

**PORTFOLIO COMMITTEE :
INFRASTRUCTURE & PLANNING**

Chairperson :

Cllr E Gillion

Committee Members :

**Cllrs D Botha, J Orban,
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :
INFRASTRUKTUUR & BEPLANNING**

Voorsitter :

Rdl E Gillion

Komiteelede :

**Rdle D Botha, J Orban,
S Tebele & V Pungupungu**

INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE
INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE

18 February 2020

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Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2019 -
DECEMBER 2019**

15/3/11

R Kuchar

Senior Manager : Town & Spatial Planning

14 January 2020

(028) 313 8039

1. Executive Summary

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 15 October 2019 – 4 December 2019.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

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9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

RECOMMENDATION:

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 15 October 2019 – 4 December 2019:

Spatial Land Use Management Act (SPLUMA) Approvals

| | | |
|-----|---|------------------|
| 1. | Portion 1 and Remainder Portion 3 of Farm Hermanus River No. 542 (Arabella) | 23 October 2019 |
| 2. | Erf 1699, 18 Seventh Street, Voëlklip, Hermanus | 23 October 2019 |
| 3. | Erf 5199, 13 Doringboom Avenue, Kleinmond | 23 October 2019 |
| 4. | Erf 2406, 95 Ninth Street, Voëlklip, Hermanus | 23 October 2019 |
| 5. | Erf 4116, 3 Seventh Street, Kleinmond | 23 October 2019 |
| 6. | Erf 5613, 39 Ursinia Avenue, Kleinmond | 23 October 2019 |
| 7. | Portion 50 (portion of Portion 45) Hangklip No. 559 | 23 October 2019 |
| 8. | Erf 2169, 68 Eighth Street, Voëlklip, Hermanus | 23 October 2019 |
| 9. | Erf 2382, 2 Fifth Avenue, Voëlklip, Hermanus | 25 October 2019 |
| 10. | Erf 9839, Eleventh Street, Voëlklip, Hermanus | 25 October 2019 |
| 11. | Erf 456, 6 Kiewiet Crescent, Sandbaai | 28 October 2019 |
| 12. | Remainder of Farm 562, a division of Caledon | 28 October 2019 |
| 13. | Erf 3003, 21 Palmiet Road, Kleinmond | 28 October 2019 |
| 14. | Farm 1000, De Bos Dam, Hemel & Aarde Valley, Division Caledon | 28 October 2019 |
| 15. | Erf 6319, 33 Eleventh Avenue, Kleinmond | 28 October 2019 |
| 16. | Erven 3885 – 3895, Under The Oaks, Onrustrivier Amendment of Constitution | 28 October 2019 |
| 17. | Erven 133 and 136, 10 & 12 Kusweg, Sandbaai | 1 November 2019 |
| 18. | Erf 2652, 17 Vleigans Street, Gansbaai | 7 November 2019 |
| 19. | Erf 7105, 29 Sixth Street, Voëlklip, Hermanus | 7 November 2019 |
| 20. | Erf 1832, 36 Fifth Street, Voëlklip, Hermanus | 7 November 2019 |
| 21. | Erven 3885 – 3895, Under the Oaks, Onrustrivier | 13 November 2019 |
| 22. | Erf 6068, 96 Nivenia Road, Kleinmond | 19 November 2019 |
| 23. | Erf 7049, 7 Keurboom Avenue, Kleinmond | 19 November 2019 |
| 24. | Erf 530, 21 Loop Street, Pearly Beach | 19 November 2019 |
| 25. | Erf 8006, Tenth Avenue, Kleinmond | 19 November 2019 |

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18 February 2020
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- | | | |
|-----|--|------------------|
| 26. | Remainder Erf 6996, 11 Third Street, Voëlklip, Hermanus | 19 November 2019 |
| 27. | Erf 1611, Mini Street, Sandbaai | 25 November 2019 |
| 28. | Erf 2099, 56 Fifth Street, Voëlklip, Hermanus | 25 November 2019 |
| 29. | Erf 1660, 27 Long Street, Stanford | 25 November 2019 |
| 30. | Erf 1610, Mini Street, Sandbaai | 25 November 2019 |
| 31. | Erf 139, 4 Mark Street, Gansbaai | 25 November 2019 |
| 32. | Erf 304, 2 Cliff Road, Westcliff, Hermanus | 25 November 2019 |
| 33. | Remainder Erf 6097, 125 Ninth Street, Voëlklip, Hermanus | 29 November 2019 |
| 34. | Erf 328, 16 Schneider Street, Franskraal | 29 November 2019 |
| 35. | Erf 3171, 75 Leeubekkie Street, Blompark, Gansbaai | 29 November 2019 |
| 36. | Erf 1969, 1 Dasi Street, Eluxolweni, Pearly Beach | 29 November 2019 |
| 37. | Erf 210, 125 Jan van Riebeeck Crescent, Sandbaai | 29 November 2019 |
| 38. | Erf 2889, 8 Stafford Street, Hawston | 3 December 2019 |
| 39. | Erf 1219, Mill Street, Hawston | 3 December 2019 |
| 40. | Erf 2047, Morningdew Close, Hawston | 3 December 2019 |
| 41. | Erf 2654, 34 Viljoen Street, Onrustrivier | 3 December 2019 |
| 42. | Erf 63, 80 Beach Road, Sandbaai | 3 December 2019 |
| 43. | Erf 2834 and Unregistered Erf 2837, Sandbaai Commonage, Sandbaai | 3 December 2019 |
| 44. | Erf 562, 27 Quick Street, Stanford | 3 December 2019 |
| 45. | Erf 5395, Unit 7, 55 Marine Drive, Westcliff, Hermanus | 3 December 2019 |
| 46. | Erf 2225, 56 Tenth Street, Voëlklip, Hermanus | 4 December 2019 |

Municipal Planning Tribunal

- | | | |
|----|---|------------------|
| 1. | Erf 602, 7 Commercial Street, Pearly Beach | 31 October 2019 |
| 2. | Erf 6256, 76 Seventh Street, Voëlklip, Hermanus | 31 October 2019 |
| 3. | Erf 1849, 20 Industry Close, Gansbaai | 31 October 2019 |
| 4. | Erven 2295 and 2296, 76 & 78 Long Street, Sandbaai | 31 October 2019 |
| 5. | Erf 1068, Stanford | 31 October 2019 |
| 6. | Erven 1600, 1601 and 1602, Bergsig Street, Sandbaai | 31 October 2019 |
| 7. | Portion 141 (a portion of Portion 133) of the farm Hangklip No. 559 | 31 October 2019 |
| 8. | Erf 9854, 241 Eleventh Street, Voëlklip, Hermanus | 28 November 2019 |

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

11 MARCH 2020

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2019 -
DECEMBER 2019**

15/3/11

R Kuchar

Senior Manager : Town & Spatial Planning

14 January 2020

(028) 313 8039

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON
18 FEBRUARY 2020, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

11 MARCH 2020

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

Spatial Land Use Management Act (SPLUMA) Approvals

1. **PORTION 1 & REMAINDER OF PORTION 3 OF FARM HERMANUS RIVER NO 542, CALEDON REGIONAL AREA: APPLICATION FOR THE EXTENSION OF VALIDITY PERIOD OF THE APPROVAL, APPROVAL OF PHASING AND AMENDMENT OF THE APPROVED SUBDIVISION PLAN: MESSRS DENNIS MOSS PARTNERSHIP ON BEHALF OF HPF PROPERTIES (PTY) LTD**

**Ptns 1 & 3 of Farm 542 RCAL
(2646/2018)**

**H van der Stoep
16 September 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 4 October 2018 from Messrs Dennis Moss Partnership on behalf of HPF Properties (Pty) Ltd on Portion 1 & Remainder of Portion 3 of Farm Hermanus River No. 542 (Arabella) for the following:

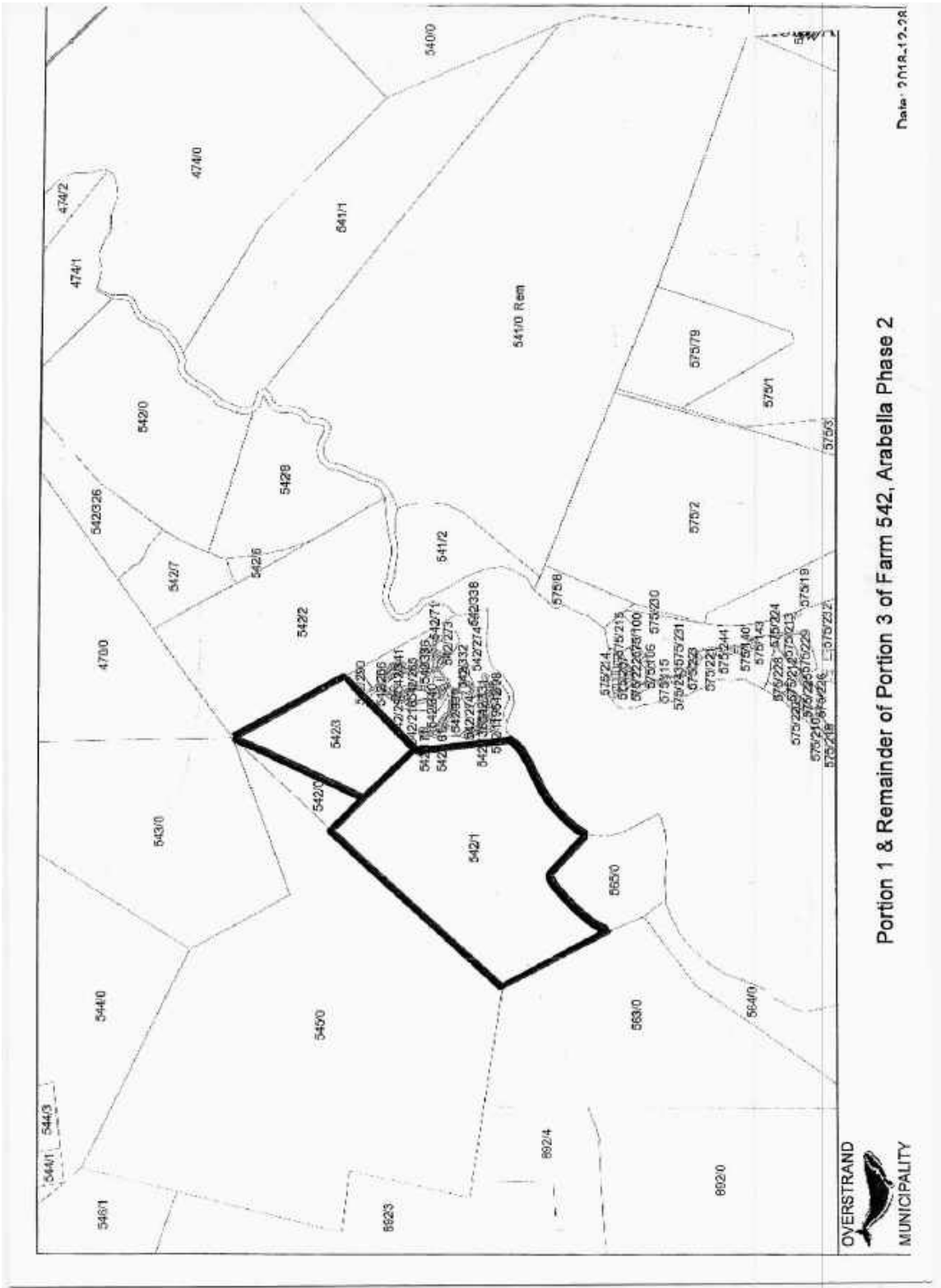
- ❖ extension of the validity period of the approval issued by the Mayoral Committee in terms of Section 16(2)(i) of the Overstrand Municipality By-law on Municipal Land Use Planning, 2015 (By-Law);
- ❖ phasing the development in six (6) broad phases in terms of Section 16(2)(k) of the By-Law; (The main purpose of the phasing is to enable the development to proceed in parts and terms of market requirements.)
- ❖ amendment of the approved subdivision plan in terms of Section 16(2)(k) of the By-Law.

RESOLVED:

1. that the application in terms of Section 16(2)(i) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for the extension of the validity period of the approval issued by the Mayoral Committee on Portion 1 and Remainder of Portion 3 of Farm Hermanus River No. 542 (Arabella), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(k) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for phasing the development in six (6) broad phases on Portion 1 and Remainder of Portion 3 of Farm Hermanus River No. 542 (Arabella), **be approved** in terms of the provisions of Section 61 of the By-Law;

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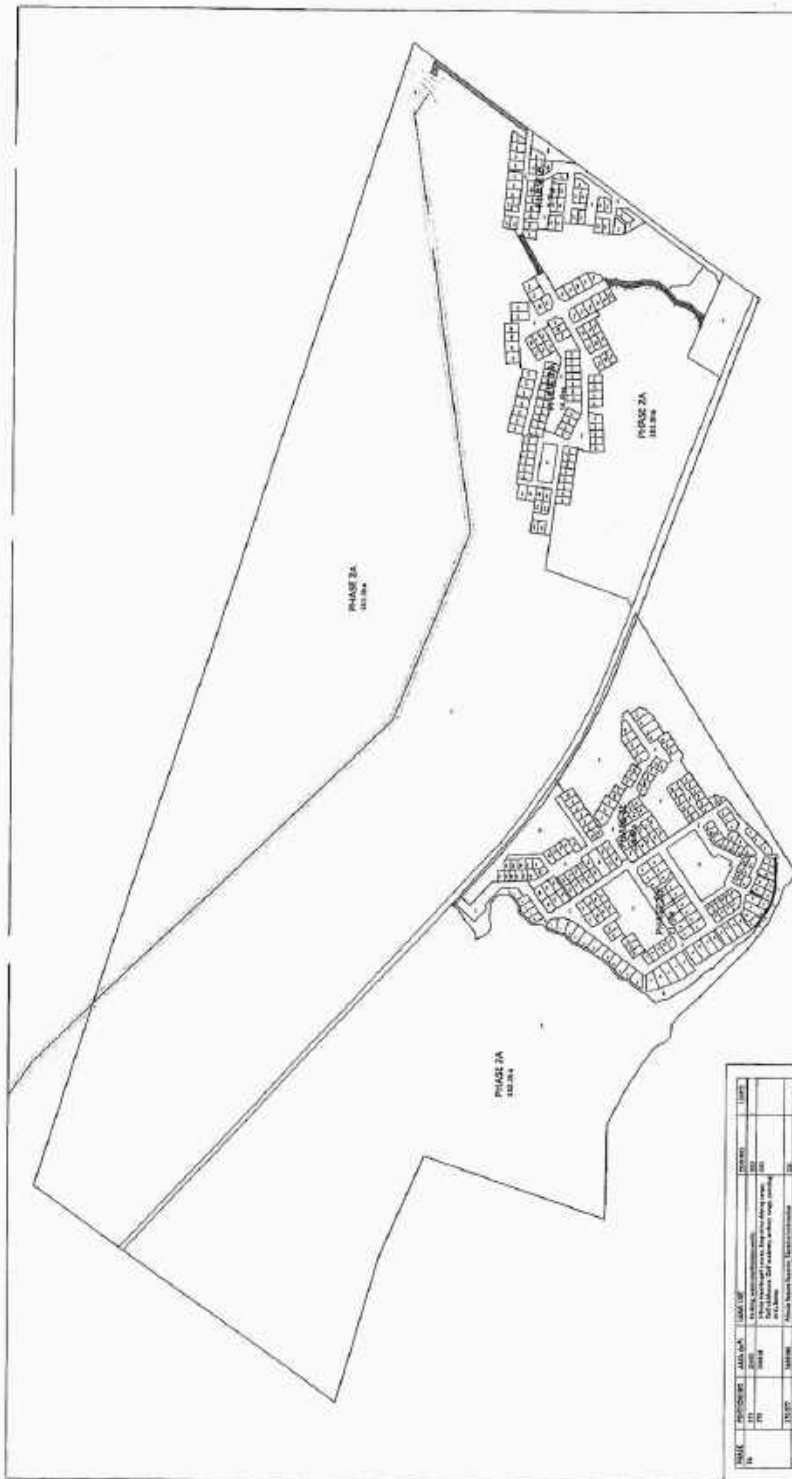
3. that the application in terms of Section 16(2)(k) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for the amendment of the approved subdivision plan on Portion 1 and Remainder of Portion 3 of Farm Hermanus River No. 542 (Arabella), **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approval of Points 1., 2. and 3. be subject to the following conditions:
 - (a) that this approval is only for the development as indicated on Plan Numbers G3228/P001 and G3228/P002 dated 20 June 2019, as per agreement with Cape Nature;
 - (b) that the conditions as per the land use approval of 2014 and the Record of Decision of 2015 remain applicable;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (f) that all the conditions in the Services Report, be complied with;
 - (g) that all conditions imposed by Cape Nature, be complied with;
 - (h) that all conditions imposed by the Breede-Gouritz Catchment Management Agency, be complied with;
 - (i) that all the conditions imposed by the Fire Department, be complied with;
 - (j) that all conditions imposed by Telkom, be complied with, and
 - (k) that all conditions imposed by Eskom, be complied with.
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Portion 1 & Remainder of Portion 3 of Farm 542, Arabella Phase 2



Date: 2018.12.28



| NO. | DESCRIPTION | AREA (M ²) | AREA (SQ FT) | NO. OF UNITS | REMARKS |
|--------------|-------------|------------------------|--------------|--------------|------------|
| 1 | PHASE 2A | 123,000 | 1,328,000 | 123 | |
| 2 | PHASE 2B | 123,000 | 1,328,000 | 123 | |
| 3 | PHASE 2C | 123,000 | 1,328,000 | 123 | |
| TOTAL | | | | | 372 |

DATE: _____

SCALE: _____

PROJECT NO.: _____

CLIENT: _____

DESIGNER: _____

CHECKED BY: _____

DATE: _____

FOR APPROVAL:

 PROJECT MANAGER

 PROJECT ENGINEER

 PROJECT ARCHITECT

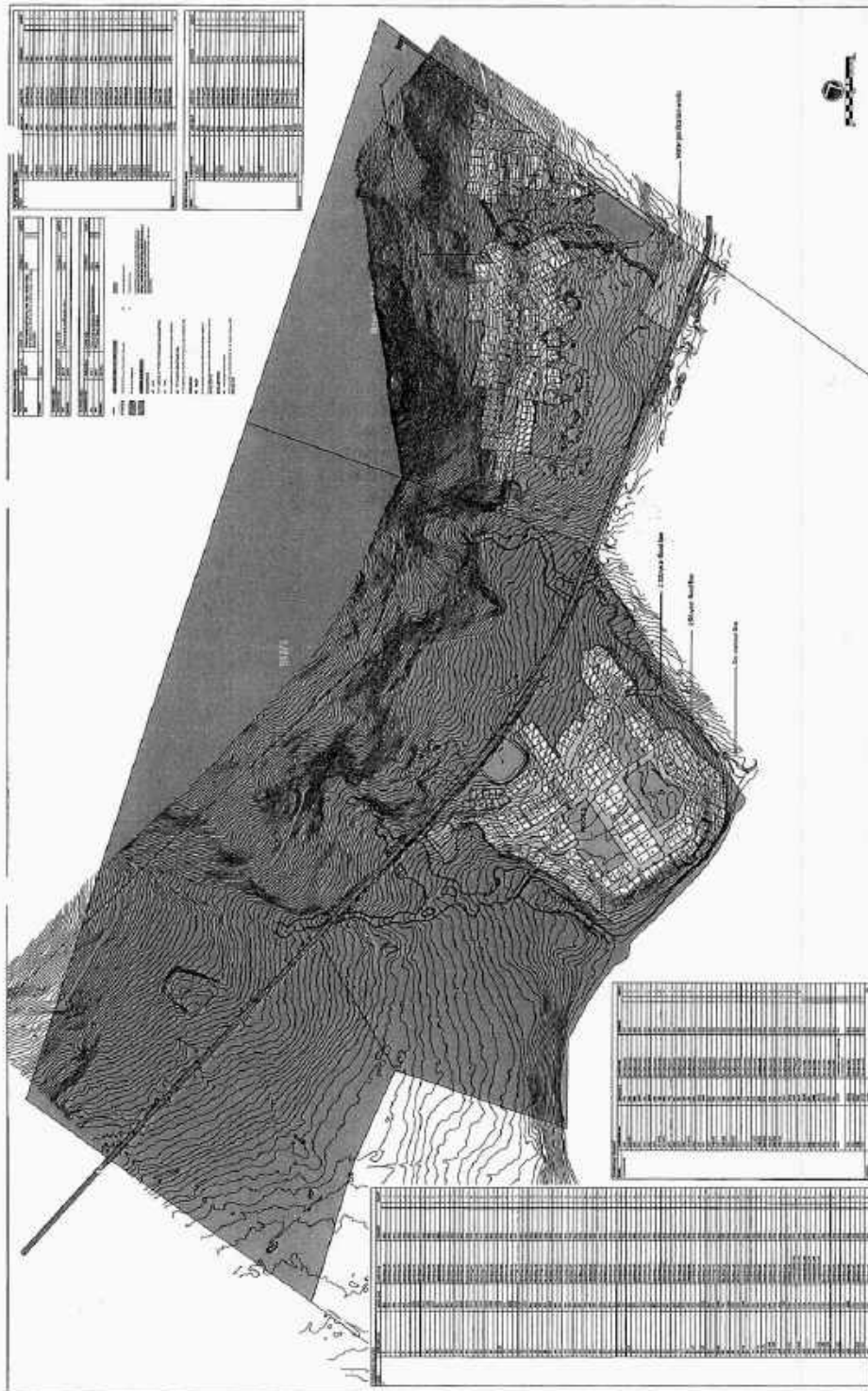
ARABELLA COUNTRY ESTATE - PHASE 2

PROPOSED PHASING

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100% 100% 100%

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| PROJECT TITLE ARABELLA COUNTRY ESTATE - PHASE 2 REVISED REZONING AND SUBDIVISION PLAN | DRAWN BY CHECKED BY DATE SCALE | FOR APPROVAL NAME POSITION DATE | APPROVED BY DATE |
| | | | |



101 PINEVIEW DRIVE, LIL
 ARABELLA COUNTRY ESTATE,
 PHASE 2

101 PINEVIEW DRIVE, LIL
 ARABELLA COUNTRY ESTATE,
 PHASE 2

FOR APPROVAL
 NAME
 POSITION
 DATE

APPROVED BY
 DATE

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR THE EXTENSION OF VALIDITY PERIOD OF THE
APPROVAL, APPROVAL OF PHASING AND AMENDMENT OF THE APPROVED
SUBDIVISION PLAN: PORTION 1 & REMAINDER OF PORTION 3 OF FARM
HERMANUS RIVER NO 542 (4206)**

Stormwater (SW) : In order
Electricity : Eskom Area
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that all the conditions that were previously approved remain valid and applicable.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. ERF 1699, 18 SEVENTH STREET, HERMANUS (VOËLKLIP): APPLICATION FOR DEPARTURE: QJD DAMSTRA ON BEHALF OF THE GULLWING TRUST

1699 HVK (4178)

H Boshoff

(028) 313 8900

Hermanus Administration

2 October 2019

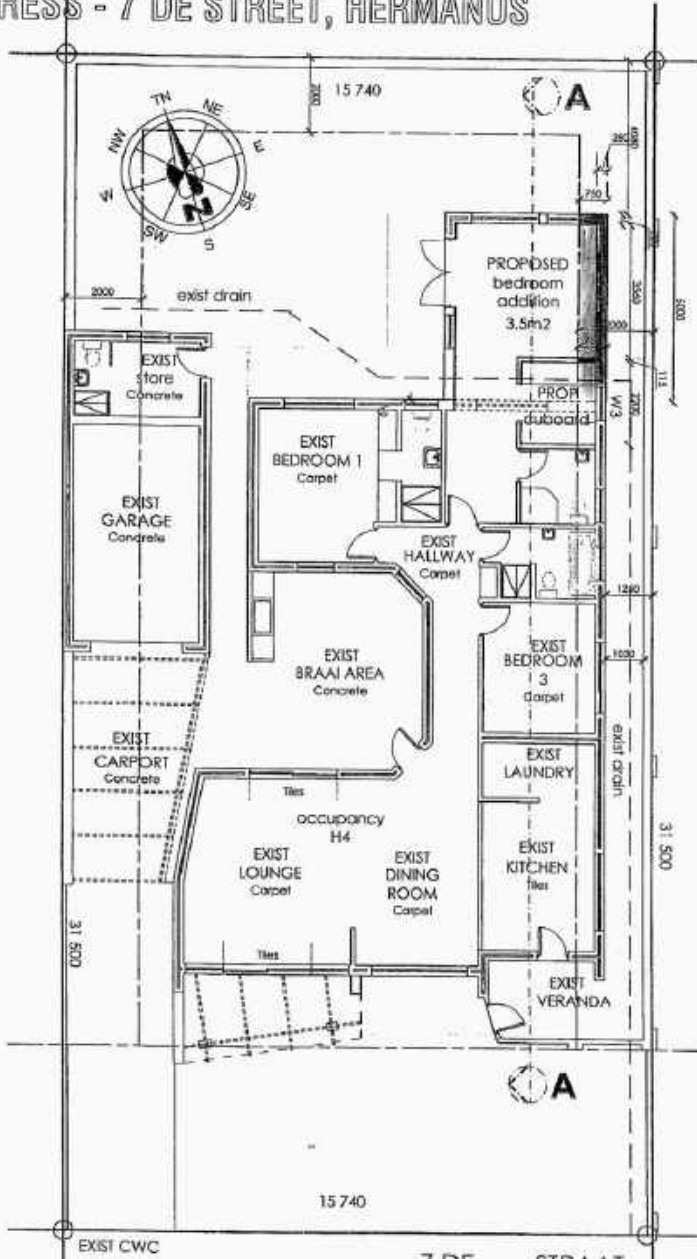
Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-law) has been received on 31 January 2019 from QDJ Damstra on behalf of The Gullwing Trust, applicable to Erf 1699, Hermanus for the relaxation of the eastern lateral building line from 2m to $\pm 1,25m$ to accommodate a new bedroom addition to the existing dwelling.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1699, Hermanus to relax the eastern lateral building line from 2m to 1,250m in order to accommodate a new bedroom addition, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on Plan Numbers xxx –x001 1/2 and 2/2 dated 19/07/2016 which was submitted with the application;
 - (b) that the relevant conditions of Engineering Services and Telkom respectively, be adhered to;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department at that stage be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

**PROPOSED ALTERATION
ADDRESS - 7 DE STREET, HERMANUS**



NOTE PLAN A-A 1:100

GENERAL NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT NATIONAL BUILDING REGULATIONS AND APPROVED CONTRACT DOCUMENTS. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND APPROVED CONTRACT DOCUMENTS. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND APPROVED CONTRACT DOCUMENTS. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND APPROVED CONTRACT DOCUMENTS.

NOTES

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REVISION P

**7 DE STRAAT
CONCEPT LAYOUT
RENOVATION**

© COPYRIGHT [REDACTED] 2018
DRAWN BY [REDACTED] 1:100

ARCHITECT
[REDACTED]

DATE 1:100

SCALE 1:100

DATE 1:100

DATE 1:100

DATE 1:100

**7 DE STRAAT
CONCEPT LAYOUT
RENOVATION**

© COPYRIGHT [REDACTED] 2018
DRAWN BY [REDACTED] 1:100

GENERAL NOTES:

STRUCTURAL ENGINEER TO BE AFFORCHED BY OWNER TO CHECK AND APPROVE STRUCTURAL INTEGRITY OF THE DESIGN. ADVISE ON ADVERSE SITE AND/OR SOIL CONDITIONS AND RESPECT WORK PERIODICALLY AND ISSUE OF STRUCTURAL COMPLETION CERTIFICATE.

ALL WORK TO BE IN ACCORDANCE WITH RELEVANT NATIONAL BUILDING REGULATIONS AND PERFORMED BY QUALIFIED AND REGISTERED CONTRACTOR TO MEET WITH ALL LOCAL MUNICIPAL REQUIREMENTS. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCING SITE WORK.

FINISHED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING DRAWINGS.

ALL RELEVANT DETAIL SIZES/DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

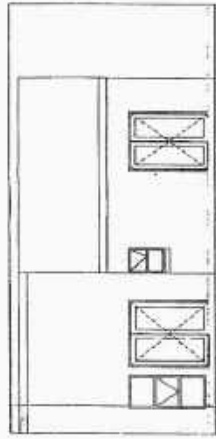
135

100mm corner floor slab on 200mm polythene DPC topped & sealed as per main slab, on 60mm layer of compacted sand on well compacted fill of carefully selected material free of clay & organic material in excess of 5% by weight. The floor slab shall be finished to a minimum admittance category of 'B'. Corner masonry sealed by approved method for 7 days into the floor slab set of concrete.

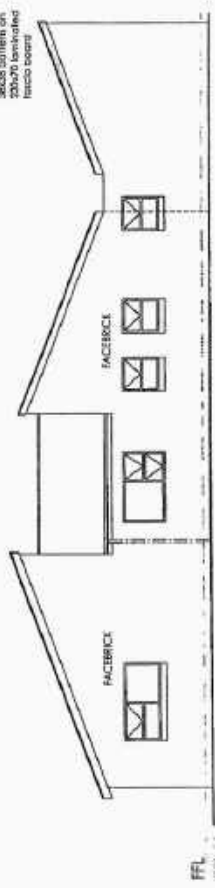
ROOF - 18% ROOF SHEETS - 21 DEGREE PITCH match existing
SAP refers to specialist detail, lead to walls
1.4mm galvanized steel brack of wires extending 600mm into wall
1.4mm galvanized to steel type.
CEILING
6.4mm Rhinoceros ceiling on 36x36 trussing @ 400 cts with 200mm chad. wata, joints taped & skinned with Celvolene with taped corners with 100mm fireglass insulation.

GLAZING
All doors to comply with minimum 10% floor area for light & 5% floor area for ventilation. The KAPPA, restoration & setting of all glazing by the Contractor in accordance with float. Reg.
Install timber windows & doors match existing
doors & windows & window cills taken wall into wall.
Install vertical DPC around all external

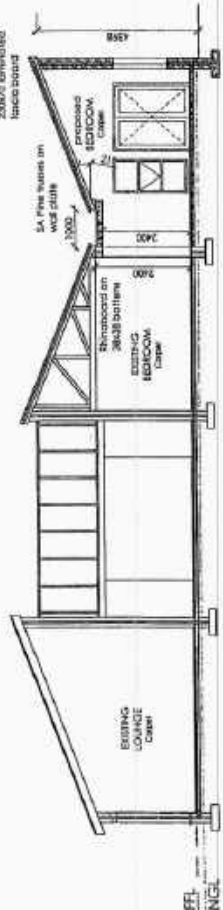
GENERAL
All timber in contact with brickwork or concrete, including backs of all door & window frames, to be treated with preservative. All masonry to be rendered with a minimum of 10mm thick render. All render to be finished with a smooth finish. All render to be finished with a smooth finish. All render to be finished with a smooth finish.
Finishes like flint to match with.



NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



SECTION A-A
SCALE 1:100

CONCEPT LAYOUT
COPYRIGHT
RESERVED BY THE ARCHITECTURE COMPANY

| NO. | DATE | REVISIONS |
|-----|---------|-----------------|
| 1 | 1/10/17 | FOR INFORMATION |



R.D. DESIGN STUDIO
QUINTON, TAMMERA
EMAIL: RDDESIGN@GMAIL.COM

| PROJECT NO. | DATE | SCALE |
|-------------|---------|-------|
| 1001 | 1/10/17 | 1:100 |

ELEVATIONS SECTION 1:100

REVISION D

PROPOSED ALTERATION
ADDRESS - 7 DE STREET, HERMANUS

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1699, VOELKLIP (4178)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1699, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

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Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

3. ERF 5199, 13 DORINGBOOM AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS PLAN ACTIVE ON BEHALF OF JRI AND PA INCE

5199 KKM (3117)

H van der Stoep

(028) 313 8900

Hermanus Administration

25 September 2019

Executive Summary

An application has been received on 22 May 2019 from Messrs Plan Active Town & Regional Planners on behalf of JRI and PA Ince on Erf 5199, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the eastern lateral building line from 2m to 1,55m to accommodate an en-suite bedroom within the approved store room structure at ground floor level of the dwelling unit.

RESOLVED :

1. that the application in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 5199, Kleinmond for a departure in order to relax the eastern lateral building line from 2m to 1,55m to accommodate an en-suite bedroom within the approved store room structure at ground floor level of the dwelling unit, be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as per dimensions indicated on plan numbers C.549.K 1 – 6 dated 25 January 2019 that was submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (d) that building plans be submitted to the Building Department for approval, and that all relevant conditions of the Building – and the Fire Department be complied with at that stage.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Scale: NTS
 Drawing No: 5001/2007
 Date: NOVEMBER 2007

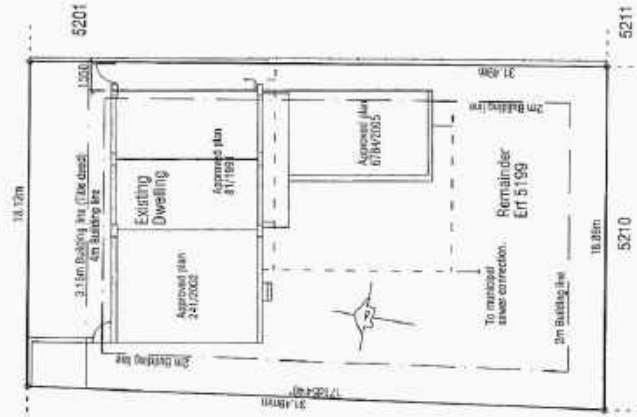
Plot Description: LOCALITY MAP

Property Description: ERF 5189 KLEINMOND

All areas and approximate areas subject to survey.
 P.A. Suid- en Streeklaanwysers
 Active Town & Regional Planners
 SOFT RIGHT RESERVED

All building floor plan, sections, elevations, must be reported to and approved by the Architect in writing. Plans to do so will assume the architect is not liable for any responsibility arising directly or indirectly to the conditions.

Derringboom Ave



Site Plan
Scale 1:200

| | | |
|--|--|-----------------------|
| NOTE: | Existing Dwelling | 201.87sqm |
| | Frontage | 18.12m |
| | EIT | 5/1/99 |
| | Coverage | 21% |
| | Class of occupancy of building | H4 |
| | Occupancy | Dwelling House |
| | Population | 4 |
| | Orientation | North |
| | Climate Zone | 4 - Temperate Coastal |
| | Scaled drawings should be checked on site before work commences. Drawings prepared. Any discrepancies or errors must be reported to the Architect. | |
| | <p>Sandra Schutte 3 Ainslie Pl Pt. Cook, VIC 3048 Tel & Fax: 03 9371 4208 127 Main Road Mt. Buxton (Melbourne) 7142 0000 s@schutte.com.au</p> | |
| | SACAP Reg No: | Pr Arch 211077 |
| | Dist: | 1508 |
| | Owner: | Equinox |
| Project: | Building Plans for Municipal Approval | |
| Documentation of existing dwelling: | EIT No. 5/1/99 | |
| Location: | Derringboom Avenue Kleinmond | |
| Scale: | 1:200 | |
| Drawn: | LS | Checked: |
| Project No: | 0 | Date: |
| C-S-O-K: | 0 | Sheet No: |
| | | 1 of 6 |

All contents from plan, however minor, shall be reported to and approved by the Architect in writing. Failure to do so will disavow the Architect of any further responsibility relating directly or indirectly to the revisions.

General Specifications
 All building work is accordance with the National Building Regulations and the South African Standard Code of Practice SANS 10400.
 All work is in accordance with the National Building Regulations and Municipal By-Laws.
 All structural concrete work to Engineer's design and specification.
 All changes in level, the design of ramps and thresholds in accordance with the stipulated requirements of SANS 15400-0.
 Builders tools and site appliances to be in accordance with SANS 10900.
 Fire safety to comply with SANS 13400-1 and the One-Storey Fire Safety By-Law of 2008.
 All materials and items used to be SABS approved.
 It is the responsibility of the Designer to appoint a Land Surveyor to confirm all boundaries.
 It is the responsibility of the Designer to appoint a Health and Safety Officer to comply with the Construction Regulations 2014 and the Occupational Health and Safety Act.
 All concrete work to comply with SANS 2001-2011 & CC2.
 Bar installation plan to be submitted by contractor in accordance with the requirements.
 Scaffolding to be erected. All measurements shall to be checked to site before work can commence. Copyright reserved. Any alterations or errors must be reported to the Architect.

Sandra Schutte
 3 Jacaranda
 Pretoria, South Africa
 Tel & Fax: 083 271 4728
 121 Main Road
 Midway 200
 Midway 200
 011 7135
 s.schutte@skelkorosa.net

S.A.C.P. Reg. No. P1 April 21/07
 Name: INCEP
 Designer Signature
 1508

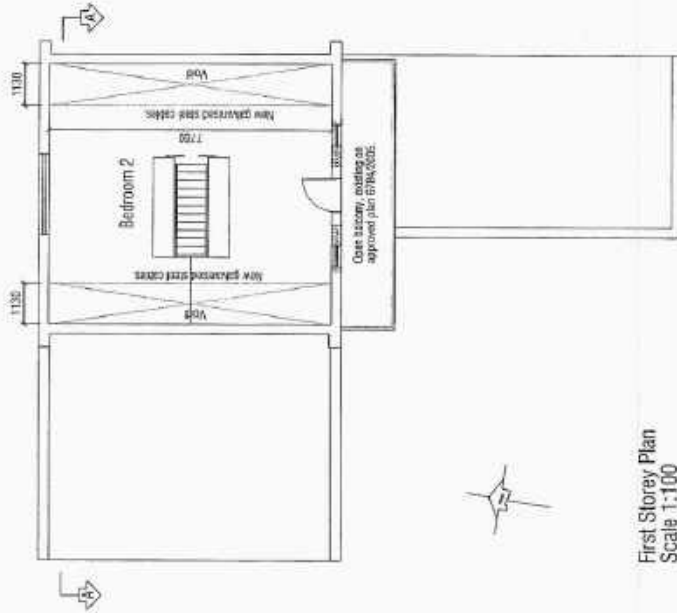
Project
 Building Plans for Municipal Approval
 Documentation of existing dwelling
 Erf No. 5199
 Doringboom Avenue
 Klerksdorp

Drawings
 Ground Storey Plan
 Scale: 1:100

Drawn: L.S. (checked) SS
 Project No: 201101/25
 Revision: 0
 Sheet No: 2 of 6

Ground Storey Plan
 Scale 1:100

All drawings, from this sheet, should be checked and approved by the architect or engineer responsible for the design of the building.



First Storey Plan
Scale 1:100

Scale dimensions in mill. All measurements are to be checked on site before work commences. Copyright reserved. Any discrepancies or errors must be reported to the Architect.

Sandra Schutte

Architect



144 & Park
121 Main Road
Newmarket
7130

038 271 4288

bs@schutte.com.au

bs@schutte.com.au

Scale: 1:100

1508

Client: Inco2
Owner: Sigmari

Project: Building Plans for Municipal Approval

Documentation of existing dwelling

Erf No. 5199

Dorrigboom Avenue

Kiellemond

Drawing: First Storey Plan

Scale: 1:100

Drawn: L.S. Checked: G.S.

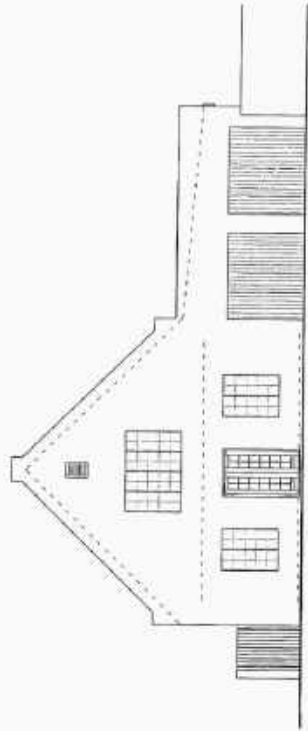
Project No: C.S48.K

Revision: 0

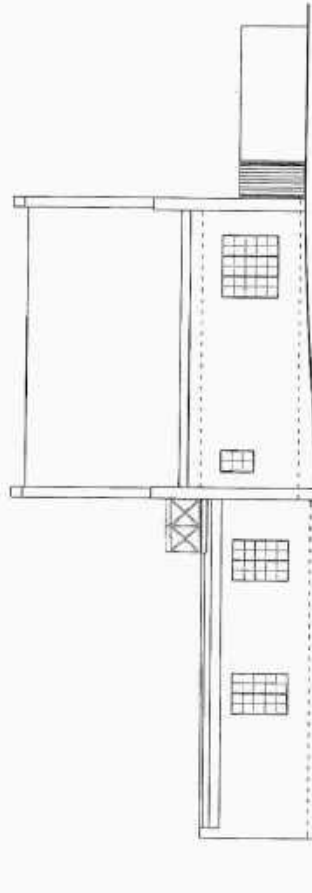
Date: 20/10/17

Sheet No: 3 of 6

All elevations have been checked for accuracy. It is the responsibility of the architect to ensure that all elevations are accurate and that the drawings are prepared in accordance with the applicable building codes and regulations.



North Elevation



East Elevation

Scale dimensions: metric. All measurements have to be checked in site before work can commence. Copyright reserved. Any discrepancies or errors must be reported to the architect.

Sandra Schutte



DATE: 15/08/2015

PROJECT: Building Plans for Municipal Approval

DESCRIPTION: Documentation of existing dwelling

PROJECT NO: 5199

ADDRESS: Dorningside Avenue

CITY: Toronto

PROJ NO: 1508

DATE: 15/08/2015

SCALE: 1:100

PROJECT NO: C-5-69-A

REVISION: 0

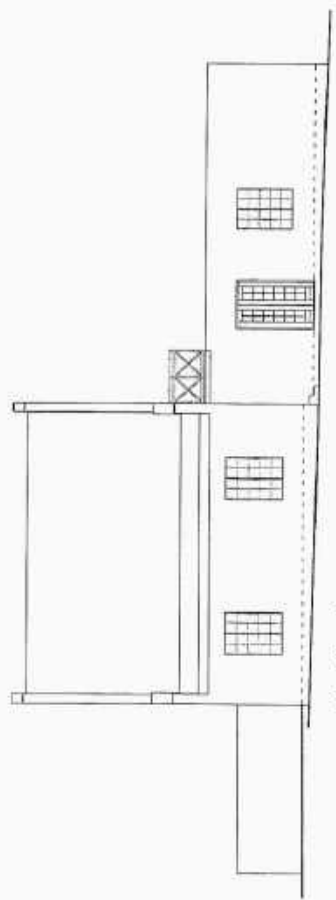
DATE: 2015/01/25

SHEET NO: 4 of 6

All decisions from this Town Board must be checked and approved by the Architect in writing. Failure to do so will absolve the Architect of ANY further responsibility, making directly or indirectly to the client.



South Elevation



West Elevation

Scaled dimensions in feet. All measurements have to be checked on site before work commences. Copyright reserved. Any discrepancies or errors must be reported to the architect.

Sandra Schutte

Architect
1412 Park
208 271 4208
121 Main Road
PO Box 80
Hingham, MA
01945
tsu@schuttearchitects.com



Client: Ince
Date: 15/08

SCOP Reg No: 19-00021077

Project: Building Plans for Municipal Approval

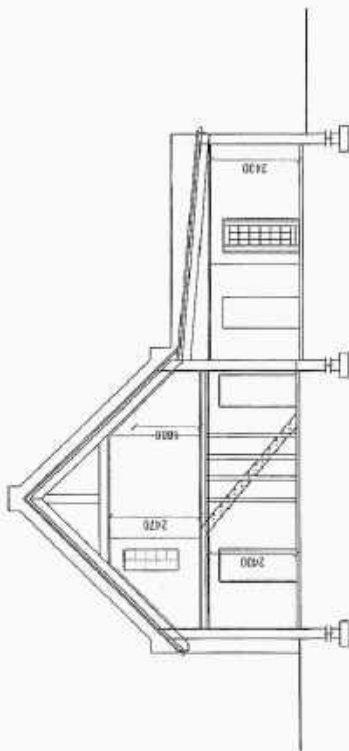
Documentation of existing dwelling
Erd No. 5199
Dorrigboom Avenue
Kleinmond

Drawing: Elevations

Scale: 1:100

Drawn: LS (checked) 96
Project No: 2019/01/25
Revision: 0
Sheet No: 5 of 6

All conditions that also, however minor, must be reviewed and approved by the Architect in writing. Failure to do so will constitute the Architect or ANY Member responsible during design or subject to the conditions.



Section A-A
Scale 1:100



Cable Detail
Scale 1:100

Scale dimensions shown. All measurements have to be checked on site before work can commence. Copyright reserved. Any discrepancies or errors found in reported to the Architect.

Sandra Schutte

3 Ann St
P.O. Box 1000
Tel 5 Fax
030 271 4238
121 Main Road
PO Box 20
Kleinmond
7125
s.schutte@schutte.net



Client: SAC20 Reg No. P: Arch 21077
1508
Owner Signature

Project
Building Plans for Municipal
Approval
Documentation of existing dwelling
Erf No. 5199
Doringboom Avenue
Kleinmond

Section, Cable Detail
Scale: 1:100
Drawn: LS Checked: SB
Project No: Revision: 1/18 2018/01/25
C-549-K 0 Sheet No: 6 of 6

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

4. ERF 2406, 95 NINTH STREET, VOËLKLIP, HERMANUS: APPLICATION FOR DEPARTURE: AE HEINE ON BEHALF OF THE ERICH HEINE FAMILY TRUST

2406 HVK (2978/2019)

SW van der Merwe

(028) 313 8900

Hermanus Administration

10 October 2019

Executive Summary

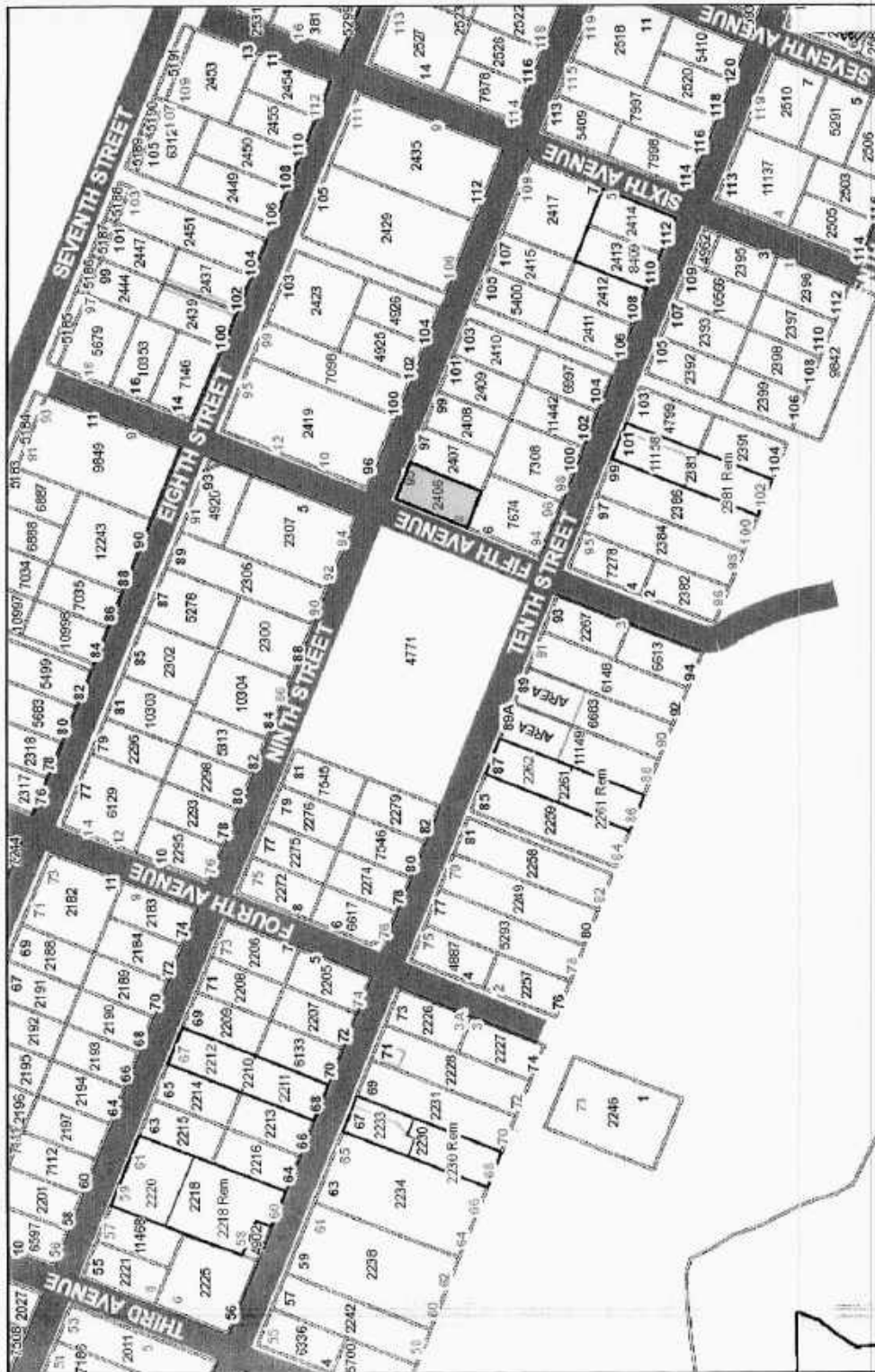
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-law) has been received on 24 April 2019 from AE Heine on behalf of the Erich Heine Family Trust, applicable to Erf 2406, Hermanus for the relaxation of the eastern lateral building line from 2m to $\pm 1,2$ m to accommodate a timber floating deck above a section of the concrete roof slab at first floor level of the dwelling, as well as to position a glass balustrade at the edge of the floating deck at $\pm 1,2$ m from the eastern lateral boundary.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2406, Hermanus to relax the eastern lateral building line from 2m to 1,2m in order to accommodate a timber floating deck and glass balustrade at the first floor level of the dwelling unit, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on Drawing Number 01 to 03 dated 2019-02-19 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department at that stage be complied with;
 - (c) that the relevant conditions of Telkom and Engineering Services, be adhered to;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

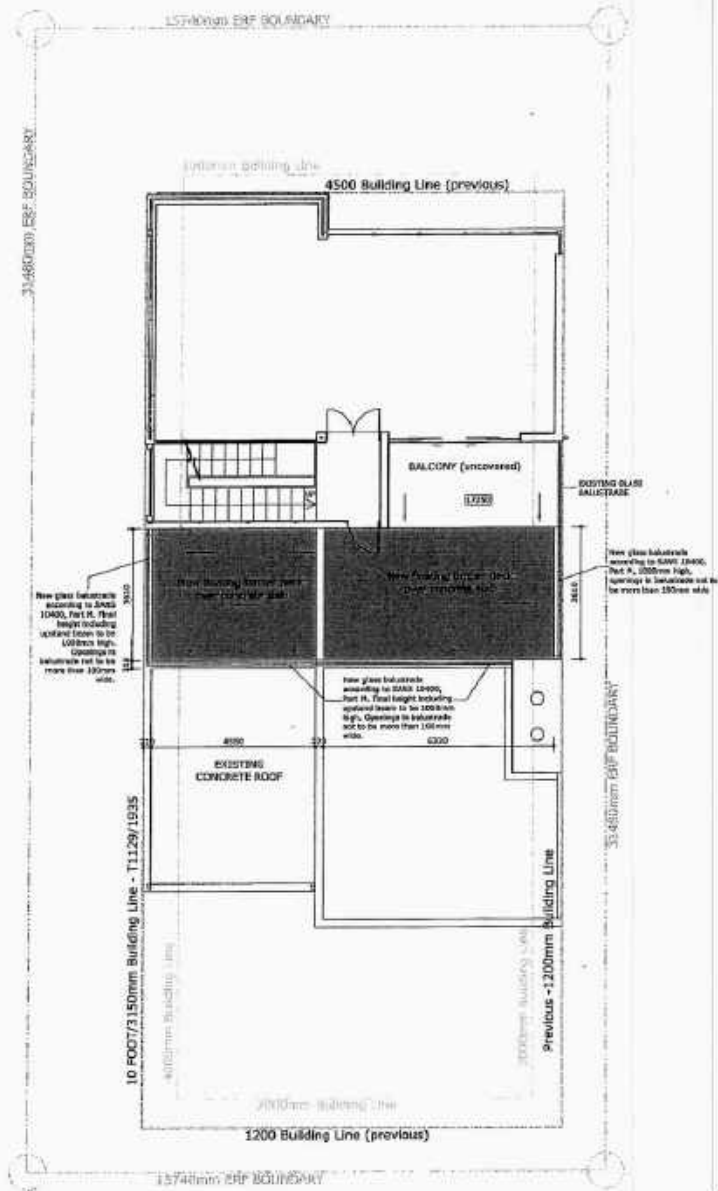
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



OVERSTRAND
MUNICIPALITY

ERF 2406 VOELKLIP

Date: 2019.03



FIRST FLOOR PLAN
SCALE 1:100

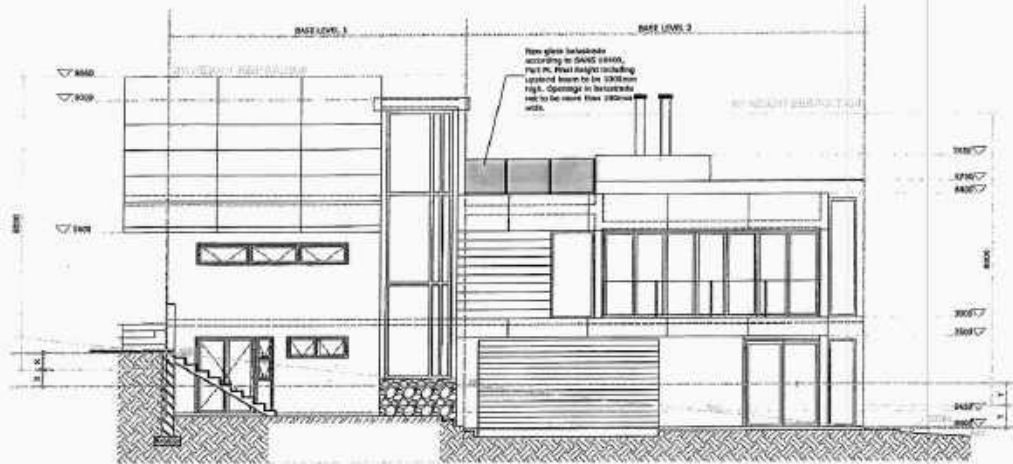
tim ziehl
ARCHITECTS

P.O. Box 2363
Stellenbosch, 7598.
e-mail: info@timziehl.com
Cell/Sel - 082 9284 282
S.A.C.A.P.no. 5394 (Tim Ziehl)

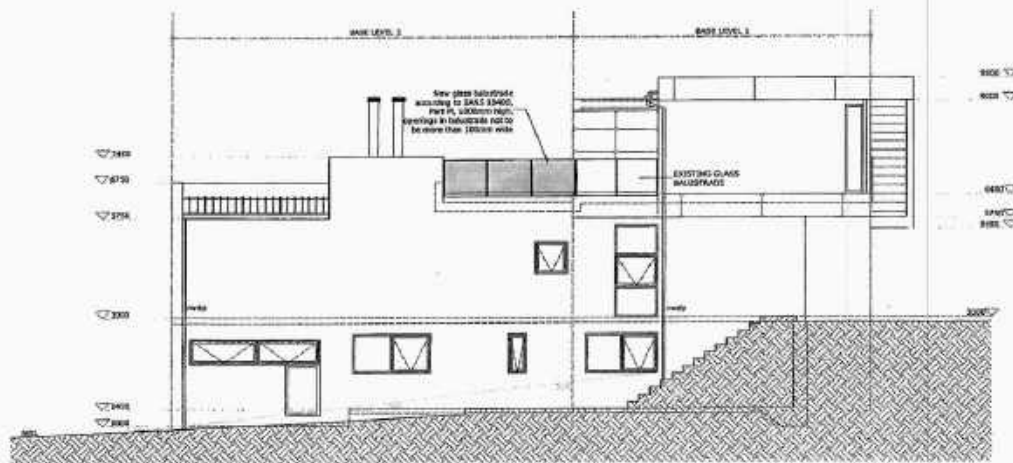
1st Floor/ 1st Vloer
Bosch Street Centre
Gru. Dep. - 8 Market Street
Stellenbosch, 7603
Tel.: +27 - 21 - 886 5714

Handwritten signature

| | | | | |
|-------------|---------------------------------------|-------------|---|------------------|
| PROJECT | HOUSE HEINE | | ATTENTION TO: KEATON HUGGILL, OR ESP 2426, VONKLEP, HERMANUS. | |
| DESCRIPTION | FIRST FLOOR PLAN - MUNICIPAL DRAWINGS | | | |
| DATE | 2019-02-19 | SET | JK | PROJECT NO. 1235 |
| SCALE | 1:100 | TOPPING NO. | 01 | |



WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

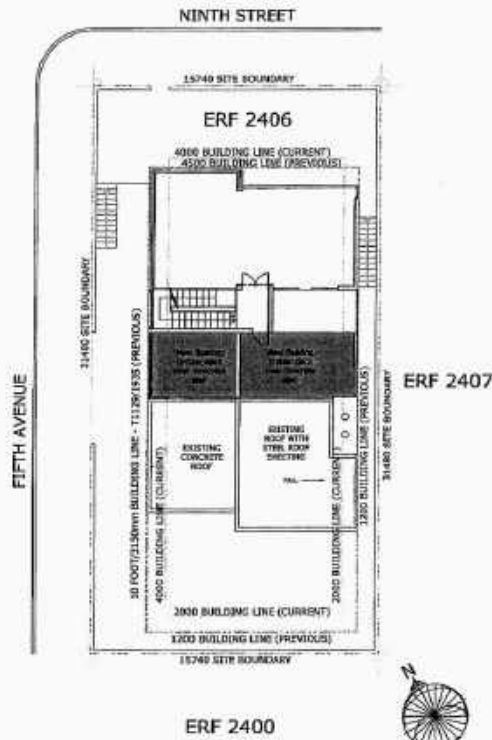
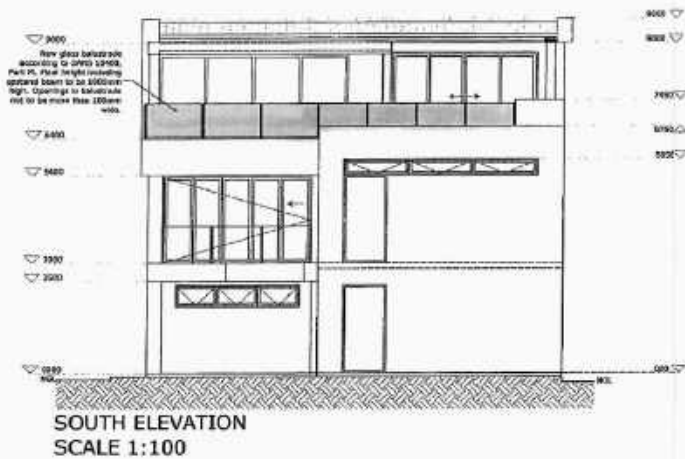
tim ziehl
ARCHITECTS

P.O. Box 7302 Stellenbosch, 7599
info@timziehl.com
Cell/Sel: 062 9281 292
S.A.C.A.P. no. 1224 (Tim Ziehl)

3rd Floor/ 1st Floor
Stad-House Centre
Cnr. Dorp & Market Streets
Stellenbosch, 7600
Tel.: +27-21-688 2716

Tim Ziehl

| | | | | | |
|-----------|---------------------------------|--|------------|-------------|-------|
| PROJECT | HOUSE HEINE | AL. BRATIONS TO EXISTING HOUSE, ON SIF 2406; WOLKLEU, UERMARIG. | | | |
| REVISIONS | ELEVATIONS - MUNICIPAL DRAWINGS | | | | |
| DATE | 2019-02-19 | DATE | 2019-02-19 | SCALE | 1:100 |
| SCALE | 1:100 | PROJECT NO. | 1235 | DRAWING NO. | 02 |



SITE DEVELOPMENT PLAN/FIRST FLOOR PLAN
SCALE 1:200

tim ziehl
ARCHITECTS

P.O. Box 7302
Stellenbosch, 7509
e-mail: info@tarchitects.com
Cell/Intl: 082 5281 292
S.A.C.A.P. no. 5394 (Tim Ziehl)

1st Floor: 3rd Floor
Black Horse Centre
Civ. Serv. & Market Square
Stellenbosch, 7502
Tel: +27 - 21 - 886 5716

| | | | | |
|--------------|--------------------------------------|--------------|----|--|
| PROJECT: | HOUSE HEINE | | | ALTERNATIONS TO EXISTING HOUSE, ON ERF 2406, VORSTELP, HESKOMAS. |
| DRAWING NO.: | ELEVATION & SDP - MUNICIPAL DRAWINGS | | | |
| DATE: | 2019-02-19 | SCALE: | JK | PROJECT NO. 1235 |
| SCALE: | 1:100/1:200 | DRAWING NO.: | 03 | |

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2406, VOELKLIP (2978/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P; 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 2406, Voelklip, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

5. ERF 4116, 3 SEVENTH STREET, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MS S SCHUTTE ON BEHALF OF MW ERWEE

4116 KKM (2900/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

17 September 2019

Executive Summary

An application has been received on 27 December 2018 from Ms S Schutte on behalf of MW Erwee on Erf 4116, Kleinmond in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following departures:

- to relax the height restriction of portions of the existing northern street boundary wall of the property from 2,1m to $\pm 2,169\text{m}$ at the lowest point thereof, and $\pm 2,353\text{m}$ at the highest point thereof; and
- to relax the height restriction of portions of the existing eastern boundary wall of the property from 2,1m to $\pm 2,129\text{m}$ at the lowest point thereof, and $\pm 2,340\text{m}$ at the highest point thereof.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 4116, Kleinmond for the following departures:

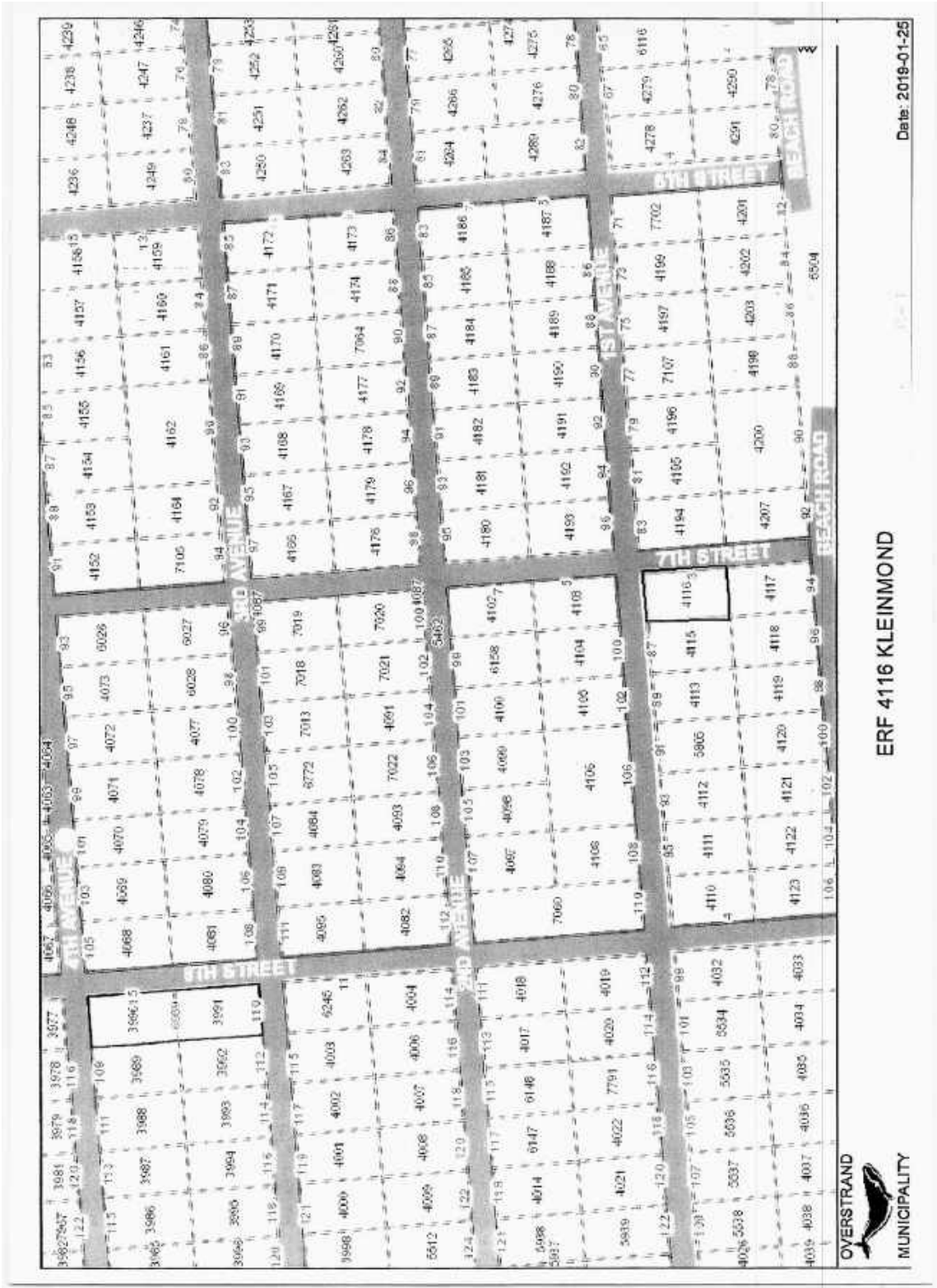
- to relax the height restriction of portions of the existing northern street boundary wall of the property from 2,1m to $\pm 2,169\text{m}$ at the lowest point thereof, and $\pm 2,353\text{m}$ at the highest point thereof; and
- to relax the height restriction of portions of the existing eastern boundary wall of the property from 2,1m to $\pm 2,129\text{m}$ at the lowest point thereof, and $\pm 2,340\text{m}$ at the highest point thereof,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as per the dimensions indicated on layout plans D.633.K 1 - 2 dated 3 April 2018 that was submitted with the application;
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (c) that all the applicable conditions of Engineering Services, be complied with;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



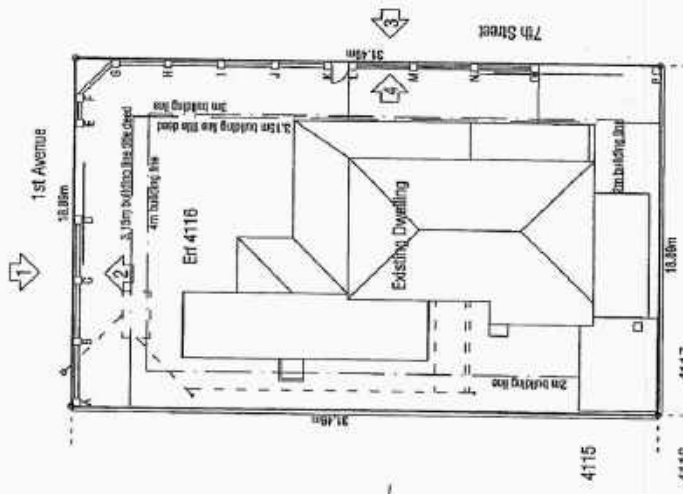
ERF 4116 KLEINMOND



Date: 2019-01-25

REGESSEY/ELIUC: TIAN NA KONGSUKHINE

All decisions from plan, however minor, must be reported to and approved by the Architect in writing. Failure to do so will shake the Architect of ANY further responsibility regarding directly or indirectly in the drawings.



Site Plan
Scale 1:200

| | |
|--|---|
| <p>AMSE</p> <p>Equipment Eri Coverage 40%</p> <p>Class of occupancy of building IM</p> <p>Occupancy Dwelling Phase E</p> <p>Orientation East</p> <p>Climate Zone 4 - Temperate Coastal</p> <p>Notes: Check drawings inside. All measurements have to be checked on site before work can commence. No work to be reserved. Any discrepancies or errors must be reported to the Architect.</p> | <p>250.00m² Site Area</p> |
| <p>Sandra Schutte B.Arch, AIA, P.I. P. Arch, M.Arch, C.A.A. T.M. & P. 020 271 4238 121 Main Road PO Box 92 Kleinmond 7115 sandr@schuttearchitects.com</p> | |
| <p>Client Erwee</p> <p>Owner Erwee</p> <p>Project Building Plans for Municipal regulation Documentation of alterations to boundary wall during construction of approved plan</p> <p>Eri No. 4116 c/o 7th Street & 1st Avenue Kleinmond</p> | <p>SACAP Reg No: P/ Arch 21377</p> <p>372</p> |
| <p>Project No 2018/04/03</p> <p>Revision 1:200</p> <p>Drawn L.S. Checked S.B.</p> <p>Project No 2018/04/03</p> <p>Revision 1:200</p> <p>Drawn L.S. Checked S.B.</p> | |

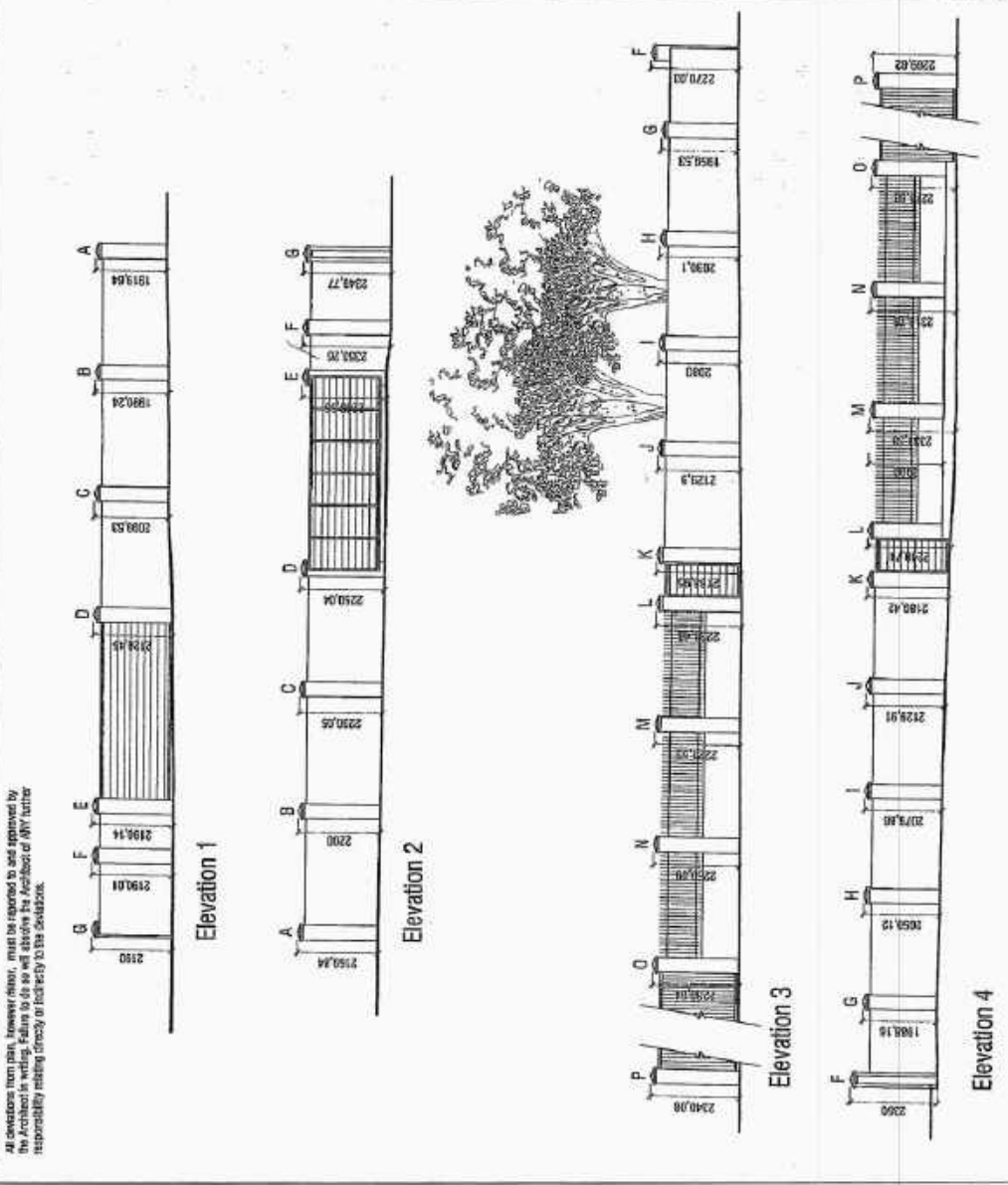
General Specifications
 All building work in accordance with the National Building Regulations and the South African Standard Code of Practice (SANS 10400).

General Notes
 1. All structural concrete work to Engineer's design and specification.
 2. All structural steelwork to Engineer's design and specification.
 3. All structural steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 4. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 5. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 6. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 7. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 8. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 9. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.
 10. All steelwork to be in accordance with the detailed requirements of SANS 10400-2.

General Notes
 1. All concrete work to comply with SANS 2001-6:2011 & 2001-7:2011.
 2. All concrete work to be supervised by Installer if required.
 3. Scaled dimensions prevail. All measurements have to be checked on site before work commences. Copyright reserved. All measurements or errors must be reported to the Architect.

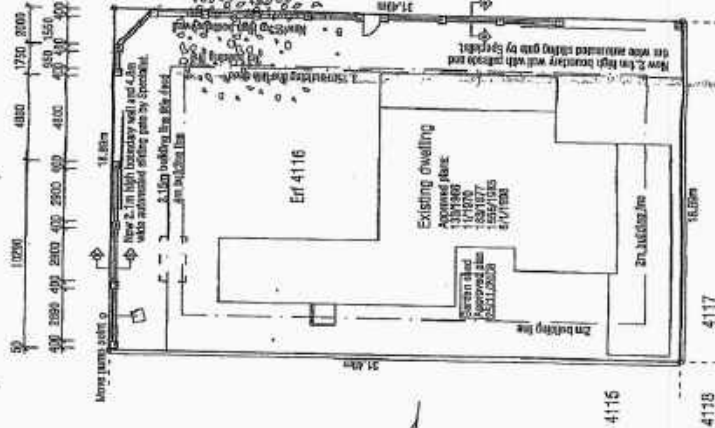
Sandra Schutte
 ARCHITECT
 14 S. Pk
 021 271 4259
 120 Main Road
 Kleinmond
 7105
 brumsholte@schutte.net

| | | |
|--|---|------------|
| Client | Erwee | 372 |
| Project | Building Plans for Municipal regulation | |
| Documentation of alterations to boundary wall during construction of approved plan | 32-142/2017 | |
| Erf No. | 4116 | |
| Address | c/o 7th Street & 1st Avenue Kleinmond | |
| Elevations | 1:100 | |
| Scale | 1:100 | |
| Drawn | LS | Checked |
| Project No. | Revision | Date |
| D.633.K | 0 | 2018/04/03 |
| | Sheet No. | 9 of 9 |



All descriptive floor plans, however minor, must be accurate and approved by the Architect in writing. Failure to do so will absolve the Architect of ANY further responsibility resulting directly or indirectly to the decisions.

Approval of this plan does not release the architect or the owner of the structures to be erected in accordance with the above from adhering to any provisions of any one of the following:
 - This deed conditions
 - National Environmental Management Act (Act No. 107 of 1998)
 - National Heritage Resources Act (Act No. 24 of 1989)
 - Any other applicable act, by-law, regulation or policy.



MUNICIPALITEIT WESTERDORP (MUNICIPALITY)
 FIRE BRIGADE / BRANDWEEER
 APPROVED / GOEDGEKUR
 16 MAR 2007

OVERLENTAND MUNICIPALITY
 Building and the Planning Department
 Approved under the applicable Town Planning Regulations and Building Regulations Act 102 of 1977
 16 MAR 2007

General Specifications:
 All building work in accordance with the National Building Regulations and the South African Standard Code of Practice SANS 10400.
 All construction work in accordance with the National Building Regulations and Municipal by-laws.
 All structural concrete work to Engineer's design and specification.
 All site work to be done in accordance with the design and drawings in accordance with the detailed requirements of SANS 10400-4.
 All site work to be done in accordance with the design and drawings in accordance with SANS 10400-7 and the Fire Safety in Country with SANS 10400-7 and the Structural Fire Safety by-law 1945 of 2006.

Notes:
 Length of boundary wall 36.60m

| | |
|--------------------------------|--------------------------|
| Total Erf | 366,54m ² |
| Openings | 308m ² |
| Class of occupancy of building | H4 |
| Population | Dwelling House |
| Information | 8 |
| Climate Zone | 4 - Transitional Climate |

Section drawings to be provided. All measurements have to be checked on site before work can commence. Copyright reserved. Any discrepancies or errors must be reported to the Architect.

Sandra Schutte
 SACAP/JEP
 P. 064 5100000
 Tel: 6 For
 028 274 4336
 127 Main Road
 100 Wood Road
 1401
 7135
 ss@schutteandsonnia.net

SACAP Reg. No. Pr Arch 21877

Sheet: **EW58** of **372**

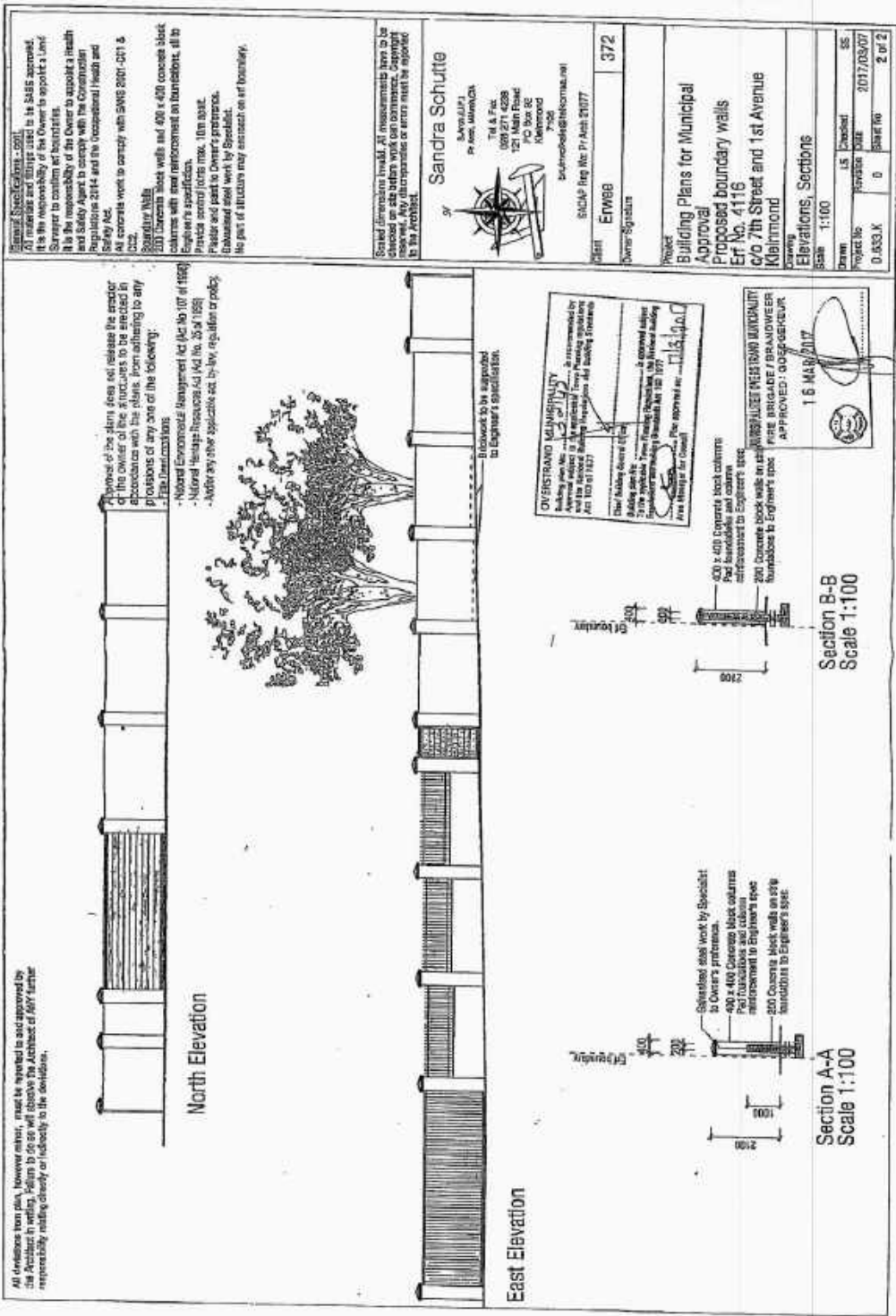
Client Signature

PROJECT:
 Building Plans for Municipal Approval
 Proposed boundary walls
 Erf No. 4116
 c/o 7th Street and 1st Avenue
 Kleinmond

Scale: 1:200

Drawn: LE Checked: BS
 Project No: 2017/03/07
 Date: 01/03/07
 Sheet No: 1 of 2

Site Plan
 Scale 1:200



General Specifications - cont.
 All materials and finishes used to be SABS approved. It is the responsibility of the Owner to appoint a Land Surveyor to confirm all boundaries.
 It is the responsibility of the Owner to appoint a Health and Safety Agent to comply with the Construction Regulations 2014 and the Occupational Health and Safety Act.
 All concrete work to comply with SANS 2007-011 & 2007-012.
Boundary Walls
 (20) Concrete block walls and 400 x 400 concrete block columns with steel reinforcement on foundations. All to Engineer's specifications.
 Practice across forms max. 10m max.
 Painted and plaster to Owner's preference.
 Embossed steel work by Specialist.
 No part of structure may encroach on erf boundary.

Approved by the client, the owner, the contractor, the architect and the engineer. The contractor is responsible for the construction of the wall in accordance with the specifications and drawings. The contractor is also responsible for the safety of the workers and the public during the construction of the wall.

Noted: Dimensions in brackets are for information only. All measurements have to be taken with the wall on concrete. Support columns may be incorporated in other walls if approved by the Architect.

Sandra Schutte
 B.Arch (Hons)
 P. Eng. (Struct)
 T.A.S. Inc.
 1001 21st St
 121 Main Road
 PO Box 82
 Melrose
 7526
 s.schutte@tassinc.com

Client: ETWBB
 Owner: Squam
 Project: 372

Project: Building Plans for Municipal Approval
 Proposed boundary walls
 Erf No. 4116
 c/o 7th Street and 1st Avenue
 Klairmond

Drawn: U.S. Crockett
 Project No: 2017/03/07
 Scale: 1:100
 Sheet No: 2 of 2

All dimensions from plan, however minor, must be repeated in and approved by the Architect in writing. Plans to 50 mm will observe the Architect of 60% further responsibility making clearly or indirectly to the divisions.

Approved by the client, the owner, the contractor, the architect and the engineer. The contractor is responsible for the construction of the wall in accordance with the specifications and drawings. The contractor is also responsible for the safety of the workers and the public during the construction of the wall.

Noted: Dimensions in brackets are for information only. All measurements have to be taken with the wall on concrete. Support columns may be incorporated in other walls if approved by the Architect.

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 Proposed boundary walls
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 c/o 7th Street and 1st Avenue
 Klairmond

Drawn: U.S. Crockett
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 Sheet No: 2 of 2

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Noted: Dimensions in brackets are for information only. All measurements have to be taken with the wall on concrete. Support columns may be incorporated in other walls if approved by the Architect.

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 Project No: 2017/03/07
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Noted: Dimensions in brackets are for information only. All measurements have to be taken with the wall on concrete. Support columns may be incorporated in other walls if approved by the Architect.

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 Project No: 2017/03/07
 Scale: 1:100
 Sheet No: 2 of 2

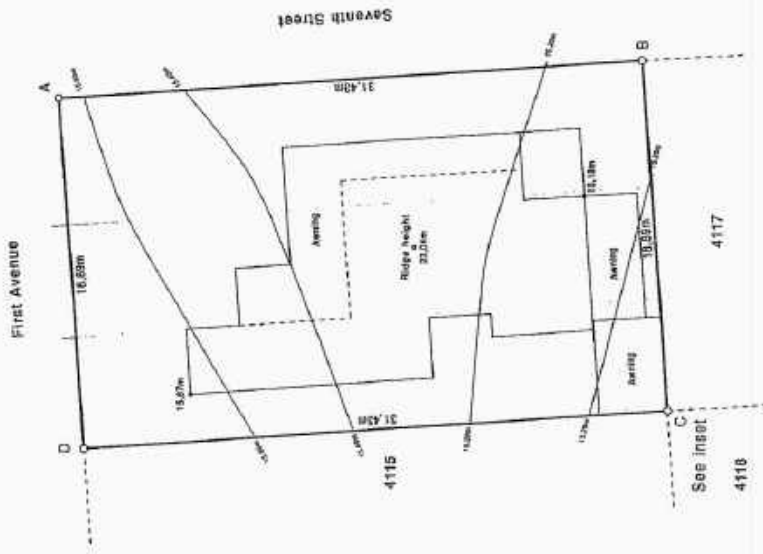
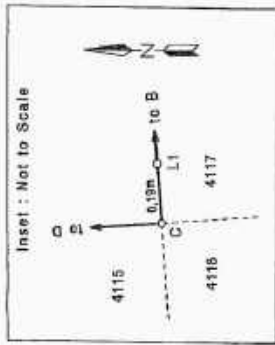
Project: Building Plans for Municipal Approval
 Proposed boundary walls
 Erf No. 4116
 c/o 7th Street and 1st Avenue
 Klairmond

Drawn: U.S. Crockett
 Project No: 2017/03/07
 Scale: 1:100
 Sheet No: 2 of 2

Notes:
Contours represent natural ground levels, and not actual ground levels.

Height restriction calculation

- Lowest natural ground level : 15.15m
- Highest natural ground level : 15.57m
- Average natural ground level : 15.42m
- Allowable building height : 26.50m
- Building height restriction : **23.42m**
- Ridge height : 23.64m



| | |
|--|--|
| REGD: Section Certificate: Section Description: A ... Red Belt B ... Yellow Belt C ... Red corner D ... Red to corner E ... Red to side F ... Red to side on wall | |
| Regulatory Section Description: L1 ... Wirecrete wall corner Redlines Description: BR1 ... Roofing slope in bar | |
| VAN DYK & ASS. INC. P.O. Box 2025 KENILTON VIC 3103 Tel: (03) 933 8077 Fax: (03) 933 1281 | |
| Project: Sheet: Height taken: Height datum: Scale: Date: Lead Surveyor: Project Title: | WGS84 / Lo 19 Mean Sea Level 1 : 200 November 2018 L A van Dyk ERF 4116 KLENMOND |

| | |
|--|------------------------------|
| Title: File: | |
| HEIGHT RESTRICTION SURVEY | |
| Drawing Number: Drawing Name: Drawing Date: Drawn by: Yr | V18672 DUJ 2018 DUJ |
| Sheet: of | 1 of 1 |



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4116, KLEINMOND (2900/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4116, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

6. ERF 5613, 39 URSINIA AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: DEPARTURE AND RELAXATION OF TITLE DEED CONDITION: J & R MARAIS

5613 KKM (2787/2018)

H van der Stoep

(028) 313 8900

Hermanus Administration

7 October 2019

Executive Summary

An application was received on 11 January 2019 from J & R Marais for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 5613, Kleinmond in order to:

- a) relax the eastern street building line of the property from 4m to $\pm 0,381$ m to accommodate an existing double and a single shade net carport in front of the existing garages;
- b) relax the northern street building line from 4m to $\pm 3,5$ m to accommodate an existing shade net covered garden pergola; and to
- c) relax the height restriction applicable to dwelling units from 8m to $\pm 8,37$ m to accommodate part of the roof structure of the existing dwelling unit.

The application also entails the relaxation of restrictive title deed Condition E.7. as contained in Title Deed T70041/2015 of the property to accommodate the two (2) shade net carport structures in Point (a) above that encroach the prescribed 5m title deed street building line with $\pm 4,619$ m, as well as the shade net covered garden pergola in Point (b) above that encroach the 5m title deed street building line with $\pm 1,5$ m.

