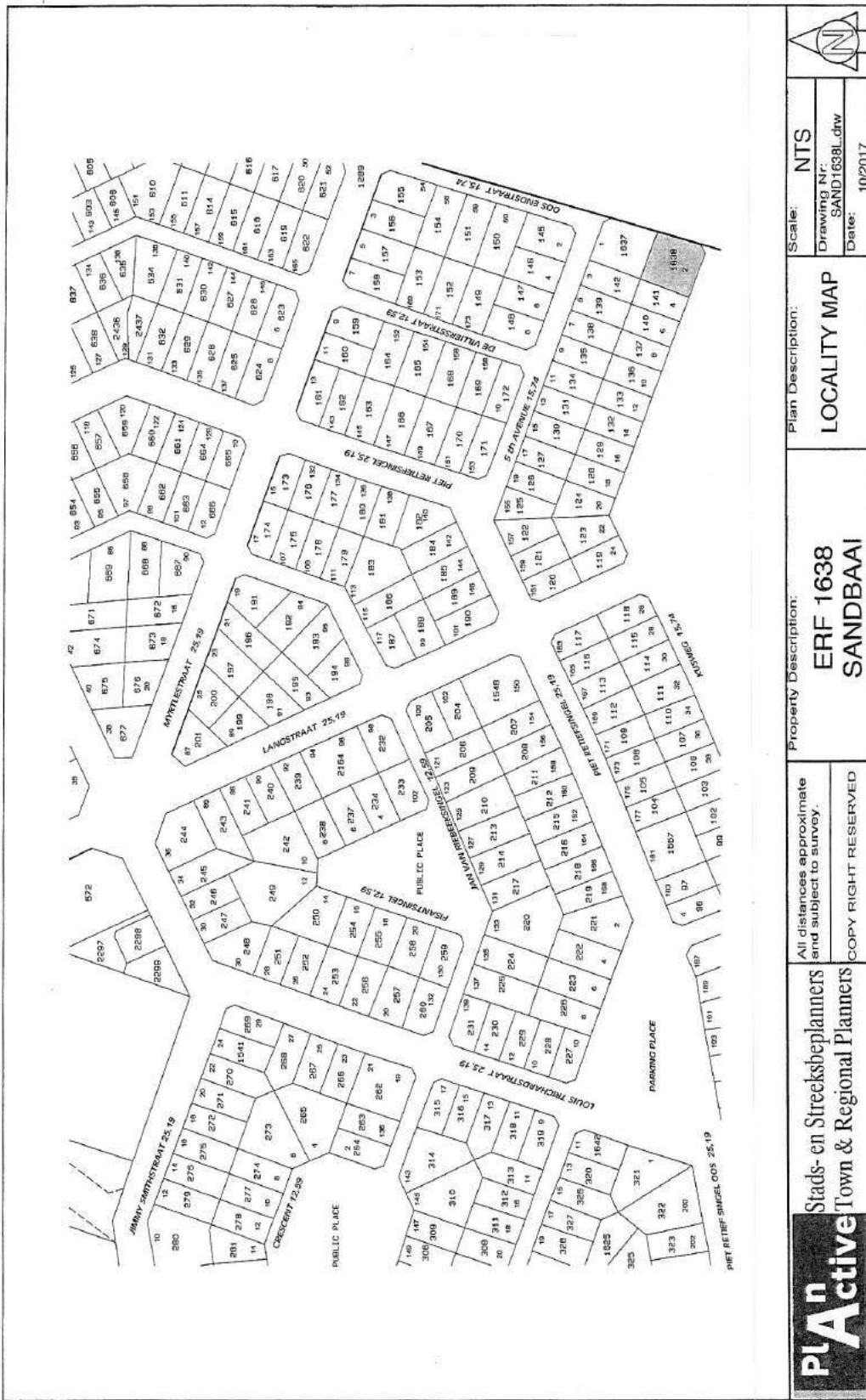
- ❖ Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive title deed conditions I.2.(a), I.2.(b), I.2.(c) and I.2.(d) as contained in Title Deed T4235/2017 applicable to the above erf in order to subdivide the property into two (2) portions, as well as to be in line with the relevant development rules and primary rights as contained in the Overstrand Zoning Scheme.
- ❖ Subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to subdivide the property into two (2) portions namely Portion A ($\pm 655\text{m}^2$ in extent) and Portion B ($\pm 759\text{m}^2$ in extent),

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed conditions I.2.(a), I.2.(b), I.2.(c) and I.2.(d) as contained in Title Deed T4235/2017 applicable to Erf 1638, Sandbaai in order to subdivide the property into two (2) portions, as well as to be in line with the primary rights and development parameters applicable to single residential properties as set out in the Overstrand Zoning Scheme, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section (16)(2)(d) of the By-Law for the subdivision of Erf 1638, Sandbaai into two (2) portions, namely Portion A ($\pm 655\text{m}^2$ in extent) and Portion B ($\pm 759\text{m}^2$ in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in Points 1. and 2. above be subject to the following conditions:

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- (a) that this approval is for the subdivision as indicated on Plan No sand1638.drw dated 10/2017 that was submitted with the application;
 - (b) that all the conditions in the Engineering Report and Telkom, be complied with;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that the development parameters as prescribed in the relevant Zoning Scheme be applicable to the two (2) land units.
4. that the applicant and the objector be notified of its appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



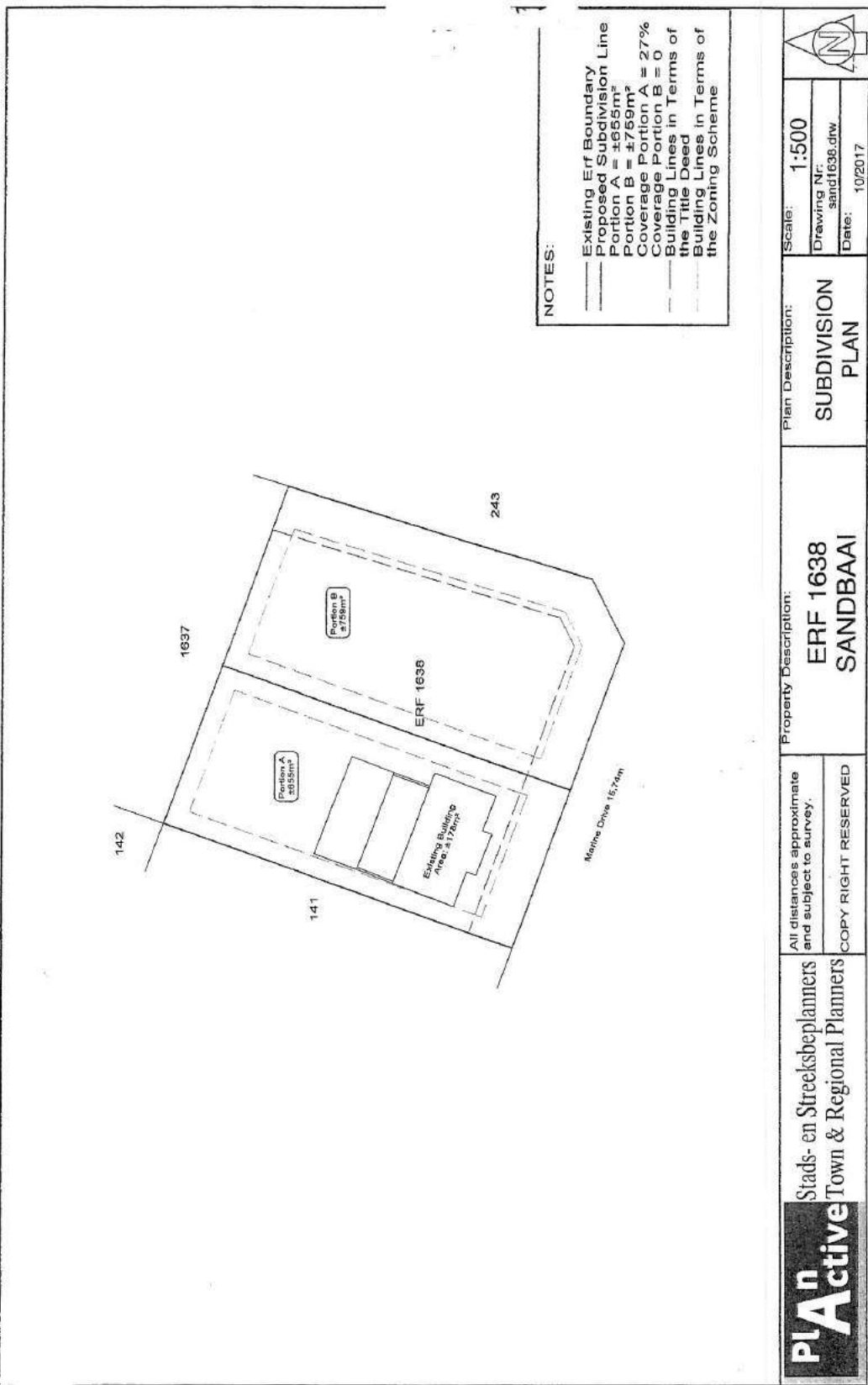
Scale: NTS
 Drawing Nr.: SAND1638L.drw
 Date: 10/2017

Plan Description:
LOCALITY MAP

Property Description:
**ERF 1638
 SANDBAAI**

All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

PLA'n Active Stads- en Streeksbeplanners
 Town & Regional Planners



NOTES:

- Existing Erf Boundary
- Proposed Subdivision Line
- Portion A = ±655m²
- Portion B = ±759m²
- Coverage Portion A = 27%
- Coverage Portion B = 0
- Building Lines in Terms of the Title Deed
- Building Lines in Terms of the Zoning Scheme

PLAN Active	Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 1638 SANDBAAI	Plan Description: SUBDIVISION PLAN	Scale: 1:500 Drawing Nr: sand1638.dwg Date: 10/2017