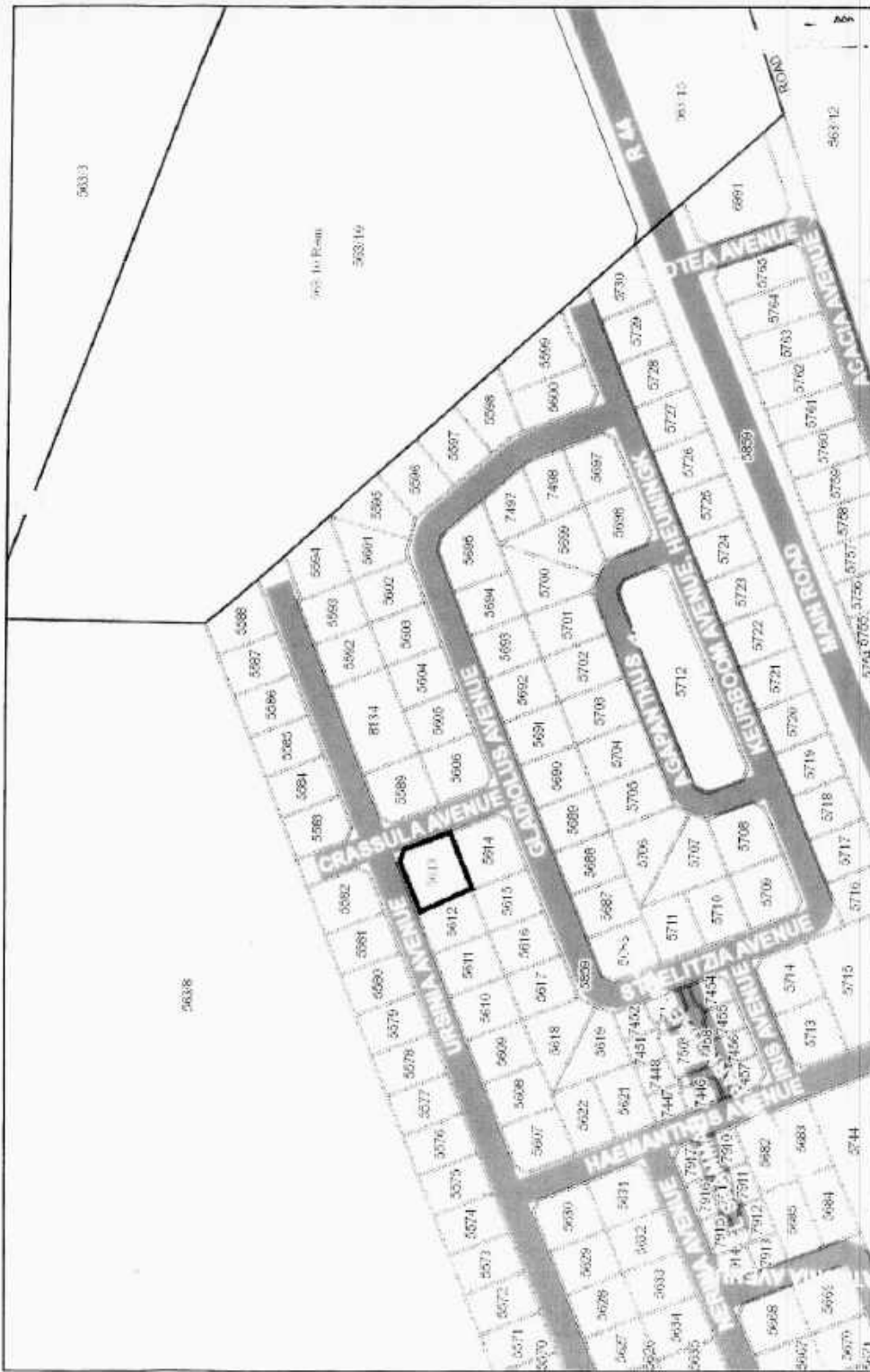
RESOLVED :

1. that the application for the relaxation of the restrictive title deed condition in terms of Clause E.7. contained in Title Deed T70041/2015 applicable to Erf 5613, Kleinmond in order to relax the 5m northern street building line with $\pm 0,5$ m to accommodate a shade net covered garden pergola, as well as 5m eastern street building line with $\pm 4,619$ m to accommodate two (2) shade net covered carports, **be approved** in terms of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

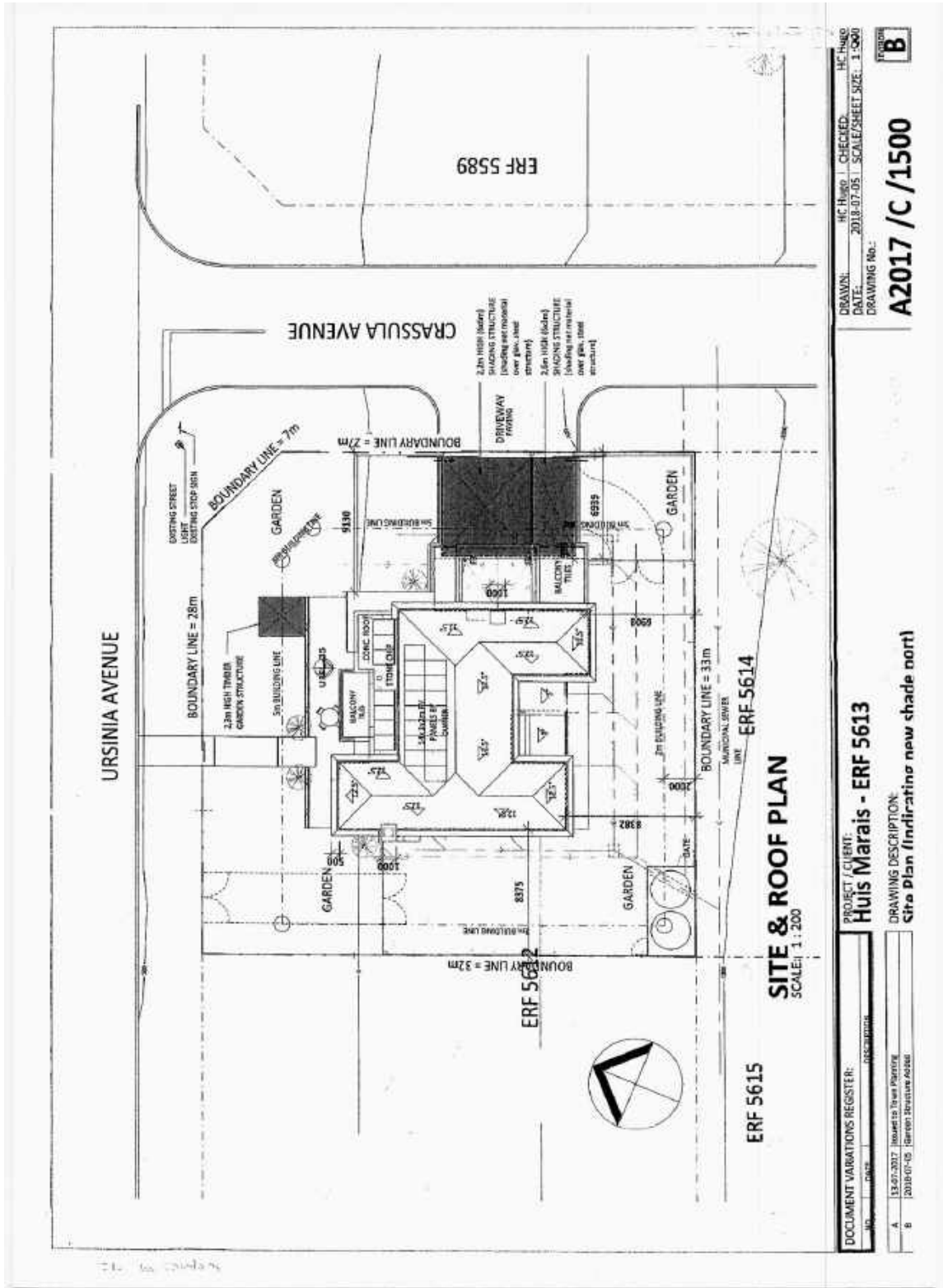
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 applicable to Erf 5613, Kleinmond for departure in order to:
 - a) relax the eastern street building line of the property from 4m to $\pm 0,381$ m to accommodate two shade net carports in front of the existing garage;
 - b) relax the northern street building line from 4m to $\pm 3,5$ m to accommodate an existing shade net covered garden pergola; and to
 - c) relax the height restriction applicable to dwelling units from 8m to $\pm 8,37$ m to accommodate part of the roof structure of the existing dwelling unit,

be approved in terms of the provisions of Section 61 of the By-Law, and
3. that the above approvals be subject to the following conditions:
 - (a) that the approval only be applicable for the encroachments as indicated on the Site Development Plans A2017/C/1500 – 1502 Rev B dated 2018-07-05 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all the relevant conditions contained in the Services Report, be complied with;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with; and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 5613 Kleinmond

Date: 2019-03-12



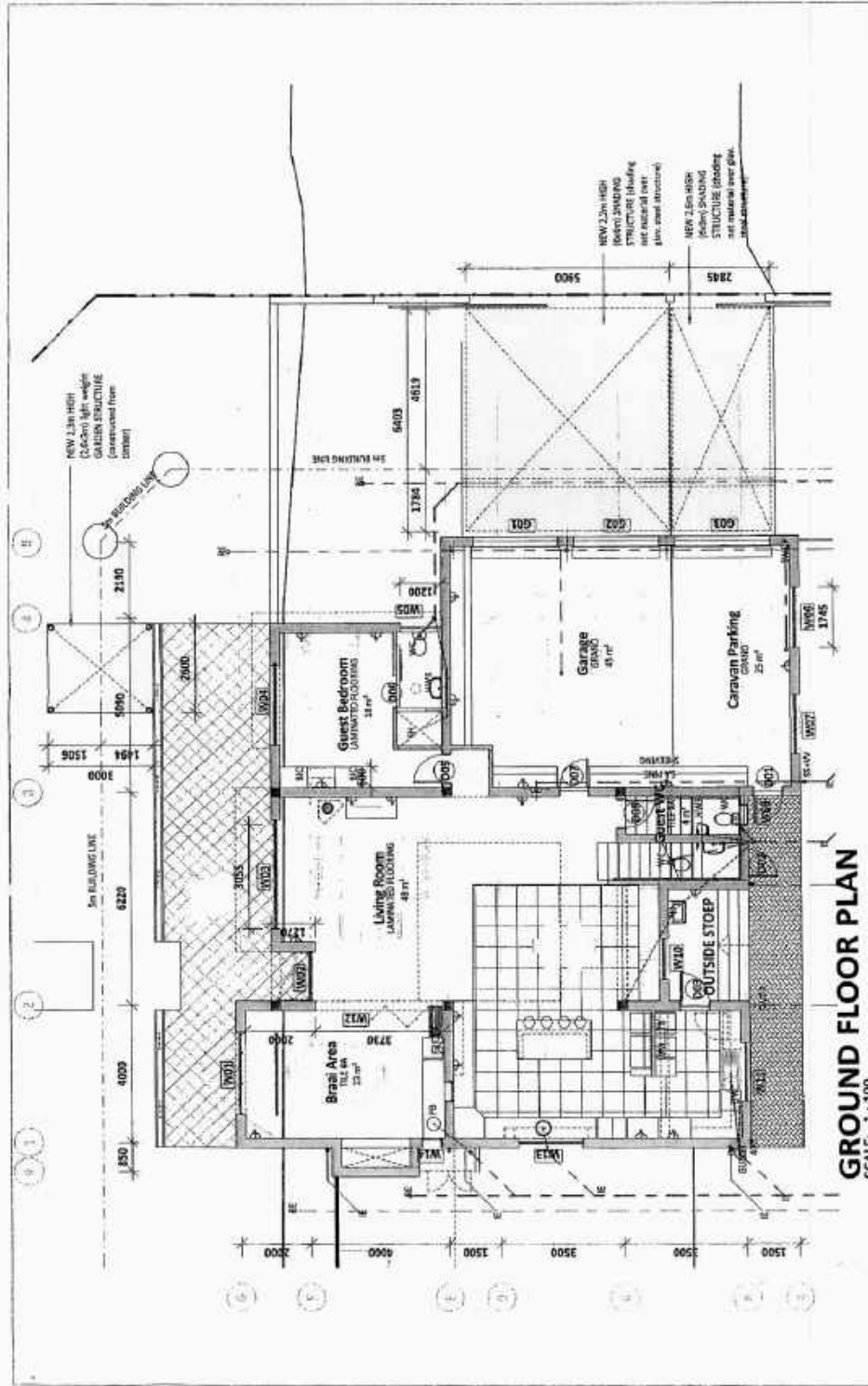
DRAWN: MC HUGH | CHECKED: MC HUGH
 DATE: 2018-07-05 | SCALE/SHEET SIZE: 1:500
 DRAWING No.: **A2017 /C /1500**

B

PROJECT / CLIENT:
Huis Marais - ERF 5613
 DRAWING DESCRIPTION:
Site Plan (indicating new shade north)

| DOCUMENT VARIATIONS REGISTER: | |
|-------------------------------|--------------------------------------|
| NO. | DATE |
| A | 13.07.2017 Issued to Town Planning |
| B | 2018-07-05 Revised Structure 4x400 |

ERF 5615
SITE & ROOF PLAN
 SCALE: 1 : 200



GROUND FLOOR PLAN
SCALE: 1:100

DRAWN: HC HUBO | CHECKED: HC HUBO
DATE: 2018-07-05 | SCALE/SHEET SIZE: 1:100
DRAWING NO.:

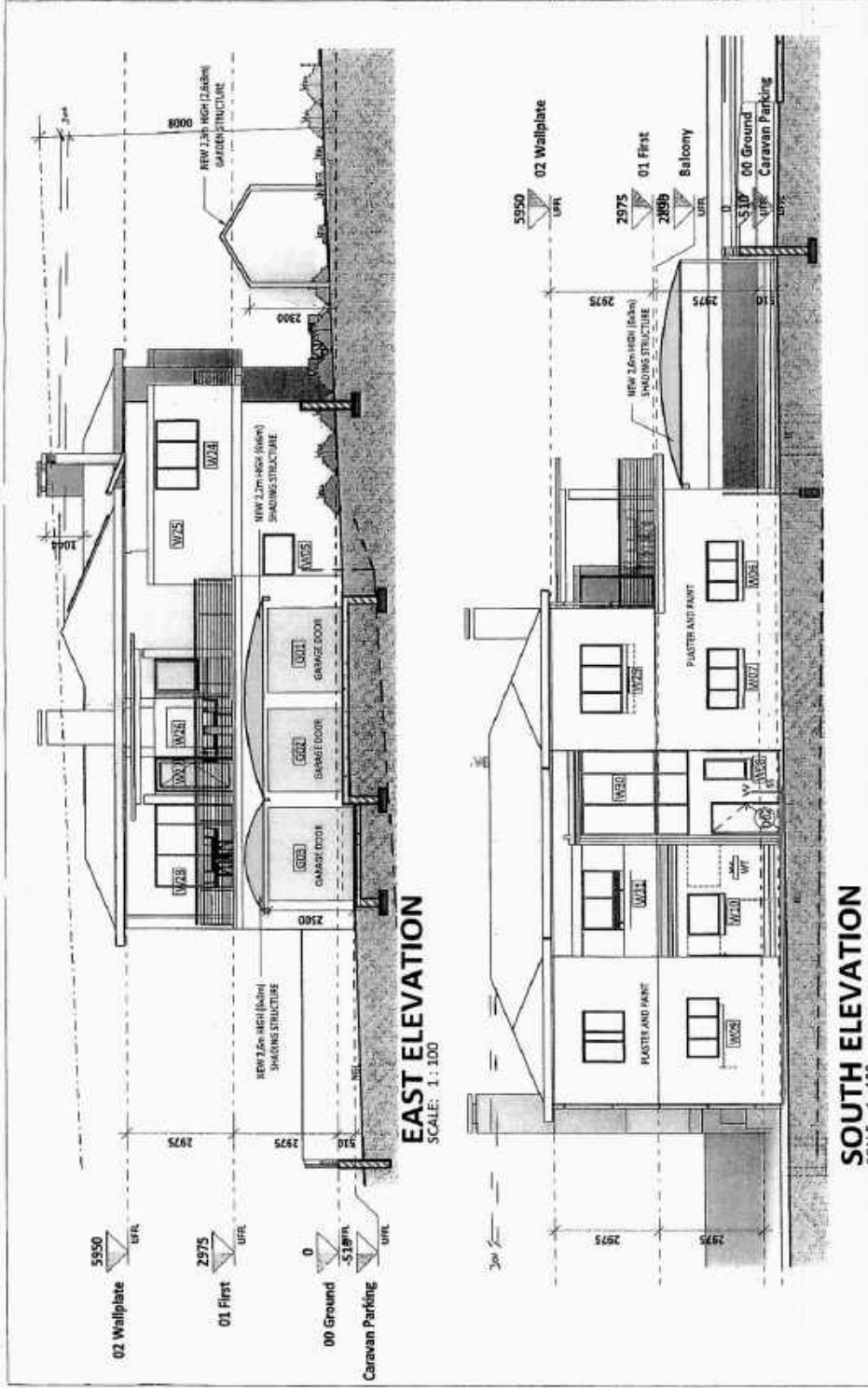
B

A2017 / C / 1501

PROJECT / CLIENT:
Huis Marais - ERF 5613

DRAWING DESCRIPTION:
Ground Floor Plan (indicating new Shade Port)

| DOCUMENT VARIATIONS REGISTER: | |
|-------------------------------|--------------------------------------|
| NO. | DATE |
| A | 18-07-2017 Issued by Team Planning |
| B | 2018-07-05 (Ground Floor Plan A1501) |



EAST ELEVATION
SCALE: 1 : 100

SOUTH ELEVATION
SCALE: 1 : 100

DRAWN: HC/HBC | OBJECTED: HC/HBC
DATE: 2018-07-05 | SCALE/SHEET SIZE: 1:100
DRAWING No.:

A2017 / C / 1502

B

PROJECT / CLIENT:
Huis Marais - ERF 5613

DRAWING DESCRIPTION:
Elevations East & South

DOCUMENT VARIATIONS REGISTER:

| ID | DATE | DESCRIPTION |
|----|------------|-------------------------|
| A | 13-07-2017 | Issued to Town Planning |
| B | 2018-07-05 | Final Structure Advice |

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5613, KLEINMOND**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 5613, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

p.p. R. Coetzer
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

19/03/2012
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

7. PORTION 50 (A PORTION OF PORTION 45) OF THE FARM HANGKLIP NO. 559, CALEDON DIVISION, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: W.W. VAN DER LAAN

KHANG 50/559 (2759/2018)

**H Van der Stoep
10 October 2019**

(028) 313 8900

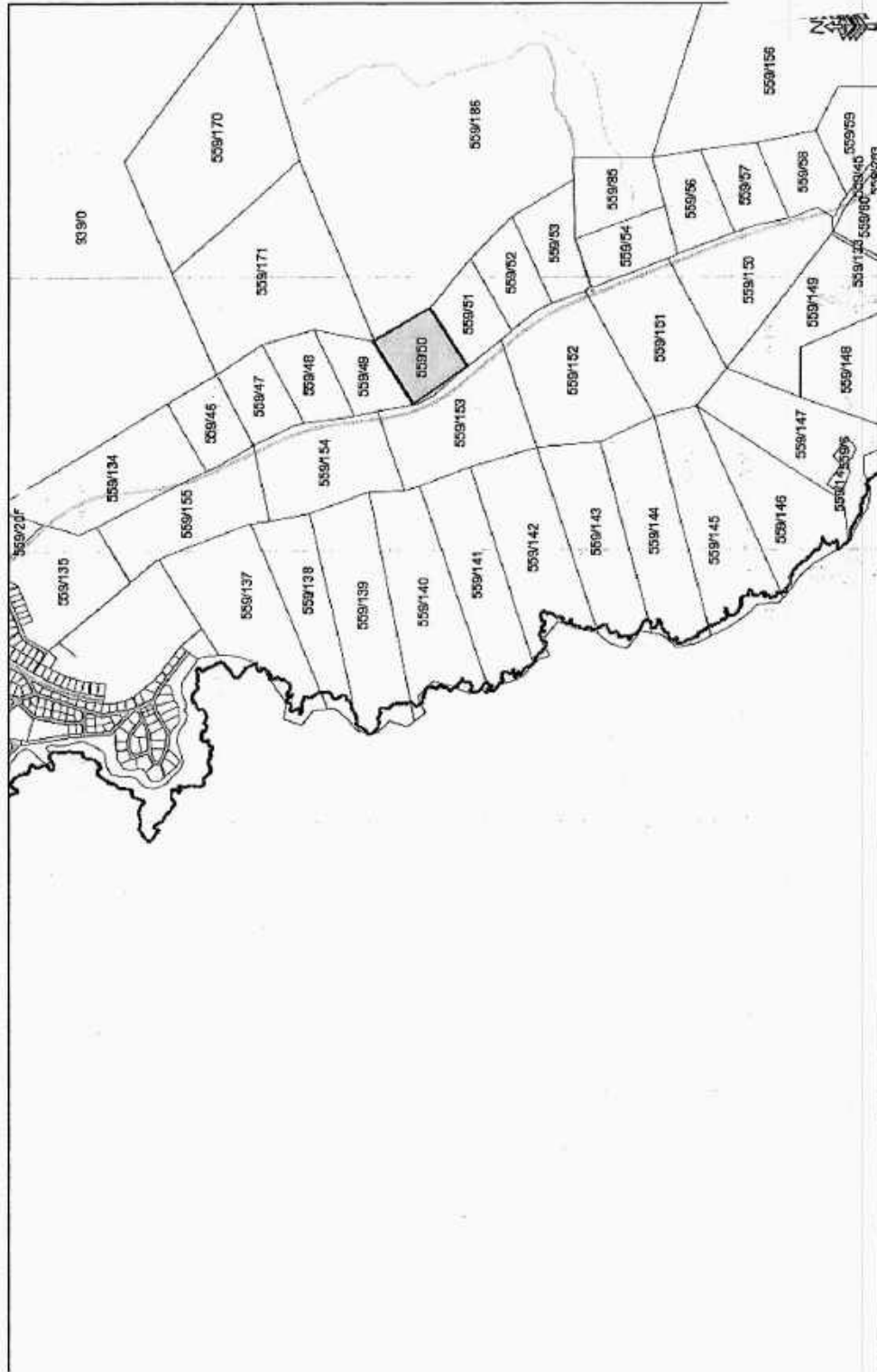
Hermanus Administration

Executive Summary

An application has been received on 8 November 2018 from W.W. Van der Laan on Portion 50 (a portion of Portion 45) of the Farm Hangklip No. 559, Caledon Division in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use for “agriculture” in order to place portable beehives on the property for the harvesting of honey.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Portion 50 (a portion of Portion 45) of the Farm Hangklip No. 559, Caledon Division for a consent use for “agriculture” in order to place portable beehives on the property for the harvesting of honey, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the applicant annually register with the Department of Agriculture, Forestry and Fisheries as a beekeeper, and comply with the Control Measures R858 of 15 November 2013 relating to honeybees;
 - (b) that the relevant conditions of Engineering Services, be complied with,
 - (c) that the above approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



PORTION 50 OF THE FARM HANGKLIP NO 559

Date: 2018-11-20

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: PORTION 50 OF FARM HANGKLIP
NO. 559, CALEDON DIVISION (2759/2019)**

| | | |
|-------------------|---|-----------------------|
| Electricity | : | Eskom area |
| Stormwater | : | No services available |
| Water | : | No services available |
| Sewer | : | No services available |
| Roads and traffic | : | No services available |

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Senior Manager : Engineering Services, Overstrand Municipality;
4. that no sewerage service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any sewage disposal;
5. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility.
6. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;
7. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility.
8. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;

9. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
10. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
11. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.

D.P. R. Closter
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

18/07/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

8. ERF 2169, 68 EIGHTH STREET, VOËLKLIP, HERMANUS: APPLICATION FOR DEPARTURE: L DAVEL ON BEHALF OF DAVEL ASSET MANAGEMENT CC

2169 HVK (2914/2019)

H Boshoff

(028) 313 8900

Hermanus Administration

25 September 2019

Executive Summary

An application has been received on 21 May 2019 from L Davel on behalf of Davel Asset Management CC, applicable to Erf 2169, Hermanus for departures in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to:

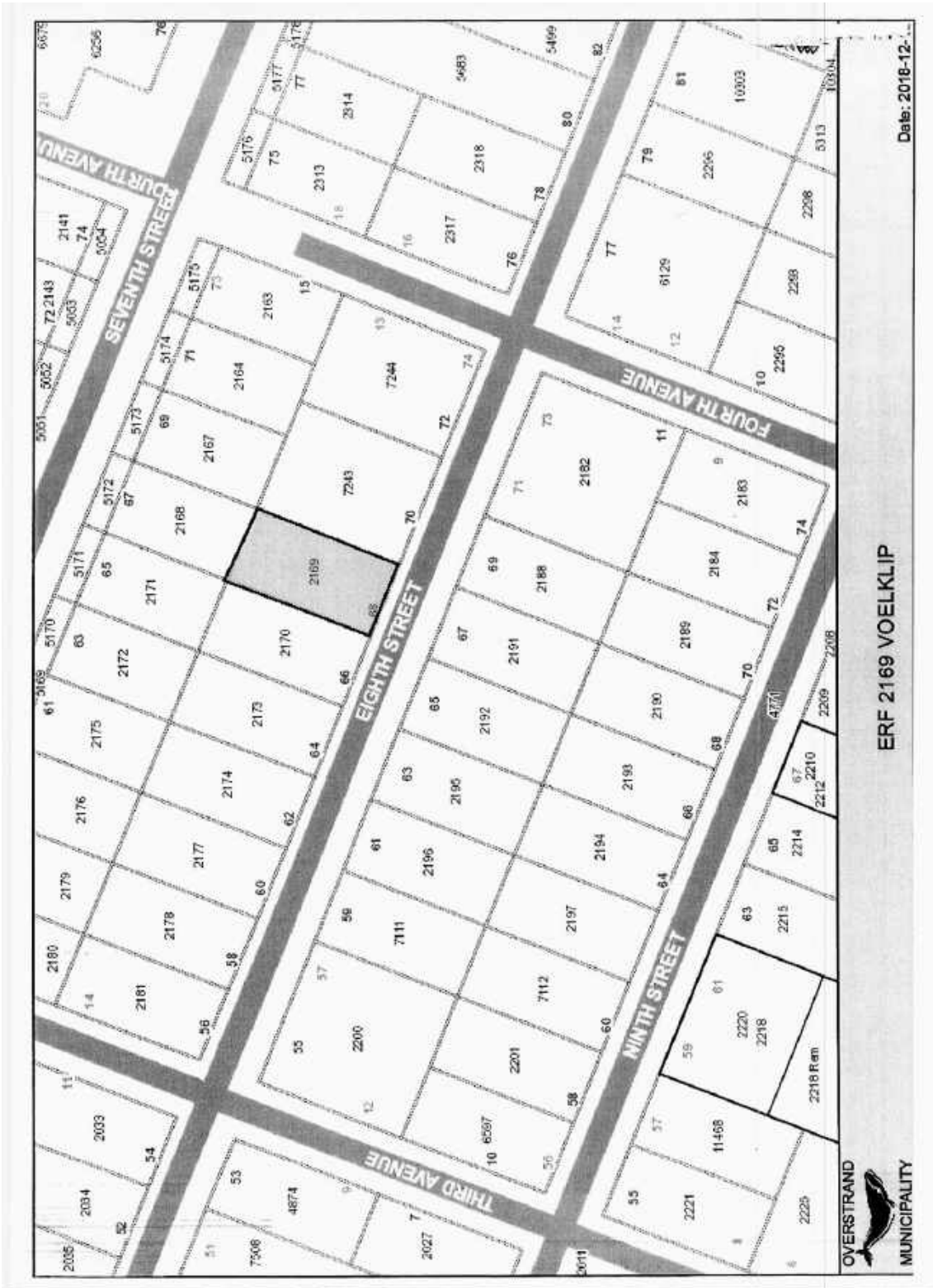
- a) relax the western lateral building line from 2m to 0m to accommodate a laundry room;
- b) relax the rear building line from 2m to 0m and the eastern lateral building line from 2m to 0m to accommodate an enclosed braai patio, and
- c) exceed the permissible 50% coverage of the property with $\pm 3,4\%$.

RECOMMENDATION

1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2169, Hermanus in order to relax the western lateral building line from 2m to 0m to accommodate a laundry room, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16.(2)(b) of the By-Law, applicable to Erf 2169, Hermanus in order to exceed the permissible 50% coverage of the property with $\pm 3,4\%$, **not be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application for departure in terms of Section 16.(2)(b) of the By-Law, applicable to Erf 2169, Hermanus in order to relax the rear building line from 2m to 0m and the eastern lateral building line from 2m to 0m to accommodate an enclosed braai patio (braai room), **not be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approval in 1 above be subject to the following conditions:
 - (a) that the door opening of the laundry leading into the dwelling unit, be built up – no direct access from the laundry to the dwelling unit is allowed;

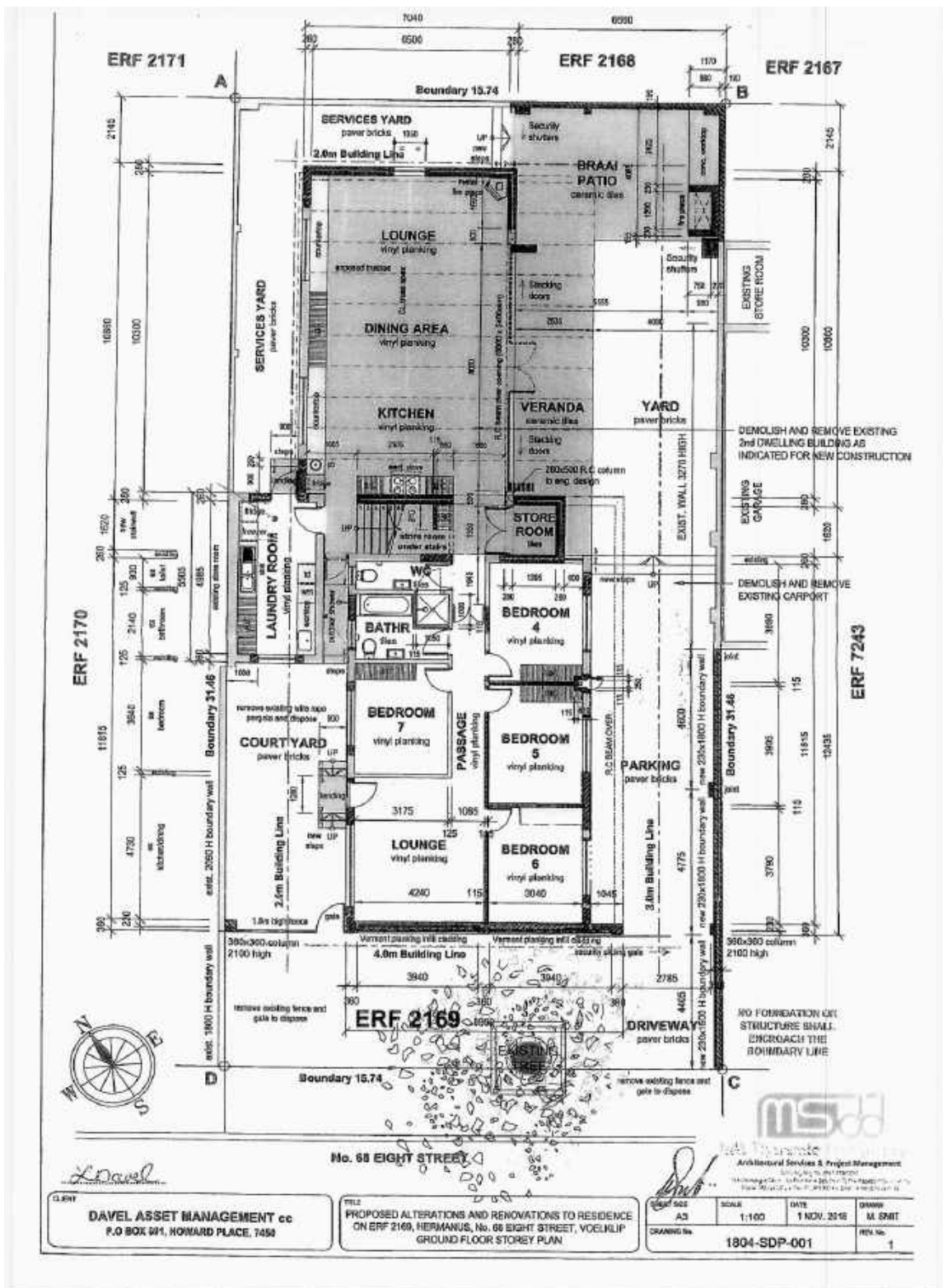
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

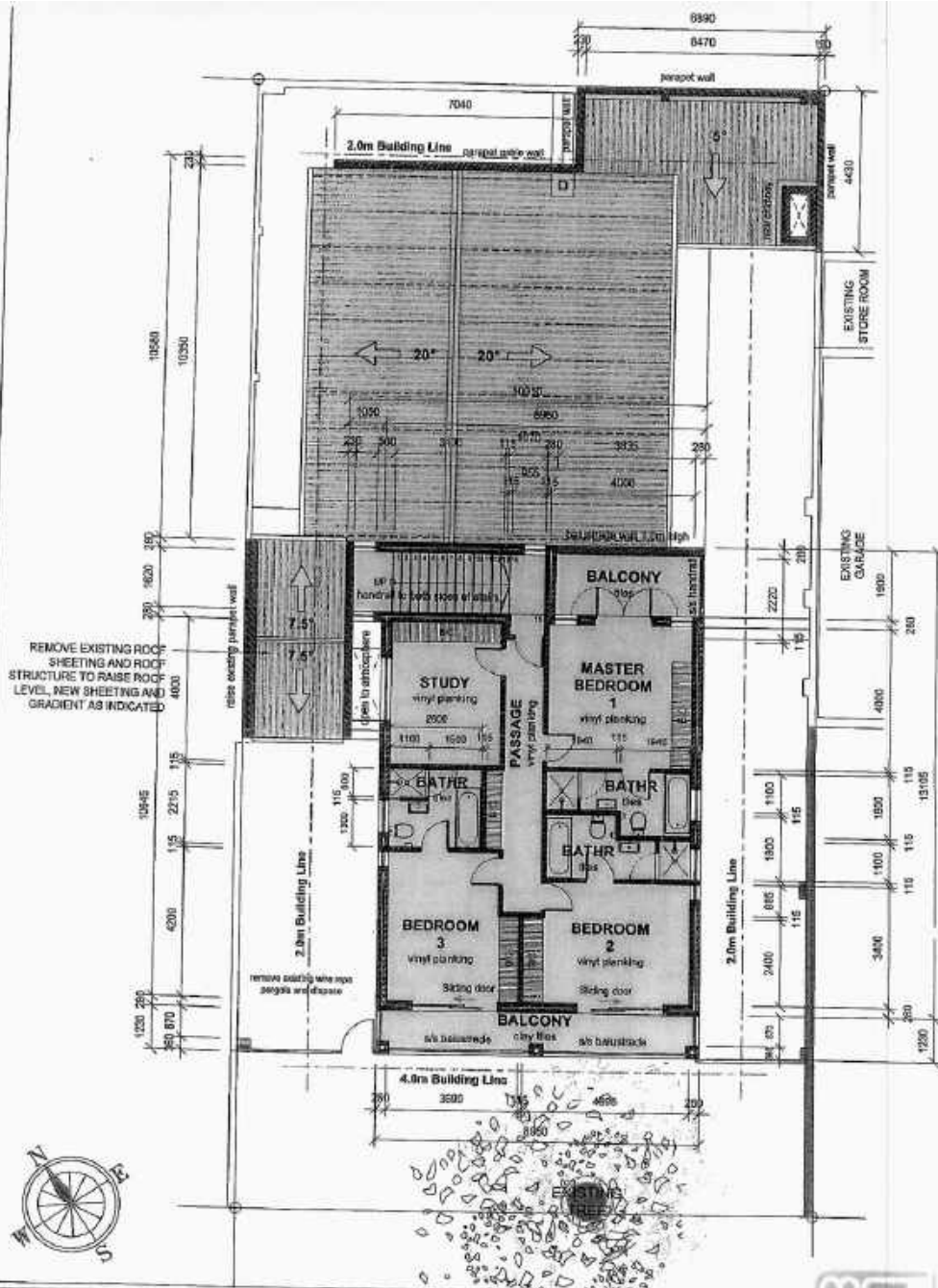
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all the conditions in the Services Report, be adhered to;
 - (d) that the approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decisions.



ERF 2169 VOELKLIP

Date: 2018-12-





REMOVE EXISTING ROOF SHEETING AND ROOF STRUCTURE TO RAISE ROOF LEVEL, NEW SHEETING AND GRADIENT AS INDICATED

raise existing parapet wall

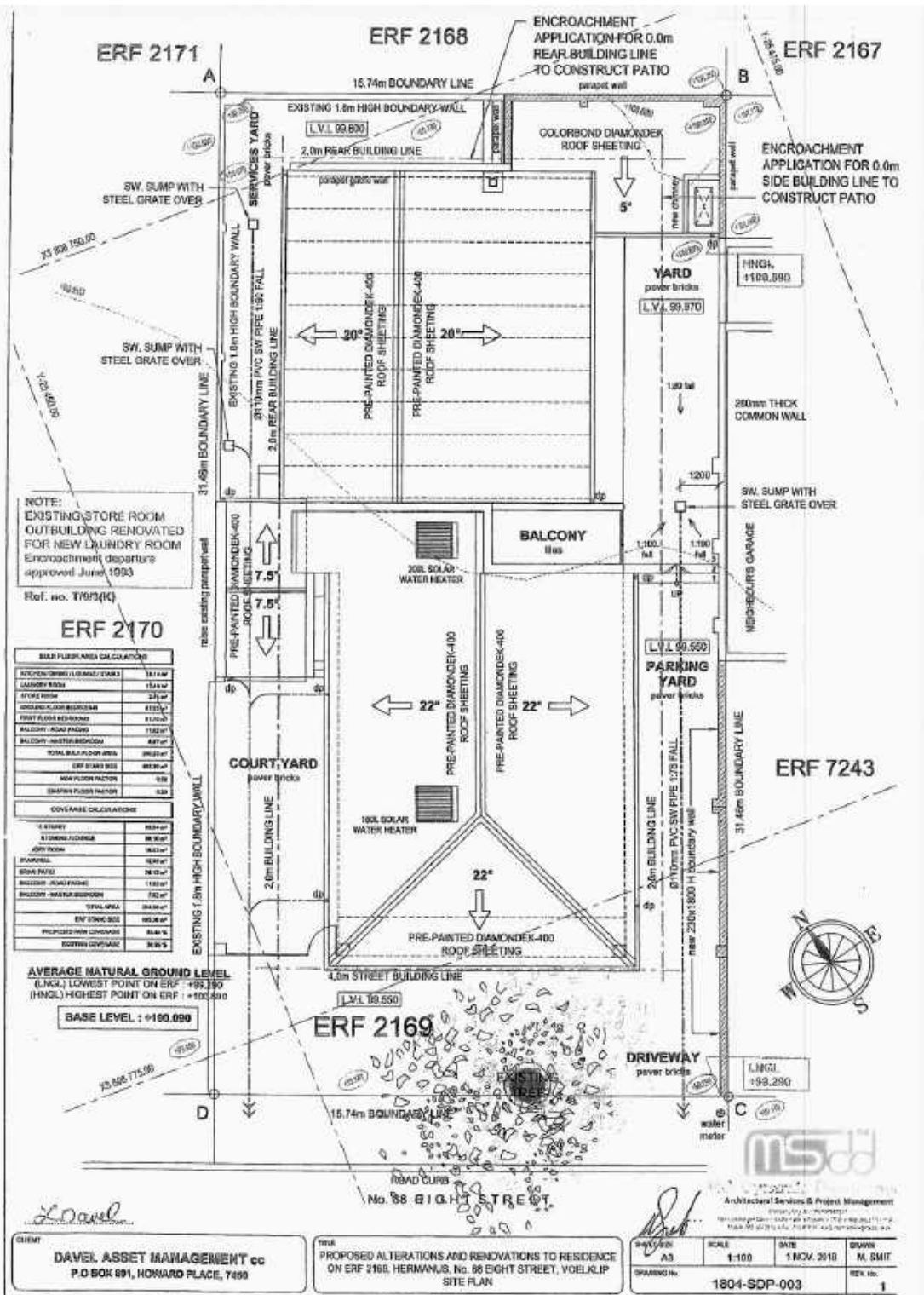
REMOVE existing wire mesh pergola and terrace

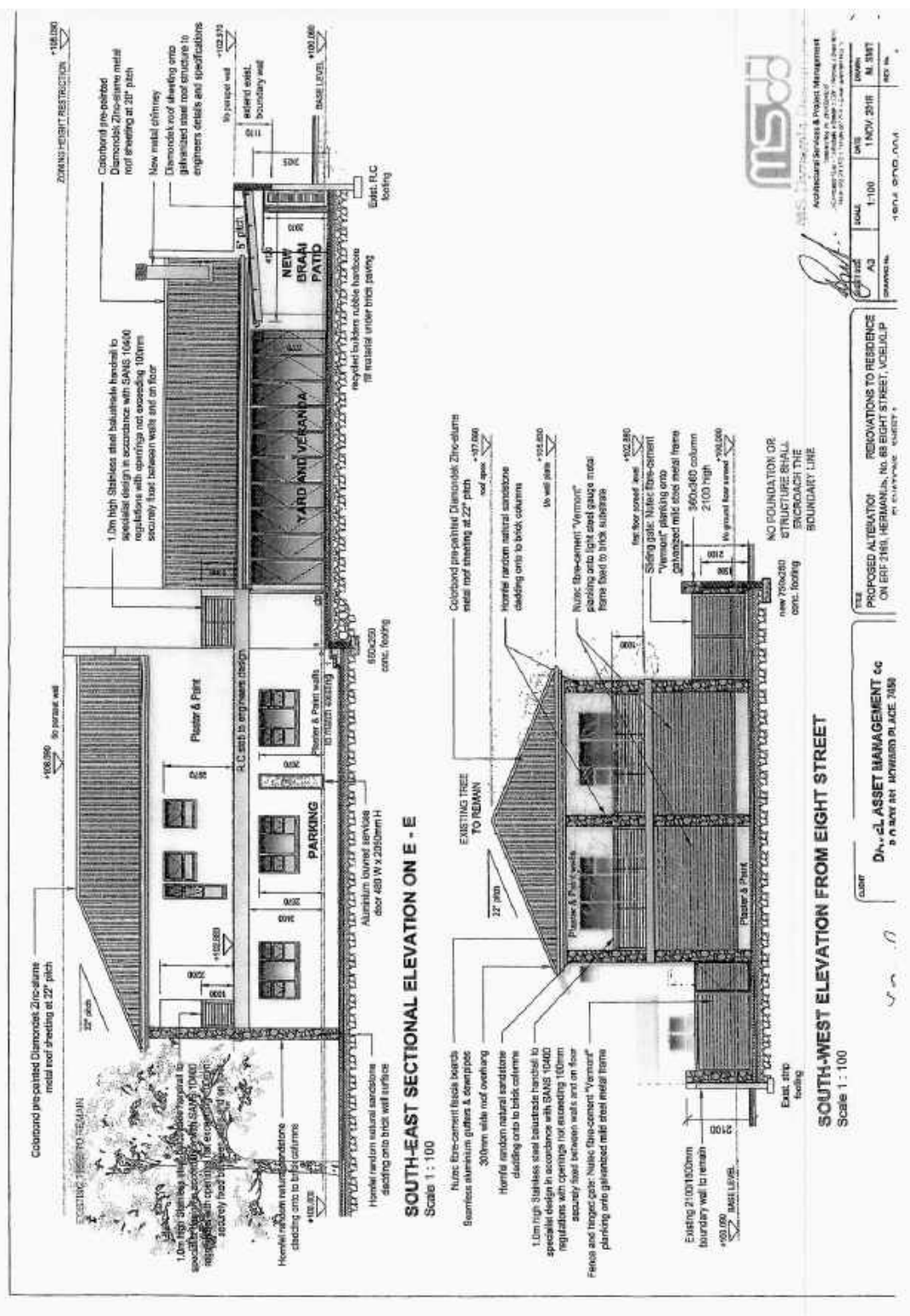


No. 88 EIGHT STREET



| | | | | | |
|---|--|-----------------------------|----------------------------|---------------------------|----------------------|
| CLIENT <i>L. Davel</i> DAVEL ASSET MANAGEMENT cc P.O BOX 801, HOWARD PLACE, 7450 | TITLE PROPOSED ALTERATIONS AND RENOVATIONS TO RESIDENCE ON ERF 2189, HERMANUS, No. 88 EIGHT STREET, VOELKLIP FIRST FLOOR STOREY PLAN | SCALE A3 1:100 | DATE 1 NOV. 2018 | DESIGNER N. SMT | REV. No. 1 |
| | | | | | |



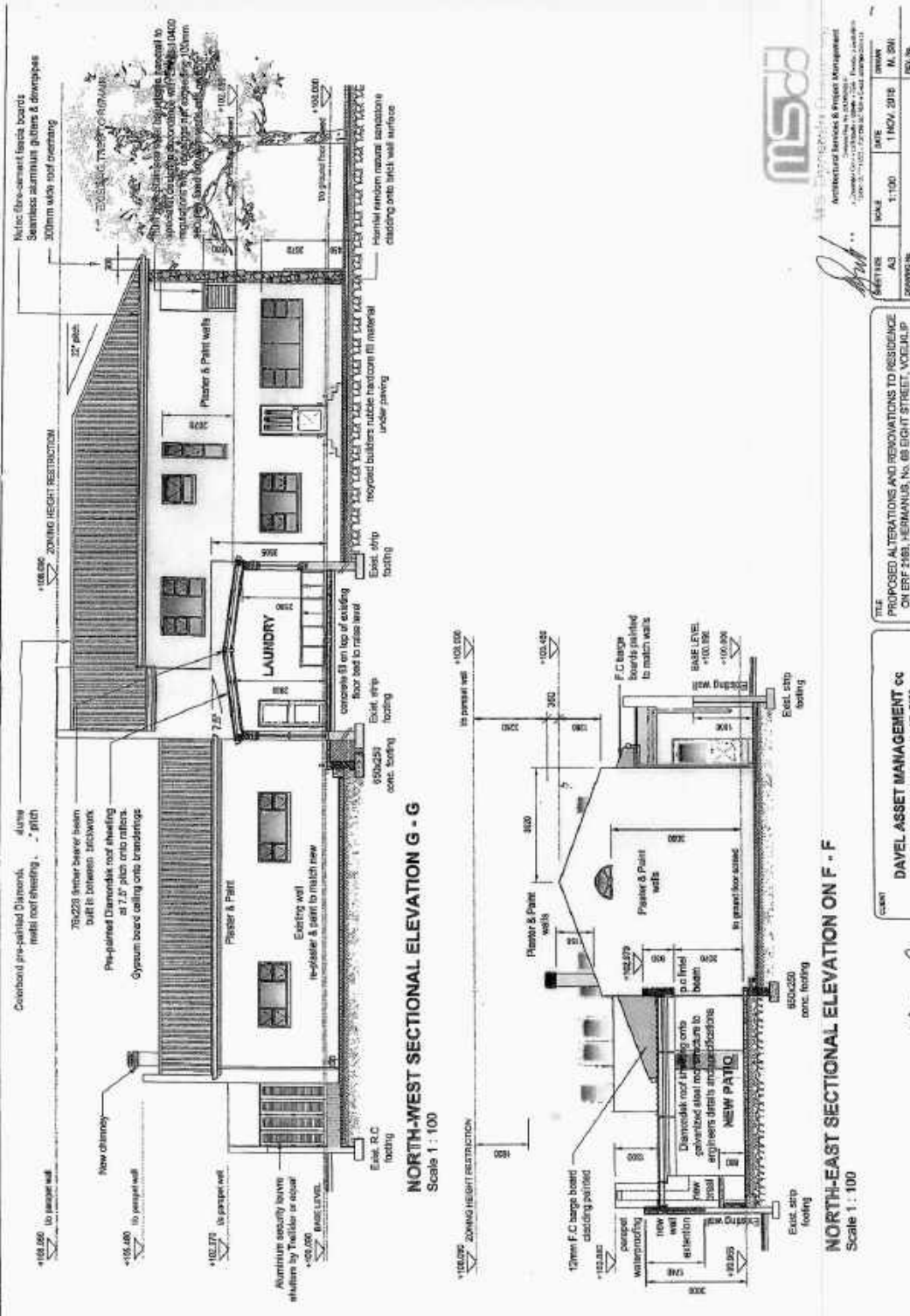


msd
Architect Services & Project Management
15001-15002, 15003, 15004, 15005, 15006, 15007, 15008, 15009, 15010, 15011, 15012, 15013, 15014, 15015, 15016, 15017, 15018, 15019, 15020, 15021, 15022, 15023, 15024, 15025, 15026, 15027, 15028, 15029, 15030, 15031, 15032, 15033, 15034, 15035, 15036, 15037, 15038, 15039, 15040, 15041, 15042, 15043, 15044, 15045, 15046, 15047, 15048, 15049, 15050, 15051, 15052, 15053, 15054, 15055, 15056, 15057, 15058, 15059, 15060, 15061, 15062, 15063, 15064, 15065, 15066, 15067, 15068, 15069, 15070, 15071, 15072, 15073, 15074, 15075, 15076, 15077, 15078, 15079, 15080, 15081, 15082, 15083, 15084, 15085, 15086, 15087, 15088, 15089, 15090, 15091, 15092, 15093, 15094, 15095, 15096, 15097, 15098, 15099, 15100

PROPOSED ALTERNATIVE RENOVATIONS TO RESIDENCE
ON ERF 2191, HERMANUS, No. 88 EIGHT STREET, VOOEJALP

DATE 1 NOV 2018
SCALE 1:100
DRWING M. BMT
NO. 10

CLIENT D.L. ASSET MANAGEMENT cc
5 RIVERBANK MEMBERS PLACE 7180



NORTH-WEST SECTIONAL ELEVATION G - G
Scale 1 : 100

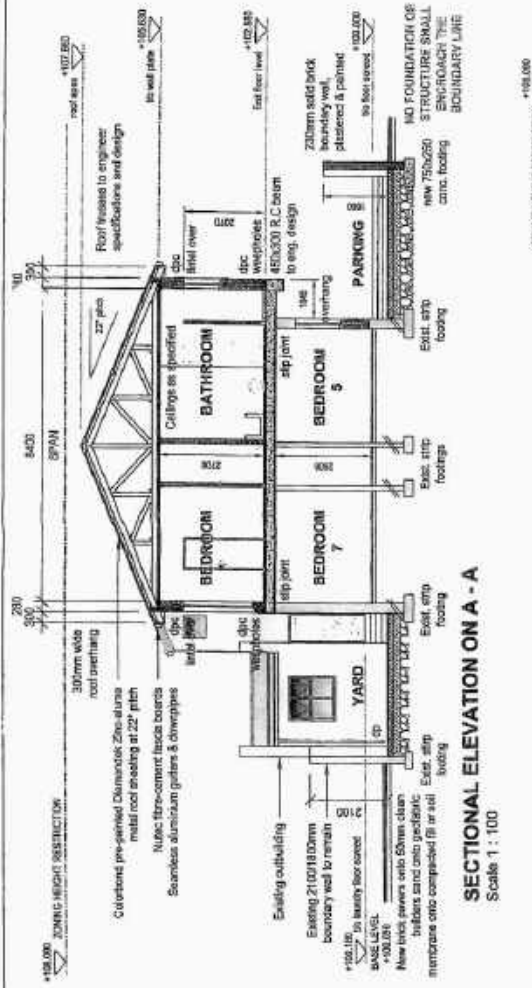
NORTH-EAST SECTIONAL ELEVATION ON F - F
Scale 1 : 100

MSBM
Architectural Services & Project Management
Architects & Engineers
2009/01/01 - 2018/03/01
2018/03/01 - 2023/03/01

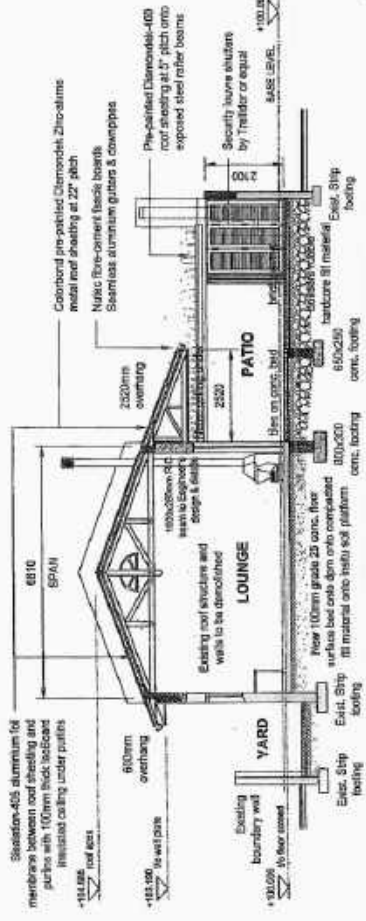
DATE: 1 NOV 2018
SCALE: 1:100
PROJECT: M 208
DRAWN BY: A3
CHECKED BY: [Signature]

FILE
PROPOSED ALTERATIONS AND RENOVATIONS TO RESIDENCE
ON ERF 198, HERMANUS, No. 68 EIGHT STREET, VOOIJEP

CLIENT
DAVEL ASSET MANAGEMENT CC
P.O. BOX 644, SPRINGBOOM, 7531



SECTIONAL ELEVATION ON A - A
Scale 1 : 100



SECTIONAL ELEVATION ON D - D
Scale 1 : 100

msd
Architectural Services & Project Management
110/112 Pacific Parade, Suite 101, North Sydney, NSW 1585
Tel: 02 9439 7000 Fax: 02 9439 7001
www.msda.com.au

DATE: 1 NOV 2018
SCALE: 1:100
DRAWN: M. SM
CHECKED: [Signature]
PROJECT: RENOVATIONS TO RESIDENCES ON ERF 2168, HERMANNO, NO. 88 EIGHT STREET, VOELVELP
DRAWING NO: 1804-RDP-006

PROPOSED ALTERNATIVE RENOVATIONS TO RESIDENCES ON ERF 2168, HERMANNO, NO. 88 EIGHT STREET, VOELVELP SECTIONAL ELEVATION ON A - A

CLIENT: DA, CL ASSET MANAGEMENT CC
P O BOX 991, HORNBY PLACE 1460

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2169, VOELKLIP (2914/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2169, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**9. REMAINDER ERF 2382, 2 FIFTH AVENUE, VOËLKLIIP, HERMANUS:
APPLICATION FOR DEPARTURE: MESSRS WYNAND WILSENACH
ARCHITECTS ON BEHALF OF PLENTY PROPERTIES 87 (PTY) LTD**

2382 HVK (4061)

H Boshoff

(028) 313 8900

Hermanus Administration

1 October 2019

Executive Summary

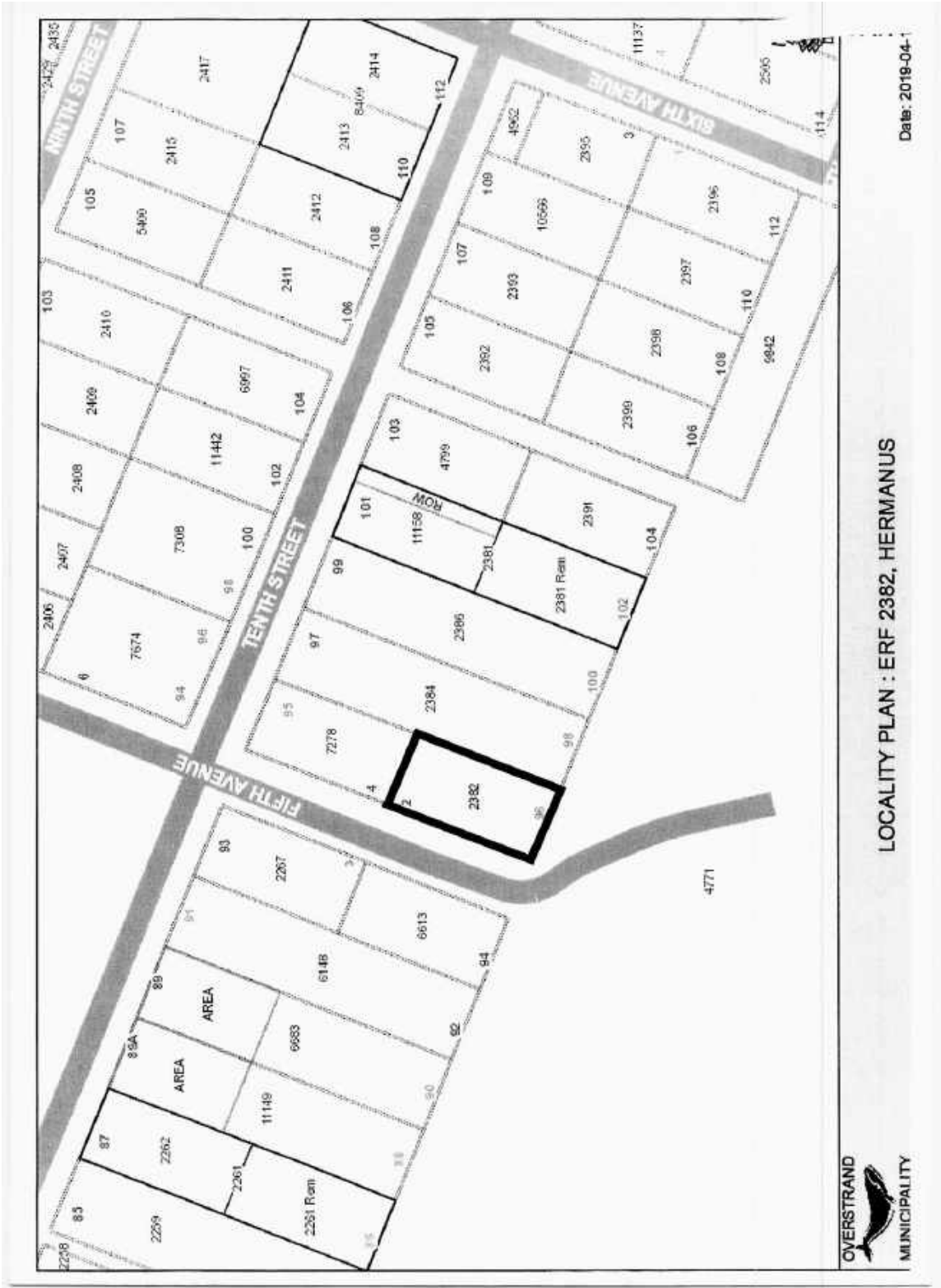
An application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 15 April 2019 from Messrs Wynand Wilsenach Architects on behalf Plenty Properties 87 (Pty) Ltd applicable to Remainder Erf 2382, Hermanus in order to exceed the height restriction of the existing western street boundary wall from 2,1m to $\pm 2,25$ m at the lowest point thereof, and $\pm 3,1$ m at the highest point thereof.

RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2382, Hermanus in order to relax the height restriction of the existing western street boundary wall from 2,1m to $\pm 2,25$ m at the lowest point thereof, and $\pm 3,1$ m at the highest point thereof, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as per the measurements indicated on Site Development Plan LAD_101 dated NOV 2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all the applicable conditions of Engineering Services, be complied with;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

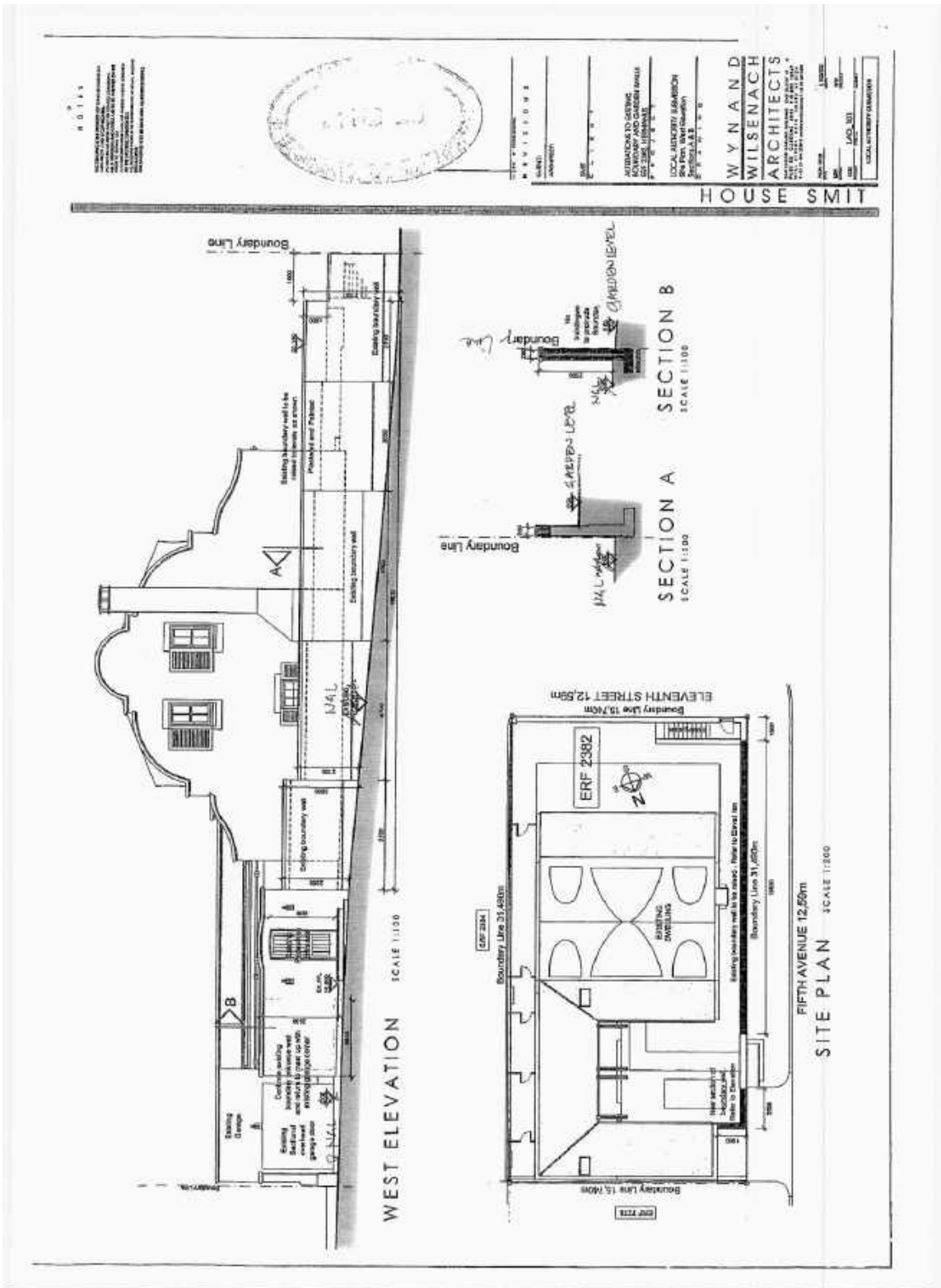
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN : ERF 2382, HERMANUS



Date: 2019-04-1



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: REMAINDER ERF 2382, VOELKLIP (4061)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Remainder Erf 2382, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

10. ERF 9839, ELEVENTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA : PROPOSED AMENDMENT OF CONSTITUTION: SANDALS BEACH HOUSES HOME OWNERS' ASSOCIATION

9839 HVK (2998)

P Roux

(028) 313 8900

Hermanus Administration

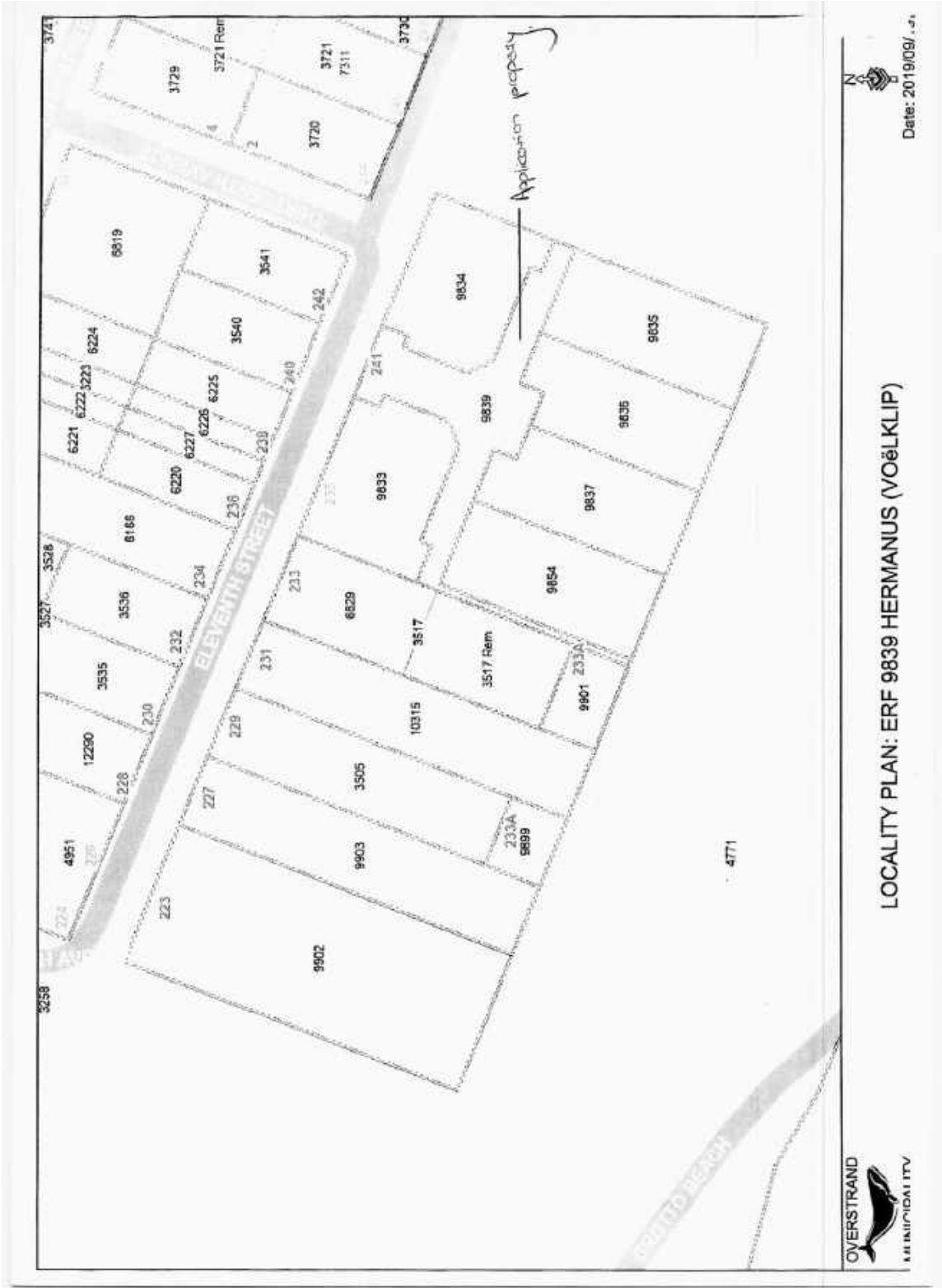
16 September 2019

Executive Summary

An application has been received on 18 March 2018 from Sandals Beach Houses Home Owners' Association in terms of Section 16(2)(l) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Constitution applicable to the group housing development.

RECOMMENDATION

1. that the application to amend the Sandals Beach Houses Home Owners' Association Constitution in terms of Section 16(2)(l) of the Overstrand Municipal Land Use Planning By-Law, 2015 applicable to Sandals Beach Houses, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the Municipality be notified should any additional changes be made to the Sandals Beach Houses Constitution and or Architectural Guidelines, and
 - (b) that the Municipality be notified should the Home Owners' Association cease to exist and that a new one be re-established immediately.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Date: 2019/09/12

LOCALITY PLAN: ERF 9839 HERMANUS (VOELKLIP)



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

11. ERF 456, 6 KIEWIET CRESCENT, SANDBAAI: OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MJ & K KRIEL

456 HSB (3240)

**H van der Stoep
11 October 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

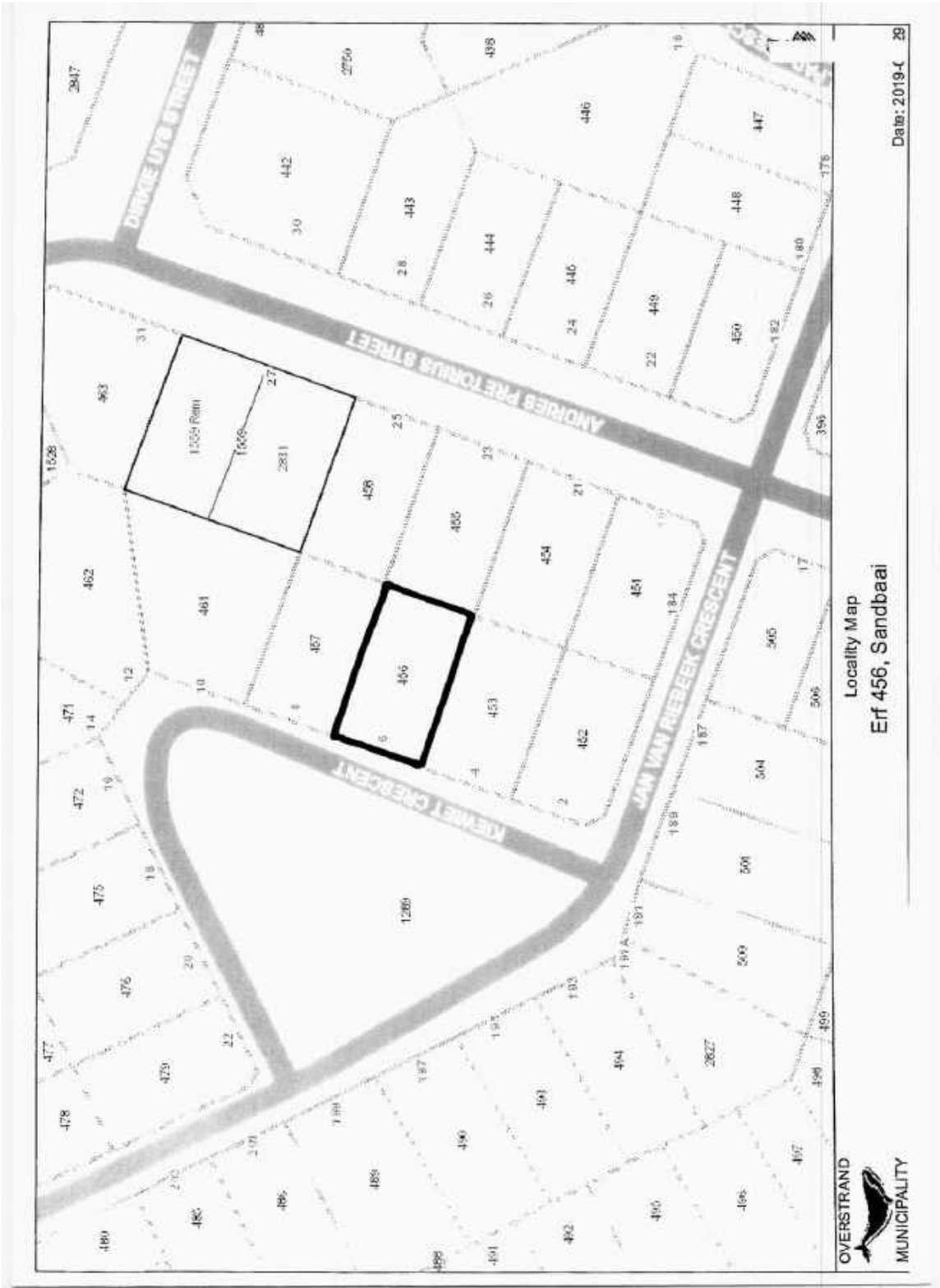
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 26 June 2019 from MJ & K Kriel applicable to Erf 456, Sandbaai for the relaxation of the northern lateral building line from 2m to $\pm 1,390$ m to accommodate an extension of a study room at ground floor level underneath the first floor level balcony.

RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 456, Sandbaai for the relaxation of the northern lateral building line from 2m to $\pm 1,390$ m to accommodate a section of a study room at ground floor level of the dwelling unit, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the dimensions of the structures as indicated on Plan Numbers SB 456A/2019 1 of 2 and 2 of 2 dated 24/04/2019 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all applicable conditions of approval as per letter dated 14 September 2018 still be complied with;
 - (d) that the relevant conditions of Engineering Services, be complied with;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Map
Erf 456, Sandbaai



GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND DIMENSIONS OF THE STRUCTURE TO BE CONSTRUCTED AND REPORT TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCY.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE SANS STANDARDS AND CODES OF PRACTICE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
6. ALL UTILITIES SHALL BE PROTECTED AND DEEPER LEVELS SHALL BE MAINTAINED.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SANS STANDARDS AND CODES OF PRACTICE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
14. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
15. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
18. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
19. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

CONSTRUCTION NOTES

1. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE CURED PROPERLY.
2. ALL REINFORCEMENT SHALL BE INSTALLED AND TIED PROPERLY.
3. ALL WALLS SHALL BE CONSTRUCTED WITH THE SPECIFIED FINISHES.
4. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE SANS STANDARDS.
5. ALL FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH THE SANS STANDARDS.
6. ALL DOORS AND WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE SANS STANDARDS.
7. ALL ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE SANS STANDARDS.
8. ALL PAINTING SHALL BE DONE IN ACCORDANCE WITH THE SANS STANDARDS.
9. ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH THE SANS STANDARDS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
11. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
12. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
14. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
20. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER AND DAMAGE.

DRAINAGE NOTES

1. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO REMOVAL OF ALL SURFACE WATER FROM THE SITE.
2. ALL DRAINAGE SHALL BE TO THE STREET OR TO A DESIGNATED DRAINAGE POINT.
3. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SANS STANDARDS.
4. ALL DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.
5. ALL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SANS STANDARDS.
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20. ALL DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.

SECTION B-B
SCALE 1:100

SECTION C-C
SCALE 1:100

GROUND STOREY LAY-OUT
SCALE 1:100

FIRST STOREY LAY-OUT
SCALE 1:100

AMENDED PLAN & ADDITIONS
OWNER: 466, KIEWIT CRESCENT,
SANDRINGHAM
CLIENT:

M.J. & K. KRIEL

| DATE | REVISIONS | PLANNED | BY | DATE | REVISIONS | PLANNED | BY |
|------|-----------|---------|----|------|-----------|---------|----|
| | | | | | | | |

UNIVERSITY OF THE WESTERN CAPE
SCHOOL OF ARCHITECTURE
ARCHITECTS
1000 UNIVERSITY DRIVE
SANDRINGHAM 7800

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 456, SANDBAAI (3240)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 - P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 456, Sandbaai, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

12. REMAINDER OF FARM 562, A DIVISION OF CALEDON: APPLICATION FOR CONSENT USE: MESSRS KLG ARCHITECTS for CAPE NATURE ON BEHALF OF OVERSTRAND MUNICIPALITY

562 RCAL (3048/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

17 October 2019

Executive Summary

An application has been received on 26 February 2019 from Messrs KLG Architects for Cape Nature on behalf of the Overstrand Municipality on the Remainder of Farm 562, Caledon in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to construct a gatehouse on the property.

RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Remainder of Farm 562, Caledon for a consent use to construct a gatehouse on the property concerned, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the development is restricted to the conditions of the lease agreement with the Overstrand Municipality;
 - (b) that this approval be limited to Plan numbers 1309-E-LA100 and 1309-E-LA101 REV T11 dated 21 February 2019, as submitted with the application,
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (f) that all the conditions in the Services Report, be complied with, and
 - (g) that all the conditions imposed by the Western Cape Government: Transport & Public Works, be complied with.

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN
 REMAINDER OF FARM 562/ CALZODON

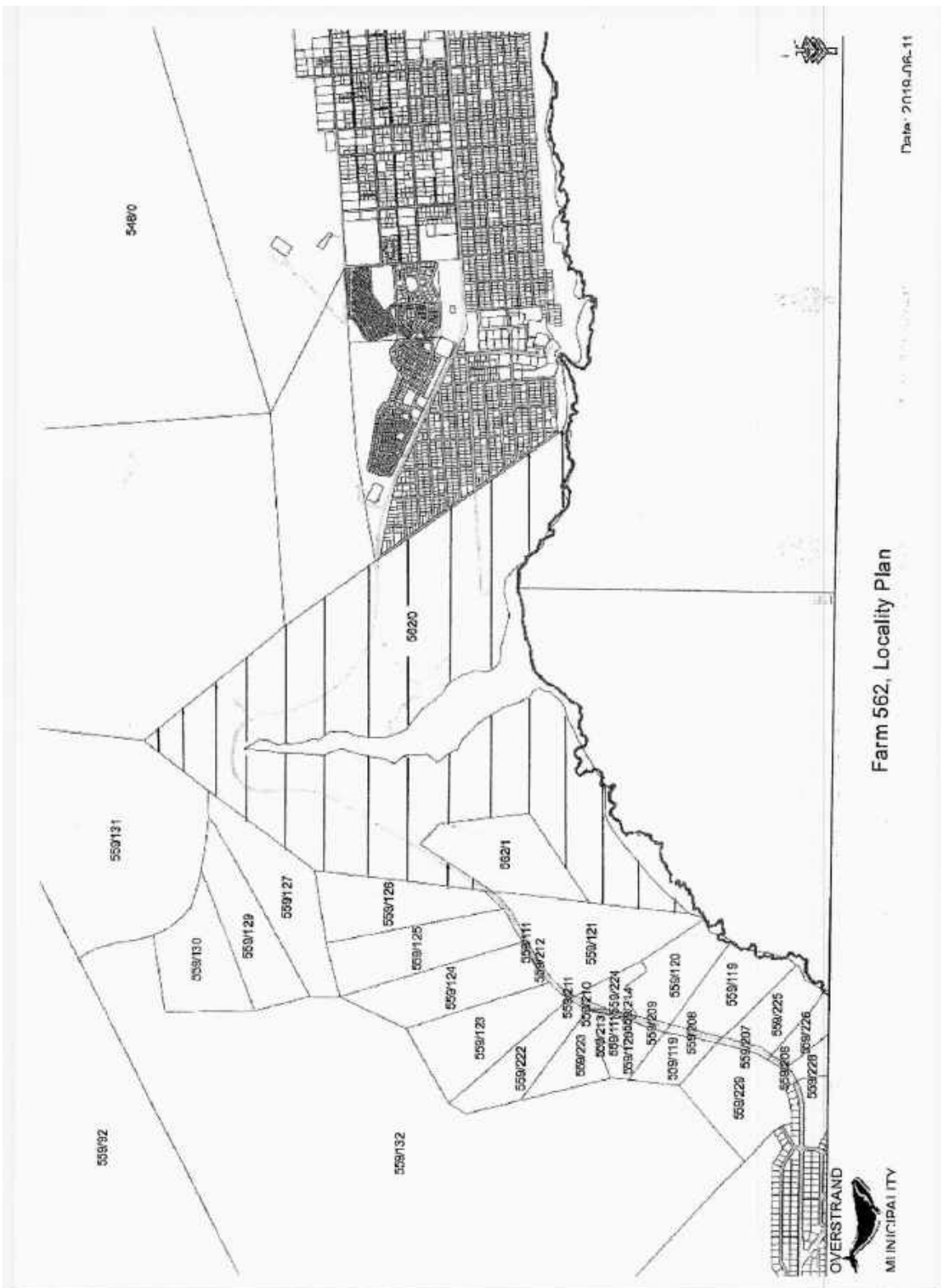
OPEN SPACE ZONE 1
 No building lines apply.

KIG |

CAPE NATURE
 Rogierberg Nature Reserve

LOCALITY PLAN

SCALE 1:5000



Farm 562, Locality Plan

Date: 2019_06_11



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: REMAINDER OF FARM 562, A
DIVISION OF CALEDON (3048/2019)**

| | | |
|-------------------|---|------------|
| Electricity | : | Eskom Area |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Remainder of Farm 562, A Division of Caledon, unobstructed;
4. that no on-street parking be allowed;

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

14/08/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

13. ERF 3003, 21 PALMIET ROAD, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: M KIESSLING

3003 KKM (3030/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

24 October 2019

Executive Summary

An application was received on 29 April 2019 from M Kiessling for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 3003, Kleinmond in order to relax the street building line of the property from 4m to $\pm 2,56$ m to accommodate a 0,44m extension of the 1m allowable overhang of the concrete slab above the semi-open patio, as well as the load bearing wall at the eastern edge of the concrete slab.

RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 3003, Kleinmond in order to relax the street building line of the property from 4m to $\pm 2,56$ m to accommodate a 0,44m extension of the 1m allowable overhang of the concrete slab above the semi-open patio, as well as the load bearing wall at the eastern edge of the concrete slab, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval only be applicable for the encroachments as indicated on Site Development Plan 2017-57 dated 27-03-2019 that was submitted with the application;
 - (b) that the two (2) remaining open sides of the semi-open patio may not be enclosed whatsoever;
 - (c) that "as built" building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that all the relevant conditions contained in the Services Report, be complied with;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and

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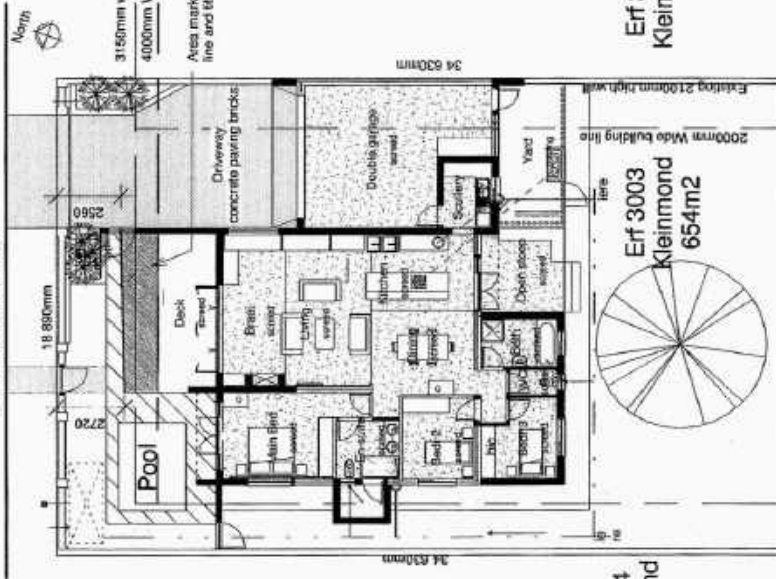
- (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 3003 Kleinmond

Date: 2019-05-02

21 Palmiet Street



3150mm wide set back (Title deed)
 4000mm Wide building line (Town planning Scheme)

Area marked in red is encroaching over building line and title deed restriction

Erf 3004
 Kleinmond

Erf 3002
 Kleinmond

Erf 3003
 Kleinmond
 654m²

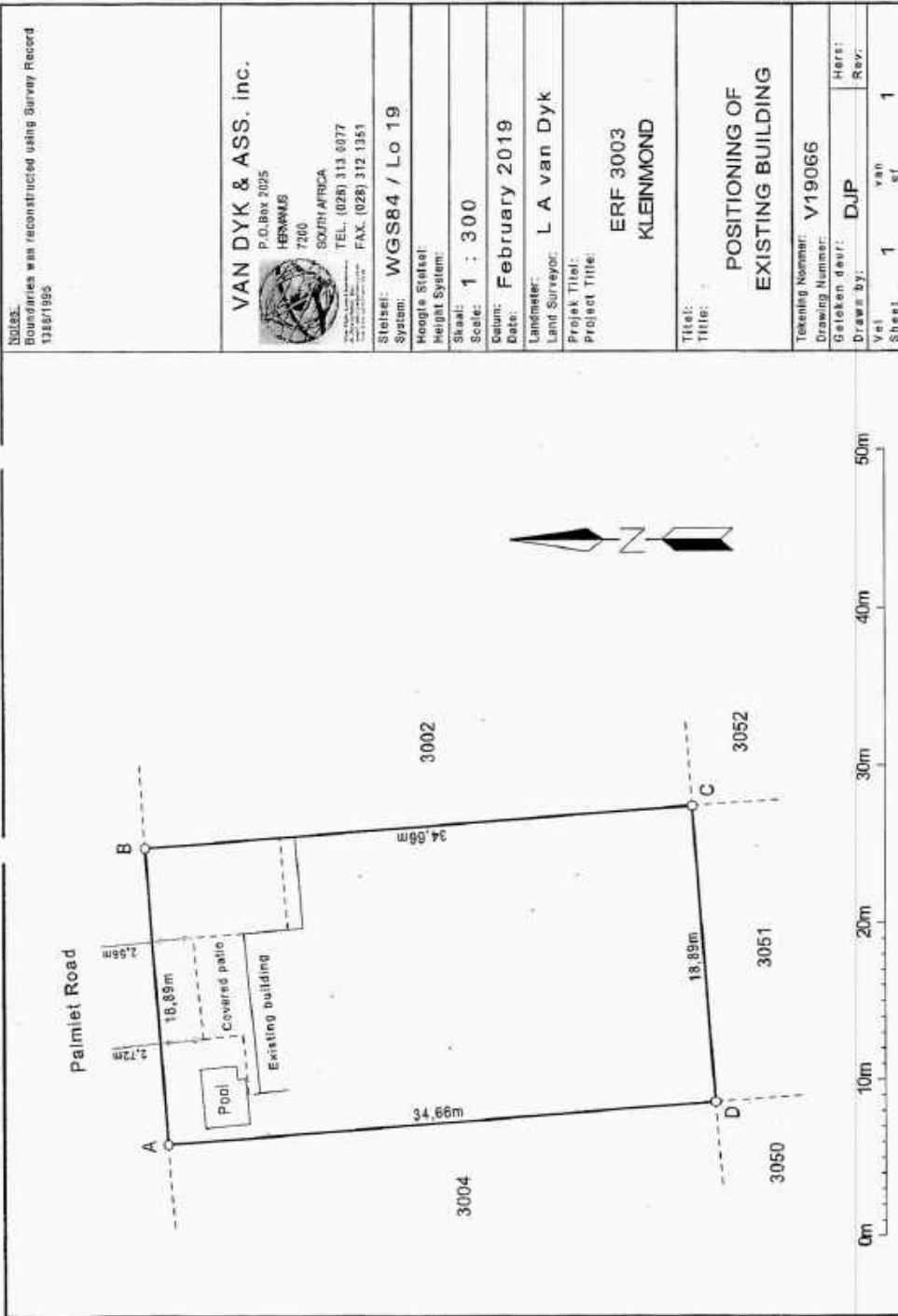
Additions and alterations to existing residence on Erf 3003 Kleinmond - 2017-57
 Building line



27-03-2019

Copyright reserved on content, topography and style

2018-03-14
 1:00 PM



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3003, KLEINMOND (3030/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 3003, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

p.p. R. Chodwa
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

13/08/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

14. FARM NO 1000, DE BOS DAM, HEMEL & AARDE VALLEY, DIVISION OF CALEDON, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: MESSRS WRAP ON BEHALF OF THE KATHY'S TRUST

1000 RCAL (4068)

H van der Stoep

17 October 2019

(028) 313 8900

Hermanus Administration

Executive Summary

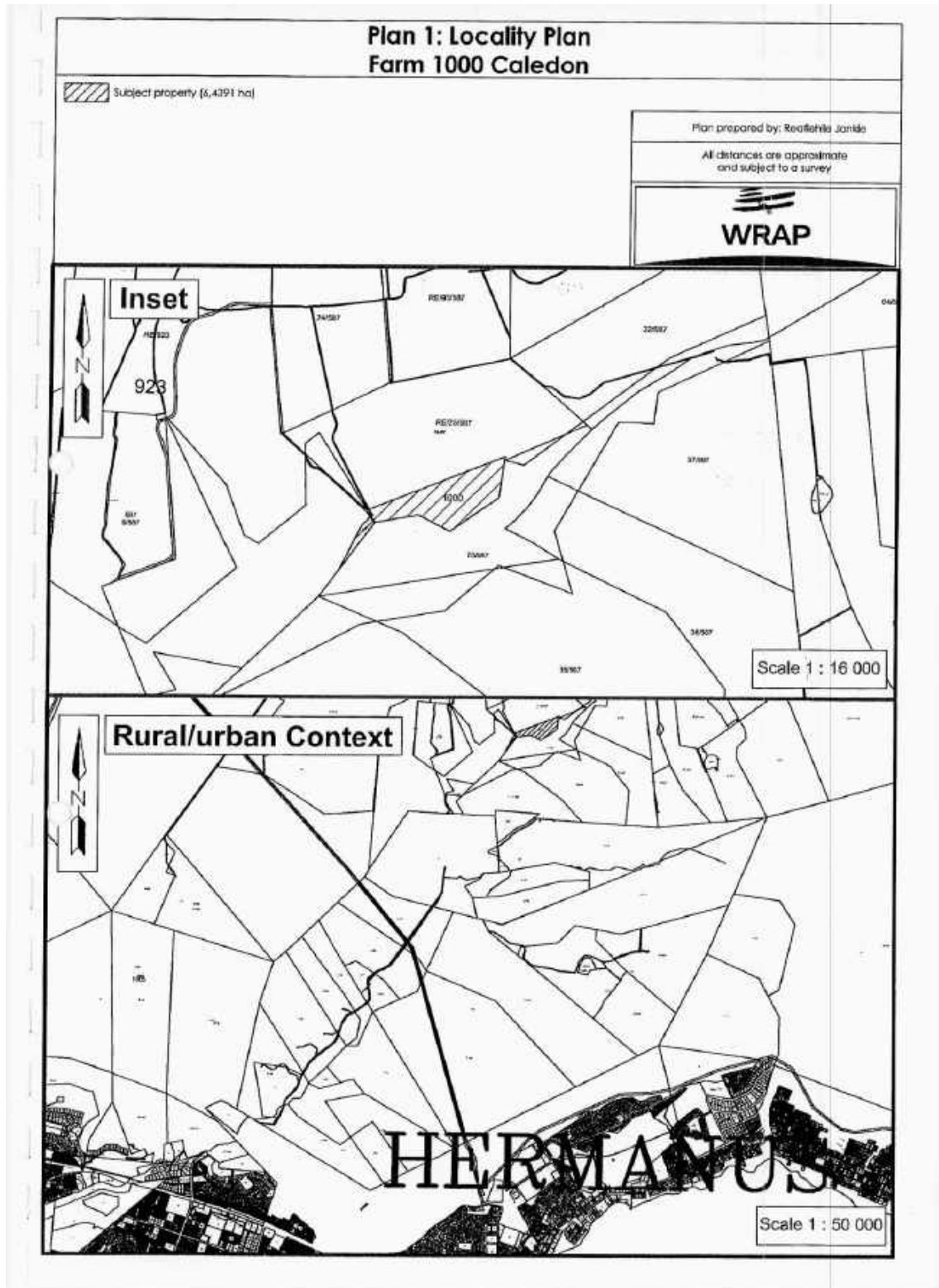
An application has been received on 27 June 2018 from Messrs WRAP on behalf of the Kathy's Trust on Farm No 1000, Division of Caledon for a consent in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to accommodate three (3) additional dwelling units for tourist accommodation and tourist facilities consisting of lecture rooms and associated facilities.

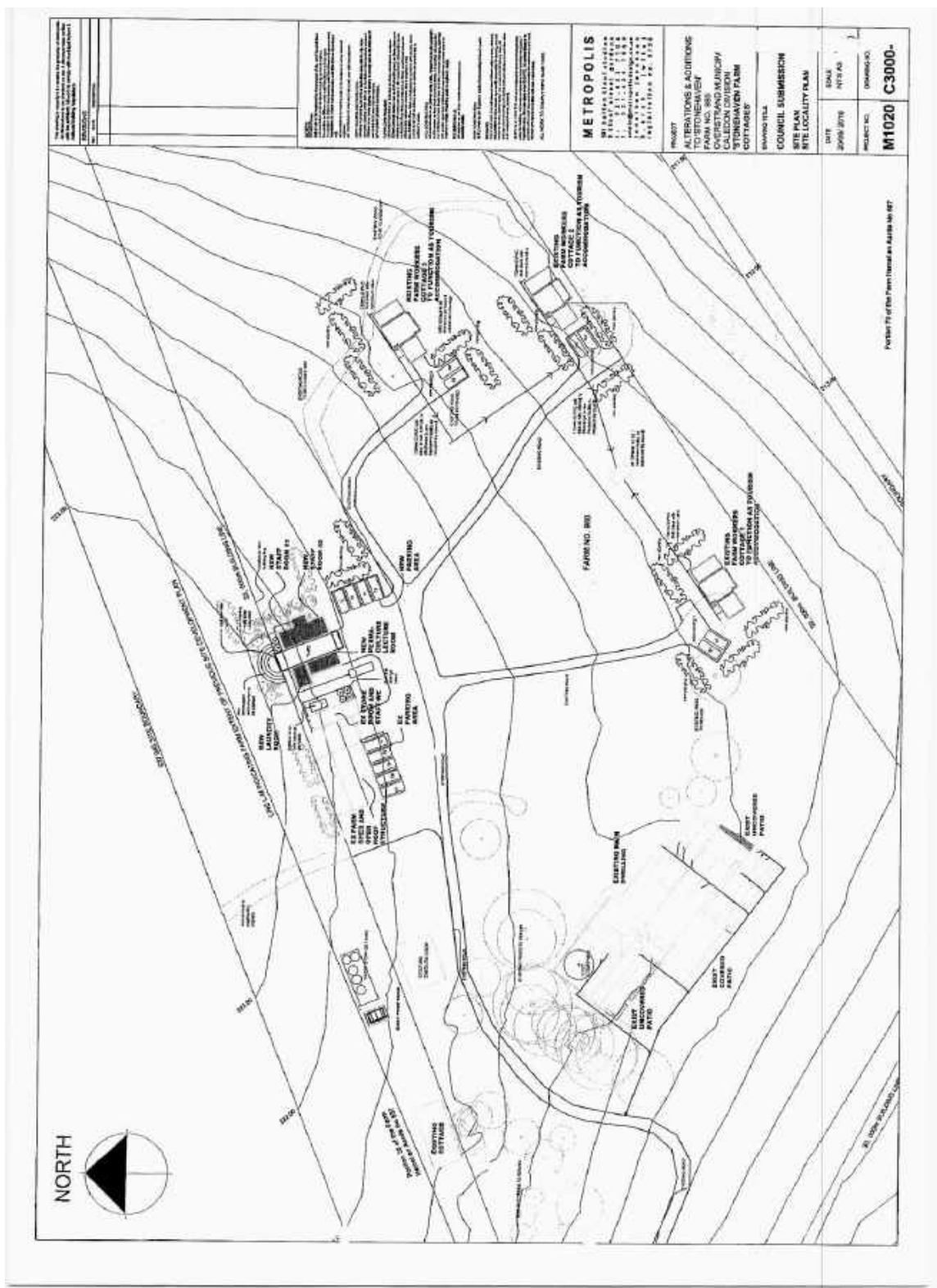
RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Farm No 1000, Division of Caledon for a consent use in order to accommodate three (3) additional dwelling units for tourist accommodation and tourist facilities consisting of lecture rooms and associated facilities, **be approved** subject to the following conditions:
 - (a) that this approval be restricted to three (3) self-catering tourism accommodation and tourism facilities consisting of a lecture room, rest rooms and laundry, as indicated on Drawing No. C3000- dated 20 June 2018;
 - (b) that the development be restricted to 1108m²;
 - (c) that a site development plan be submitted indicating parking and area of extent of the buildings;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (e) that commercial rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;

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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (f) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (g) that the sign complies with the Municipal By-Law on Signage
 - (h) that the facility be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
 - (i) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (j) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (k) that all the conditions in the Services Report, be complied with;
 - (l) that all the conditions imposed by the Fire Department, be complied with, and
 - (m) that all the conditions imposed by Cape Nature, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.





Plan 3 Site Development Plan Farm 1000 Caledon

-  Subject property (6.497 ha)
-  Building line

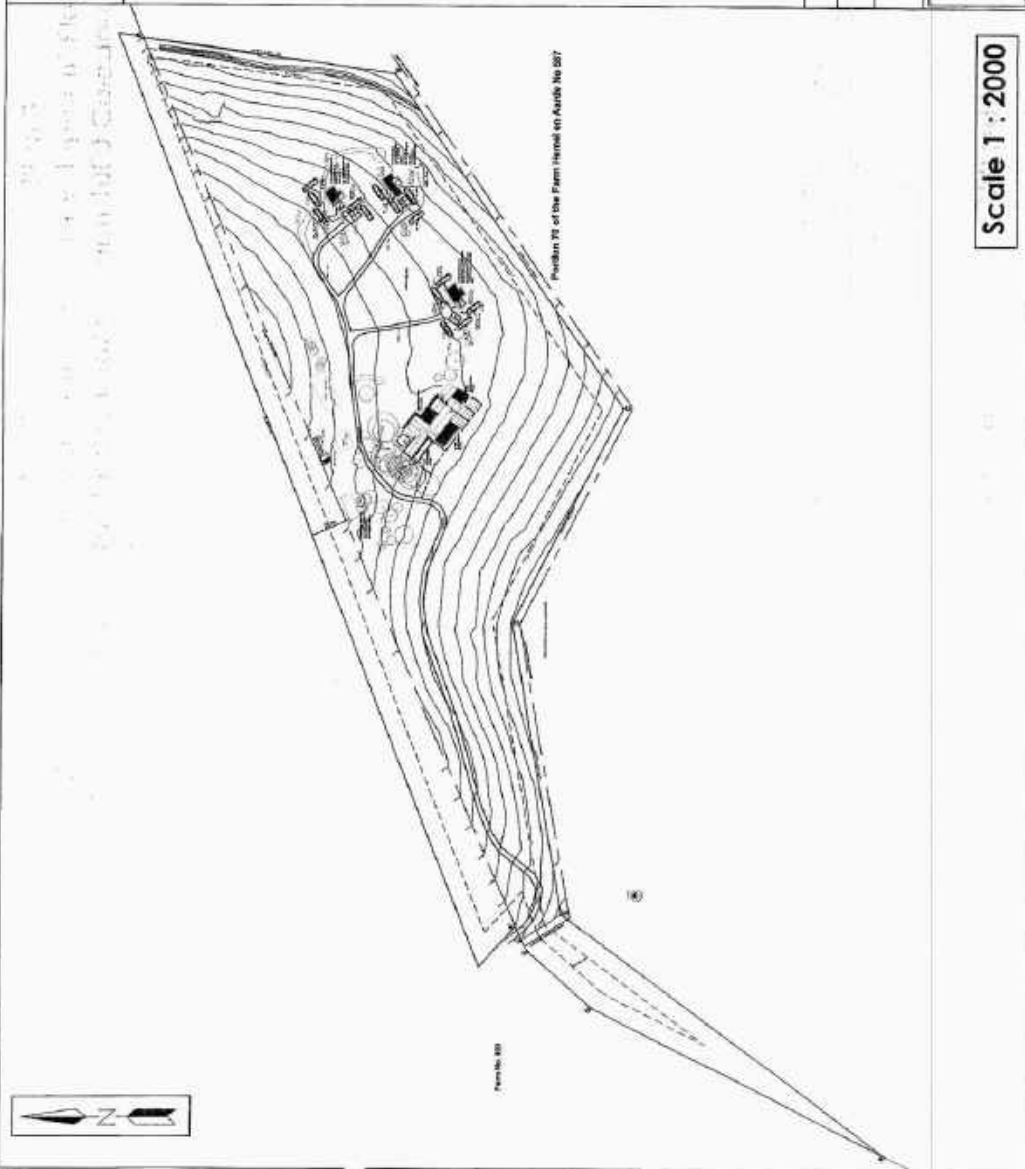
Based on plans by Metroplan Designs

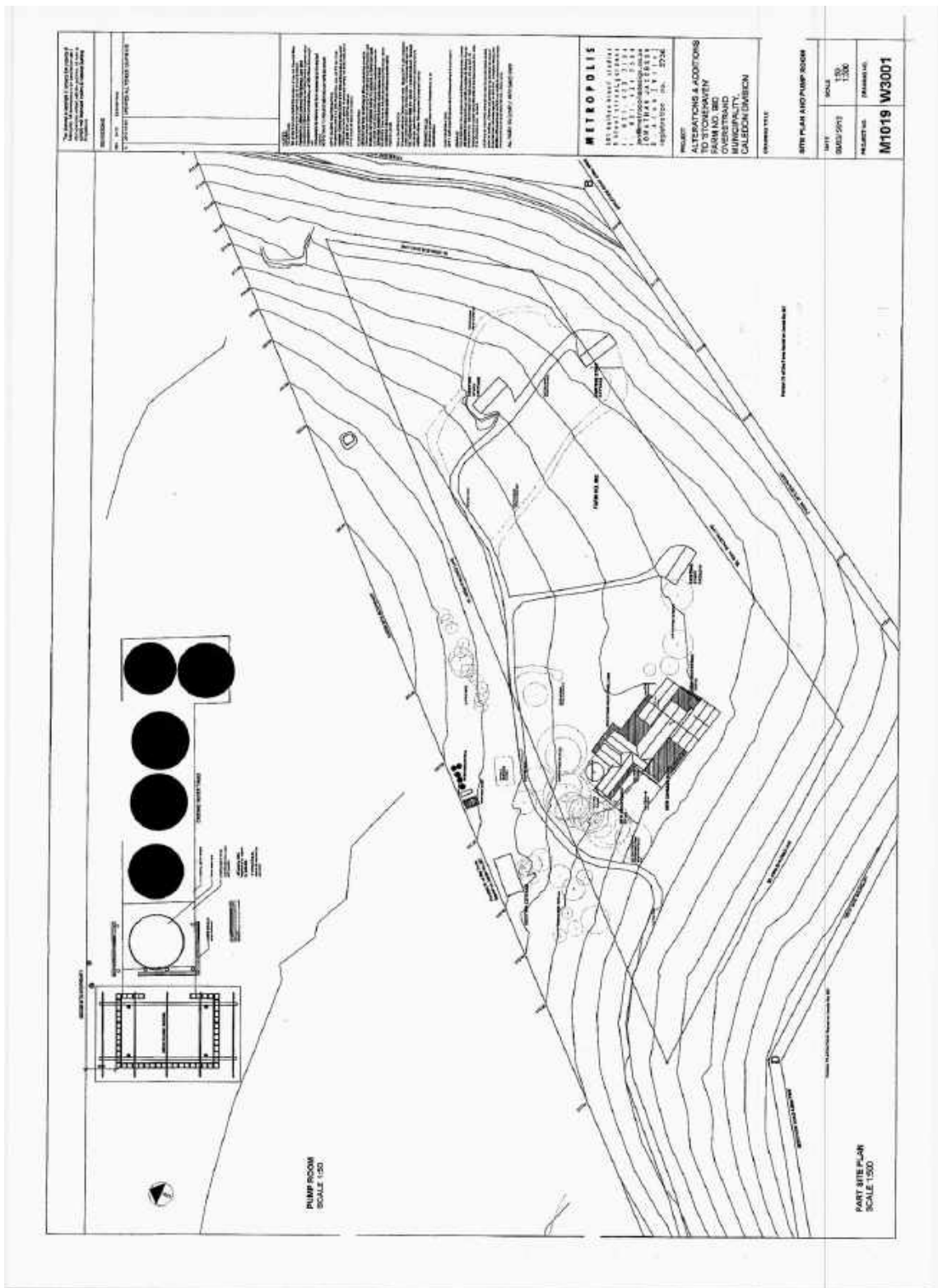
Plan prepared by: Reathelle Jamile

All distances are approximate and subject to a survey



Scale 1 : 2000





THE CITY OF METROPOLIS ENGINEERING DEPARTMENT
 100 SOUTH MAIN STREET
 METROPOLIS, MISSOURI 64573
 PROJECT NO. 2018-010

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 1 | 04/12/2018 | ISSUED FOR PERMITS |

METROPOLIS
 100 SOUTH MAIN STREET
 METROPOLIS, MISSOURI 64573
 PHONE: (660) 333-2111
 FAX: (660) 333-2112
 WWW.METROPOLISMO.org

PROJECT:
 ALTERATIONS & ADDITIONS
 TO STORMWATER
 PUMP NO. 282
 PROJECT NO. 2018-010
 MUNICIPALITY:
 CALEDON DIVISION

DESIGNED BY:
 METROPOLIS ENGINEERING DEPARTMENT

DATE: 04/12/2018
SCALE: 1" = 150'
PROJECT NO.: 2018-010
DRAWING NO.: M1019 W3001

PUMP ROOM
 SCALE 1:50

PART SITE PLAN
 SCALE 1:500

FOR INFORMATION

METROPOLIS

211 SOUTH STREET, SUITE 200
 SEASIDE, CALIFORNIA 92138
 TEL: 619.441.5188
 FAX: 619.441.5188
 WWW.METROPOLISWATER.COM
 REGISTRATION NO. 2020

PROJECT: ALTERATIONS & ADDITIONS TO EXISTING WATER STORAGE TANK - OVERSTAND MUNICIPALITY, CALEDON DIVISION

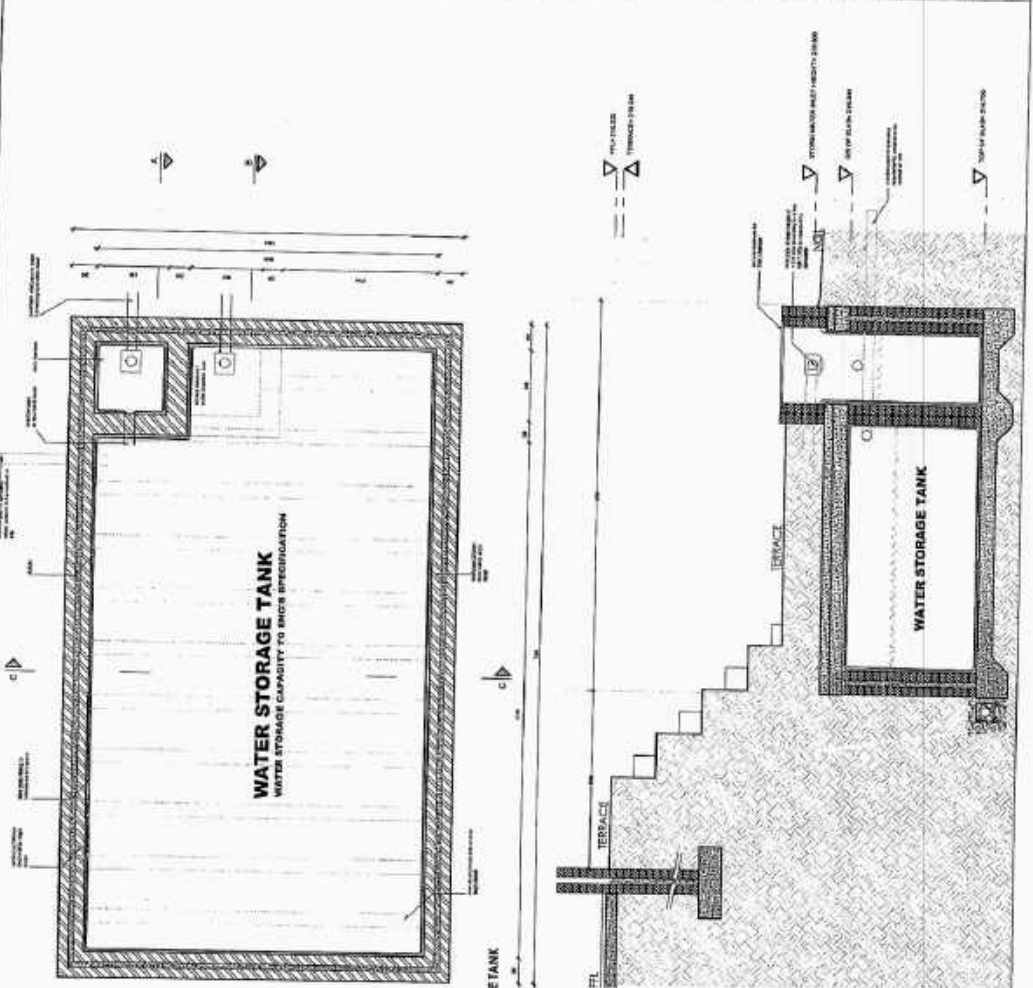
WORKING DRAWING: WATER STORAGE TANK - PLAN

DATE: 08/04/2010

SCALE: 1"=30'

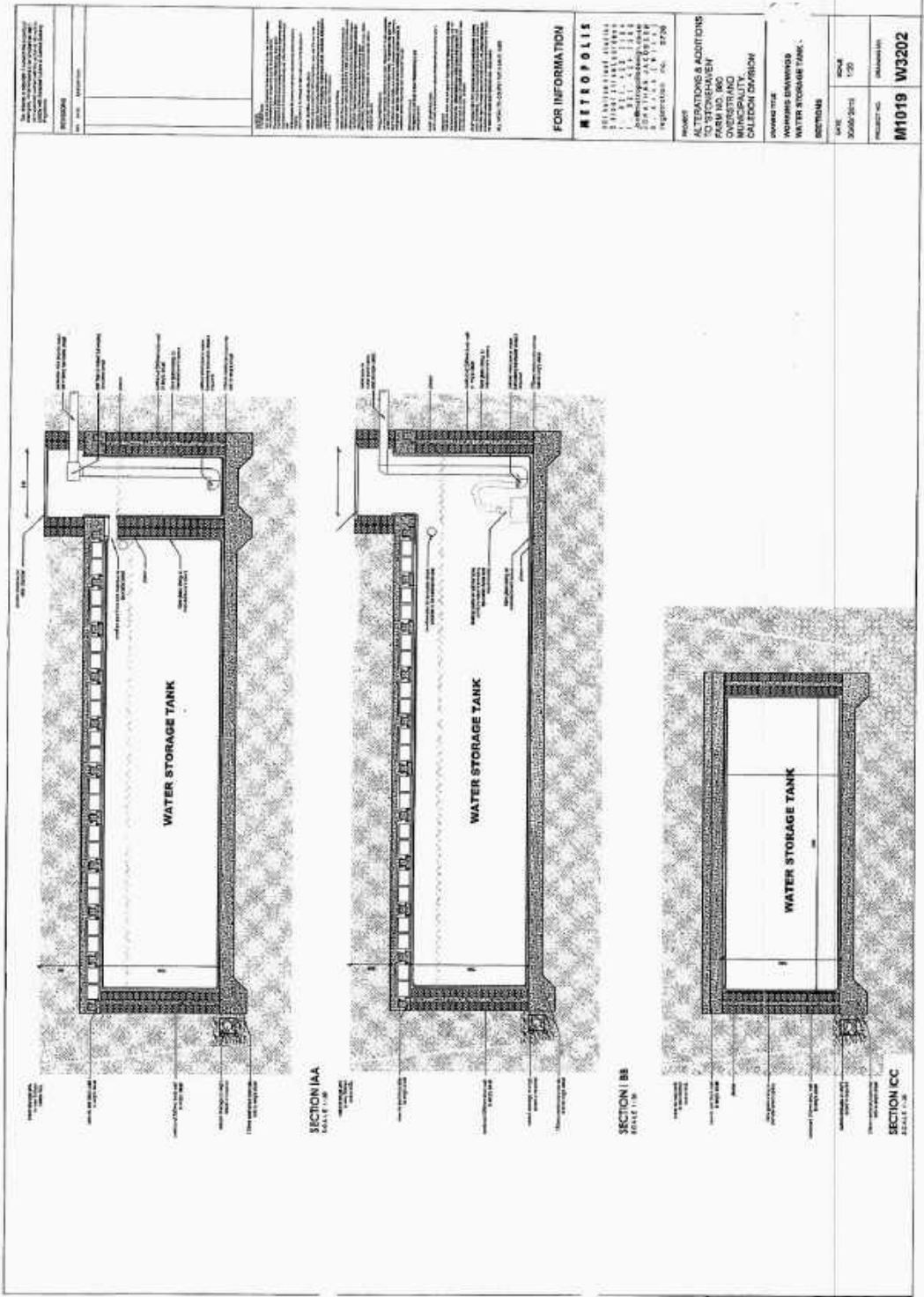
PROJECT NO.: MM1019

DRAWING NO.: WS201



NOTES:

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. CONCRETE SHALL BE 4000 PSI STRENGTH.
3. REINFORCING BARS SHALL BE #4.
4. ALL REINFORCING BARS SHALL BE LAP SPICED AT 40 BAR LENGTHS.
5. ALL REINFORCING BARS SHALL BE TIED TOGETHER AT ALL CORNERS AND INTERSECTIONS.
6. ALL REINFORCING BARS SHALL BE TIED TO THE FORMWORK.
7. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS.
8. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK FLOOR.
9. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK ROOF.
10. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK CURBS.
11. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS AND FLOOR.
12. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK ROOF AND CURBS.
13. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, AND CURBS.
14. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, AND INTERSECTIONS.
15. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, INTERSECTIONS, AND CORNERS.
16. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, INTERSECTIONS, CORNERS, AND JOINTS.
17. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, INTERSECTIONS, CORNERS, JOINTS, AND REINFORCING BARS.
18. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, INTERSECTIONS, CORNERS, JOINTS, REINFORCING BARS, AND FORMWORK.
19. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, INTERSECTIONS, CORNERS, JOINTS, REINFORCING BARS, FORMWORK, AND EXISTING TANK WALLS.
20. ALL REINFORCING BARS SHALL BE TIED TO THE EXISTING TANK WALLS, FLOOR, ROOF, CURBS, INTERSECTIONS, CORNERS, JOINTS, REINFORCING BARS, FORMWORK, EXISTING TANK WALLS, AND EXISTING TANK FLOOR.



THE DESIGN OF THIS PROJECT HAS BEEN APPROVED BY THE METROPOLIS WATERWORKS DEPARTMENT.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE TANK SHALL BE CONSTRUCTED OF REINFORCED CONCRETE.
3. THE TANK SHALL BE FINISHED WITH A SMOOTH INTERIOR SURFACE.
4. THE TANK SHALL BE PROVIDED WITH A ROOF OF REINFORCED CONCRETE.
5. THE TANK SHALL BE PROVIDED WITH A FLOOR OF REINFORCED CONCRETE.
6. THE TANK SHALL BE PROVIDED WITH WALLS OF REINFORCED CONCRETE.
7. THE TANK SHALL BE PROVIDED WITH A DOOR AT EACH END.
8. THE TANK SHALL BE PROVIDED WITH A LADDER AT EACH END.
9. THE TANK SHALL BE PROVIDED WITH A SCAFFOLD AT EACH END.
10. THE TANK SHALL BE PROVIDED WITH A RAMP AT EACH END.
11. THE TANK SHALL BE PROVIDED WITH A STAIR AT EACH END.
12. THE TANK SHALL BE PROVIDED WITH A PLATFORM AT EACH END.
13. THE TANK SHALL BE PROVIDED WITH A WALKWAY AT EACH END.
14. THE TANK SHALL BE PROVIDED WITH A HANDRAIL AT EACH END.
15. THE TANK SHALL BE PROVIDED WITH A GUARDRAIL AT EACH END.
16. THE TANK SHALL BE PROVIDED WITH A SIGN AT EACH END.
17. THE TANK SHALL BE PROVIDED WITH A LIGHT AT EACH END.
18. THE TANK SHALL BE PROVIDED WITH A VENT AT EACH END.
19. THE TANK SHALL BE PROVIDED WITH A DRAIN AT EACH END.
20. THE TANK SHALL BE PROVIDED WITH A CLEANOUT AT EACH END.
21. THE TANK SHALL BE PROVIDED WITH A MANHOLE AT EACH END.
22. THE TANK SHALL BE PROVIDED WITH A WALKOFF MAT AT EACH END.
23. THE TANK SHALL BE PROVIDED WITH A TRASH CAN AT EACH END.
24. THE TANK SHALL BE PROVIDED WITH A RECYCLING BIN AT EACH END.
25. THE TANK SHALL BE PROVIDED WITH A FIRE EXTINGUISHER AT EACH END.
26. THE TANK SHALL BE PROVIDED WITH A FIRST AID KIT AT EACH END.
27. THE TANK SHALL BE PROVIDED WITH A SAFETY SHEET AT EACH END.
28. THE TANK SHALL BE PROVIDED WITH A SAFETY SIGN AT EACH END.
29. THE TANK SHALL BE PROVIDED WITH A SAFETY LIGHT AT EACH END.
30. THE TANK SHALL BE PROVIDED WITH A SAFETY RAIL AT EACH END.
31. THE TANK SHALL BE PROVIDED WITH A SAFETY NET AT EACH END.
32. THE TANK SHALL BE PROVIDED WITH A SAFETY HOOK AT EACH END.
33. THE TANK SHALL BE PROVIDED WITH A SAFETY PIN AT EACH END.
34. THE TANK SHALL BE PROVIDED WITH A SAFETY SCISSOR AT EACH END.
35. THE TANK SHALL BE PROVIDED WITH A SAFETY WRENCH AT EACH END.
36. THE TANK SHALL BE PROVIDED WITH A SAFETY HAMMER AT EACH END.
37. THE TANK SHALL BE PROVIDED WITH A SAFETY SPOON AT EACH END.
38. THE TANK SHALL BE PROVIDED WITH A SAFETY TROWEL AT EACH END.
39. THE TANK SHALL BE PROVIDED WITH A SAFETY SHovel AT EACH END.
40. THE TANK SHALL BE PROVIDED WITH A SAFETY PICK AT EACH END.
41. THE TANK SHALL BE PROVIDED WITH A SAFETY AX AT EACH END.
42. THE TANK SHALL BE PROVIDED WITH A SAFETY SHovel AT EACH END.
43. THE TANK SHALL BE PROVIDED WITH A SAFETY PICK AT EACH END.
44. THE TANK SHALL BE PROVIDED WITH A SAFETY AX AT EACH END.
45. THE TANK SHALL BE PROVIDED WITH A SAFETY SHovel AT EACH END.
46. THE TANK SHALL BE PROVIDED WITH A SAFETY PICK AT EACH END.
47. THE TANK SHALL BE PROVIDED WITH A SAFETY AX AT EACH END.
48. THE TANK SHALL BE PROVIDED WITH A SAFETY SHovel AT EACH END.
49. THE TANK SHALL BE PROVIDED WITH A SAFETY PICK AT EACH END.
50. THE TANK SHALL BE PROVIDED WITH A SAFETY AX AT EACH END.

FOR INFORMATION

METROPOLIS

1000 WEST 10TH AVENUE
 DENVER, COLORADO 80202
 (303) 733-1000
 www.metrodenver.org

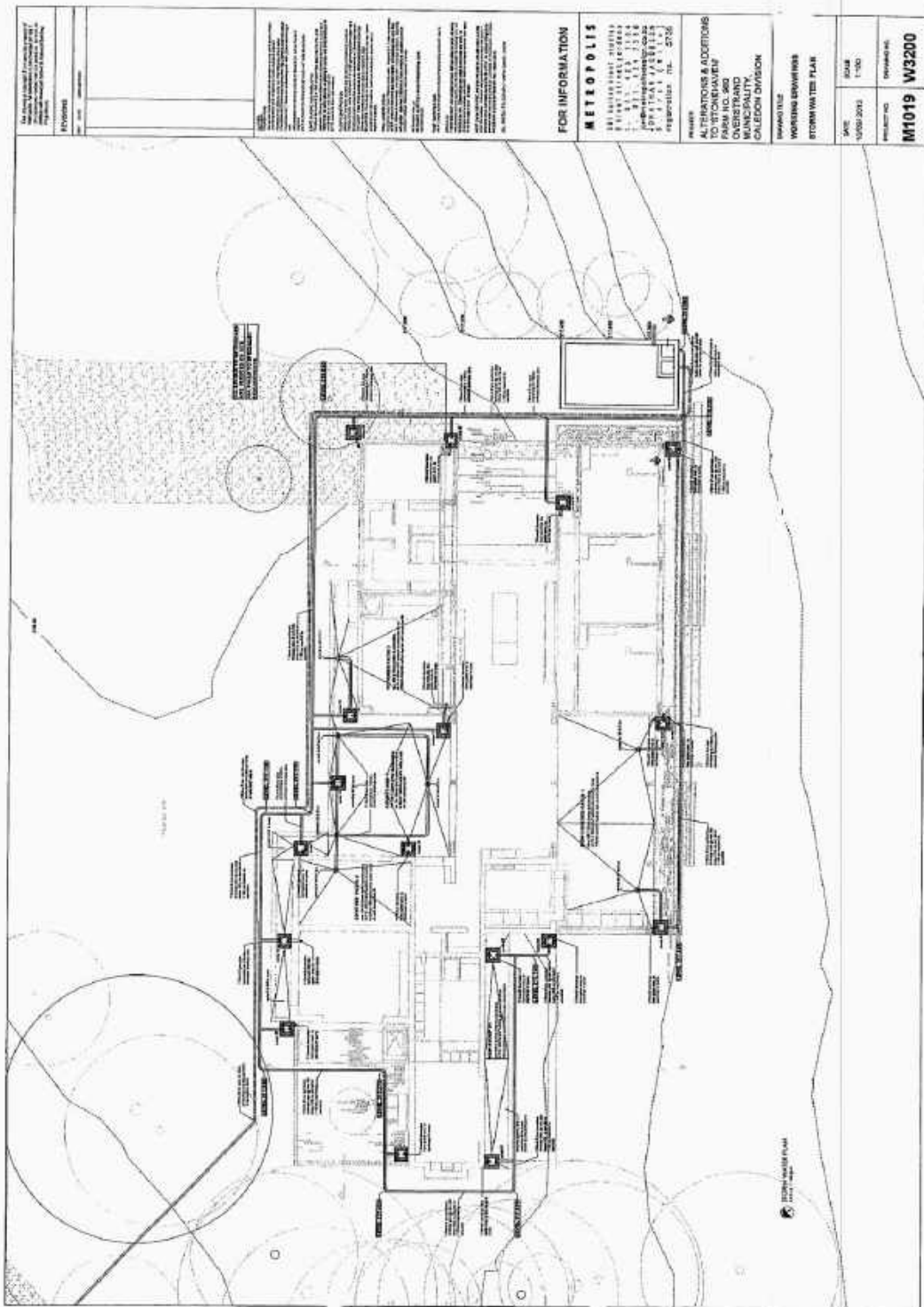
PROJECT
 ALTERATIONS & ADDITIONS
 TO STONEHAVEN
 FARM NO. 860
 WASHINGTON
 MANitou COUNTY
 CALLETON DIVISION

OWNER
 WORKERS DRINKING
 WATER STORAGE TANK

SECTION

DATE: 05/11/2011
 SCALE: 1/20

PROJECT NO. MM1019
SECTION NO. W3202



| <p>REVISIONS</p> <table border="1"><thead><tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table> | NO. | DATE | DESCRIPTION | | | | | | | <p>FOR INFORMATION</p> <p>METROPOLIS</p> <p>PLANNING DEPARTMENT STORMWATER DIVISION 300 EAST 12TH AVENUE DENVER, CO 80202 TEL: 303.233.4811 WWW.METROPOLIS.ORG</p> | <p>PROJECT</p> <p>ALTERATIONS & ADDITIONS TO STONEHAVEN FARM NO. 362 OWNER: RAY 1500 SOUTH CALLEON DIVISION</p> | <p>PROJECT NO.</p> <p>M1019 W3200</p> |
|--|-----------------------------------|--|--|--|--|--|--|--|--|--|--|--|
| NO. | DATE | DESCRIPTION | | | | | | | | | | |
| | | | | | | | | | | | | |
| | | | | | | | | | | | | |
| <p>DATE</p> <p>10/28/2012</p> | <p>SCALE</p> <p>1"=20'</p> | <p>PROJECT NO.</p> <p>M1019 W3200</p> | <p>PROJECT NO.</p> <p>M1019 W3200</p> | | | | | | | | | |
| <p>DATE</p> <p>10/28/2012</p> | <p>SCALE</p> <p>1"=20'</p> | <p>PROJECT NO.</p> <p>M1019 W3200</p> | <p>PROJECT NO.</p> <p>M1019 W3200</p> | | | | | | | | | |

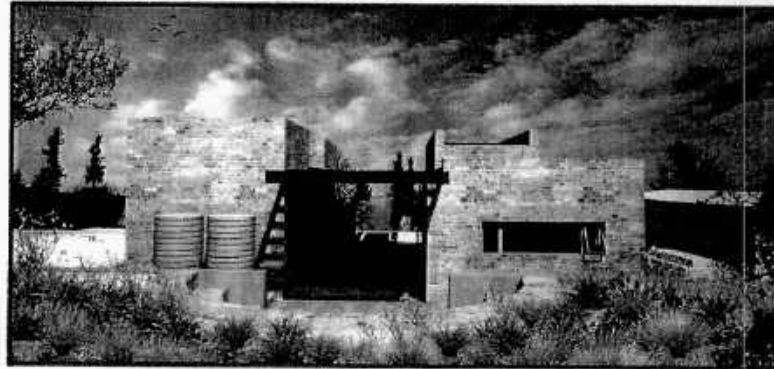
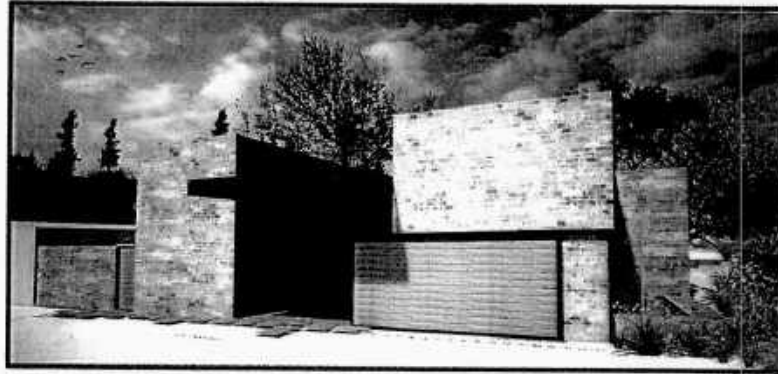
**Plan 5: Photo Plan
Farm 1000 Caledon**

Plan prepared by: Realtek & Jonke

All distances are approximate
and subject to a survey



A picture of the staff and tourist facilities.



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE, FARM NO 1000, DE BOS DAM,
HEMEL & AARDE VALLEY (4068)**

| | | |
|-------------------|---|-----------------------|
| Electricity | : | Eskom area |
| Stormwater | : | No services available |
| Water | : | No services available |
| Sewer | : | No services available |
| Roads and traffic | : | No services available |

Conditions:

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that , as no municipal water network is available in the vicinity of the relevant Farm 1000, and no municipal water services will be rendered to relevant Farm 1000 the applicant / developer be responsible for provision of any water supply and / or –services to the development on the relevant portion of Farm 1000;
3. that the proposed development by the applicant / developer on the relevant of Farm 1000 be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services, and to which the sewer services of the development must connect to;
4. that the municipality does not have the capacity to service the proposed development with regards to removal of sewerage from the property, and the developer services is therefore responsible for removal of sewerage generated on the property, and disposal thereof at a licensed municipal sewerage treatment facility;
5. that disposal of effluent from the site must comply with all relevant legislation, as well as with the *Municipal By-law: Water Supply & sanitation Services (2009)*, and in light of the proposed wine making activities on site, with specific reference to *Section 58: Objectionable discharge, Section 72: Application for the disposal of Industrial effluent, Section 73: Unauthorised discharge of industrial effluent, Section 76: Conditions for disposal of industrial effluent and Annexure A: Acceptance of industrial effluent for discharge into the sewage disposal system;*
6. *that acceptance of industrial effluent for discharge into the sewage disposal system: Special Limitations specifically exclude acceptance of, amongst others, any yeast and yeast wastes as well as molasses (spent or unspent) for disposal into the sewage disposal system;*

7. that, alternatively, sewer treatment facilities that are approved by the Department of Water Affairs may be provided for disposal of sewer from the developments, and written proof of such approval be submitted to the Municipality;
8. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
9. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
10. that on-site parking facilities be provided as per the Planning Schedules, and to the satisfaction of the Department: Operational Services;
11. that in light of the proposed wine making activities on site, the developer is to ensure that all contaminated stormwater run-off from any relevant open areas and wash bays are contained and treated in accordance with the relevant Environmental legislation, SANS 10400: National Building Regulations (more specifically but not restricted to Section R – Stormwater, as well as Section PP11 – Run-off Washing Areas), and the Municipal By-law: Water Supply & sanitation Services (2009), more specifically but not restricted to Section 48: Developer to prevent pollution of water and Section 58: Objectionable discharge. All costs in this regard will be for the developers account;
12. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.

pp. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

04/08/2017
DATE
14/03/2017

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**15. ERF 6319, 33 ELEVENTH AVENUE, KLEINMOND, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: A EHRENREICH**

**6319 KKM (3831)
H van der Stoep
15 July 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 26 October 2017 from AJ Ehrenreich on Erf 6319, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- to relax the western lateral building line from 2m to 0m to accommodate a garage;
- to relax the western lateral building line from 2m to 1,5m to accommodate a previous approved second dwelling;
- to relax the rear building line from 2m to 0m to accommodate a pool cover;
- to relax the eastern lateral building line from 2m to 0m to accommodate a pool cover;
- to relax the southern rear building line from 2m to 0m to accommodate a pool cover, and
- to exceed the third or 9m length of a building over the western lateral building line.

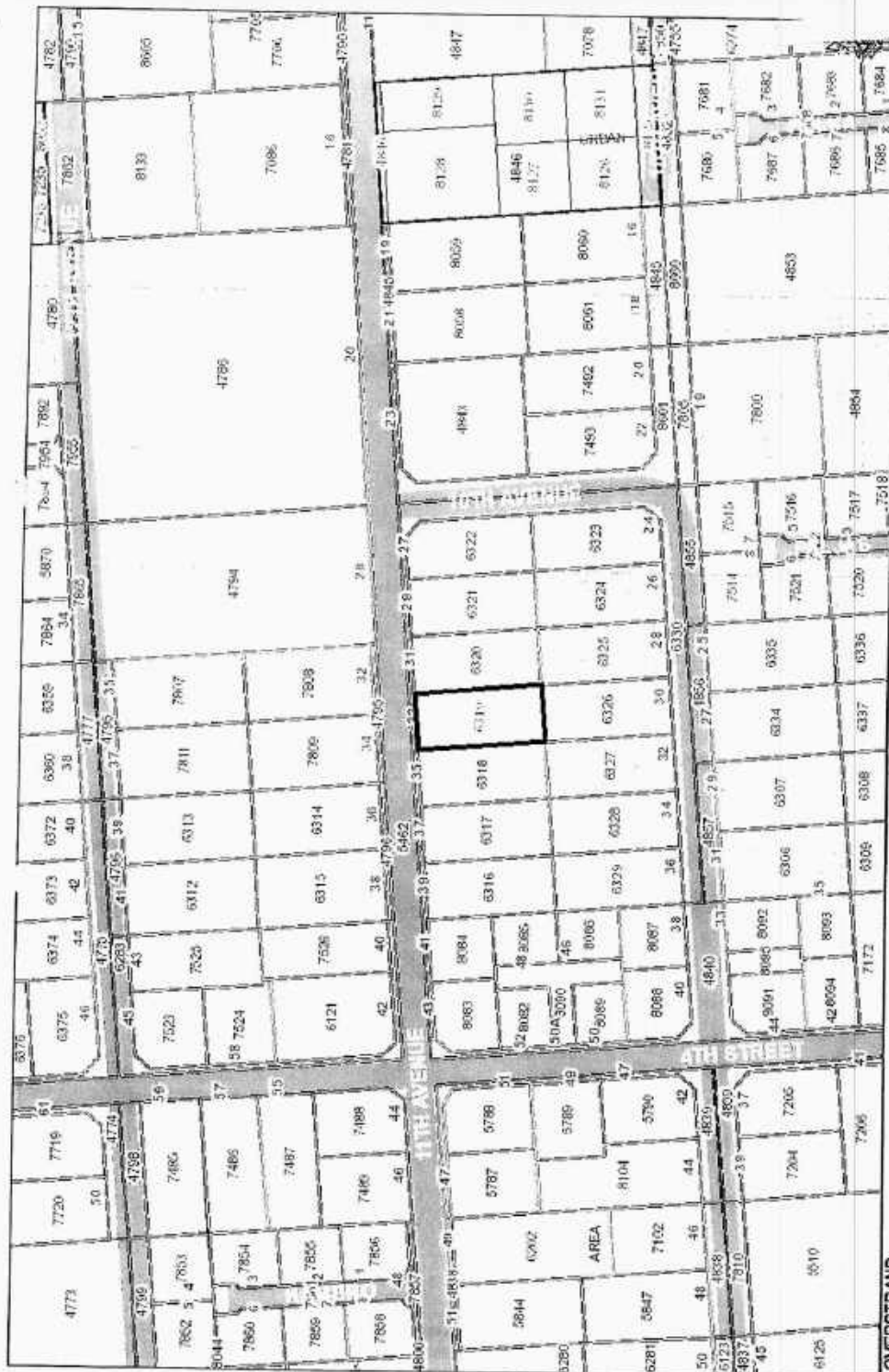
RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 6319, Kleinmond for the following departures
 - to relax the western lateral building line from 2m to 0m to accommodate a garage;
 - to relax the western lateral building line from 2m to 1,5m to accommodate a previous approved second dwelling;
 - to relax the rear building line from 2m to 0m to accommodate a pool cover;
 - to relax the eastern lateral building line from 2m to 0m to accommodate a pool cover;
 - to relax the southern rear building line from 2m to 0m to accommodate a pool cover, and
 - to exceed the third or 9m length of a building over the western lateral building line;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plan A0-4 dated 24 October 2017, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that all the conditions in the Services Report, be complied with, and
 - (f) that the loft area may only be used for storage, except if the area is made interleading with the main dwelling.
2. that the carport **be demolished** and the wall be lowered to 2,1m on the eastern lateral building line as indicated on Plan A04 dated 24 October 2017;
 3. that the garage door **be removed** on the eastern lateral building line due to the following reasons;
 - (a) it has an aesthetic and visual impact on the street scape on Eleventh Avenue, and
 - (b) it will impede easy access and movement onto the erf.
 4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 6319 Kleinmond

Date: 2018.03.05



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 6319, KLEINMOND (3831)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 6319, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**16. ERVEN 3885 - 3895, UNDER THE OAKS, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: AMENDMENT OF CONSTITUTION: UNDER THE OAKS
HOME OWNERS ASSOCIATION**

3885 - 3895 HON

H Olivier

(028) 313 8900

Hermanus Administration

20 September 2019

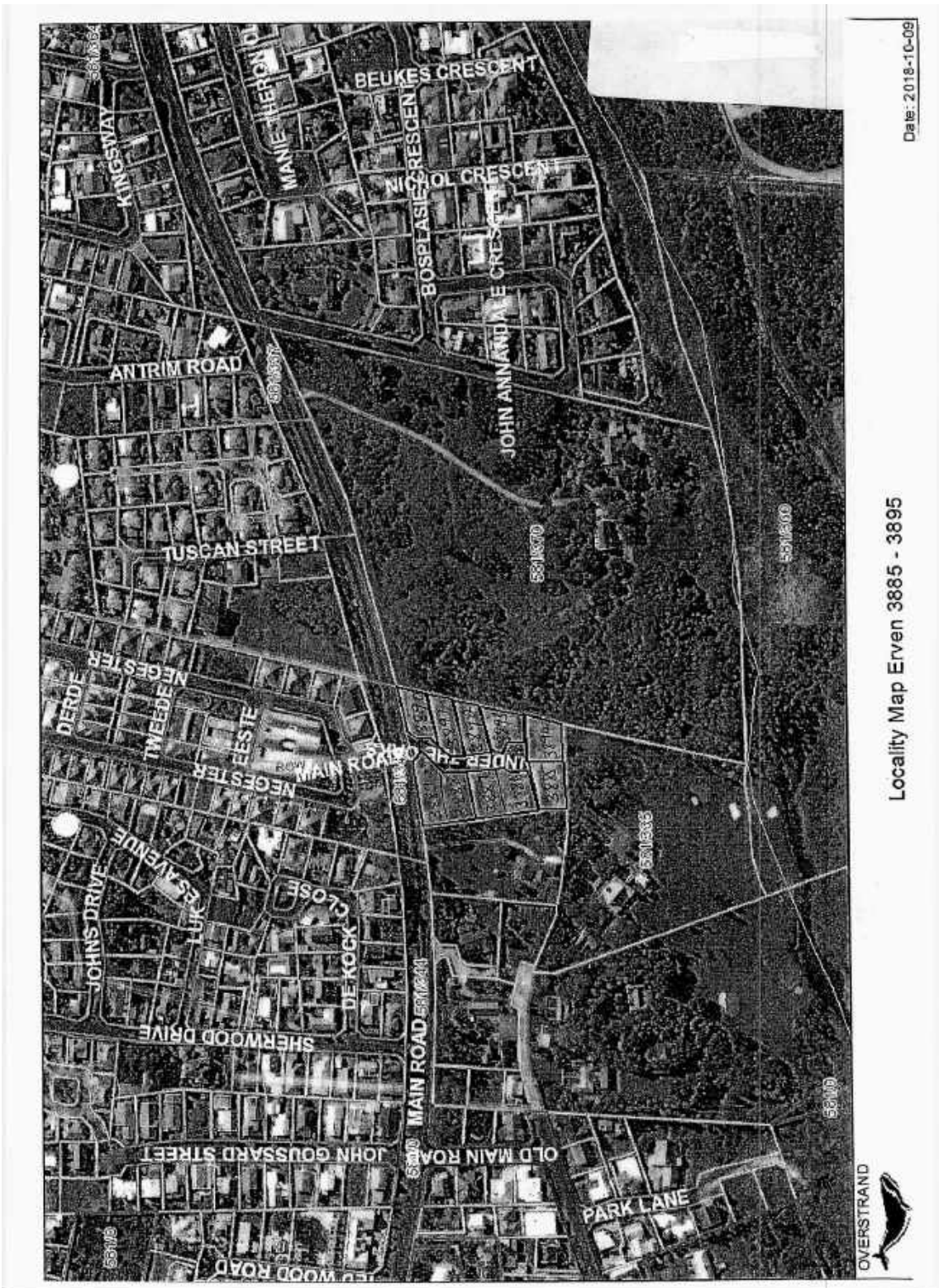
Executive Summary

An application has been received on 3 October 2018 from Under the Oaks Home Owners Association (HOA) on Erven 3885 to 3895, Onrustrivier for an application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to amend the constitution of the Under the Oaks Development.

RECOMMENDATION

1. that the application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Land Use Planning, 2015 on Erven 3885 to 3895, Onrustrivier to amend the Constitution of the Under the Oaks Development, **be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

17. ERVEN 133 AND 136, 10 AND 12 KUSWEG, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSOLIDATION: MESSRS PLAN ACTIVE ON BEHALF OF THE CINDY'S TRUST

133 & 136 HSB (2976/2019)

KR Thomas

(028) 313 8900

Hermanus Administration

16 August 2019

Executive Summary

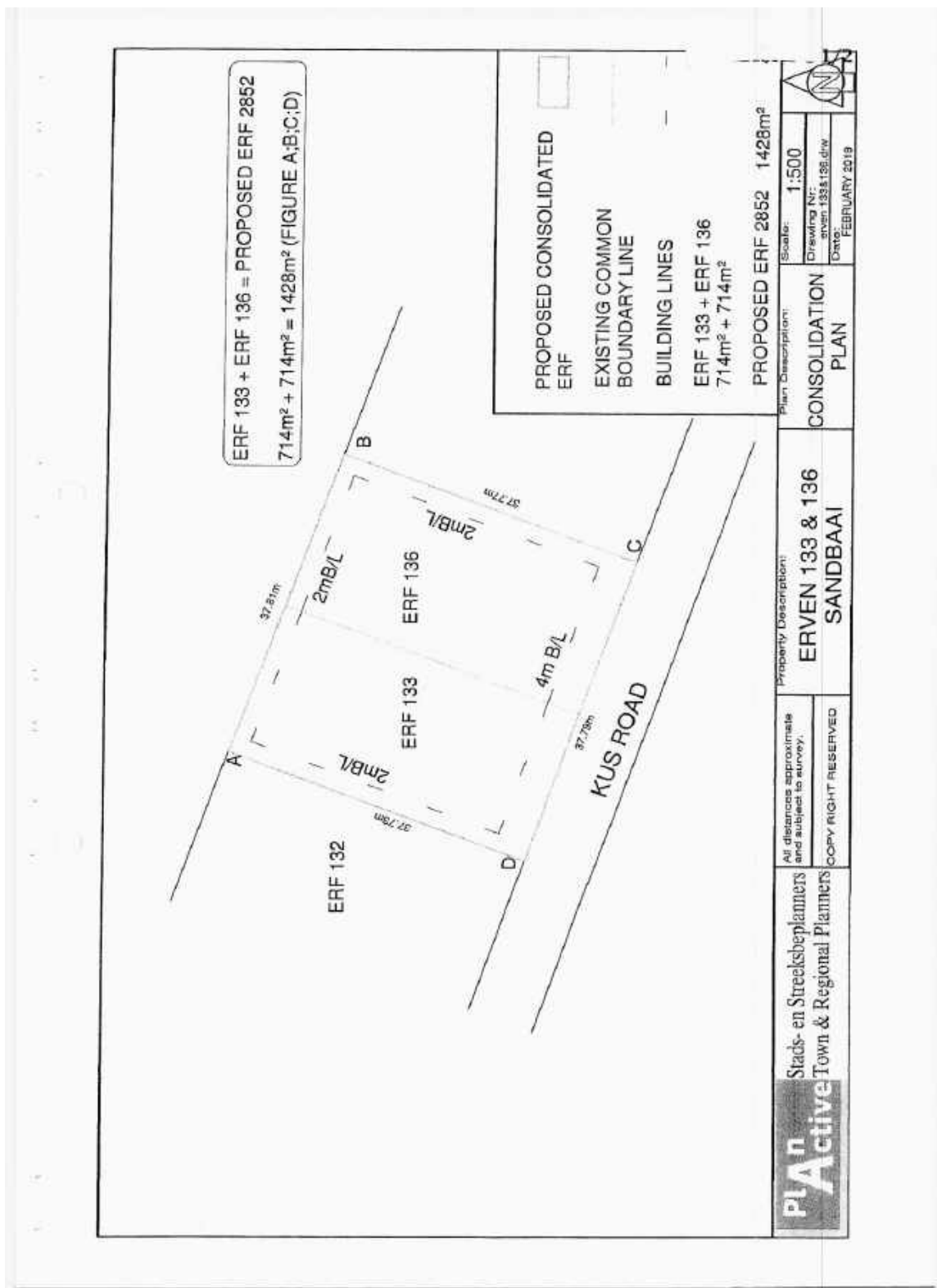
An application was received on 7 March 2019 from Messrs Plan Active on behalf of the Cindy's Trust for the consolidation of Erven 133 and 136, Sandbaai in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

RECOMMENDATION

1. that the application in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use, 2015 (By-Law) for the consolidation of Erven 133 and 136, Sandbaai, **be approved** in terms of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the consolidation as indicated on Drawing No. erven 133&136.drw dated February 2019, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, prior to any future building work, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015, with regard to the above decision.



| | | | | | |
|--|---|---|---|--|---|
| | Stads- en Streeksbeplanners Town & Regional Planners | All distances approximate and subject to survey. | Property Description: ERVEN 133 & 136 SANDBAAI | Plan Description: LOCALITY MAP | Scale: NTS Drawing Nr: sand133.dwg Date: FEBRUARY 2019 |
| | COPY RIGHT RESERVED | | | | |



| | | | | |
|--|--|---|--|--|
| PLAⁿ Active Stads- en Streeksbeplanners Town & Regional Planners | All distances approximate and subject to survey. COPY RIGHT RESERVED | Property Description: ERVEN 133 & 136 SANDBAAL | | Scale: 1:500 Drawing Nr: erven_133&136.dwg Date: FEBRUARY 2019 |
| | | Plan Description: CONSOLIDATION PLAN | | |

VAN DYK & Associates Inc. (V19023)

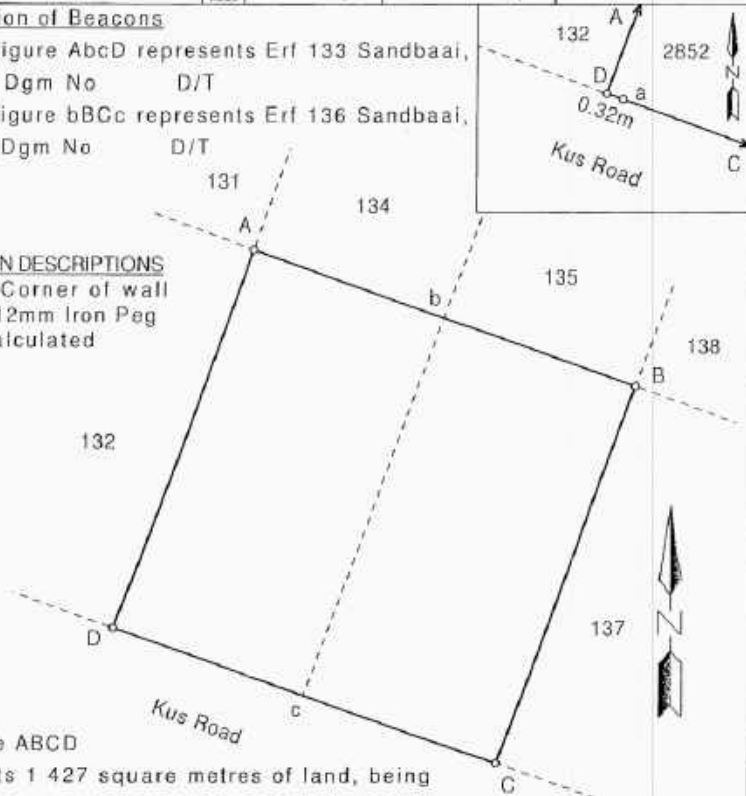
| SIDES metres | ANGLES OF DIRECTION | CO-ORDINATES Y System: WG 19° X | | S...o. approved for SURVEYOR- GENERAL |
|------------------------|------------------------|------------------------------------|--------------------|---|
| | | Constants | 0,00 +3 800 000,00 | |
| A B | 37,81 | 289.45.30 | A -18 757,55 | +10 997,77 |
| B C | 37,77 | 19.50.30 | B -18 793,13 | +11 010,55 |
| C D | 37,79 | 109.49.00 | C -18 780,31 | +11 046,08 |
| D A | 37,73 | 199.48.50 | D -18 744,76 | +11 033,27 |
| Indicatory Data | | | | |
| a D | 0,32 | 109.49.00 | a -18 745,06 | +11 033,38 |
| HMSC | | △ | -20 380,51 | +9 553,02 |
| ONRUST | | △ | -17 112,01 | +7 799,54 |

Description of Beacons

- 1.) The figure AbcD represents Erf 133 Sandbaai,
Vide Dgm No D/T
- 2.) The figure bBcC represents Erf 136 Sandbaai,
Vide Dgm No D/T

BEACON DESCRIPTIONS

- A,B : Corner of wall
- C,a : 12mm Iron Peg
- D : Calculated



The figure ABCD represents 1 427 square metres of land, being

Erf 2852 Sandbaai comprising 1.) and 2.) above

situate in Sandbaai Township
in the Overstrand Municipality
Administrative District of Caledon

Western Cape Province
Surveyed in January 2019

LA van Dyk
Professional Land Surveyor
by me Registration Number: PLS 1069

This Diagram is annexed to No.

The original diagrams are as listed above.

File:
S.R. No.

Registrar of Deeds

G.P.SG No.
Comp
TP

Erf 2852 Sandbaai

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: ERVEN 133 & 136, SANDBAAI
(2976/2019)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that the existing water connection to- and sewer connection on Erf 133 shall be used to service the proposed consolidation of Erven 133 & 136;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the electricity connections to the erven must be consolidated to one connection, and that the available capacity be combined;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that stormwater be allowed to discharge through Erven 133 & 136, Sandbaai, unobstructed;
8. that no on-street parking be allowed.

p.p. D. Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

12/07/2019
 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

18. ERF 2652, 17 VLEIGANS STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MM TRUTER-LOUW

2652 GGB (3031)

SW van der Merwe

(028) 313 8900

Hermanus Administration

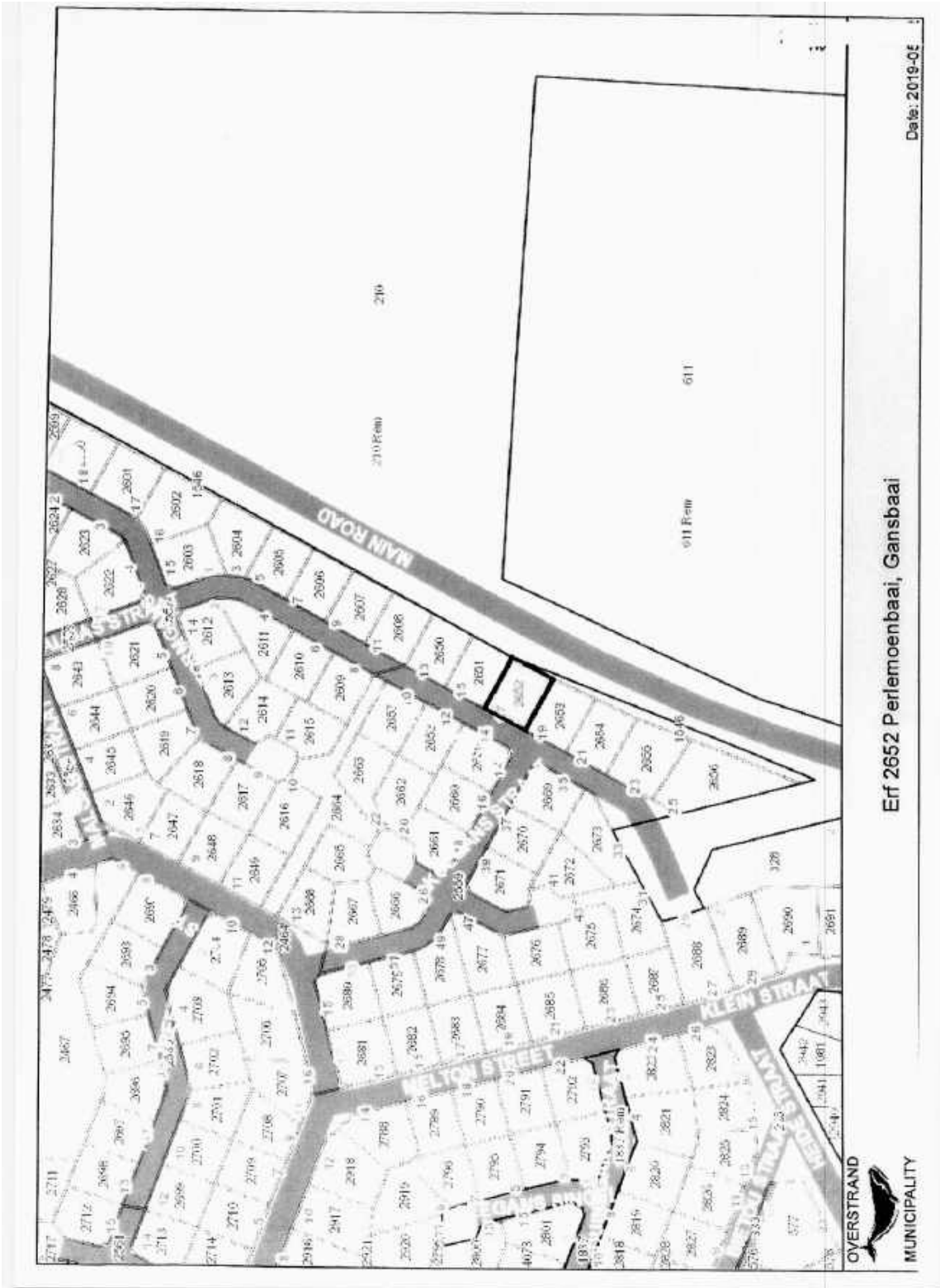
16 October 2019

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2652, Gansbaai (Perlemoenbaai) has been received on 29 April 2019 from MM Truter-Louw in order to relax the 4m rear building line to 2m in order to accommodate a proposed garage.

RECOMMENDATION

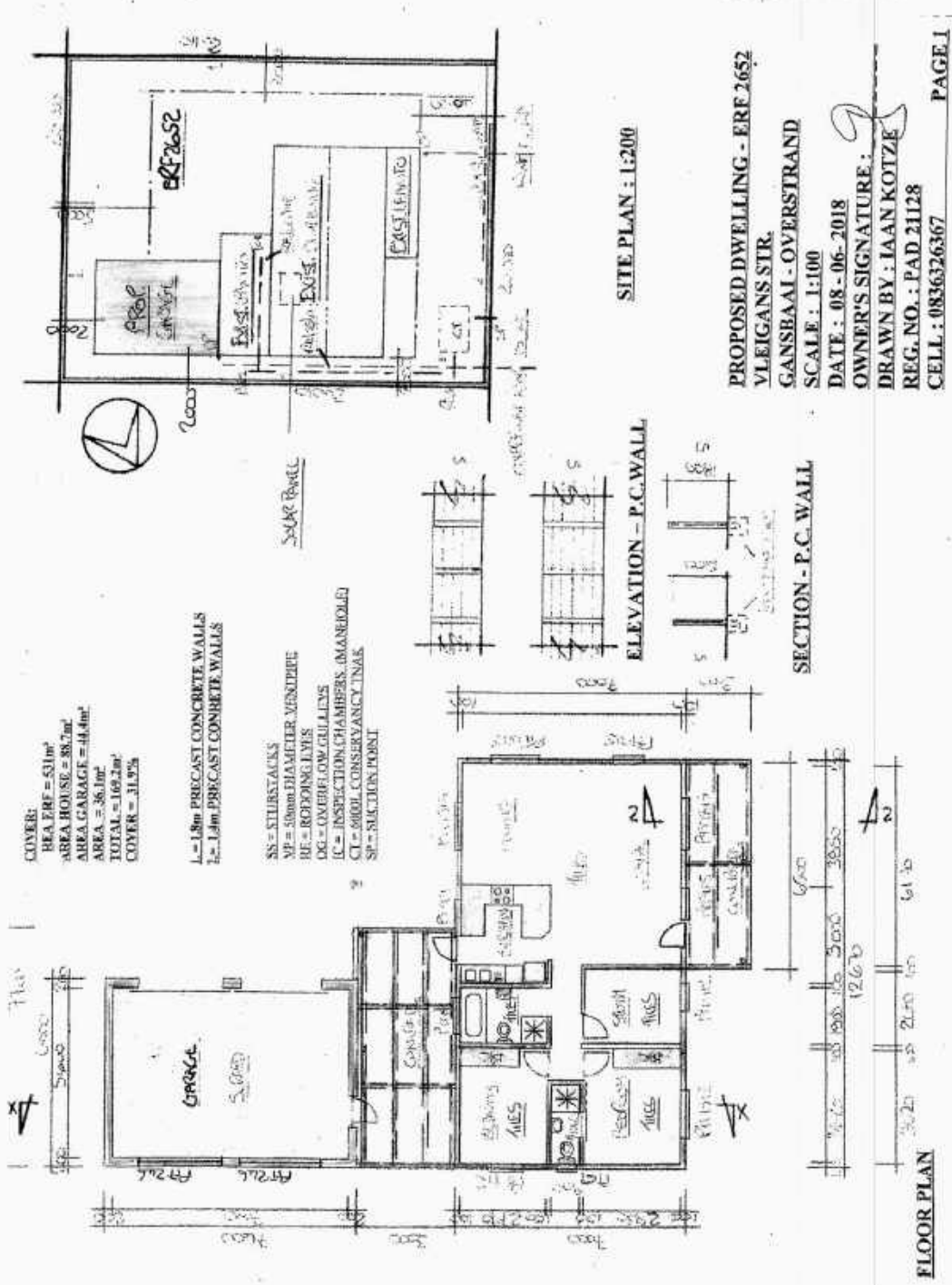
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2652, Perlemoenbaai, Gansbaai in order to relax the rear building line from 4m to 2m to accommodate a proposed garage **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the building plan, which was submitted with the application;
 - (b) that building plans be submitted to the Building Department and that all conditions of the Building Department and Fire Services be complied with at that stage;
 - (c) that the applicable conditions of Telkom and Engineering Services, be complied with;
 - (d) that all other development parameters as set out in the Zoning Scheme be complied with, and
 - (e) that the approval does not exempt the landowner from compliance with any other applicable legislation.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

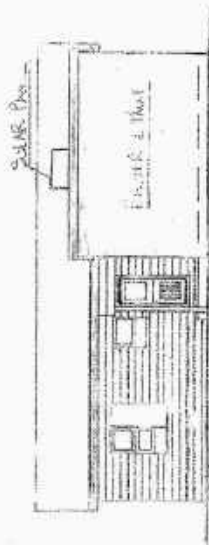


Erf 2652 Perlemoenbaai, Gansbaai

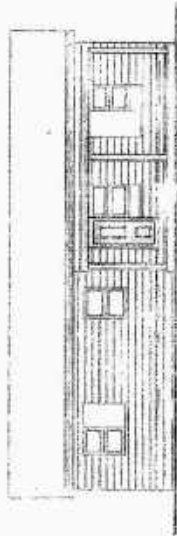
Date: 2019-04







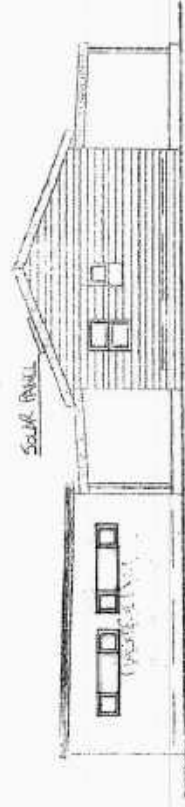
EAST ELEVATION



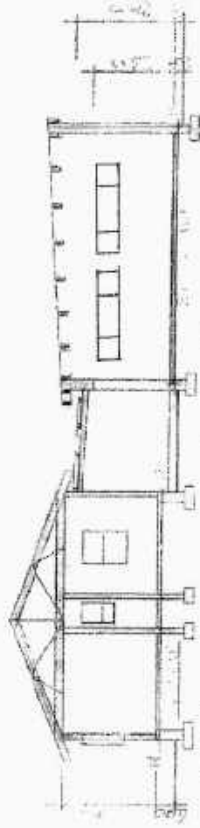
WEST ELEVATION



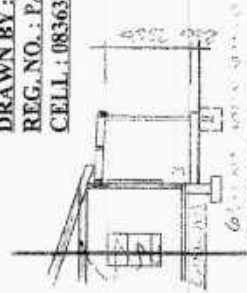
SOUTH ELEVATION



NORTH ELEVATION



SECTION X-X



SECTION Z-Z

PROPOSED DWELLING - ERF 2652
 VLEIGANS STR.
 GANSBAAI - OVERSTRAND
 SCALE : 1:100
 DATE : 08 - 06 - 2018
 OWNER'S SIGNATURE : 
 DRAWN BY : JAAN KOTZE
 REG. NO. : PAD. 21128
 CELL : 0836326367 PAGE 2

ROOF (HOUSE)
CORRUGATED CORRUGAS WITH SHEETS AT 15° INCLIN 76 X 961. JOINS AT TIMBERS ON 14 X 36 PINE FRAMING. FLASHING AT DORMER 26 X 30 OFFICAL. TRUSSES BY ROMPING SKEGFAST 114 X 33. BE A G E N A L W I N D B R A K I N G L I N D T R U S S E S F I X E D T O F L A T E W A L L S W I T H L O U A T S H I E T

ROOF (GARAGE)
PER PROFILE. CONCRETE METAL SHEETS AT 2° INCLIN 250 X 51. PURLIN - RAFTERS AT 90 X 45. ENDS WRAPPED IN PVC AND BLUE LIN. PLUS GALVANIZED IRON (60900) INTO BRICK WORK.

LEAN - TO'S:
PER PERE BELLONGEAN METAL SHEETS AT 2° INCLIN 250 X 51. PURLIN - RAFTERS AT 90 X 45. ENDS WRAPPED IN PVC AND BLUE LIN. PLUS GALVANIZED IRON (60900) INTO BRICK WORK.

RAINGUTTERS:
GALVALUM ALUMINUM EXTRUDION (4017) AND 80MM PVC DOWNPIPES ON 20 X 20 X 120 PVC FASCIA. ROX GUTTER TO BE 200 WIDE. EX ISOLATE SOME RAINWATER TANKS, OVERFLOW AND OTHER RAINWATER TO POND. FLASHINGS TO MANUFACTURER'S SPECIFICATIONS TO POINT OF ROOF AND WALLS.

SS - STAIRS JACKS
ST - 50mm DIAMETER VENTPIPE
BL - WOODEN SLEEPERS
CG - OVERFLOW GULLIES
IC - INSPECTION CHAMBERS (MANHOLE)
CT - 4000 CONSERVANCY TANK
SP - SLOTTED PIPES



LONGSECTION SEWER - 1:200

CEILING:
SOUNDPROOF FIBRE BOARD 125 X 250 X 12.5
26 X 38 BATTENS AT 400mm
15mm PINK A/POLIET
INSULATION ON CEILING
TOTAL = 2.08 ± 1.00K

WALLS: (HOUSE)
12mm BUTIC BOARDS OUTSIDE AND 12mm SKIMMED BOND BOARD ON INSIDE OR 26 X 38 STUDIOS AT 500mm WITH 26 X 50 RAILS TOP AND BOTTOM. BOARDS STIPS AND HEADERS AT ALL OPENINGS GALVANIZED ROOF IRON STRIPS AT 4° DIAGONAL WALL HEADING 25mm PINK A/POLIET IN WALLS

WALLS:
250 TO ALL WALLS. MIN. 150mm ABOVE NGI P.C. LINTELS TO MAIN SURFACE + 4 LAYERS BRICKWORK OVER ALL OPENINGS. 1 BRICK FOR EVERY 4 COURSES.

FLOOR:
20mm SCREEN ON 100mm CONCRETE ON 200MM X 300MM SABS PVC UNDERLAY ON WEIL UNBEACLED FULL ANY STEPS. RISES 200 MAX AND TRAIL 250 MIN.

SEWER
CUPSED BY STEEL WITH 100mm DIAMETER UPVC PIPES AT 150° GRADE. MIN. DEPTH 450MM ALL JUNCTIONS AT 45°. ALL BENDS TO BE MIN. 600mm DIAMETER WITH 45° BEND. GRADUALLY TO OVERFLOW TO GARDEN. ALL ENTRIES INTO STURKOCK TO BE SEPARATE AND SEWERS UNDER BUILDINGS TO BE PROTECTED AS PER MASS 0600 PARLE.

HOT WATER
ALL HOT WATER PIPES TO BE LAGGED INTO WALLS. ALL EXPOSED HOT WATER PIPES TO BE INSULATED WITH MATERIAL WITH MIN. R VALUE OF 0.11. HOT WATER CYLINDER TO BE WRAPPED IN SOLAR BLANKET. 50% OF HOT WATER TO BE KEPT INSULATED WITH INSULANT PANAL SIZE OF GEYSER. 40 L PER PERSON. 4 PERSONS TO BE DWELLING. 1200L GEYSER OR 1200L HOT WATER WASHING MACHINE AND DISHWASHER TO HAVE COLD WATER SUPPLY ONLY. COLD WATER SUPPLY TO GEYSER TO HAVE STOPCOCK. HOT WATER FROM GEYSER TO HAVE STOPCOCK.

GENERAL
ALL WORK TO LOCAL MUNICIPAL REGULATIONS AND SANS 10400 BUILDING REGULATIONS. ALL MEASUREMENTS TO BE CHECKED ON SITE. NO PROTECTION OVER BOUNDARIES.

FENESTRATION
WINDOWS BY WISPECC. ALL GLAZING AS PER SANS 10400 PART 6. AREA 5 LARGER THAN MINOR WITHIN 500MM OF EFL. TO BE SAFETY GLASS. SEE ATTACHED FENESTRATION CALC.

PROPOSED DWELLING - ERR 2652
YLEIGANS STR.
GANSBAAI - OVERSTRAND
SCALE: 1:100
DATE: 08-06-2018
OWNER'S SIGNATURE: [Signature]
DRAWN BY: JAAN KOTZE
REG. NO.: PAD 21128
CELL: 0836326367

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2652, PERLEMOENBAAI
(3031/2019)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2652, Perlemoenbaai, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

19. ERF 7105, 29 SIXTH STREET, VOËLKLIP, HERMANUS: APPLICATION FOR DEPARTURE: MESSRS ENGELBRECHT & SCORGIE ARCHITECTURAL OFFICE ON BEHALF OF EQUISTOCK INVESTMENTS 40 (PTY) LTD

7105 HVK (2946)

P Roux

(028) 313 8900

Hermanus Administration

23 October 2019

Executive Summary

An application was received on 13 February 2019 from Messrs Engelbrecht & Scorgie on behalf of Equistock Investments 40 (Pty) Ltd in terms of Section 16(2)(b) of the Overstrand By-Law on Municipal Land Use Planning, 2015 in order to:

- relax the eastern lateral building line from 2m to $\pm 1,11$ m to accommodate an extension of the entertainment area by the addition of a braai area section at ground floor level;
- relax the eastern lateral building line from 2m to $\pm 1,11$ m to accommodate the roof extension with buttresses at the first floor level for aesthetical purposes;
- relax the eastern lateral building line from 2m to 0m to accommodate an existing pizza oven; and
- to relax the western lateral building line from 2m to 0m to accommodate a carport, as well as to accommodate the existing garage together with the proposed carport that exceeds the 9m total allowable length of outbuildings within the building line by $\pm 8,68$ m.

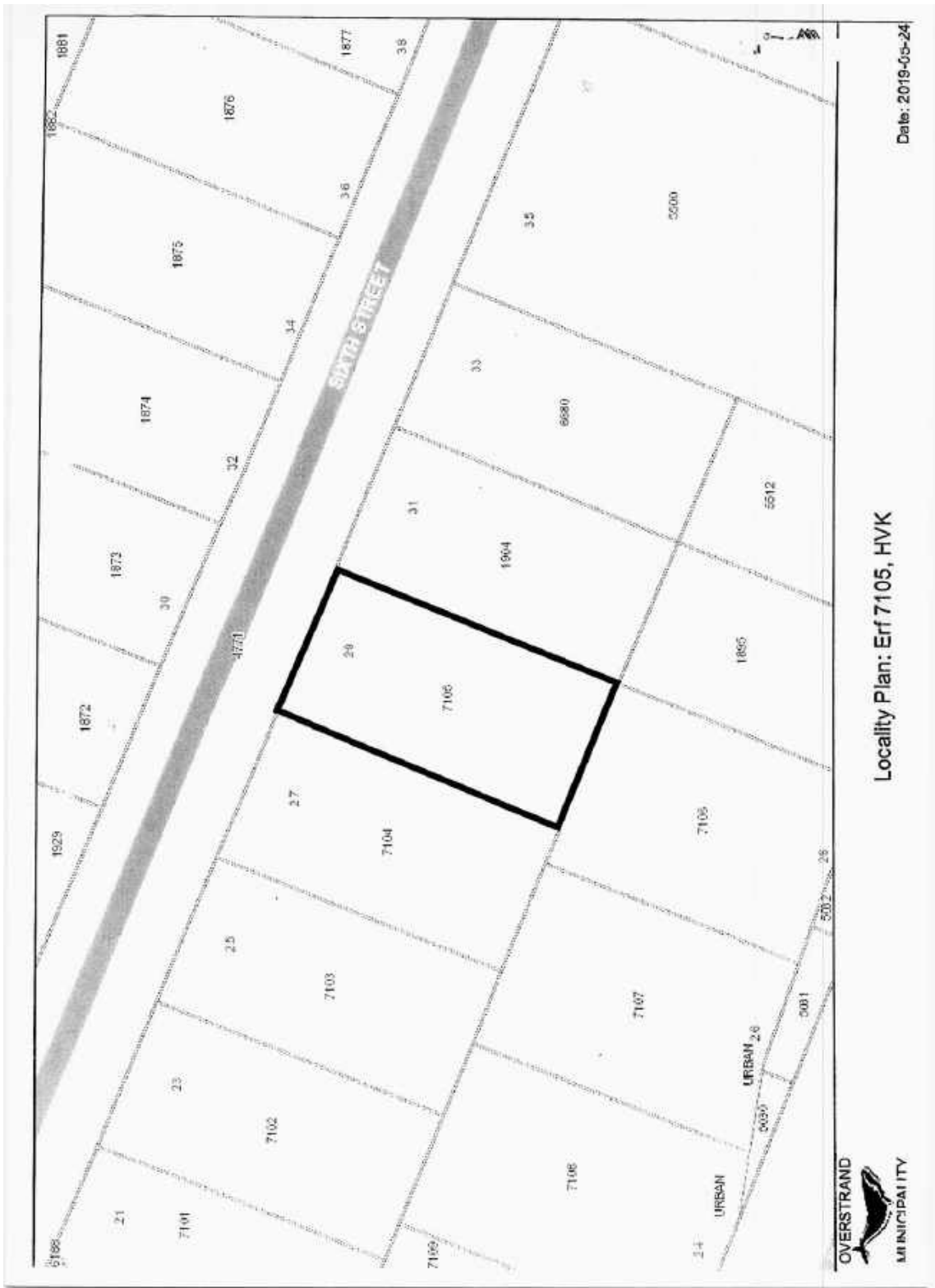
RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal Land Use Planning By-Law, 2015 applicable to Erf 7105, Hermanus for the following:
 - relax the eastern lateral building line from 2m to $\pm 1,11$ m to accommodate an extension of the entertainment area by the addition of a braai area section at ground floor level;
 - relax the eastern lateral building line from 2m to $\pm 1,11$ m to accommodate the roof extension with buttresses at the first floor level for aesthetical purposes;
 - relax the eastern lateral building line from 2m to 0m to accommodate an existing pizza oven, and
 - to relax the western lateral building line from 2m to 0m to accommodate a carport, as well as to accommodate the existing garage together with the proposed carport that exceeds the 9m total allowable length of outbuildings within the building line by $\pm 8,68$ m.

**AGENDA of the
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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval only relates to a departure for the structure as indicated on plan Project No 7105 (1001 to 1003) as submitted with the application;
 - (b) that building plans be submitted to the Building Department, and that all conditions set by the Building and Fire Departments at that stage, be complied with;
 - (c) that all conditions imposed by Telkom, be complied with;
 - (d) that all the conditions in the Service Report, be complied with, and
 - (e) that this is not an approval in terms of any other relevant legislation.
2. that the applicant and person who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

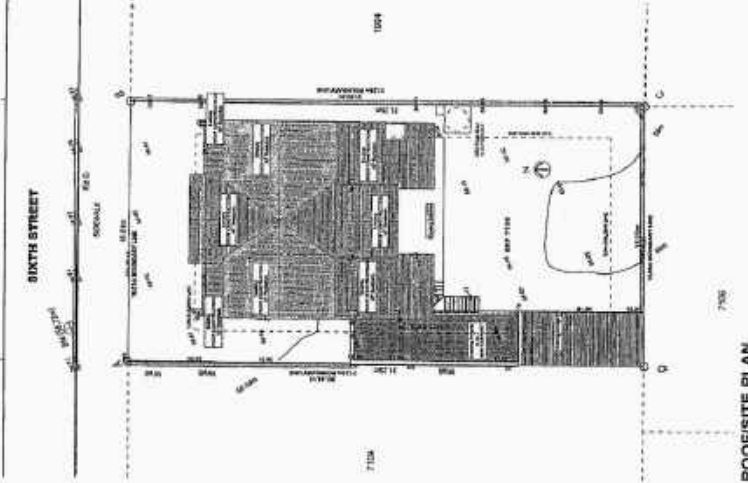


Locality Plan: Erf 7105, HVK

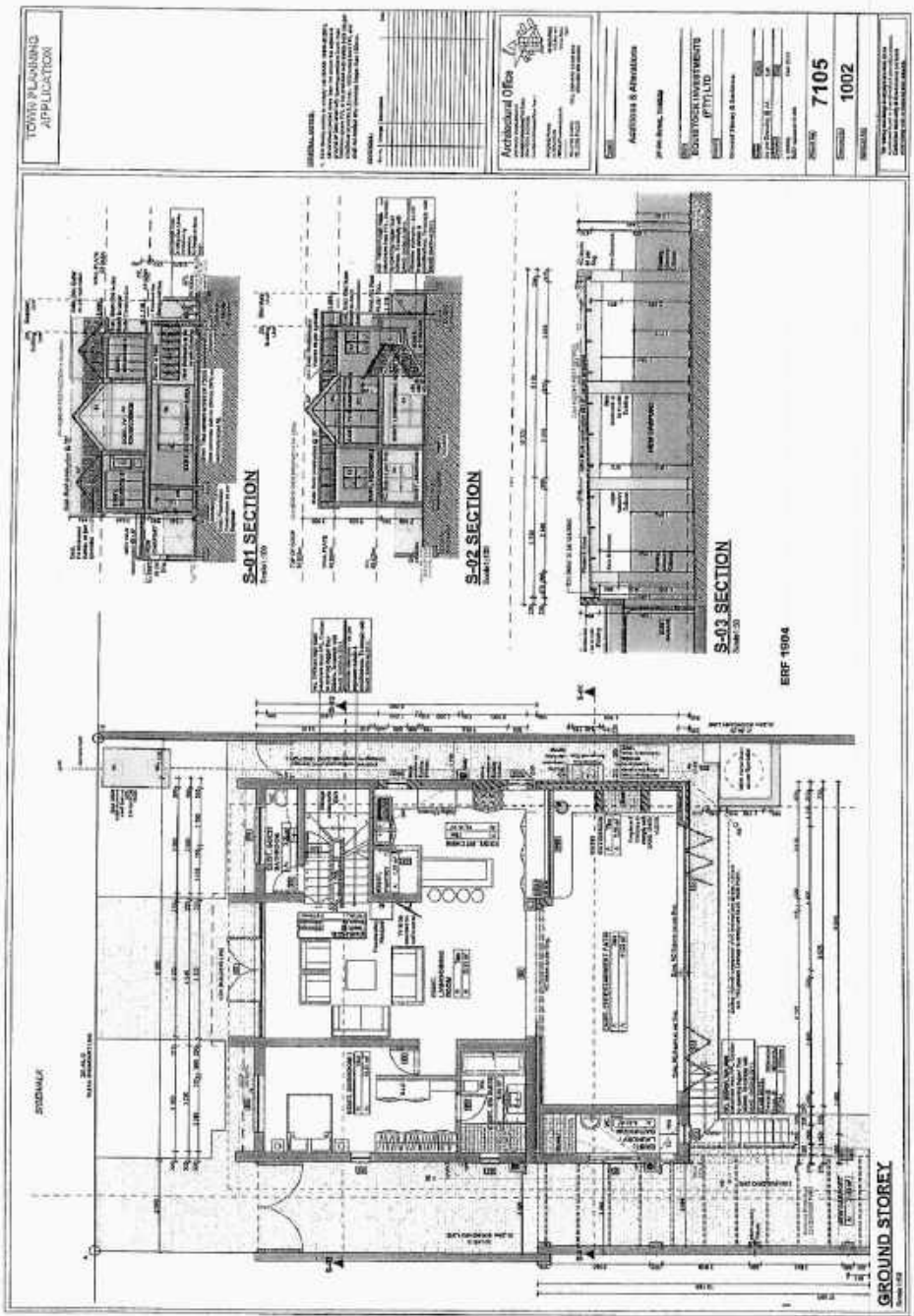


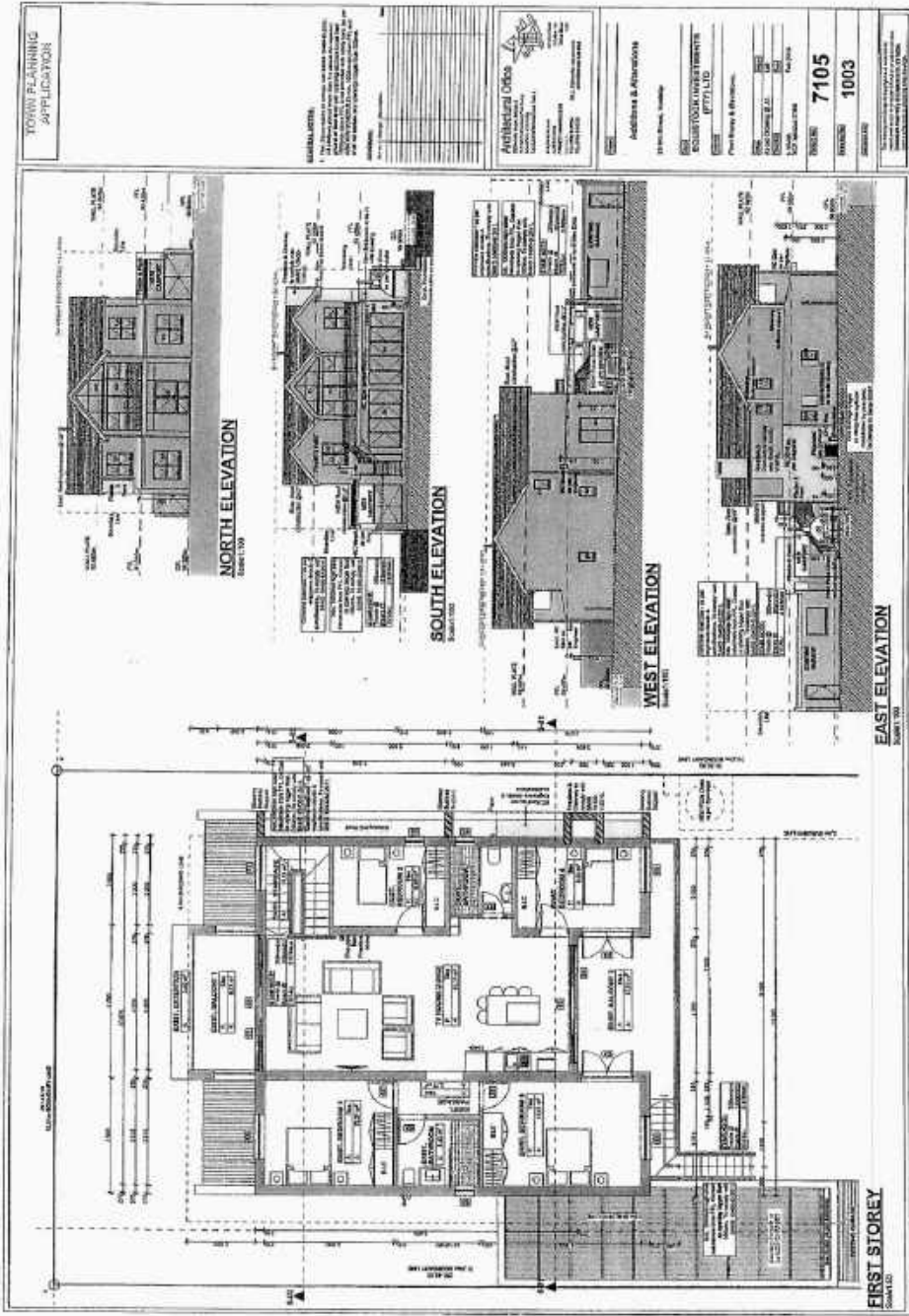
Date: 2019-05-24

| | | |
|---|--|--|
| TOWN PLANNING APPLICATION | | |
| <p>PROPOSED PROJECT:</p> <p>PROJECT NAME: [Blank]</p> <p>PROJECT ADDRESS: [Blank]</p> <p>PROJECT TYPE: [Blank]</p> <p>PROJECT VALUE: [Blank]</p> <p>PROJECT AREA: [Blank]</p> <p>PROJECT DATE: [Blank]</p> | <p>APPLICANT:</p> <p>NAME: [Blank]</p> <p>ADDRESS: [Blank]</p> <p>CITY: [Blank]</p> <p>STATE: [Blank]</p> <p>ZIP: [Blank]</p> <p>PHONE: [Blank]</p> | <p>PROPOSED ZONE:</p> <p>ZONE: [Blank]</p> <p>ZONE DESCRIPTION: [Blank]</p> |
| <p>NOTES:</p> <p>[Detailed project notes and site information text]</p> | | |
| <p>CONSTRUCTION & GENERAL NOTES:</p> <p>[Detailed construction and general notes text]</p> | | |
| <p>ENERGY USE:</p> <p>[Energy use table and notes]</p> | | |
| <p>DEVELOPER:</p> <p>[Developer information]</p> | | |
| <p>DESIGNER:</p> <p>[Designer information]</p> | | |
| <p>PLANNING BOARD:</p> <p>[Planning board information]</p> | | |
| <p>APPROVALS:</p> <p>[Approval signatures and dates]</p> | | |
| <p>ADDITIONAL INFORMATION:</p> <p>[Additional project details]</p> | | |
| <p>PROJECT VALUE: 7105</p> <p>PROJECT AREA: 1001</p> | | |
| <p>APPROVALS:</p> <p>[Approval signatures and dates]</p> | | |
| <p>PLANNING BOARD:</p> <p>[Planning board information]</p> | | |
| <p>APPROVALS:</p> <p>[Approval signatures and dates]</p> | | |
| <p>PLANNING BOARD:</p> <p>[Planning board information]</p> | | |
| <p>APPROVALS:</p> <p>[Approval signatures and dates]</p> | | |
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| <p>PLANNING BOARD:</p> <p>[Planning board information]</p> | | |
| <p>APPROVALS:</p> <p>[Approval signatures and dates]</p> | | |



ROOFSITE PLAN





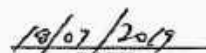
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 7105, VOELKLIP (2946/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 7105, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

20. ERF 1832, 36 FIFTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF THE WILLOU TRUST

1832 HVK (2945/2019)

S van der Merwe

(028) 313 8900

Hermanus Administration

14 October 2019

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Erf 1832, Hermanus has been received on 13 February 2019 from Messrs Interactive Town and Regional Planning on behalf of the Willou Trust in order to relax the western lateral building line of the property from 2m to 0m to accommodate a pergola.

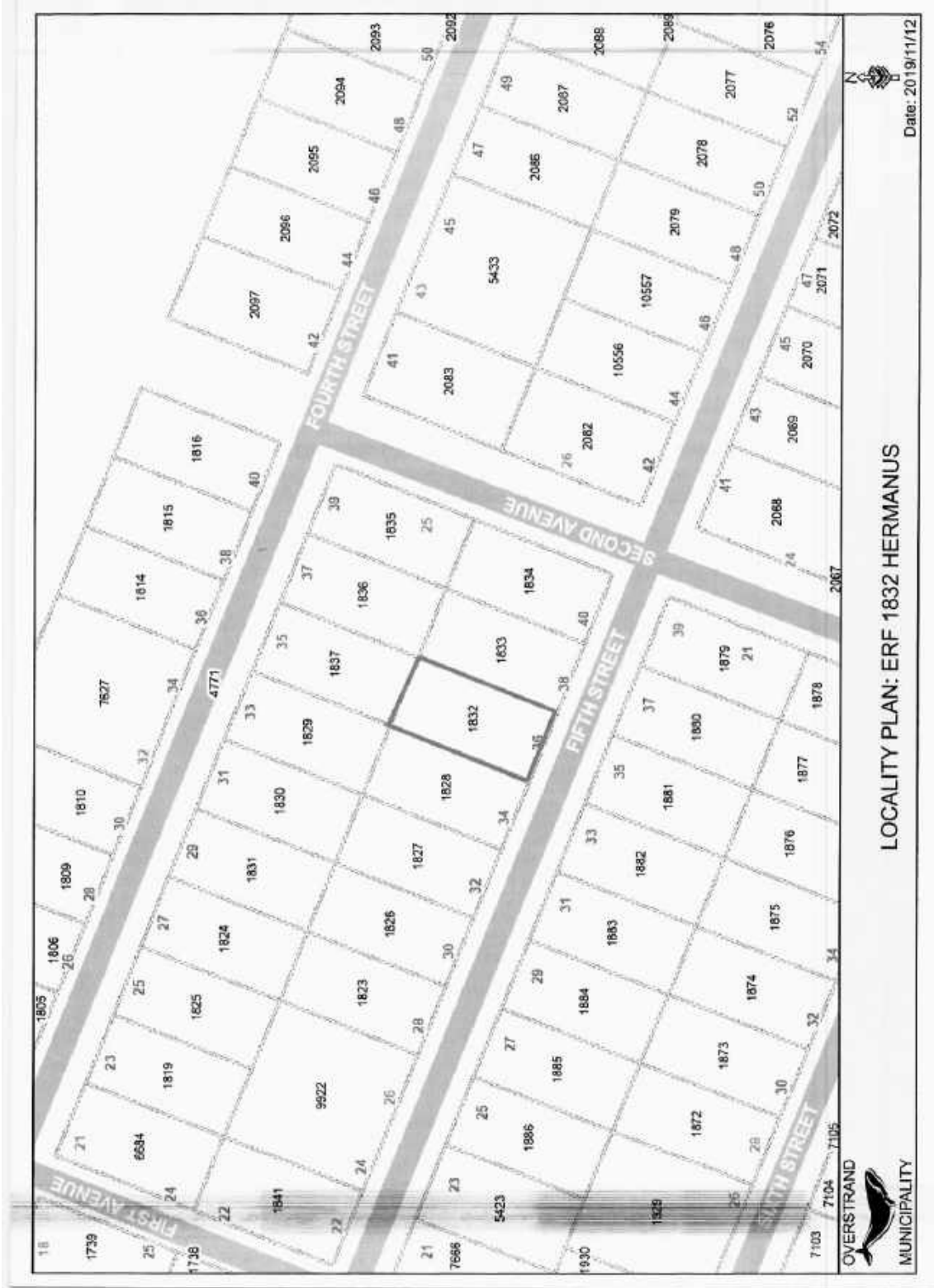
RECOMMENDATION

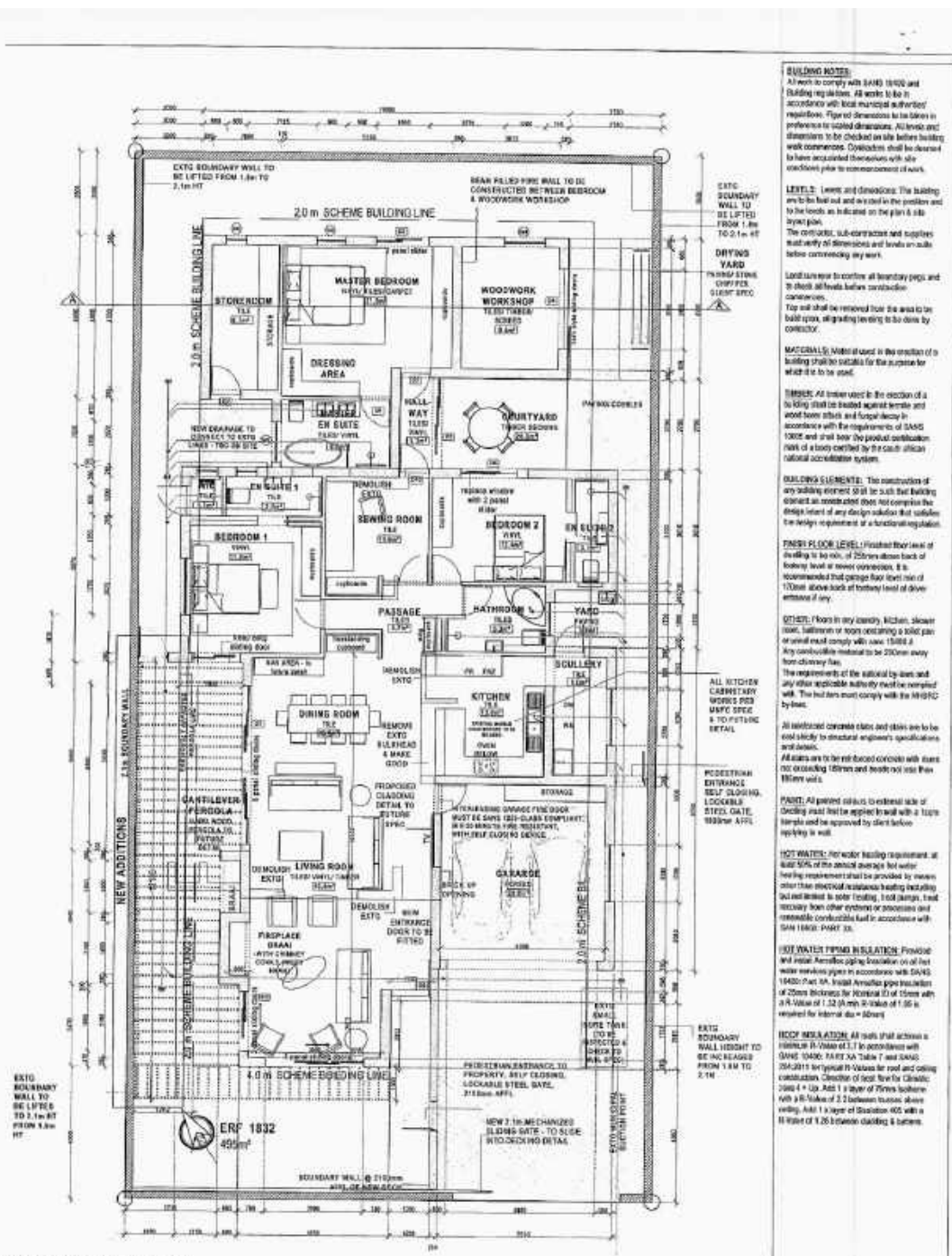
1. that the application in terms of Section 16.(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015, applicable to Erf 1832, Hermanus in order to relax the western lateral building line of the property from 2m to 0m to accommodate the existing pergola, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the landowners remove all the pillars of the pergola that encroach the 4m street building line, or alternatively submit the relevant town planning application for consideration within 30 days from the date of the final approval of 1. above;
 - (b) that the section of the pergola along the western boundary of the property must comply with the measurements indicated on the Site Development Plans No. 1661 1/3 to 3/3 dated 11 February 2019 that was submitted with the application;
 - (c) that building plans be submitted to the Building Department for evaluation and approval within thirty (30) days from the date of the final approval of 1. above, and that all conditions of the Building – and Fire Department at that stage, be complied with;
 - (d) that the conditions of Engineering Services, as well as the conditions of Telkom, be complied with;
 - (e) that all other applicable development parameters as prescribed in the

**AGENDA of the
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18 February 2020
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relevant Zoning Scheme, be complied with;

- (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





BUILDING NOTES:
 All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authority regulations. Floor dimensions to be taken in preference to related dimensions. All levels and dimensions to be checked on site before building work commences. Obstructions shall be cleared to have unobstructed dimensions with site workers prior to commencement of work.

LEVELS: Levels and dimensions: The building area to be laid out and so a level for the position and to the levels as indicated on the plan & site layout plan.
 The contractor, sub-contractor and supplier must verify all dimensions and levels on site before commencing any work.

Landscapers to confirm all boundary pegs and to check setbacks before construction commences.
 Top soil shall be removed from the area to be built upon, upgrading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

FINISHES: All finish work in the erection of a building shall be finished against termite and wood-boring attack and fungal decay in accordance with the requirements of SANS 10400 and shall have the product certification mark of a body certified by the South African national accreditation system.

BUILDING ELEMENTS: The construction of any building element shall be such that building element an associated does not compromise the design intent of any design solution that satisfies the design requirements of a functional regulation.

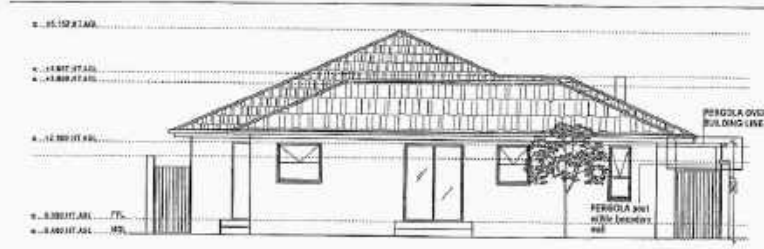
FINISH FLOOR LEVEL: Finished floor level of building to be min. of 250mm above back of factory level or lower construction. It is recommended that garage floor level min. of 100mm above back of factory level of drive entrance if any.

DETAILS: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or similar must comply with SANS 10400-4. Any concrete floor intended to be 200mm away from driveway line.
 The requirements of the national by-law and any other applicable authority must be complied with. The contractor must comply with the NHBRC by-laws.
 All reinforced concrete slabs and stairs are to be cast in place by structural engineers' specifications and details.
 All slabs are to be reinforced concrete with stairs not exceeding 100mm and needs no less than 100mm voids.
PARTS: All painted surfaces to external face of cladding must first be applied through with a top coat sample and be approved by client before applying in full.
HOT WATER: Hot water heating requirement of 400% of the annual average hot water heating requirement shall be provided by means other than electrical resistance heating (heating oil/fuel burner is not included, 1000 litres, tank recovery from other systems or accessories and renewable convertible fuel in accordance with SANS 10400- PART 10.
SOIL WATER PROOF INSULATION: Provision will include membrane piling foundation on all first water retention system in accordance with SANS 10400-Part 10. Install membrane pipe foundation of 20mm thickness for minimum R of 10mm with a U-Value of 1.22 (4 mpa 2-value of 1.05 is required for internal do = allowing
HCCP INSULATION: All roofs shall achieve a minimum R-Value of 1.1 in preference with SANS 10400- PART 10 Table 7 and SANS 204-2011 for typical R-Values for roof and ceiling construction. Director of local fire for Climatic Zone 4 + Up. Add 1 layer of Fibres together with a U-Value of 2.5 between insulation above ceiling. Add 1 layer of insulation 405 with a U-Value of 1.25 between cladding & battens.

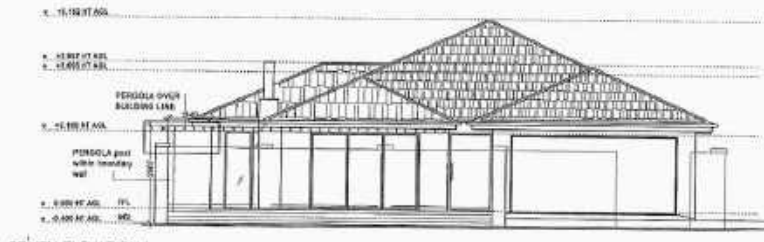
FLOOR PLAN LAYOUT | scale 1:100

| | | | |
|--|--|---|-------------------|
| SURFACE AREA SITE AREA ALLOWED COVERAGE AREA | + 493.0m ² + 247.5m ² | SURFACE COVERAGE ALLOWED COVERAGE (%) | + 50% |
| EXISTING DWELLING NEW ADDITIONS NEW PROPOSED PERIOD A | + 19.1m ² + 83.4m ² + 14.4m ² | EXISTING DWELLINGS NEW ADDITIONS | + 3.7% + 16.8% |
| TOTAL SURFACE AREA | + 251.9m ² | TOTAL SURFACE COVERAGE | + 48.8% |

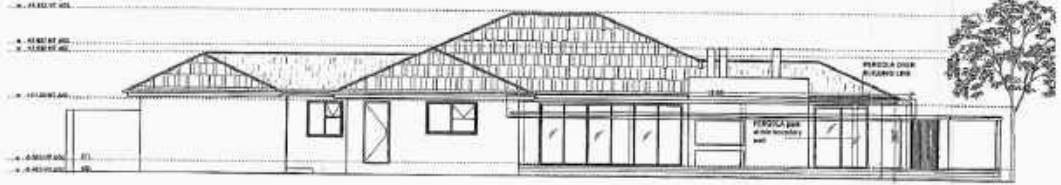
| | | | |
|---|-----------------------------|--|--------------------|
| DRAWING ground floor layout scale: 1:100 - do not scale when printing (A3) | DATE 11 July 2019 | DATE 06 + 0 | REV 02 |
| DRAWN DWG No | 101 Q/3 | PROJECT HOUSE HUMAN ERF 1832 | 101 Q/3 101 Q/3 |
| ADDITIONAL ALTERATIONS | | DESIGNATELIEE | |



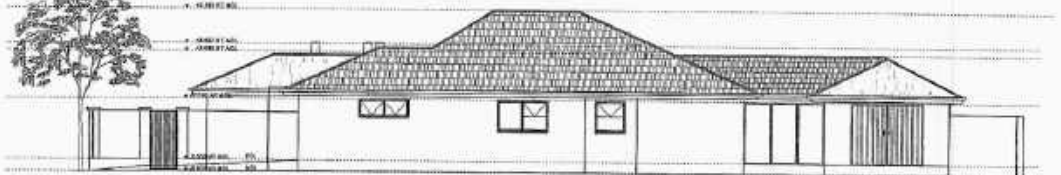
NORTH ELEVATION | scale 1:100



SOUTH ELEVATION | scale 1:100



WEST ELEVATION | scale 1:125



EAST ELEVATION | scale 1:125

BUILDING NOTICE: All work to comply with SANS 10400 and Building Regulations. All work to be in accordance with total ecological sustainable regulations. Figure dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before starting work commences. Contractors must be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions: The building area to be laid out and extended in the plan and in the levels as indicated on the plan & site layout plan. The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work.

Label surveyor: to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading according to the flow by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall if any be treated against termites and wood-boring attack and fungal decay in accordance with the most recent of SANS 16005 and shall bear the proper certification mark of a body certified by the South African National Accreditation System.

BUILDING ELEMENTS: The construction of any building element shall be such that existing or current as constructed does not compromise the design intent of any design solution that satisfies the design requirement of a functional regulation.

FLOOR FLOOR LEVEL: Finished floor level of dwelling to be set at 20mm above back of battery level at sewer connection. It is recommended that garage floor level be 170mm above back of battery level at sewer connection.

OTHER: There is any locality, kitchen, shower room, bathroom or room containing a water pan or water tank, comply with SANS 10400. Any contract is intended to be 300mm below floor structure floor.

The requirements of the national by-laws and any other applicable authority must be complied with. The builder must comply with the NHBRC by-laws.

All reinforced concrete slabs and walls are to be cast singly to structural engineers specifications and details. All slabs are to be reinforced concrete with rebar and exceeding 150mm and beams not less than 100mm wide.

CHART: All painted surfaces to external side of dwelling must be applied to wall with a 1cm sample and be approved by client before applying to wall.

HOT WATER: Hot water heating requirement: at least 50% of a central average hot water heating requirement shall be provided by means other than electrical resistance heating including but not limited to solar heating, heat pumps, heat recovery from other systems or processes and renewable sustainable fuel or

in accordance with SANS 10400 PART 2A HOT WATER PIPING INSULATION. Provided a no install thermal pipe insulation on all hot water services pipes in accordance with SANS 90000 Part 2A, to be installed for pipe insulation of 20mm thickness for diameter of 150mm with a R-Value of 1.32 (R value R-Value of 1.30 is required for internal dia > 80mm).