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS &
SUBDIVISION: ERF 1638, SANDBAAL (3845)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2017/2018**) is as follows:

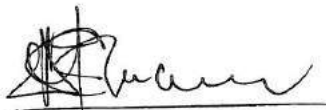
Freehold erven:

Water	R 21 500.00 x 1	=	R 21 500.00
Sewerage	R 14 496.00 x 1	=	R 14 496.00
Roads	R 6 500.00 x 1	=	R 6 500.00
Stormwater	R 7 500.00 x 1	=	R 7 500.00
Solid Waste	R 1 300.00 x 1	=	R 1 300.00
Electricity	R 30 197.80 x 1	=	<u>R 31 859.98</u>
TOTAL (inclusive of VAT)		=	R 83 155.98

Note:

- 1.3 **The above figures are estimates**
- 1.4 **The above figures do not include connection fees**
2. that the existing water connection and sewer conservancy tank to Erf 1638 shall be used to services the proposed Portion A of Erf 1638;

3. that any part of the existing water- and sewer services on Portion A of Erf 1638 that crosses the common boundary of Portion A and Portion B of Erf 1638 must be disconnected and sealed off by the developer;
4. that Portion B of Erf 1638 must be serviced with an individual and separate water connection with the standards of the Department: Operational Services, as well as a sewer conservancy tank;
5. that a new suction point for the sewer conservancy tank, which must comply with the standards of the Department: Operations must be provided for Portion B of Erf 1638 at the street boundary with Marine Drive;
6. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
7. that only a standard 60 Amp single phase electricity connection will be available per erf;
8. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of Department: Operational Services;
9. that any additional and / or extended vehicle entrances will be for the owner's account;
10. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
11. that stormwater be allowed to discharge through the proposed erven, Sandbaai, unobstructed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

24/1/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

3. ERF 2028, 85 MAIN ROAD, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REZONING: MESSRS PLAN ACTIVE ON BEHALF OF C TAYLOR AND SM SMITH

2028 HON (4004)

H Olivier

(028) 313 8900

Hermanus Administration

5 December 2018

Executive Summary

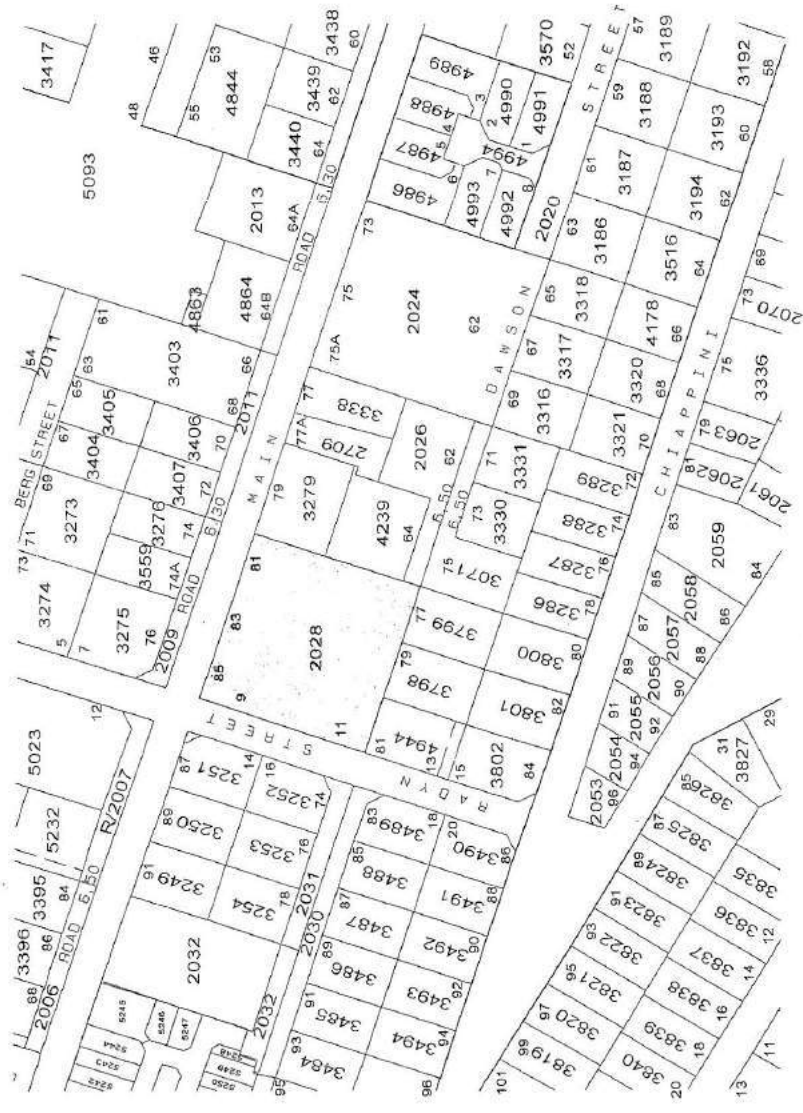
An application has been received on 21 May 2018 from Messrs Plan Active on behalf of C Taylor and SM Smith on Erf 2028, Onrustrivier in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Land Use Planning, 2015 to rezone the property from Residential Zone I to General Residential Zone I to establish a Sectional Title Town Housing Scheme with fourteen (14) town houses on the property.