INSULATION: All walls shall adhere a minimum R-Value of 2.7 in accordance with SANS 10400 PART 2A Table 7 and SANS 2042011 for typical R-Values for wall and ceiling construction. Direction of heat flow for Climatic zone 4 = SW. Add a layer of 15mm insulation with a R-Value of 2.2 between busses above ceiling. Add a layer of Stygobloc 403 with a R-Value of 1.35 between ceiling & ceiling.

page 3

| | | | | | | |
|-----------------------|-----------|-------------------------|---------|--|------------------------|---|
| SURFACE AREA | | SURFACE COVERAGE | | DRAWING | PROJECT |  <p>DESIGNATELLIE</p> <p>REGISTERED ARCHITECTS AND ENGINEERS 1111 WILSON ROAD, SANDHURST, 7682 WWW.DESIGNATELLIE.CO.ZA</p> |
| SITE AREA | = 455.8m² | ALLOWED COVERAGE (M) | = 30% | Revisions | HOUSE HUMAN ERF 1632 | |
| ALLOWED COVERAGE AREA | = 247.5m² | EXISTING DWELLING | = 31.1% | scale: 1:100 (do not scale when printing) (A3) | vubBij | |
| EXISTING DWELLING | = 154.8m² | NEW ADDITIONS | = 18.8% | DATE | hermanus 7200 | |
| NEW ADDITIONS | = 13.4m² | TOTAL SURFACE COVERAGE | = 49.9% | 11 February 2015 | AS BUILT PLANS | |
| NEW PROPOSED PERGOLA | = 14.4m² | | | DRAWN | | |
| TOTAL SURFACE AREA | = 255.8m² | | | 30 - 07 | | |
| | | | | DWG No | 151 3/2 | |
| | | | | REV | 02 | |

REGULATIONS AND BY-LAWS MUST BE COMPLIED WITH AT ALL TIMES. THIS PLAN WAS PREPARED FOR AND SHALL BE VALIDATED FOR ©

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1832, VOELKLIP (2945/2009)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 - P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1832, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

12-07-2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**21. ERVEN 3885 – 3895, UNDER THE OAKS, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED AMENDMENT OF ARCHITECTURAL
DESIGN GUIDELINES: UNDER THE OAKS HOME OWNERS' ASSOCIATION**

3885 - 3895 HON (4200)

H Olivier

(028) 313 8900

Hermanus Administration

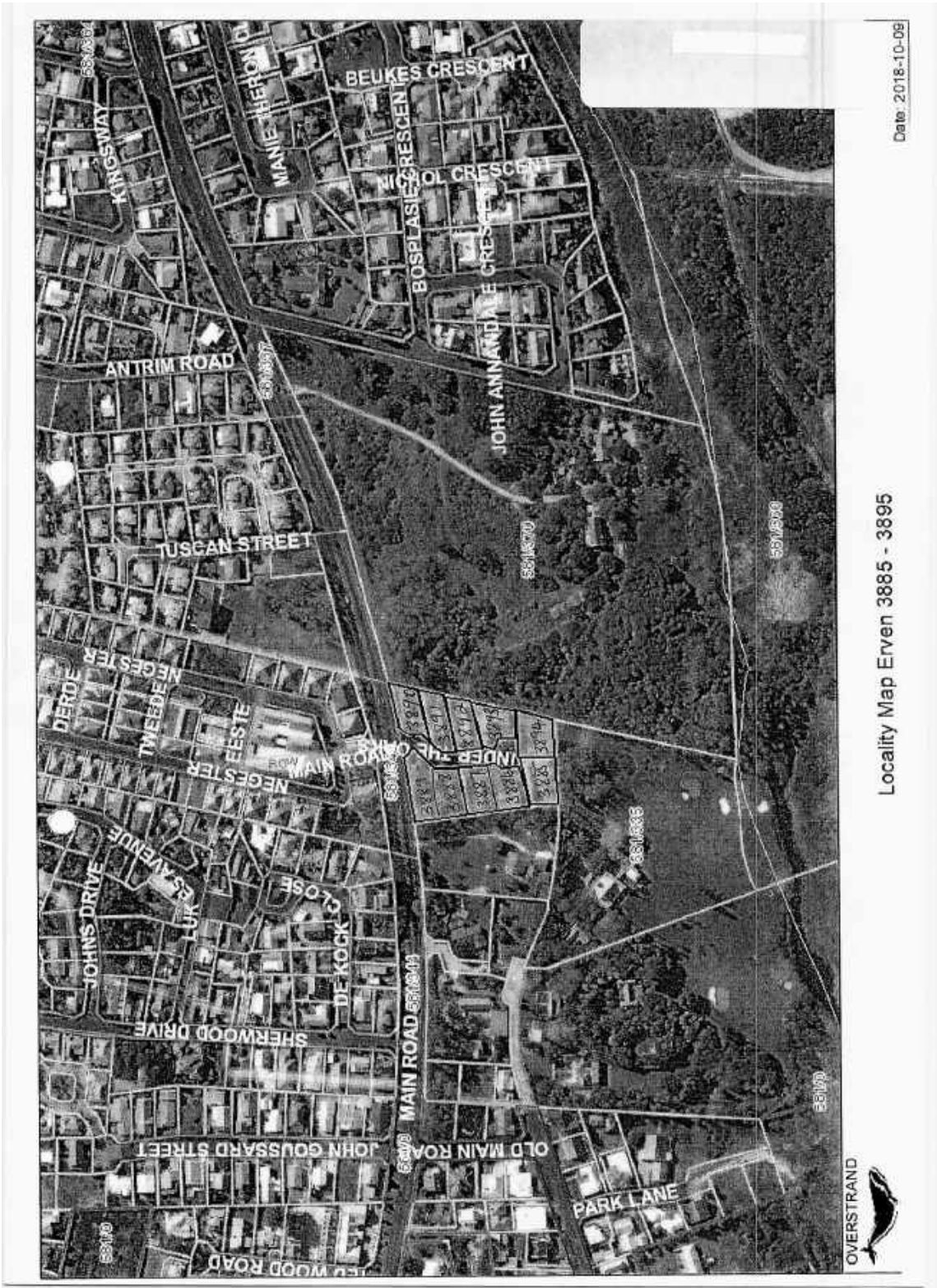
20 September 2019

Executive Summary

An application has been received on 3 October 2018 from Under the Oaks Home Owners' Association in terms of Section 16(2)(f) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Architectural Design Guidelines for Under the Oaks.

RECOMMENDATION

1. that the application in terms of Section 47 of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) of an application in terms of Section 16(2)(j) to amend the Architectural Guidelines of Under the Oaks revised April 2017, **be approved**.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Date: 2018-10-09

Locality Map Erven 3885 - 3895

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

22. ERF 6068, 96 NIVENIA ROAD, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: JP & E White

6068 KKM (2988)

H van der Stoep

(028) 313 8900

Hermanus Administration

28 October 2019

Executive Summary

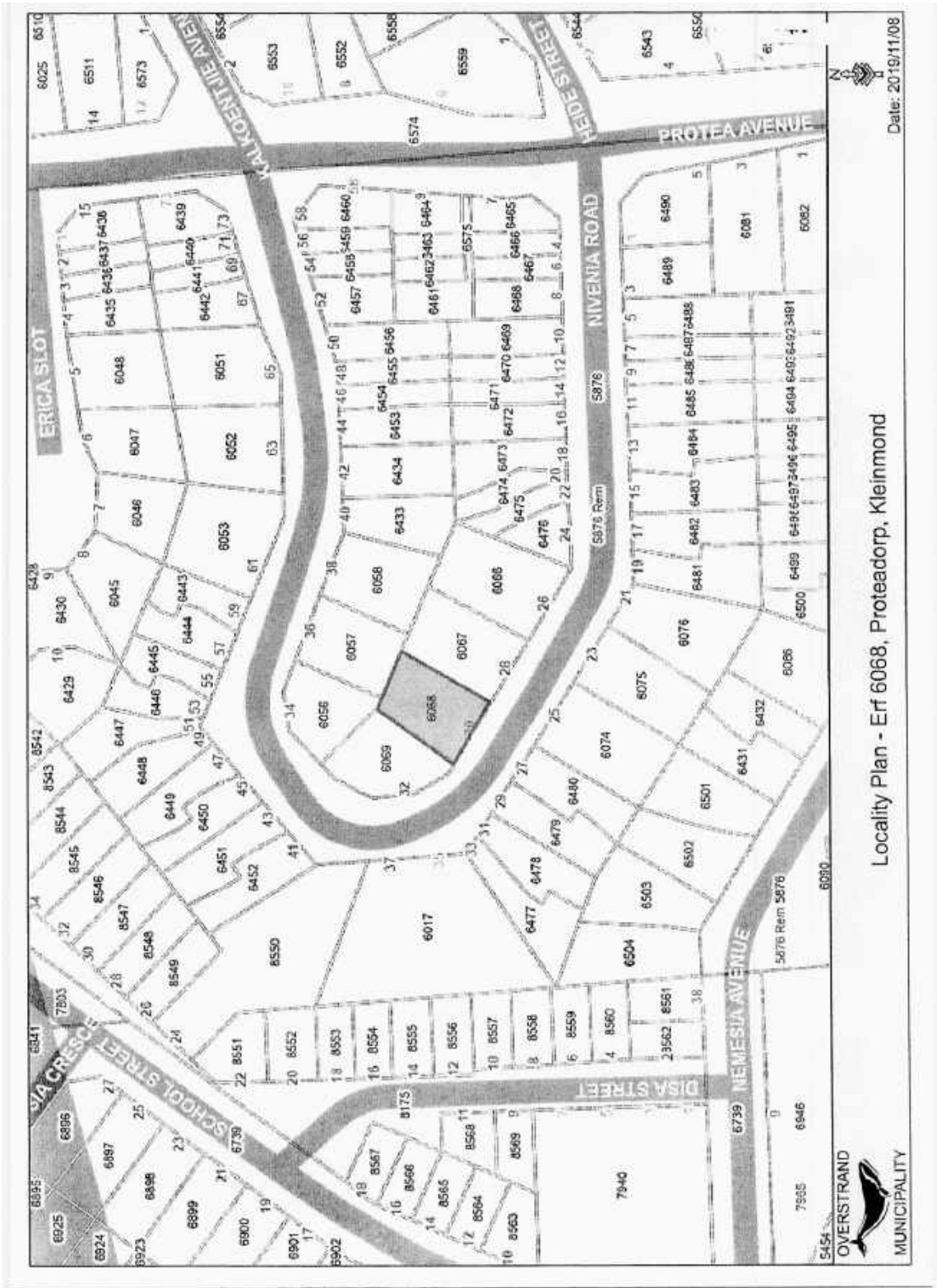
An application has been received on 5 June 2019 from J & E White on Erf 6068, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line in order to exceed the maximum length restriction of 9m to 11,73m to accommodate a tandem garage.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 6068 Protea Dorp, Kleinmond in order to exceed the maximum length restriction of 9m to 11,73m to accommodate a tandem, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the Plan No.002 dated 14 February 2019 and Plan No's 004 and 005 dated 8 March 2019, as submitted with the application,
 - (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
 - (d) that the gutter not transgress the boundary line and storm water be accommodated on the applicant's erf (Erf 6068, Kleinmond) only
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. that the store room, as indicated on the plans, **be demolished** or an application be submitted within three (3) months to address the store room.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan - Erf 6068, Proteacorp, Kleinmond

Date: 2019/11/08



Handwritten initials/signature

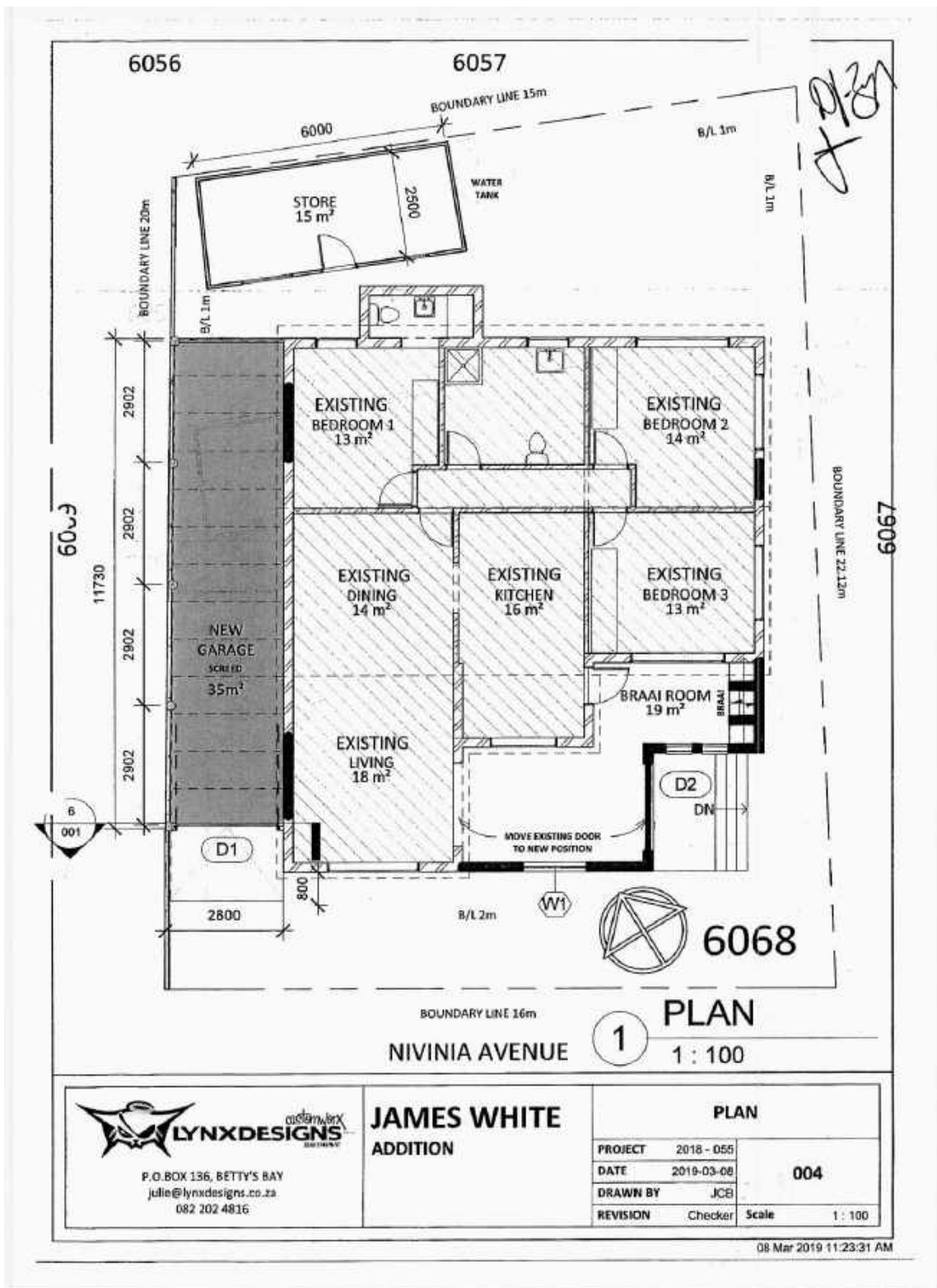



LYNXDESIGNS
custom lynx designs

P.O. BOX 136, BETTY'S BAY
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082 202 4816

JAMES WHITE
ADDITION

| SITE PLAN | | |
|-----------|------------|---------------|
| PROJECT | 2018 - 055 | 002 |
| DATE | 2019-02-14 | |
| DRAWN BY | Author | |
| REVISION | Checker | Scale 1 : 200 |



BOUNDARY LINE 16m
 NIVINIA AVENUE **1** PLAN
 1 : 100

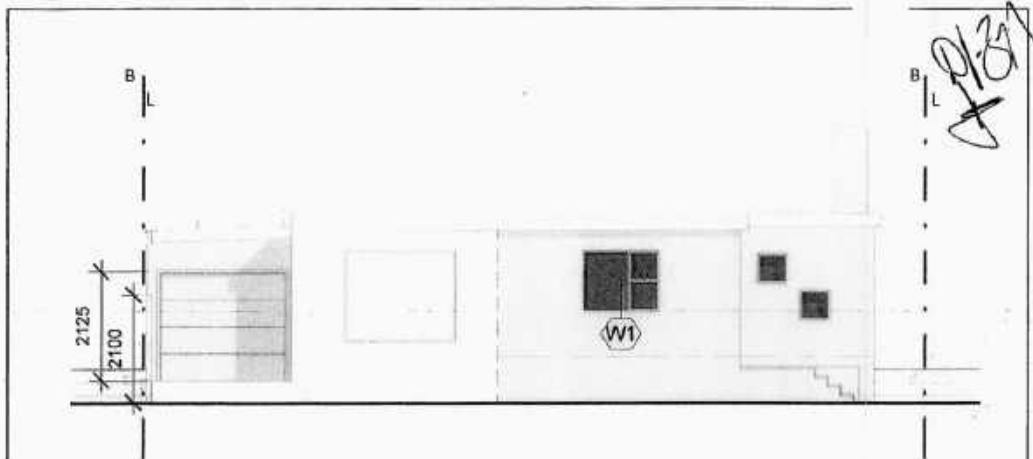


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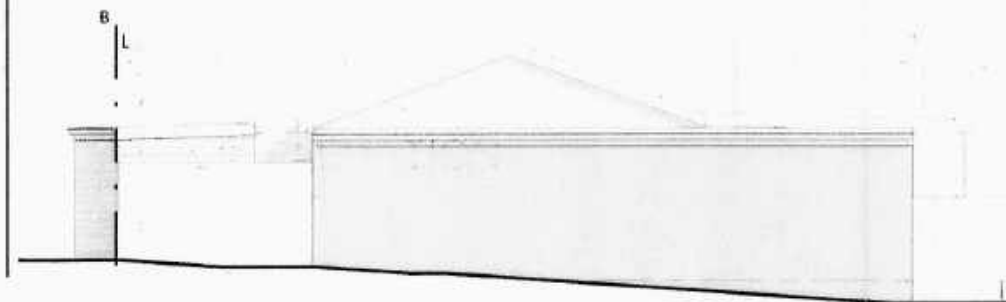
**JAMES WHITE
 ADDITION**

| PLAN | | 004 |
|----------|------------|---------------|
| PROJECT | 2018 - 055 | |
| DATE | 2019-03-08 | |
| DRAWN BY | JCB | |
| REVISION | Checker | Scale 1 : 100 |

08 Mar 2019 11:23:31 AM



1 south ELEVATION -
1 : 100



2 west ELEVATION -
1 : 100



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julie@lynxdesigns.co.za
082 202 4816

**JAMES WHITE
ADDITION**

ELEVATION

| | | |
|----------|------------|---------------|
| PROJECT | 2018 - 055 | 005 |
| DATE | 2019-03-08 | |
| DRAWN BY | JCB | |
| REVISION | Checker | Scale 1 : 100 |

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 6068, KLEINMOND (2988/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 6068, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**23. ERF 7049, 7 KEURBOOM AVENUE, KLEINMOND, OVERSTRAND
MUNICIPAL AREA: APPLICATION FOR DEPARTURE: W VAN DEN BERG**

7049 KKM (3173/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

11 November 2019

Executive Summary

An application has been received on 19 June 2019 from W van den Berg on Erf 7049, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the eastern lateral building line and rear building line from 2m to 1m respectively to accommodate an extension to the existing single garage and also to relax the western lateral building line from 2m to 1m to accommodate an extension to the existing kitchen. The application is also to transgress the 9m or third of structures over the building line on one boundary.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 7049, Kleinmond for the following departures:
 - to relax the eastern lateral building line and rear building line from 2m to 1m respectively to accommodate an extension to the existing single garage;
 - to relax the western lateral building line from 2m to 1m to accommodate an extension to the existing kitchen, and
 - to transgress the 9m or third of structures over the building line on one boundary,

be approved, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plan numbers 1902/101, 1902/102, 1902/103, 1902/104 and 1902/105 dated May 2019, as submitted with the application;
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
- (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 7049 Kleinmond



Date: 2019-08-20

NOTES: Please refer to drawings Nos. 1902/102, 103, 104, 105, 106, 107 and 108.
 These drawings are copyright of the Architectural Technological. Do not scale, refer only to figure dimensions. All dimensions and levels to be shown on drawings are in millimetres unless otherwise stated.
 All work to be done by subcontractors to the Licensed Building Practitioner. All structural elements to conform to SANS 1045 which requires to be minimum of 10% of floor area and 5% openwork for reinforcement to comply with part 4 of the National Building Regulations and Standards (SANS 1040 Part 4). Slab edge and columns to have safety glass. Slabs more than 1800mm above slab to be cast in place to have safety glass.
 Reinforcement to be installed inside columns 250mm and fixed to minimum 200mm to slab (distance measured vertically from slab top).
 Rooftops: (To comply with SANS 10406 Part 1) Corrosion Protection: Flow channel and sealing on gutters at max. 17mm centres, with 100% gals. to be zinc. To note the galvalume pre-manufactured trusses by acceptable manufacturer. (Treated 5% PPA) as figure. Before cement.
 (Notes continued on Drawing No. 1902/100)

Owner: **Van den Berg**
Architectural Designer: **Reg No. ST1302**

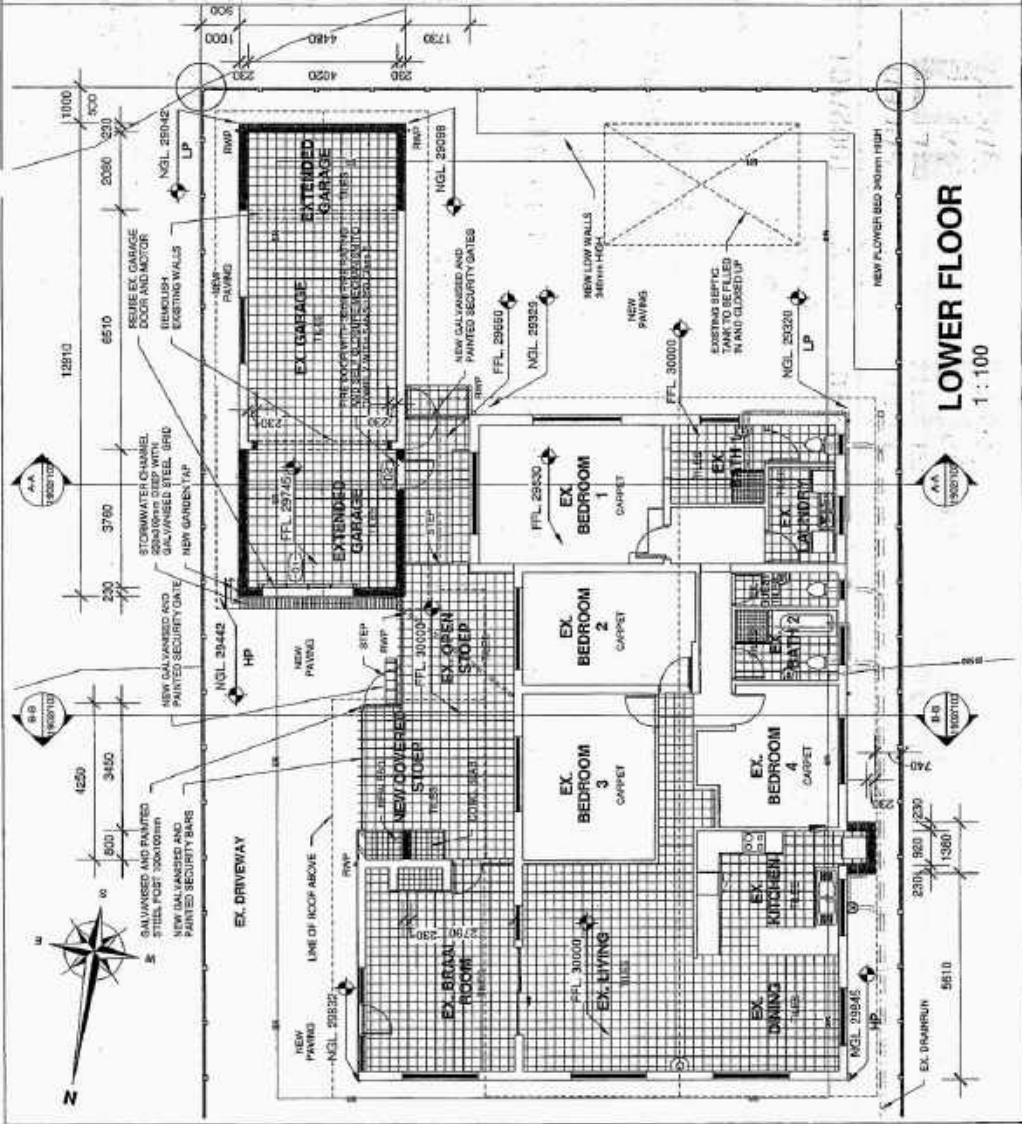
Project: **HOUSE VAN DEN BERG**
PROPOSED ALTERATIONS AND ADDITIONS ON erf 7049 KEURBOOM LAAN FOR M. W. VAN DEN BERG

Drawing Title: **COUNCIL DRAWINGS : FLOOR PLAN**

| | |
|----------------|----------|
| Date | MAY 2019 |
| Drawn by | JMV |
| Scale | 1 : 10 |
| Project number | 1902/101 |

J.C. WELSHOFF (PRACTICE)
 P.O. BOX 41
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 7194
 Tel: 021 273 8302
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jcw@weldhoff.com

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 BLAKE ZWI (PRACTICE)
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 ALLENBY
 7126
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blakezw@speedlam.com



LOWER FLOOR
 1 : 100

(Notes continued from Drawing No. 1902101Y) Read together with drawing Nos. 1902101, 103, 104, 105, 106 and 107.

Purlins to be fixed to rafters and roof trusses with galv. hurricane brackets. Rafters to be tied to walls with galv. sleep edge carrier beam with galv. roof truss. Roof trusses to be fixed to walls with galv. sleep edge carrier beam to be 60x225mm treated Laminex beam, bolted to 100x100mm hardwood timber posts.

Sloop roof: (To comply with SANS 10400 part L) Victorian Profile five cement roof sheeting on 50x75mm purlins at max. 600mm centres, fixed with galvanised drive screws. Rafters to be 4x48 Treated SAP PAR at approx. 900mm centres tied to walls and sloop edge carrier beam. Sloop edge carrier beam to be 220x60mm treated Laminex beams, bolted to 100x100mm hardwood timber posts and built into walls. Roof slope at 10 degrees.

(Notes continued on Drawing No. 07451103)

Owner :
Architectural Designer :
Reg No. ST1302

Project:
HOUSE VAN DEN BERG
PROPOSED ALTERATIONS AND ADDITIONS ON ERF 7049 KEURBOOM LAAN FOR MR. W. VAN DEN BERG

Drawing Title
COUNCIL DRAWINGS : SITE PLAN & ENERGY CALCULATIONS

Date MAY 2019
Drawn by JW
Scale As indicated
Project number **1902/102**

J.C. WEBBMAN (PRACTICE)
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7110
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jcwebbman@gmail.com

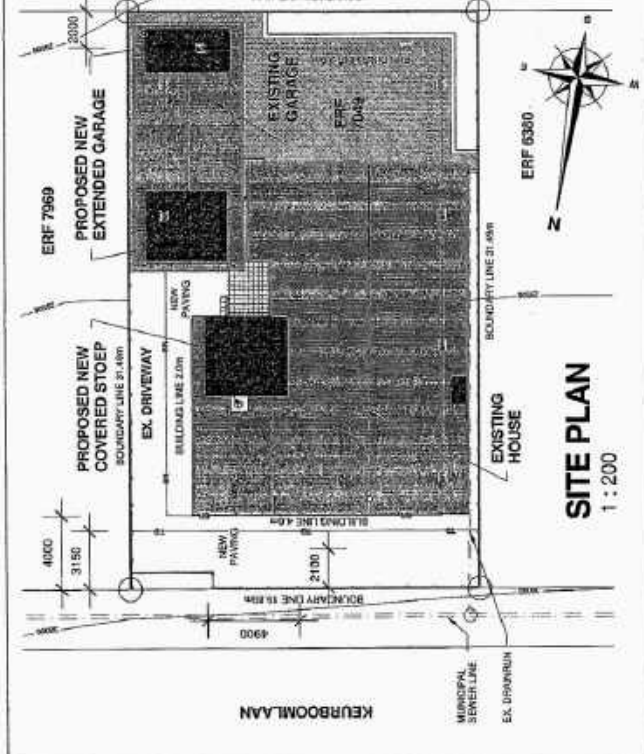
SPEED
L A N
BLAKE ZW (PRACTICE)
P.O. BOX 132
HELMOND
1185
Cell: 033 193 1840
blake@speedlan.co.za

| HOUSE | |
|----------------|------|
| HIGHEST POINT | 2846 |
| LOWEST POINT | 2830 |
| BASE LINE | 2833 |
| MAXIMUM HEIGHT | 2750 |

| OUTBUILDING | |
|----------------|------|
| HIGHEST POINT | 2842 |
| LOWEST POINT | 2832 |
| BASE LINE | 2832 |
| MAXIMUM HEIGHT | 2740 |

| AREAS | |
|---------------------------------|-----------|
| SITE AREA | 28428 Sqm |
| EXISTING BUILDING | 11428 Sqm |
| PROPOSED WORK | 2823 Sqm |
| GROUND FLOOR PLAN COVERED STOEP | 1138 Sqm |
| TOTAL NEW WORK | 4829 Sqm |
| OPEN STOEP | 1138 Sqm |

| COVERAGE | |
|---------------------|-----------|
| BUILDING FOOT PRINT | 28808 Sqm |
| SITE AREA | 28428 Sqm |
| % COVERAGE | 101,31 % |



ENERGY CALCULATIONS

BUILDING ENVELOPE REQUIREMENTS
OCCUPANCY : 1H Dwelling house
CLIMATE ZONE : Zone 4 Coastal
ORIENTATION : Original dwelling was designed for optimal orientation towards north.
FLOORS : No underfloor heating installation. Underfloor heating floor to have a minimum R-value of 1,0 to comply with saks 5040 part j and 5A
ROOF ASSEMBLY : Roof 220mm steel structure with the minimum total R-value of 37 m2/mW (double of half floor for zone 4 & general)
ROOF (U7 require)
Cathodic Anode Current
Sloped Air
Sloped Air
Tiled Floor
Internal Air
TOTAL
R = 0,030
R = 1,800
R = 0,150
R = 4,000
R = 0,100
R = 4,075 (nd kW)

WALLS : External walls to comply with R-value requirements as per saks 5040 part k and 5A.
Minimum walls to have a minimum R-value of 0,35.
Walls to have a minimum R-value of 0,35.
Walls to be insulated inside and outside.
Walls to be insulated inside and outside.
Cement plaster 20mm
Cement plaster 10mm
Ac. space 20mm
City brick 110mm
Cement plaster 20mm
Total
R = 0,440
R = 0,627
R = 0,440
R = 4,008 (nd kW)

PERMEATION : All permeation areas to comply with the minimum energy performance requirements as per saks 5040 part l and 5A and 5A.100 and 5A.101.
Site calculation table above and floor construction report.

NOT WATER SYSTEM: Requirements for hot water installations to be in accordance with SANS 10252-1 and SANS 10254.
All hot water service pipes shall be clad with insulation with a minimum thickness of 25mm.
Hot water cylinders to be clad in conjunction with a final party and stop panel.
Hot water cylinders to be clad with insulation with a minimum thickness of 25mm.
SFP/DBS: Energy demand and energy consumption to be calculated in accordance with saks 5040 part m.

(Notes continued from Drawing No. 1902/101) (Read together with drawing Nos. 1902/101, 103, 104, 105, 106 and 107.)

EAVES:
Eaves projection to be 200mm with closed soffits 220x20mm S40P timber fascias all round. Gutters to be 'Everts' fibre cement domestic half round and downpipes to be 75mm Dia. finished by apicalist.

INSULATION:
420 Sheetrock
75mm Isotherm


CEILING:
Internal to Garage: Plaster board sheets with quadrant and half round cover strips on 32x32mm S40P battens at 450mm centres to underside of trusses. Truss ends to be wrapped in plastic where built into walls.
Standard 70mm covered cornice.

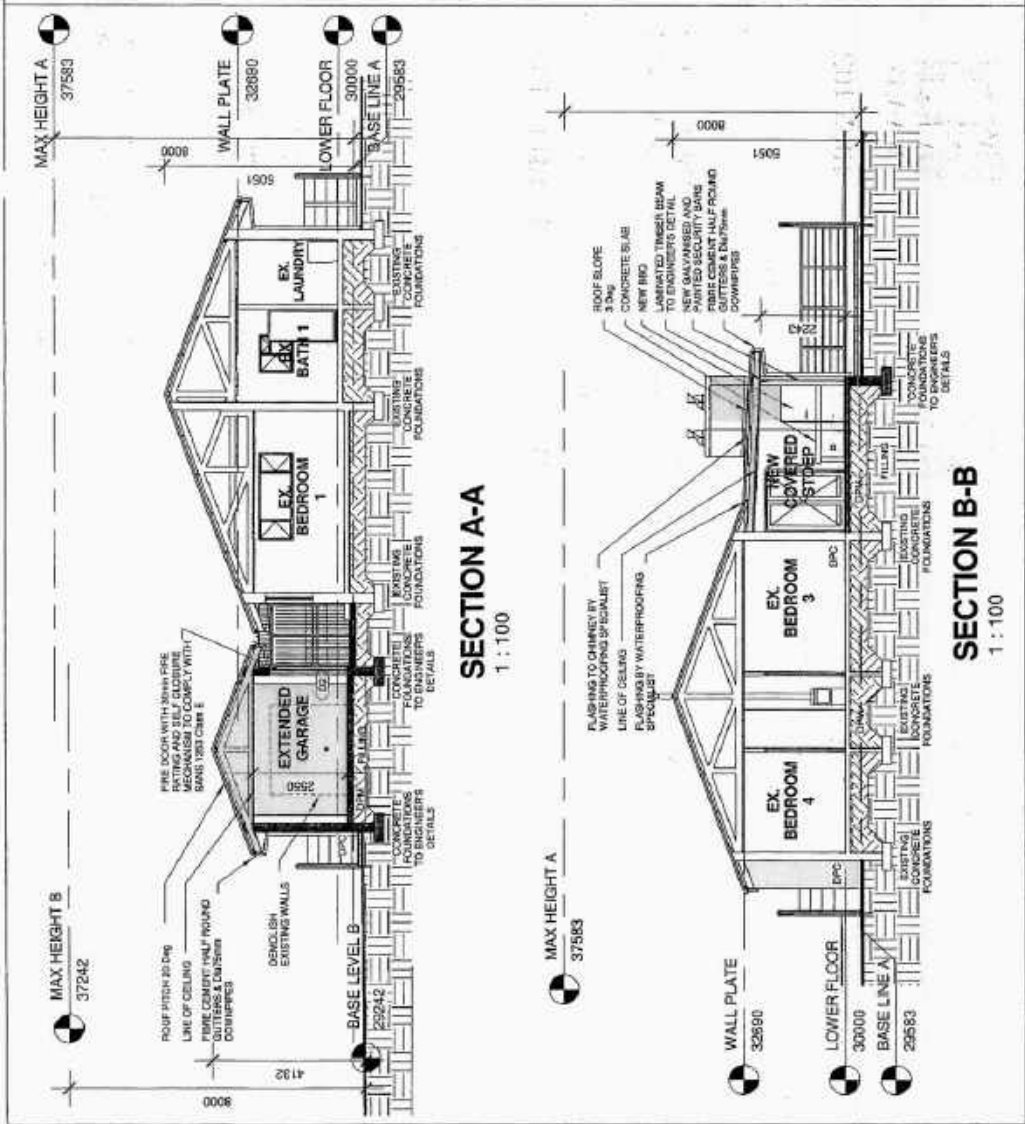
(Notes continued on Drawing No. 1902/103)

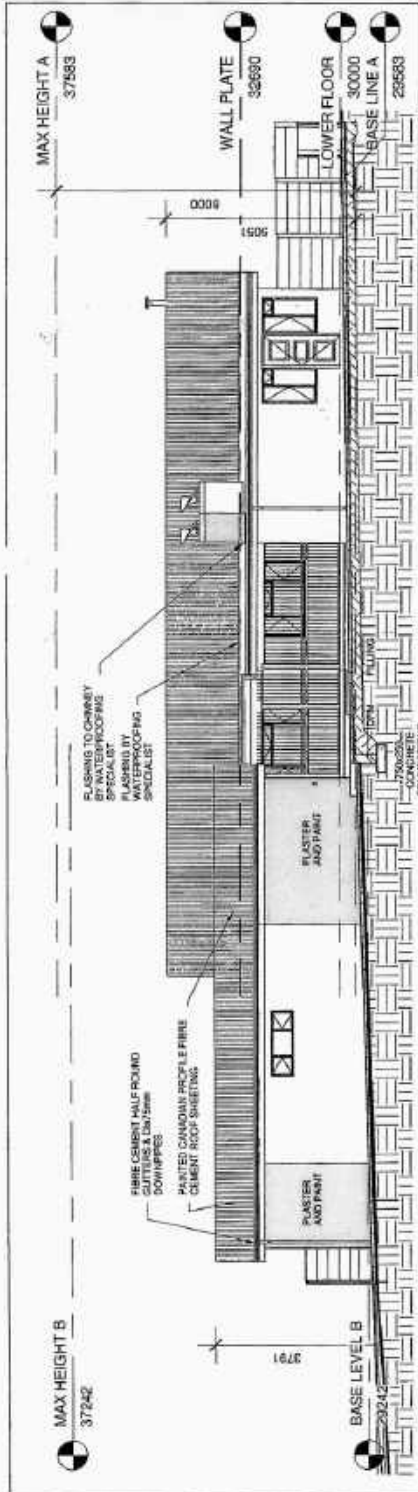
| | | | |
|---|--------------------------------|-----------------|-----------------|
| Owner: | Architectural@van-den-berg.com | Reg No: | ST1602 |
| Project: HOUSE VAN DEN BERG PROPOSED ALTERATIONS AND ADDITIONS ON ERF 7049 KEURBOOM LAAN FOR Mr. W. VAN DEN BERG | | | |
| Drawing Title: COUNCIL DRAWINGS : SECTION A-A & B-B | | | |
| Date: | MAY 2019 | Drawn by: | JW |
| Scale: | 1 : 100 | Project number: | 1902/103 |

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blake@speed.co.za







(Read together with drawing Nos. 1902-101, 102, 105, 106, 109 and 107.)

Project :
HOUSE VAN DEN BERG
 PROPOSED ALTERATIONS AND ADDITIONS ON ERF 7049 KEURBOOM LAAN FOR MR. W. VAN DEN BERG

Drawing Title
COUNCIL DRAWINGS : ELEVATIONS

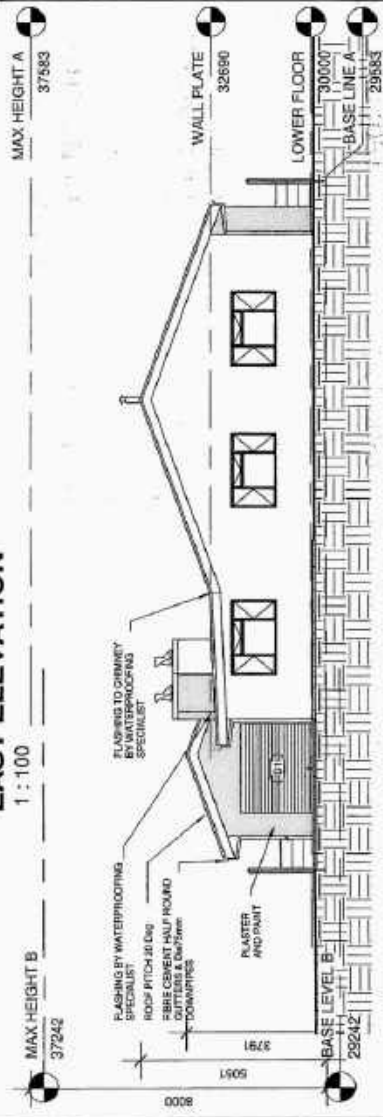
Date MAY 2019
 Drawn by JMV
 Scale 1 : 100
 Project Number **1902/104**

J.C. WEDDMAN (PRACT.)
 P.O. BOX 41
 PRETORIA 001
 TEL: 082 873 8802
 E: jcw@signal.com

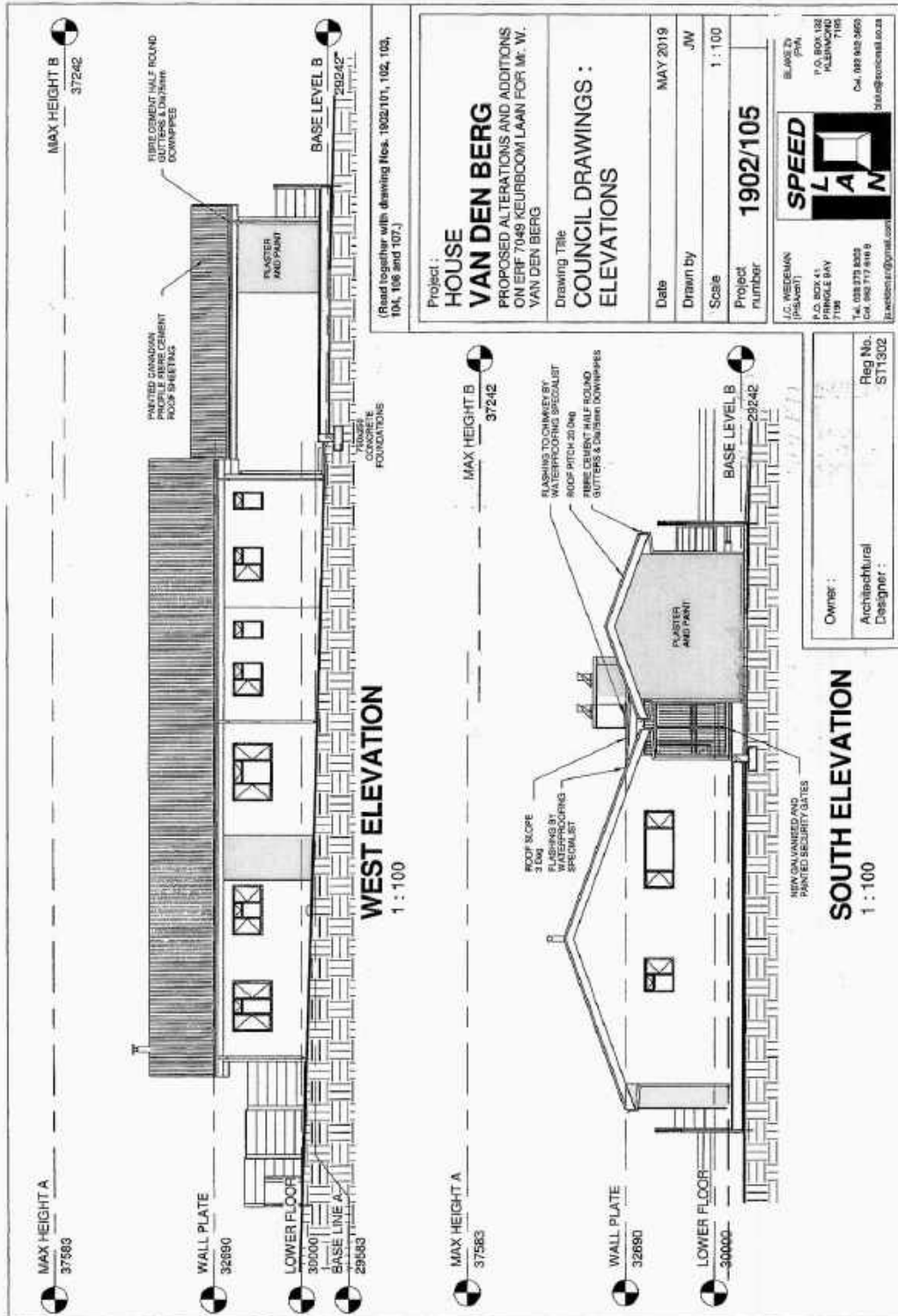
SLAKE ZI (Pvt.)
 P.O. BOX 138
 KENILDE AVENUE
 PRETORIA 001
 TEL: 082 717 6113
 E: info@slakezi.com

Owner :
 Architectural Designer :
 Reg No. ST1302

EAST ELEVATION
 1 : 100



NORTH ELEVATION
 1 : 100



MAX HEIGHT A
37563

MAX HEIGHT B
37242

WALL PLATE
32690

LOWER FLOOR
30000

BASE LINE A
29483

THREE CORNER HALF ROUND
GUTTERS (100/20mm)
DOWNPIPES

PAINTED GALVANIZED
PROFILE WIRE COBENT
ROOF SHEETINGS

PLASTER
AND PAINT

BASE LEVEL B
29242

WEST ELEVATION
1 : 100

(Read together with drawing Nos. 1902/101, 102, 103,
104, 106 and 107.)

MAX HEIGHT A
37583

MAX HEIGHT B
37242

WALL PLATE
32690

LOWER FLOOR
30000

FLASHING TO CORNER BY
WATERPROOFING SPECIALIST

ROOF PITCH 20/100

THREE CORNER HALF ROUND
GUTTERS & DOWNPIPES

PLASTER
AND PAINT

BASE LEVEL B
29242

NEW GALVANIZED AND
PAINTED SECURITY GATES

SOUTH ELEVATION
1 : 100

Project :
**HOUSE
VAN DEN BERG**
PROPOSED ALTERATIONS AND ADDITIONS
ON ERF 7049 KEURBOOM LAAN FOR M. W.
VAN DEN BERG

Drawing Title
**COUNCIL DRAWINGS :
ELEVATIONS**

Date
MAY 2019

Drawn by
JM

Scale
1 : 100

Project
number
1902/105

L.C. WEDERMAN
(ISSUED)

**SPEED
L A M**

BLAKE ZH
P/A

P.O. BOX 41
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7106

Tel. 028 279 8225
Cell. 082 717 4116
j.l.wederman@gmail.com

041 887 842 3669
speed@speed.laam.com

Owner :
Architectural
Designer :

Reg No.
S11302

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 7049, KLEINMOND (3173/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 7049, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

24. ERF 530, 21 LOOP STREET, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: DEPARTURE AND RELAXATION OF TITLE DEED CONDITION: J VISSER

530 GPB (3121/2019)

SW van der Merwe

(028) 313 8900

Hermanus Administration

31 October 2019

Executive Summary

An application was received on 13 June 2019 from J Visser for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 530, Pearly Beach in order to relax the eastern street building line of the property from 4m to 3,72m to accommodate the use change of the existing carport into a garage.

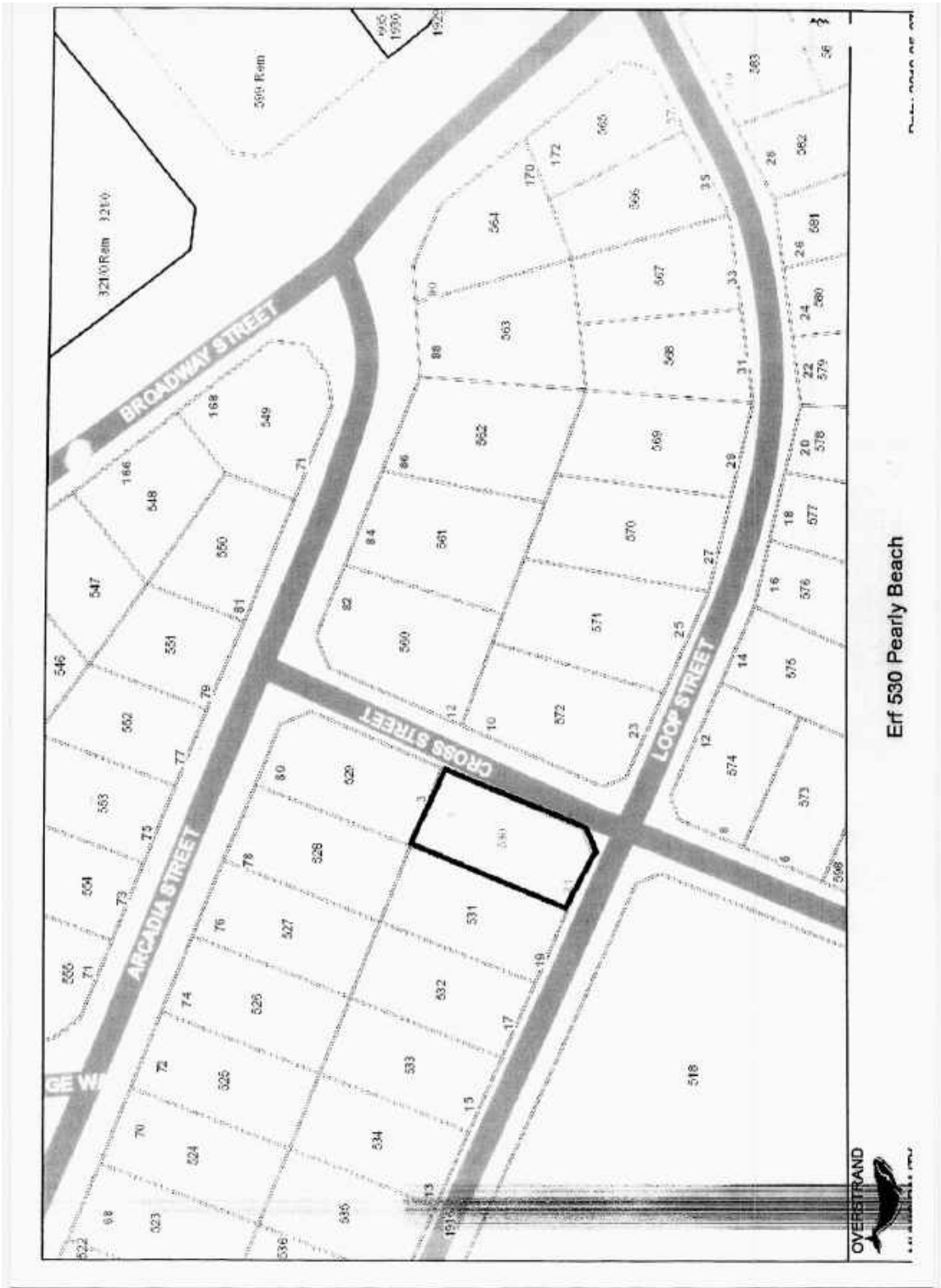
The application also entails the relaxation of restrictive title deed condition B.4.(d) of Title Deed No T57872/2003 of the property in terms of Clause B.4. thereof, to accommodate the use change of the above carport into a garage that encroaches the prescribed 4,72m street title deed building line with 1m.

RECOMMENDATION

1. that the application for the relaxation of the restrictive title deed condition B.4.(d) in terms of Clause B.4 of Title Deed T57872/2003 applicable to Erf 530, Pearly Beach in order to relax the 4,72m eastern street title deed building line with 1m to accommodate the change in use of the carport into a garage, **be approved** in terms of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 applicable to Erf 530, Pearly Beach to relax the eastern street building line of the property from 4m to 3,72m to accommodate the use change of the existing carport into a garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval only be applicable for the encroachment as per dimensions indicated on Site Development Plan No's JJ14/19-1/2 and 2/1 dated 20-3-2019 that were submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;

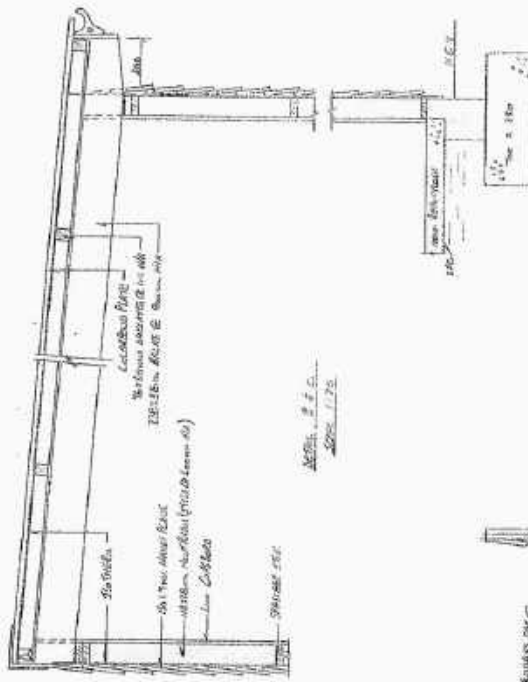
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (c) that all the applicable conditions as contained in the Services Report, be complied with;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

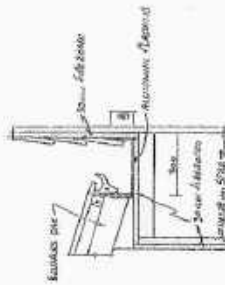


Erf 530 Pearly Beach

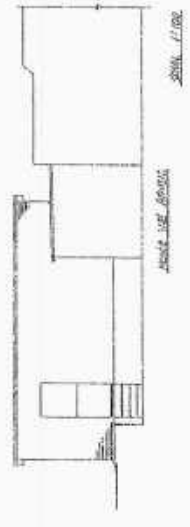
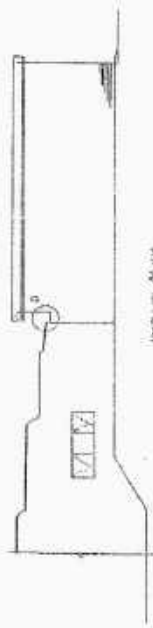
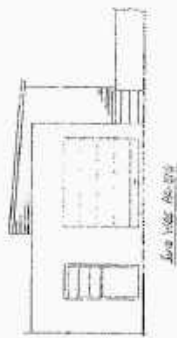




Arch. d. B. G.
Stoll. 1.75



Arch. d. B. G.
Stoll. 1.75



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 530, PEARLY BEACH (3121)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 530, Pearly Beach, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

25. ERF 8006, TENTH AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS ARCHITECTURAL HOME DESIGN ON BEHALF OF MONTO PEAKS (PTY) LTD

8006 KKM (3350/2019)

**H van der Stoep
22 October 2019**

(028) 313 8900

Hermanus Administration

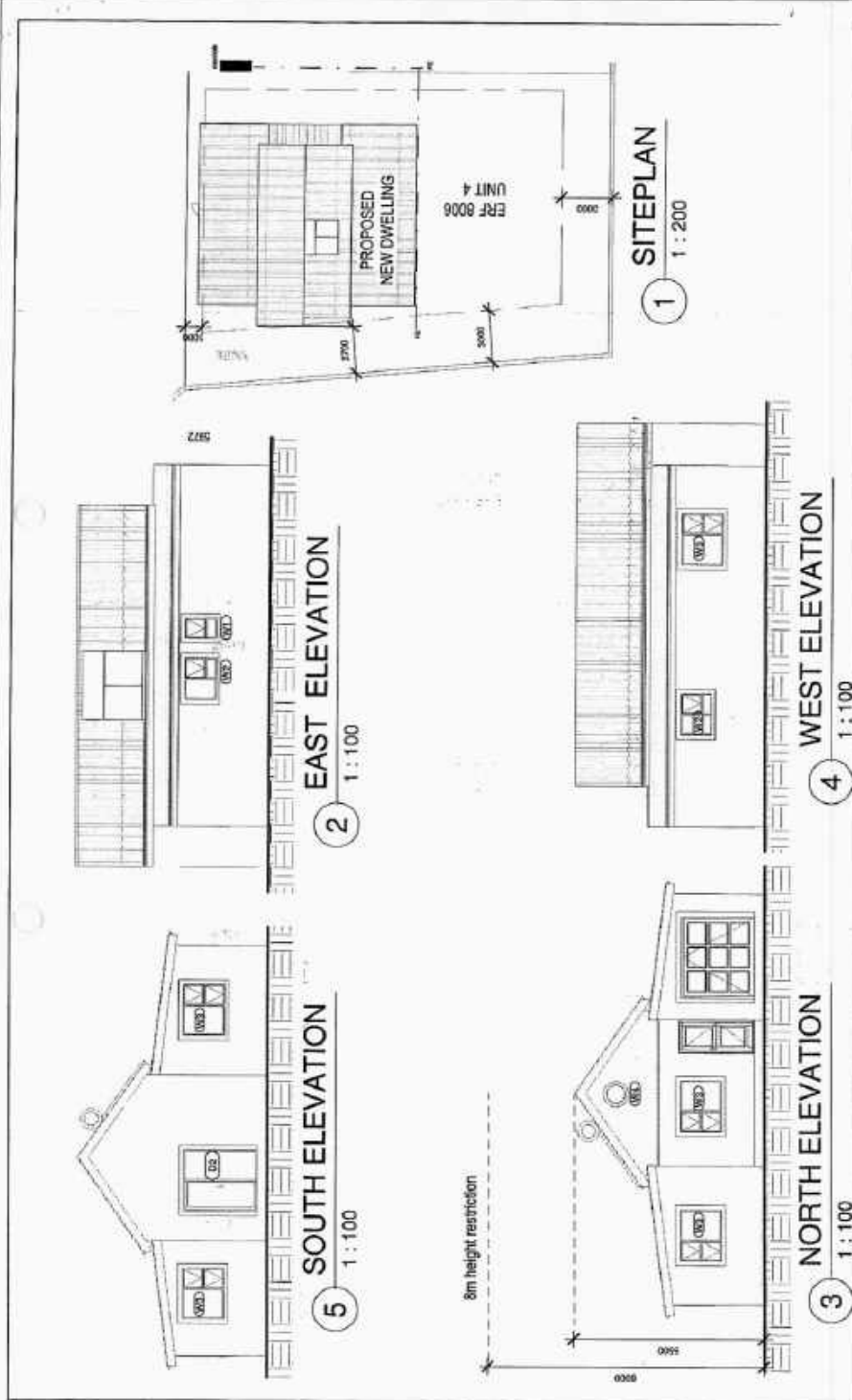
Executive Summary

An application has been received on 22 May 2019 from Messrs Architectural Home Design (P Mattheus) on behalf of Monto Peaks (Pty) Ltd (JW Swanepoel) on Erf 8006, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 3m to 2,7 to legalise an existing building.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 8006, Kleinmond in order to relax the lateral building line from 3m to 2,7 to legalise an existing building, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. A102 dated 18 June 2019, as submitted with the application;
 - (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





| | | |
|--|-------------|--|
|  Architectural Home Design Residential Design with a Difference Tel: 021 551 1038 Email: info@architecturalhomedesign.co.za Website: www.architecturalhomedesign.co.za | | COUNCIL DRAWING Project no: 0000000194 Date: 18/05/2019 Reg no: 20052 Drawn by: P.J.M. Scale: As indicated |
| MONTO PEAKS PTY(LTD) ERF 8006 10TH AVENUE KLEINMOND | | A102 |
| No. | Description | Date |
| | | |
| | | |
| | | |

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

26. REMAINDER ERF 6996, 11 THIRD STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS ENGELBRECHT & SCORGIE ARCHITECTURAL OFFICE ON BEHALF OF GJ DE SMIDT

6996 HVK (3154)

S van der Merwe

(028) 313 8900

Hermanus Administration

10 October 2019

Executive Summary

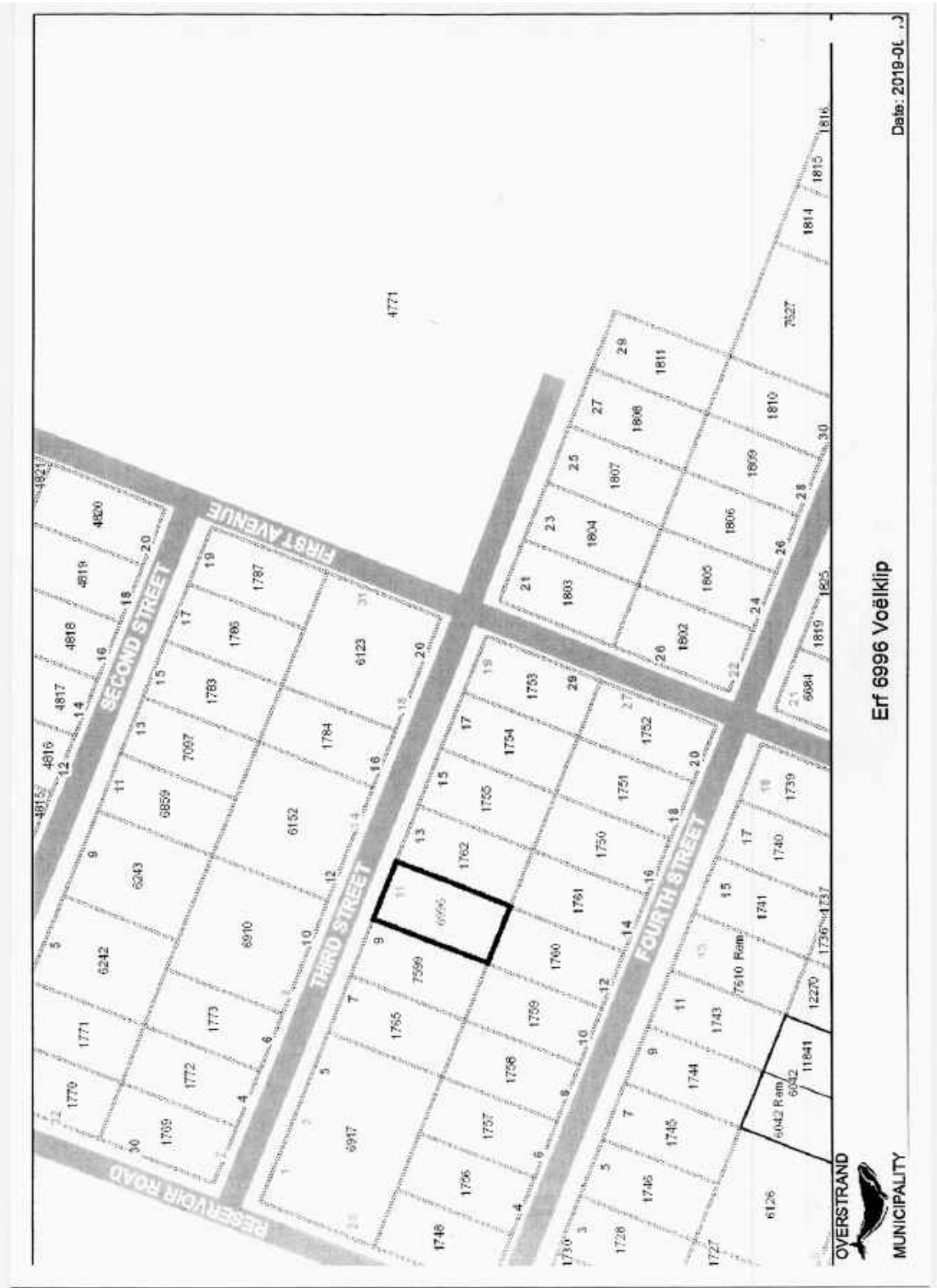
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 5 July 2019 from Messrs Engelbrecht & Scorgie on behalf of GJ De Smidt, applicable to Remainder Erf 6996, Hermanus in order to exceed the 50% permissible coverage applicable to the property with $\pm 2,01\%$.

RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Remainder Erf 6996, Hermanus in order to accommodate a $\pm 52,01\%$ coverage of the existing approved buildings on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as per the dimensions of the approved building plan No.34395 dated 26/3/18 that is filed at the Building Department of the Municipality;
 - (b) that the landowner ensures that the above approved building plan be endorsed with immediate effect to reflect the above approved coverage on the property;
 - (c) that the landowner removes the illegal canopy and pergola on the property with immediate effect;
 - (d) that all the applicable conditions of Engineering Services, be complied with;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 6996 Voëlklip



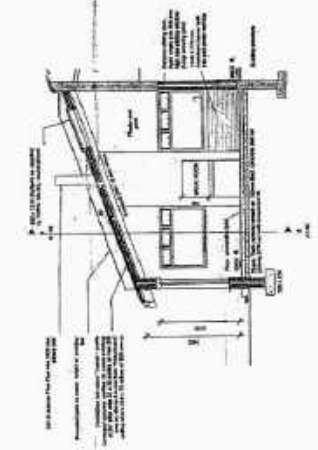
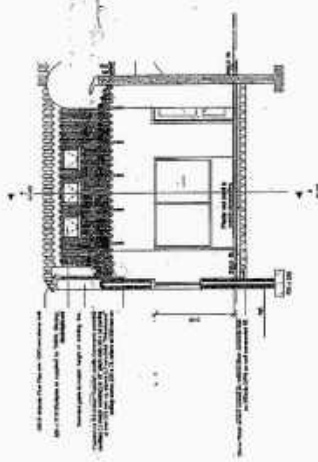
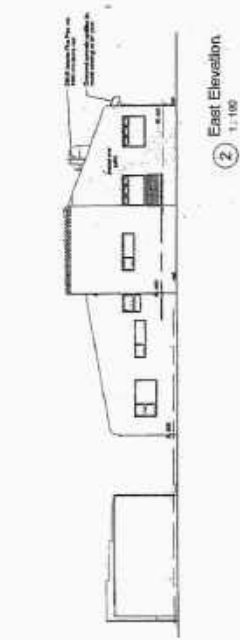
Date: 2019-01

NOTES

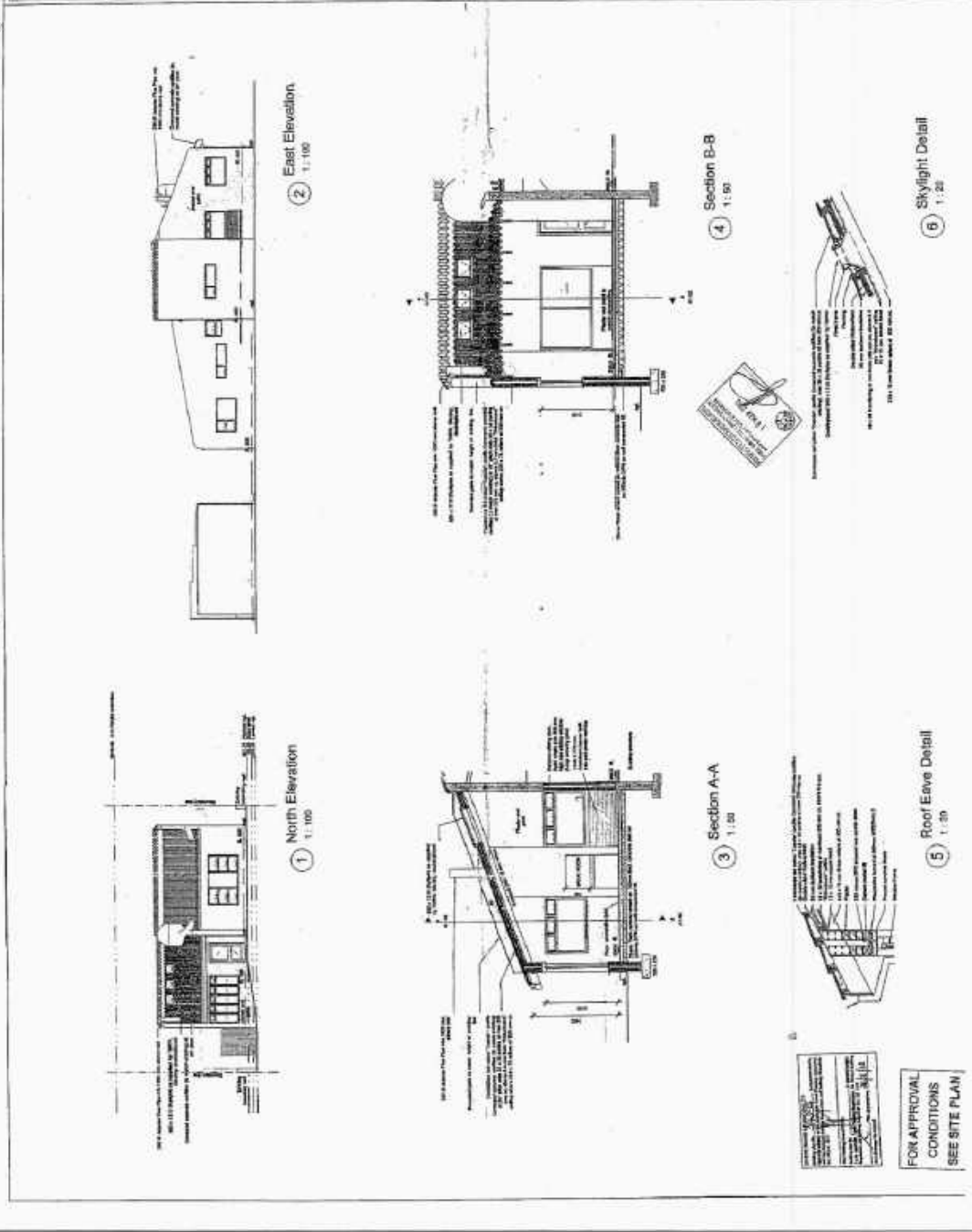
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
2. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
3. THE ROOF SHALL BE 1/2" OSB SHEATHING OVER 2x6 RAFTERS WITH 15 LB FELT UNDERLAYMENT AND 30 YEAR SHINGLE ROOFING.
4. THE EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" FIBERGLASS INSULATION.
5. THE FLOOR SHALL BE 1/2" OSB SHEATHING OVER 2x8 JOISTS WITH 15 LB FELT UNDERLAYMENT AND 3/4" LAMINATED SPLYWOOD FLOORING.
6. THE CEILING SHALL BE 5/8" DRYWALL WITH JOINT TAPES AND MUD.
7. THE INTERIOR WALLS SHALL BE 5/8" DRYWALL WITH JOINT TAPES AND MUD.
8. THE INTERIOR FLOORS SHALL BE 1/2" OSB SHEATHING OVER 2x8 JOISTS WITH 15 LB FELT UNDERLAYMENT AND 3/4" LAMINATED SPLYWOOD FLOORING.
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30. THE INTERIOR CEILING FINISH SHALL BE 5/8" DRYWALL WITH JOINT TAPES AND MUD.

GENERAL NOTES

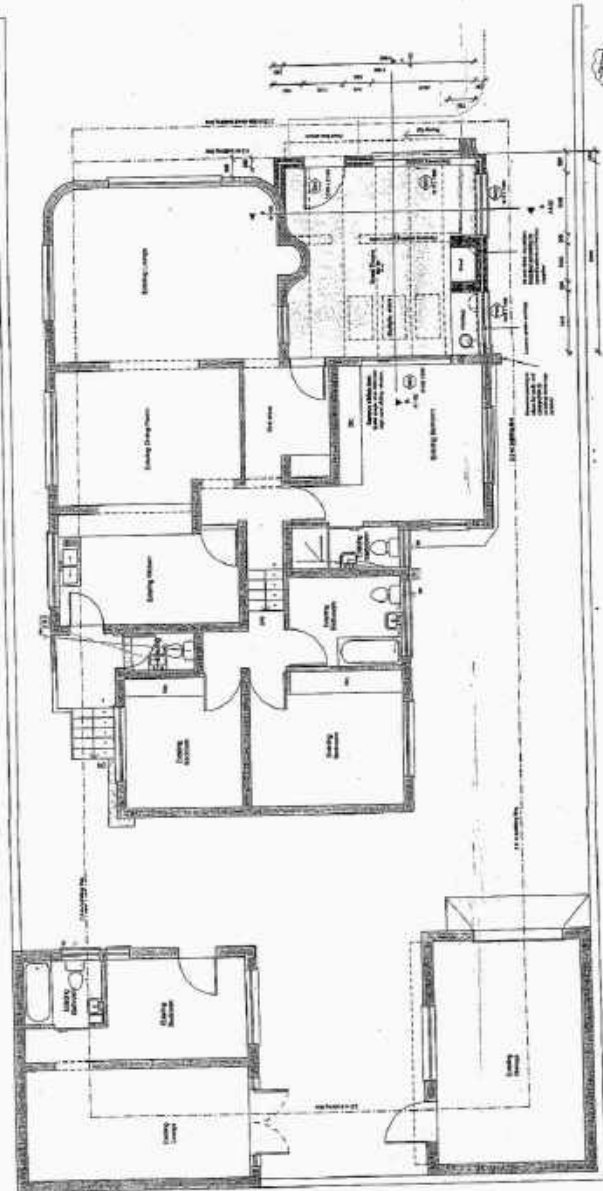
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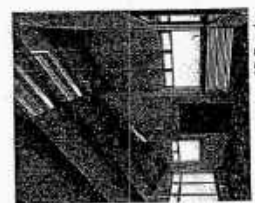
FOR APPROVAL CONDITIONS SEE SITE PLAN



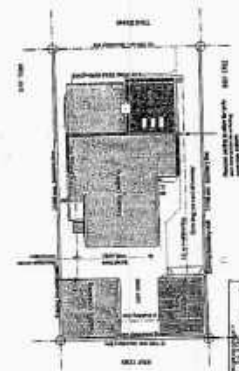
| | |
|---|--|
|  <p>Architectural Firm 1234 Main Street Suite 500 City, State, Zip Phone: (555) 123-4567 Fax: (555) 987-6543 Email: info@firm.com</p> | |
| <p>NOTES:</p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p> <p>3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p> <p>7. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.</p> <p>8. ALL FINISHES SHALL BE AS SPECIFIED IN THE SCHEDULE OF FINISHES.</p> <p>9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>10. ALL WASTE SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORK DAY.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.</p> <p>12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.</p> <p>14. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.</p> <p>15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO ALL ADJACENT PROPERTIES.</p> <p>16. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.</p> <p>17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES.</p> <p>18. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.</p> <p>19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>20. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.</p> <p>21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p> <p>22. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.</p> <p>23. ALL FINISHES SHALL BE AS SPECIFIED IN THE SCHEDULE OF FINISHES.</p> <p>24. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>25. ALL WASTE SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORK DAY.</p> <p>26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.</p> <p>27. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.</p> <p>29. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.</p> <p>30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO ALL ADJACENT PROPERTIES.</p> | |
| <p>PROJECT: [Project Name]</p> <p>DATE: [Date]</p> <p>SCALE: [Scale]</p> <p>DESIGNED BY: [Designer Name]</p> <p>DRAWN BY: [Drawer Name]</p> <p>CHECKED BY: [Checker Name]</p> <p>APPROVED BY: [Approver Name]</p> | <p>NO. OF SHEETS: [Number]</p> <p>SHEET NO.: [Sheet Number]</p> <p>TITLE: [Title]</p> <p>DATE: [Date]</p> <p>SCALE: [Scale]</p> <p>DESIGNED BY: [Designer Name]</p> <p>DRAWN BY: [Drawer Name]</p> <p>CHECKED BY: [Checker Name]</p> <p>APPROVED BY: [Approver Name]</p> |



Plan 1:80



3D Render



Site Plan 1:200

| | |
|-----|----------------------|
| NO. | REVISION |
| 1 | ISSUED FOR PERMIT |
| 2 | REVISED PER COMMENTS |
| 3 | REVISED PER COMMENTS |
| 4 | REVISED PER COMMENTS |
| 5 | REVISED PER COMMENTS |

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 6996, VOELKLIP (3154/2019)**

| | | |
|-------------------|---|----------|
| Stormwater (SW) | : | In Order |
| Electricity | : | In Order |
| Water | : | In Order |
| Sewer | : | In Order |
| Roads and traffic | : | In Order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P; 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 6996, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

27. ERF 1611, MINI STREET, SANDBAAI: APPLICATION FOR REZONING, SUBDIVISION AND DEPARTURE: MESSRS PLAN ACTIVE ON BEHALF OF JA LE ROUX

1611 HSB (4096)

H van der Stoep

(028) 313 8900

Hermanus Administration

19 November 2019

Executive Summary

An application was received on 10 July 2018 from Messrs Plan Active on behalf of JA le Roux on Erf 1611, Sandbaai for the following:

- ❖ Rezoning in terms of Section 16(2)(a) of the By-Law from Residential Zone 1: Single Residential to Subdivisional Area Zone;
- ❖ Subdivision of the property in terms of Section 16.(2)(d) to create the following:
 - 8 General Residential Zone 1: Town Housing erven, and
 - 1 Transport Zone 2: Road and Parking erf;
- ❖ Departure in terms of Section 16(2)(b) of the By-Law to relax the prescribed northern- and eastern lateral building lines, from 3m to 2m, as well as the southern- and western street building lines, from 5m to 3m of the property in order to set the garages of the future dwellings on the above proposed erven as far back as possible.

RECOMMENDATION

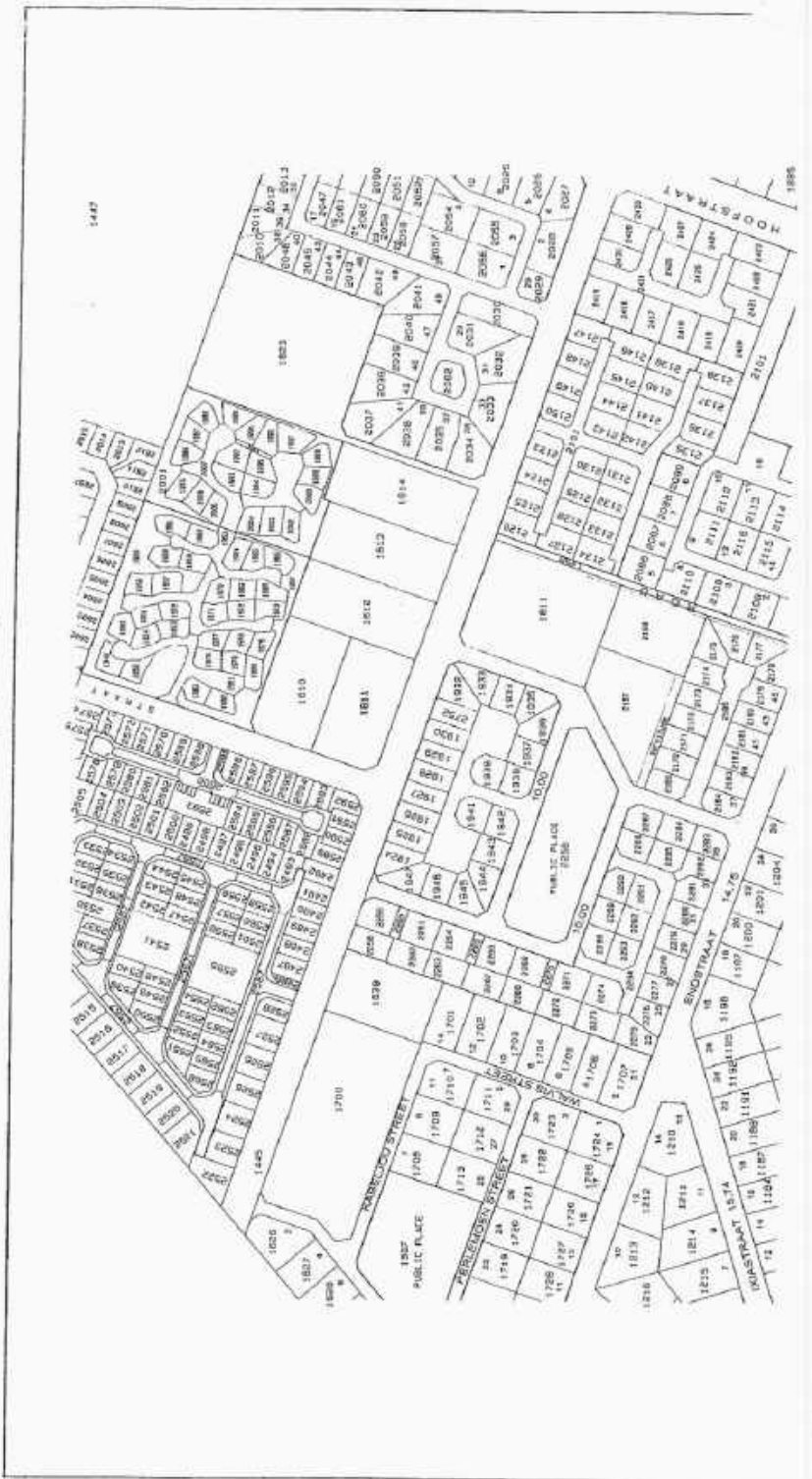
1. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the rezoning of Erf 1611, Sandbaai from Residential Zone 1: Single Residential to Subdivisional Area Zone, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the subdivision of Erf 1611, Sandbaai to create eight (8) General Residential Zone 1: Town Housing erven and one (1) Transport Zone 2: Road and Parking erf, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

3. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, for the departure to relax the prescribed northern- and eastern lateral building lines from 3m to 2m, as well as the southern- and western street building lines from 5m to 3m of Erf 1611, Sandbaai in order to set future garages as far back as possible, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approvals in Points 1. – 3. be subject to the following conditions:
 - (a) that all prescriptions of the Municipality Zoning Scheme Regulations be adhered to;
 - (b) that the approval does not absolve the applicant/owner from compliance with any other relevant legislation that may be/become applicable as a result of the development;
 - (c) that all conditions in the Services Report, be complied with;
 - (d) that all conditions of Telkom, be complied with;
 - (e) that a joint Home Owner's Association be established with compulsory membership for all property owners within this development and the development of Erf 1610, Sandbaai that the association assures responsibility (including costs) for the provision, maintenance, management, etc. of all internal facilities and services;
 - (f) that the Constitution of the Home Owner's Association be submitted to the Municipality for approval (which reserves the right to impose conditions in this regard) and that the following aspects inter alia be addressed in this document:
 - the approval of building plans by an "estate architect" prior to submission thereof to the Municipality, and
 - that the Constitution clarifies at what stage the responsibility for the provision/maintenance of internal services/facilities would be transferred from the land owner/developer to the Home Owner's Association, and also what the standard of completion of such internal services/facilities would be at that time;
 - (g) that internal services and facilities in the development remains the responsibility of the developer, his successor in title or the Home Owner's Association, and
 - (h) that a site development plan be submitted for approval.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

5. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



| | | | | |
|---|--|--|---|---|
|  <p>Stads- en Streeksplanning Town & Regional Planning</p> | <p>All distances approximate and subject to survey.</p> <p>COPY RIGHT RESERVED</p> | <p>Property Description:</p> <p>ERF 1611 SANDBAAI</p> | <p>Plan Description:</p> <p>LOCALITY MAP</p> | <p>Scale: NTS Drawing Nr: Sand1611.dwg Date: 07/2016</p> |
| | <p>1447</p> | | |  |



NOTES:
 - Existing Building Lines
 - Proposed Building Lines (Lot 1611)
 - Proposed Driveway (Lot 1611)
 - Proposed Lot 1611 (Shaded)

| Lot | Area (sqm) |
|-----|------------|
| 1 | 341 |
| 2 | 328 |
| 3 | 337 |
| 4 | 328 |
| 5 | 328 |
| 6 | 328 |
| 7 | 328 |
| 8 | 328 |
| 9 | 328 |
| 10 | 328 |

| Number | zoning | Level Line | Area |
|--------|---------------|-----------------------|---------|
| 1 | General Res 1 | Transformer | 2225sqm |
| 2 | General Res 1 | Signposting (6.73)sqm | 4431sqm |

Proposed Right of Way (Lot 1611) is shown in favour of Lot 1611. The driveway is shown as a separate area to the lot. The driveway is shown as a separate area to the lot.

Scale: 1:500
 Drawing No: 201310.DWG
 Date: 08/07/14

Plan Description:
ERVEN 1611 SANDBAAI
PROPOSED SUBDIVISION

Property Description:
 All dimensions measurements are subject to survey.
 COPY RIGHT RESERVED

Plan Active Town & Regional Planning



NOTES

- Existing Building Lines
- - - Proposed Building Lines
- ... Proposed Building Line Changes

| Erven Details | Area (m ²) | Size (m ²) |
|---------------|------------------------|------------------------|
| 1 | 324 | 12.5 |
| 2 | 324 | 12.5 |
| 3 | 324 | 12.5 |
| 4 | 324 | 12.5 |
| 5 | 324 | 12.5 |
| 6 | 324 | 12.5 |
| 7 | 324 | 12.5 |
| 8 | 324 | 12.5 |
| 9 | 324 | 12.5 |
| 10 | 324 | 12.5 |
| 11 | 324 | 12.5 |
| 12 | 324 | 12.5 |
| 13 | 324 | 12.5 |
| 14 | 324 | 12.5 |
| 15 | 324 | 12.5 |
| 16 | 324 | 12.5 |
| 17 | 324 | 12.5 |
| 18 | 324 | 12.5 |
| 19 | 324 | 12.5 |
| 20 | 324 | 12.5 |

| Plotter | Drawing | Landed Date | Date |
|---------|-----------------|-------------|------------|
| 1 | General Plan 1 | 1994/06/15 | 1994/06/15 |
| 2 | General Plan 2 | 1994/06/15 | 1994/06/15 |
| 3 | General Plan 3 | 1994/06/15 | 1994/06/15 |
| 4 | General Plan 4 | 1994/06/15 | 1994/06/15 |
| 5 | General Plan 5 | 1994/06/15 | 1994/06/15 |
| 6 | General Plan 6 | 1994/06/15 | 1994/06/15 |
| 7 | General Plan 7 | 1994/06/15 | 1994/06/15 |
| 8 | General Plan 8 | 1994/06/15 | 1994/06/15 |
| 9 | General Plan 9 | 1994/06/15 | 1994/06/15 |
| 10 | General Plan 10 | 1994/06/15 | 1994/06/15 |
| 11 | General Plan 11 | 1994/06/15 | 1994/06/15 |
| 12 | General Plan 12 | 1994/06/15 | 1994/06/15 |
| 13 | General Plan 13 | 1994/06/15 | 1994/06/15 |
| 14 | General Plan 14 | 1994/06/15 | 1994/06/15 |
| 15 | General Plan 15 | 1994/06/15 | 1994/06/15 |
| 16 | General Plan 16 | 1994/06/15 | 1994/06/15 |
| 17 | General Plan 17 | 1994/06/15 | 1994/06/15 |
| 18 | General Plan 18 | 1994/06/15 | 1994/06/15 |
| 19 | General Plan 19 | 1994/06/15 | 1994/06/15 |
| 20 | General Plan 20 | 1994/06/15 | 1994/06/15 |



Scale: 1:500
 Drawing No: 1610/1611/2020
 Date: 2020/06/15

Project Description:
PROPOSED SUBDIVISION
ERVEN 1610 & 1611 SANDBAAI

Scale: as Shown/As Planned
 Erven 1610 & 1611 Sandbaai
 Proposed Subdivision
 Sadré- en Streeklouplanets Toon & Bogorou Phooets

P/L'n Active
 Date: 1:500
 Drawing No: 1610/1611/2020
 Date: 2020/06/15

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING, SUBDIVISION, DEPARTURE &
SERVITUDE AREAS: ERF 1611, SANDBAAI (4096)**

| | | |
|-------------------|---|---|
| Water | : | Upgrading according to master plan/GLS Report |
| Sewer | : | Refer to conditions |
| Roads and Traffic | : | Refer to conditions |
| Stormwater | : | Upgrading according to stormwater master plan |
| Electricity | : | Refer to conditions |

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2019/2020) is as follows:

Freehold erven:

| | | |
|---------------------------------|----------------------|-----------------------|
| Water | R 22 925.00 x 5.40 | = R 123 795.00 |
| Sewerage | R 15 457.00 x 5.40 | = R 83 467.80 |
| Roads | R 6 931.00 x 7.00 | = R 48 517.00 |
| Stormwater | R 7 997.00 x 2.04266 | = R 16 335.15 |
| Solid Waste | R 1 386.00 x 7.00 | = R 9 702.00 |
| TOTAL (inclusive of VAT) | | = R 281 816.95 |

Note:

1.3 The above figures are estimates

1.4 That Overstrand Municipality's Electrical Department be contacted regarding the bulk electricity cost.

2

2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
 - 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided:
 - 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
 - 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property;
 - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all the existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;

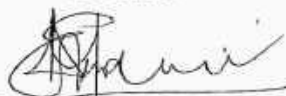
3

- 5.1 way-leaves must be obtained from the Operational Manager;
- 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;

4

12. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for Works of Civil Engineering Construction - 2004, of 12 months, and
13. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
14. that a service agreement may be required by the Director: Infrastructure and Planning prior to the approval of any service plans;
15. that the developer provide bulk meters for water and electricity at approved positions as well as individual meters at each consumption point;
16. that each subdivided erf be provided with individual water and sewer connections which comply with the standards of the Department: Operational Services (Hermanus).
17. that the water reticulation be provided/upgraded according to the report prepared by GLS consulting engineers and/or the Overstrand Water Master Plan.
18. that the Home Owners Association be responsible for the operational costs and maintenance of street lighting, electrical reticulation and metering and all internal services;
19. that only the standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
20. that the street lighting be provided and conform to municipal standards;
21. that the developer appoint a consulting electrical engineer to determine the electricity demand for the development and pay a fee to Overstrand Municipality to determine the capacity in the existing electricity network;
22. that the electricity reticulation and supply be provided according to the master plan, by the developer and that transfer can only proceed once electricity is available;
23. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;

24. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
25. that an approved refuse collection area/room to sufficiently accommodate the refuse generated by the development and which is to be provided with the following:
 - a) properly ventilated,
 - b) a cement floor,
 - c) a tap and running water, as well as a drainage point which is connected to the sewer network,
 - d) in a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
26. that the refuse room be completed prior to occupation of the first unit, to the satisfaction of the Director: Infrastructure and Planning;
27. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
28. that the connection to the stormwater reticulation system be provided according to the stormwater master plan by, the developer;
29. that the stormwater system in Bergsig street be upgraded by the developer;
30. that the a minimum of 12m stacking distance be provided between the entrance gate and the road reserve;
31. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
32. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

19/8/2019

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

28. ERF 2099, 56 FIFTH STREET, VOËLKLIP, HERMANUS: APPLICATION FOR DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF M DEMMER

2099 HVK (3054)

P Roux

(028) 313 8900

Hermanus Administration

5 November 2019

Executive Summary

An application was received on 13 May 2019 from Messrs Plan Active Town and Regional Planners on behalf of M Demmer for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2099 Voëlklip, Hermanus, in order to:

- ❖ relax the northern lateral building line from 2m to 0m to accommodate a carport, and
- ❖ relax the eastern lateral building line from 2m to 1,173m to accommodate an addition to the existing dwelling.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2099, Hermanus for the following departures:

- ❖ to relax the northern lateral building line from 2m to 0m to accommodate a carport, and
- ❖ to relax the eastern lateral building line from 2m to 1,173m to accommodate an addition to the existing dwelling,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

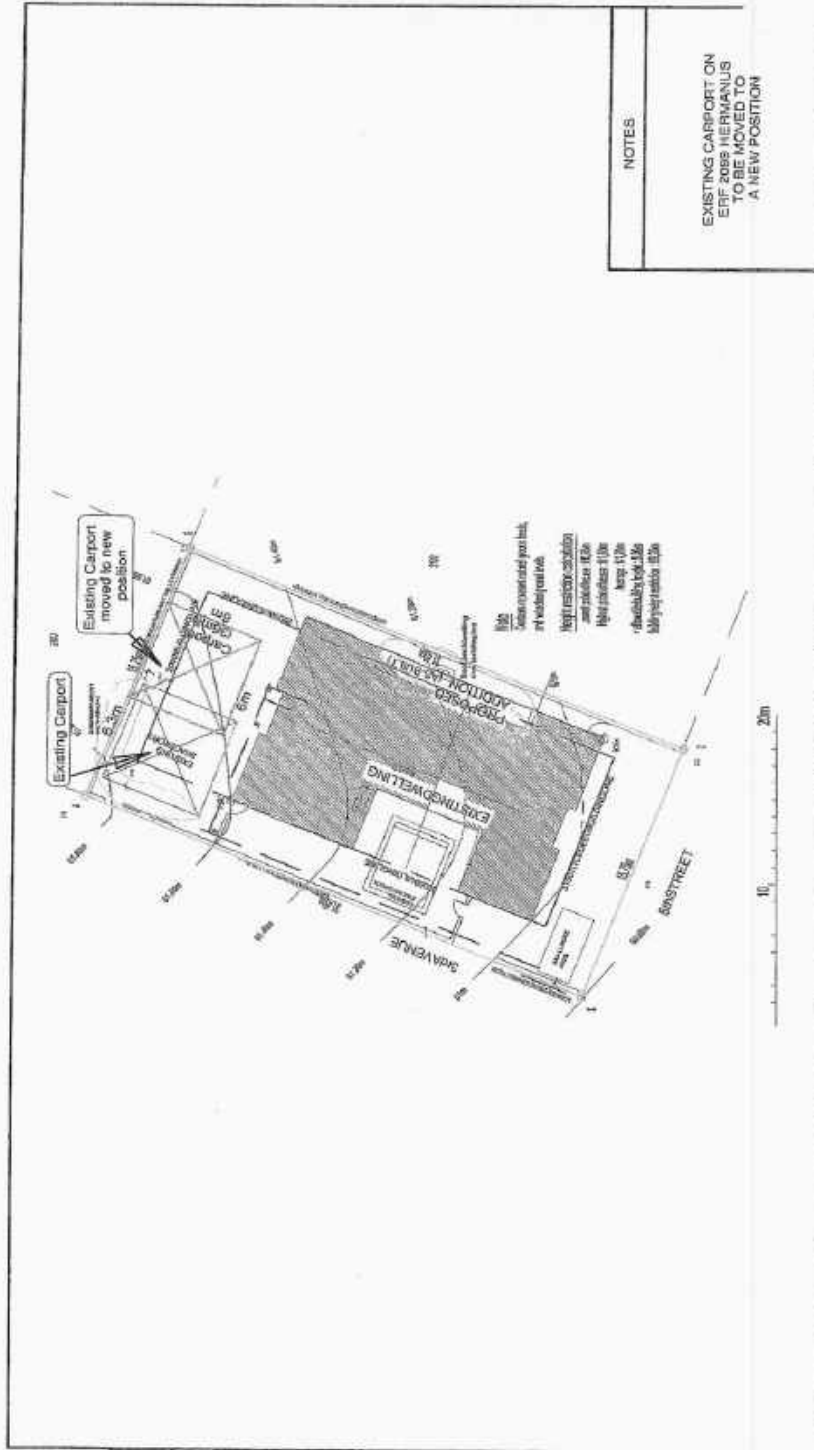
- (a) that this approval only relates to the relaxation of the building lines as indicated on Site Plan 2018/11, Drawing No. 54 (attached as Annexure C);
- (b) that building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
- (c) that all the conditions of the Engineering Services, be complied with;
- (d) that all the conditions of Telkom, be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant and person who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval



| | |
|--|--|
| <p>Scale: NTS</p> <p>Drawing No: 10-010-001</p> <p>Date: APRIL 2018</p> | |
| <p>Plan Description:</p> <p>LOCALITY MAP</p> | |
| <p>Property Description:</p> <p>ERF 2099</p> <p>VOELKLIP</p> | |
| <p>All distances approximate and subject to survey.</p> <p>Copyright Reserved</p> | |



NOTES

EXISTING CARPORT ON ERF 2099 HERMANUS TO BE MOVED TO A NEW POSITION

Scale: 1:300
 Drawing Nr: dammari_drw
 Date: MAY 2019

| | | | | |
|--|--|--|--|--|
| State of Streetscape Plans Town & Regional Planning | Property Description: ERF 2099 HERMANUS | | Plan Description: SDP (CARPORT) | |
| | All distances approximate and subject to survey. COPYRIGHT RESERVED | | Scale: 1:300 Drawing Nr: dammari_drw Date: MAY 2019 | |

FAB

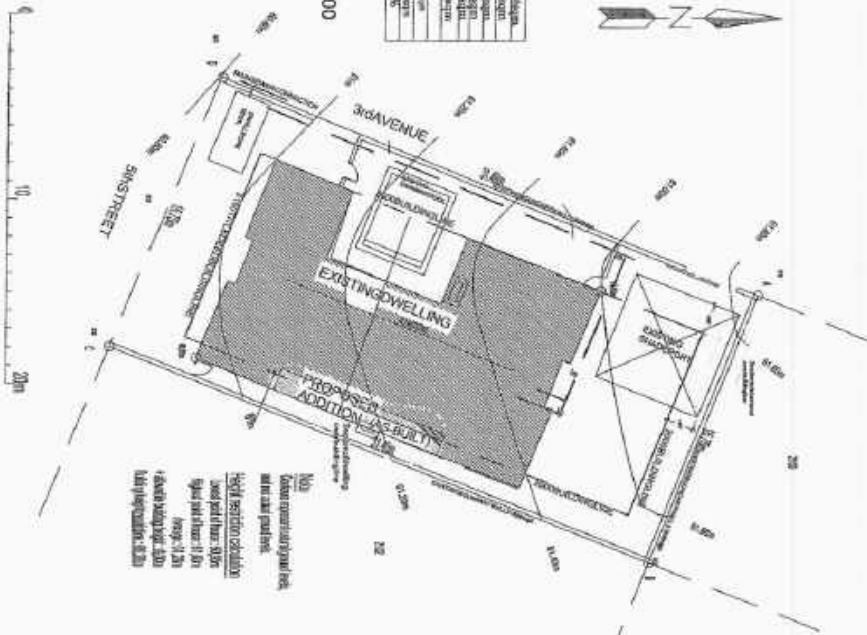
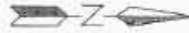
HOUSE DEMMER
 PLOT NO 2099
 VOBELUP

MAY 22 CA 1182

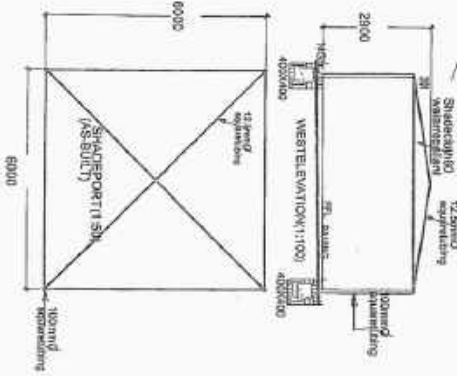
COVERAGE

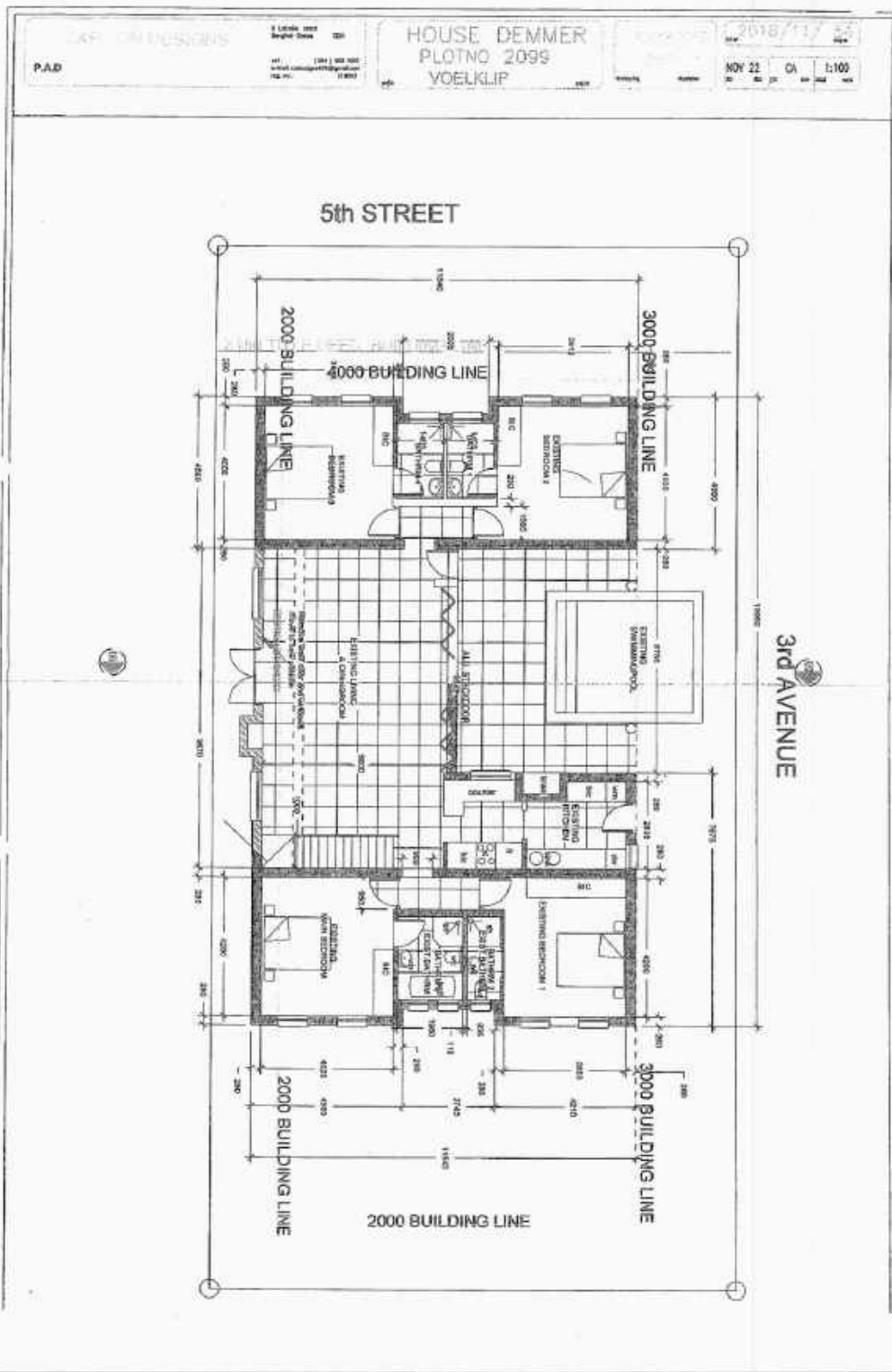
| | |
|--------------------|--------|
| EXIST GARAGE | 18.00m |
| EXIST ATTIC | 18.00m |
| EXIST GARAGE ADD | 7.80m |
| PROPOSED ATTIC ADD | 18.00m |
| EXIST ATTIC DECK | 18.00m |
| TOTAL NEW | 42.60m |
| EXIST GARAGE | 17.80m |
| EXIST ATTIC | 48.10m |
| EXIST GARAGE | 35.70m |

SCALE: 1:200



No
 Over excavation
 in any part
 of the lot
 shall be
 permitted
 and the
 depth of
 excavation
 shall not
 exceed
 1.50m



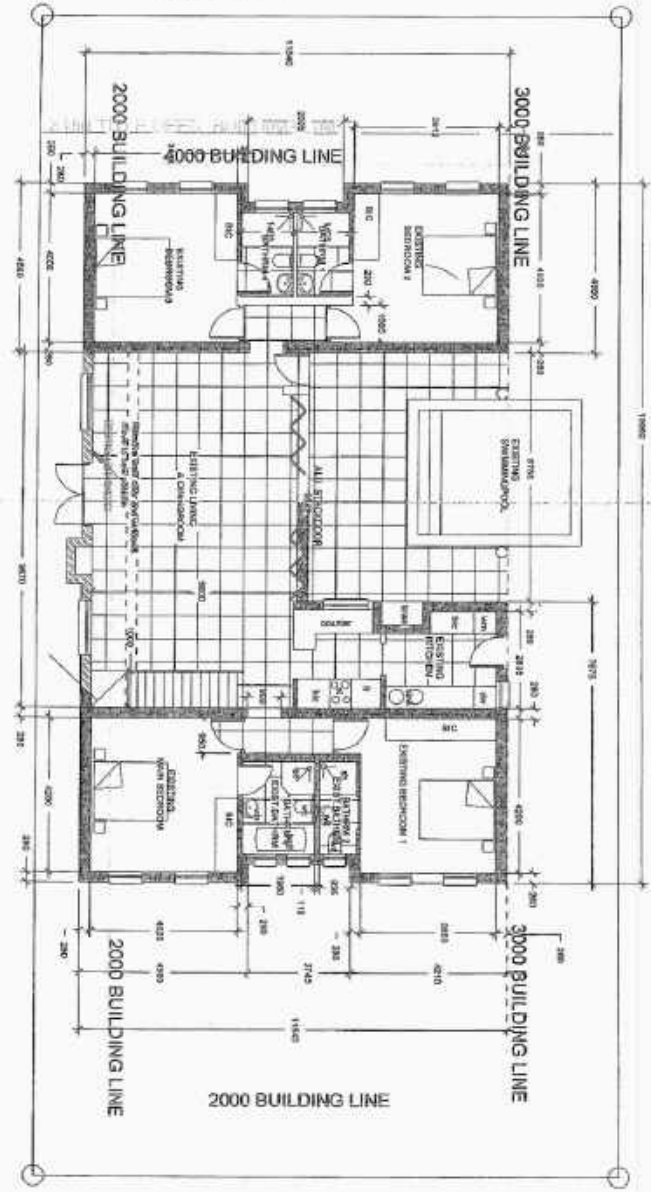


P.A.D. 2018/11/20
 HOUSE DEMMER PLOTNO 2099 VOELKLIP
 NOV 22 04 1:100
 1111 1111 1111 1111 1111 1111 1111 1111 1111 1111
 1111 1111 1111 1111 1111 1111 1111 1111 1111 1111

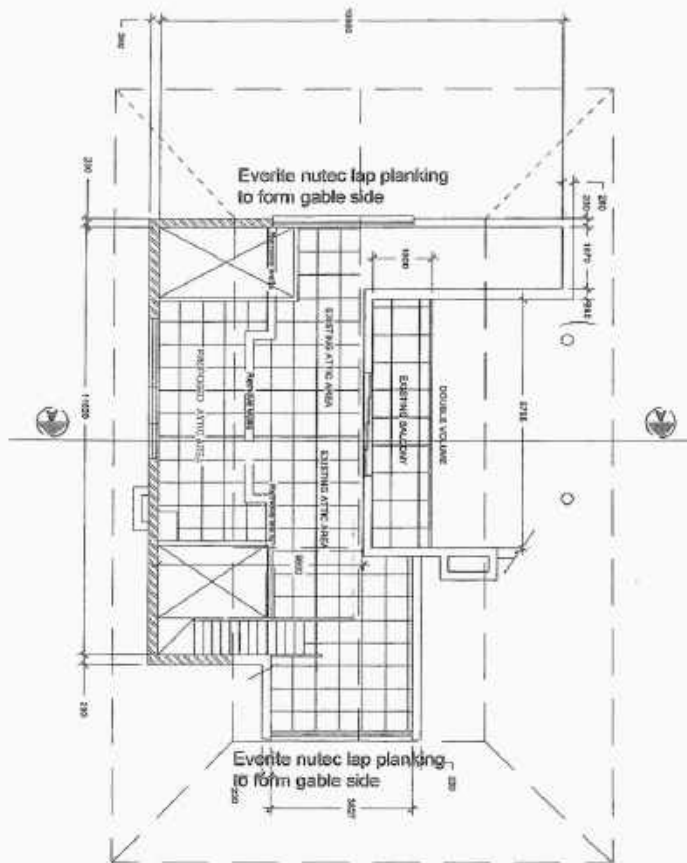
5th STREET

3rd AVENUE

2000-BUILDING LINE
 4000-BUILDING LINE
 3000-BUILDING LINE
 2000-BUILDING LINE
 2000-BUILDING LINE
 3000-BUILDING LINE



| | | |
|--|--|-------------------------------------|
| CREATING ARCHITECTS P.A.D. 4 Lakeside Street Newport Coast, CA 92659 Tel: (949) 550-7000 Fax: (949) 550-7000 www.creatingarchitects.com | HOUSE DEMMER PLOTNO 2099 VOELKLIP | NOV 22 2011 CA 1:100 11/22/11 |
|--|--|-------------------------------------|



F.A.D.

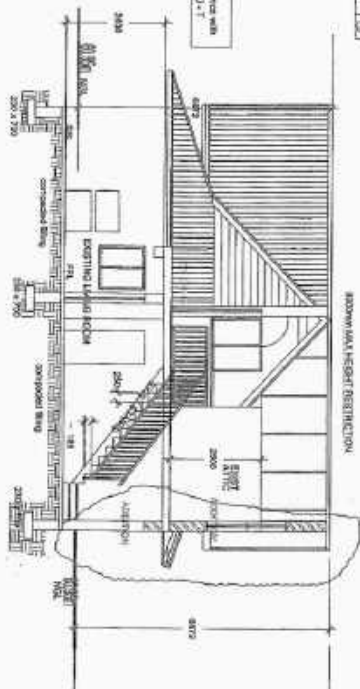
A. Lohmeyer
Architect
1001 100th Ave
West
Edmonton, Alberta T6E 1C8
403.420.1111
www.fad.ca

HOUSE DEMMER
PLOTNO 2099
VOELKLIP

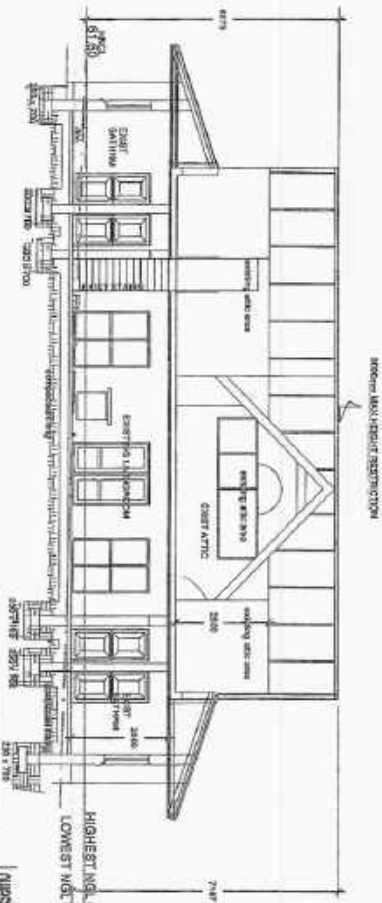
NOV 22 2017
CA
1:100

NOV 22 CA 1:100

SECTION : B : B



SECTION : A : A



NOTE: GLAZING
The glazing is in accordance with SANS 10423 - B / SANS 10000-AN.

NOTE: STRUCTURE
The design structural system is in accordance with the structural requirements of SANS 10400 - 1.

NOTE: ROOF DETAILS
See Notes for details.

Material: steel framing on 50 x 70mm purlins 1050mm OC on 114 x 38 trusses 1000mm OC

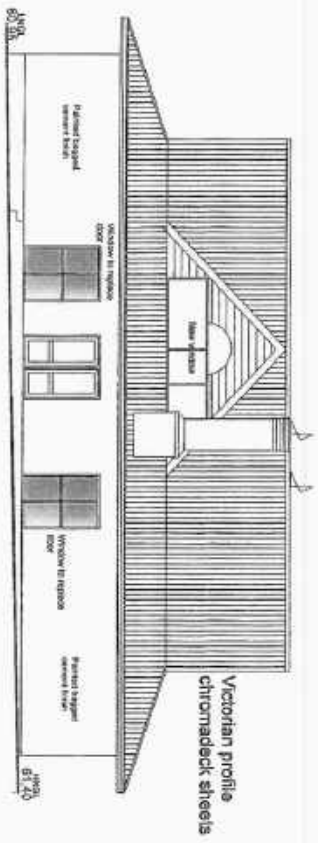
Lowest point of house: 61.05m
Highest point of house: 61.80m
Average: 61.21m

HIGHEST NGL: 61.00
BASE LEVEL: 61.26
LOWEST NGL: 60.25

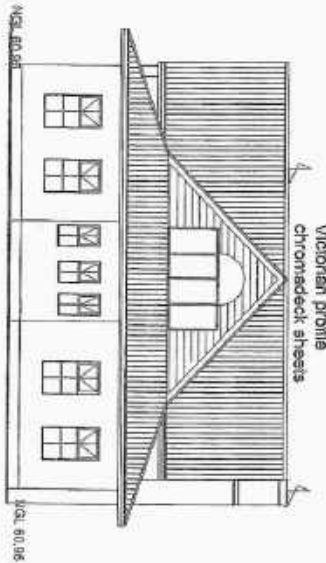
P.A.D. 1/4" = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0"

HOUSE DEMMER
PLOTNO 2099
VOELKLIP

NOV 22 CA 1:100



EAST ELEVATION



SOUTH ELEVATION

ROOF:
Shingles and batten finish in 24 in. pattern, 5/8 in. thick, 1/2 in. wide, 1/2 in. high. Finish and nail schedule with knee truss bracing.

WINDOWS: Frame in stone or pine.

WALLS:
2 1/2" concrete block, 12 in. pattern, 12 in. high, 12 in. wide. Finish and nail schedule with knee truss bracing.

DOOR:
Single panel, 30 in. high, 36 in. wide. Finish and nail schedule with knee truss bracing.

FINISHES:
Plaster tapered exterior finish.

ROOFING:
Victorian profile chromadeck sheets.

CHIMNEY:
Single panel, 30 in. high, 36 in. wide. Finish and nail schedule with knee truss bracing.

GENERAL NOTES:
1. All work to be in accordance with the latest edition of the Building Code of California.
2. All work to be in accordance with the latest edition of the Building Code of California.
3. All work to be in accordance with the latest edition of the Building Code of California.
4. All work to be in accordance with the latest edition of the Building Code of California.
5. All work to be in accordance with the latest edition of the Building Code of California.
6. All work to be in accordance with the latest edition of the Building Code of California.
7. All work to be in accordance with the latest edition of the Building Code of California.
8. All work to be in accordance with the latest edition of the Building Code of California.
9. All work to be in accordance with the latest edition of the Building Code of California.
10. All work to be in accordance with the latest edition of the Building Code of California.

P.A.D.

1. Labels, notes
Begriff: Datum

2. 100% 1:100
3. 50% 1:200
4. 25% 1:400

HOUSE DEMMER
PLOTNO 2099
VOELKLIP

NOV 22 CA 1:100

WEST ELEVATION

NORTH ELEVATION

NOTES:
 1. All work to be done in accordance with the approved plans.
 2. All work to be done in accordance with the approved specifications.
 3. All work to be done in accordance with the approved schedule of work.
 4. All work to be done in accordance with the approved budget.
 5. All work to be done in accordance with the approved program of work.

LEGEND:
 1. 1/2" = 1'-0" (Scale)
 2. 1/4" = 1'-0" (Scale)
 3. 1/8" = 1'-0" (Scale)
 4. 1/16" = 1'-0" (Scale)

REVISIONS:
 1. 11/22/22 - Initial design
 2. 11/22/22 - Final design
 3. 11/22/22 - Final design

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2099, VOELKLIP (3054/2009)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2099, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

25 JUN 2019

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

29. ERF 1660, 27 LONG MARKET STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF AJ & SA LOURENS

1660 SSS (2974)

P Roux

(028) 313 8900

Hermanus Administration

4 November 2019

Executive Summary

An application was received on 14 February 2019 from Messrs Plan Active Town and Regional Planners on behalf of AJ and SA Lourens for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1660, Stanford in order to:

- a) relax the street building line from 5m to 4,825m to accommodate the outbuilding, and
- b) relax the north eastern lateral building line from 3m to 1,21m to accommodate the existing braai structure and entertainment/recreational area on the existing stoep.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1660, Stanford for the following departures:

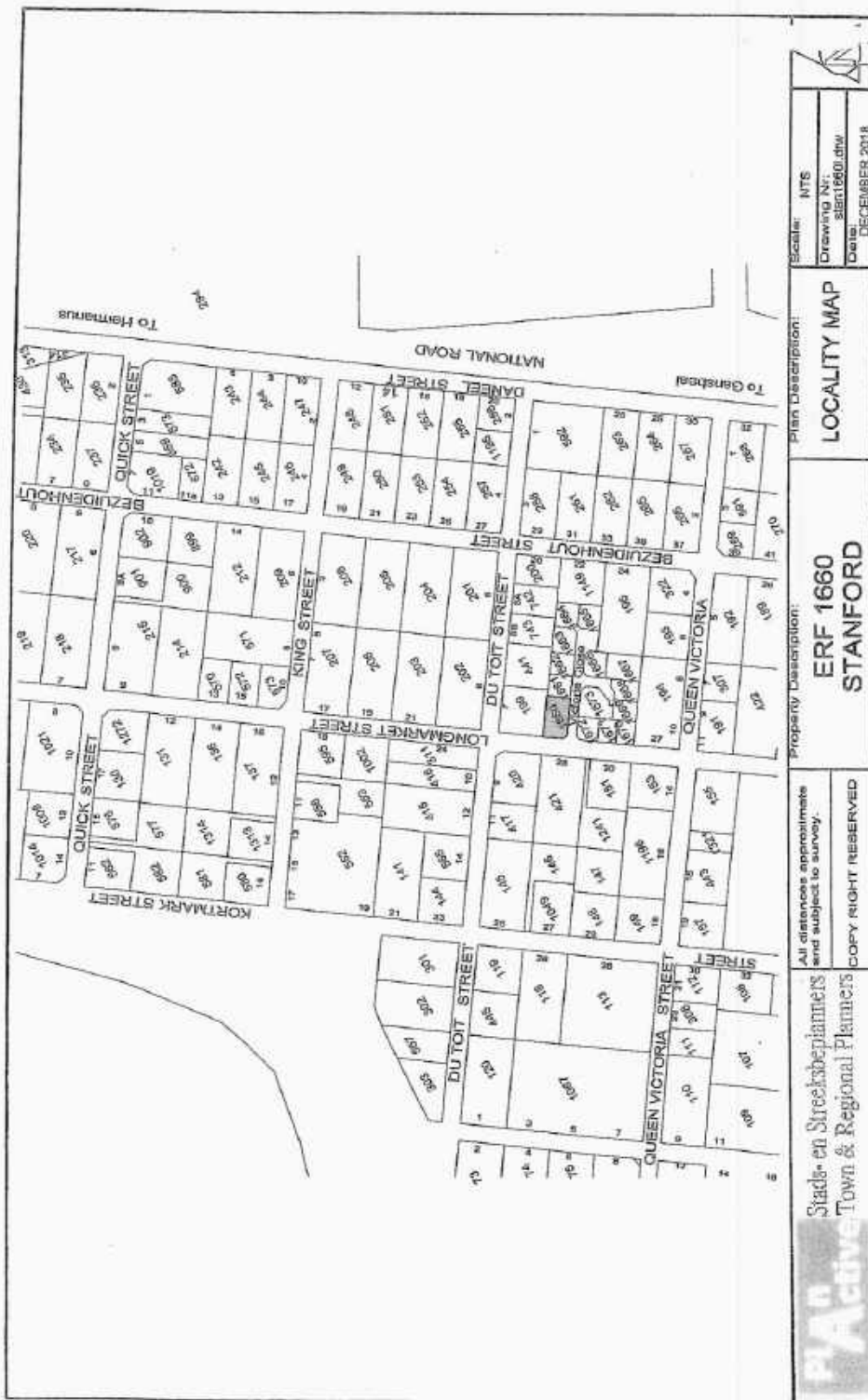
- to relax the street building line from 5m to 4,825m to accommodate the outbuilding, and
- to relax the north-eastern lateral building line from 3m to 1,21m to accommodate the existing braai structure and entertainment/recreation area on the existing stoep,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;

- (a) that this approval only relates to the proposed outbuilding and existing braai structure and entertainment/recreation room as indicated on the plans submitted with the application;
- (b) that building plans be submitted to the Building Department for approval and that any conditions by the Fire- and Building Departments be complied with at that stage;
- (c) that all the conditions in the Services Report, be adhered to;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Scale: NTS
 Drawing Nr: slant1660.dwg
 Date: DECEMBER 2018

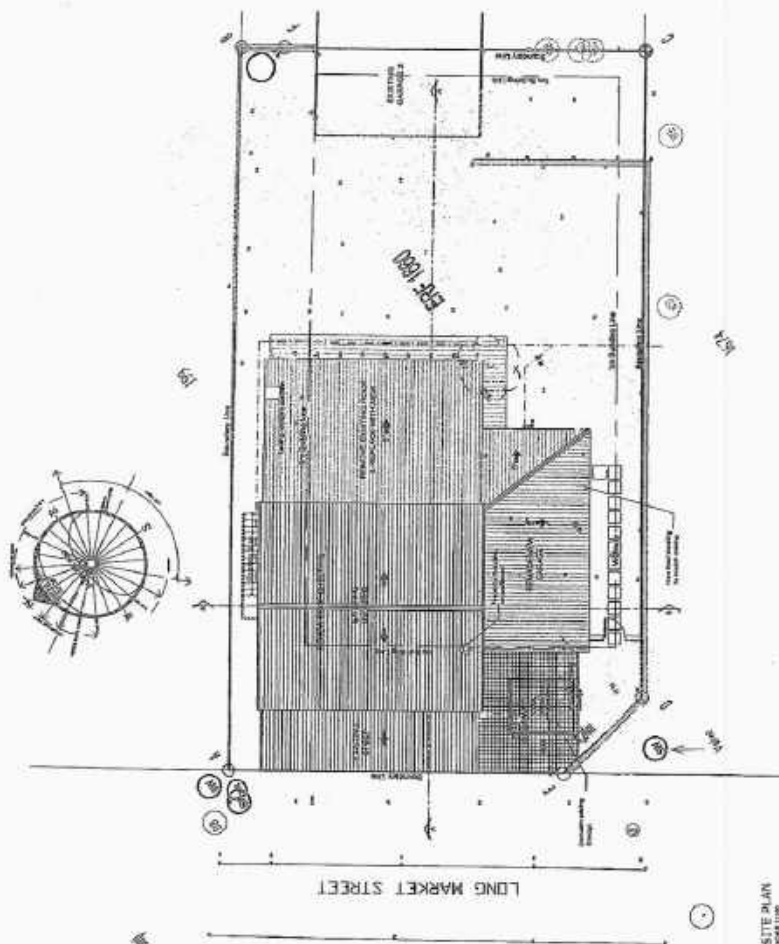
Plan Description:
LOCALITY MAP

Property Description:
**ERF 1660
 STANFORD**

All distances approximate
 and subject to survey.
COPY RIGHT RESERVED

PLAN
Active
 Stads- en Streetsbeplanners
 Town & Regional Planners

| | | | |
|--|---|---|---|
| NICOLETTE LLOYD INC (NLI) 15000 Franklin Ave. #104 Chicago, IL 60647 TEL: 773-787-0000 FAX: 773-787-0001 | NOTES: Design to be used for information only. Do not use for construction without the seal of a professional engineer. All work to be done in accordance with the applicable codes and standards. | HOUSE LOUVRING ERF 1600 LONG MARKET STREET STANBROOK | DATE: 12/15/11 DRAWN: [blank] CHECKED: [blank] APPROVED: [blank] |
|--|---|---|---|



| | |
|--|---|
| AREAS: Existing Ground Floor Existing 1st Floor Existing 2nd Floor New Footing Concrete Area of Site: 454 SQM | 151 SQM 815 SQM 200 SQM 44% 454 SQM |
|--|---|

Wall Legend

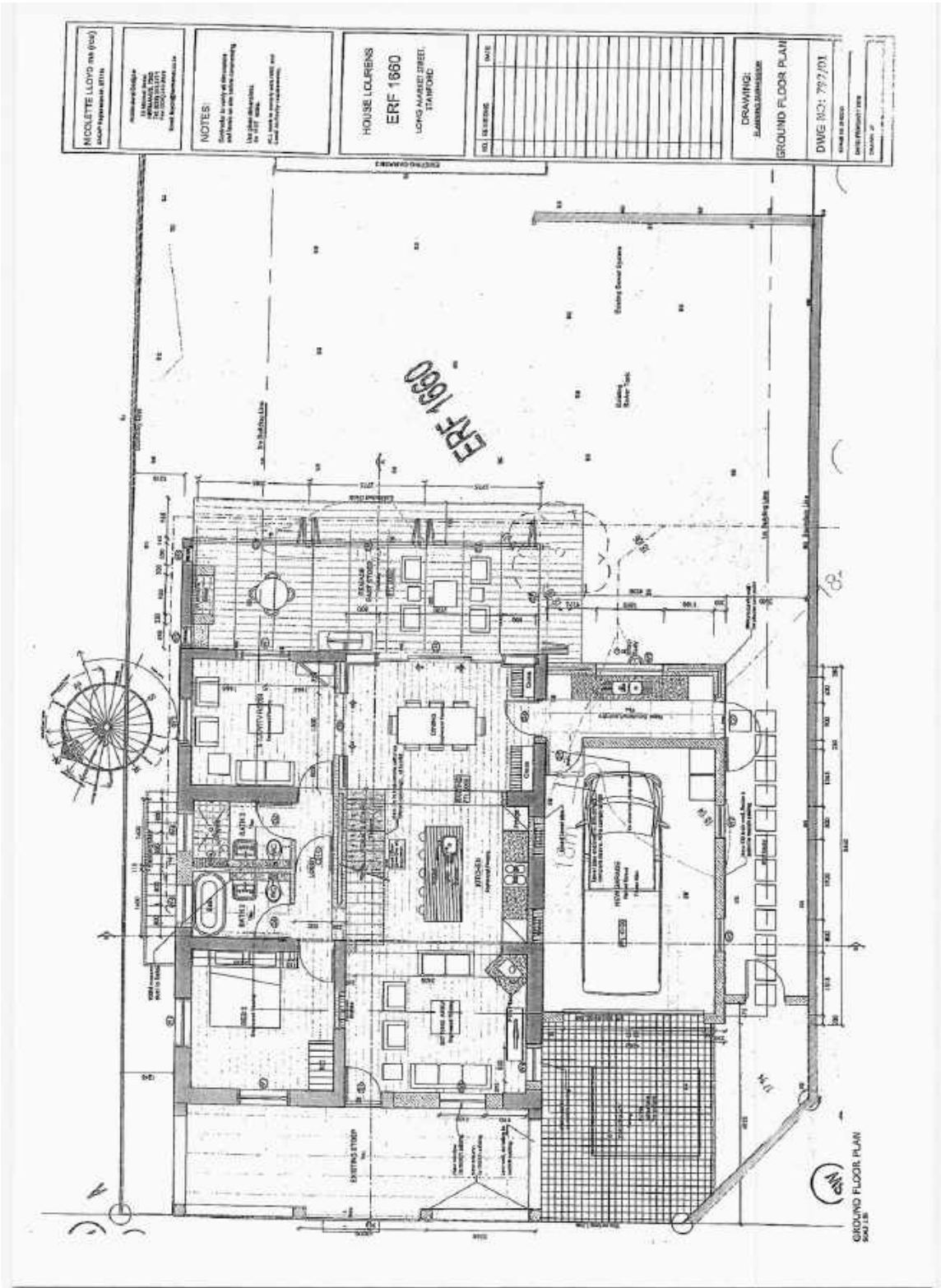


Sewer Legend

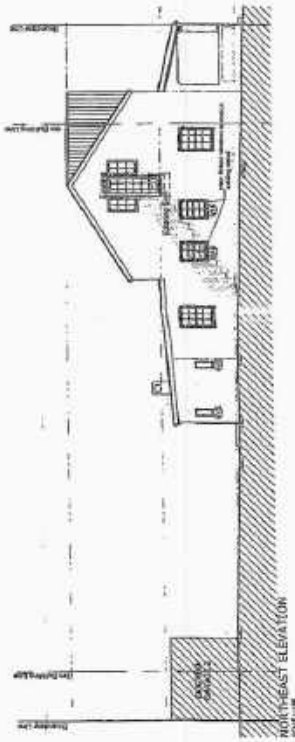
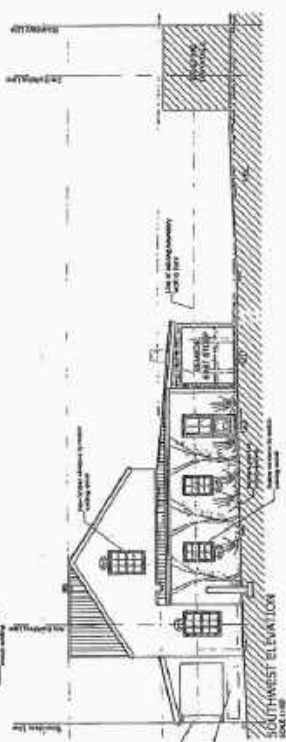
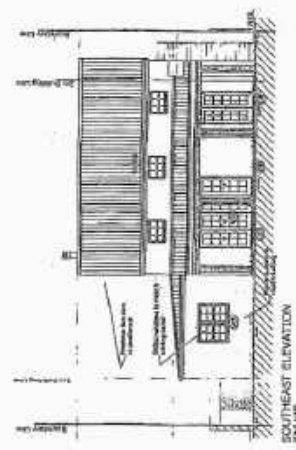


NOTES: SEWERAGE LAYOUT
 All areas to be used for storage or
 disposal of waste water shall be
 constructed in accordance with
 the applicable codes and standards
 at the time of construction in relation
 to the sewerage system. All areas to
 be used for storage or disposal of
 waste water shall be constructed in
 accordance with the applicable
 codes and standards at the time of
 construction.

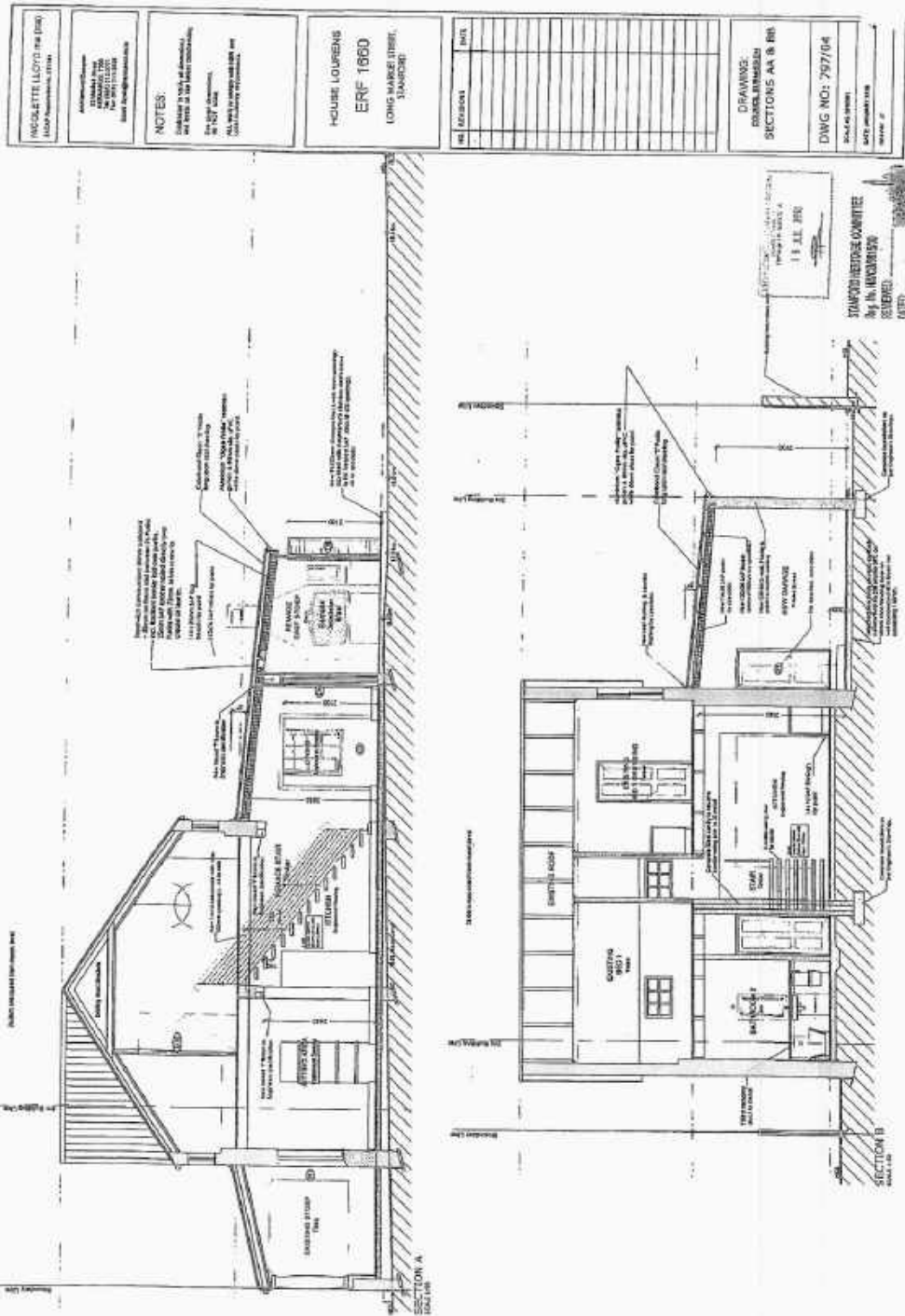
SITE PLAN



| | | | | | | |
|---|--|--|--|--|--|------------------------|
| MICHELLE LLOYD (Pty) Ltd ARCHITECTS & INTERIORS 111 LINDSAY STREET STANFORD 7830 TEL: 011 277 3111 FAX: 011 277 3112 WWW.MICHELLELLOYD.CO.ZA | | NOTES: 1. Consistent with all elevations, all levels are to be above sea level unless otherwise stated. 2. All dimensions are in millimeters. 3. All work to be done in accordance with the relevant South African Building Regulations. | | HOUSE LOURENS ERF 1880 LINDSAY AVENUE STREET STANFORD | | NO. 1880/2008 DATE: |
| DRAWING: EXTERIOR ELEVATIONS | | DWG NO: 797/03 DRAWN BY: | | DATE: JANUARY 2018 DRAWN BY: | | |



STANFORD HERITAGE COMMITTEE
 THE HERITAGE RECORD
 11 JUL 2018



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1660, STANFORD (2974/2019)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that, there are existing poles on either side of the erf boundary which cannot be moved. Repositioning of any other existing services will be for the developer's account;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 1660, Stanford, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

30. ERF 1610, MINI STREET, SANDBAAI: APPLICATION FOR REZONING, SUBDIVISION DEPARTURE AND SERVITUDE AREAS: PLAN ACTIVE ON BEHALF OF BC CONRADIE

1610 HSB

H van der Stoep

(028) 313 8900

Hermanus Administration

19 November 2019

Executive Summary

An application was received on 13 May 2019 from Messrs Plan Active on behalf of BC Conradie applicable to Erf 1610, Sandbaai for the following:

- ❖ Rezoning in terms of Section 16.(2)(a) of the By-Law from Residential Zone 1: Single Residential to Subdivisional Area Zone;
- ❖ Subdivision of the property in terms of Section 16.(2)(d) to create the following:
 - 8 General Residential Zone 1: Town Housing erven,
 - 2 Open Space Zone 3: Private Open Space erven, and
 - 1 Transport Zone 2: Road and Parking erf;
- ❖ Departure in terms of Section 16.(2)(b) of the By-Law to relax the prescribed northern- and lateral building lines, as well as the rear building line of the property from 3m to 2m in order to set the garages of the future dwellings on the above proposed erven as far back as possible; and
- ❖ The creation of servitude areas in terms Section 16.(2)(d) of the By-Law over the proposed portions 9 and 10 as indicated on the proposed Subdivisional Plan of the property in favour of the future individual owners of the proposed town housing scheme on the adjacent Erf 1611, Sandbaai, which servitude areas would also allow them to utilise the portions as a refuse yard and postal boxes.

RECOMMENDATION

1. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the rezoning of Erf 1610, Sandbaai from Residential Zone 1: Single Residential to Subdivisional Area Zone, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. that the application in terms of Section 16(2)(d) of the By-Law for the subdivision of Erf 1610, Sandbaai to create eleven (11) General Residential Zone 1: Town Housing erven, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(b) of the By-Law for the departure to relax the prescribed northern- and lateral building lines, as well as the rear building line of the property from 3m to 2m, in order to set future garages as far back as possible, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(d) of the By-Law for the creation of servitude areas over portions 9 and 10 as indicated on the Subdivision Plan in favour of future individual owners of the proposed town housing scheme on adjacent Erf 1611, Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law;
5. that the approvals in Points 1. – 4. be subject to the following conditions:
 - (a) that all prescriptions of the Zoning Scheme Regulations be adhered to;
 - (b) that the approval does not absolve the applicant/owner from compliance with any other relevant legislation that may be/become applicable as a result of the development;
 - (c) that all conditions in the Services Report, be complied with;
 - (d) that all conditions of Telkom, be complied with;
 - (e) that a joint Home Owner's Association be established with compulsory membership for all property owners within this development and that of Erf 1611, Sandbaai that the association assures responsibility (including costs) for the provision, maintenance, management, etc. of all internal facilities and services;
 - (f) that the Constitution of the Home Owner's Association be submitted to the Municipality for approval (which reserves the right to impose conditions in this regard), and that the following aspects inter alia be addressed in this document:
 - the approval of building plans by an "estate architect" prior to submission thereof to the Municipality, and
 - that the Constitution clarifies at what stage the responsibility for the provision/maintenance of internal services/facilities would be transferred from the land owner/developer to the Home Owner's

**AGENDA of the
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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

Association, and also what the standard of completion of such internal services/facilities would be at that time;

- (g) that internal services and facilities in the development remains the responsibility of the developer, his successor in title or the Home Owner's Association and
 - (h) that a site development plan be submitted to the Municipality for approval.
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



| | | | | | |
|---|---|--|--|--|----------------------|
|  | Property Description: ERF 1610 SANDBAAI | | Plan Description: LOCALITY MAP | | Scale: NTS |
| | All distances approximate and subject to survey. COPYRIGHT RESERVED | | Drawing No: SPM1610.DWG | | Date: 07/2018 |



NOTES:
 Existing Building Lines
 Proposed 200 Building Line for Houses
 Proposed 200 Building Line for Sheds

| Block | Area |
|-------|------|
| 10 | 300 |
| 11 | 1000 |
| 12 | 280 |
| 13 | 312 |
| 14 | 470 |
| 15 | 250 |
| 16 | 20 |
| 17 | 700 |

| Number | zoning | Land Use | Size |
|--------|---------------|--------------------|-------------------|
| 1-8 | General Res 1 | Residence | 4220sqm |
| 9 | General Res 1 | Private Open Space | 433m ² |
| 10 | General Res 1 | Private Open Space | 433m ² |
| 11 | General Res 1 | Private Open Space | 433m ² |
| 12 | General Res 1 | Private Open Space | 433m ² |
| 13 | General Res 1 | Private Open Space | 433m ² |
| 14 | General Res 1 | Private Open Space | 433m ² |
| 15 | General Res 1 | Private Open Space | 433m ² |
| 16 | General Res 1 | Private Open Space | 433m ² |
| 17 | General Res 1 | Private Open Space | 433m ² |

PLAN Sub-division
Active Town & Regional Planners
 All services incorporated and subject to survey.
 Copyright reserved

Product Classification
ERVEN 1610
SANDBAAI

Plan Classification
PROPOSED
SUBDIVISION

Scale: 1:500
Drawing No: MM16/2017
Date: 05/03/18



NOTES:

- Proposed signs of way, including signs of ERV 1610 and 1611.
- Proposed structures within the limits of ERV 1610 and 1611. Structures to be shown in red on the final plan.

PIA n Active Town & Regional Planners

Stads- en Streekplanners
Town & Regional Planners

As subject, site plan and subject to survey
City right reserved

Property description:
**ERVEN 1610
SANDBAAI**

Plan designation:
**PROPOSED
SERVICE**

Scale: **1:500**
Drawing nr: **1610/1611/1612/1613/1614/1615/1616/1617/1618/1619/1620/1621/1622/1623/1624/1625/1626/1627/1628/1629/1630/1631/1632/1633/1634/1635/1636/1637/1638/1639/1640/1641/1642/1643/1644/1645/1646/1647/1648/1649/1650/1651/1652/1653/1654/1655/1656/1657/1658/1659/1660/1661/1662/1663/1664/1665/1666/1667/1668/1669/1670/1671/1672/1673/1674/1675/1676/1677/1678/1679/1680/1681/1682/1683/1684/1685/1686/1687/1688/1689/1690/1691/1692/1693/1694/1695/1696/1697/1698/1699/1700**

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING, SUBDIVISION, DEPARTURE &
SERVITUDE AREAS: ERF 1610, SANDBAAL (4085)**

| | | |
|-------------------|---|---|
| Water | : | Upgrading according to master plan/GLS Report |
| Sewer | : | Refer to conditions |
| Roads and Traffic | : | Refer to conditions |
| Stormwater | : | Upgrading according to stormwater master plan |
| Electricity | : | Refer to conditions |

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 Developments containing Sectional Title Units/ Commercial Buildings** (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

- 1.2 Developments with free standing properties** (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2019/2020**) is as follows:

Freehold erven:

| | | |
|---------------------------------|----------------------|-----------------------|
| Water | R 22 925.00 x 5.40 | = R 123 795.00 |
| Sewerage | R 15 457.00 x 5.40 | = R 83 467.80 |
| Roads | R 6 931.00 x 7.00 | = R 48 517.00 |
| Stormwater | R 7 997.00 x 2.04266 | = R 16 335.15 |
| Solid Waste | R 1 386.00 x 7.00 | = R 9 702.00 |
| TOTAL (inclusive of VAT) | | = R 281 816.95 |

Note:

- 1.3 The above figures are estimates**

- 1.4 That Overstrand Municipality's Electrical Department be contacted regarding the bulk electricity cost.**

2

2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
 - 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided:
 - 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
 - 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property:
 - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all the existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning:


3

- 5.1 way-leaves must be obtained from the Operational Manager;
- 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;

4

12. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for Works of Civil Engineering Construction - 2004, of 12 months, and
13. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
14. that a service agreement may be required by the Director: Infrastructure and Planning prior to the approval of any service plans;
15. that the developer provide bulk meters for water and electricity at approved positions as well as individual meters at each consumption point;
16. that each subdivided erf be provided with individual water and sewer connections which comply with the standards of the Department: Operational Services (Hermanus).
17. that the water reticulation be provided/upgraded according to the report prepared by GLS consulting engineers and/or the Overstrand Water Master Plan.
18. that the Home Owners Association be responsible for the operational costs and maintenance of street lighting, electrical reticulation and metering and all internal services;
19. that only the standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
20. that the street lighting be provided and conform to municipal standards;
21. that the developer appoint a consulting electrical engineer to determine the electricity demand for the development and pay a fee to Overstrand Municipality to determine the capacity in the existing electricity network;
22. that the electricity reticulation and supply be provided according to the master plan, by the developer and that transfer can only proceed once electricity is available;
23. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;

24. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
25. that an approved refuse collection area/room to sufficiently accommodate the refuse generated by the development and which is to be provided with the following:
 - a) properly ventilated,
 - b) a cement floor,
 - c) a tap and running water, as well as a drainage point which is connected to the sewer network,
 - d) in a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
26. that the refuse room be completed prior to occupation of the first unit, to the satisfaction of the Director: Infrastructure and Planning;
27. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
28. that the connection to the stormwater reticulation system be provided according to the stormwater master plan by, the developer;
29. that the stormwater system in Bergsig street be upgraded by the developer;
30. that the a minimum of 12m stacking distance be provided between the entrance gate and the road reserve;
31. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
32. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

19/8/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**31. ERF 139, 4 MARK STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA:
APPLICATION FOR CONSENT USE AND DEPARTURE: MESSRS ME
PLANNERS ON BEHALF OF PJA HUYSER**

139 GGB (4108)

SW van der Merwe

(028) 313 8900

Hermanus Administration

4 November 2019

Executive Summary

An application was received on 26 September 2018 from Messrs ME Planners on behalf of PJA Huyser for the following:

- ❖ consent use (guest house) in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to utilize the property for tourism accommodation purposes, and
- ❖ departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to encroach the 3m lateral building line to accommodate an existing outbuilding (garage) onto the property boundary.

RECOMMENDATION

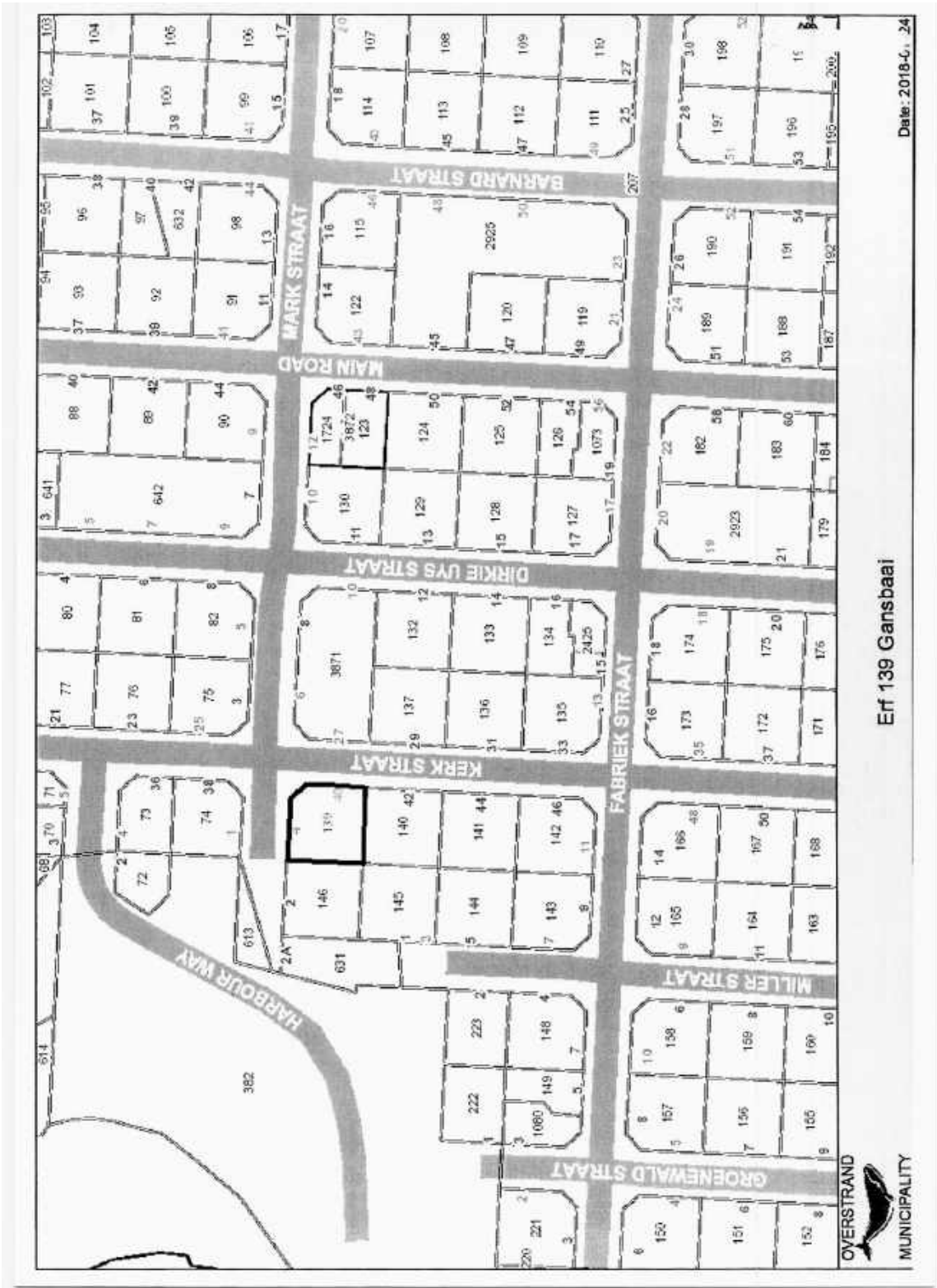
1. that the application for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 139, Gansbaai in order to conduct a guesthouse, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the By-Law applicable to Erf 139, Gansbaai in order to encroach the 3m eastern lateral building line to accommodate an existing outbuilding (garage) onto the property boundary, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in paragraphs 1. and 2. above be subject to the following conditions:
 - (a) that this approval only relates to the proposed Site Development Plan and parking layout, drawing number CS.1118, layout ID 1OF2 and 2OF2 dated 23 September 2018;
 - (b) that building plans be submitted to the Building Department for approval and that all conditions of the Building- and the Fire Department be complied with at that stage;

**AGENDA of the
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- (c) that on-site parking provision be made in accordance with the Parking Layout (attached as Annexure B);
- (d) that the facility be utilized as a guesthouse only (no self-catering will be permitted);
- (e) that the display of signage shall comply with the Municipal By-Law on signage;
- (f) that the owner/manager resides on the premises and be responsible for the proper management of the guesthouse;
- (g) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (h) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary liquor licence;
- (i) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (j) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (k) that the guesthouse be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (l) that all conditions imposed by the Fire Department and Telkom, be complied with;
- (m) that all the conditions in the Services Report, be complied with;
- (n) that the applicant obtain prior approval in terms of the Overberg District Municipality Municipal Health By-Law to operate an accommodation establishment;
- (o) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;

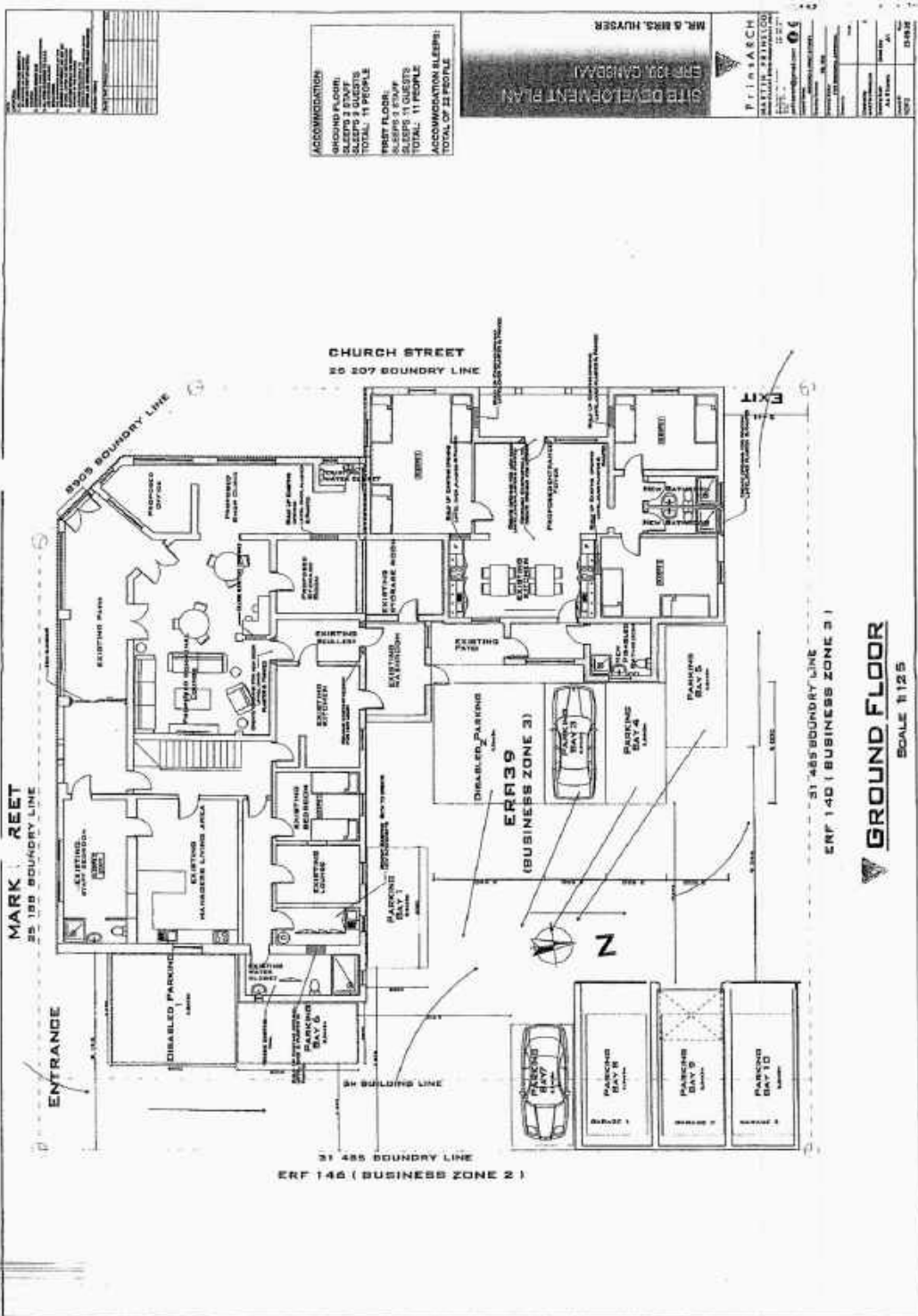
**AGENDA of the
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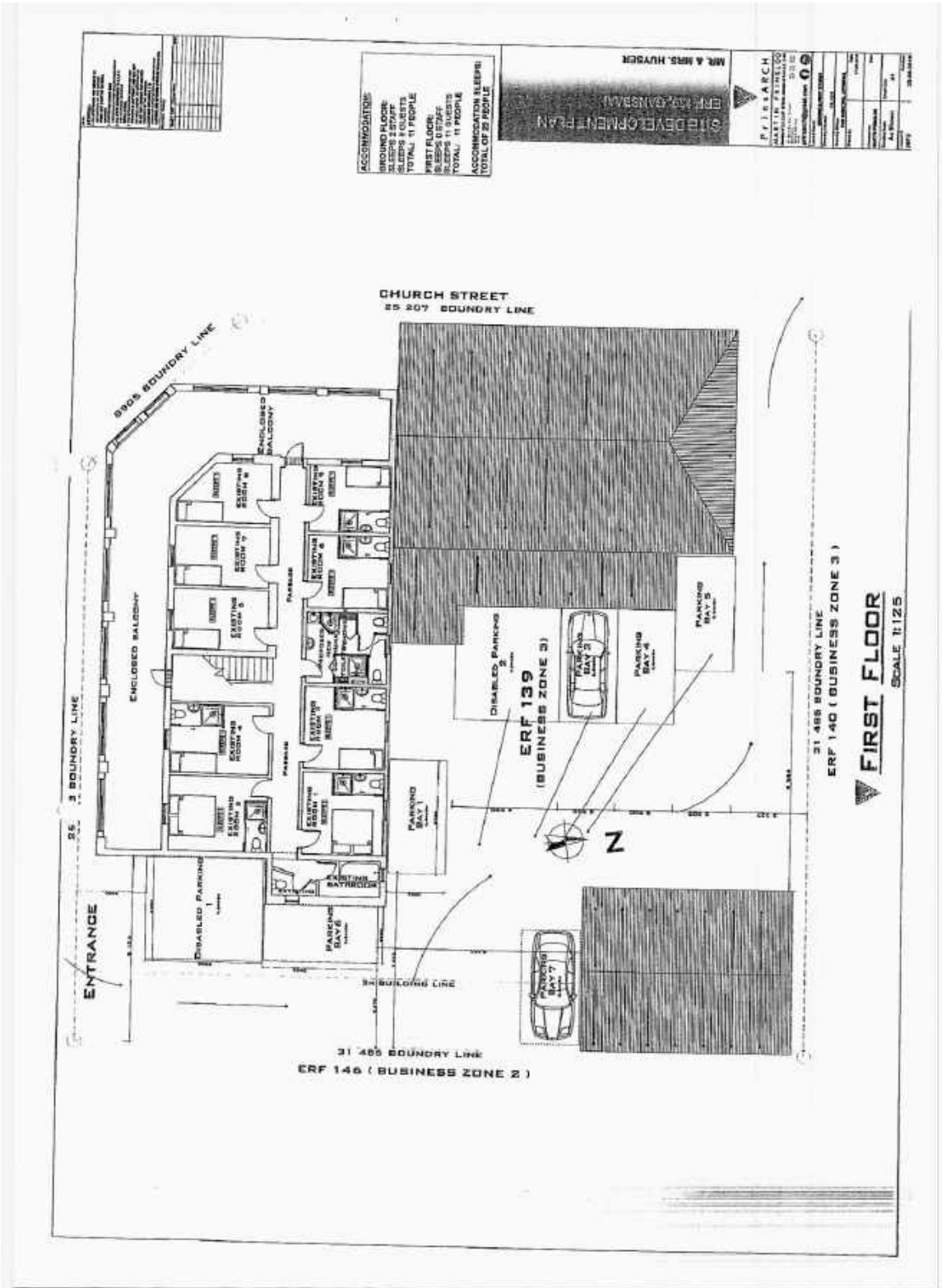
- (p) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (q) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.”



Erf 139 Gansbaai

Date: 2018-01-24





ACCOMMODATION:
 INBOUND BUNKS: 11
 SLEEPERS & GUESTS: 11
 TOTAL: 22 PEOPLE
 FIRST FLOOR:
 SLEEPERS & GUESTS: 11
 TOTAL: 11 PEOPLE
 ACCOMMODATION (SLEEPERS):
 TOTAL OF 22 PEOPLE

PIRARCH
 MAXIMUM PERMITTED
 500 SQ M
 5000 SQ FT
 ERF 139 & 140
 MR. & MRS. HUYSEN
 SITE DEVELOPMENT PLAN

FIRST FLOOR
 SCALE 1:125

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 139,
GANSBAAI (4108)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that the existing water connection and sewer conservancy tank to Erf 139 shall be used to service Erf 139;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that any commercial food preparation facilities must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 139, Gansbaai, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

07 JAN 2019

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

32. ERF 304, 2 CLIFF ROAD, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE (GUESTHOUSE): MESSRS TOWN AND COUNTRY CREATIVE LAND SOLUTIONS ON BEHALF OF RE & Y GIOIA

304 HWC (3268)

SW van der Merwe

(028) 313 8900

Hermanus Administration

14 November 2019

Executive Summary

An application has been received on 6 August 2019 from Messrs Town and Country Creative Land Solutions on behalf of RE & Y Gioia in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for consent use for tourist accommodation applicable to Erf 304, Hermanus in order to operate a five (5) bedroom guesthouse from the property.

RECOMMENDATION

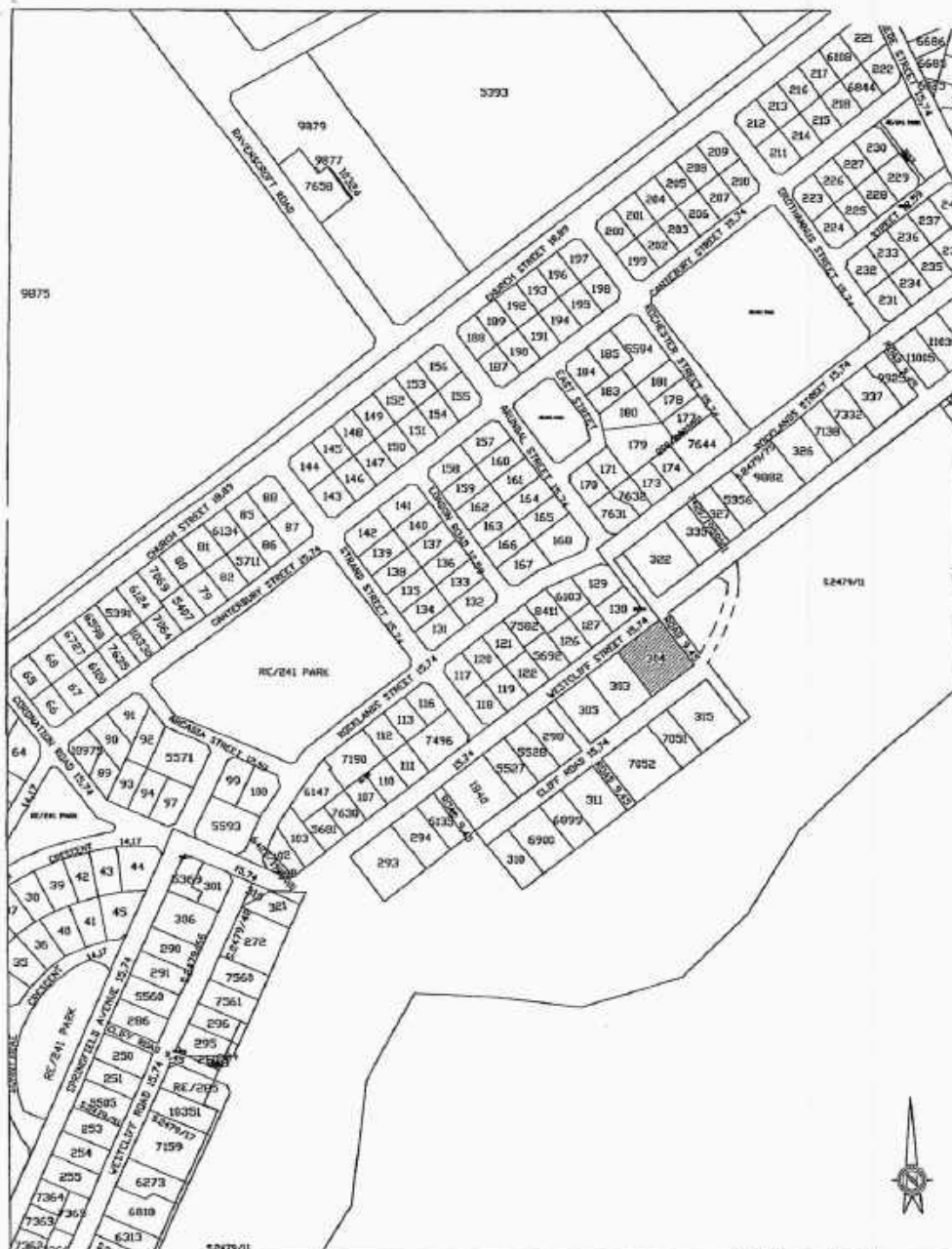
1. that the application for consent use for tourism accommodation in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 304, Hermanus in order to operate a five (5) bedroom guesthouse from the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
 - (a) that the facility be utilized as a guest house only and that a maximum of five (5) bedrooms to be let;
 - (b) that building plans be submitted to the Building Department for approval indicating the five (5) bedrooms, the owner's/manager's rooms, and the parking layout, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all conditions imposed by the Fire Department, be complied with and proof of compliance is submitted to the Municipality prior to the operation of the five (5) bedroom guest house;
 - (d) that the conditions of Engineering Services be complied with prior to conducting the accommodation establishment;
 - (e) that the owner/manager resides on the premises and be responsible for the proper management of the guest house;

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- (f) that the guest house is utilized as such – no self-catering will be permitted;
- (g) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (h) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;
- (i) that a maximum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries;
- (j) that applicable rates and service tariffs, as determined by the annual budget, be made applicable which tariffs are automatically adjusted in terms of the annual budget;
- (k) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (l) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
- (m) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (n) that the applicant obtain prior approval in terms of the Overberg District Municipality Municipal Health By-Law to operate an accommodation establishment;
- (o) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;
- (p) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
- (q) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.


**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



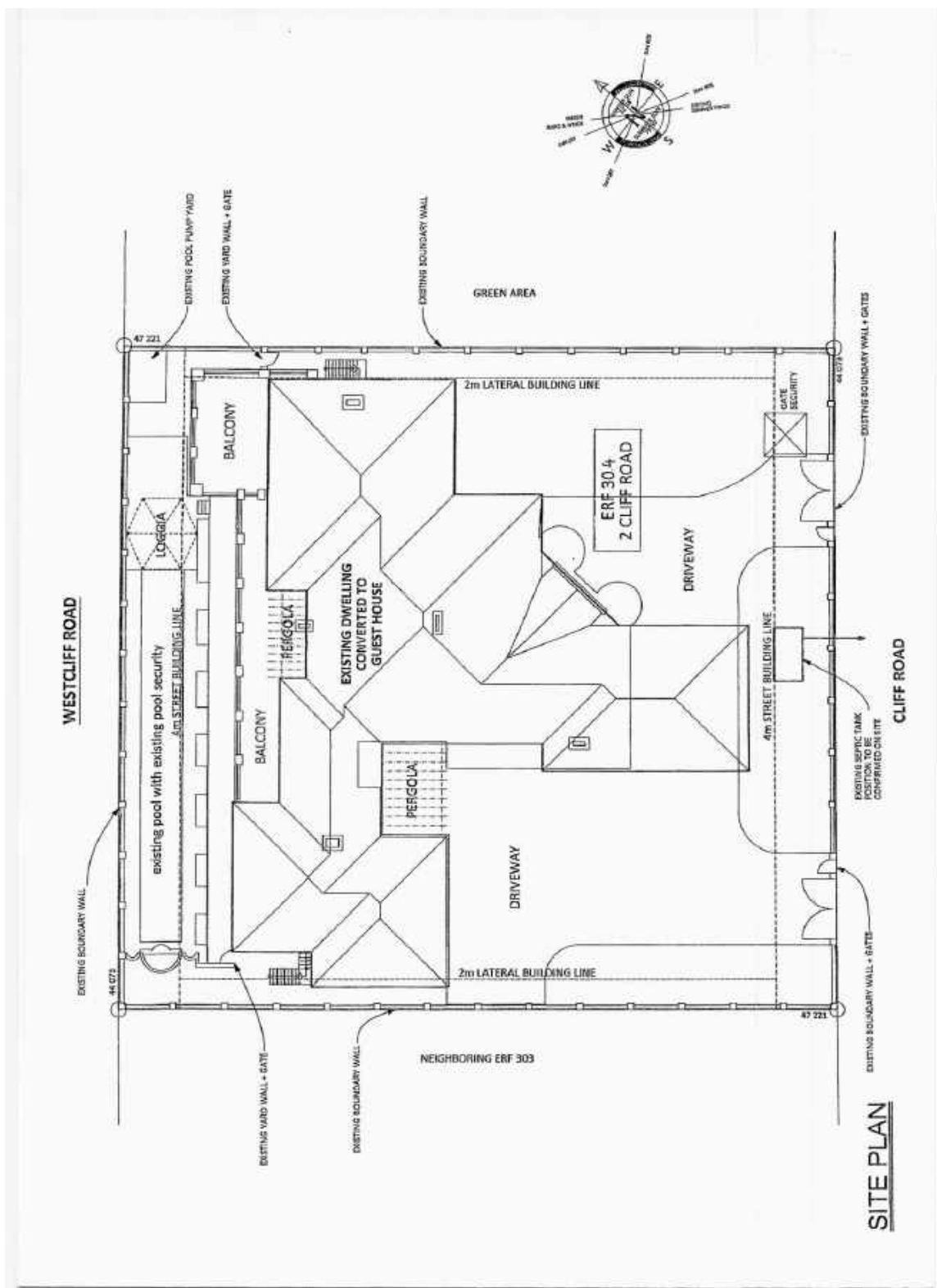
Town & Country
 Creative Land Solutions
 P.O. Box 1085
 Bredaasdrorp
 7280
 Tel. 028 424 1545
 Fax. 028 425 2085
 E-mail: towncountry@vodamail.co.za

PROJECT
 LOCALITY PLAN: ERF 304 HERMANUS
 OVERSTRAND MUNICIPALITY

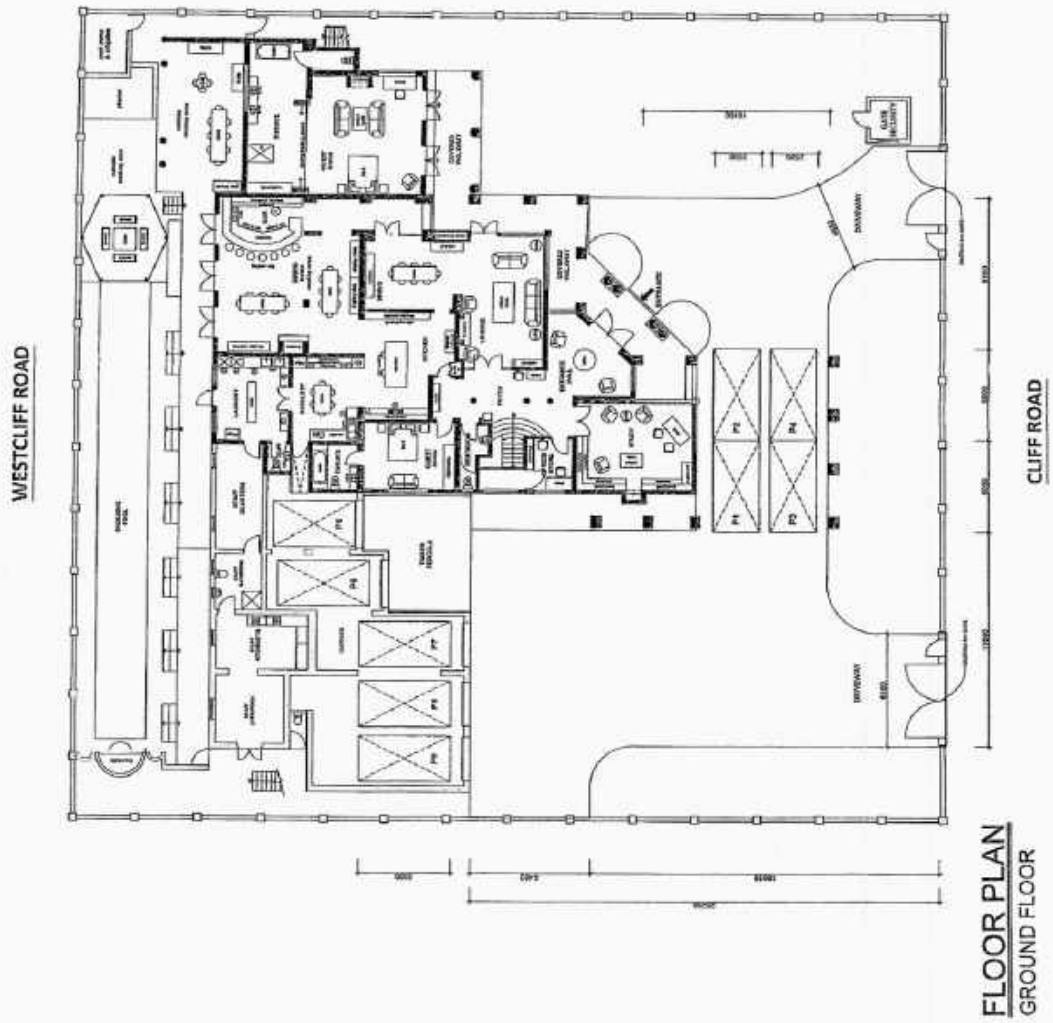


Urban • Rural • Water

| | |
|---------|----------|
| DRAWN | CHECKED |
| LT | LT |
| SCALE | DATE |
| FIVE | JUL 2019 |
| DWG No. | REVISION |
| Notes: | |



SITE PLAN



NOTES

This drawing is for liquor license application. It is, consequently, not to be used for submission to municipality for zoning planning or to be used for construction purposes.

| KEY | |
|----------------|------------------|
| LICENCED AREA | thick black line |
| LIQUOR STORAGE | blue |
| DELIVERIES | yellow |
| PUBLIC SPACE | green |
| PAYPOINTS | orange |

NOTES

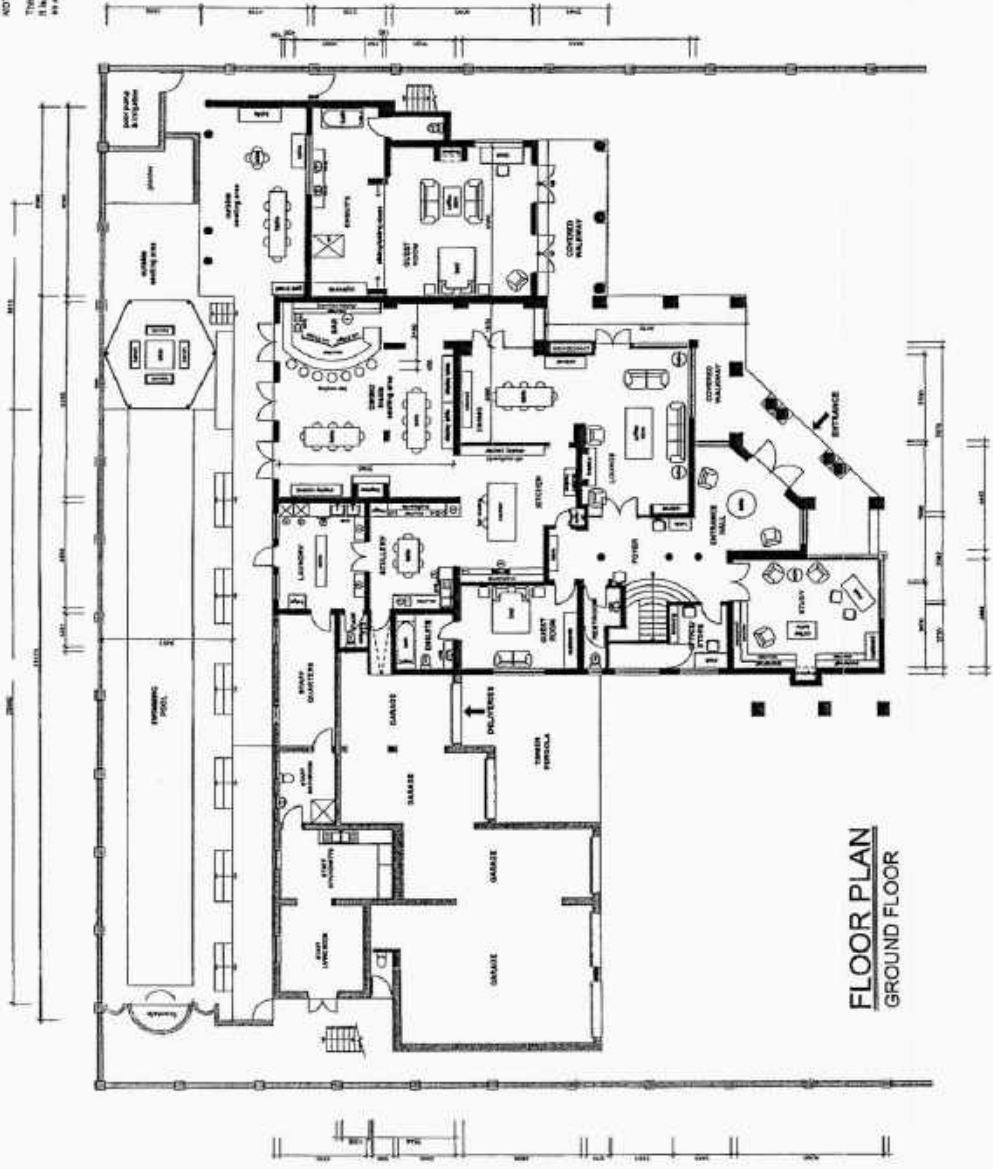
1. Liquor license storage in sub-cupboards & shelves
2. Cash register
3. Coffee machine
4. Kettle
5. Taster
6. Microwave & oven
7. Dishwasher
8. Prep bar
9. Sink
10. Dish rack
11. Washing machine



GRAND LUX MANOR
 ERF 304
 2 CLIFF ROAD
 WEST CLIFF
 HERMANUS
 7200

Scale: 1:100
 Drawn: D. van der
 Checked: C. de Beer
 Project: 1157
 Date: 2015-07-08
 The Van der Merwe Architects
 2015/07/08/1157-1/5

DWG. NO. 1157-1/5



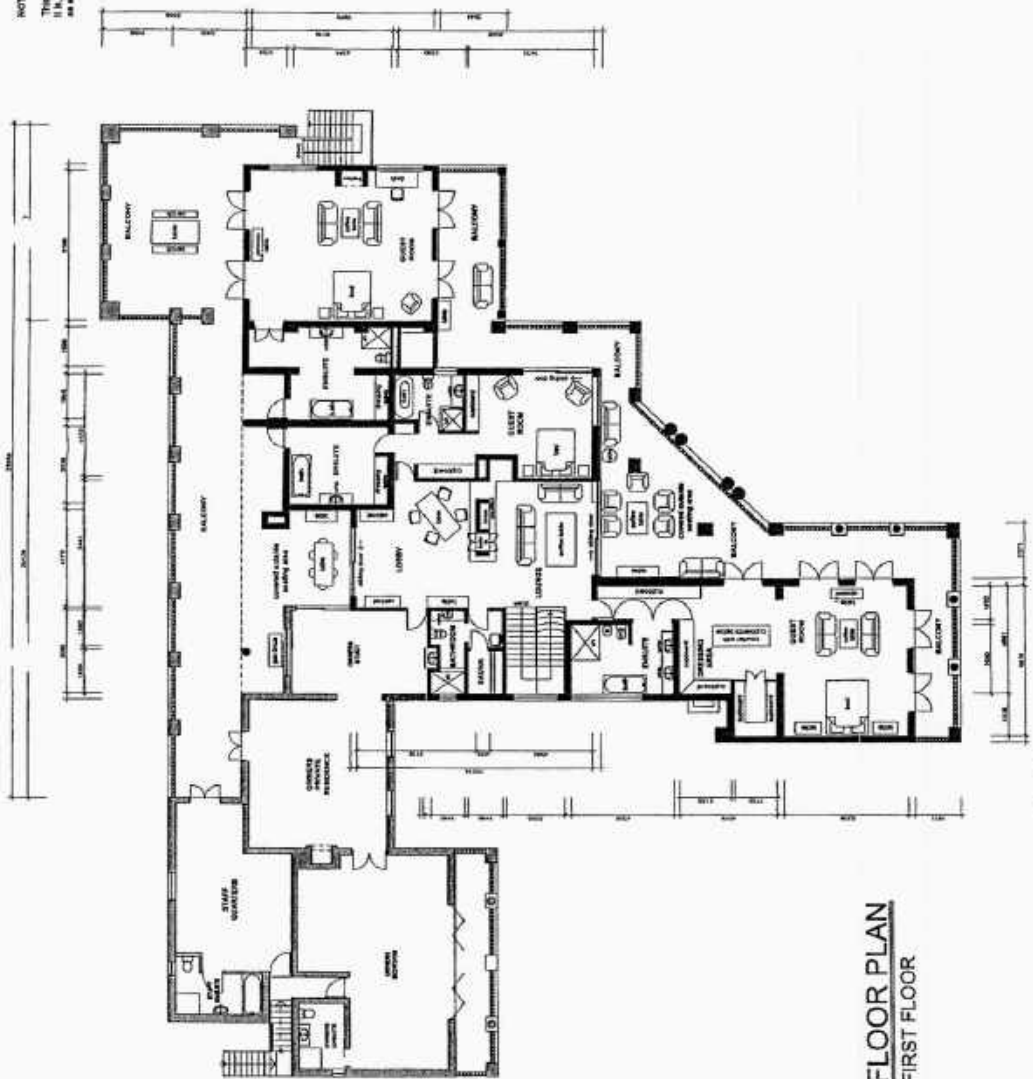
FLOOR PLAN
 GROUND FLOOR

NOTES

The drawing is for Laser Scan applications. It is consequently not to be used for advertisement to municipality or a printing company or to be used for construction purposes.

KEY

| | |
|----------------|--------|
| UTILISED AREA | Red |
| USUOUS STORAGE | Blue |
| DELIVERIES | Yellow |
| PUBLIC SPACE | Green |
| PAYMENTS | Orange |



GRAND LUX MANOR
 ERF 304
 2 CLIFF ROAD
 WEST CLIFF
 HERMANUS
 7200

DWG. 20 JUL 2010
 Drawn: S. van Oort
 Checked: C. de Beer
 PROJECT: TMSB
 Tel: 021 5504832
 Fax: 021 5504833
 75 Vredehoek Road
 7815 Vredehoek, Cape Town

DWG. NO. 1157-2/5

FLOOR PLAN
 FIRST FLOOR

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 304, WESTCLIFF (3268/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 302, Westcliff, unobstructed;
6. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES



DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

33. REMAINDER ERF 6097, 125 NINTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURES: MESSRS SMART SOLUTION ARCHITECTURE AND ARCHITECTURAL CONSULTANTS ON BEHALF OF THE SL UYS TRUST

Rem 6097 HVK (3000)

S van der Merwe

(028) 313 8900

Hermanus Administration

29 October 2019

Executive Summary

An application for departures in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 24 April 2019 from Messrs Smart Solution Architecture and Architectural Consultants on behalf of The SL Uys Trust applicable to Remainder Erf 6097, Hermanus (Voëlklip) for:

- i) the relaxation of the western lateral building line from 2m to $\pm 1,720$ m in order to accommodate a section of the proposed extension of an existing bedroom at ground floor level;
- ii) the relaxation of the street building line from 4m to $\pm 3,432$ m in order to accommodate a section of the proposed extension of the existing garage;
- iii) the relaxation of the rear building line from 2m to $\pm 1,635$ m in order to accommodate an existing enclosed gardener's bathroom facility on ground floor level underneath the existing ramp;
- iv) the relaxation of the western lateral boundary from 2m to $\pm 1,720$ m in order to retain a section of the existing open balcony at first floor level and to retain the position of the existing balustrade at that section of the balcony by replacing it with a new balustrade;
- v) the relaxation of the street building line from 4m to $\pm 3,432$ m to accommodate the extension of an indoor braai area at first floor level directly above the garage extension, and
- vi) the relaxation of the height restriction applicable to dwelling units on single residential properties from 8m to $\pm 8,35$ m to accommodate the existing height of the dwelling unit on the property.

RECOMMENDATION

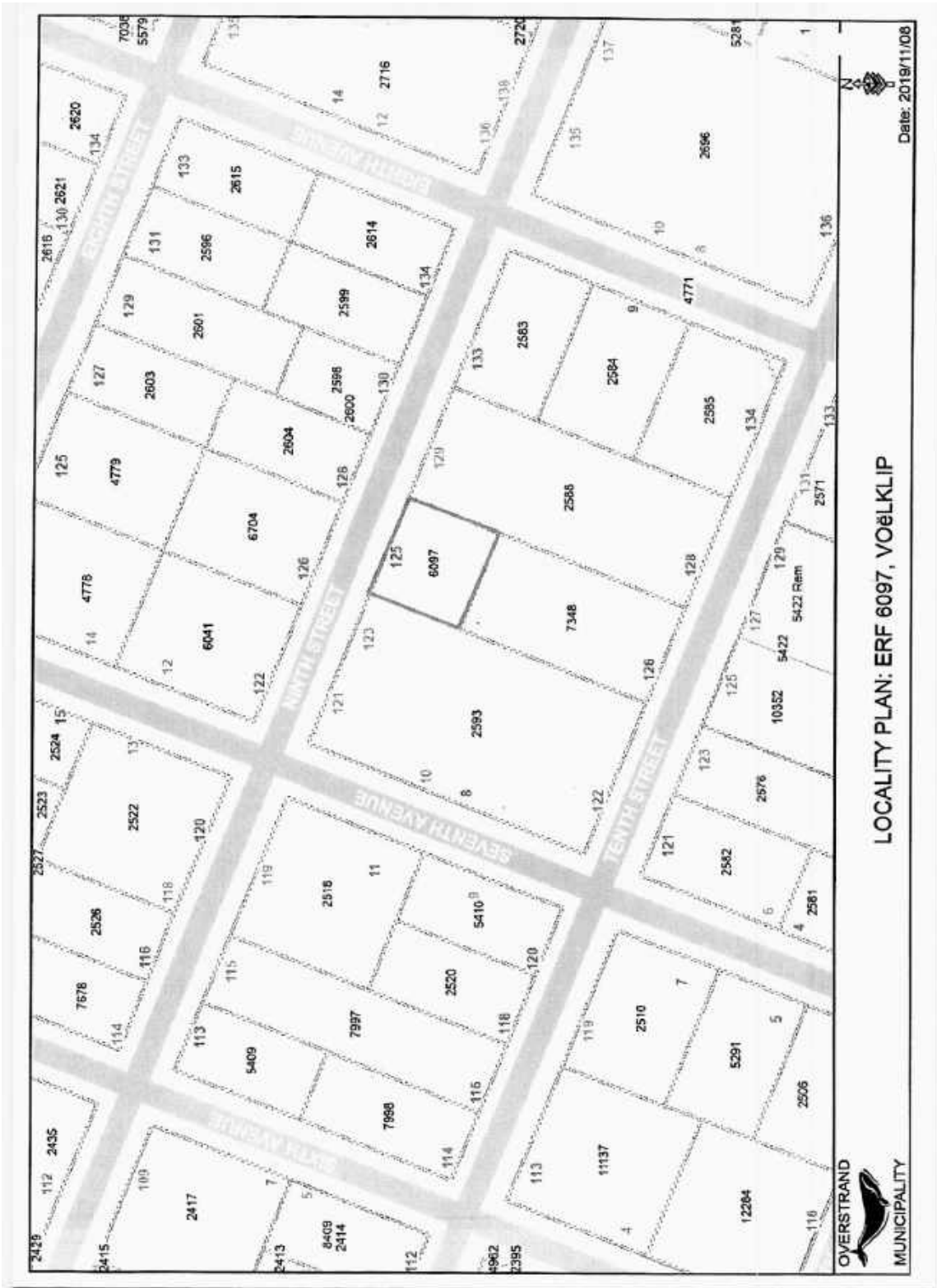
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Remainder Erf 6097, Hermanus in order to:
 - i) the relaxation of the western lateral building line from 2m to $\pm 1,720$ m in order to accommodate a section of the proposed extension of an existing bedroom at ground floor level;
 - ii) the relaxation of the street building line from 4m to $\pm 3,432$ m in order

**AGENDA of the
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18 February 2020
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- to accommodate a section of the proposed extension of the existing garage;
- iii) the relaxation of the rear building line from 2m to $\pm 1,635\text{m}$ in order to accommodate an existing enclosed gardener's bathroom facility underneath the existing ramp at ground floor level;
- iv) the relaxation of the western lateral boundary from 2m to $\pm 1,720\text{m}$ in order to retain a section of the existing open balcony at first floor level and to retain the position of the existing balustrade at that section of the balcony by replacing it with a new balustrade;
- v) the relaxation of the street building line from 4m to $\pm 3,432\text{m}$ to accommodate the extension of an indoor braai area at first floor level directly above the garage extension, and to
- vi) the relaxation of the height restriction applicable to dwelling units on single residential properties from 8m to $\pm 8,35\text{m}$ to accommodate the existing height of the dwelling unit on the property.

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

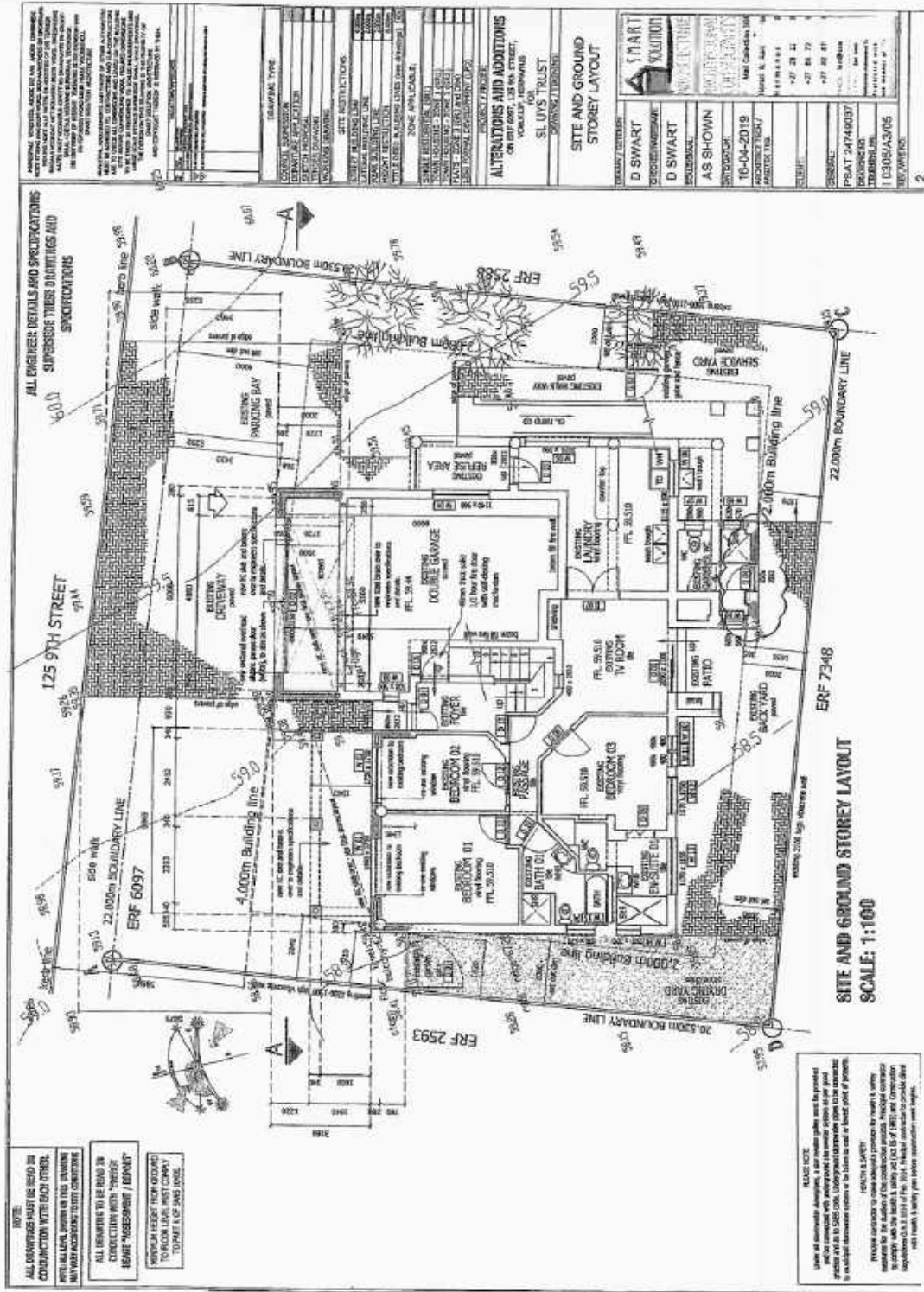
- (a) that the approval is for the development as indicated on Plan Nos I 0305/A3/05 to I0305/A3/10 dated March 16-04-2019 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage (such plans must be accompanied by a topographical height survey by professional land surveyor);
 - (c) that the garage be fitted with an electric roll-up type garage door;
 - (d) that the conditions of the Engineering Services and Telkom respectively, be complied with;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.

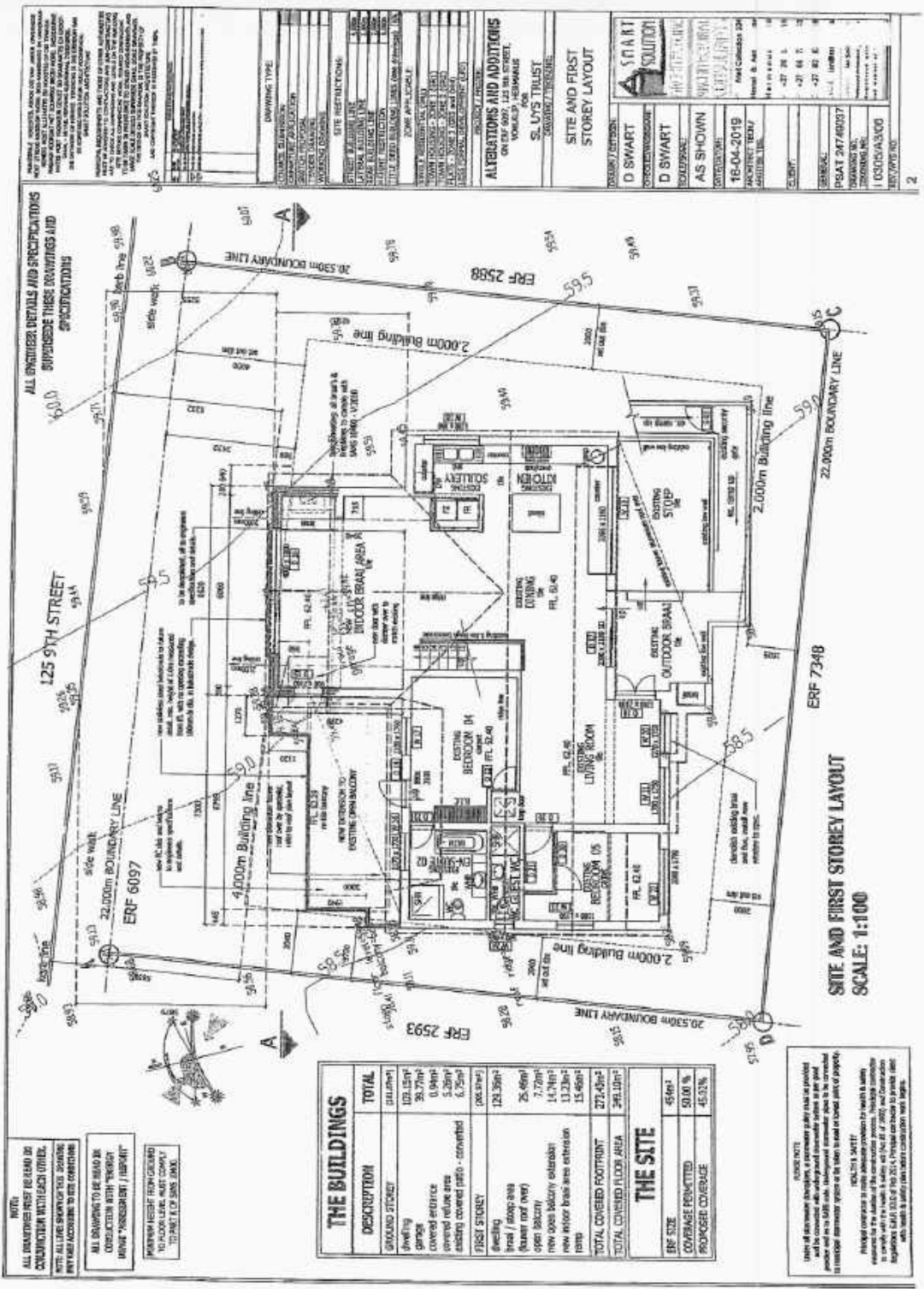


Date: 2019/11/08

LOCALITY PLAN: ERF 6097, VOELKLIP







NOTES:

1. ALL DIMENSIONS MUST BE READ IN CONJUNCTION WITH EACH OTHER.
2. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
3. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
4. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
5. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
6. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
7. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
8. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
9. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.
10. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

GENERAL:

PROJECT NO: PSAT 24740037
 DRAWING NO: 10000A3000
 REVISION NO: 2

CLIENT: S. UYS TRUST
ADDRESS: 10000A3000

DATE: 16-04-2019

SCALE: 1:100

PROJECT NO: PSAT 24740037
DRAWING NO: 10000A3000
REVISION NO: 2

| THE BUILDINGS | | TOTAL |
|--|--|----------------------|
| GROUND STOREY | | 107.15m ² |
| dwelling | | 28.72m ² |
| covered verandah | | 0.94m ² |
| covered refuse area | | 5.26m ² |
| existing covered patio - converted | | 6.75m ² |
| FIRST STOREY | | 124.36m ² |
| dwelling | | 25.46m ² |
| break / storage area (lower roof over) | | 7.70m ² |
| open bakery | | 14.74m ² |
| new open bakery extension | | 13.23m ² |
| new indoor braai area extension ramp | | 15.45m ² |
| TOTAL COVERED FOOTPRINT | | 272.40m ² |
| TOTAL COVERED FLOOR AREA | | 291.10m ² |

| THE SITE | |
|--------------------|--------------------|
| ERF SIZE | 4561m ² |
| COVERAGE PERMITTED | 50.00 % |
| PROPOSED COVERAGE | 45.53% |

NOTES:

1. ALL DIMENSIONS MUST BE READ IN CONJUNCTION WITH EACH OTHER.

2. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

3. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

4. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

5. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

6. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

7. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

8. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

9. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

10. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH EACH OTHER.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: REMAINDER ERF 6097, VOELKLIP
(3000/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager; Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Remainder Erf 6097, Voelklip, unobstructed;
7. that no on-street parking be allowed.

p.p. R. Coetzer
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

18/07/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**34. ERF 328, 16 SCHNEIDER STREET, FRANSKRAAL, OVERSTRAND
MUNICIPAL AREA: DEPARTURE AND RELAXATION OF TITLE DEED
CONDITION: K OOSTHUIZEN**

328 GFK (3209/2019)

SW van der Merwe

(028) 313 8900

Hermanus Administration

6 November 2019

Executive Summary

An application was received on 24 May 2019 from K Oosthuizen for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 328, Franskraal in order to:

- a) relax the street building line of the property from 4m to 0m to accommodate the existing roofed braai area, two (2) covered planter boxes, two (2) covered pergolas that is used as carports, and a roofed wood store;
- b) relax the eastern lateral building line from 2m to 0m to accommodate the existing roofed braai area, and to
- b) relax the western lateral building line from 2m to 0m to accommodate the existing roofed wood store.