RESOLVED :

1. that the application in terms of Section 16(2)(a) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) to rezone Erf 2028, Onrustrivier from Residential Zone I to General Residential Zone I, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that a revised Site Development Plan be submitted providing for only thirteen (13) units, design in such a manner that a functional green open space be provided which can also be used for overflow of parking when required, and all indigenous or other trees to remain on the site must be indicated;
 - (b) that refuse removal be to municipal standards;
 - (c) that a minimum of two (2) parking bays per unit, to municipal standards and satisfaction, be provided on site;
 - (d) that the approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that all conditions in the Services Report, be complied with;
 - (f) that the Architectural Design Guidelines in line with Zoning Scheme parameters be submitted for the development to address the style of the houses that will be constructed and also address future possible extensions, to the satisfaction of the Building Control department;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (g) that all the conditions of Telkom, be complied with;
 - (h) that the developer must provide fire hydrants at 180m apart linear to street layout so that no structure is further than 90m away from any hydrant in compliance with Section 4.35.4 of the National Fire Protection Regulations SANS 10400 T : 2011;
 - (i) that a body corporate be established with compulsory membership for all property owners within the development, and that this body assures responsibility (including costs) for the provision, maintenance, management, etc. of all internal facilities and services;
 - (j) that all the conditions imposed by Eskom, be complied with;
 - (k) that the Constitution of the Body Corporate be submitted for approval by the Municipality (which reserves the right to impose conditions in this regard), and that the following aspects inter alia be addressed in this document:
 - the approval of building plans by an “estate architect” prior to submission thereof to the Municipality, and
 - that the Constitution clarifies at what stage the responsibility for the provision/maintenance of internal services/facilities would be transferred from the land owner/developer to the Body Corporate, and also what the standard of completion of such internal services/facilities would be at that time.
 - (l) that internal services and facilities in the development remains the responsibility of the developer, his successor in title or the Body Corporate.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval, and
 3. that the late objectors be informed of the decision for their information.



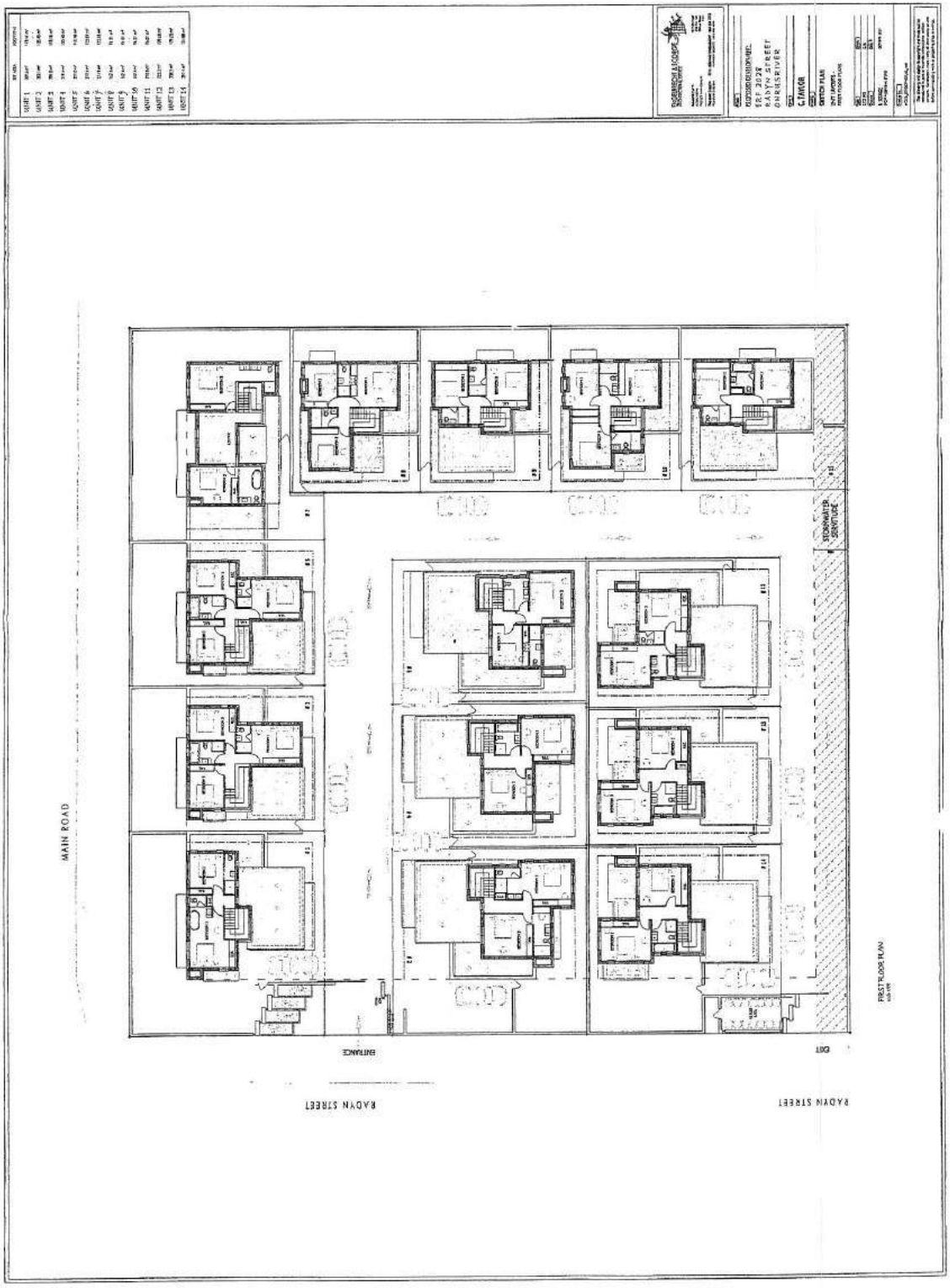
Scale: NTS
 Drawing Nr: omr2028l.drw
 Date: 06/2017

Plan Description:
LOCALITY MAP

Property Description:
**ERF 2028
 ONRUSRIVIER**

All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

PLANNING
 Stads- en Streeksbeplanners
 Town & Regional Planners



NO.	DESCRIPTION	QTY	UNIT PRICE	TOTAL
001	CONCRETE	11.2000		
002	BRICK	11.2000		
003	ROOFING	11.2000		
004	PAINT	11.2000		
005	GLASS	11.2000		
006	IRONING	11.2000		
007	WATER	11.2000		
008	ELECTRICAL	11.2000		
009	PLUMBING	11.2000		
010	MECHANICAL	11.2000		
011	LANDSCAPE	11.2000		
012	CONCRETE	11.2000		
013	BRICK	11.2000		
014	ROOFING	11.2000		
015	PAINT	11.2000		
016	GLASS	11.2000		
017	IRONING	11.2000		
018	WATER	11.2000		
019	ELECTRICAL	11.2000		
020	PLUMBING	11.2000		
021	MECHANICAL	11.2000		
022	LANDSCAPE	11.2000		
023	CONCRETE	11.2000		
024	BRICK	11.2000		
025	ROOFING	11.2000		
026	PAINT	11.2000		
027	GLASS	11.2000		
028	IRONING	11.2000		
029	WATER	11.2000		
030	ELECTRICAL	11.2000		
031	PLUMBING	11.2000		
032	MECHANICAL	11.2000		
033	LANDSCAPE	11.2000		
034	CONCRETE	11.2000		
035	BRICK	11.2000		
036	ROOFING	11.2000		
037	PAINT	11.2000		
038	GLASS	11.2000		
039	IRONING	11.2000		
040	WATER	11.2000		
041	ELECTRICAL	11.2000		
042	PLUMBING	11.2000		
043	MECHANICAL	11.2000		
044	LANDSCAPE	11.2000		
045	CONCRETE	11.2000		
046	BRICK	11.2000		
047	ROOFING	11.2000		
048	PAINT	11.2000		
049	GLASS	11.2000		
050	IRONING	11.2000		
051	WATER	11.2000		
052	ELECTRICAL	11.2000		
053	PLUMBING	11.2000		
054	MECHANICAL	11.2000		
055	LANDSCAPE	11.2000		
056	CONCRETE	11.2000		
057	BRICK	11.2000		
058	ROOFING	11.2000		
059	PAINT	11.2000		
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064	PLUMBING	11.2000		
065	MECHANICAL	11.2000		
066	LANDSCAPE	11.2000		
067	CONCRETE	11.2000		
068	BRICK	11.2000		
069	ROOFING	11.2000		
070	PAINT	11.2000		
071	GLASS	11.2000		
072	IRONING	11.2000		
073	WATER	11.2000		
074	ELECTRICAL	11.2000		
075	PLUMBING	11.2000		
076	MECHANICAL	11.2000		
077	LANDSCAPE	11.2000		
078	CONCRETE	11.2000		
079	BRICK	11.2000		
080	ROOFING	11.2000		
081	PAINT	11.2000		
082	GLASS	11.2000		
083	IRONING	11.2000		
084	WATER	11.2000		
085	ELECTRICAL	11.2000		
086	PLUMBING	11.2000		
087	MECHANICAL	11.2000		
088	LANDSCAPE	11.2000		
089	CONCRETE	11.2000		
090	BRICK	11.2000		
091	ROOFING	11.2000		
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094	IRONING	11.2000		
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096	ELECTRICAL	11.2000		
097	PLUMBING	11.2000		
098	MECHANICAL	11.2000		
099	LANDSCAPE	11.2000		
100	CONCRETE	11.2000		

BOHANNON ARCHITECTURE
 1000 10th Street, NW
 Atlanta, GA 30309
 Phone: 404.525.1111
 Fax: 404.525.1112
 Website: www.bohannonarch.com

PROJECT:
 1000 10th Street, NW
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CLIENT:
 BOHANNON ARCHITECTURE
 1000 10th Street, NW
 Atlanta, GA 30309
 Phone: 404.525.1111
 Fax: 404.525.1112
 Website: www.bohannonarch.com

DATE:
 10/10/2010

SCALE:
 1/8" = 1'-0"

PROJECT NO.:
 1000 10th Street, NW
 Atlanta, GA 30309
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 Fax: 404.525.1112
 Website: www.bohannonarch.com

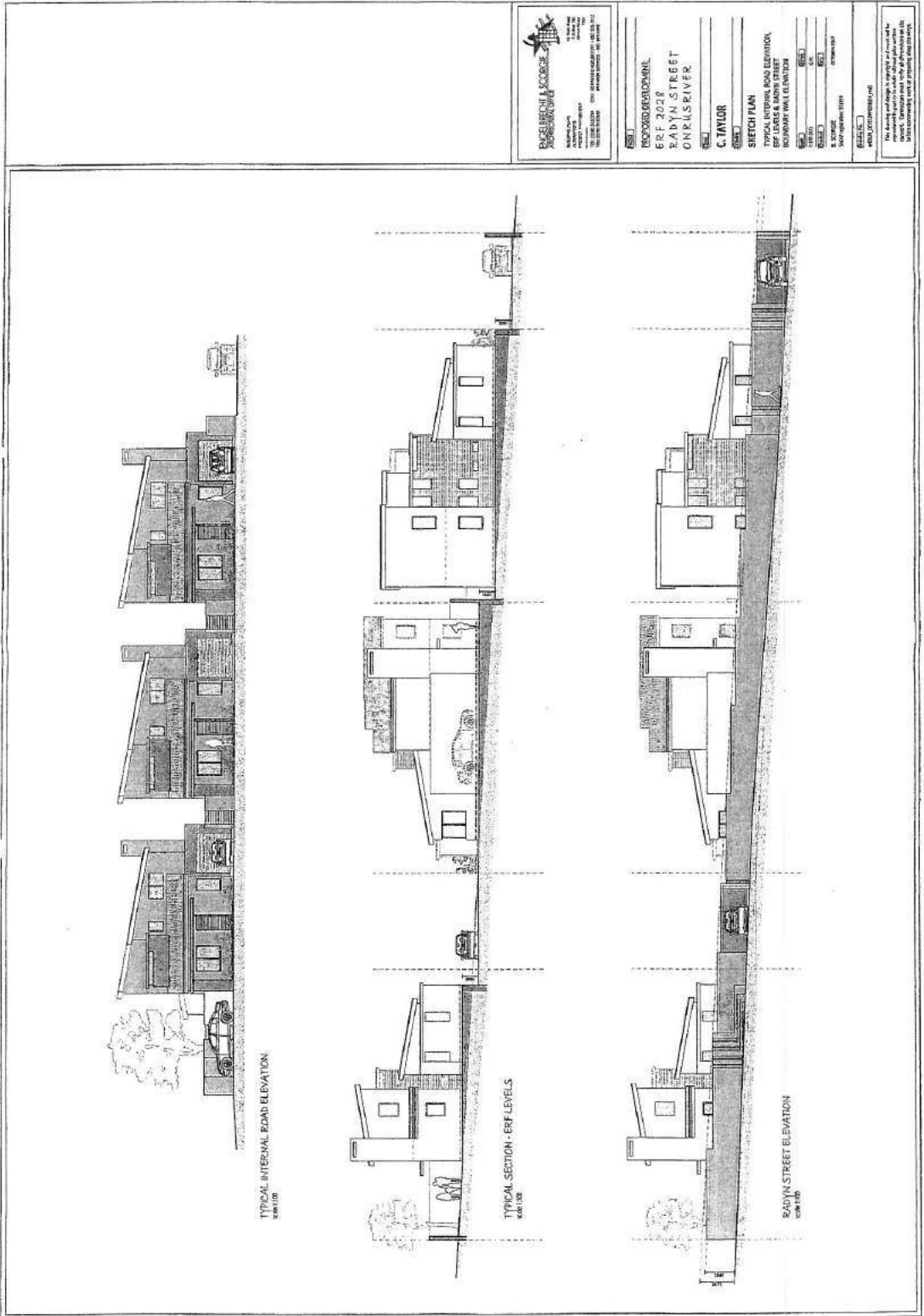
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TYPICAL INTERNAL ROAD ELEVATION
1/24/17

TYPICAL SECTION - REF LEVELS
1/24/17

RADYN STREET ELEVATION
1/24/17

ENGELBRECHT & SCORGE ARCHITECTURE
 1100 14th Street, Suite 100
 San Francisco, CA 94103
 Tel: 415.774.8888
 Fax: 415.774.8889
 www.engelbrecht-scorge.com

PROJECT
 RECORD/REDESIGN
 REF. 2028
 RADYN STREET
 ONEHUS RIVER
DESIGNER
 C. TAYLOR

DATE
 1/24/17

SCALE
 TYPICAL INTERNAL ROAD ELEVATION
 1/8" = 1'-0"
 TYPICAL SECTION - REF LEVELS
 1/8" = 1'-0"
 RADYN STREET ELEVATION
 1/8" = 1'-0"

PROJECT NO.
 2028

DATE
 1/24/17

SCALE
 1/8" = 1'-0"

PROJECT NO.
 2028

NOTES
 1. All work and design is for the project as shown on the Record/Redesign set of drawings.
 2. All work and design is for the project as shown on the Record/Redesign set of drawings.
 3. All work and design is for the project as shown on the Record/Redesign set of drawings.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING: ERF 2028, ONRUS RIVER (4004)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 **Developments with free standing properties** (property that is subdivided and plots to be sold individually).
- 1.2 The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2018/2019**) is as follows:

Water	R 21 688.60 x 10,1999	=	R 221 221.55
Sewerage	R 14 623.16 x 7,649	=	R 111 852.55
Roads	R 6 557.01 x 13,072	=	R 85 713.23
Stormwater	R 7 565.79 x 3,0798	=	R 23 301.12
Solid Waste	R 1 311.40 x 13,00	=	R 17 048.25
TOTAL (inclusive of VAT)		=	<u>R 459 136.70</u>

Note:

- 1.2.1 The above figures are estimates and do not include connection fees.
2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
 - 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided;
 - 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;

- 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property:
 - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning:
 - 5.1 way-leaves must be obtained from the Operational Manager;
 - 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;

- 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
 8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
 9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
 10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
 11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;
 12. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for works of Civil Engineering Construction – 2004, of 12 months, and
 13. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
 14. that the developer furnish the Council with a bank guarantee equal to 2.5% of the value of the provided municipal civil and electrical services as certified by the independent professional engineer/technologist. The guarantee shall be to the satisfaction of the Director: Infrastructure and Planning and valid for the 12 months maintenance period which commences from date of the Certificate of Completion;

- that the Home Owners Association be responsible for the operational costs and maintenance of street lighting, electrical reticulation and metering and all internal services;
16. that the developer provide bulk water meters at approved positions as well as individual meters at each consumption point;
 17. that an approved refuse collection area/room to sufficiently accommodate the refuse generated by the development and which is to be provided with the following:
 - a. properly ventilated;
 - b. a cement floor;
 - c. a tap and running water, as well as a drainage point which is connected to the sewer network;
 - d. at a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
 18. that the refuse collection area be constructed in accordance with the requirements of the Overberg District Municipality;
 19. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
 20. that the above stormwater management plan include the following:
 - 20.1. pre-development run-off from the catchment area;
 - 20.2. post-development run-off from catchment area;
 - 20.3. existing stormwater reticulation system and the capacity thereof;
 - 20.4. connection of internal stormwater reticulation system;
 - 20.5. overland escape routes;
 21. that the connection to the stormwater reticulation system be provided according to the stormwater management plan, by the developer at his cost and approved by Overstrand Municipality ;
 22. that the developer apply for a temporary water connection on the prescribed application form at Overstrand Municipality's Finance Department, before commencement of construction;
 23. that the developer apply for a bulk water connection on the prescribed application form, at Overstrand Municipality's Finance Department and that the installation of the bulk water meter, by the developer, be done under the supervision of the Operational Manager, Hermanus;

24. that the connection to the main water line will only be done by the Operational Department after payment of the connection fee, by the developer;
25. that any additional cost related to the upgrading of bulk civil services will be for the developer's account;
26. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer.

D. P. R. Carter

DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

17/08/2018

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019**

(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)

4. ERF 4655, 26 YELLOWWOOD ROAD, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: MESSRS CREATIVE PROFILE ON BEHALF OF CLATCO PROPERTY INVESTMENTS CC

4655 HON (4141)

H Olivier

(028) 313 8900

Hermanus Administration

18 December 2018

Executive Summary

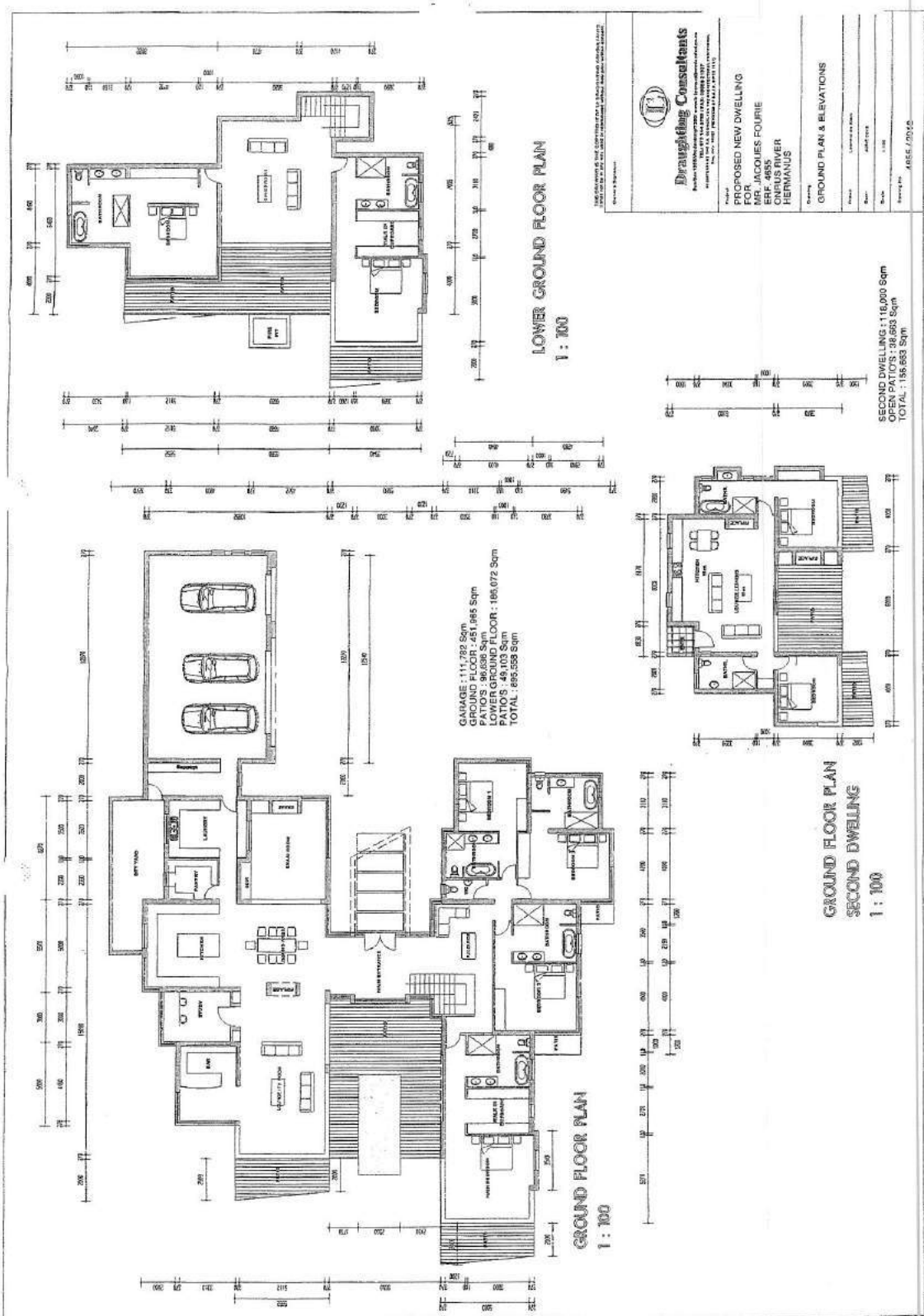
An application has been received on 14 August 2018 from Messrs Creative Profile on behalf of Clatco Property Investments CC on Erf 4655, Onrustrivier in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to operate as a five (5) bedroom guest house on the property concerned.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4655, Onrustrivier for a consent use to operate as a five (5) bedroom guest house on the property concerned, **be approved** in terms of the provisions of Section 61 of the By-Law; subject to the following conditions
 - (a) that the approval be limited to only the five (5) guestrooms as indicated on the Site Development Plan, submitted with the application;
 - (b) that a 1,8m high boundary wall be constructed on the eastern boundary and western boundary to ensure that the privacy of the owners of Erven 4656 and 4654 is protected;
 - (c) that the owner/manager resides on the premises, and that the owner be responsible for the proper management of the guest house;
 - (d) that commercial rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (e) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (f) that a single non-illuminated sign that complies with the Municipal By-Law on Signage may be displayed on the premises;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 March 2019
(Also the agenda for the Mayoral Committee Meeting : 27 March 2019)**

- (g) that the accommodation facility be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
 - (h) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (i) that building plans should be submitted to the Building Department for approval;
 - (j) that all the conditions in the Services Report, be complied with;
 - (k) that all the conditions imposed by Telkom, be complied with;
 - (l) that all the conditions imposed by Eskom, be complied with, and
 - (m) that all conditions imposed by the Fire Department, be complied with.
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Drafting Consultants
 Proprietors: MR. JACQUES FOURIE, MR. ONRUS RIVER, MR. HERMANUS
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 4655, ONRUS RIVER (4141)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 4655, Onrus River, unobstructed;
7. that any additional and / or extended vehicles entrances will be for the owner's account;
8. that the proposed development on Erf 4655 be provided with a central refuse collection facility, which must comply with the standards of the Department: Operational (Hermanus);
9. that refuse will be removed from sidewalks as per municipal arrangement;
10. that no on-street parking be allowed.

p.p. P. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

01/11/2018
DATE