The application also entails the relaxation of restrictive title deed condition C.20.(d) of the Title Deed of the property in terms of Clause C.20. thereof to accommodate the above roofed braai area, two (2) covered planter boxes, two (2) covered pergolas that is used as carports, and a roofed wood store that encroaches the prescribed 4,72m title deed street building line up to the street boundary, as well as to relax both the 1,57m eastern- and western lateral building lines line up to both lateral boundaries to respectively accommodate the roofed braai area and wood store.

RECOMMENDATION

1. that the application for the relaxation of the restrictive title deed condition C.20.(d) in terms of Clause C.20. of Title Deed T17752/2017 applicable to Erf 328, Franskraal for the following:
 - ❖ to relax the 4,72m street building line up to the street boundary to accommodate the roofed braai area, the two (2) covered planter boxes, two (2) carports and the roofed wood store, and
 - ❖ to relax both the 1,57m eastern- and western lateral building lines up to the lateral boundaries to respectively accommodate the above roofed braai area and the roofed wood store,

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

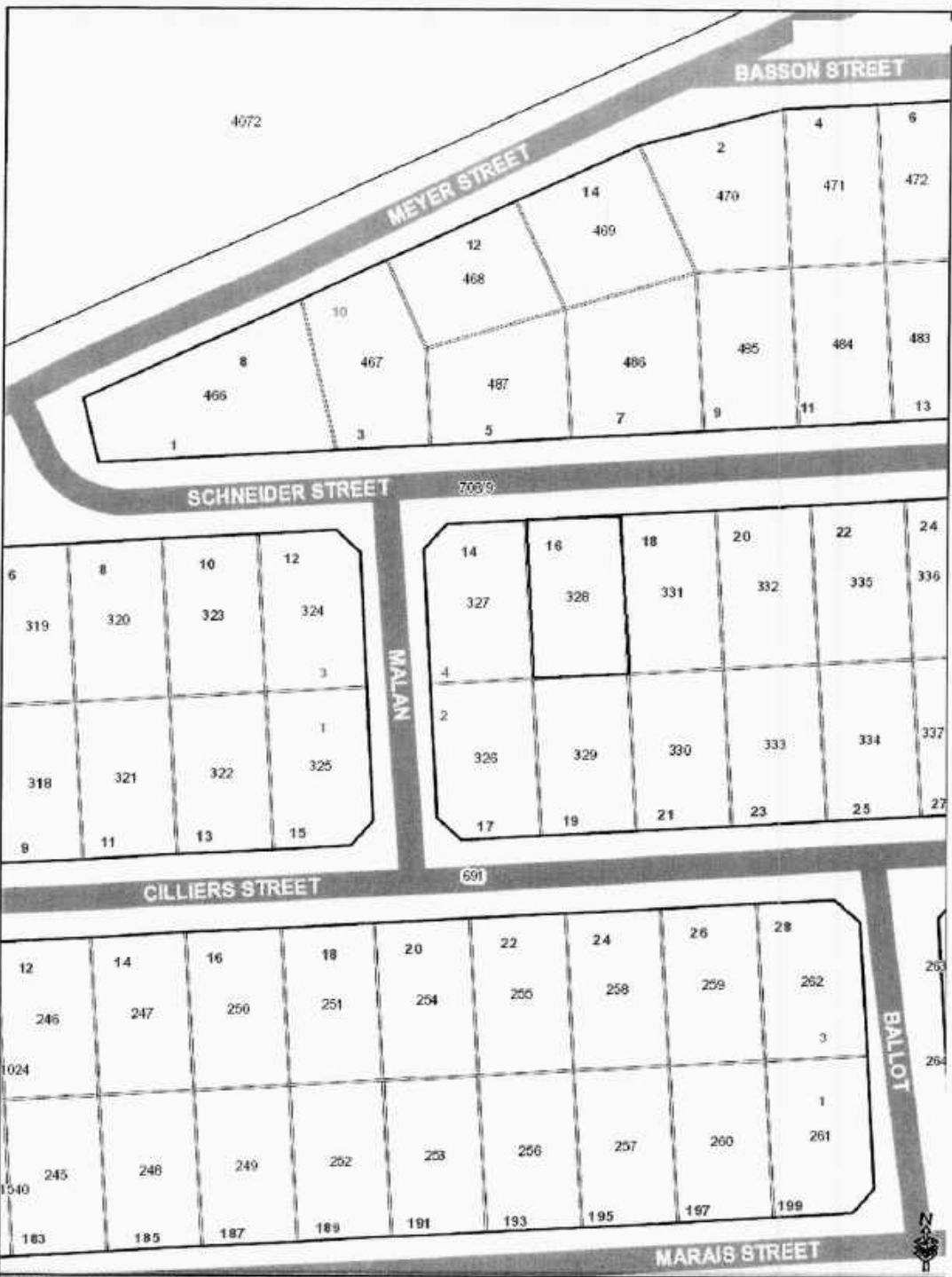
be approved in terms of the provisions of Clause C.20 in Title Deed T17752/2017 applicable to Erf 328, Franskraal;

2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 328, Franskraal for the following departures:

- ❖ to relax the 4m street building line up to the street boundary to accommodate the above roofed braai area, two (2) covered planter boxes, two (2) carports and the wood store, and
- ❖ to relax both the 2m eastern- and western lateral building lines up to the lateral boundaries respectively to accommodate the above roofed braai area and the roofed wood store,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

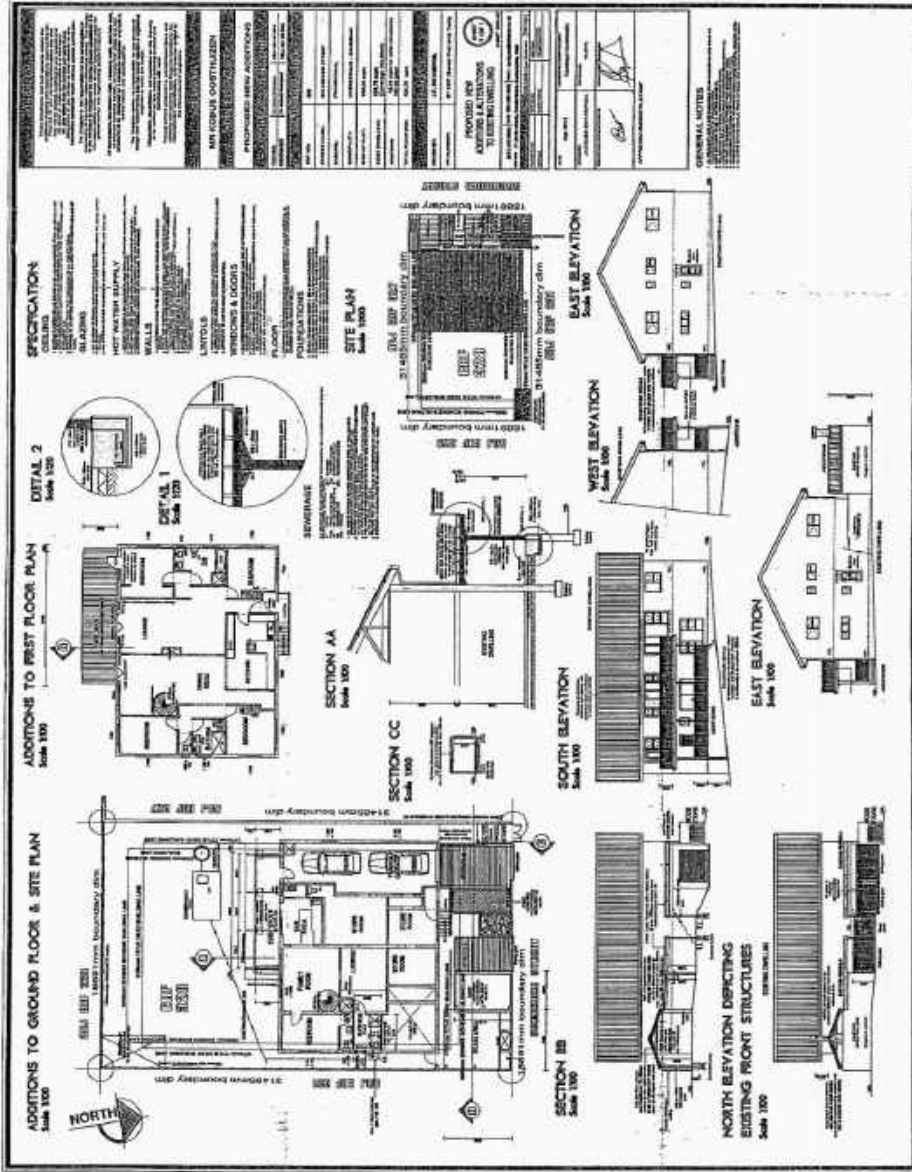
- (a) that the approval only be applicable for the encroachments as per the dimensions indicated on the Site Development Plan No. *DWG NAME: House Oosthuizen REV NO 6*: dated May 2019 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all the applicable conditions as contained in the Services Report and Telkom, be complied with;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



OVERSTRAND
MUNICIPALITY

ERF 328, 16 SCHNEIDERSTREET, FRANSKRAAL,

Date: 2019-07-02



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 328, FRANSKRAAL (3209/2019)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 328, Franskraal, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**35. ERF 3171, 75 LEEUBEKKIE STREET, BLOMPARK, GANSBAAI,
OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: C HILL**

3171 GBP (3125/2019)

SW van der Merwe

(028) 313 8900

Hermanus Administration

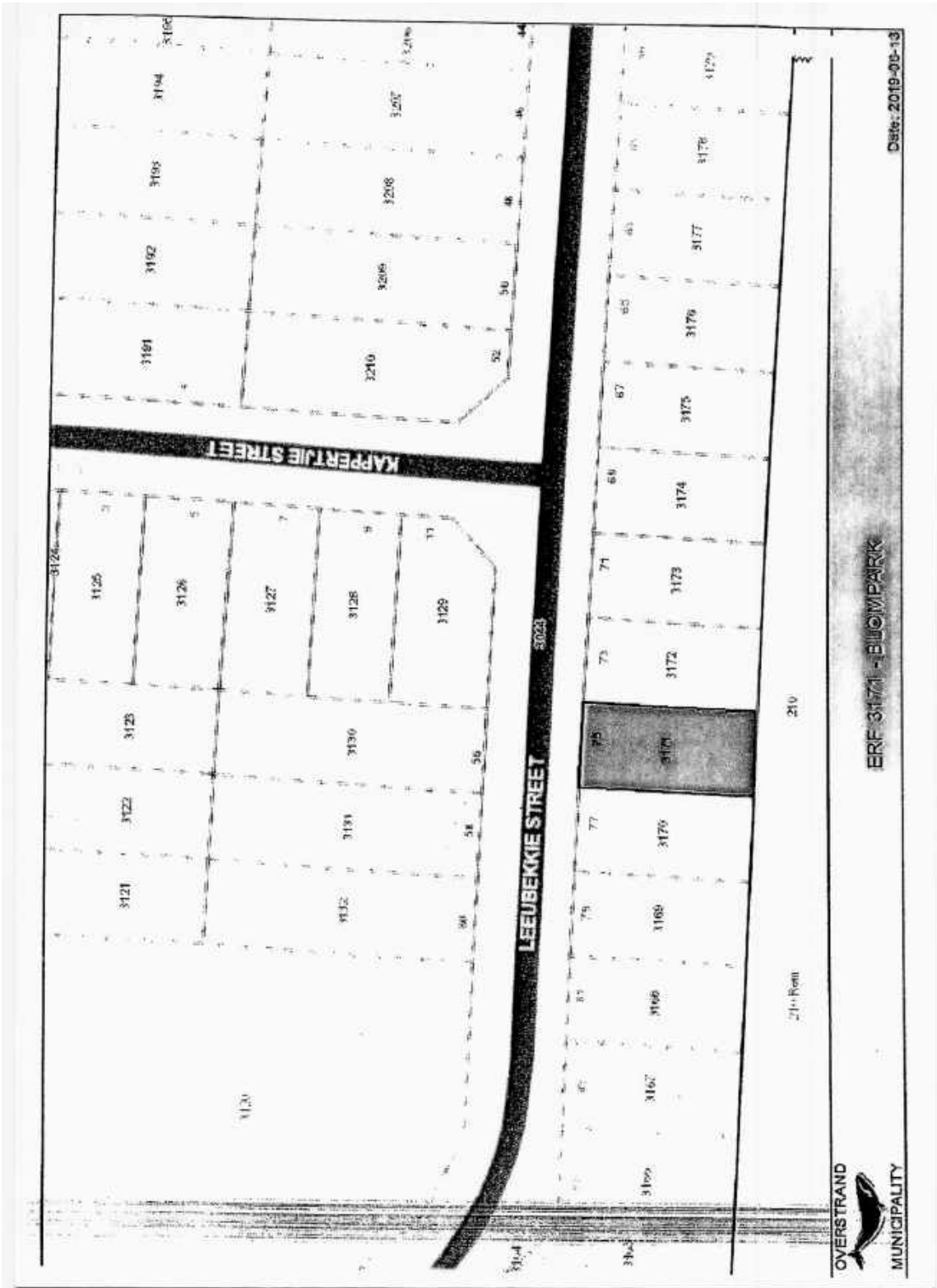
25 November 2019

Executive Summary

An application was received on 17 May 2019 from the owner, C Hill, for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 3171, Gansbaai in order to accommodate an existing garage, which structure encroach the 1m lateral building line onto the property boundary.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 3171, Gansbaai in order to encroach the 1m eastern lateral building line onto the property boundary, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval only be applicable to the encroachments as per the Site Development Plan, Drawing No. JJ. 16/19, dated 4 April 2019;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all the applicable conditions as contained in the Services Report and Telkom, be complied with;
 - (d) that the door between the house and the garage be permanently blocked up to the satisfaction of the Manager: Building Control;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



OVERSTRAND
MUNICIPALITY

ERF 3171 - BLOMPARK

Date: 2019-08-13

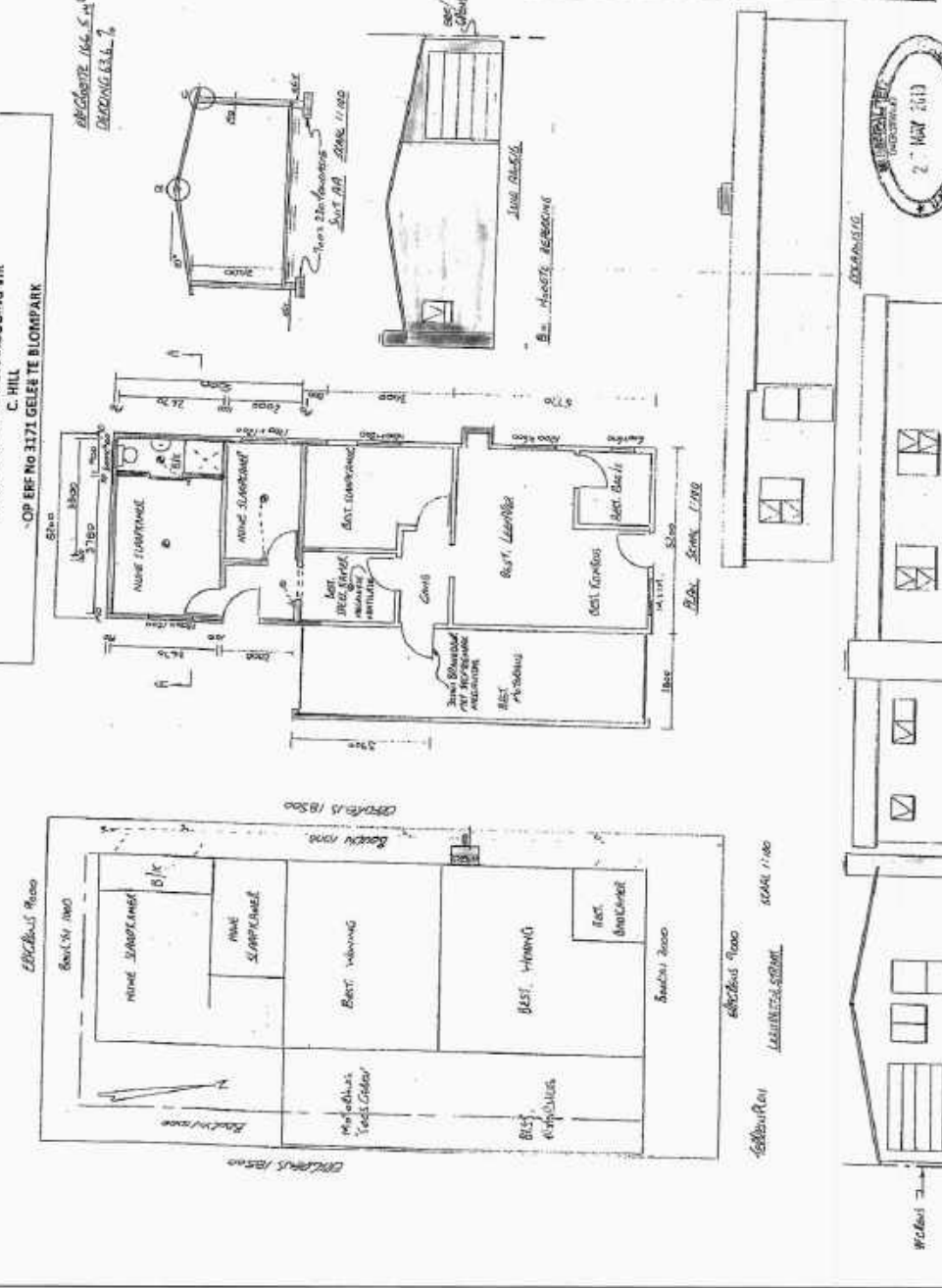
VOORGESTELDE NUWE AANBOUING VIR
C. HILL
"OP ERF NO 3171 GELEë TE BLOMPARK

LETSWERK.
Bekendmaking van die ontwerp van die nuwe aanbouing vir C. Hill op erf no 3171 geleë te Blompark.
Die nuwe aanbouing sal bestaan uit 'n woonkamer, slaapkamer, badkamer, kombuis, eetkamer, toilet en skedelkamer.

PLAASBOUING.
Die nuwe aanbouing sal op 'n grondoppervlakte van 1200 m² (1200 m x 100 m) gebou word. Die afstande van die nuwe aanbouing tot die omringende eiendomme is as volg: 10 m na die noordelike eiendomme, 10 m na die suidelike eiendomme, 10 m na die westelike eiendomme en 10 m na die oostelike eiendomme.

BOUWTOEGESTANDE.
Die nuwe aanbouing sal gebou word volgens die voorskrifte van die Bylaes A tot G van die Nulde Wet van 1977 (No. 55 van 1977) en die Bylaes van die Nulde Wet van 1977 (No. 55 van 1977) soverdienend.

BOUWTOEGESTANDE.
Die nuwe aanbouing sal gebou word volgens die voorskrifte van die Bylaes A tot G van die Nulde Wet van 1977 (No. 55 van 1977) en die Bylaes van die Nulde Wet van 1977 (No. 55 van 1977) soverdienend.



1:100

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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3171, BLOMPARK (3125/2019)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing 60 Amp three phase electricity connection will be available for the development, no additional capacity can be supplied;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 3171, Blompark, unobstructed;
6. that no on-street parking be allowed.

pp. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

16/09/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

36. ERF 1969, 1 DASI STREET, ELUXOLWENI, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS WRAP CONSULTANCY ON BEHALF OF OVERSTRAND MUNICIPALITY

1969 GPB (3171)

SW van der Merwe

(028) 313 8900

Hermanus Administration

12 November 2019

Executive Summary

An application was received on 14 August 2019 from Messrs WRAP Consultancy on behalf of Overstrand Municipality for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1969, Pearly Beach for the following:

- ❖ to relax the north western street building line from 5m to 2m to accommodate a new and an existing classroom;
- ❖ to relax the south western lateral building line from 5m to 2m to accommodate proposed new classrooms, ablution facilities, kitchen, office and a sick bay;
- ❖ to relax the south eastern lateral building line from 5m to 2m to accommodate proposed new classrooms;
- ❖ to depart from the applicable parking ratio to provide five (5) on-site parking bays in lieu of eight (8) and a setback of 7m in lieu of 8m.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1969, Pearly Beach for the following departures:

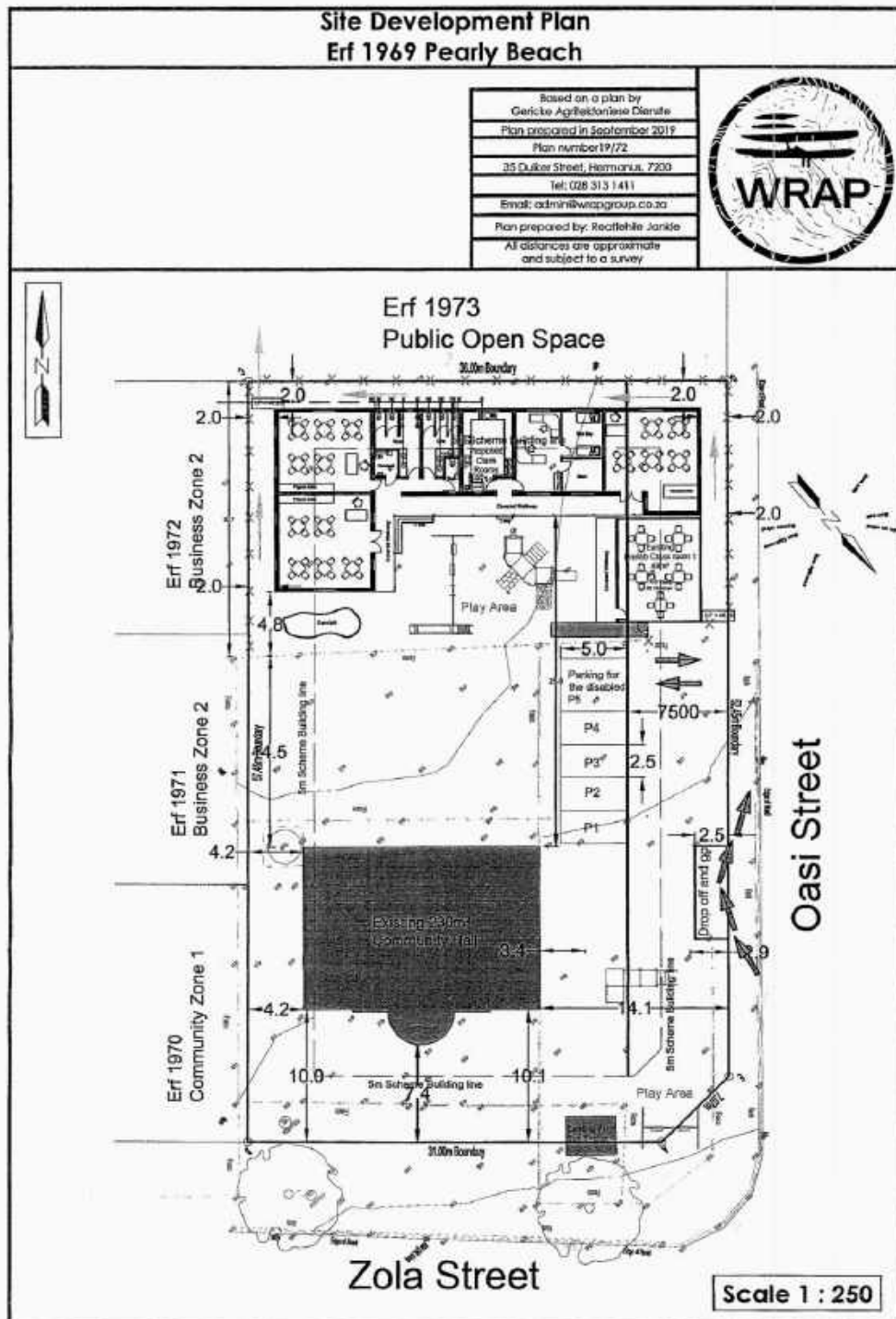
- ❖ to relax the north western street building line from 5m to 2m to accommodate a new and an existing classroom;
- ❖ to relax the south western lateral building line from 5m to 2m to accommodate proposed new classrooms, ablution facilities, kitchen, office and a sick bay;
- ❖ to relax the south eastern lateral building line from 5m to 2m to accommodate proposed new classrooms, and
- ❖ to depart from the applicable parking ratio to provide five (5) on-site parking bays in lieu of eight (8) and a setback of 7m in lieu of 8m.

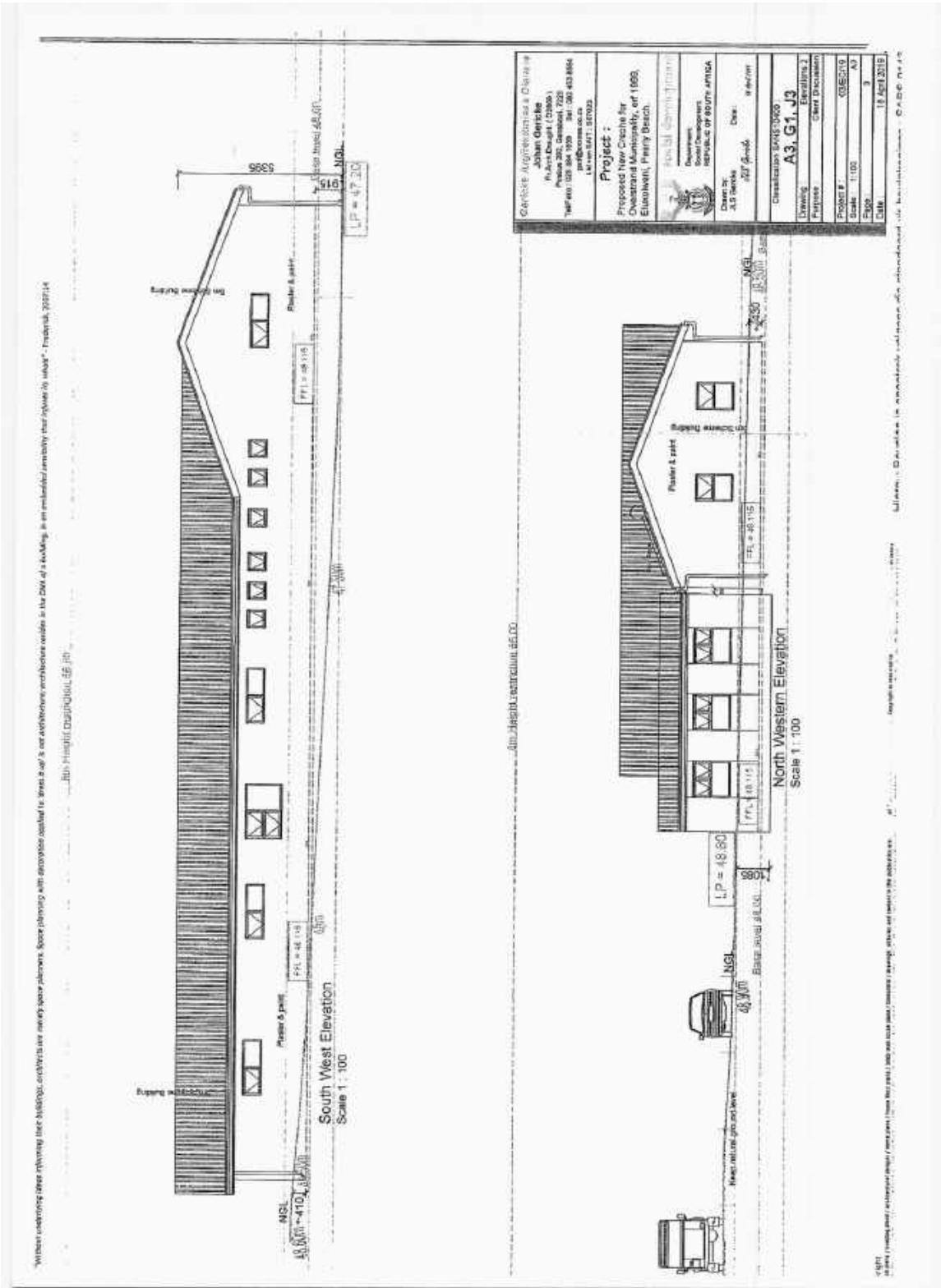
be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
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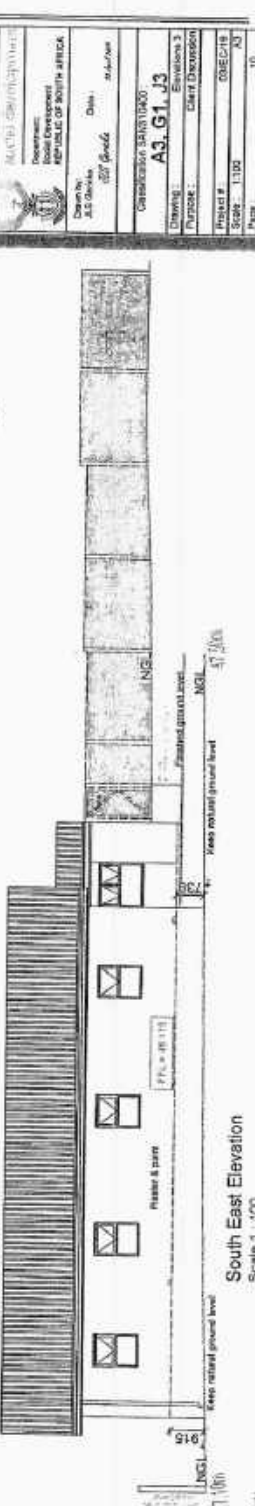
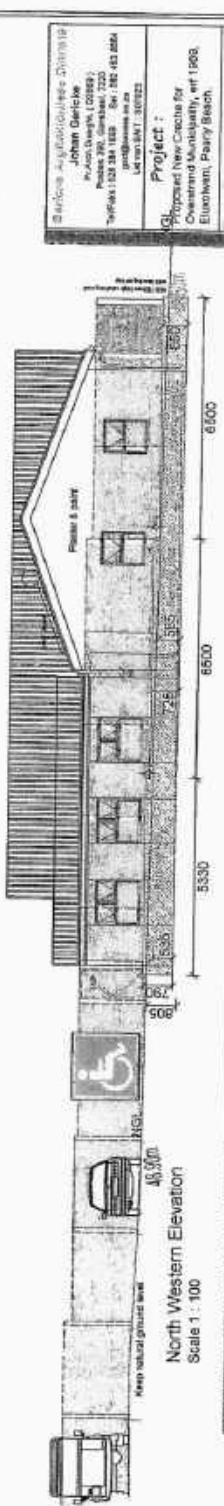
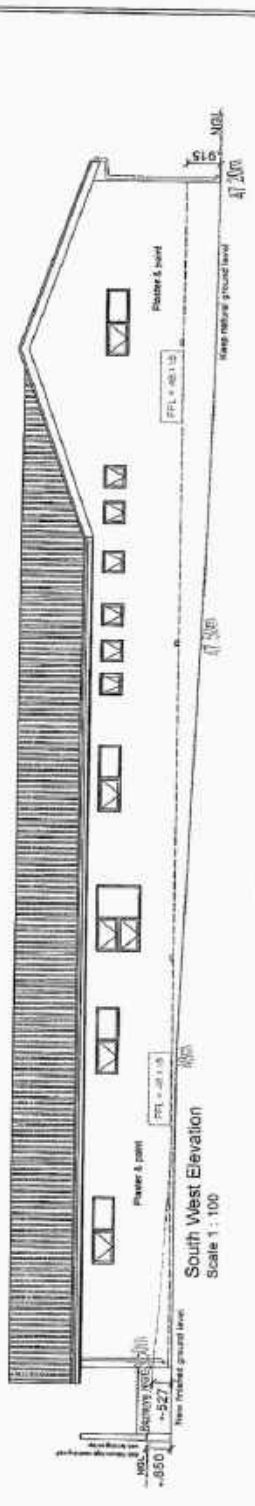
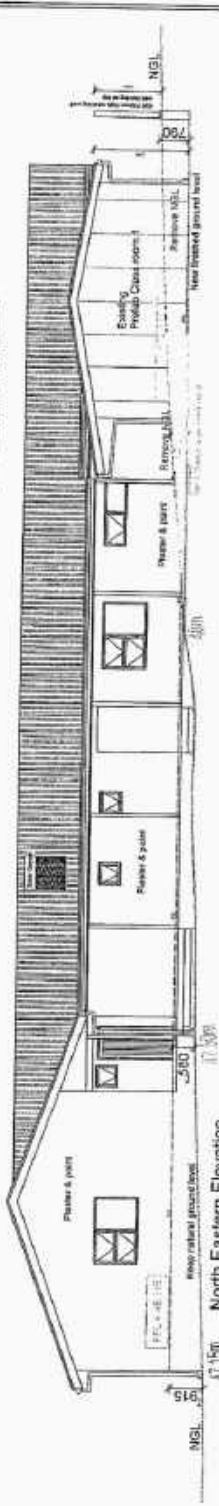
- (a) that the approval only be applicable to the departures indicated on the Site Development Plan, *Plan no. 19/72* dated September 2019;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all the applicable conditions as contained in the Services Report and Telkom, be complied with;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (f) that the development shall comply with the relevant Municipal Health Services Regulations pertaining to the operation of a day care centre, and
 - (g) that a parking layout be submitted for approval by the Senior Manager: Town- and Spatial Planning, prior to the submission of building plans, providing off-site parking for the community.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.







*Without embarking sites adjoining this building, architects are merely water planners. Please planning with discretion applied to Water & air (not EXHAUSTIVE) construction records in the case of building. It is an established suitability that applies to other. - PROJECT 16, 2007-14



Services Architectural Services
 Johan Gertse
 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120
 Tel: +27 21 954 1122 Fax: +27 21 954 1123
 E-mail: jg@jgarchitects.co.za
 License No: 107223

Project :
 Proposed new Centre for
 Overland Municipality, nr 1808,
 Ellendorn, Paarl Beach

Client :
 Overland Municipality

Drawn by:
 J.G. Gertse

Date:
 18 April 2018

Scale:
 1:100

Page:
 10

Date:
 18 April 2018

Urban Development Department, Republic of South Africa
 Drawing: A3_G1_J3
 Elevation: 3
 Purpose: Client Discussion
 Project # OREC/18
 Scale: 1:100
 Page: 10
 Date: 18 April 2018

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1969, ELUXOLWENI, PEARLY
BEACH (3171/2019)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 1969, Pearly Beach, unobstructed;
6. that no on-street parking be allowed.

pp. A. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

17/09/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**37. ERF 210, 125 JAN VAN RIEBEECK CRESCENT, SANDBAAI,
OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE:
MESSRS CHAMCAD ON BEHALF OF LJ & BS GERBER**

210 HSB (3014/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

31 October 2019

Executive Summary

An application was received on 19 June 2019 from Messrs Chamcad on behalf of LJ & BS Gerber for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Erf 210, Sandbaai in order to:

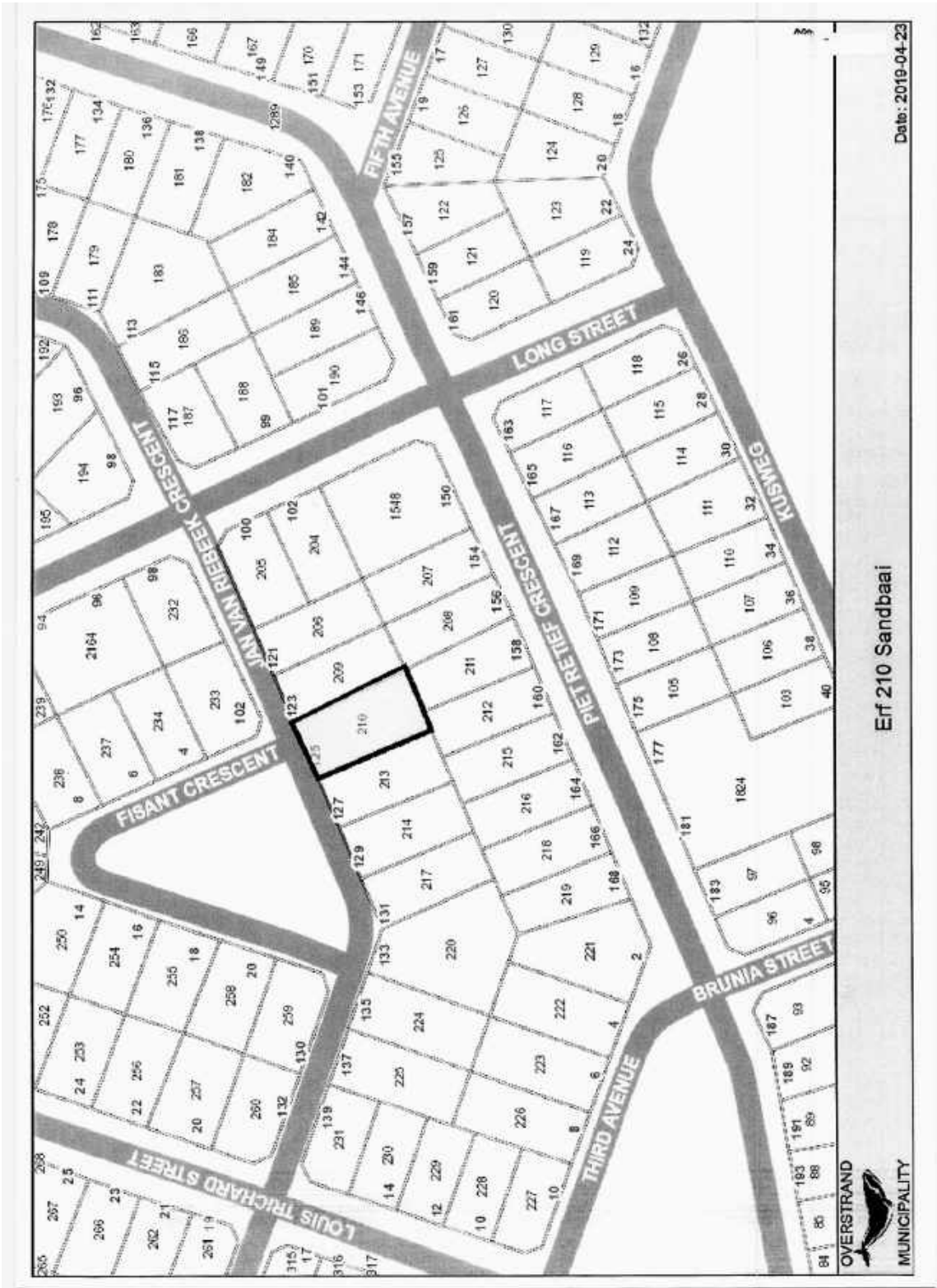
- (a) relax the western lateral building line of the property from 2m to 0m to accommodate an outbuilding with a combined use as a servant's quarter and laundry room, and to
- (b) relax the western lateral building from 2m to $\pm 1,156\text{m}$ to accommodate a covered veranda and carport in front of the above outbuilding.

RECOMMENDATION

1. that the application in terms of Section 16.(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law), applicable to Erf 210, Sandbaai in order to relax the western lateral building line from 2m to 0m to accommodate the existing outbuilding (servant's quarters and storage area), as well as to utilise that section of the outbuilding on the lateral boundary (storage area) as a laundry room, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the covered veranda and carport that encroach the 2m western lateral building line of the property with $\pm 0,844\text{m}$, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals be subject to the following conditions:
 - (a) that the above approvals are for the development with the dimensions indicated on Plan Numbers SB210/2018 1 and 2 dated 02/12/2018 which was submitted with the application, except that the laundry not be interleading with the staff quarters;

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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (b) that building plans that also includes all non-approved structures be submitted to the Building Department for evaluation and approval, and that all conditions of the Building – and Fire Department at that stage, be complied with;
 - (c) that all non-approved structures may only be used as outbuildings;
 - (d) that the relevant conditions of Engineering Services, be complied with;
 - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

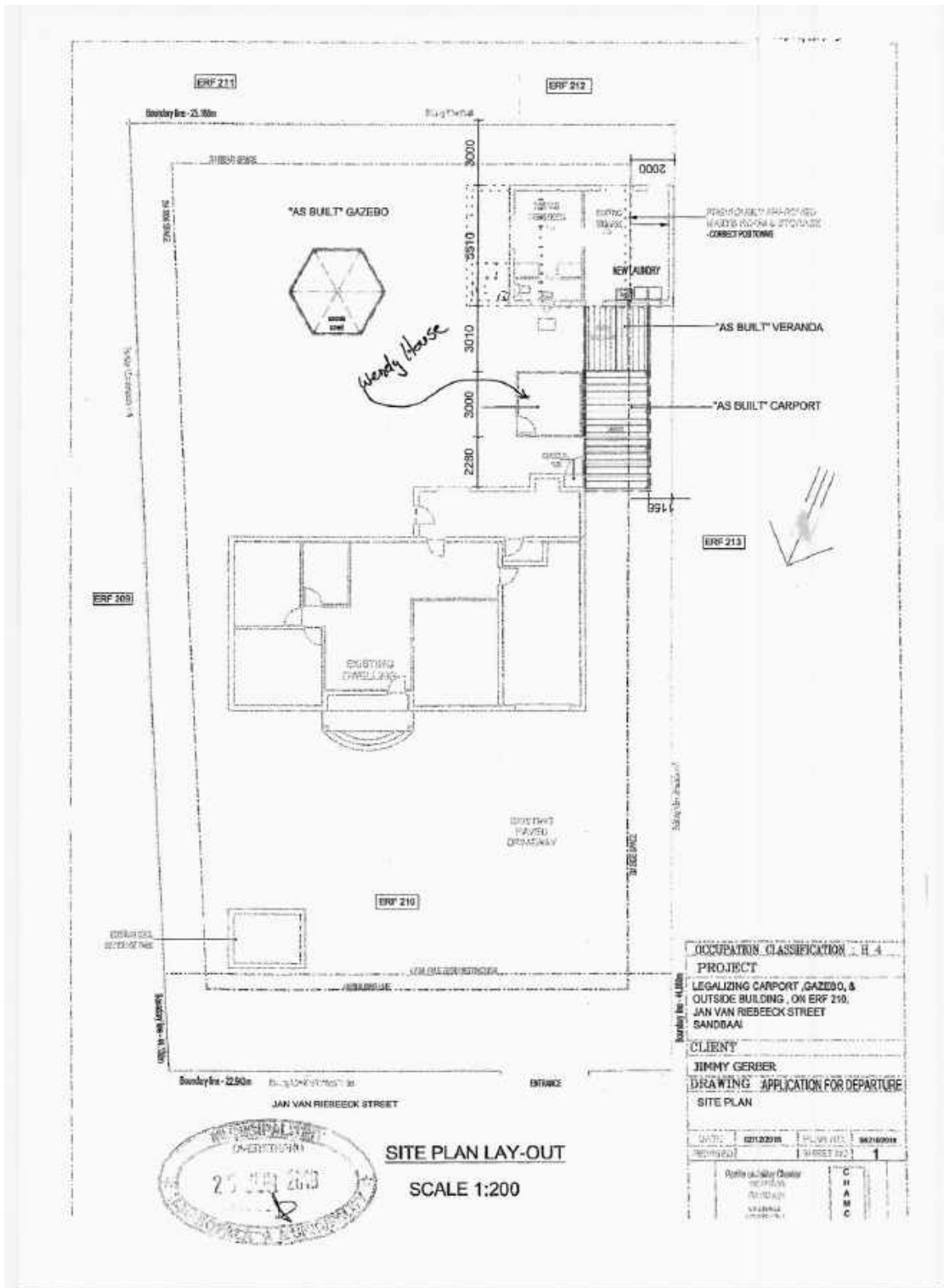


Erf 210 Sandbaai

Date: 2019-04-23



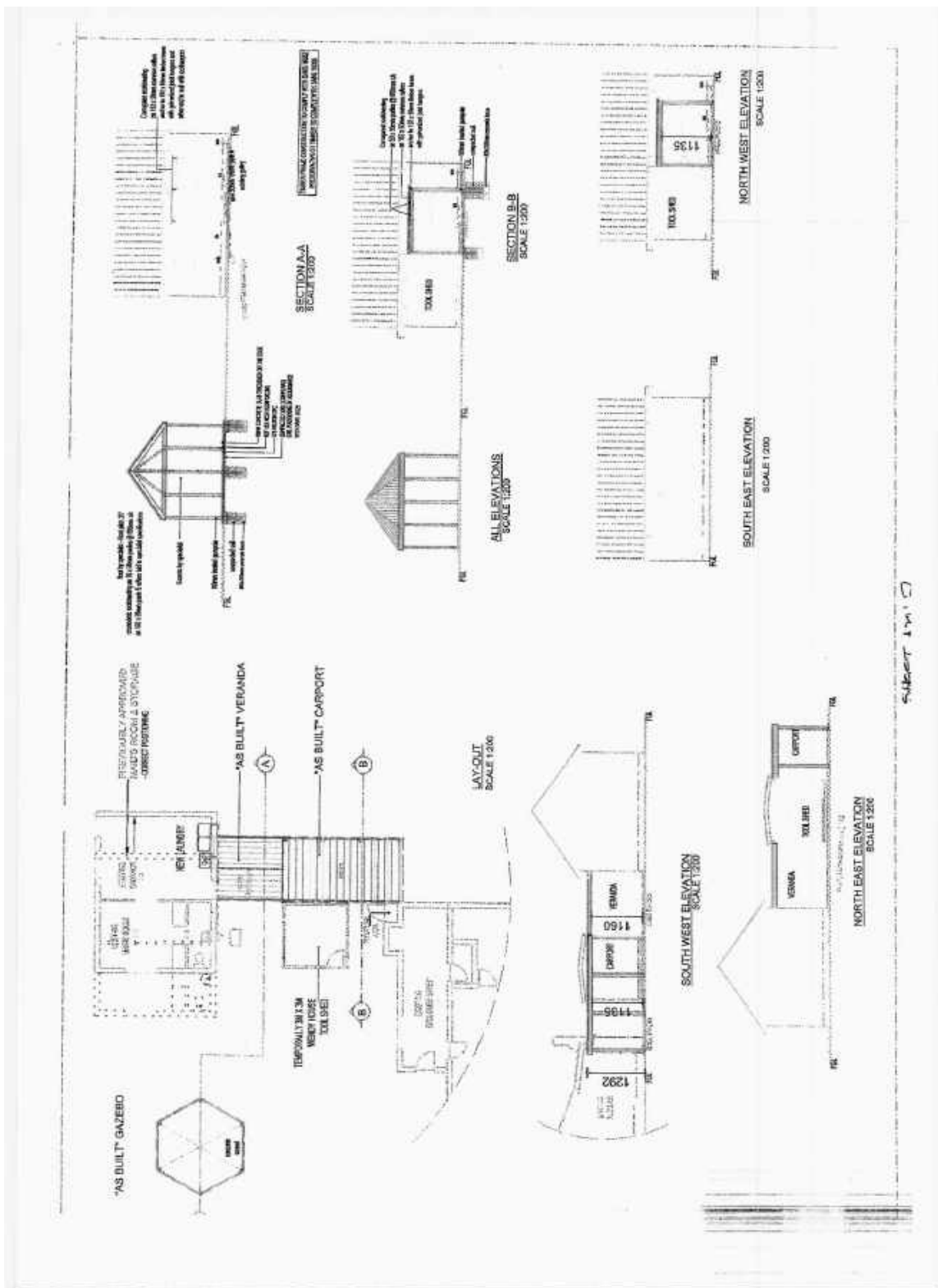
OVERSTRAND
MUNICIPALITY



| | |
|---|-----------------------|
| OCCUPATION CLASSIFICATION - H 4 | |
| PROJECT | |
| LEGALIZING CARPORT, GAZEBO, & OUTSIDE BUILDING ON ERF 210, JAN VAN RIEBEEK STREET, SANDBAAI | |
| CLIENT | |
| JIMMY GERBER | |
| DRAWING APPLICATION FOR DEPARTURE SITE PLAN | |
| DATE: 02/12/2018 | PLAN NO: 962160018 |
| REVISION: | SHEET NO: 1 |
| Author: Jimmy Gerber Designer: Checker: Date: | C H A M C |



SITE PLAN LAY-OUT
SCALE 1:200



Suber 1/1/17

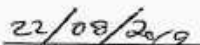
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 210, SANDBAAI (3014/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 210, Sandbaai, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

38. ERF 2889, 8 STAFFORD STREET, HAWSTON, OVERSTRAND MUNICIPAL AREA: CONSENT USE: WCJ MAY

2889 HHW (2775/2019)

H Olivier

(028) 313 8900

Hermanus Administration

24 October 2019

Executive Summary

An application has been received on 14 November 2018 from WJC May on Erf 2889, Hawston in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to operate a house shop from the property.

RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 2889, Hawston, for a consent use in order to utilize a portion of the existing dwelling on the property concerned as a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that only a portion of the dwelling, not exceeding 25% of all the buildings on the property or 30m², whichever is the greatest, may be utilized as a house shop;
 - (b) that no more than one vehicle, not exceeding 3500kg gross weight, may be utilized to make deliveries at the house shop at any one time;
 - (c) that adequate provision be made to manage the behaviour of patrons (both inside and outside the building) and for security and protection of surrounding properties, patrons, vehicles, etc. to the satisfaction of the Senior Manager : Town Planning and Property Administration;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that the house shop may not be used for the purposes of noxious trade, risk activity, sale of alcoholic beverages, place of entertainment or gambling purposes;
 - (f) that no products, goods or supplies connected to the house shop may be stored on the property outside the building;

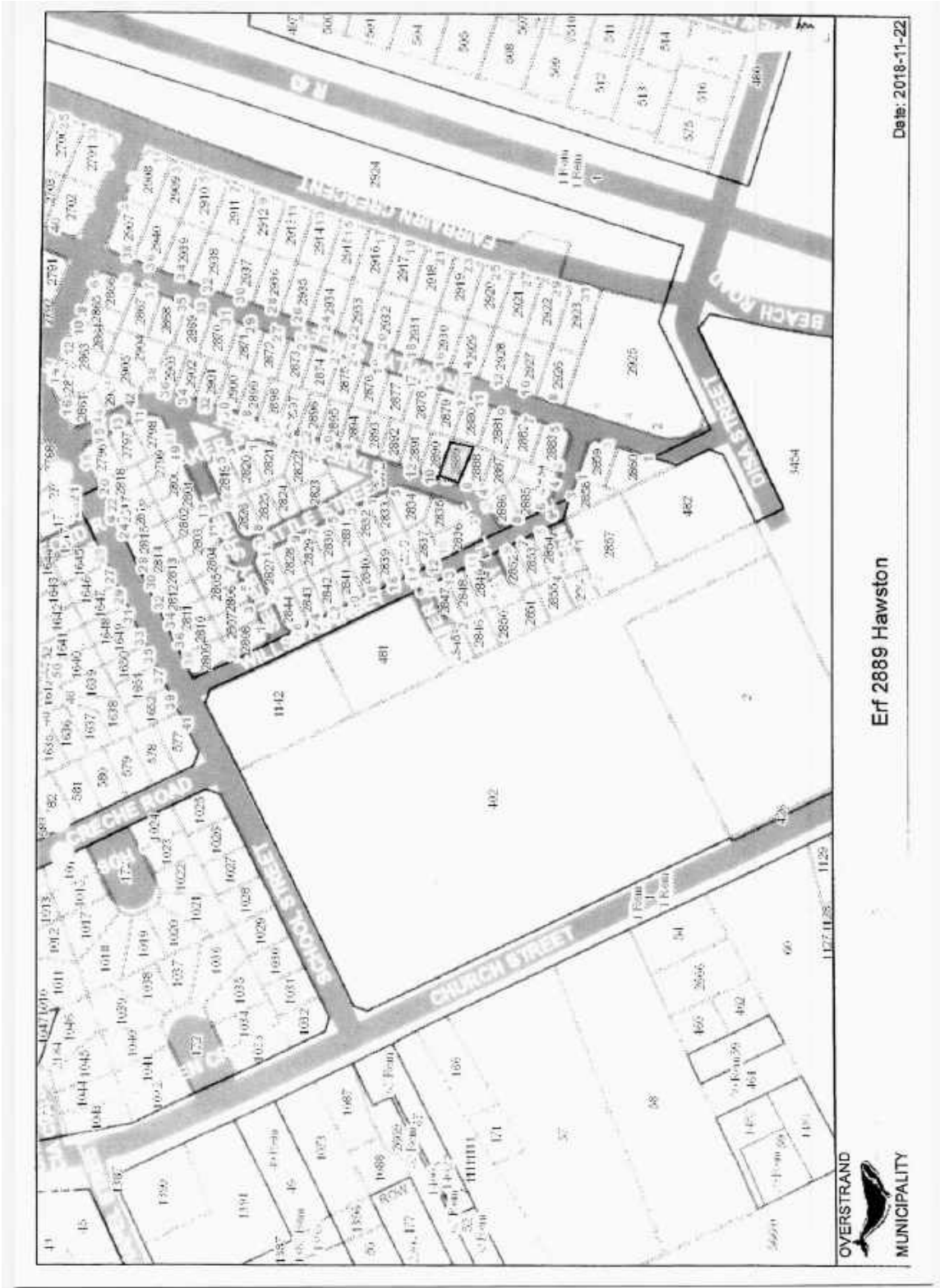
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (g) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;
- (h) that the trading hours of business only be between:

Monday to Friday: 08:00 to 17:00
Saturday: 08:00 to 13:00, or as amended in terms of Zoning Scheme amendments.
- (i) that the number of people employed be restricted to three;
- (j) that the owner/manager resides on the premises;
- (k) that a Certificate of Acceptability from the Health Section of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (l) that the approval is not transferable, and the house shop area may not be sublet to any other person by the applicant;
- (m) that the conditions in the Engineering Report be adhered to ;
- (n) that the Overstrand Municipality retains the right to enforce any relevant legislation, regulations, law and order regarding these premises, the applicant and the departure in land use;
- (o) that this consent use approval is valid for a maximum period of five years, after which it will expire if application is not made for the extension of the validity period within the five year period;
- (p) that on-site parking be provided to the satisfaction of the Senior Manager: Town and Spatial Planning;
- (q) that Council reserves the right to rescind the approval without payment of compensation, should any justified objection be received to the manner in which the house shop is functioning or should the operation of the house shop be found to be detrimental to the peacefulness and amenity of the surrounding area;
- (r) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (s) that application is made for a Business Licence at the Overstrand Municipality prior to operation of the house shop;

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- (t) that building plans be submitted showing all building changes and partitioning of the house shop in the dwelling to the satisfaction of the Fire Department and Building Control Department;
 - (u) that no accumulation of refuse occur on the premises, and
 - (v) that no sleeping be allowed in the house shop/store.
2. that the applicant be notified of their right of appeal in terms Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



SPESIFIKASIES

WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
200mm BEMORT OF 200mm BEMORT BLOK
OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE

WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
200mm BEMORT OF 200mm BEMORT BLOK
OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE

WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
200mm BEMORT OF 200mm BEMORT BLOK
OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE

WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
200mm BEMORT OF 200mm BEMORT BLOK
OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE

WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

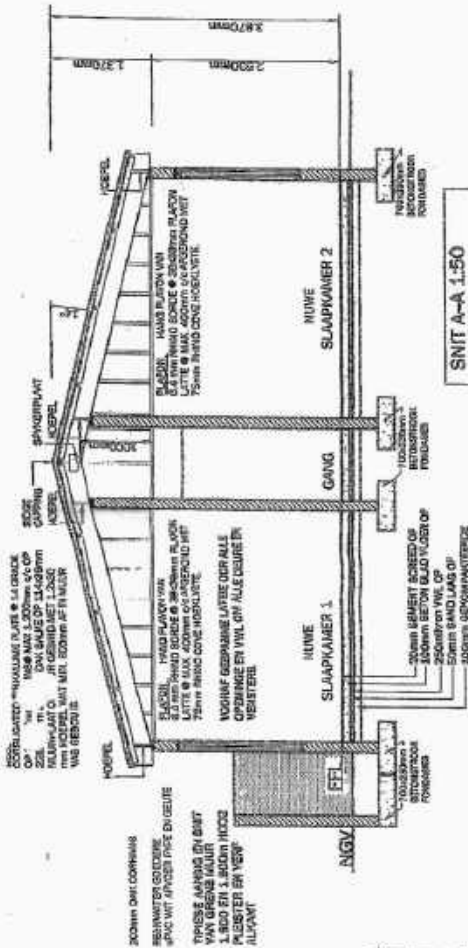
WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
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OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE

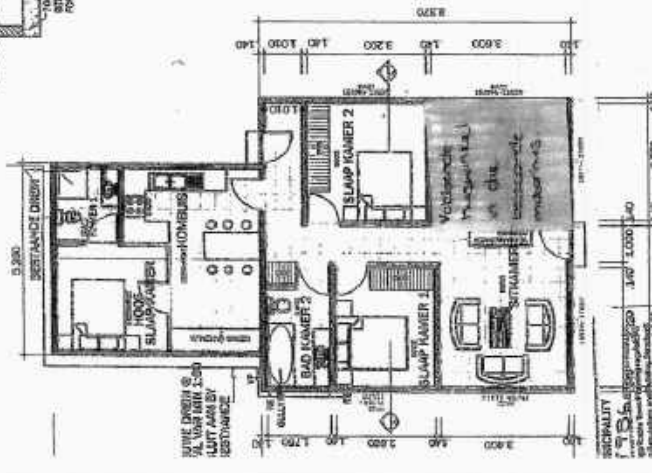
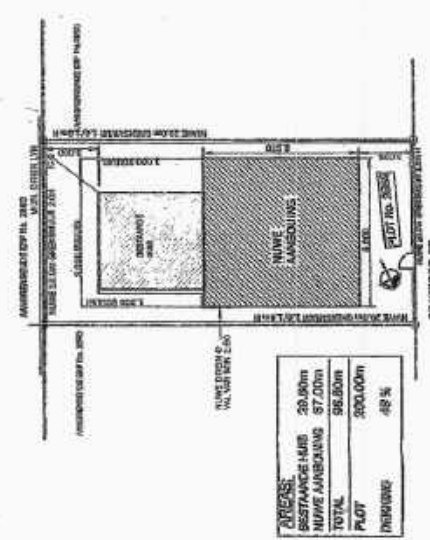
WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
200mm BEMORT OF 200mm BEMORT BLOK
OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE



SNIT A-A 1:50



PROJEK
VOORBEREIDING
EN VERVOLGING
WJ MAY

ERF No. 2889
HAWSTON

BESKRYWING
GROND PLAN,
TERREIN PLAN,
SNIT A-A

SKAAL - 1:500 , 1:50 1:200

DATUM

TREKSAAM
Collin H Ford
SACAP REG. No. D2524

TERREIN DIAM 1:200

WAL
240 mm BEMORT DEURKANTE WALE
OP 100mm BEMORT BLOKKE
OP 100mm BEMORT BLOKKE
PLASTER BLOK ALKYD

WAL
VOORAF GEWAPENDE LATE DEUR ALLE
OPENINGE EN WIL OOR ALLE DEURE EN
WALDEURE.

WAL
200mm BEMORT OF 200mm BEMORT BLOK
OP 100mm BEMORT BLOK OF 100mm /
100mm BEMORT BLOKKE

SPESIFIKASIES

WISSE
 1. VOOR EN BESIGTE IN HON DITTE GADEL
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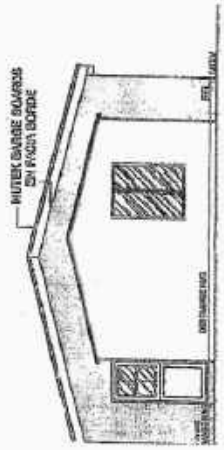
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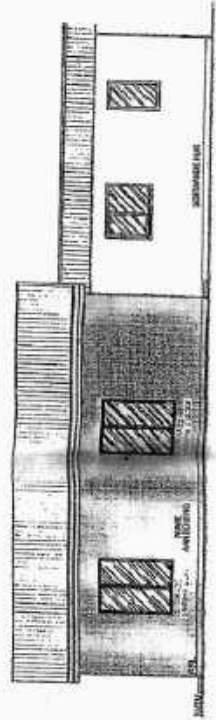
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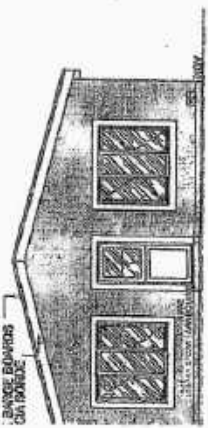
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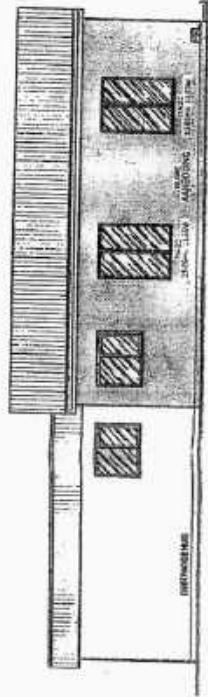
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CH FORD
 ARCHITECT

PROJEK
 WOONSTELDE AANDELEMS
 EN VERANDERING WIT
 WJ MAY
 ERF No. 2889
 HAWSTON
DESKRYWING
 WOONHUIS
 AANSIGTE &
 MUUR AANSIG
 SKALA: 1:250
 DATUM:
 TEGENWAER

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 2889, HAWSTON (2775/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 2889, Hawston, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that refuse will be removed from the sidewalks as per municipal arrangement;
9. that no on-street parking be allowed.

p.p. A. Groen
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

16/08/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**39. ERF 1219, MILL STREET, HAWSTON, OVERSTRAND MUNICIPAL AREA:
PROPOSED CONSENT USE: FO OLIVIER**

1219 HHW (4232)

H Olivier

(028) 313 8900

Hermanus Administration

1 November 2019

Executive Summary

An application has been received on 26 October 2018 from FO Olivier on Erf 1219, Hawston in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to operate a house shop from the property.

RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 1219, Hawston, for a consent use in order to utilize a portion of the existing dwelling on the property concerned as a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that only a portion of the dwelling, not exceeding 25% of all the buildings on the property or 30m², whichever is the greatest, may be utilized as a house shop;
 - (b) that no more than one (1) vehicle, not exceeding 3500kg gross weight, may be utilized to make deliveries at the house shop at any one time;
 - (c) that adequate provision be made to manage the behaviour of patrons (both inside and outside the building) and for security and protection of surrounding properties, patrons, vehicles, etc. to the satisfaction of the Senior Manager : Town & Spatial Planning;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that the house shop may not be used for the purposes of noxious trade, risk activity, sale of alcoholic beverages, place of entertainment or gambling purposes;
 - (f) that no products, goods or supplies connected to the house shop may be stored on the property outside the building;

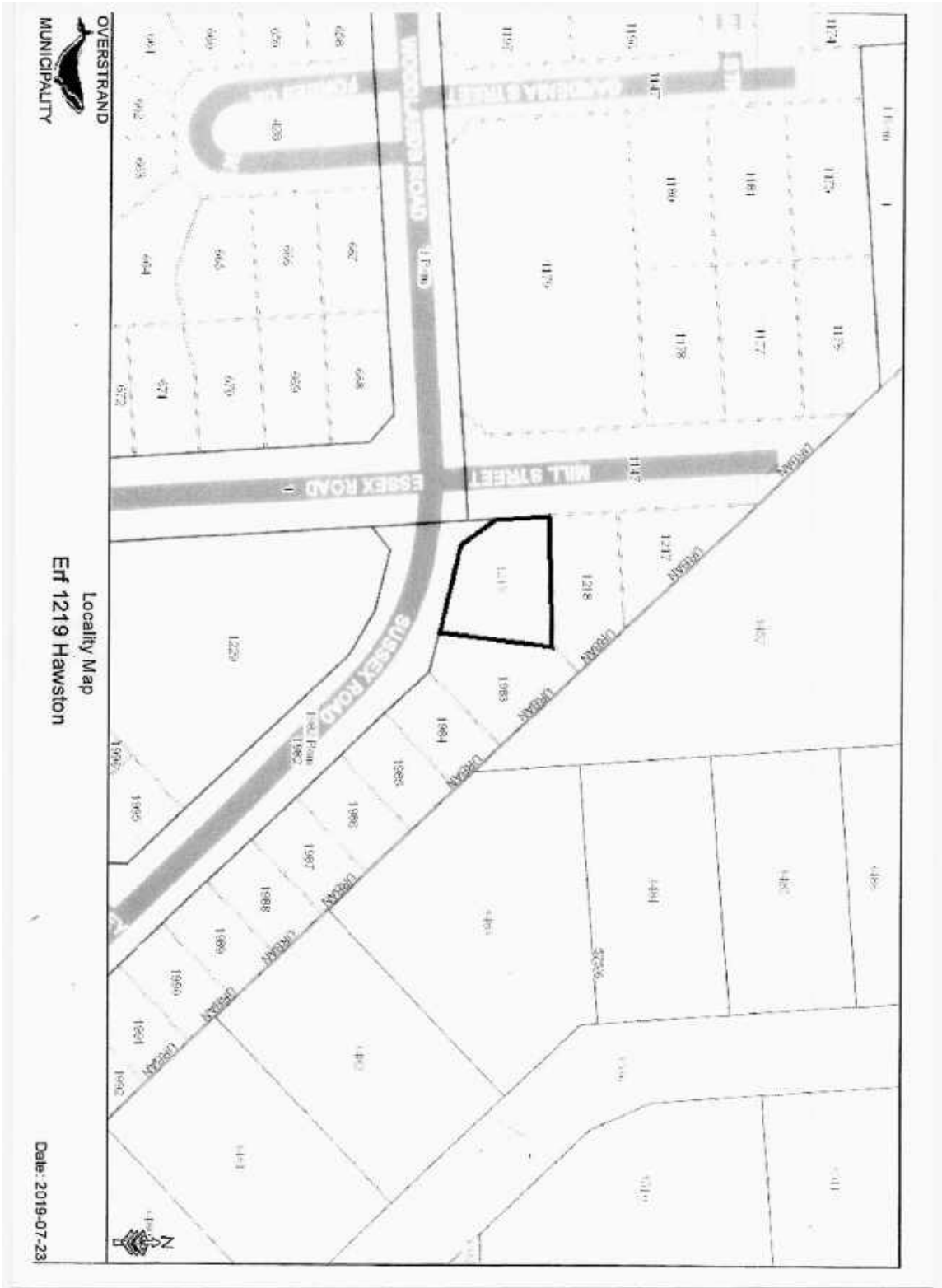
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
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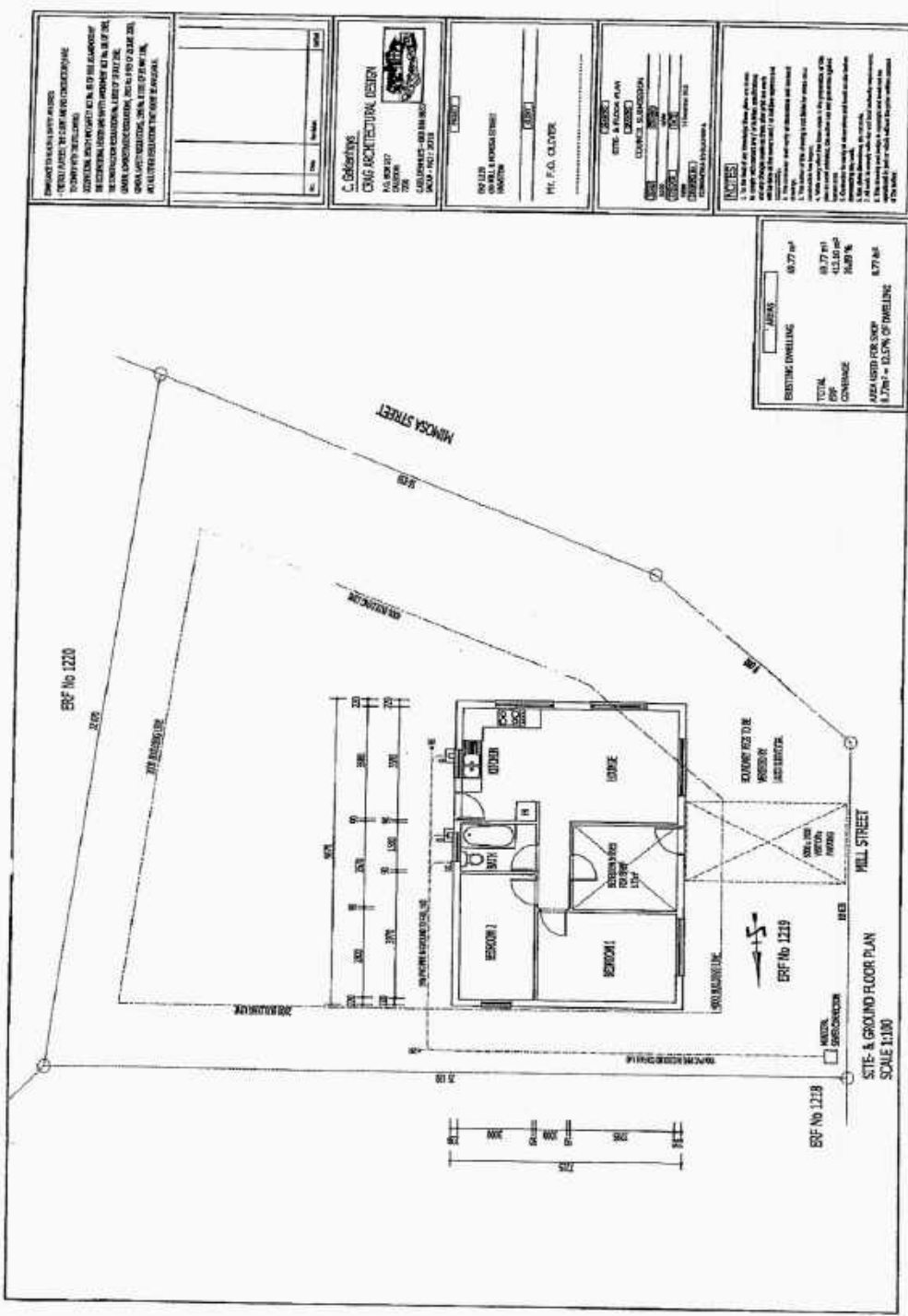
- (g) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;
- (h) that the trading hours of business only be between:

Monday to Friday: 08:00 to 17:00
Saturday: 08:00 to 13:00, or as amended in terms of Zoning Scheme Amendments.
- (i) that the number of people employed be restricted to three (3);
- (j) that the owner/manager resides on the premises;
- (k) that a Certificate of Acceptability from the Health Section of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (l) that the approval is not transferable, and the house shop area may not be sublet to any other person by the applicant;
- (m) that the conditions in the Engineering Report be adhered to;
- (n) that the Overstrand Municipality retains the right to enforce any relevant legislation, regulations, law and order regarding these premises, the applicant and the departure in land use;
- (o) that this consent use approval is valid for a maximum period of five (5) years, after which it will expire if application is not made for the extension of the validity period within the five (5) year period;
- (p) that on-site parking be provided to the satisfaction of the Senior Manager: Town & Spatial Planning;
- (q) that Council reserves the right to rescind the approval without payment of compensation, should any justified objection be received to the manner in which the house shop is functioning or should the operation of the house shop be found to be detrimental to the peacefulness and amenity of the surrounding area;
- (r) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (s) that application is made for a Business Licence at the Overstrand Municipality prior to operation of the house shop, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (t) that building plans be submitted showing all building changes and partitioning of the house shop in the dwelling to the satisfaction of the Fire Department and Building Control Department;
- 2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





| | |
|-------------------------------|-----------------------|
| EXISTING DWELLING | 68.77 m ² |
| TOTAL | 103.77 m ² |
| COVERAGE | 412.10 m ² |
| COVERAGE % | 26.89 % |
| AREA USED FOR COPP | 8.77 m ² |
| COVERAGE - ELUFTY OF DWELLING | |

APPLICANT'S DECLARATION AND STATEMENT OF TRUTH AND ACCURACY OF INFORMATION PROVIDED:
 I, the undersigned, being the owner of the land described in the title block hereon, do hereby declare and state that the information provided in this application is true and correct to the best of my knowledge and belief, and that I have not provided any false or misleading information, and that I have not provided any information that is false or misleading in any material particular.

| | | | |
|-----|------|---------|-------|
| No. | Name | Address | Phone |
| | | | |
| | | | |

C. GARDNER
 CIVIL ARCHITECTURAL DESIGN
 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 511, 513, 515, 517, 519, 521, 523, 525, 527, 529, 531, 533, 535, 537, 539, 541, 543, 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3943, 3945, 3947, 3949, 3951, 3953, 3955, 3957, 3959, 3961, 3963, 3965, 3967, 3969, 3971, 3973, 3975, 3977, 3979, 3981, 3983, 3985, 3987, 3989, 3991, 3993, 3995, 3997, 3999, 4001, 4003, 4005, 4007, 4009, 4011, 4013, 4015, 4017, 4019, 4021, 4023, 4025, 4027, 4029, 4031, 4033, 4035, 4037, 4039, 4041, 4043, 4045, 4047, 4049, 4051, 4053, 4055, 4057, 4059, 4061, 4063, 4065, 4067, 4069, 4071, 4073, 4075, 4077, 4079, 4081, 4083, 4085, 4087, 4089, 4091, 4093, 4095, 4097, 4099, 4101, 4103, 4105, 4107, 4109, 4111, 4113, 4115, 4117, 4119, 4121, 4123, 4125, 4127, 4129, 4131, 4133, 4135, 4137, 4139, 4141, 4143, 4145, 4147, 4149, 4151,

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 1219, HAWSTON (2668/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 - P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 1219, Hawston, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that refuse will be removed from the sidewalks as per municipal arrangement;
9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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40. ERF 2047, MORNINGDEW CLOSE, HAWSTON, OVERSTRAND MUNICIPAL AREA: CONSENT USE: N BOOYSEN

2047 HHW (2912/2019)

H Olivier

(028) 313 8900

Hermanus Administration

7 November 2019

Executive Summary

An application has been received on 28 January 2019 from N Booysen on Erf 2047, Hawston in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use in order to utilize a portion of the existing dwelling on the property concerned as a house shop.

RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 2047, Hawston, for a consent use in order to utilize a portion of the existing dwelling on the property concerned as a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that only a portion of the dwelling, not exceeding 25% of all the buildings on the property or 30m², whichever is the greatest, may be utilized as a house shop;
 - (b) that no more than one (1) vehicle, not exceeding 3500kg gross weight, may be utilized to make deliveries at the house shop at any one time;
 - (c) that adequate provision be made to manage the behaviour of patrons (both inside and outside the building) and for security and protection of surrounding properties, patrons, vehicles, etc. to the satisfaction of the Senior Manager : Town and Spatial Planning;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that the house shop may not be used for the purposes of noxious trade, risk activity, sale of alcoholic beverages, place of entertainment or gambling purposes;
 - (f) that no products, goods or supplies connected to the house shop may be stored on the property outside the building;

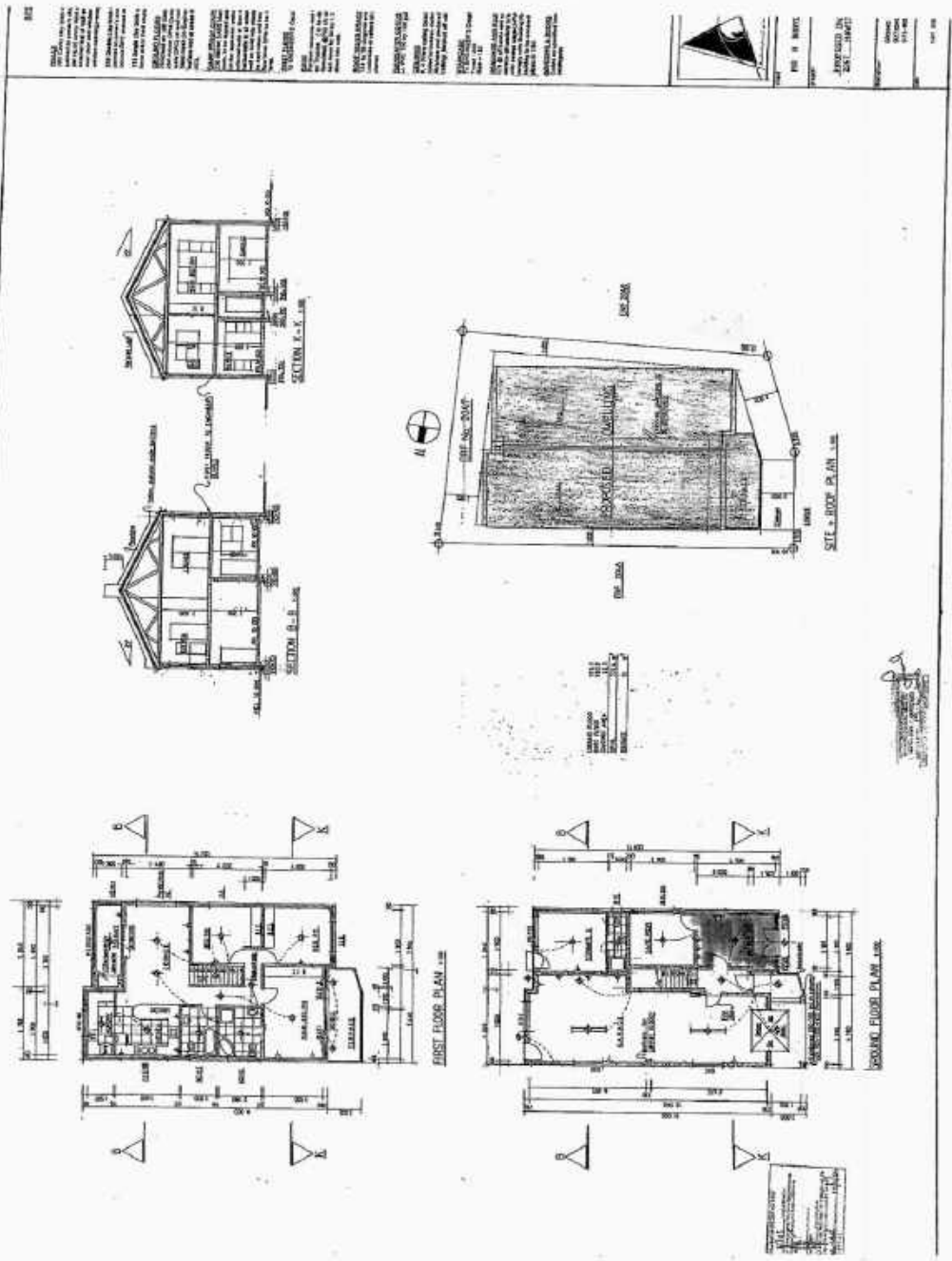
**AGENDA of the
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- (g) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;
- (h) that the trading hours of business only be between:

Monday to Friday: 08:00 to 17:00
Saturday: 08:00 to 13:00, or as amended in terms of Zoning Scheme Amendments.
- (i) that the number of people employed be restricted to three (3);
- (j) that the owner/manager resides on the premises;
- (k) that a Certificate of Acceptability from the Health Section of the Overberg District Council and a Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (l) that the approval is not transferable, and the house shop area may not be sublet to any other person by the applicant;
- (m) that the conditions in the Engineering Report be adhered to;
- (n) that the Overstrand Municipality retains the right to enforce any relevant legislation, regulations, law and order regarding these premises, the applicant and the departure in land use;
- (o) that this consent use approval is valid for a maximum period of five (5) years, after which it will expire if application is not made for the extension of the validity period within the five year period;
- (p) that on-site parking be provided to the satisfaction of the Senior Manager: Town and Spatial Planning;
- (q) that Council reserves the right to rescind the approval without payment of compensation, should any justified objection be received to the manner in which the house shop is functioning or should the operation of the house shop be found to be detrimental to the peacefulness and amenity of the surrounding area;
- (r) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;

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- (s) that application is made for a Business Licence at the Overstrand Municipality prior to operation of the house shop;
 - (t) that building plans be submitted showing all building changes and partitioning of the house shop in the dwelling to the satisfaction of the Fire Department and Building Control Department;
 - (u) that no accumulation of refuse occur on the premises, and
 - (v) that no sleeping be allowed in the house shop/store.
2. that the applicant be notified of its right of appeal in terms Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



NOTES:
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY DATA OR THE EXISTING CONDITIONS SHOWN ON THE SITE PLAN.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 6. THE CONTRACTOR SHALL MAINTAIN THE SURFACE WATER DRAINAGE SYSTEM.
 7. THE CONTRACTOR SHALL MAINTAIN THE NEIGHBORHOOD CHARACTER.
 8. THE CONTRACTOR SHALL MAINTAIN THE ENVIRONMENTAL QUALITY.
 9. THE CONTRACTOR SHALL MAINTAIN THE HISTORIC CHARACTER OF THE AREA.
 10. THE CONTRACTOR SHALL MAINTAIN THE CULTURAL HERITAGE OF THE AREA.

| | |
|-------------|----------------------|
| DATE | 10/10/2024 |
| PROJECT | RESIDENTIAL BUILDING |
| DESIGNED BY | ARCHITECT NAME |
| DRAWN BY | ARCHITECT NAME |
| CHECKED BY | ARCHITECT NAME |
| SCALE | 1:50 |

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 2047, HAWSTON (2912/2019)**

| | | |
|-------------------|---|----------|
| Stormwater (SW) | : | In Order |
| Electricity | : | In Order |
| Water | : | In Order |
| Sewer | : | In Order |
| Roads and traffic | : | In Order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 2047, Hawston, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

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**41. ERF 2654, 34 VILJOEN STREET, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE : JB ZULCH**

2654 HON (3001/2019)

H Olivier

(028) 313 8900

Hermanus Administration

15 November 2019

Executive Summary

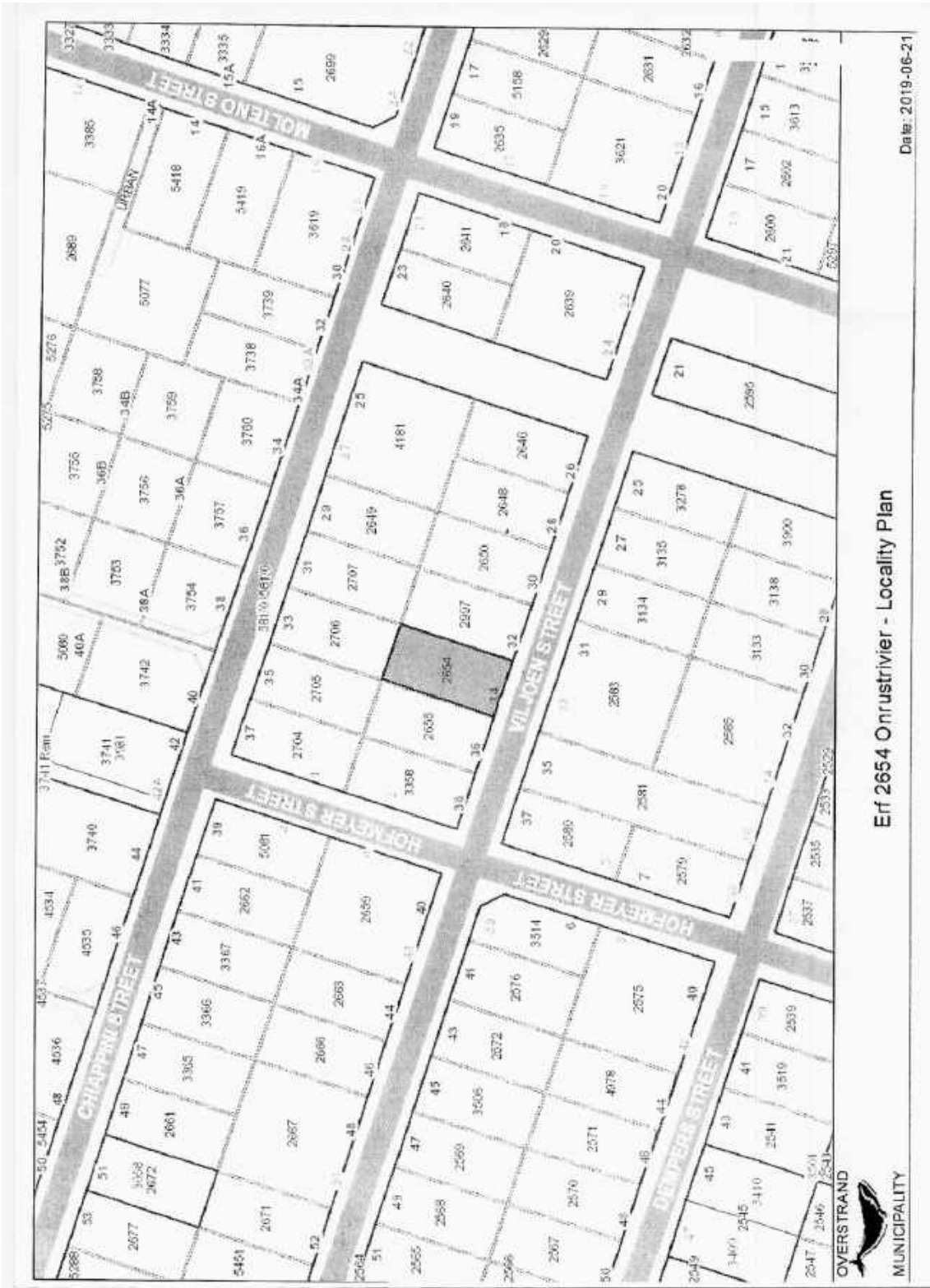
An application has been received on 29 March 2019 from JB Zulch on Erf 2654, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 0m in order to accommodate a new double garage and also relax the 4m street building line to 1m to accommodate a pergola over a courtyard, and to accommodate a use change of a garage to a store room situated 0,9m from the western boundary.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 2654, Onrustrivier to relax the western lateral building line from 2m to 0m in order to accommodate a new double garage and also relax the 4m street building line to 1m to accommodate a pergola over a courtyard, and to accommodate a use change of a garage to a store room situated 0,9m from the western boundary, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the building line as indicated on the plan submitted by the architect (Plan No. 0119/218 dated 17/02/2019);
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with,
 - (f) that all the conditions imposed by Telkom, be complied with, and

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- (h) that all the conditions imposed by Eskom, be complied with.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 2654 Onrustrivier - Locality Plan



Date: 2019-06-21

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2654, ONRUS RIVER (3001/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2654, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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**42. ERF 63, 80 BEACH ROAD, SANDBAAI, OVERSTRAND MUNICIPAL AREA:
APPLICATION FOR DEPARTURE: MESSRS FOR.SITE DESIGN &
CONSULT ON BEHALF OF RJ KILIAN**

63 HSB (3066)

H van der Stoep

(028) 313 8900

Hermanus Administration

14 November 2019

Executive Summary

An application has been received on 15 May 2019 from Messrs For.Site Design & Consult (JR Coller) on behalf of RJ Kilian on Erf 63, Sandbaai in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure in order to relax the lateral building line from 2m to 1,63m in order to accommodate a portion of the existing dwelling house.

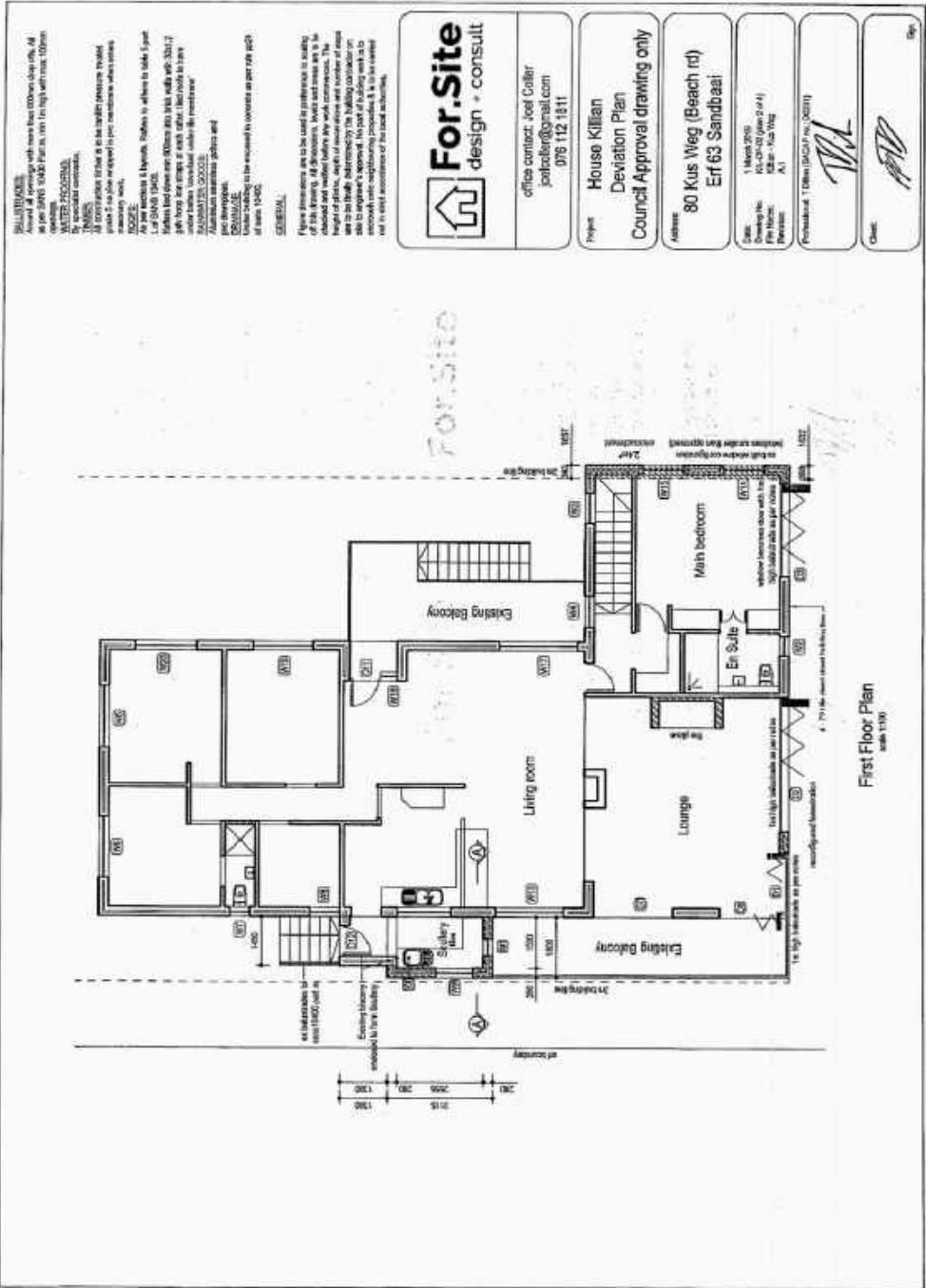
RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 63, Sandbaai in order to relax the lateral building line from 2m to 1,63m in order to accommodate a portion of the existing dwelling house, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is for the development as indicated on Plan No's KIL-DP-01; 02; 03; and 04 dated 1 March 2019 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that the relevant conditions of Engineering Services and Telkom, be complied with;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 63 Sandbaai

Date: 2019-05-17



CONTRACTOR'S OBLIGATION:
 The contractor shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary approvals and permits from the relevant authorities.

All construction is to be in accordance with the Building Code of South Africa (2003) and the relevant standards and specifications. The contractor shall be responsible for obtaining all necessary approvals and permits from the relevant authorities.

General Notes:
 This plan remains the property of The Architect.
 This plan is not to be reproduced in any way without written consent of the author.
 These plans are for council approval purposes only. No liability is accepted for any errors or omissions.
 Do not scale this plan, use written dimensions.
 All work to be carried out in accordance with SANS 10400



office contact: Joe Coller
 jcoller@for.site.com
 076 152 1811

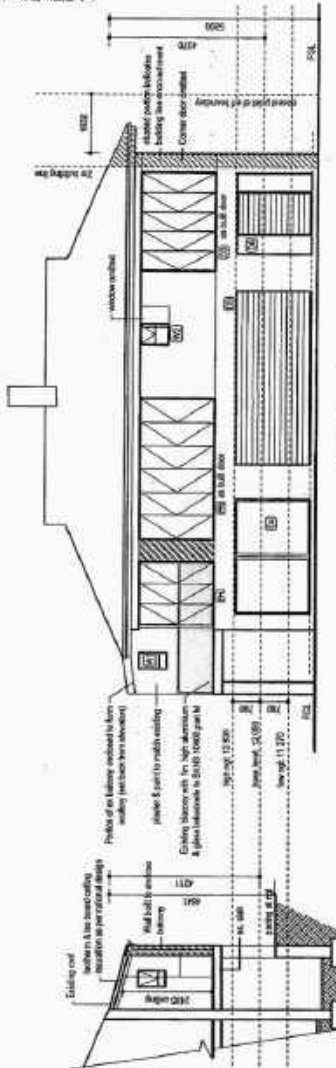
Project: House Killian
 Deviation Plan
 Council Approval drawing only

Address: 80 Kus Weg (Beach rd)
 Erf 63 Sandbaai

Date: 1 March 2015
 Drawing No: H.K.0102 (plan 1 of 4)
 Revision: 01Rev - See Weg
 Author: J.C.

Professional: T. Miller (SAACA no. 10021)

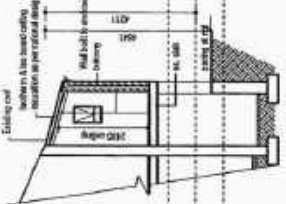
Drawn: [Signature]
 Checked: [Signature]



South Elevation
 scale 1:100



North Elevation
 scale 1:100



Section A-A
 scale 1:100

For.Site
design + consult

office contact: Jael Celler
jceller@gmail.com
075 112 1811

Project: House Killian
Deviation Plan
Council Approval drawing only

Address: 80 Kus Weg (Beech rd)
Erf 63 Sandbaal

Date: 1 March 2018
Drawing No: 05-CP-04 (page 4 of 4)
Author: Jael Celler
Reviewer: Jael Celler

Professional: T. Kruis (SA/CP No. 00037)

Client: *[Signature]*

General Notes:

This plan remains the property of The Author.
This plan is not to be reproduced in any way without written consent of the author.

These plans are for council approval purposes only. All dimensions to be checked on site before commencement of work.

Do not build this plan, use written dimensions. All work to be carried out in accordance with SAHS (DAGS)

West Elevation
Scale 1:50

East Elevation
Scale 1:50

No height restrictions 20.000

No height restrictions 20.000


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 63, SANDBAAI (3066/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 63, Sandbaai, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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- 43. ERF 2834 AND UNREGISTERED ERF 2837, SANDBAAI, HERMANUS:
PROPOSED AMENDMENT OF THE SITE DEVELOPMENT PLAN: MESSRS
INTERACTIVE TOWN- AND REGIONAL PLANNERS (PTY) LTD ON BEHALF
OF PINNAROUX INTERNATIONAL HOLDCO (PTY) LTD**

2834 & Unreg Erf 2837 (3416)

H van der Stoep

(028) 313 8900

Hermanus Administration

23 November 2019

Executive Summary

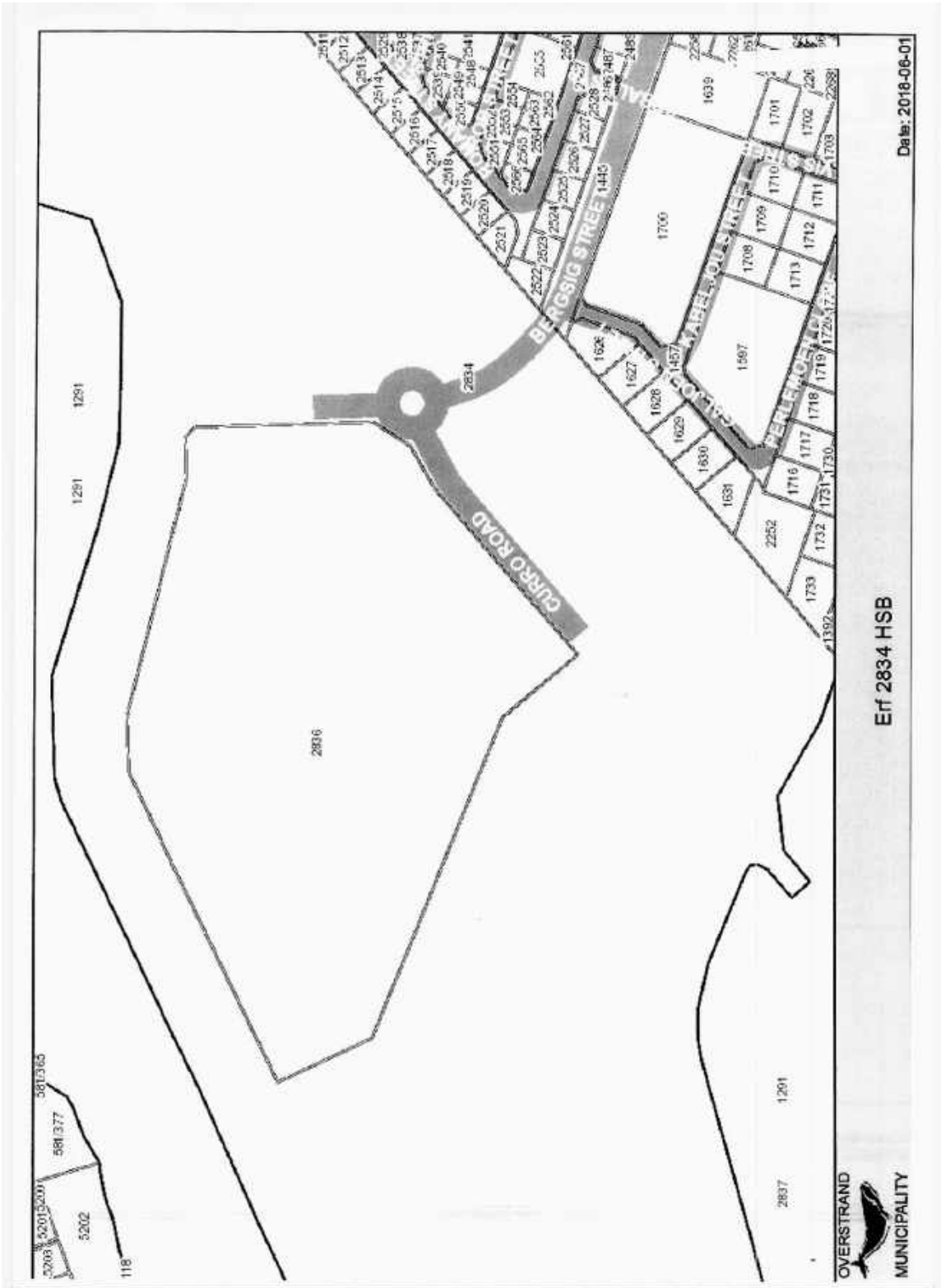
Applications have been received on 30 October 2019 and 5 November 2019 from Messrs InterActive Town- and Regional Planners on behalf of Pinnaroux International Holdco (Pty) Ltd to amend the approved Site Development Plan, approved on April 2019 in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015

RECOMMENDATION

1. that the application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use, 2015 (By-Law) for the amendment of the approved Site Development Plan dated 18 April 2019, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the approval in Point 1. be subject to the following conditions:
 - (a) that an amended site plan be submitted in order to comply with the parking ratios of the Zoning Scheme, if applicable;
 - (b) that all other conditions as per approval letter dated 18 April 2019 remains applicable;
 - (c) that the proposed development be restricted to the plans as submitted with the application, Rev 32 and Rev 33. A final site development plan be submitted reflecting the amendments;
 - (d) that the developer must submit a Rational Fire Safety Design by a competent person (Fire Engineering) as determined by the National Building and Fire Protection Regulations SANS10400A:2010 and 10400T:2011 to the Municipality for approval prior commencement of any development;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Departments be complied with at that stage;

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- (f) that all the conditions in the Services Report, be complied with;
 - (g) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (h) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



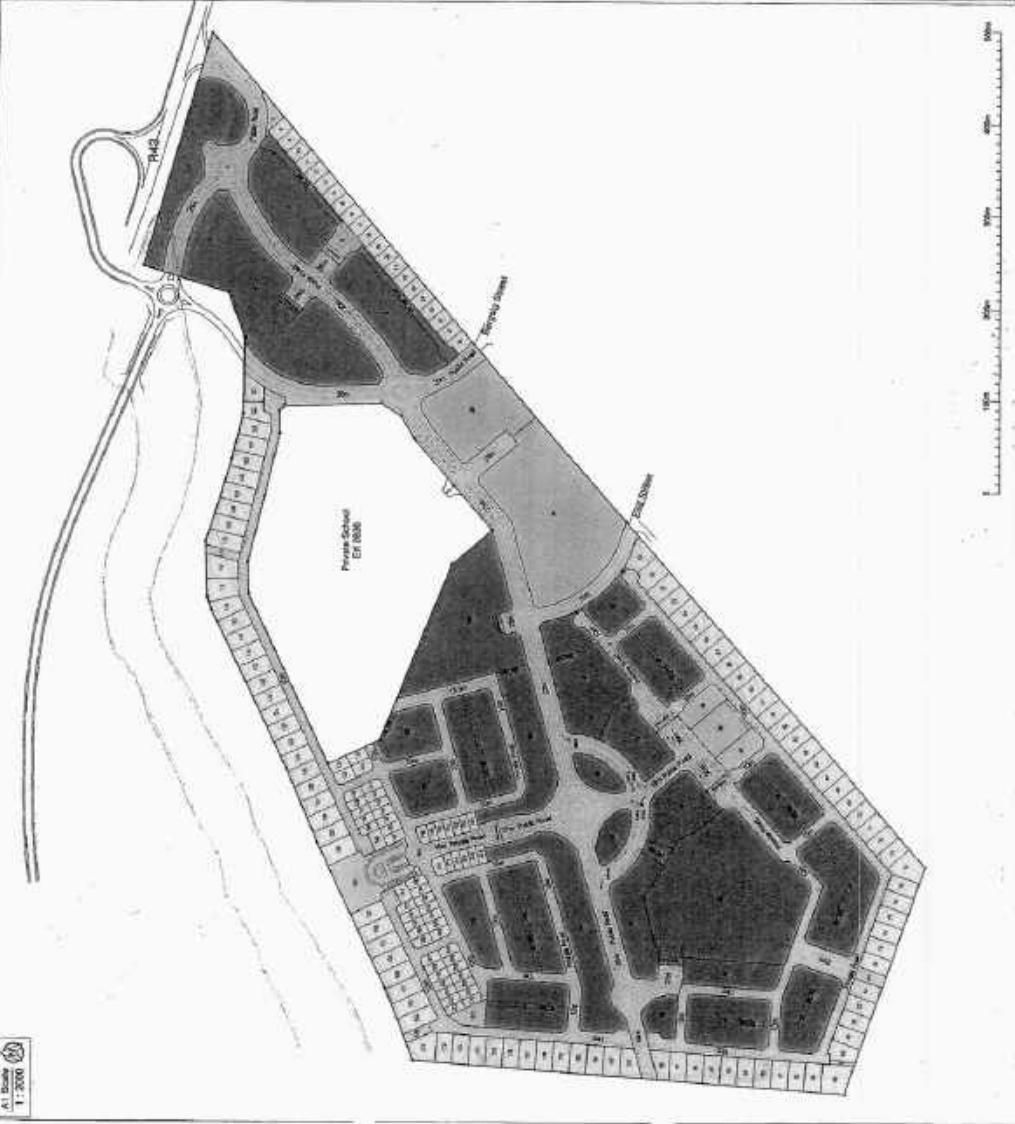
Remainder of Erf 2834 and 2837 Sandbaai

Site Development Plan

| zoning | Area | No of erven | No of dwelling units | Density (DUs/ha) | Average lot size |
|---------------------------|-----------|-------------|----------------------|------------------|---------------------|
| Residential Zone 1 | 5,126kva | 129 | 129 | 26 | 401m ² |
| Residential Zone 2 | 3,822kva | 47 | 47 | 17 | 810m ² |
| Special Use Zone 1 | 10,248kva | 0 | 0 | 0 | 10248m ² |
| Special Use Zone 2 | 4,297kva | 0 | 0 | 0 | 4297m ² |
| General Industrial Zone 1 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 3 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 4 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 5 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 6 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 7 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 8 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 9 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 10 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 11 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 12 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 13 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 14 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 15 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 16 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 17 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 18 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 19 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 20 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 21 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 22 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 23 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 24 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 25 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 26 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 27 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 28 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 29 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 30 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 31 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 32 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 33 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 34 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 35 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 36 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 37 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 38 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 39 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 40 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 41 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 42 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 43 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 44 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 45 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 46 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 47 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 48 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 49 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 50 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 51 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 52 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 53 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 54 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 55 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 56 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 57 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 58 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 59 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 60 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 61 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 62 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 63 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 64 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 65 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 66 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 67 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 68 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 69 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 70 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 71 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 72 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 73 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 74 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 75 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 76 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 77 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 78 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 79 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 80 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 81 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 82 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 83 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 84 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 85 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 86 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 87 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 88 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 89 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 90 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 91 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 92 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 93 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 94 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 95 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 96 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 97 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 98 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 99 | 2,153kva | 0 | 0 | 0 | 2153m ² |
| Special Use Zone 100 | 2,153kva | 0 | 0 | 0 | 2153m ² |

Application Area
 Retirement Village
 Proposed roads
 50 year floodline
 100 year floodline

The density over the entire development including the school is 82.
 The density per hectare is 10.248.
 The minimum plot size is 2153m².
 The lot size is 2153m².



A1 B004
 1:2000

Prepared by: Pinaroux
 Date: 10/10/2010
 Project No: P10010
 Scale: 1:2000
 Client: Pinaroux
 Site No: 33

Pinaroux
 International Holdco

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF APPROVED SITE DEVELOPMENT
PLAN: REMAINDER ERF 2834, SANDBAAL (COMMONAGE)**

| | | |
|-------------------|---|----------------------------------|
| Water | : | According to Services/GLS Report |
| Sewer | : | According to Services/GLS Report |
| Roads and traffic | : | According to the TIA report |
| Stormwater (SW) | : | According to the master plan |
| Electricity | : | Refer to conditions |

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2019/2020) is as follows:

Residential Zone 1:

| | | | |
|---------------------------------|---------------------|---|------------------------------|
| Roads | R 6 931.00 x 175 | = | R 1 212 925.00 |
| Water | R 22 925.00 x 175 | = | R 4 011 875.00 |
| Sewerage | R 15 457.00 x 175 | = | R 2 704 975.00 |
| Stormwater | R 7 997.00 x 132.42 | = | R 1 058 962.74 |
| Solid Waste | R 1 386.00 x 175 | = | <u>R 242 550.00</u> |
| TOTAL (inclusive of VAT) | | = | <u>R 9 231 287.74</u> |

General Residential Zone 3 & 4:

| | | | |
|---------------------------------|------------------------|---|-------------------------------|
| Roads | R 6 931.00 x 1234 | = | R 8 552 854.00 |
| Water | R 22 925.00 x 1234x0.6 | = | R 16 973.670.00 |
| Sewerage | R 15 457.00 x 1234x0.6 | = | R 11 444 362.80 |
| Stormwater | R 7 997.00 x 461.48 | = | R 3 690 455.56 |
| Solid Waste | R 1 386.00 x 1234 | = | R 1 710 324.00 |
| TOTAL (inclusive of VAT) | | = | <u>R 42 371 666.36</u> |

Business Zone 3:

| | | | |
|---------------------------------|------------------------|---|------------------------------|
| Roads | R 6 931.00x 351.8872 | = | R 2 438 930.18 |
| Water | R 22 925.00 x 49.904 | = | R 1 144 049.20 |
| Sewerage | R 15 457.00 x 49.904 | = | R 771 366.13 |
| Stormwater | R 7 997.00 x 74.856000 | = | R 598 623.43 |
| Solid Waste | R 1 386.00 x 62.38= | = | R 86 458.68 |
| TOTAL (inclusive of VAT) | | = | <u>R 5 039 427.62</u> |

Note:

- 1.1 The above figures are estimates
2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
 - 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided;
 - 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
 - 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the

provision of services to the township or the use of servitude areas or municipal property:

- 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the CESA;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning:
 - 5.1 way-leaves must be obtained from the Operational Manager;
 - 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
 6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
 7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the

Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;

8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SANS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the CESA and which insurance shall be valid for the relevant contract and maintenance period;
12. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
13. that the above stormwater management plan include the following:
 - 13.1 pre-development run-off from the catchment area;
 - 13.2 post-development run-off from catchment area;
 - 13.3 existing stormwater reticulation system and the capacity thereof;
 - 13.4 connection of internal stormwater reticulation system;
 - 13.5 overland escape routes
14. that the connection to the stormwater reticulation system be provided according to the stormwater management plan, by the developer at his cost and approved by Overstrand Municipality;

15. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for works of Civil Engineering Construction – 2010, of 12 months, and
16. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
17. that the Home Owners Association or Body Corporate be responsible for the operational costs and maintenance of street lighting, electrical reticulation and metering and all internal services in all sectional title schemes and/closed-development sections ;
18. that the developer provide bulk meters for water and electricity at approved positions as well as individual meters at each consumption point;
19. All sectional title-and/or closed development sections must be provided with central refuse collection facilities, which must comply with the standards of the Department: Operational Services (Hermanus).
20. The approved refuse collection area/room must sufficiently accommodate the refuse generated by the development and is to be proved with the following:
 - a. properly ventilated;
 - b. a cement floor;
 - c. a tap and running water, as well as a drainage point which is connected to the sewer network;
 - d. is a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
21. that the refuse room be completed prior to occupation of the first unit, to the satisfaction of the Director: Infrastructure and Planning;
22. that for all full title or freehold properties, the refuse will be removed from the sidewalks as per municipal arrangement
23. that the electricity reticulation and supply be provided according to the master plan by the developer;
24. that the development's electricity will be supplied by one medium voltage bulk supply point as per demand and in phases required.

25. that the developer appoint a consulting electrical engineer to determine the electricity demand for the development and pay a fee to Overstrand Municipality to determine the capacity in the existing electricity network;
26. that the developer will be responsible for the payment of electricity bulk contributions and that the bulk contribution be determined during the compilation of the services agreement;
27. that the water distribution system be implemented according to the engineering services report at the developer's cost;
28. that 195m x 250mm diameter parallel reinforcement water pipe be provided to augment bulk water supply at the Sandbaai reservoirs, at the developer's cost;
29. that 750m x 315mm diameter parallel reinforcement water pipe be provided at the R43 crossing, at the developer's cost;
30. that 635m x 200mm diameter parallel reinforcement water pipe be provided in Sandbaai Main Road, at the developer's cost;
31. that the 468m x 200mm diameter water pipe be provided adjacent to the R43 at the developer's cost;
32. that the 270m x 200mm diameter water pipe be provided adjacent to the R43 at the developer's cost;
33. that additional reservoir capacity be provided according to the engineering services report at the developer's cost;
34. That all valves and hydrant markers must be indicated by means of vertical valve-and hydrant markers
35. that the proposed sewerage reticulation system be connected to the existing gravity system in Nico Van Der Merwe Street; and that the relevant sewer outflow components be provided in line with the engineering services report.
36. that the existing Sandbaai pump station, Sandbaai PS, be upgraded to accommodate the additional flow, at the developer's cost;
37. That the existing rising main in Jimmy Smith and Myrtle Streets, be upgraded to a 315mm diameter pipe, to accommodate the additional flow, at the developer's cost;
38. that the developer may apply for a temporary water connection at Overstrand Municipality's Finance Department, before commencement of construction;

39. that the developer apply for a bulk water connection on the prescribed application form, at Overstrand Municipality's Finance Department and that the installation of the bulk water meter, by the developer, be done under the supervision of the Operational Manager, Hermanus;
40. that the connection to the main water line only be done by the Operational Department, after payment of the connection fee, by the developer;
41. That road access to and from the development be obtained from End Street and Bersig Street, Sandbaal
42. Any proposal or plans to access the R43 provincial road will be subject to approval by the Western Cape Department of Transport and Public Works and all other relevant authorities.
43. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer.
44. All other, additional infrastructural operational and planning requirements will be incorporated into the services agreement.


DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

44. ERF 562, 27 QUICK STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ICON CONSULTANTS ON BEHALF OF SERVIPAC 20 (PTY) LTD

1832 HVK (2945/2019)

P Roux

(028) 313 8900

Hermanus Administration

14 October 2019

Executive Summary

An application was received on 18 April 2019 from Messrs Icon Consultants on behalf of Servipac 20 (Pty) Ltd for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 562, Stanford in order to:

- ❖ relax the street building line from 4m to 3,8m to accommodate a pizza oven on the covered stoep, and
- ❖ relax the south eastern lateral building line from 2m to 0,8m in order to renovate the existing garage into a store room.

RECOMMENDATION

1. that the application in terms of Section 16 (2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 applicable to Erf 562, Stanford for the following departures:

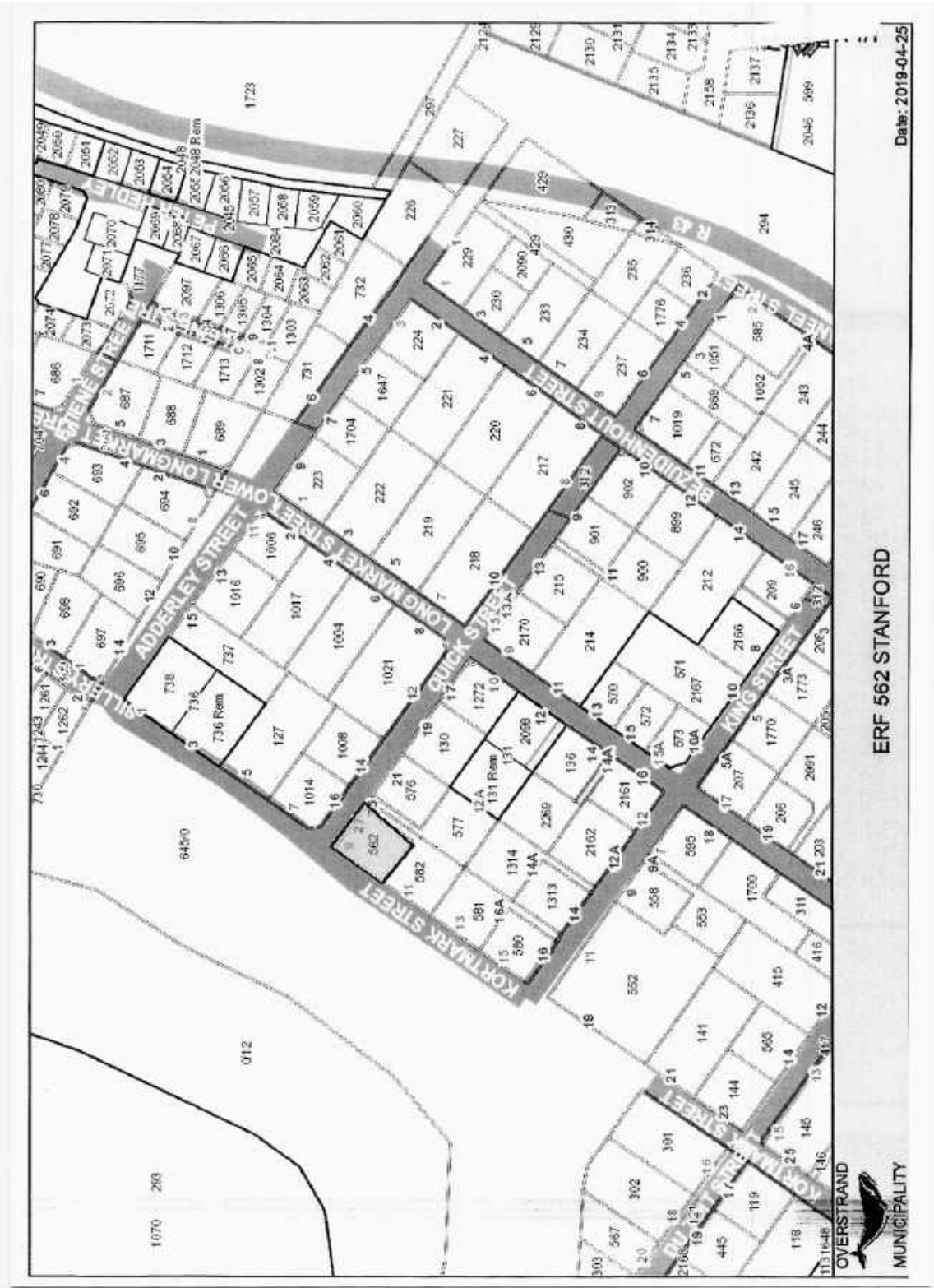
- ❖ to relax the street building line from 4m to 3,8m to accommodate a pizza oven on the covered stoep, and
- ❖ to relax the south eastern lateral building line from 2m to 0,8m to renovate the existing garage into a store room,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the approval is limited to the encroachments as indicated on Site Development Plan DR NR W01 and W02 dated March 2019 as submitted with the application;
- (b) that building plans be submitted to the Building Department for evaluation and approval and that all conditions of the Building- and Fire Department at that stage, be complied with;
- (c) that the conditions of Engineering Services, as well as the conditions of Telkom, be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

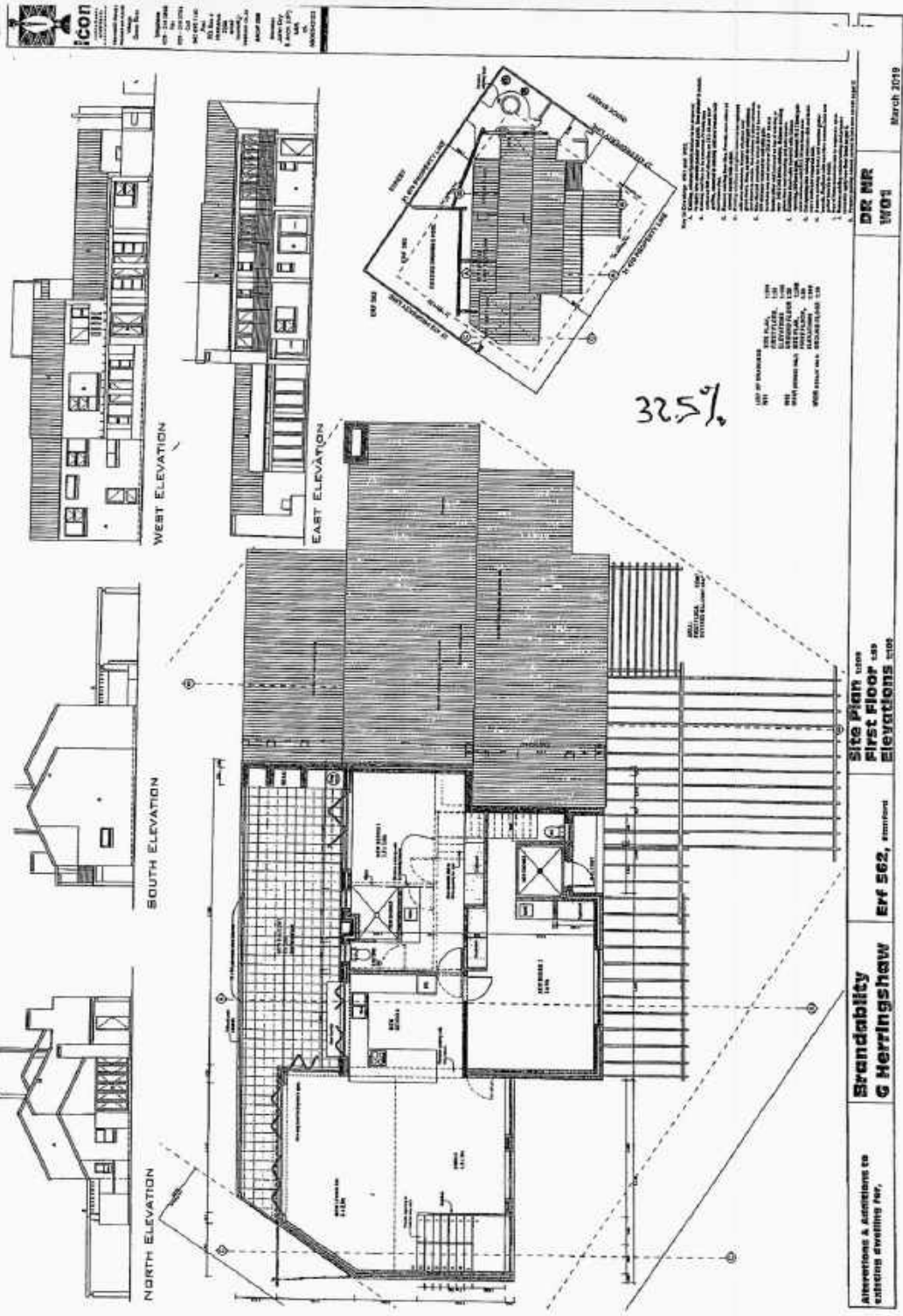
- (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ERF 562 STANFORD



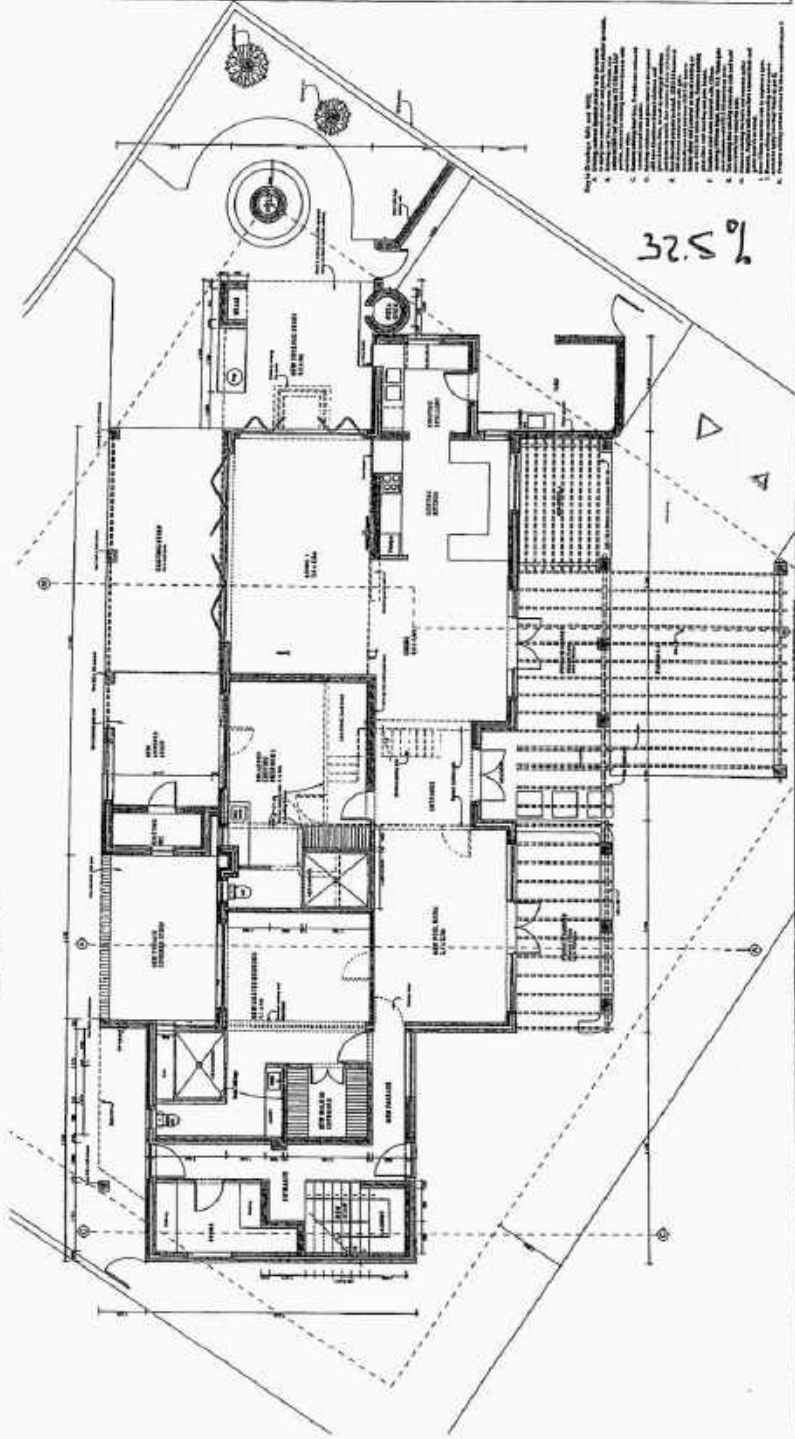
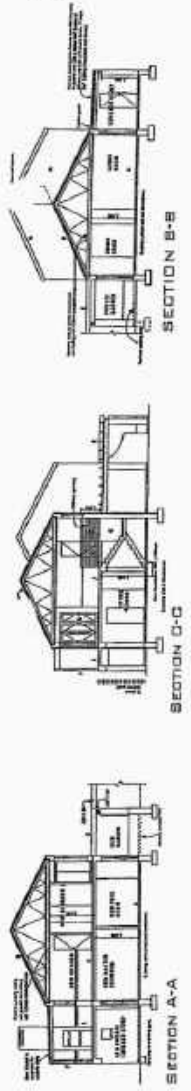
Date: 2019-04-25



COI
 CONSULTING ENGINEERS
 1000 14th Street, N.W.
 Washington, D.C. 20005
 Phone: (202) 331-1000
 Fax: (202) 331-1001
 Website: www.coi.com

PROJECT: 1000 14th Street, N.W.
DATE: 03/15/19
SCALE: 1/8" = 1'-0"
PROJECT NO.: 1000 14th Street, N.W.
DATE: 03/15/19
SCALE: 1/8" = 1'-0"
PROJECT NO.: 1000 14th Street, N.W.
DATE: 03/15/19
SCALE: 1/8" = 1'-0"

CHECK ALL MEASUREMENTS ON SITE!
 ESPECIALLY CEILING & CONCRETE SLAB HEIGHTS



NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORK SITE AT ALL TIMES.
 9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS.

| | | | | |
|--|--|-------------------------|---------------------|---|
| Attention: Architects to existing drawings for, | Brandability & Herringshaw | Erf 562, subarea | Ground Floor | DR NR W62 March 2019 |
|--|--|-------------------------|---------------------|---|

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 562, STANFORD (3027/2019)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing 60 Amp three phase electricity connection will be available for the development, no additional capacity can be supplied;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 562, Stanford, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**45. ERF 5395, UNIT 7, 55 MARINE DRIVE, WESTCLIFF, HERMANUS,
OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE:
MESSRS BURMEISTER ARCHITECTS ON BEHALF OF SOUTH VIEW
HOLDINGS**

5395, Unit 7 HWC (2940/2019)

S van der Merwe

(028) 313 8900

Hermanus Administration

18 November 2019

Executive Summary

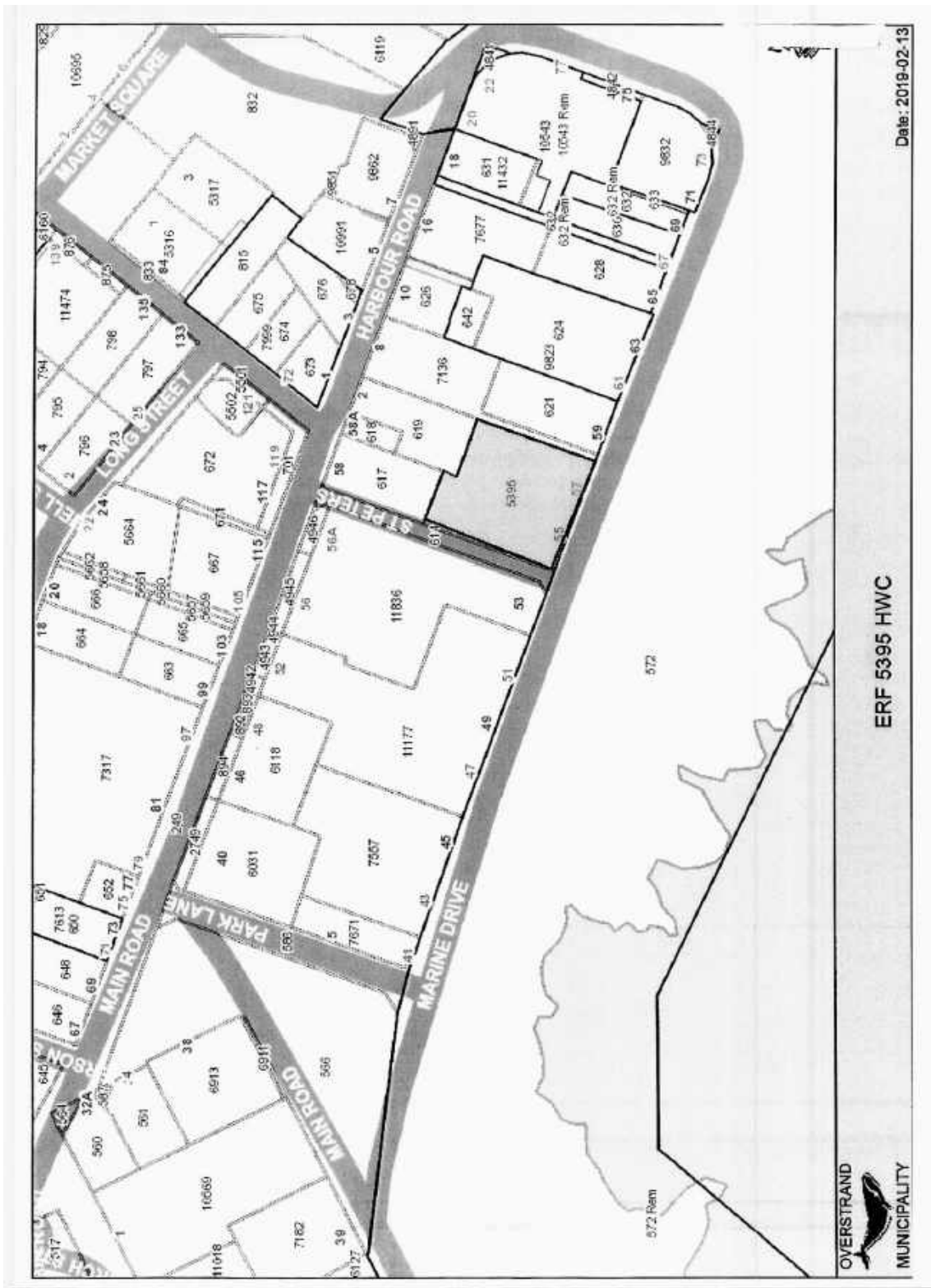
An application was received on 8 February 2019 from Messrs Burmeister Architects on behalf of South View Holdings for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 5395, Unit 7, Hermanus in order to relax the western street building line of the property from 4m to 2m to accommodate the use change of the garage into a family room.

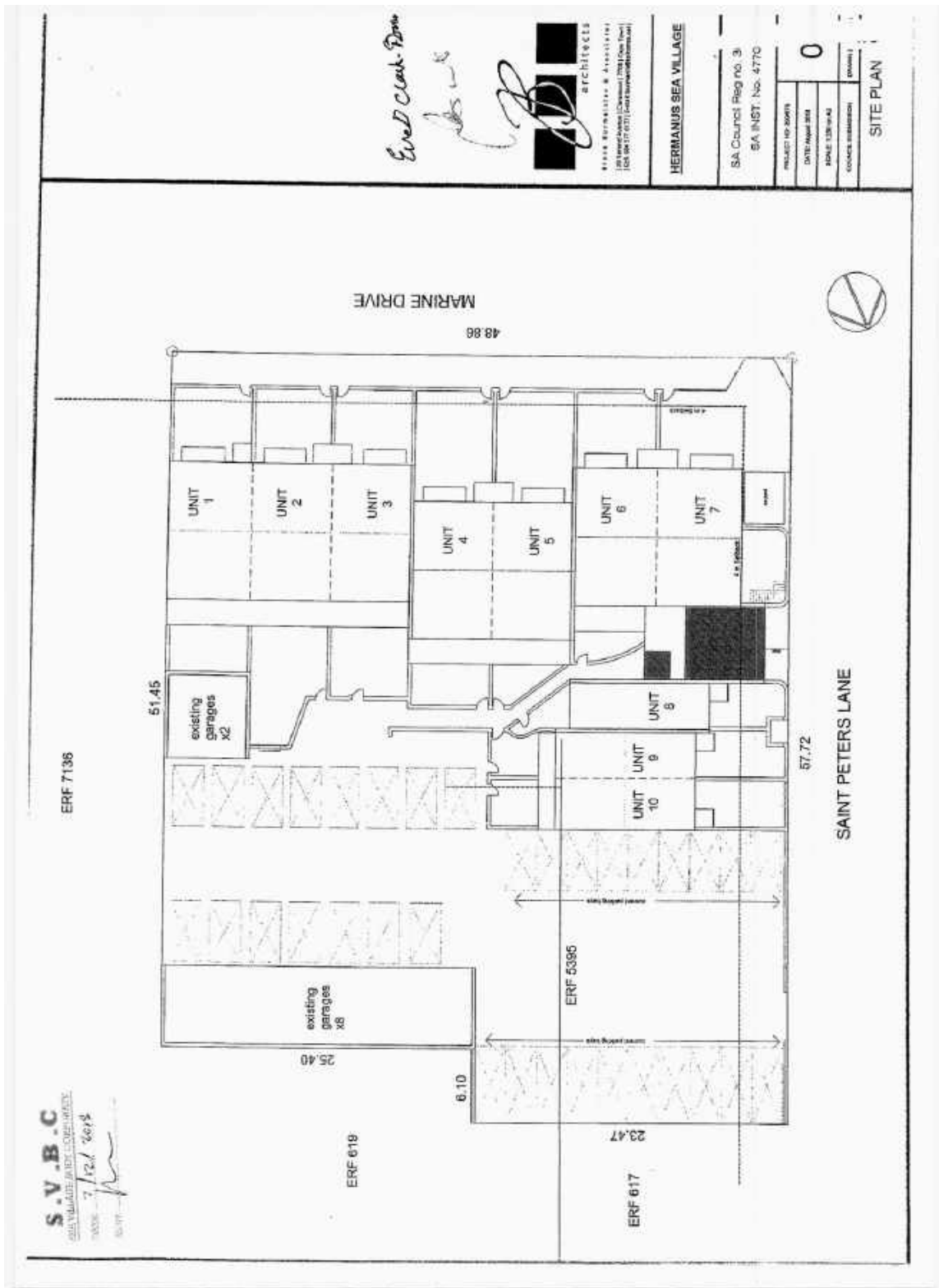
RECOMMENDATION

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), applicable to Erf 5395, Unit 7, Hermanus in order to relax the western street building line of the property from 4m to 2m to accommodate the use change of the garage into a family room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval only be applicable for the encroachment as per dimensions indicated on Site Development Plan Nos 200/2018 01 – 04 dated August 2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that a Fire Protection Plan be submitted together with the above building plans;
 - (d) that all the applicable conditions as contained in the Services Report, be complied with;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
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(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





Erud Clerk-Peter
John



HERMANUS SEA VILLAGE

SA Council Reg No. 3
 SA INST. No. 4770

| | |
|---------------------------|---|
| PROJECT NO. 2007/1 | 0 |
| DATE: 11/2011 | |
| SCALE: 1:1000 | |
| ISSUE: 1 | |
| DESIGNER: S.F. ARCHITECTS | |

SITE PLAN

S.V.B.C
 SUBMITTAL/ARCHITECT/PLANNING
 DATE: 7/12/2011
 DRAWN: [Signature]

ERF 7136

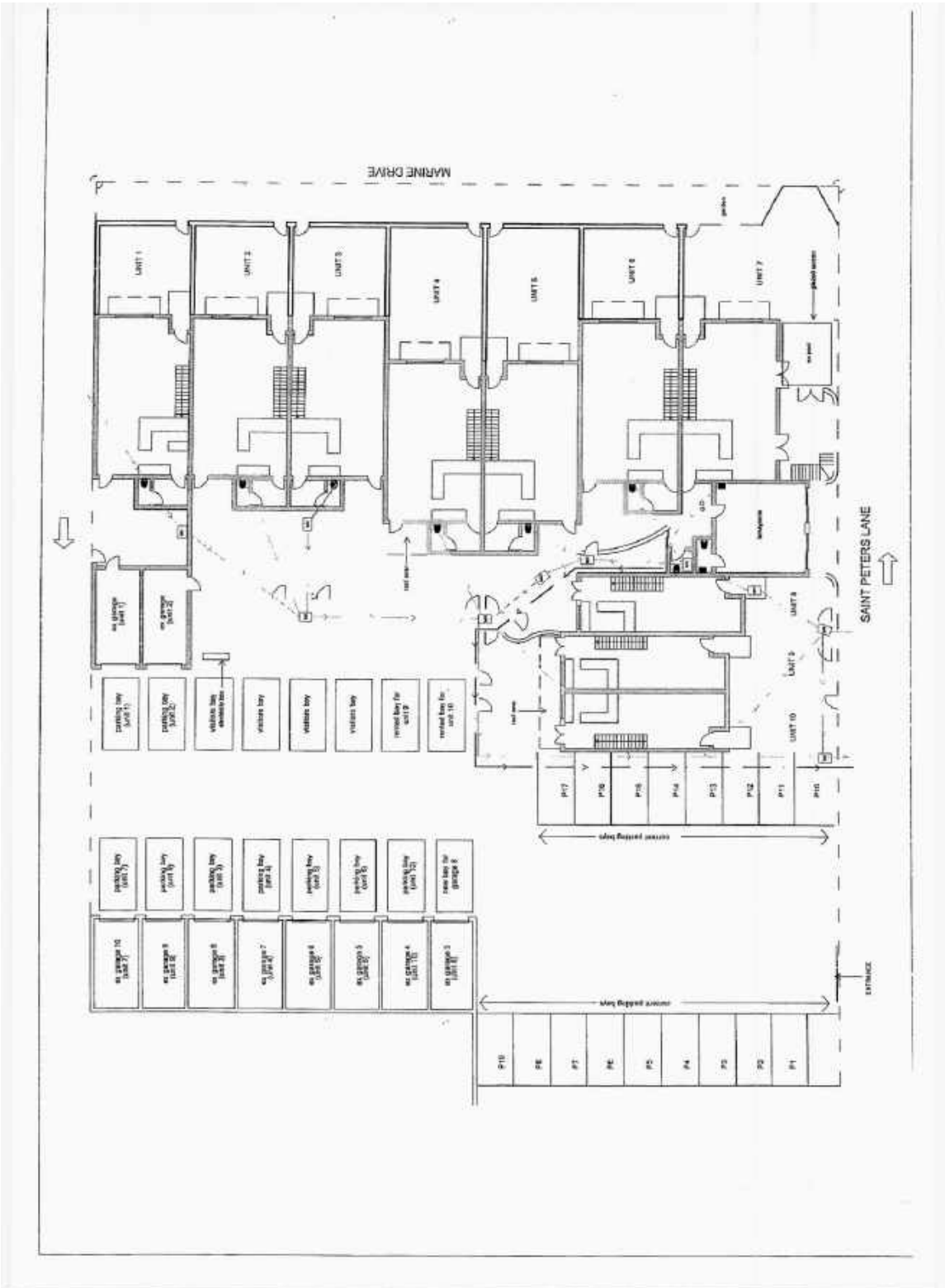
ERF 618

ERF 617

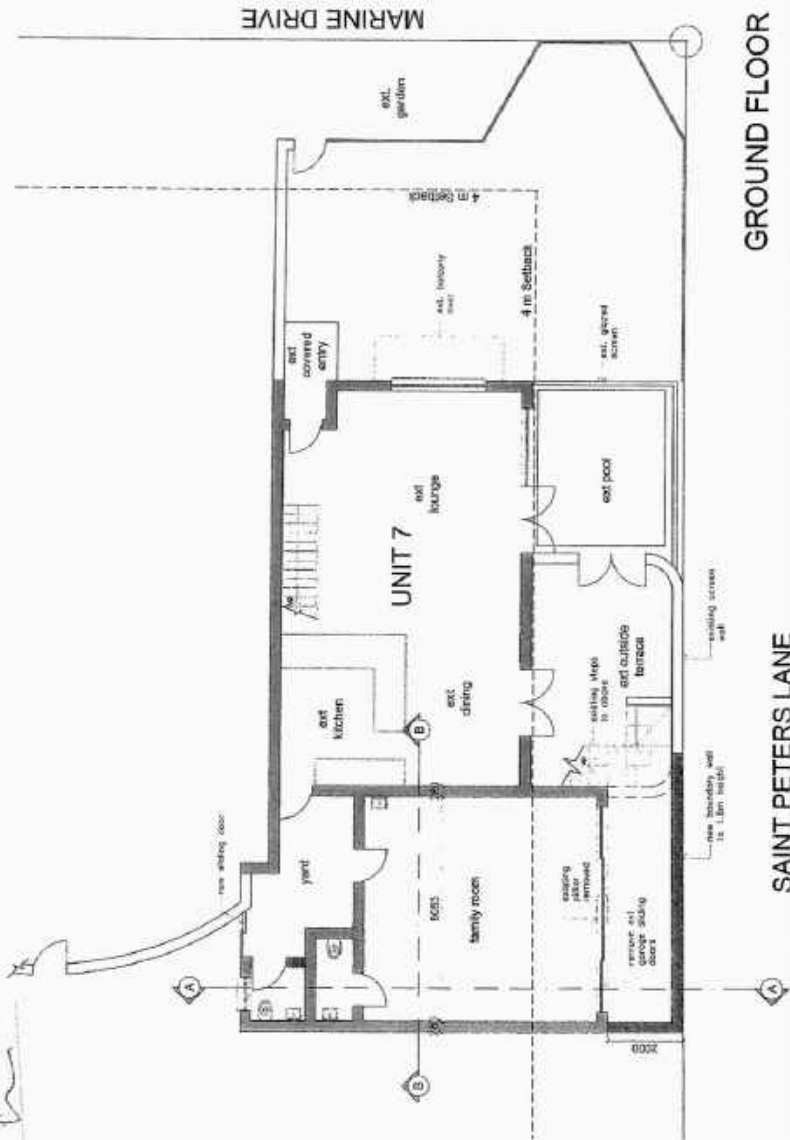
ERF 5396

SAINT PETERS LANE

MARINE DRIVE



S.V.B.C.
 SAINT VILLAGE SAINT CHRISTOPHER
 DATE: 7/2/2017
 01/04



GROUND FLOOR

SAINT PETERS LANE

Evel Clark Bon
[Signature]
ARCHITECTS
 23 St Andrew Street, 1001 Cape Town
 (021) 462 1077 | e.c@architectsbons.com

HERMANUS SEA VILLAGE

SA Council Reg. No. 388B
 SA INST. No. 4770

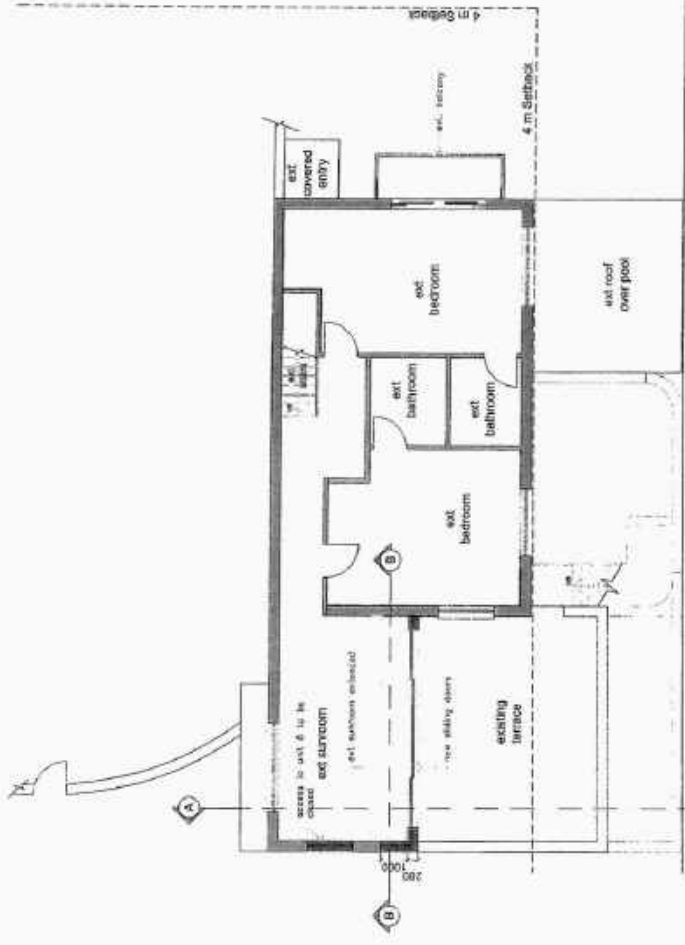
| | |
|-------------------|-----------|
| PROJECT NO. 20017 | 02 |
| DATE REGISTERED | |
| SCALE 1:100 A3 | |
| BOARD NUMBER | |

DRAWN BY: SA
 CHECKED BY: SA
 DATE: 7/2/2017

GROUND STOREY

81

S.V.B.C.
 485 VILLAGE WAY, HERRINGHAM
 SOUTH, 7/22/2015



FIRST FLOOR

SAINT PETERS LANE

Scott Clark Brown
[Signature]
ARCHITECTS
 11111 HERMANUS SEA VILLAGE
 120 South Beach (Corner) 33081 Coral Gables
 Call: 305.477.8777 | Email: info@scottclarkbrown.com

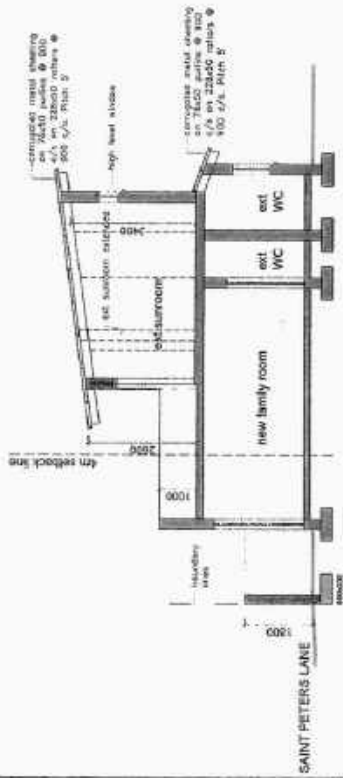
HERMANUS SEA VILLAGE

SA Council Reg. no. 3688B
 SA INST. No. 4773

| | |
|---------------------|---------------|
| PROJECT NO. 201507 | 03 |
| DATE: August 2015 | |
| SCALE: 1/8" = 1'-0" | |
| COUNCIL SUBMISSION | DATE: 7/22/15 |

FIRST STORE

S.V.B.C.
 SEA VILLAGE SOUTH COAST - PHASE 1
 DATE: 1/12/2018



SECTION AA



SECTION BB

Ernst Claes, Drawn
[Signature]



ARCHITECTS
 ERNST CLAES & ASSOCIATES
 128 HERRING STREET, WILMINGTON, SA 5082
 (081 304 5077) (E: ernst@ernstclaes.com)

HERMANIUS SEA VILLAGE

SA Council Reg no. 3699
 SA INST. No. 4770

| | |
|--------------------|---------------|
| PROJECT NO. 20875 | 04 |
| DRAWN: August 2018 | |
| SCALE: 1:50 @ A3 | |
| CHECKED: 20/08/18 | DATE: 1/12/18 |

SECTIONS

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5395, WESTCLIFF (2940/2019)**

| | | |
|-------------------|---|----------|
| Stormwater (SW) | : | In Order |
| Electricity | : | In Order |
| Water | : | In Order |
| Sewer | : | In Order |
| Roads and traffic | : | In Order |

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 5395, Westcliff, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

46. ERF 2225, 56 TENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION, REZONING AND DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF THE ANFA TRUST

2225 HVK (2899/2018)

SW van der Merwe

(028) 313 8900

Hermanus Administration

13 November 2019

Executive Summary

An application was received on 10 December 2018 from Messrs Plan Active Town and Regional Planners on behalf of the Anfa Trust applicable to Erf 2225, Hermanus for the following:

- ❖ application in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of the property into two (2) portions, namely Portion A ($\pm 495\text{m}^2$ in extent) and the Remainder ($\pm 495\text{m}^2$ in extent);
- ❖ application in terms of Section 16(2)(a) of the By-Law for the rezoning of the above proposed Portion A from Business Zone 3: Local Business to Residential Zone 1: Single Residential in order to construct a dwelling unit and associated structures thereon, and
- ❖ application for departure in terms of Section 16(2)(b) of the By-Law to relax the 3m western street building line of the above proposed Portion A to 1,857m to accommodate a portion of a balcony at first floor level of the proposed dwelling unit, as well as to relax the 2m northern lateral building line to 0m to accommodate a pergola.

RECOMMENDATION

1. that the application in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of Erf 2225, Hermanus into two (2) portions, namely Portion A ($\pm 495\text{m}^2$ in extent) and the Remainder ($\pm 495\text{m}^2$ in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(a) of the By-Law for the rezoning of Portion A in 1. above from Business Zone 3: Local Business to Residential Zone 1: Single Residential in order to construct a dwelling unit and associated structures thereon, **be approved** in terms of the provisions of Section 61 of the By-Law;

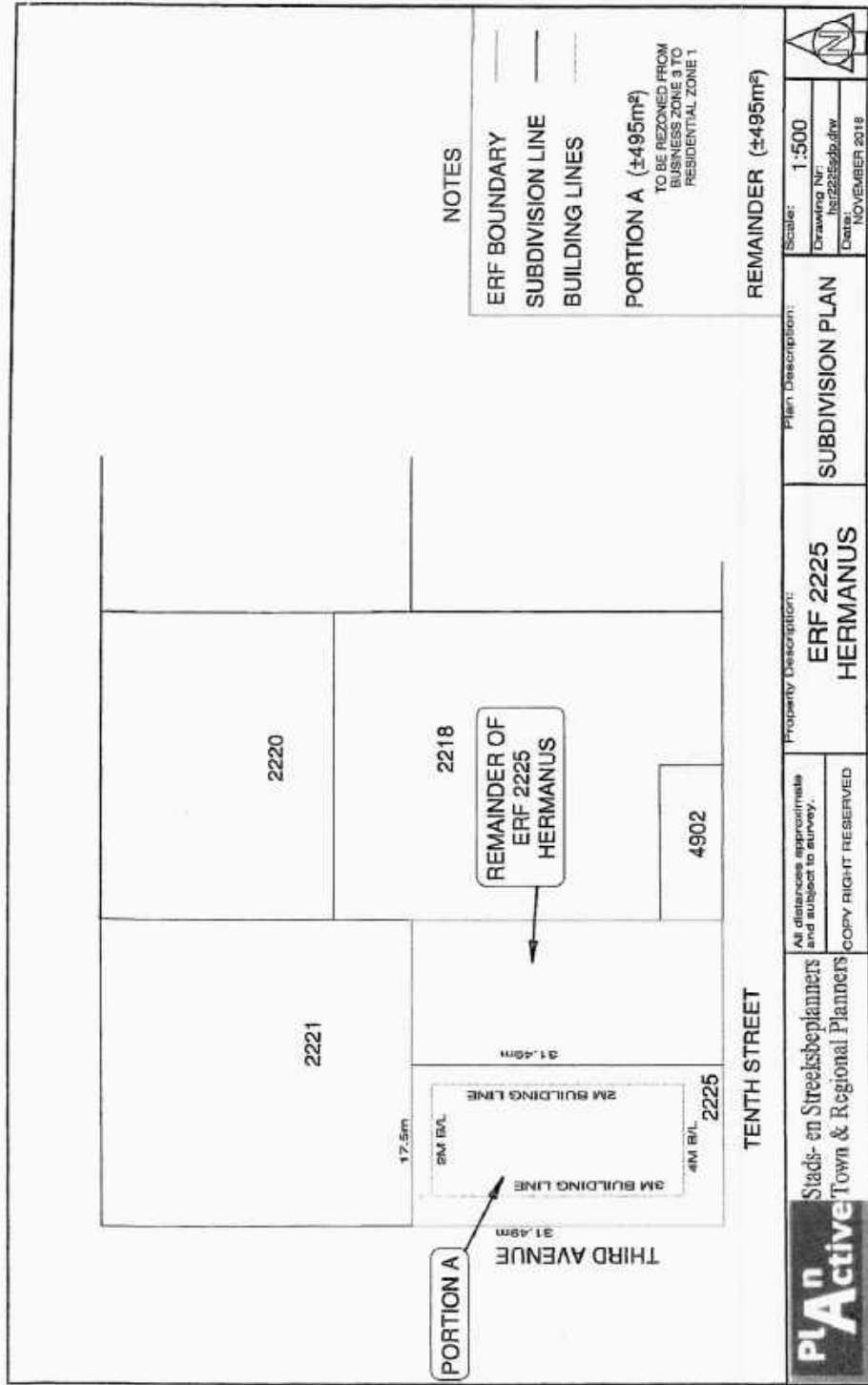
**AGENDA of the
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18 February 2020
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3. that the application for departure in terms of Section 16(2)(b) of the By-Law to relax the 2m northern lateral building line of Portion A in 1. above to 0m to accommodate a pergola, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application for departure in terms of Section 16(2)(b) of the By-Law to relax the 3m western street building line of Portion A in 1. above to 1,857m to accommodate a portion of a balcony at first floor level of the proposed dwelling unit, **not be approved** in terms of the provisions of Section 61 of the By-Law;
5. that the approvals in 1., 2., and 3. above be subject to the following conditions:
 - (a) that all the conditions of Engineering Services, be complied with;
 - (b) that the pergola at the northern lateral boundary of Portion A in 1. above be restricted to the proposed 4,22m length along the lateral boundary and 2,6m in height, and that it may not be covered with a solid roof structure of any kind whatsoever or be enclosed;
 - (c) that a SDP be submitted for the Remainder of Erf 2225, Hermanus indicating a parking layout to the satisfaction of the Senior Manager: Town and Spatial Planning;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
6. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to paragraph 4. above as well the above conditional approvals.



Erf 2225 VOELKLIP

Date: 2019-02-0...



NOTES

- ERF BOUNDARY
- SUBDIVISION LINE
- BUILDING LINES

PORTION A (±495m²)
 TO BE REZONED FROM
 BUSINESS ZONE 3 TO
 RESIDENTIAL ZONE 1

REMAINDER (±495m²)

Scale: 1:500
 Drawing Nr: Jst22252b.dwg
 Date: NOVEMBER 2018

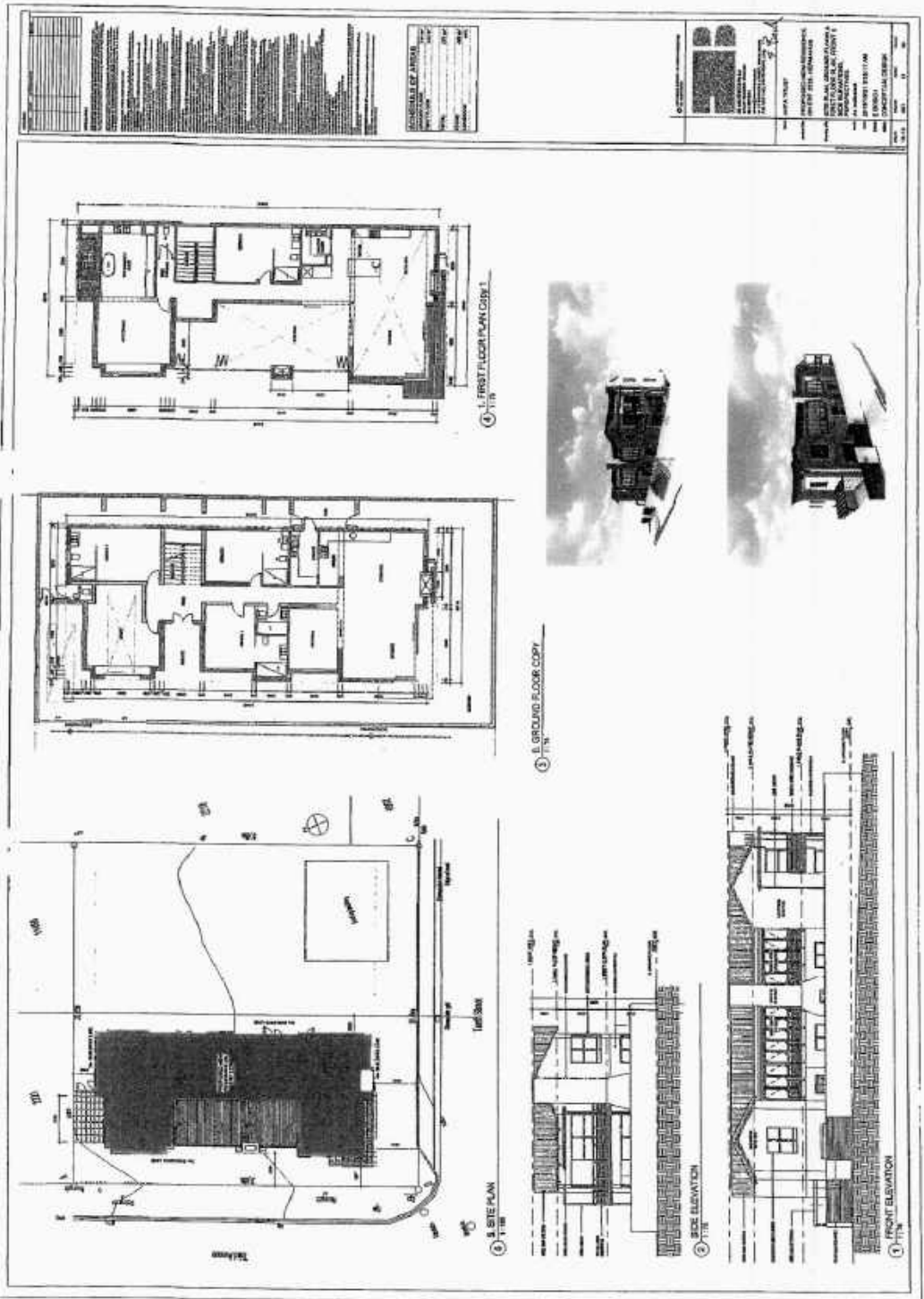


Plan Description:
SUBDIVISION PLAN

Property Description:
**ERF 2225
 HERMANUS**

All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

PIAⁿ Active
 Stads- en Streetsbeplanners
 Town & Regional Planners



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE, REZONING & SUBDIVISION: ERF 2225,
VOELKLIP**

Stormwater (SW) : In Order
Electricity : As per condition 3
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that Portion A – as well as Remainder of Erf 2225 be provided with individual and separate metered water connections which must comply with the standards of the Department: Operational Services, as well as sewer septic tanks;
2. that the new suction points for sewer conservancy tanks, which must comply with the standards of the Department: Operations must be provided for both Portion A – as well as Remainder of Erf 2225 at the street boundary with 10th Street;
3. that bulk contributions and connection fees have to be paid to upgrade the network to accommodate the additional load on the low voltage network. Each erf will be entitled to a 60 Amp single phase service connection. The Electrical Department: Hermanus should be contacted in this regard;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. Vehicular and pedestrian access to the Remainder of Erf 2225, Voëlklip will be from 10th Street and access to the Portion A will be from Third Avenue.
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that stormwater be allowed to discharge through Erf 2225, Voëlklip, unobstructed;
9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

Municipal Planning Tribunal

1. **ERF 602, 7 COMMERCIAL STREET, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: PROPOSED REMOVAL OF RESTRICTIVE CONDITIONS AND CONSENT USE: MESSRS WRAP ON BEHALF OF STEADY GROW TRADING 33 CC**

602 GPB (4157)

**SW van der Merwe
2 September 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application was received on 3 October 2018 from Messrs Wrap on behalf of Steady Grow Trading CC for the following:

- ❖ removal of restrictive title condition with reference to clause C.4(b) of Title Deed T61368/2017 applicable to Erf 602, Pearly Beach in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to permit a restaurant and the sale of alcoholic beverages;

Condition C.4(b) contained in Title Deed T61368/2017 to be removed, reads as follows:

“it shall be used for shop purposes only.”

- ❖ consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to conduct a restaurant and to permit the sale of alcoholic beverages.

RESOLVED :

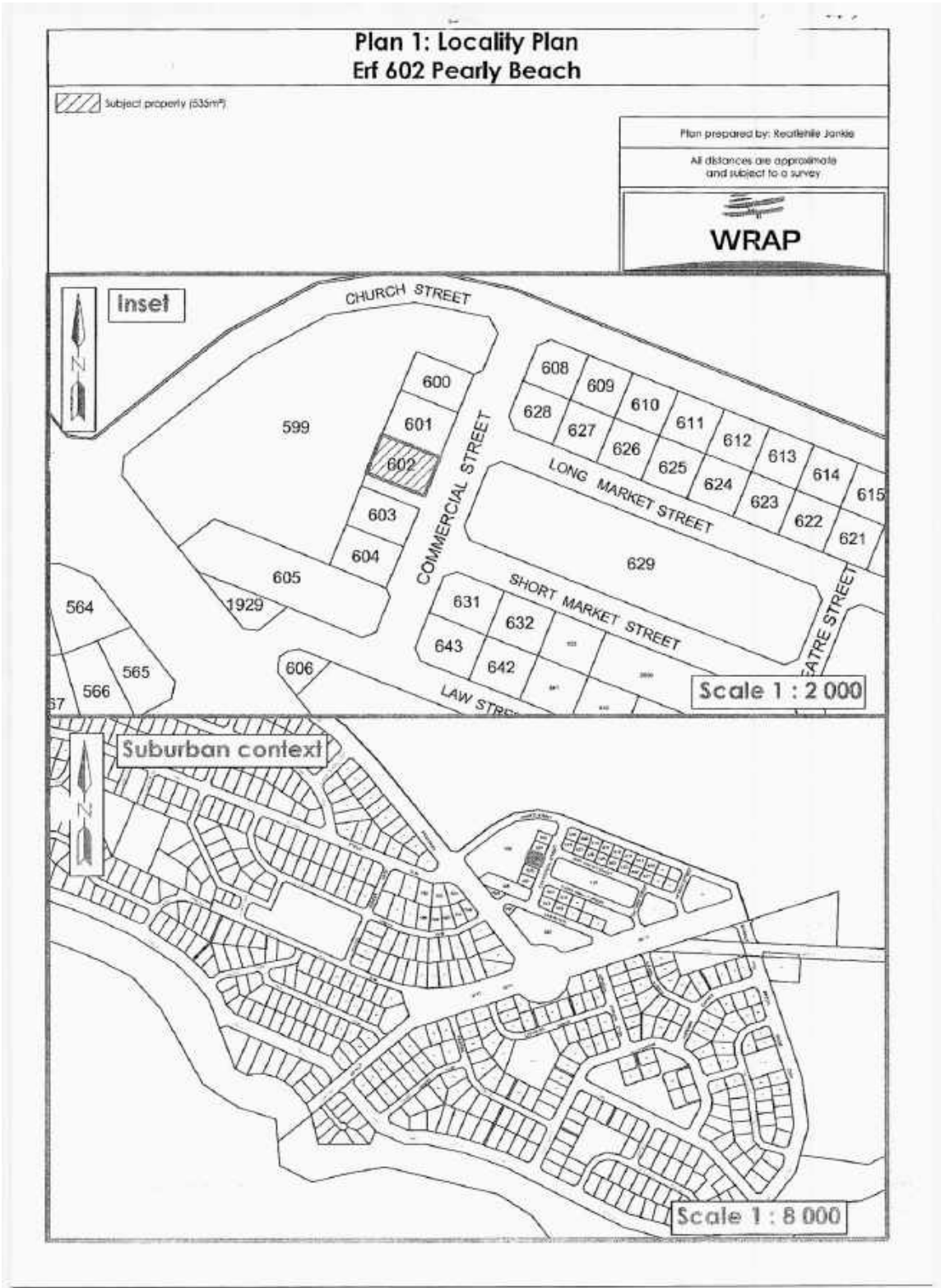
1. that the objections be noted;
2. that the application in terms of Section 16(2)(f) of the Overstrand Municipal Land Use Planning By-Law, 2015 (By-Law) for the removal of restrictive conditions C. 4. (b) of Title Deed T61368/2017 applicable to Erf 602, Pearly Beach in order to develop a restaurant and micro-brewery, **be approved** in terms of the provisions of Section 61 of the By-Law;

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(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

3. that the application in terms of Section 16(2)(o) of the above By-Law for consent use applicable to Erf 602, Pearly Beach in order to conduct a restaurant and permit the sale of alcoholic beverages, **be approved**, in terms of the provisions of Section 61 of the By-Law;
4. that the approvals in paragraphs 2 and 3 above be subject to the following conditions:
 - (a) that the operation of a bar, tavern or place of entertainment is not permitted;
 - (b) that provision be made for on-site parking in accordance with the Site Development Plan appended to the application as Plan 3 dated 31 October 2019;
 - (c) that the display of signage shall comply with the Municipal By-Law Relating to Outdoor Advertising and Signage;
 - (d) that the selling or serving of liquor be subject to a valid liquor license;
 - (e) that the micro-brewery be limited to 50% of the floor area of the shop;
 - (f) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (g) that building plans be submitted to the Building Department and that all the respective requirements of the Building and Fire safety departments be adhered to;
 - (h) that the operation of the restaurant and sale of alcoholic beverages be subject to a valid business license;
 - (i) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
 - (j) that all the conditions in the Services Report be complied with;
 - (k) that the requirements of Fire Services and Telkom be adhered to;
 - (l) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (m) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

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5. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decisions and conditions of approval.

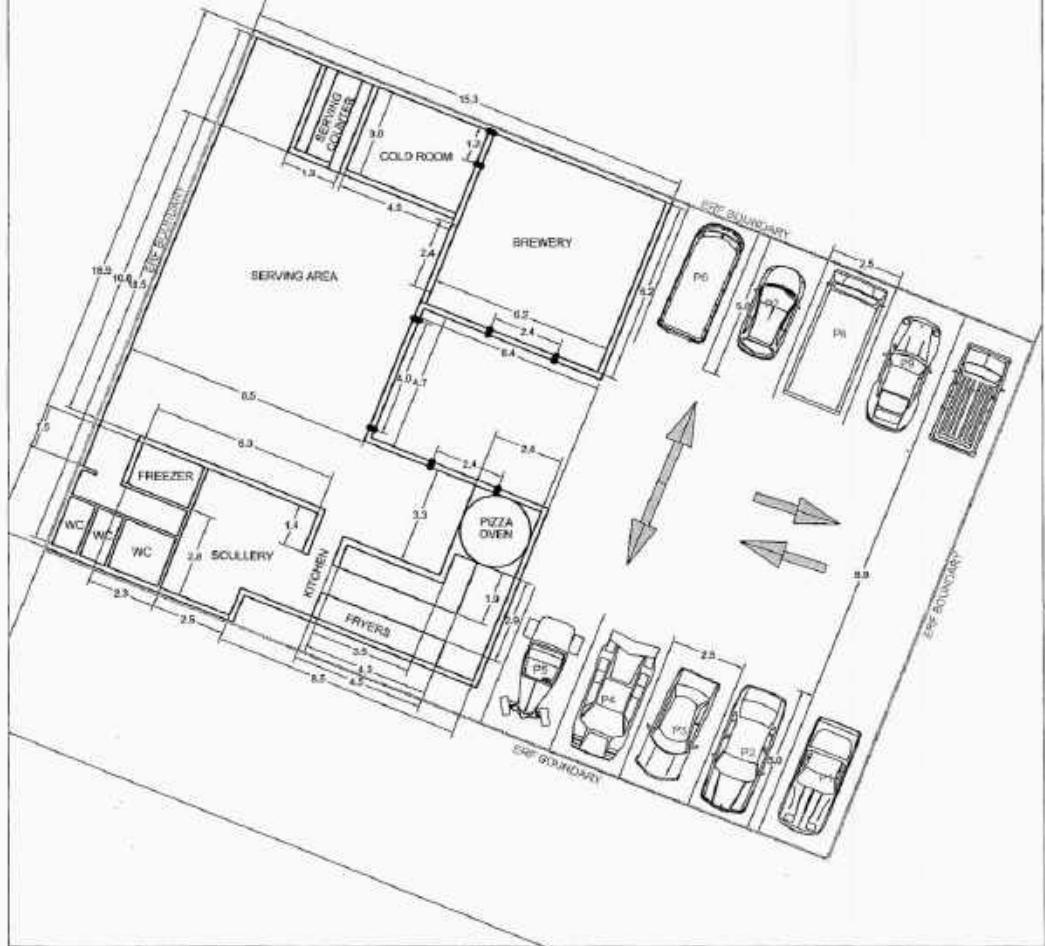


Plan 3: Site Development Plan Erf 602 Pearly Beach

Scale 1 : 125 (Print in A3)

Plan prepared by: Realtek Inc

All distances are approximate
and subject to a survey



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS &
CONSENT USE: ERF 602, PEARLY BEACH (4157)**

| | | |
|-------------------|---|----------|
| Electricity | : | In order |
| Water | : | In order |
| Sewer | : | In order |
| Stormwater | : | In order |
| Roads and traffic | : | In order |

Conditions:

1. that the existing water connection and sewer conservancy tank to Erf 602 shall be used to service Erf 602;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that any relevant commercial food preparation facilities must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 602, Pearly Beach, unobstructed;
7. that no on-street parking be allowed.


 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES


 DATE

07 JAN 2019

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

2. ERF 6256, 76 SEVENTH STREET, HERMANUS (VOËLKLIP): OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE AND DEPARTURE: MESSRS WARREN PETTERSON PLANNING TOWN AND REGIONAL PLANNING CONSULTANTS ON BEHALF OF SEAGULLS VIEW

6256 HVK (3678)

SW van der Merwe

(028) 313 8900

Hermanus Administration

16 September 2019

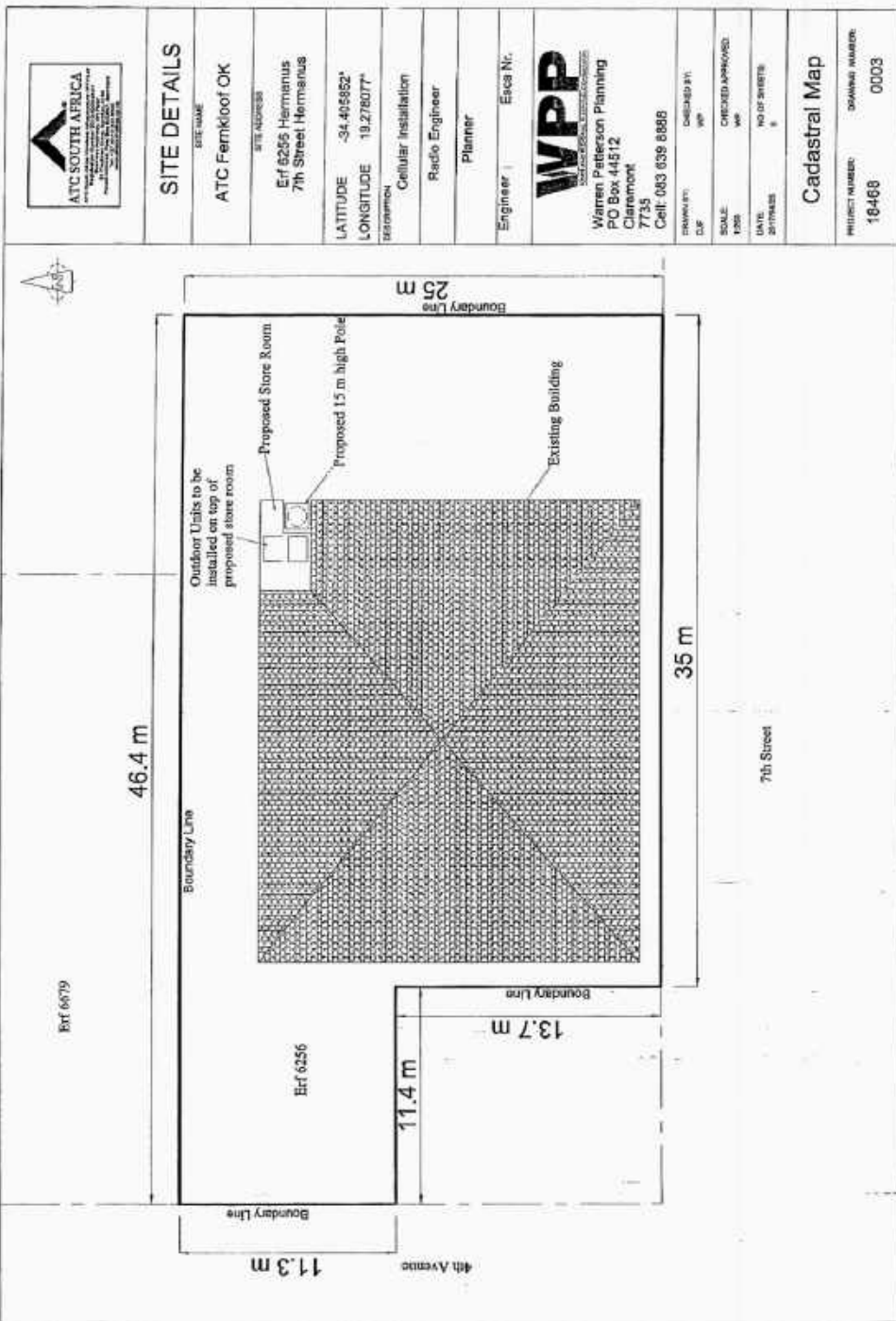
Executive Summary

An application was received on 11 May 2017 from Messrs Warren Petterson Planning Town and Regional Planning Consultants (WPP) on behalf of Seagulls View applicable to Erf 6256, Hermanus for the following:

- ❖ consent use (transmission tower) in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to accommodate a cellular communication base station on the above property, and
- ❖ departure in terms of Section 16(2)(b) of the above By-Law to exceed the applicable 8,5m height restriction in order to accommodate the 15m high monopole mast of the cellular communications base station.

RESOLVED :

1. that the objections be noted;
2. that the application in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a consent use to accommodate a 15m high transmission tower and associated equipment compound on Erf 6526, Hermanus, as well as the departure in terms of Section 16.(2)(b) of the By-Law to encroach the 8,5m height restriction to 15m to accommodate the transmission tower on the property, **not be approved** in terms of the provisions of Section 61 of the By-Law; and
3. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with regard to the above decision.



SITE DETAILS

| | |
|---------------------|--|
| SITE NAME | ATC Fernkloof OK |
| SITE ADDRESS | Erf 6255 Hermanus 7th Street Hermanus |
| LATITUDE | -34.485852° |
| LONGITUDE | 19.278077° |
| DESCRIPTION | Cellular Installation |
| | Radio Engineer |
| | Planner |
| Engineer | Erica Nr. |

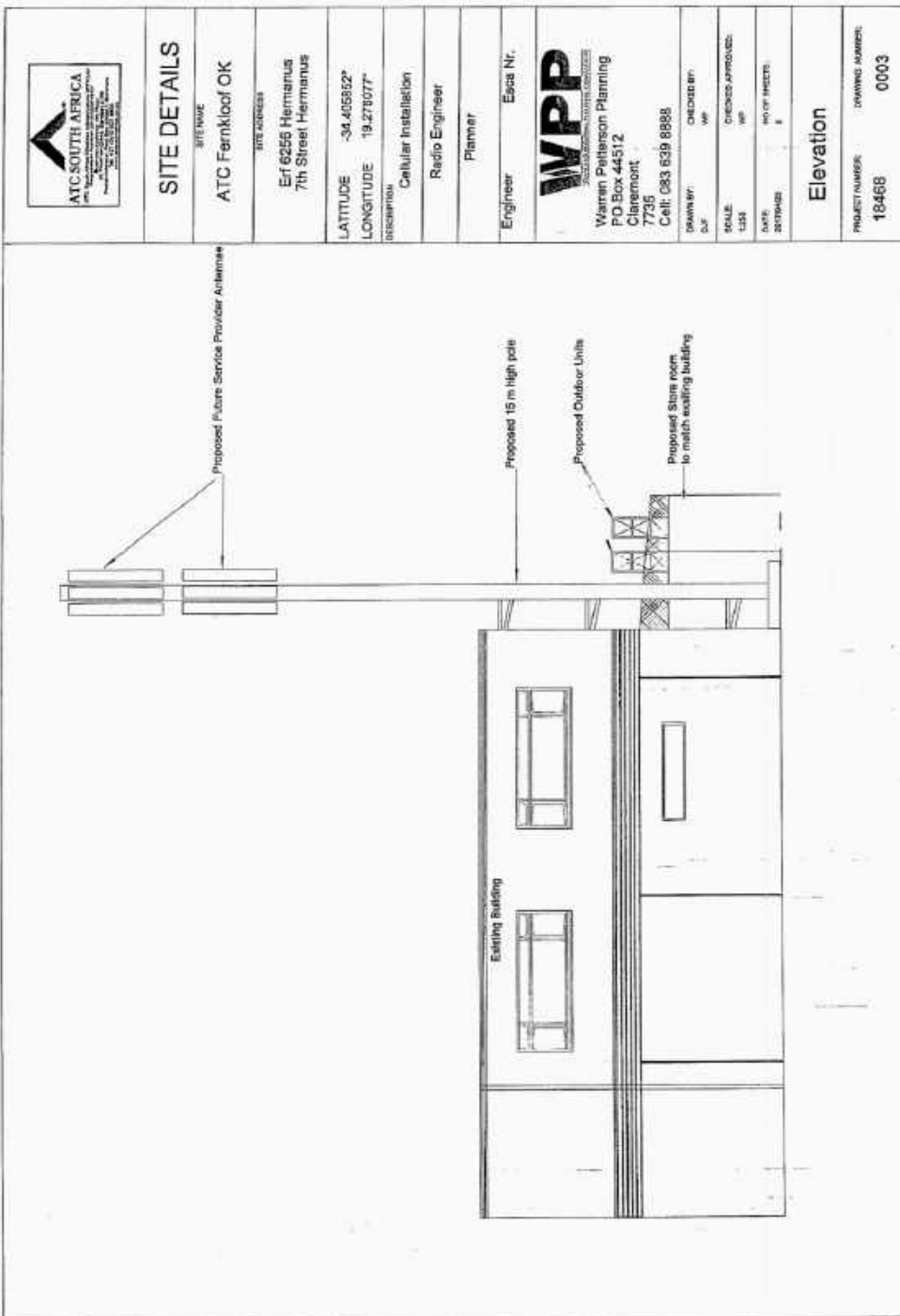


Warren Patterson Planning
 PO Box 44512
 Claremont
 7735
 Cell: 083 639 8888

| | |
|-----------------------|--------------------|
| DRAWN BY: | CELESTINE P. W.P. |
| SCALE: | CHECKED/ APPROVED: |
| DATE: | NO. OF SHEETS: |
| NO. OF SHEETS: | |

Cadastral Map

| | |
|---------------------|------------------------|
| PLOT NUMBER: | SECTION NUMBER: |
| 16468 | 0003 |



SITE DETAILS

SITE NAME
ATC Fernkloof OK

SITE ADDRESS
Erf 6256 Hermanus
7th Street Hermanus

LATITUDE -34.405852°
LONGITUDE 19.271077°

DISCIPLINE
Cellular Installation

Radio Engineer

Planner

Engineer Esca Nr.

WPP
WARREN PELTANSON PLANNING
PO Box 44512
Claremont
7735
Cell: 083 539 8888

DRAWN BY: DUF
CHECKED BY: WIP

SCALE: 1:500
CHECKS APPROVED: WIP

DATE:
SCALE: #
NO OF SHEETS: #

Elevation

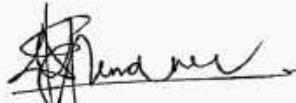
PROJECT NUMBER: 18468
DRAWING NUMBER: 0003

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 6256, VOELKLIP
(3678)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and / or development of the sidewalk adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 6256, Hermanus, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

24 / 1 / 2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**3. ERF 1849, 20 INDUSTRY CLOSE, GANSBAAI: PROPOSED DEPARTURES:
MESSRS WARREN PETERSON PLANNING TOWN- AND REGIONAL
PLANNING CONSULTANTS (WPP) ON BEHALF OF EM BRITZ**

1849 GIP (4196)

SW van der Merwe

(028) 313 8900

Hermanus Administration

16 September 2019

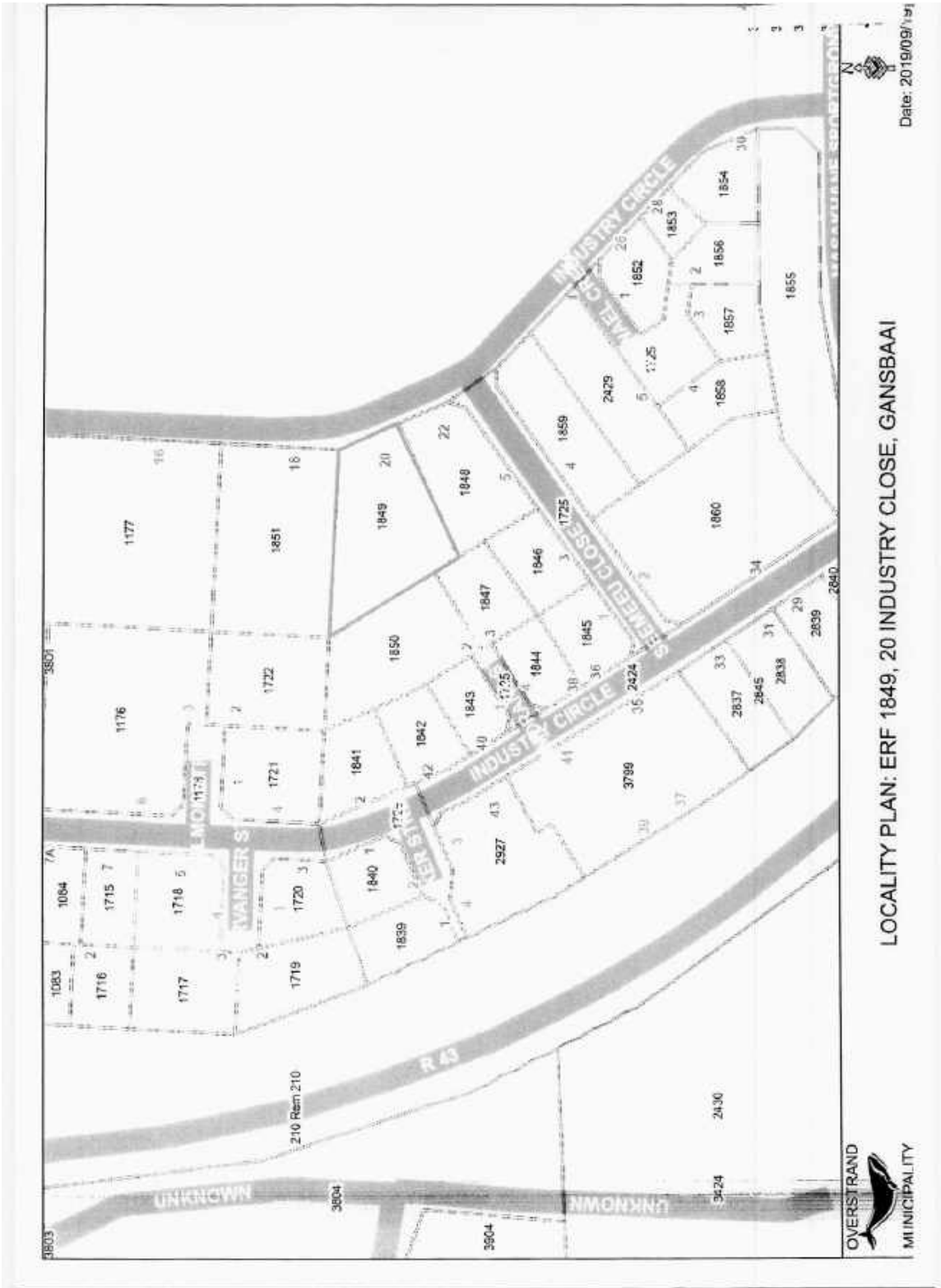
Executive Summary

An application was received on 19 October 2018 from Messrs Warren Petterson Planning Town- and Regional Planning Consultants (WPP) on behalf of EM Britz in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1849, Gansbaai for the following:

- ❖ departure of the 2m rear building line onto the property boundary;
- ❖ encroachment of the height restriction from 12m to 25m, and
- ❖ encroachment of the height restriction applicable to boundary walls from 2,1m to 2,4m for the installation of a proposed transmission tower and associated equipment compound.

RESOLVED :

1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the encroachment of the 2m rear building line onto the property boundary, encroachment of the 12m height restriction to 25m and encroachment of the 2,1m height restriction applicable to boundary walls to 2,4m to accommodate a proposed transmission tower and associated equipment compound **not be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with regard to the above decision.

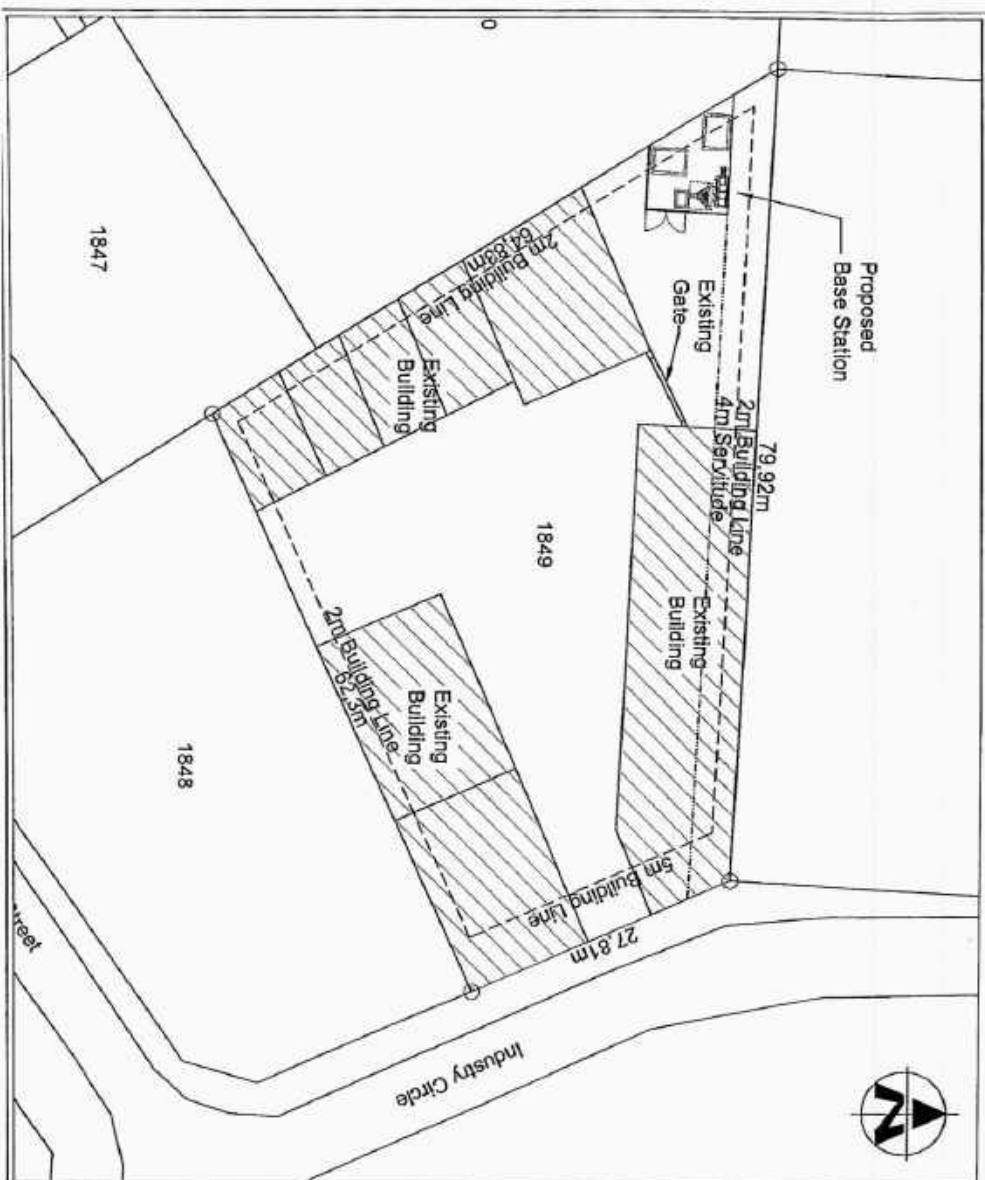


Date: 2019/09/19

LOCALITY PLAN: ERF 1849, 20 INDUSTRY CLOSE, GANSBAAI



Site Plan



ATLAS TOWER
 100% INDUSTRIAL

ATLAS TOWER SITE ID: ATAS4536
ATLAS TOWER SITE NAME: GANSBAM INDUSTRIAL
PROPERTY DESCRIPTION: EPF 194, GANSBAM

ADDRESS: INDUSTRY CIRCLE GANSBAM WESTERN CAPE

COORDINATES: ELEVATION: 7m
 LAT: -34.88987°
 LONG: 18.88392°

WPP
 TOWN AND REGIONAL PLANNING CONSULTANT

PROJECT: 05/ATLAS TOWER 50m LATICE MAST PROPOSED WITH 72.4M/ BASE STATION
APPROVED BASE: 50m LATICE MAST

NOTES:
 1) 50m LATICE MAST
 2) 72.4m BASE STATION
 3) 2.4m BUILDING FENCE
 4) SITE FENCE SITE BOUNDARY TO WALL WITH FENCE
 5) 50m SERVICE OPEN SPACE CORNER

| DATE | DESCRIPTION | REVISION |
|------------|---------------------------------|----------|
| 18-07-2018 | 1st Issue | 0 |
| 20-11-2018 | Minor edit out of air servitude | 1 |

DRAWING NUMBER: ATAS4536
DRAWING TITLE: SITE PLAN
SCALE: 1:500
DATE: 2018-11-29
REVISION: 1

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1849, GANSBAAI (2662/2018)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer should take note that no additional connection will be supplied from the Municipal side and Electrical distribution to this structure should be handled internally;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 1849, Gansbaai, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

4. **ERVEN 2295 AND 2296, 76 AND 78 LONGSTREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSOLIDATION, DEVIATION FROM THE OVERSTRAND MUNICIPALITY GROWTH MANAGEMENT STRATEGY (2010), REZONING, SUBDIVISION AND DEPARTURES: MESSRS FJC CONSULTING ON BEHALF BAJAK INVESTMENTS (PTY) LTD**

2295 & 2296 HSB (3705)

H van der Stoep

(028) 313 8900

Hermanus Administration

18 July 2019

Executive Summary

An application was received on 26 September 2018 (final amended) from Messrs FJC Consulting on behalf of Bajak Investments (Pty) Ltd applicable to Erven 2295 and 2296, Sandbaai for the following:

- Consolidation of the above properties in terms of Section 16.(2)(e) of the By-Law;
- Deviation from the Overstrand Municipality Growth Management Strategy, 2010, in terms of Section 10 of the By-Law, as well as the provisions of the Municipal Systems Act, 2002 (Act 32 of 2000), for the increase of the development density of the above properties as a site-specific deviation from ten (10) – twenty (20) dwelling units per hectare to thirty two (32) dwelling units per hectare in order to accommodate six (6) General Residential Zone 1: Town Housing erven, one (1) Transport Zone 2: Road and Parking (private road) erf, and one (1) Open Space Zone 3: Private Open Space erf on the properties;
- Rezoning in terms of Section 16.(2)(a) of the By-Law of the above consolidated property from Residential Zone 1: Single Residential to Subdivisional Area Zone;
- Subdivision in terms of Section 16.(2)(d) of the By-Law of the above consolidated property in six (6) General Residential Zone 1: Town Housing erven, one (1) Transport Zone 2: Road and Parking (private road) erf, and one (1) Open Space Zone 3: Private Open Space erf;
- Departure in terms of Section 16.(2)(c) of the By-Law in order to develop the above Open Space Zone 3 erf for the storage of refuse;
- Departures in terms of Section 16.(2)(b) of the By-Law to (refer to the Subdivisional Plan) in order to:
 - accommodate the proposed building for the storage of refuse on the above Open Space Zone 3 erf that is to be built up to the external street boundary of the proposed town housing scheme;

**AGENDA of the
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(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- relax the external street building line of the proposed town housing scheme from 5m to 4,5m to accommodate the proposed dwelling units on Portions 1 and 6 thereof;
- relax the lateral building line applicable to the external lateral boundary of the proposed town housing scheme from 3m to 1m to accommodate portions of the proposed dwelling units on Portions 2 and 3 thereof;
- relax the setback with regard to garages from the curb of the internal private road of the proposed group housing scheme from 5m to 3,48m and 0m, to respectively accommodate the proposed garages on Portions 1, 2 and 6 thereof; and
- the relaxation of the width of the internal private road reserve of the proposed group housing scheme from 8m to 6m.

RESOLVED :

1. that the application in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the consolidation of Erven 2295 and 2296, Sandbaai to form one (1) cadastral unit measuring $\pm 1875\text{m}^2$ in extent, **not be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the rezoning of the consolidated erf, from Residential Zone 1: Single Residential to Subdivisional Area Zone (SA), **not be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, for the subdivision of the consolidated erf to create the following:
 - Six (6) Residential Zone 1: Single Residential Zone (SR1) erven ($\pm 1619\text{m}^2$ in extent);
 - One (1) Transport Zone 2: Road and Parking erf for a private road ($\pm 242\text{m}^2$ in extent); and
 - One (1) Open Space Zone 3: Private Open Space erf to accommodate a refuse room ($\pm 11\text{m}^2$);

not be approved, in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of the Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, for a series of permanent departures to:
 - permit the proposed refuse room 0m from the perimeter street boundary;
 - permit Unit 1 and Unit 6 4,5m from the perimeter street boundary in lieu of

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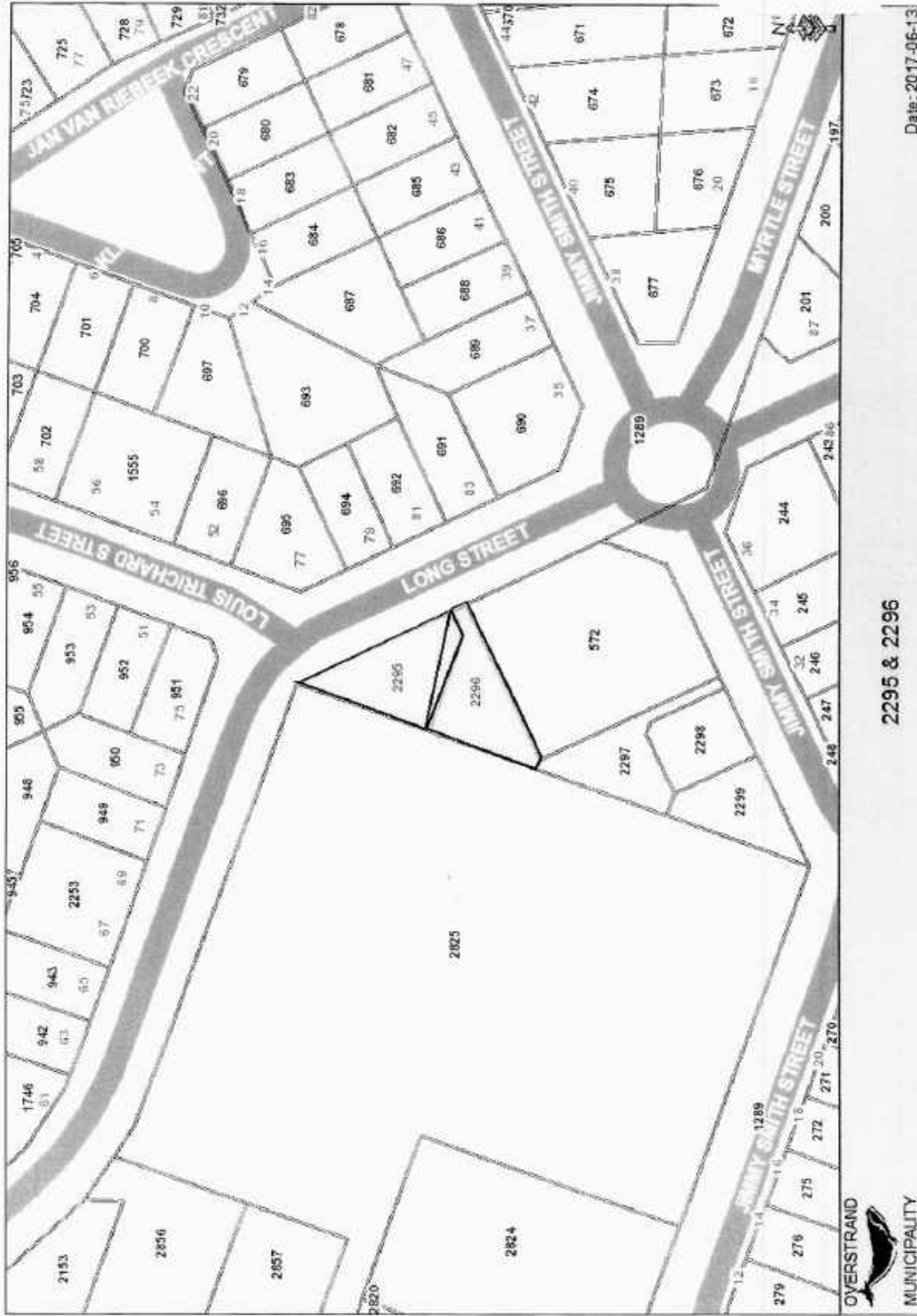
- 5m;
- permit Unit 2 and Unit 3 1,0m from the perimeter lateral boundary in lieu of 3m;
- permit Unit 6 0m from the internal road kerb in order to accommodate a garage;
- permit Unit 2 and Unit 1 3,48m from the internal road kerb in order to accommodate a garage; and
- relax the width of the internal road reserve from 8m to 6m;

not be approved, in terms of the provisions of Section 61 of the By-Law.

5. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

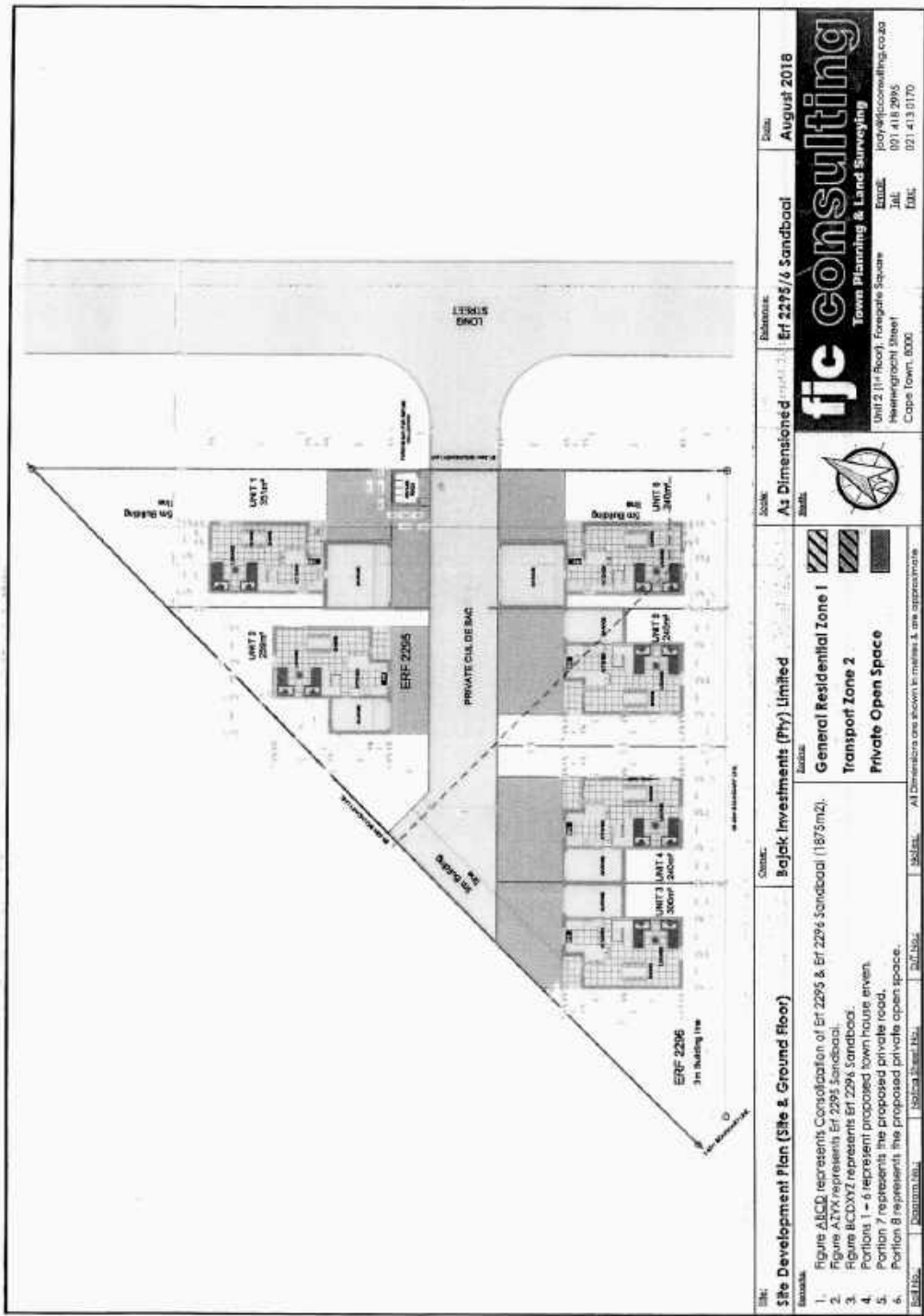
RECOMMENDATION TO THE COUNCIL:

that the application to deviate from the Overstrand Municipal Spatial Growth Management Strategy, 2010, for the increase of the development density of Erf 2295 and Erf 2296, Sandbaai as a site-specific deviation from ten (10) – twenty (20) dwelling units per hectare to thirty two (32) dwelling units per hectare, in terms of the provisions of Section 10 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, as well as the provisions of the Municipal Systems Act, 2000 (Act 32 of 2000), **not be approved**.



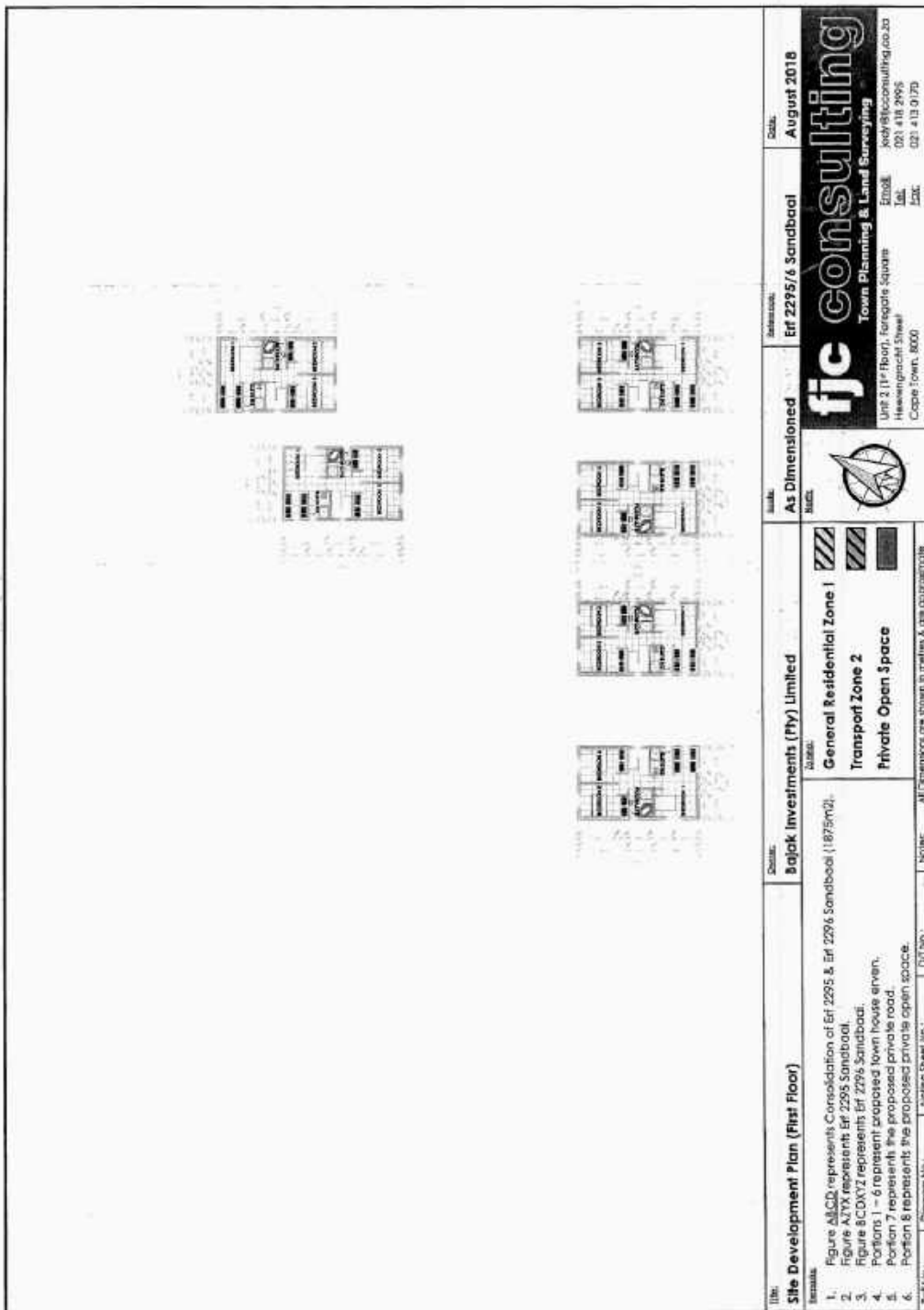
2295 & 2296

Date: 2017-06-13

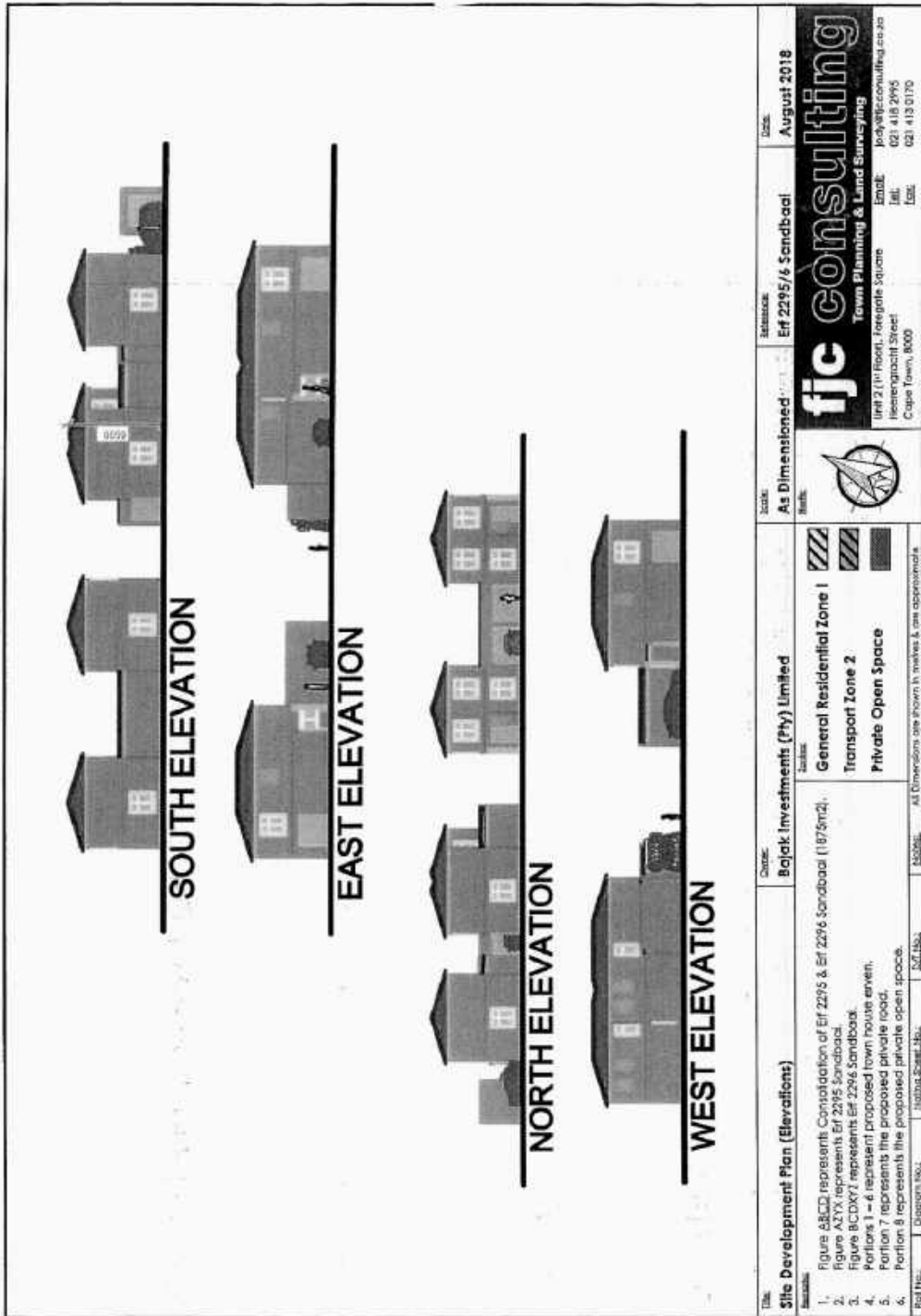


| | | | |
|---|---|---|--|
| <p>Site: Site Development Plan (Site & Ground Floor)</p> <p>Client: Bajak Investments (Pty) Limited</p> <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Author: Er 2295/6 Sandbaal</p> <p>Drawn: Er 2295/6 Sandbaal</p> <p>Check: Er 2295/6 Sandbaal</p> <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Project: Er 2295/6 Sandbaal</p> <p>Client: Bajak Investments (Pty) Limited</p> <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Author: Er 2295/6 Sandbaal</p> <p>Drawn: Er 2295/6 Sandbaal</p> <p>Check: Er 2295/6 Sandbaal</p> <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> |
| <p>Legend:</p> <ul style="list-style-type: none"> General Residential Zone 1 Transport Zone 2 Private Open Space | <p>Notes:</p> <ol style="list-style-type: none"> Figure ABCD represents Consolidation of Erf 2295 & Erf 2296 Sandbaal (1875m²). Figure AXYZ represents Erf 2295 Sandbaal. Figure ECDXYZ represents Erf 2296 Sandbaal. Portions 1 - 6 represent proposed town house units. Portion 7 represents the proposed private road. Portion 8 represents the proposed private open space. | <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> |
| <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> | <p>Scale: As Dimensioned</p> <p>Date: August 2018</p> |
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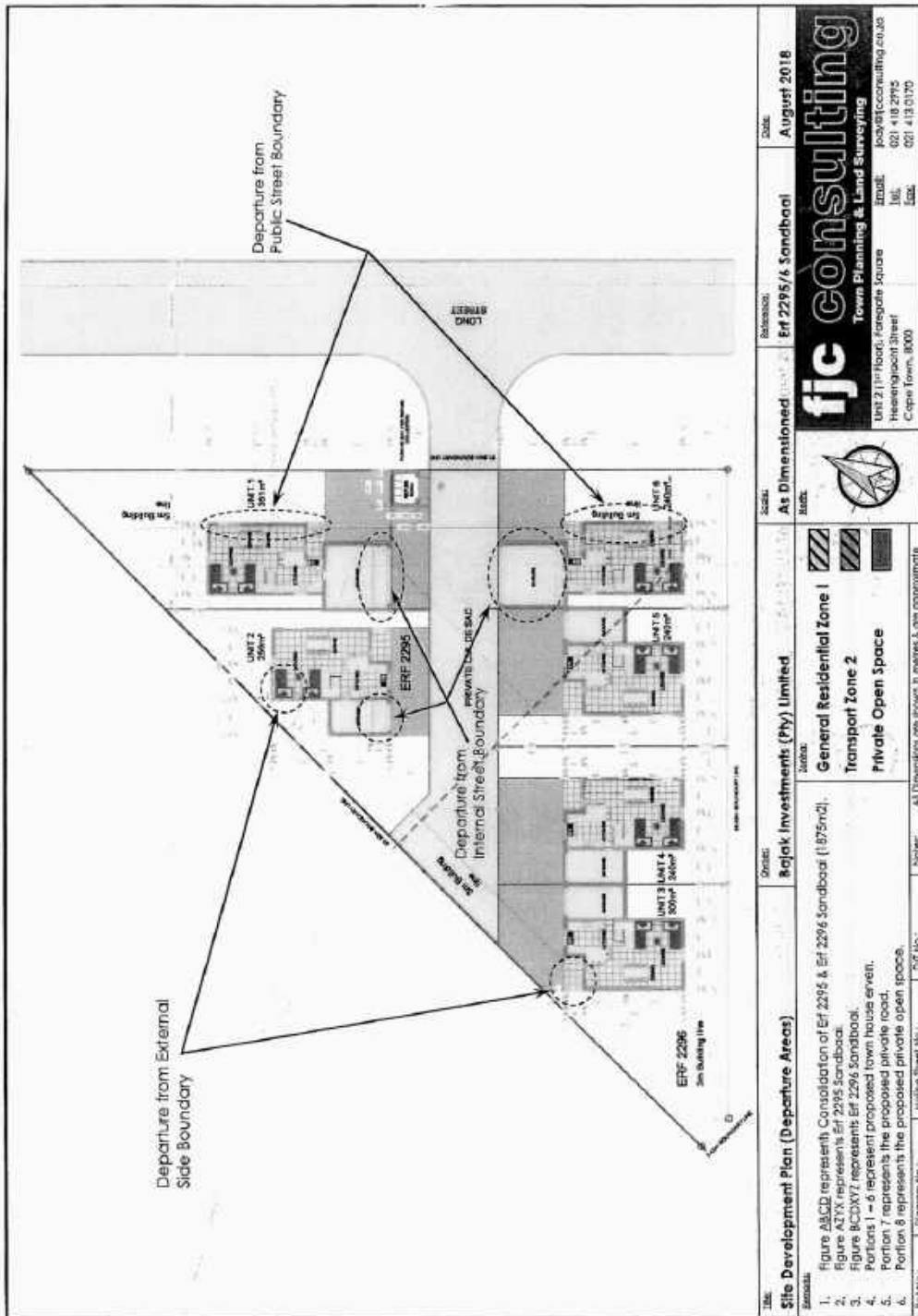
fjc consulting
 Town Planning & Land Surveying
 Unit 2 (1st Floor) Foregate Square
 Herengracht Street
 Cape Town, 8000
 Email: jay@fjiconsulting.co.za
 Tel: 021 418 2995
 Fax: 021 413 0170




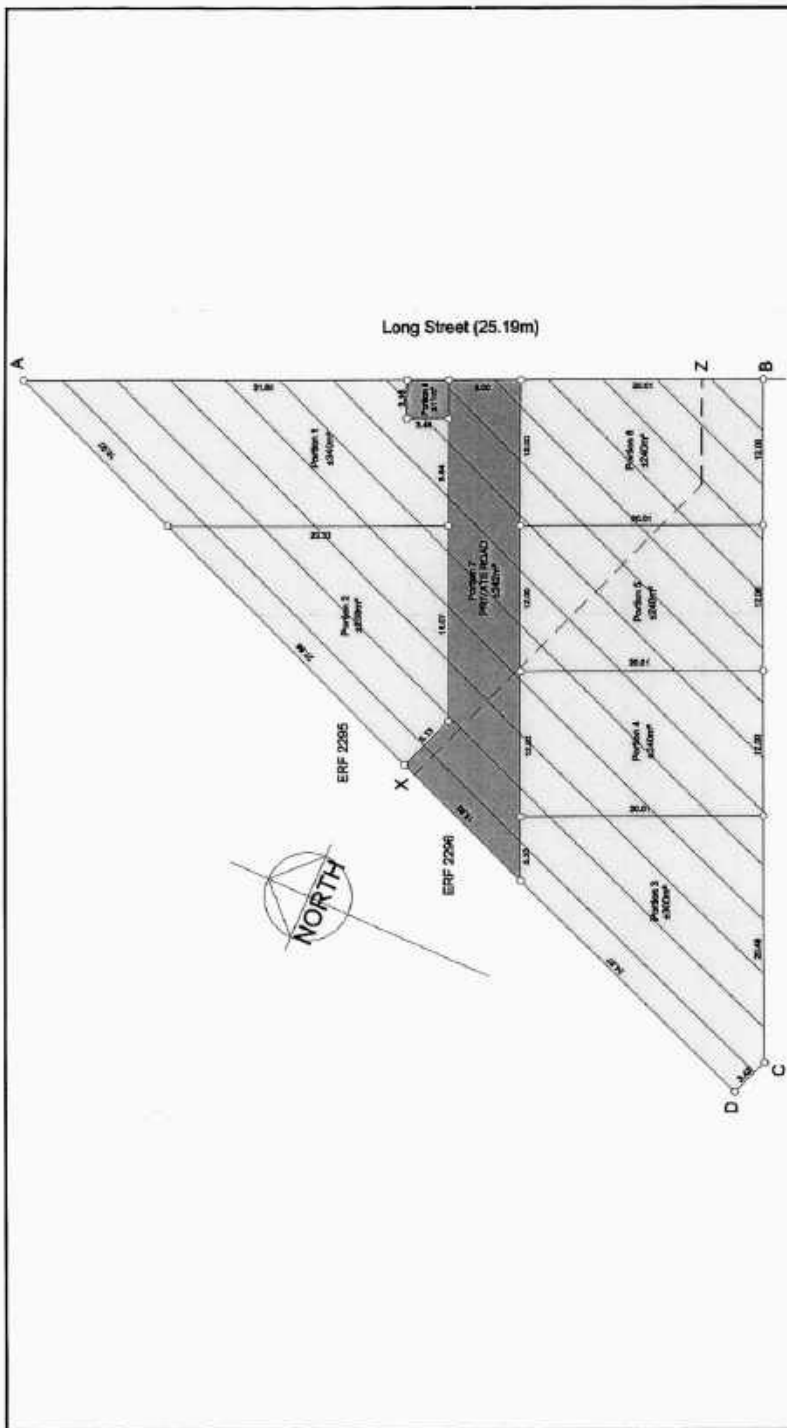
| | | | |
|--|---|--|---|
| Title: Site Development Plan (First Floor) | Owner: Bajak Investments (Pty) Limited | Scale: As Dimensioned | Date: August 2018 |
| Remarks: 1. Figure A&C/D represents Consolidation of Erf 2295 & Erf 2296 Sandbaai (1825m ²). 2. Figure A&B represents Erf 2295 Sandbaai. 3. Figure B&C/D/E represents Erf 2296 Sandbaai. 4. Portions 1 – 8 represent proposed town house erven. 5. Portion 7 represents the proposed private road. 6. Portion 8 represents the proposed private open space. | Project: General Residential Zone 1 Transport Zone 2 Private Open Space | Author: fjc consulting Town Planning & Land Surveying Unit 3 (1 st Floor), Foregate Square Hewingsgate Street Cape Town, 8000 | Scale: All Dimensions are shown in metres & are approximate |
| Drawn By: [Signature] | Checked By: [Signature] | Date: [Date] | Date: [Date] |



| | | | | |
|---|---|--|--|-------------------------------|
| Title: Site Development Plan (Elevations) | Client: Bojak Investments (Pty) Limited | Scale: As Dimensioned | Reference: Erf 2295/4 Sandbaai | Date: August 2018 |
| Remarks: 1. Figure ABCD represents Contabulation of Erf 2295 & Erf 2296 Sandbaai (1875m ²). 2. Figure ABCX represents Erf 2295 Sandbaai. 3. Figure BCDX7 represents Erf 2296 Sandbaai. 4. Portions 1 - 4 represent Proposed Town Private Open Space. 5. Portion 7 represents the proposed private road. 6. Portion 8 represents the proposed private open space. | Notes: General Residential Zone 1 Transport Zone 2 Private Open Space | North: | Project: Erf 2295/4 Sandbaai | Author: August 2018 |
| Proj No.: Dabaaba 1004 | Proj No.: 1004 | fjc consulting Town Planning & Land Surveying Email: jody@fjcconsulting.co.za Tel: 021 418 2995 Fax: 021 413 0170 | | |



| | | | | |
|--|--|---|---|-----------------------------|
| Title: Site Development Plan (Departure Areas) | Client: Bejak Investments (Pty) Limited | Scale: As Dimensioned | Revision: Erf 2295/6 Sandbaai | Date: August 2018 |
| Remarks: 1. Figure ABCD represents Consolidation of Erf 2295 & Erf 2296 Sandbaai (1,075m ²). 2. Figure A2XX represents Erf 2295 Sandbaai. 3. Figure BCDXY represents Erf 2296 Sandbaai. 4. Portion 1 - 6 represent proposed town house erven. 5. Portion 7 represents the proposed private road. 6. Portion 8 represents the proposed private open space. | Zone: General Residential Zone 1 Transport Zone 2 Private Open Space | Notes: All Dimensions are shown in metres & are approximate |  <p>fjc consulting Town Planning & Land Surveying Unit 2 1st Floor, Foregate Square Heresengap Street Cape Town, 8000 Email: jpc@fjcconsulting.co.za Tel: 021 418 2795 Fax: 021 413 0170</p> | |

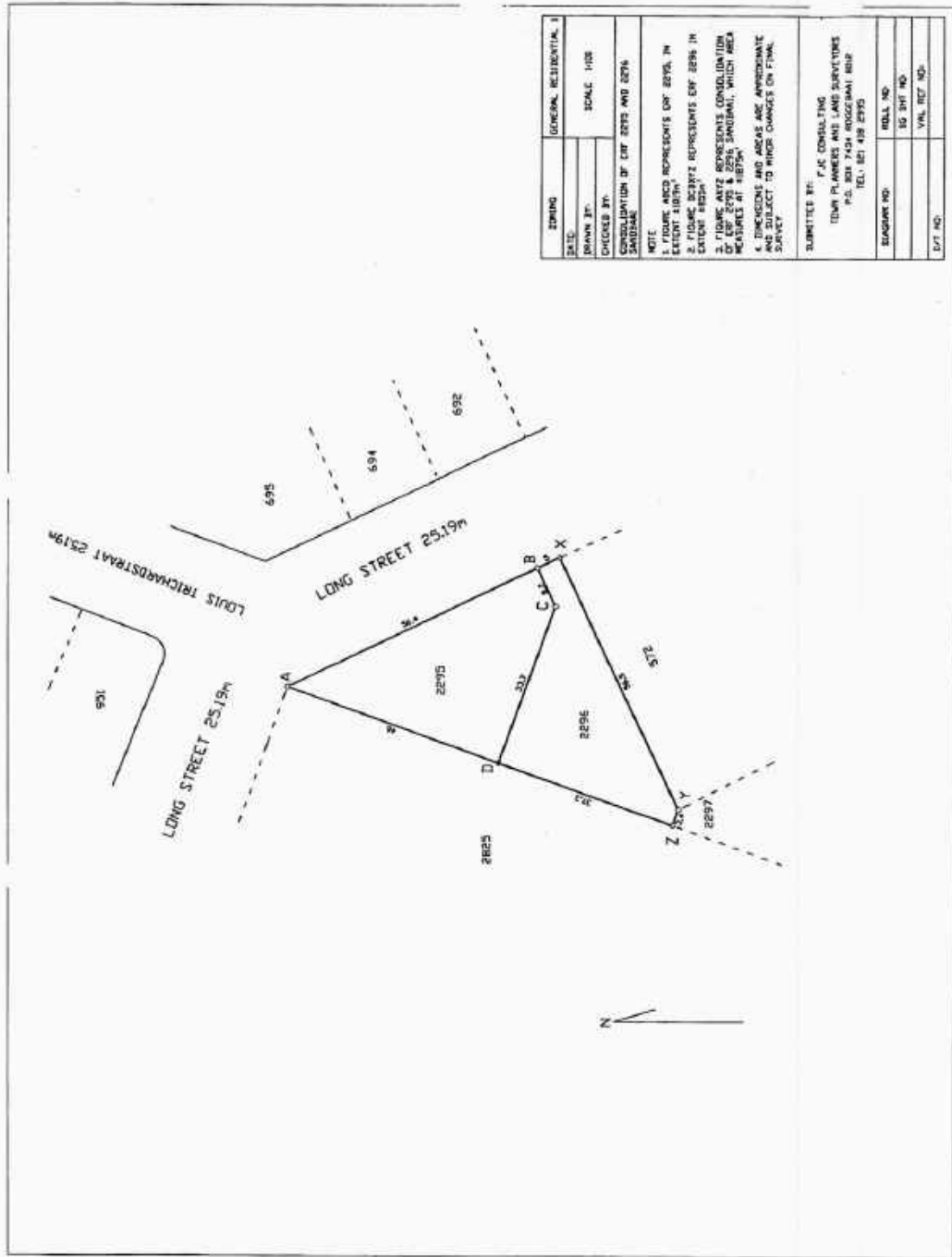


| | | | |
|---|---|---------------------------------|--------------------------------|
| Title: Subdivision of Consolidated Erf 2295/4 Sandbaai | Client: Bajak Investments (Pty) Limited | Scale: As Dimensioned | Date: September 2018 |
| Remarks: 1. Figure ABCD represents Consolidation of Erf 2295 & Erf 2296 Sandbaai (1875m ²). 2. Figure APXY represents Erf 2295 Sandbaai. 3. Figure BCDXYI represents Erf 2296 Sandbaai. 4. Portions 1 – 6 represent proposed Town House erven. 5. Portion 7 represents the proposed private road. 6. Portion 8 represents the proposed private open space (refuse room). | Notes: General Residential Zone 1 Transport Zone 2 Private Open Space | Author: Jody de Groot | Drawn: Jody de Groot |
| Scale: 1:1000 | Project No.: 2295/4 | Client No.: 2295/4 | Project No.: 2295/4 |

tjc consulting
Town Planning & Land Surveying

Unit 2 (1st Floor), Foregate Square
Heerengracht Street
Cape Town, 8000

Email: jody@tjcconsulting.co.za
Tel: 021 412 2794
Fax: 021 413 0170



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE, CONSOLIDATION, REZONING &
SUBDIVISION: ERVEN 2295 & 2296, SANDBAAI (3705)**

| | | |
|-------------------|---|----------|
| Water | : | In Order |
| Sewer | : | In Order |
| Roads and traffic | : | In Order |
| Stormwater (SW) | : | In Order |
| Electricity | : | In Order |

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2018/2019) is as follows:

Freehold erven:

| | | |
|---------------------------------|---------------------|-----------------------|
| Water | R 21 688.60 x 2.8 = | R 60 728.08 |
| Sewerage | R 14 623.16 x 2.8 = | R 40 944.85 |
| Roads | R 6 557.01 x 4 = | R 26 228.04 |
| Stormwater | R 7 565.79 x 1.25 = | R 9 457.24 |
| Solid Waste | R 1 311.40 x 4 = | R 5 245.60 |
| TOTAL (inclusive of VAT) | | = R 142 603.81 |

Note:

1.3 The above figures are estimates

1.4 The above figures do not include connection fees.

2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be proved;
 - 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided:
 - 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
 - 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property;
 - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;

5. that a plan of all existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
 - 5.1 way-leaves must be obtained from the Operational Manager;
 - 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and

11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;
12. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
13. that the above stormwater management plan include the following:
 - 13.1 pre-development run-off from the catchment area;
 - 13.2 post-development run-off from catchment area;
 - 13.3 existing stormwater reticulation system and the capacity thereof;
 - 13.4 connection of internal stormwater reticulation system;
 - 13.5 overland escape routes
14. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for works of Civil Engineering Construction – 2004, of 12 months, and
15. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
16. that the proposed consolidated erf be provided with an adequate small-bore tank, which must comply with the standards and specifications of the Department: Operational Services.
17. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grase trap, which must comply with the standards and specification of the Department: Operational Services;
18. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage
19. that the Home Owners Association be responsible for the operational costs and maintenance of street lighting, electrical reticulation and metering and all internal services;

20. that an approved refuse collection area/room to sufficiently accommodate the refuse generated by the development and which is to be provided with the following:
 - a. properly ventilated;
 - b. a cement floor;
 - c. a tap and running water, as well as a drainage point which is connected to the sewer network;
 - d. is a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
21. that the refuse room be completed prior to occupation of the first unit, to the satisfaction of the Director: Infrastructure and Planning;
22. that the electricity reticulation and supply be provided according to the master plan by the developer;
23. that the developer appoint a consulting electrical engineer to determine the electricity demand for the development and pay a fee to Overstrand Municipality to determine the capacity in the existing electricity network;
24. that the developer provide bulk meters for water and electricity at approved positions as well as individual meters at each consumption point;
25. that the developer may apply for a temporary water connection at Overstrand Municipality's Finance Department, before commencement of construction;
24. that the developer apply for a bulk water connection on the prescribed application form, at Overstrand Municipality's Finance Department and that the installation of the bulk water meter, by the developer, be done under the supervision of the Operational Manager, Hermanus;
25. that the connection to the main water line only be done by the Operational Department, after payment of the connection fee, by the developer;
26. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval
27. that no on-street parking will be allowed;

28. that on-site parking facilities be provided as per Planning Schedule and to the satisfaction of the Department: Operational Services.
29. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer

Dennis Hendriks
DENNIS HENDRIKS

SENIOR MANAGER: ENGINEERING SERVICES

05/03/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

**5. ERF 1068, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED
CONSENT USE: MESSRS SETTLEMENT PLANNING SERVICES
(WESTERN CAPE) T/A SETPLAN CC ON BEHALF OF THE RICHARD
METCALF FAMILY TRUST**

Erf 1068 SSS (2758)

P Roux

(028) 313 8900

Hermanus Administration

3 September 2019

Executive Summary

An application was received on 8 November 2018 from Messrs Setplan CC on behalf of the owners of Erf 1068, Stanford, The Richard Metcalf Family Trust, for a consent use in terms of Sections 16(2)(h) to amend the conditions of an existing approval to permit the extension of hard rock mining.

RESOLVED :

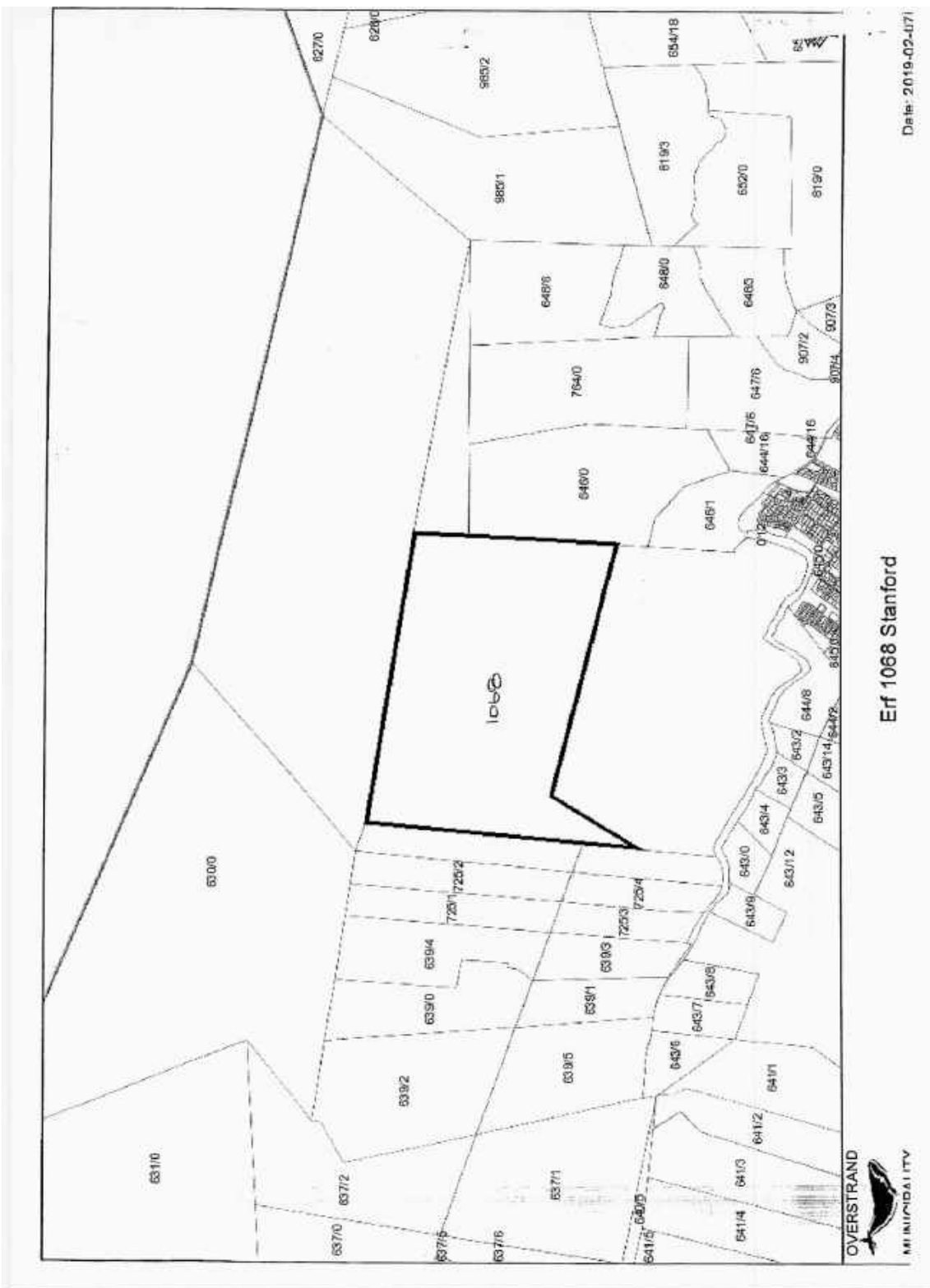
1. that the application in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for an amendment of the conditions of approval applicable to Erf 1068, Stanford in order to permit the extension of hard rock mining **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the conditions of approval taken on 28 March 2018 and letter dated 10 April 2018 be amended as follows:
 2. (b) *that a Revised Mine Site Development Plan (2018) for the existing and extension mining area be submitted for approval to the satisfaction of the Senior Manager: Town and Spatial Planning;*
 3. (a) *that the approval of the continued use of the mine (existing and extension) is for the life of the extended mine, and*
 3. (b) *that the Mining Right Area (existing and extension) and the Excavation Area (existing and extension) on Erf 1068 be limited to the 2018 Revised Mine Site Development Plan and as submitted with the application.*
3. that the following conditions for the approval in paragraph 1. above must be complied with within **six (6) months from date of final approval:**

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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (a) that the Environmental Monitoring Committee (EMC) be established and that the relevant stakeholders which may include, but not limited to representatives of the Overstrand Municipality, CapeNature, Breede-Gouritz Catchment Management Area, Klein Rivier Estuary Forum, Stanford Heritage Committee/Stanford Conservation Trust, Department of Environmental Affairs and Development Planning (Component: Environmental Management) and adjoining property owners, be invited to the meetings;
 - (b) that the structure of the EMC and the intervals on which meetings must be conducted be discussed and decided on at the first meeting held by the committee;
 - (c) that the minutes of the meetings of the EMC and the committee's findings be made available to interested and affected parties, and that should any findings be of concern or be an indication of non-compliance with regards to the relevant legislation then the EMC should notify the relevant authority of the committees concerns/findings;
 - (d) that a study be submitted to the Senior Manager: Town & Spatial Planning indicating the sections of the existing excavations that can be rehabilitated without obstructing the functioning of the proposed mining activities, and
 - (e) that the rehabilitation of the river be continued and that further reports and photographic evidence be submitted to the Overstrand Town Planning Department, Environmental Services and Cape Nature;
4. that the additional conditions for the approval of paragraph 1. above must be complied with:
- (a) that all the conditions compiled by Eskom, Department of Transport and Public Works and the Department of Environmental Affairs and Development Planning, *Component: Environmental Management* be complied with;
 - (b) that all the conditions compiled in the Services Report be complied with; and
 - (c) that this approval does not absolve the applicant/operator of the proposed activity from complying with other legislation.
5. that, should the conditions in paragraphs 2., 3. and 4. not be adhered to, then the mining activity must cease until such time as when the conditions can be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

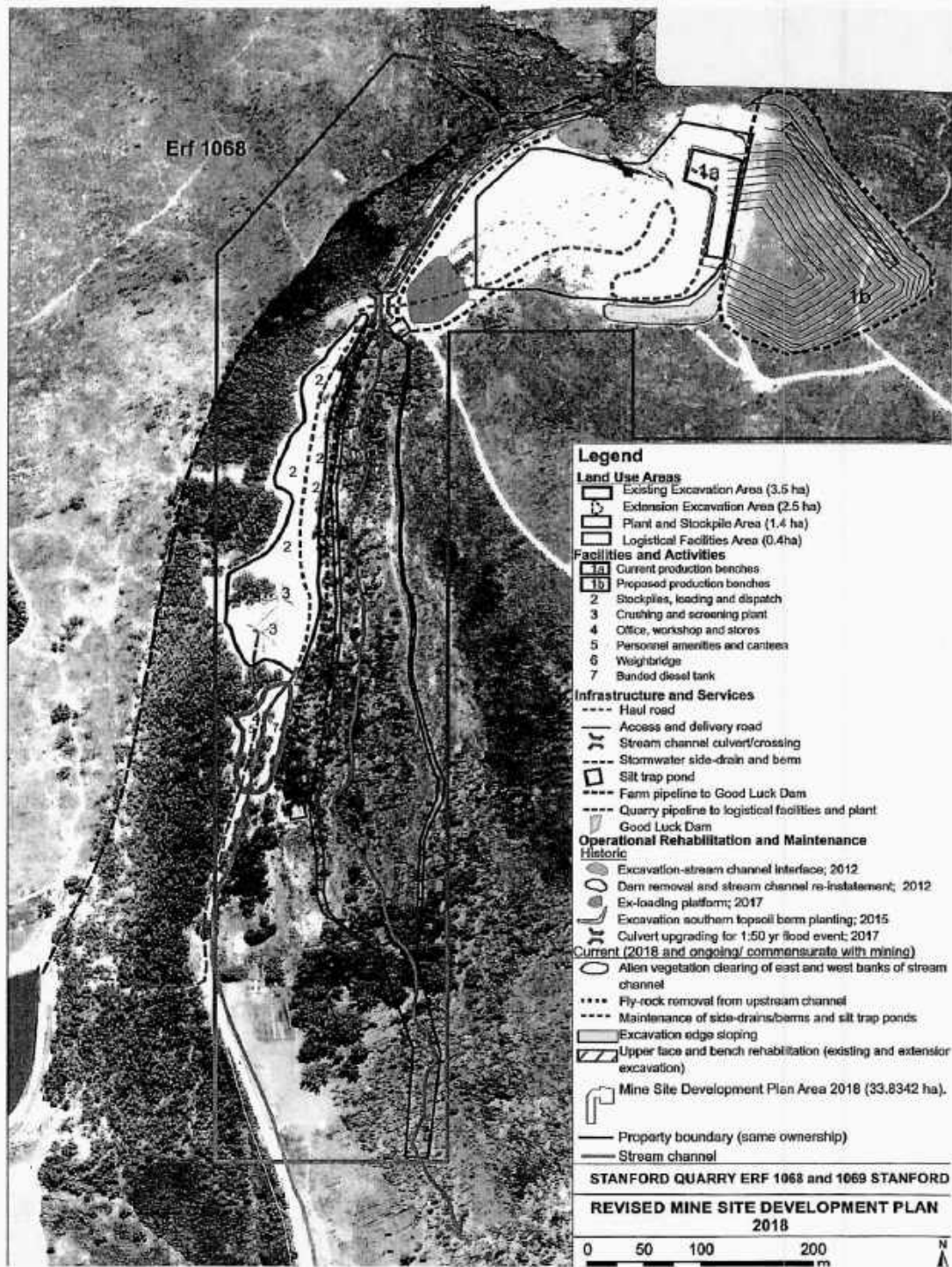
6. that the applicant/person(s) who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



Erf 1068 Stanford



Date: 2019-02-17



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF CONDITIONS OF EXISTING
APPROVAL: ERF 1068, STANFORD (4242)**

| | | |
|-------------------|---|-----------------------|
| Electricity | : | Eskom area |
| Stormwater | : | No services available |
| Water | : | No services available |
| Sewer | : | No services available |
| Roads and traffic | : | No services available |

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the proposed development on Erf 1068 is provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services, and to which the sewer services of the development must connect to;
6. that on-site parking be provided. The parking areas are to be provided as described by the Town Planning Scheme;
7. that, as no municipal sewerage removal services are rendered in the area, the owner is responsible for removal of all sewerage generated on the property, and disposal thereof at a licensed municipal sewerage treatment facility.

8. that, as no municipal refuse removal services are rendered in the area, the developer is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility.

D.P. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

31/05/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

6. **ERVEN 1600, 1601 AND 1602, BERGSIG STREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION TO DEVIATE FROM THE OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK (2006), REZONING, AMENDMENT OF CONDITIONS IN RESPECT OF AN EXISTING APPROVAL AND CONSOLIDATION: MESSRS PLAN ACTIVE ON BEHALF OF BLAZECOR TWENTY SEVEN CC**

1600, 1601 & 1602 HSB (4148)

H van der Stoep

(028) 313 8900

Hermanus Administration

1 August 2019

Executive Summary

An application was received on 21 August 2018 from Messrs Plan Active on behalf of Blazecor Twenty Seven CC applicable to Erven 1600, 1601 and 1602, Sandbaai for the following:

- ❖ Deviation from the Overstrand Municipality Spatial Development Framework (2006) in terms of Section 10 of the By-Law, as well as the provisions of the Municipal Systems Act, 2000 (Act No. 32 of 2000) in order to deviate from the reserved land use of Erf 1602, Sandbaai;
- ❖ Rezoning of Erf 1602, Sandbaai in terms of Section 16(2)(a) of the By-Law from Residential Zone 1: Single Residential to Industrial Zone 1: General Industry;
- ❖ Amendment of conditions in respect of an existing approval in terms of Section 16(2)(h) of the By-Law applicable to Erven 1600 and 1601, Sandbaai; and
- ❖ Consolidation of Erven 1600, 1601, 1602, Sandbaai in terms of Section 16(2)(e) of the By-Law in order to create one erf.

RESOLVED :

1. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), for the rezoning of Erf 1602, Sandbaai from Residential Zone 1: Single Residential to Industrial Zone 1: General Industry, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(h) of the By-Law for the amendment of conditions in respect of an existing approval applicable to Erven 1600 and 1601, Sandbaai to permit industrial land uses other than "storage", **be approved** in terms of the provisions of Section 61 of the By-Law;

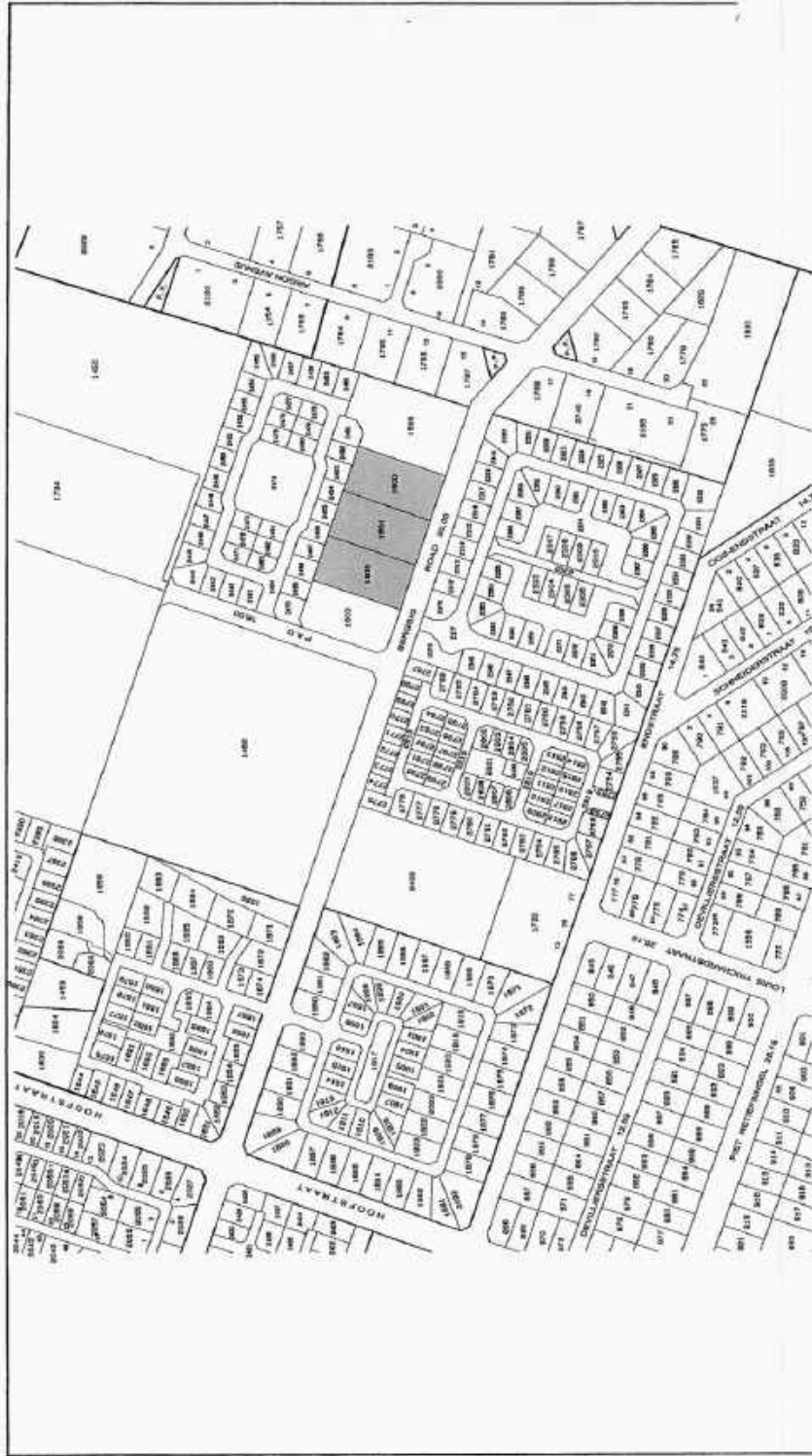
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

3. that the application in terms of Section 16(2)(e) of the By-Law, for the consolidation of Erven 1600, 1601, and 1602, Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approvals in Points 1. – 3. be subject to the following conditions:
 - (a) that the land use be limited to the Consolidation and Land Use Plan, Plan Number: sand1600(7).drw, dated: 07/2018;
 - (b) that the Bergzicht Street Property Development Design Guide Document (2017) be amended to include Erf 1602, Sandbaai, and submitted to the municipality for approval;
 - (c) that the following uses are not permitted:
 - heavy vehicle service station,
 - motor repair garage,
 - workshop which makes use of machinery that generates noise pollution and processes involving grinding, spray painting and woodworking,
 - building yard and brick-making.
 - (d) that the development adhere to the requirements of SANS10400T:2011 and Overstrand Community Fire Safety By-Law, P.N. 6454 of 2007;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Departments be complied with at that stage;
 - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (g) that all the conditions in the Services Report be complied with, and
 - (h) that all conditions imposed by Telkom be complied with.
5. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

**AGENDA of the
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18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

RECOMMENDATION TO THE COUNCIL:

that the application to deviate from the Overstrand Municipal Wide Spatial Development Framework, 2006, to change the reservation of Erf 1602, Sandbaai from “Residential” to “Industrial” **be approved** in terms of the provisions of Section 10 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, as well as the provisions of the Municipal Systems Act, 2000 (Act 32 of 2000).



| | | | |
|---|---|--|--|
| Plan Active Stads- en Streetsbeplanners Town & Regional Planners | Property Description: ERWE 1600 - 1602 SANDBAAI | | Scale: NTS Drawing Nr: sand160002.dwg Date: 08/2018 |
| | All distances approximate and subject to survey. COPY RIGHT RESERVED | | Plan Description: LOCALITY MAP |



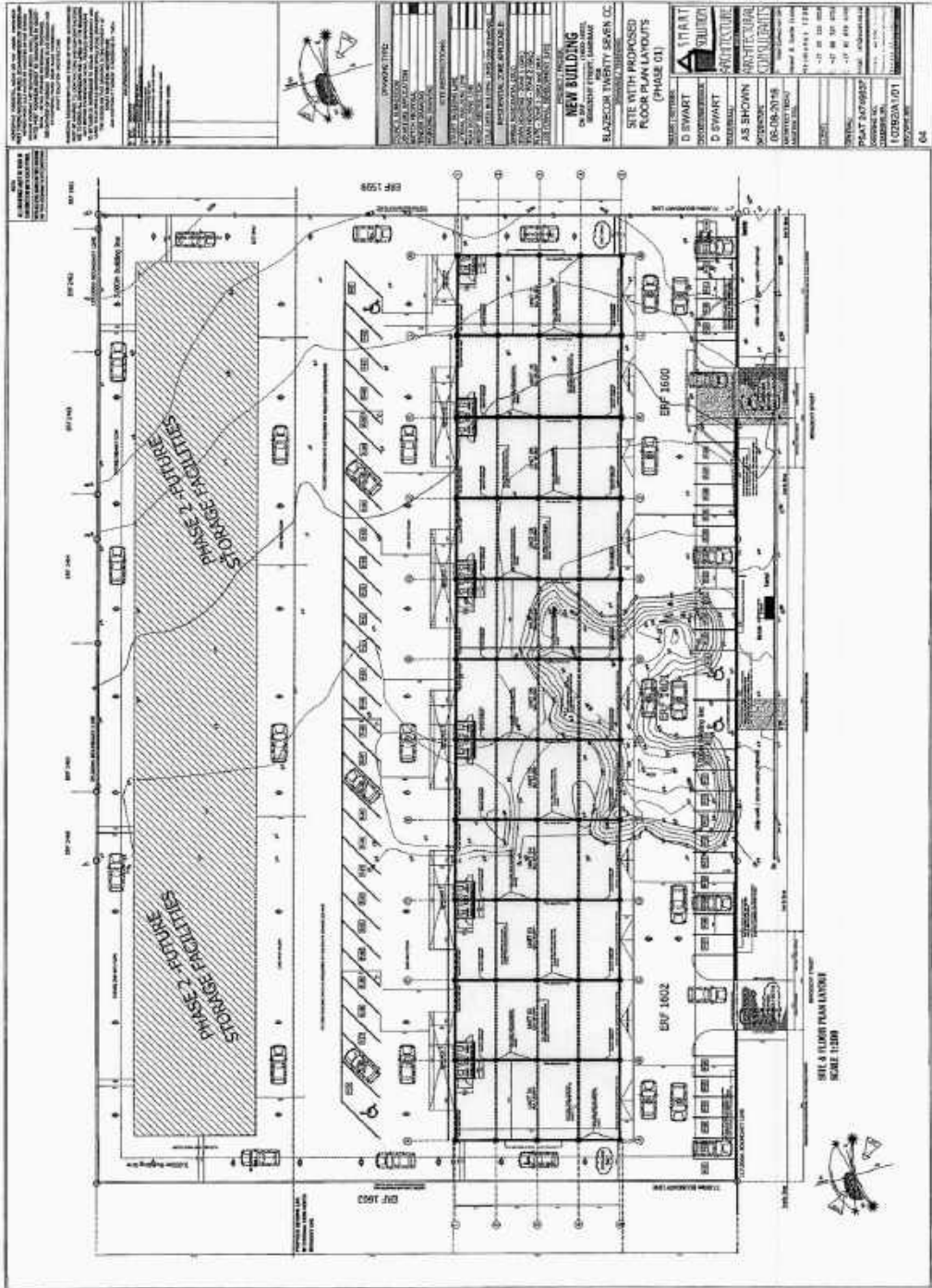
PIA **Active**
Stads- en Streeksopplanners
Town & Regional Planners

FOR OFFICIAL USE APPROVED
Must submit to Survey
COPY RIGHT RESERVED

PROPERTY DESCRIPTION:
**ERVEN 1600 - 1602
SANDBAAI**

Scale: 1:1000
Drawing No.: 1512/2013/001
Date: 07/2013

NO CONSOLIDATED
**PROPOSED
CONSOLIDATION
& LAND USE**



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT IN RESPECT OF AN EXISTING APPROVAL,
REZONING, CONSOLIDATION & AMENDMENT OF THE SPATIAL
DEVELOPMENT FRAMEWORK: ERF 1600, 1601 & 1602, SANDBAAI (4148)**

| | | |
|-------------------|---|-------------------------|
| Stormwater (SW) | : | In Order |
| Electricity | : | In Order |
| Water | : | According to GLS Report |
| Sewer | : | According to GLS Report |
| Roads and traffic | : | In Order |

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2018/2019) is as follows:

Freehold erven:

| | | |
|---------------------------------|------------------------|---------------------|
| Water | R 21 688.80 x 7.11616= | R 154 339.55 |
| Sewerage | R 14 623.16 x 7.11616= | R 104 060.75 |
| Roads | R 6 557.01 x 39.0605= | R 256 120.09 |
| Stormwater | R 7 565.79 x 4.003999= | R 30 293.42 |
| Solid Waste | R 1 311.40 x 4.105093= | <u>R 5 383.42</u> |
| TOTAL (inclusive of VAT) | = | R 550 197.23 |

Note:

- 1.3 **The above figures are estimates**
- 1.4 **The above figures do not include connection fees**
2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;

2 5 JUN 2019

- 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided:
- 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
- 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property:
 - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning:
 - 5.1 way-leaves must be obtained from the Operational Manager;
 - 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:

- 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
 8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
 9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
 10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
 11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;
 12. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for works of Civil Engineering Construction – 2010, of 12 months, and
 13. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
 14. that an approved refuse collection area/room to sufficiently accommodate the refuse generated by the development and which is to be proved with the following:
 - a. properly ventilated;

4

- b. a cement floor;
 - c. a tap and running water, as well as a drainage point which is connected to the sewer network;
 - d. at a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
15. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
 16. that the above stormwater management plan include the following:
 - 16.1. pre-development run-off from the catchment area;
 - 16.2. post-development run-off from catchment area;
 - 16.3. existing stormwater reticulation system and the capacity thereof;
 - 16.4. connection of internal stormwater reticulation system;
 - 16.5. overland escape routes;
 17. that the connection to the stormwater reticulation system be provided according to the stormwater management plan, by the developer at his cost and approved by Overstrand Municipality ;
 18. that any additional cost related to the upgrading of bulk civil services will be for the developer's account;
 19. that no on-street parking will be allowed;
 20. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer;
 21. that the proposed consolidated erf consisting of Erven 1600, 1601 & 1602 must be provided with an adequate sewer conservancy tank, which must comply with the standards and specification of the Department: Operational Services;
 22. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
 23. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
 24. that on-site parking facilities be provided as per Planning Schedule, and to the satisfaction of the Department: Operational Services;
 25. that any additional and / or extended vehicle entrances will be for the owner's account;

26. that the proposed development on Erf 1600, 1601 & 1602 be provided with a central refuse collection facility, which must comply with the standards of the Department Services (Hermanus)
27. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/06/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

7. PORTION 141 (A PORTION OF PORTION 133) OF THE FARM HANGKLIP NO. 559, CALEDON DIVISION: REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, CONSENT USE AND DEPARTURE: MESSRS ME PLANNERS ON BEHALF OF THE FREE LIFE TRUST

KHANG 141/559 (3896)

H van der Stoep

(028) 313 8900

Hermanus Administration

18 September 2019

Executive Summary

An application has been received on 23 January 2018 from ME Planners on behalf of the Free Life Trust on Portion 141 of the Farm Hangklip No. 559 for the following:

- ❖ Removal of restrictive title condition with reference to Clauses C.4. and C.13. of Title Deed T8920/2005 applicable to Portion 141 of the Farm Hangklip No 559 in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate an agricultural industry.

Restrictive conditions C.4. and C.13. contained in Title Deed T8920/2005 to be removed read as follows:

“C.4. No building shall be erected within 25,19 metres of any road or within 6,30 metres of any other boundary of the land.

C.13. No shop, public garages or filling stations, business premises, canteens, bioscopes, factory, or industrial buildings shall be erected on the land nor shall any such business or public entertainment be conducted on the land.”

- ❖ Departure in terms of Section 16(2)(b) the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the north eastern road building line with Porter Drive from 25,19m to 23,24m and street building line from 30m to 23,24m to accommodate a proposed distillery in an existing building.
- ❖ Consent use in terms of Section 16(2)(o) the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for an agricultural industry (distillery) to be accommodated in an outbuilding.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
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RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Portion 141 of the Farm Hangklip No 559 for the removal of restrictive Condition C.4. of Title Deed T8920/2005, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(f) of the By-Law on Portion 141 of the Farm Hangklip No 559 for the removal of restrictive Condition C.13. of Title Deed T8920/2005, **not be approved**, but be **amended** to read as follows:

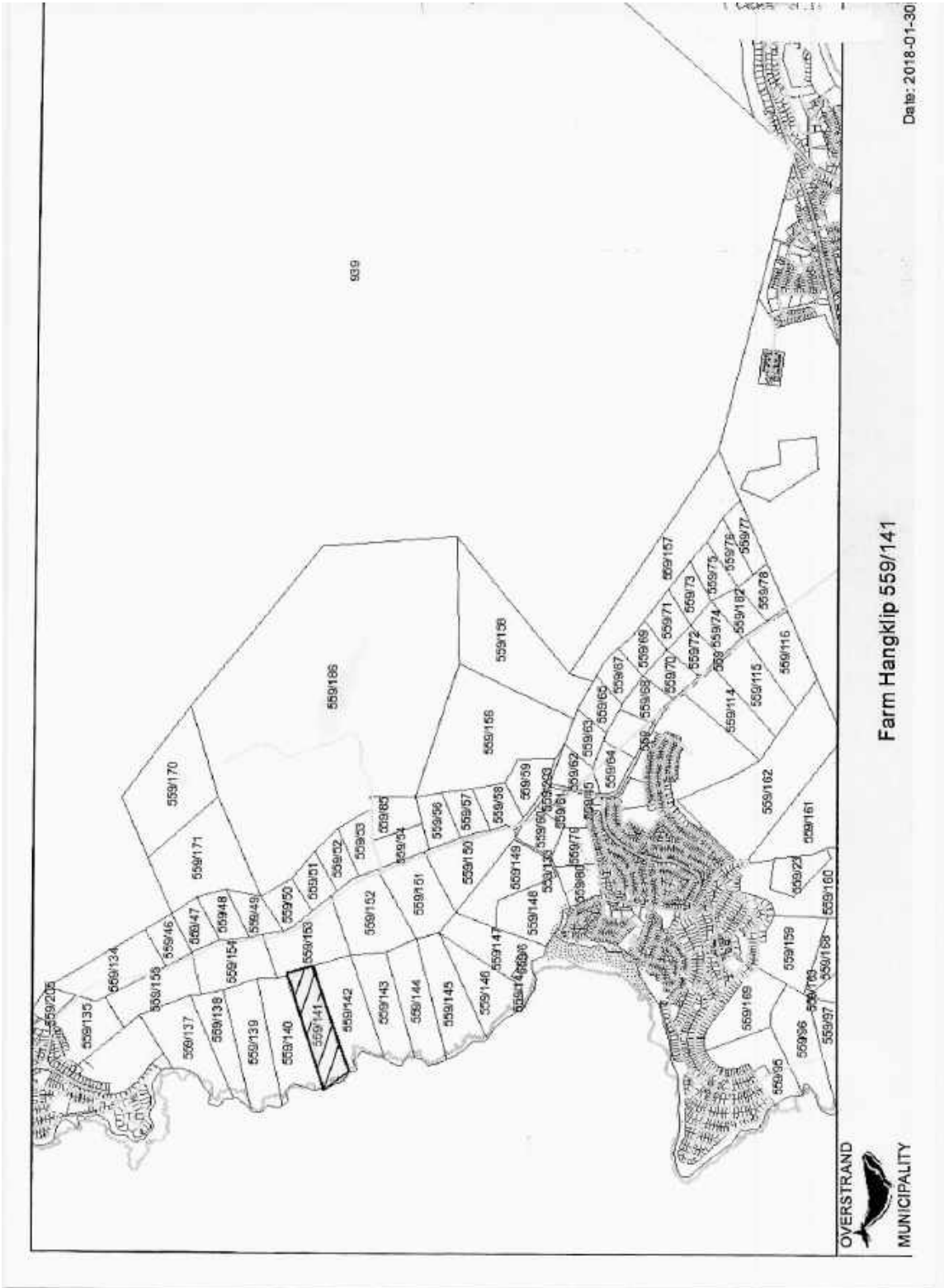
“No shop, public garages or filling stations, business premises, canteens, bioscopes, factory, or industrial buildings, shall be erected on the land, with exception of the craft distillery be conducted on the land.”
3. that the application in terms of Section 16(2)(b) of the By-Law on Portion 141 of the Farm Hangklip No 559 for a departure to relax the north eastern road building line with Porter Drive from 25,19m to 23,24m and street building line from 30m to 23,24m to accommodate a proposed distillery in an existing building, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(o) of the By-Law on Portion 141 of the Farm Hangklip No 559 for a consent use for an agricultural industry (restricted to a distillery of whiskey) to be accommodated in an outbuilding, **be approved** in terms of the provisions of Section 61 of the By-Law;
5. that the approval and amendment in Points 1. – 4. be subject to the following conditions:
 - (a) that the distillery be restricted to the stables and the 50m² extension thereof, as per Drawing No. 2017-025-001 dated 18 September 2017;
 - (b) that the amount of bottles produced not be more than a 1000 bottles per month;
 - (c) that the distillery may not be sold as a running concern and should the property be sold, the consent use for a distillery lapses;
 - (d) that an operational plan be submitted for approval by the Senior Manager : Town and Spatial Planning Department;
 - (e) that a waste management plan be submitted for approval by the Engineering Services Department and Breede-Gouritz Catchment Management Agency;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
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(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

- (f) that an Environmental Management Plan (EMP) be submitted for approval by the Environmental Management Department and Cape Nature;
- (g) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
- (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
- (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
- (j) that commercial rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (k) that the agricultural industry (restricted to a distillery of whiskey) complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (l) that signage complies with the Municipal By-Law on Signage;
- (m) that the agricultural industry be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (n) that all the conditions imposed by District Health, be complied with;
- (o) that all the conditions in the Services Report, be complied with;
- (p) that all the conditions imposed by Cape Nature, be complied with;
- (q) that all the conditions imposed by the Western Cape Government: EADP, be complied with;
- (r) that all the conditions imposed by the Western Cape Government: Transport & Public Works, be complied with, and
- (s) that all the conditions imposed by Breede-Gouritz Catchment Management Agency, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

6. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

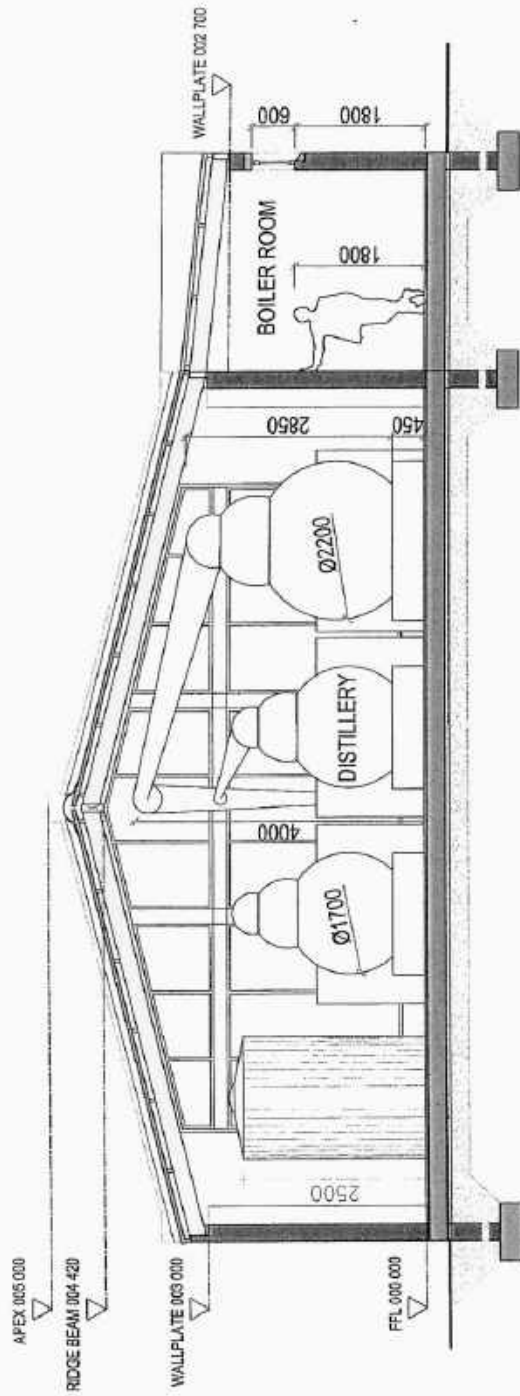




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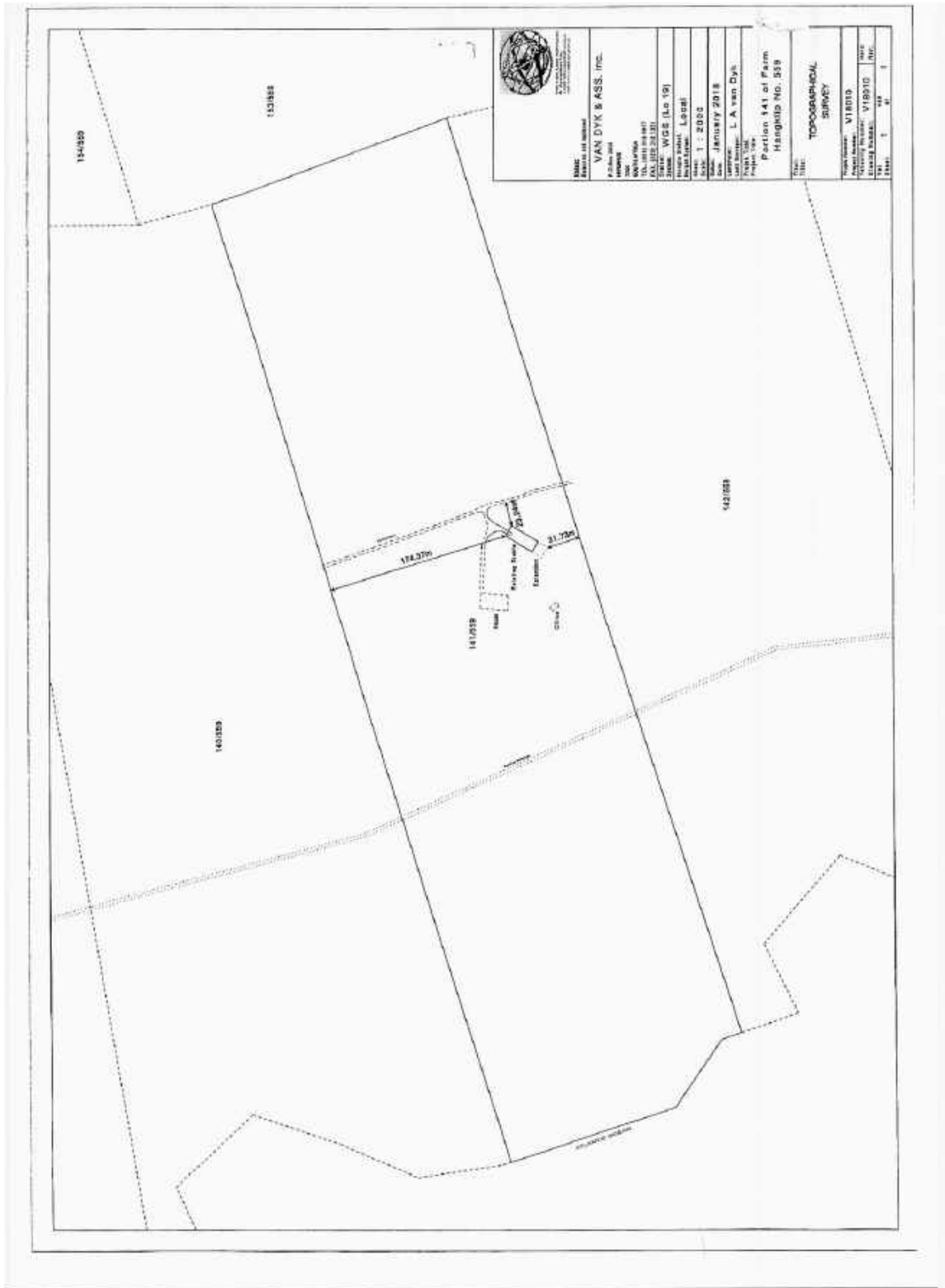
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julie@lynxdesigns.co.za

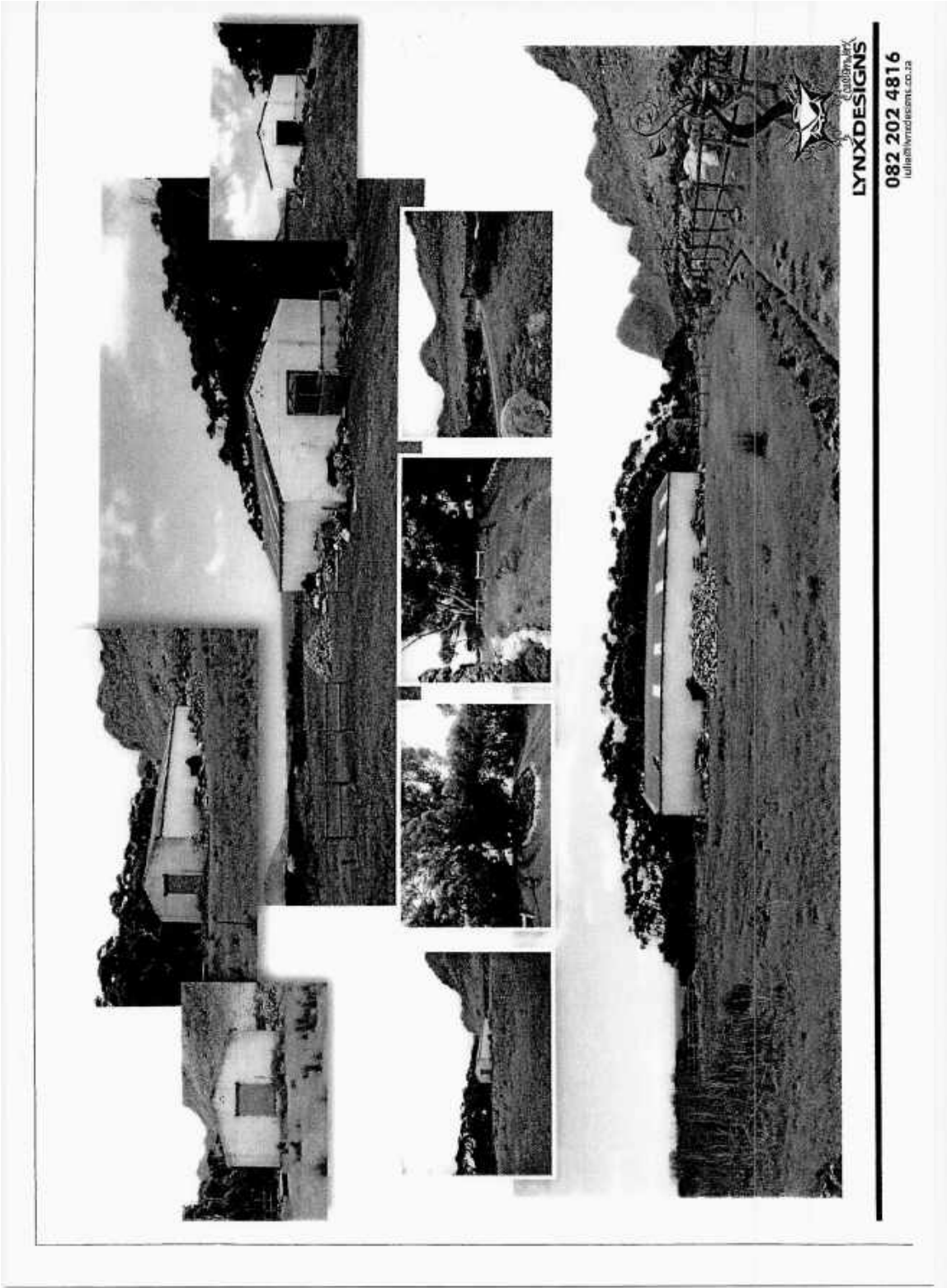
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SECTION AA
 SCALE 1:50

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| SECTION PRINALE ROCK DISTILLERY | DATE 2017-025 |
| DRAWING NO. 004 | SHEET NO. 004 |
| PROJECT NO. 2017-025 | PROJECT NAME PROPOSED PRINALE ROCK DISTILLERY PLANT PORTER GRAVE PRINALE |
| CLIENT PRINALE | ARCHITECT DYNXDESIGNS |





082 202 4816
info@lynxdesigns.co.za

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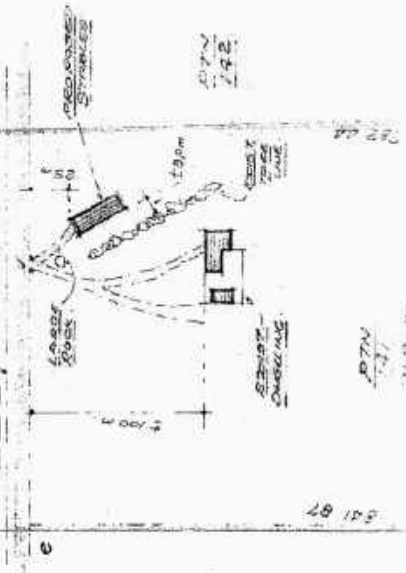
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DRIVER DRIVE
50' OF BOND
(8000'S)



DTN
740

541.87

NOTES:
 1. ALL JOIST AND TRUSS ROOF SUPPORTS
 TO BE 4" x 8" BRACKETS AT 1,100 C/S.
 2. ALL TRUSS TRUSSES (DESIGNED)
 TO BE 11x1.38 WOOD PLATE 11x1.38
 3. ALL JOIST AND TRUSS
 TO BE 300 x 300 AS SECTIONS
 4. ALL JOIST AND TRUSS
 TO BE 370 x 130 x 80

WALLS OF CONCRETE BLOCKS 370x130x80

HOUSE LOUW

PROPOSE STABLES AS OUTBUILDING
EXISTING DWELLING FOR
Mrs. G. LOUW ON PORTION 141
SECTION OF PORTION 133) OF THE
W. H. HING KLIP, DISTRICT CALEDON.

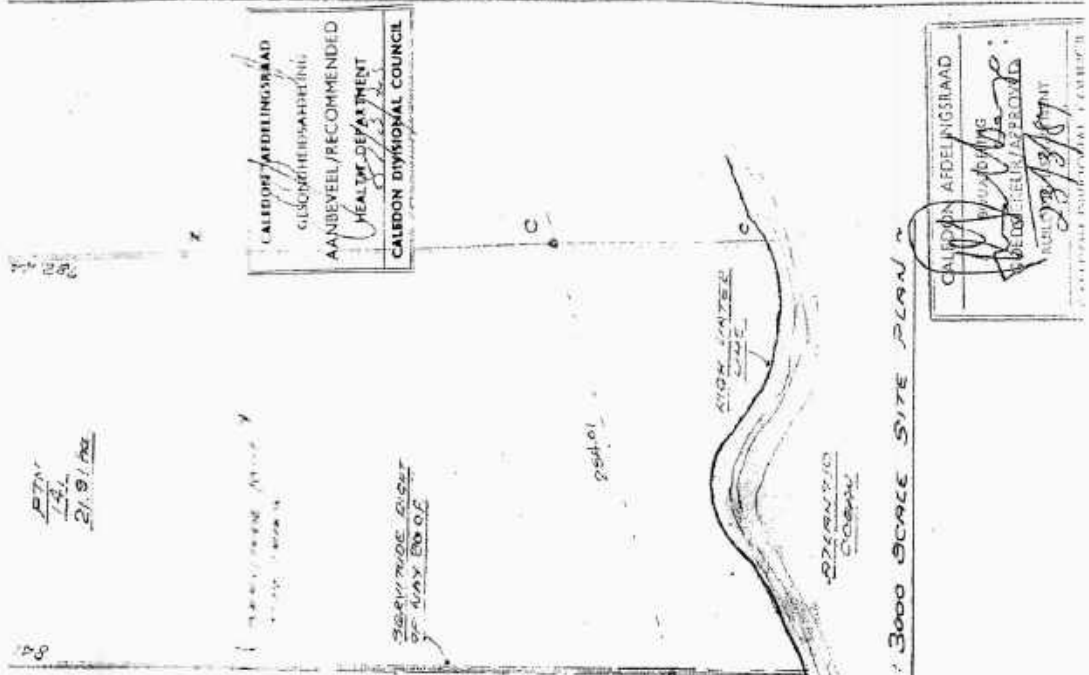
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JAN '86

OWNER: Mrs. G. Louw

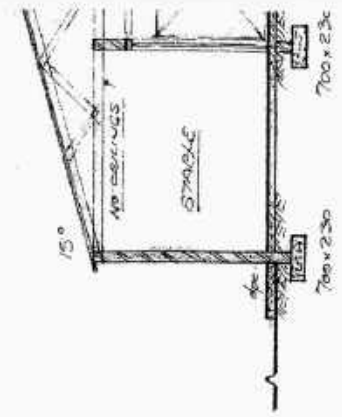
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R.A. WALLACE

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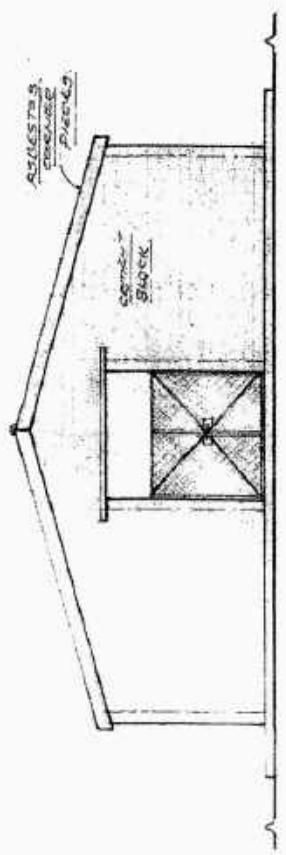


CALEDON AFDELINGSRAAD
GLICHTERSAARDELENING
AANBEVEEL/RECOMMENDED
HEALTH DEPARTMENT
CALEDON DIVISIONAL COUNCIL

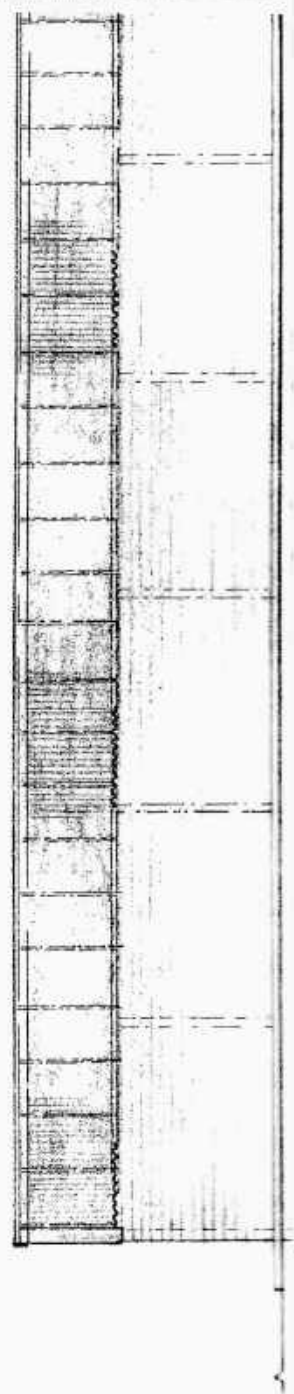
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HEALTH DEPARTMENT
CALEDON DIVISIONAL COUNCIL



SECTION 01



END ELEVATIONS



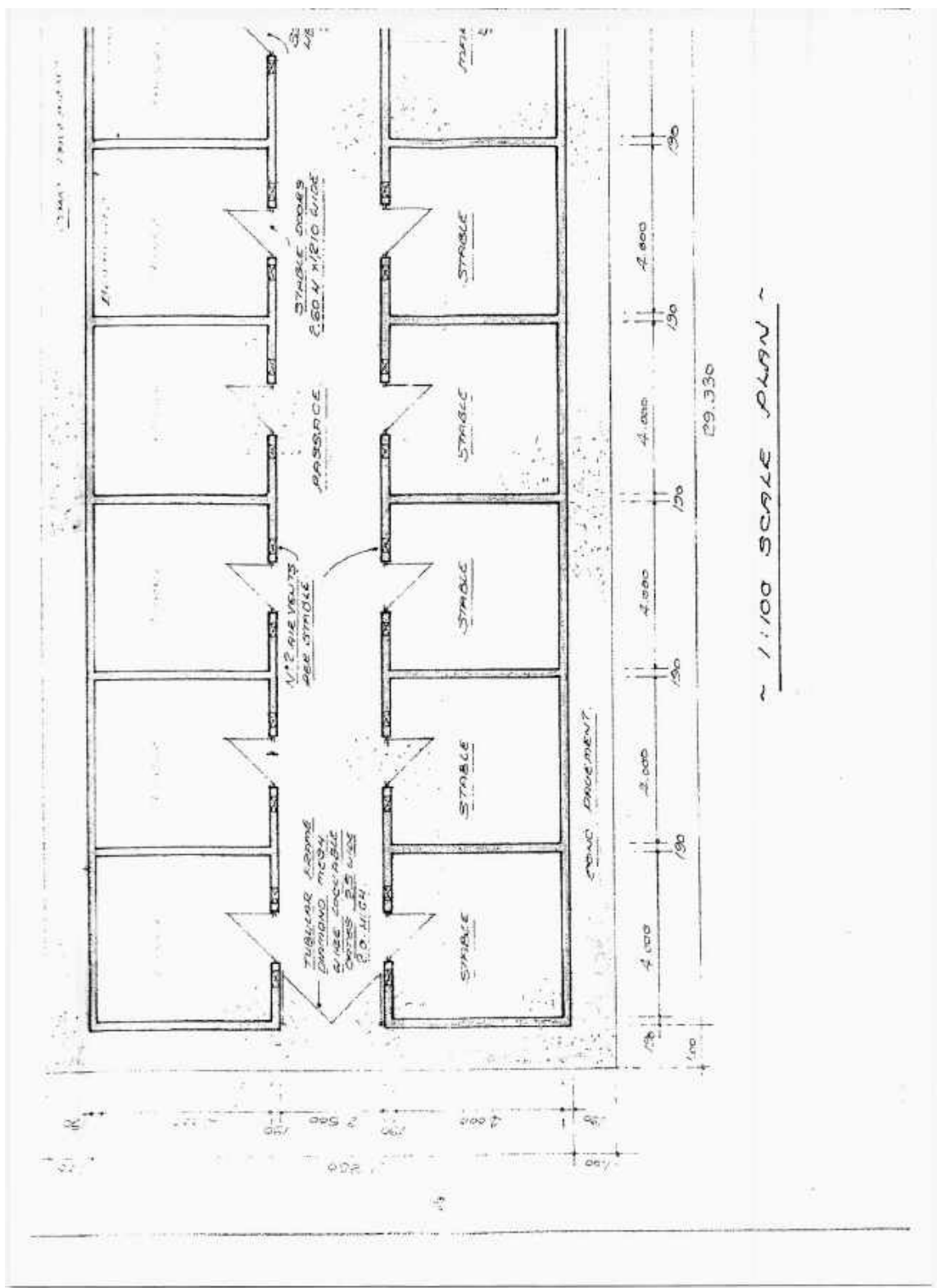
SIDE ELEVATIONS

1/2" = 1'-0"

1/4" = 1'-0"

1/8" = 1'-0"

1/16" = 1'-0"



~ 1:100 SCALE PLAN ~

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL, CONSENT USE AND DEPARTURE: PORTION
141 OF THE FARM HANGKLIP NO.559, PRINGLE BAY (3896)**

| | | |
|------------------|---|----------------------|
| Water | : | No Service Available |
| Electricity | : | ESKOM Area |
| Sewer | : | No Service Available |
| Roadsand Traffic | : | No Service Available |
| Stormwater | : | No Service Available |

Conditions:

1. that no Municipal service are available to the subject property.
2. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
3. that no water from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the developer complies to all the conditions that may be set by Department Of Water Affairs & BOCMA;
6. that a parking layout plan be submitted for approval and be implemented by the developer at his cost to the satisfaction of the Manager: Engineering Services;


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
18 February 2020
(Also the agenda for the Mayoral Committee Meeting : 26 February 2020)**

8. **ERF 9854, 241 ELEVENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS TV3 PROJECTS (PTY) LTD ON BEHALF OF GROTTO BEACH VILLA (PTY) LTD**

9854 HVK (2970)

P Roux

27 September 2019

(028) 313 8900

Hermanus Administration

Executive Summary

An application for consent use was received on 22 February 2019 from Messrs TV3 Projects (Pty) Ltd on behalf of Grotto Beach Villa (Pty) Ltd in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 in order to conduct a self-catering unit consisting of two (2) bedrooms for tourists at the first floor level of the dwelling unit.

RESOLVED :

1. that the application for consent use on Erf 9854, Hermanus in terms of Section 16(2)(o) of the Overstrand Municipal Land Use Planning By-Law, 2015 in order to conduct a self-catering unit consisting of two bedrooms for tourists accommodation at the first floor level of the dwelling unit, **not be approved** in terms of the provisions of Section 61 of the By-Law;
2. subject to the non-approval in point 1 above the following must be adhered to:
 - (a) the property owner must cease the use of the property for tourism accommodation immediately and remove all advertising.
3. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Notation:

Cadastral information obtained from Surveys and Mapping (DRDLR).

Aerial Photography obtained from Surveys and Mapping (DRDLR).

All areas and dimensions are approximate and should be verified by a professional land surveyor.

This drawing is the property of TV3 Architects and Town Planners (Pty) Ltd and copyright is reserved.

tv
ARCHITECTS AND TOWN PLANNERS

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**Erf 9854,
 Hermanus**


| | | | | | |
|--------------|--------------|--------|-------------|----------|----|
| Drawing: | Locality Map | | Plan no.: | 1 | |
| Date: | 14/02/2019 | Scale: | 1:2000 (A4) | | |
| Project no.: | 3819-P | Drawn: | WH | Checked: | CH |

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 9854, VOELKLIP (2970/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE