

**PORTFOLIO COMMITTEE :
INFRASTRUCTURE & PLANNING**

Chairperson :

Cllr E Gillion

Committee Members :

**Cllrs D Botha, J Orban,
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :
INFRASTRUKTUUR & BEPLANNING**

Voorsitter :

Rdl E Gillion

Komiteelede :

**Rdle D Botha, J Orban,
S Tebele & V Pungupungu**

INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE
INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE

20 August 2019

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(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: MAY 2019 – JULY 2019**

15/3/11

R van Antwerp
17 July 2019

(028) 313 8039

Hermanus Administration

1. Executive Summary

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 16 May 2019 – 17 July 2019.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

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9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

RECOMMENDATION:

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 16 May 2019 – 17 July 2019:

Spatial Land Use Management Act (SPLUMA) Approvals

- | | | |
|-----|---|--------------|
| 1. | Erven 193 and 12254, 77 & 79 Church Street, Westcliff, Hermanus | 3 April 2019 |
| 2. | Remainder Erf 5423 and Erf 7666, 23 & 21 Fifth Street, Voëlklip, Hermanus | 23 May 2019 |
| 3. | Erf 5139, 110 Porter Drive, Betty's Bay | 23 May 2019 |
| 4. | Erf 4894, 29 Seventh Street, Kleinmond | 23 May 2019 |
| 5. | Erf 2752, 152 Seventh Street, Voëlklip, Hermanus | 3 June 2019 |
| 6. | Erf 277, 65 Cliff Street, De Kelders | 5 June 2019 |
| 7. | Erf 2860, cnr Bergsig Street and Schulphoek Road, Sandbaai | 5 June 2019 |
| 8. | Erf 43, 6 Onse Baai, Van Dyksbaai, Gansbaai | 5 June 2019 |
| 9. | Erf 2643, 19 Dageraad Street, Pearly Beach | 5 June 2019 |
| 10. | Erf 4589, 3 Kingsway Crescent, Onrustrivier | 10 June 2019 |
| 11. | Erf 2353, 44 Krige Street, Onrustrivier | 10 June 2019 |
| 12. | Erven 12199 and 10963, cnr Main Road & Mussel Street, Hermanus | 10 June 2019 |
| 13. | Erven 5543 and 5456, Negester Retirement Village, Onrustrivier | 10 June 2019 |
| 14. | Erf 1779, 8 Hilton Circle, Pringle Bay | 10 June 2019 |
| 15. | Erven 8650 and 8651, Harbour Road, Kleinmond | 11 June 2019 |
| 16. | Erf 3003, 81 Atlantic Drive, Onrustrivier | 21 June 2019 |
| 17. | Erven 1192 – 1196, Klipfonteyn, Gansbaai | 24 June 2019 |
| 18. | Erf 2045, , Slovo Street, Masakhane, Gansbaai | 24 June 2019 |
| 19. | Erf 2123, 57 Fifth Street, Voëlklip, Hermanus | 24 June 2019 |
| 20. | Erf 4126, 300 Ninth Street, Voëlklip, Hermanus | 28 June 2019 |
| 21. | Erf 1951, Stanhaven, Stanford | 28 June 2019 |
| 22. | Portions 26 and 27 of the farm Modder Rivier No. 654 | 28 June 2019 |
| 23. | Erf 3779, 143 Frist Avenue, Kleinmond | 28 June 2019 |

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- | | | |
|-----|---|--------------|
| 24. | Erf 1906, Mamsukwini Street, Zwelihle | 28 June 2019 |
| 25. | Erven 647, 649, 651 and 5677, c/o Lon and Paterson Street, Northcliff, Hermanus | 28 June 2019 |
| 26. | Erven 1476 and 1477, 28 James Avenue and 4 Lawrence Road, Pringle Bay | 28 June 2019 |
| 27. | Erf 1690, 14 Bergzicht Complex, Bergsig Street, Sandbaai | 28 June 2019 |
| 28. | Erf 3391, 13 Fifteenth Avenue, Kleinmond | 28 June 2019 |
| 29. | Erf 1824, Schulphoek Guesthouse, 181 Piet Retief Crescent, Sandbaai | 28 June 2019 |
| 30. | Erf 598, 16 Duiker Street, Vermont | 28 June 2019 |
| 31. | Erf 2741, Lipkin Road, Betty's Bay | 8 July 2019 |
| 32. | Erf 3506, 45 Viljoen Street, Onrustrivier | 11 July 2019 |
| 33. | Erf 2977, 25 Protea Street, Onrustrivier | 11 July 2019 |
| 34. | Erf 7342, 306 Tenth Street, Voëklip, Hermanus | 11 July 2019 |
| 35. | Erf 7582, 43 Rocklands Street, Westcliff, Hermanus | 12 July 2019 |

Municipal Planning Tribunal

- | | | |
|----|--|-------------|
| 1. | Erf 857, 24 Loop Street, Franskraal | 30 May 2019 |
| 2. | Portion 63 of the farm Rocklands No. 633 | 30 May 2019 |
| 3. | Erf 6879, 29 Cross Street, Eastcliff, Hermanus | 30 May 2019 |
| 4. | Erf 572, 13 Duiker Street, Vermont | 30 May 2019 |
| 5. | Farm No 357, Division Bredasdorp | 1 July 2019 |

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

18 SEPTEMBER 2019

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Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: MAY 2019 – JULY 2019**

15/3/11

**R van Antwerp
17 July 2019**

(028) 313 8039

Hermanus Administration

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON
20 AUGUST 2019, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

18 SEPTEMBER 2019

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Spatial Land Use Management Act (SPLUMA) Approvals

1. **ERVEN 193 AND 12254, 77 & 79 CHURCH STREET, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, DEVIATION FROM THE SPATIAL DEVELOPMENT FRAMEWORK, REZONING, CONSOLIDATION, AMENDMENT OF THE SITE DEVELOPMENT PLAN, AND AMENDMENT OF CONDITIONS OF APPROVAL: MESSRS PLANACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF THE L & R FAMILY TRUST**

193 & 12254 HWC (3961)

**H van der Stoep
19 March 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

A request has been received in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on 5 March 2019 from Messrs PlanActive Town- and Regional Planners on behalf of The L & R Family Trust, applicable to Erven 193 and 12254, Hermanus for the re-evaluation of conditions (g), (h) and (i) as per the decision letter dated 13 February 2019:

- (g) that the paving on the road reserve that indicates parking bays on Church and Arundal Streets be landscaped to prohibit the parking of vehicles, but still leave some space for a pedestrian sidewalk;
- (h) that the section along Church and Arundel Streets of the medical facility be curbed in such a manner to prohibit vehicle access. This be done in conjunction with the Operational Department to the cost of the applicant, and
- (i) that the difference colour pavers be removed and replaced with similar pavers as the rest of the paved area at the applicant's cost.

RESOLVED :

- 1. that the application for the amendment and deletion of conditions (g), (h) and (i) applicable to Erven 193 and 12254, Hermanus, in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:
 - ❖ that the amendment of conditions (g) and (h) as per the proposal plan dated 02/2019, be accepted; and

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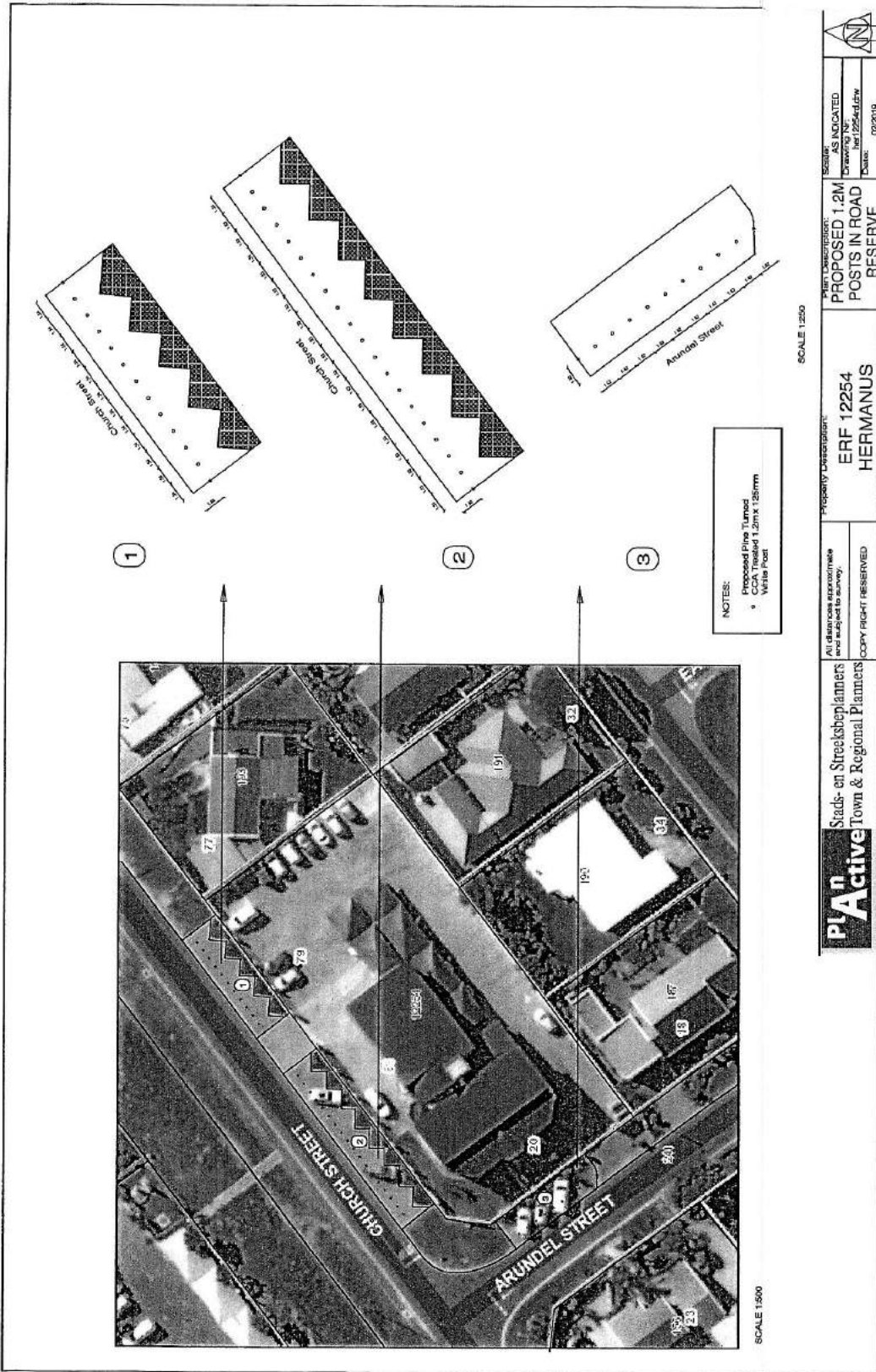
❖ that condition (i) be removed.

be approved in terms of the provisions of Section 61 of the By-Law subject to the confirmation and approval of the Operational Department that all regulations have been complied with the construction of the posts, and

2. that all the other conditions as stipulated in the approval letter dated 13 February 2019 remains applicable.



Stads- en Streeksbeplanners Town & Regional Planners	Property Description: ERVEN 12254 & 193 HERMANUS		Plan Description: LOCALITY MAP	Scale: NTS
	All distances approximate and subject to survey. COPY RIGHT RESERVED		Drawing Nr: her12254.drw	Date: 03/2018



NOTES:
 Proposed Pine Turned
 1.2M Posts
 1.2M Posts
 White Post

SCALE 1:250

SCALE 1:500



SCALE: AS INDICATED
 DRAWN BY: [Name]
 DATE: 09/2019

PROJECT DESCRIPTION:
**PROPOSED 1.2M
 POSTS IN ROAD
 RESERVE**

PROPERTY DESCRIPTION:
**ERF 12254
 HERMANUS**

ALL DIMENSIONS APPROXIMATE
 AND SUBJECT TO SURVEY.
 COPYRIGHT RESERVED

PLAN Active
 Town & Regional Planners

From: "Dennis Hendriks" <dhendriks@overstrand.gov.za>
To: "Plan Active" <planactive@maxitec.co.za>
CC: "Ricardo Andrew" <rاندrew@overstrand.gov.za>, "Riaan Kuchar" <riaan@over...>
Date: 2019/03/05 08:46 AM
Subject: RE: Erwe 193 & 12254 Hermanus

More John,

In beginsel behoort die voortstel nie 'n probleem te wees nie mits , die beginsel bly dat ons nie van padreserwe gebruik kna maak vir parkering nie. Ek vra Ricardo om die nodige aanpassings te maak.

Groete

Dennis Hendriks
Senior Manager: Engineering Services
Tel no: 028 313 5059
Cell no: 082 416 8676
Fax no: 028 316 3721

Overstrand Municipality

A: 1 Magnolia Street, Hermanus, 7200 | P: P.O Box 20, Hermanus, 7200
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Vision Statement: "To be a centre of excellence for the community"

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Please consider the environment before printing this correspondence.

>>> <planactive@maxitec.co.za> 2019/03/05 08:10 >>>

Goeiemore Dennis, die e-pos hieronder van Dr. Rinus Beukes asook ons e-pos hieronder gedateer 1Maart 2019 verwys.

Soos u uit die skrywe hieronder kan aflei is Dr. Rinus Beukes onder groot druk om spoedig te begin met die konstruksie van die addisionele voorgestelde spreekkamers maar sal daar eers uitsluitel gekry moet word ten opsigte van die goedkeurings voorwaardes wat ons in ons e-pos hieronder lys.

Ons sal dit baie waardeer as u die aangeleentheid as 'n saak van dringendheid kan hanteer en so spoedig moontlik vir ons en Mnr. Riaan Kuchar van u kommentaar voorsien.

Hanneen van der Stoep - Re: Erwe 193 & 12254 Hermanus

From: Ricardo Andrew
To: planactive@maxitec.co.za
Date: 2019/03/07 04:03 PM
Subject: Re: Erwe 193 & 12254 Hermanus
Cc: Miliswa Mantyi; Dennis Hendriks; Helgaardt Boshoff; Riaan Kuchar; Ti...
Attachments: IMAGE.jpeg; IMAGE.jpeg

Goeie Dag

1. Ek weer na die Ingenieursdepartement se voorwaardes vir beide aansoeke gekyk.
2. Ons verwaardes vir die konsolidasie van was op 9 Nov 2015 (Erwe 11463 & 192) en 24 Oktober 2018 (Erwe 193& 122454) geteken.
3. In beide gevalle bevat die voorwaardes geen van die kommentaar wat u hieronder aangedui het nie.
4. Ons het dus nie nodig om ons oorspronlike kommentaar te verander nie.

Ons het egter in beginsel geen beswaar teen die voorstelle nie.

Groete

Ricardo Andrew
 Manager: **Engineering Services**
 Tel: (028) 313 5073
 Fax: (028) 313 0760
 E: randrew@overstrand.gov.za



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Vision Statement: *"To be a centre of excellence for the community"*

>>> <planactive@maxitec.co.za> 2019/03/05 11:09 >>>

Goeiedag Ricardo,

U telefoongesprek met Natasha verwys. Hieronder is die voorwaardes waarna daar verwys word in die goedkeuringsbrief soos wat u versoek het.

- (g) *that the paving on the road reserve that indicates parking bays on Church and Arundel Streets be landscaped to prohibit the parking of vehicles, but still leave some space for a pedestrian sidewalk;*
- (h) *that the section along Church and Arundel Streets of the medical facility be curbed in such a manner to prohibit vehicle access. This be done in conjunction with the Operational Department to the cost of the applicant;*
- (i) *that the difference colour pavers be removed and replaced with similar pavers as the rest of the paved area at the applicant's cost, and*

Vriendelike groete

John Mc Lachlan

Tch.Plm B/8250/2014

MSAPI Nr.10908



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Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

2. **REMAINDER ERF 5423 AND ERF 7666, 23 AND 21 FIFTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, SUBDIVISION, CONSOLIDATION AND DEPARTURE: MESSRS PLANACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF LCA AND JA SCHAILLEE AND F MARKRAM**

Rem 5423 & 7666 HVK (4151)

**SW van der Merwe
20 May 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

The following applications have been received on 21 September 2018 from Messrs PlanActive Town- and Regional Planners on behalf of LCA and JA Schaillee and F Markram applicable to Remainder Erf 5423 and Erf 7666, Hermanus (Voëlklip):

- ❖ Application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of conditions D. and H. as contained in Title Deed T40768/2014 applicable to Remainder Erf 5423, Hermanus, as well as conditions D., E.(b) and G. as contained in Title Deed T51969/2008 applicable to Erf 7666, Hermanus for the ; subdivision of Erf 7666, Hermanus into two (2) portions; as well as to remove the restraining right of use servitude clauses from both the Title Deeds of the subject properties to effect the said subdivision and consolidation.

Clauses D. and H. as contained in Title Deed T40768/2014 applicable to Remainder Erf 5423, Hermanus read as follows:

“D. ***SUBJECT FURTHER*** to the Conditions of Sale imposed by the Mossel River Estate Company Limited, and contained in Deed of Transfer Number T1129/1935, Number (iv) whereof reads as follows:

- (iv) “*THE Company reserves to itself the sole right to all water arising on or flowing over the Company’s property. There shall, however, be excluded from this reservation any water obtained by the Owner of any land within the Township by means of Wells or boreholes sunk on such land.*”

And Numbers (i) and (iii) whereof relate to Laws and Local Rules and Regulations and to roads, drains, culverts, and the distance buildings and outbuildings have to be from any road or avenue.”

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“H. **ENTITLED** to the benefits of the servitude referred to in the endorsement dated 11 May 2005 on Deed of Transfer Number T31698/1999 endorsement reading as following:

By Notarial Deed of Servitude Number K404/2005S the owner of the within mentioned property, namely Remainder Erf 5423 Hermanus in extent 535 square metres and all successors-in-title is entitle to a servitude right of use 7,7m wide, the north eastern boundary pf which runs parallel to and along the entire length of the line marked DC on diagram SG 7974/1997 annexed to Certificate of Registered Title Number T81933/1998 over Erf 7666 Hermanus in extent 496 square metres held Deed of Transfer Number T36198/2005 as will more fully appear from said Notarial Deed.”

Clauses D., E.(b) and G. as contained in Title Deed T51969/2008 applicable to Erf 7666, Hermanus, read as follows:

“D. **SUBJECT FURTHER** to the Conditions of Sale imposed by the Mossel River Estate Company Limited, and contained in Deed of Transfer Number T1129/1035, No (iv) whereof reads as follows:

(iv) *“THE Company reserves to itself the sole right to all water arising on or following over the Company’s property. There shall, however, be excluded from this reservation any water obtained by the Owner of any land within the Township by means of Wells or Boreholes sunk on such land.”*

And Numbers (i) and (iii) whereof relate to Laws and Local Rules and Regulations and to roads, drains, culverts, and the distance buildings and outbuildings have to be from any road or avenue.”

“E.(b) *“the said property may not be subdivided except with the consent of the Transferor Company.”*

“G. **SUBJECT FURTHER** as contained in Deed of Transfer No. T36198/2005 to the following servitude namely the right of use over that portion of the aforesaid erf 7,5 (Seven comma five) metres wide the north eastern boundary of which runs parallel to and along the entire length of the line marked DC on Diagram S.G No 7974/1997 annexed to Certificate of Registered Title No T81933/1998 in favour of the owner and his successors in title of Remainder Erf 5423 Hermanus in the Overstrand Municipality, Caledon Division, Western Cape Province, as will more fully appear from Notarial Deed Servitude No K404/2005S.”

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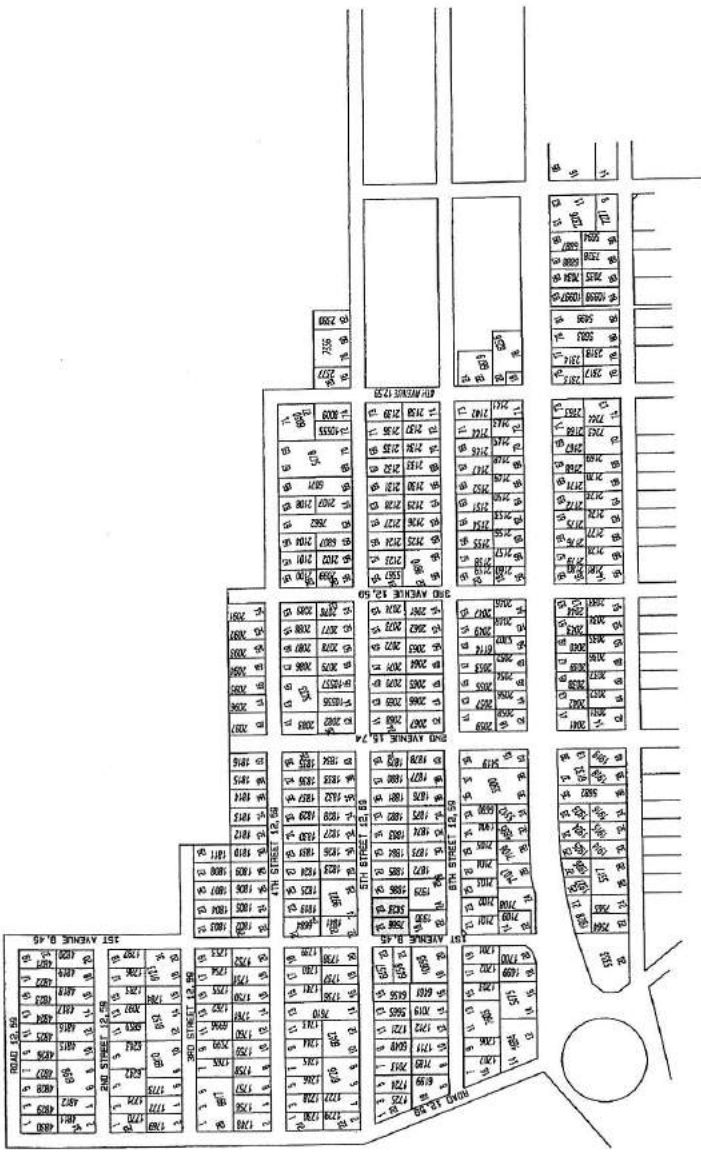
- ❖ Application in terms of Section 16.(2)(d) of the By-Law for the subdivision of Erf 7666, Hermanus into two (2) portions, namely Portion A (measuring $\pm 120\text{m}^2$) and a remainder (measuring $\pm 379\text{m}^2$);
- ❖ Application in terms of Section 16.(2)(e) of the By-Law for the consolidation of the above proposed Portion A with Remainder Erf 5423, Hermanus, and
- ❖ Application for departure in terms of Section 16(2)(b) of the By-Law comprising the following:
 - (a) the relaxation of the northern lateral building line of the proposed Portion A from 2m to 0m to retain the position of the existing garage, and the relaxation of the southern lateral building line of the Proposed Portion A from 2m to 0m to accommodate the extension of the existing garage up to the relevant boundary, and
 - (b) to exceed the maximum allowable length of outbuildings that encroach lateral building lines from 9m to $\pm 11,24\text{m}$ to accommodate the garage on the northern- and southern lateral boundaries of the proposed Portion A.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of conditions D. and H. as contained in Title Deed T40768/2014 applicable to Remainder Erf 5423, Hermanus, as well as conditions D., E.(b) and G. as contained in Title Deed T51969/2008 applicable to Erf 7666, Hermanus for the subdivision of Erf 7666, Hermanus in two (2) portions, t, as well as to accommodate the removal of the restraining right of use servitude clauses from both the Title Deeds of the subject properties in order to effect the said subdivision and consolidation, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16.(2)(d) of the By-Law for the subdivision of Erf 7666, Hermanus into two (2) portions, namely Portion A (measuring $\pm 120\text{m}^2$) and a Remainder (measuring $\pm 379\text{m}^2$), **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16.(2)(e) of the By-Law for the consolidation of the above Portion A with Remainder Erf 5423, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(b) of the By-Law for departure to:

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- (a) relax the northern lateral building line of the above Portion A from 2m to 0m to retain the position of the existing garage, and the relaxation of the southern lateral building line of the above Portion A from 2m to 0m to accommodate the extension of the existing garage up to the relevant boundary; and
 - (b) to exceed the maximum allowable length of outbuildings that encroach lateral building lines from 9m to $\pm 11,24$ m to accommodate the garage on the northern- and southern lateral boundaries of the above Portion A,
be approved in terms of the provisions of Section 61 of the By-Law;
5. that the approvals in 1., 2. 3., and 4. above be subject to the following conditions:
- (a) that this approval is for the development as indicated on Plan No VOELKLIP5423 dated SEPTEMBER 2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all the applicable conditions of Engineering Services and Telkom respectively, be complied with;
 - (d) that the Senior Manager Town and Spatial Planning be furnished with a coverage certificate from a professional Land Surveyor in respect of the existing development on the remainder of Erf 7666, Voëlklip prior to the issue of a transfer certificate;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
6. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



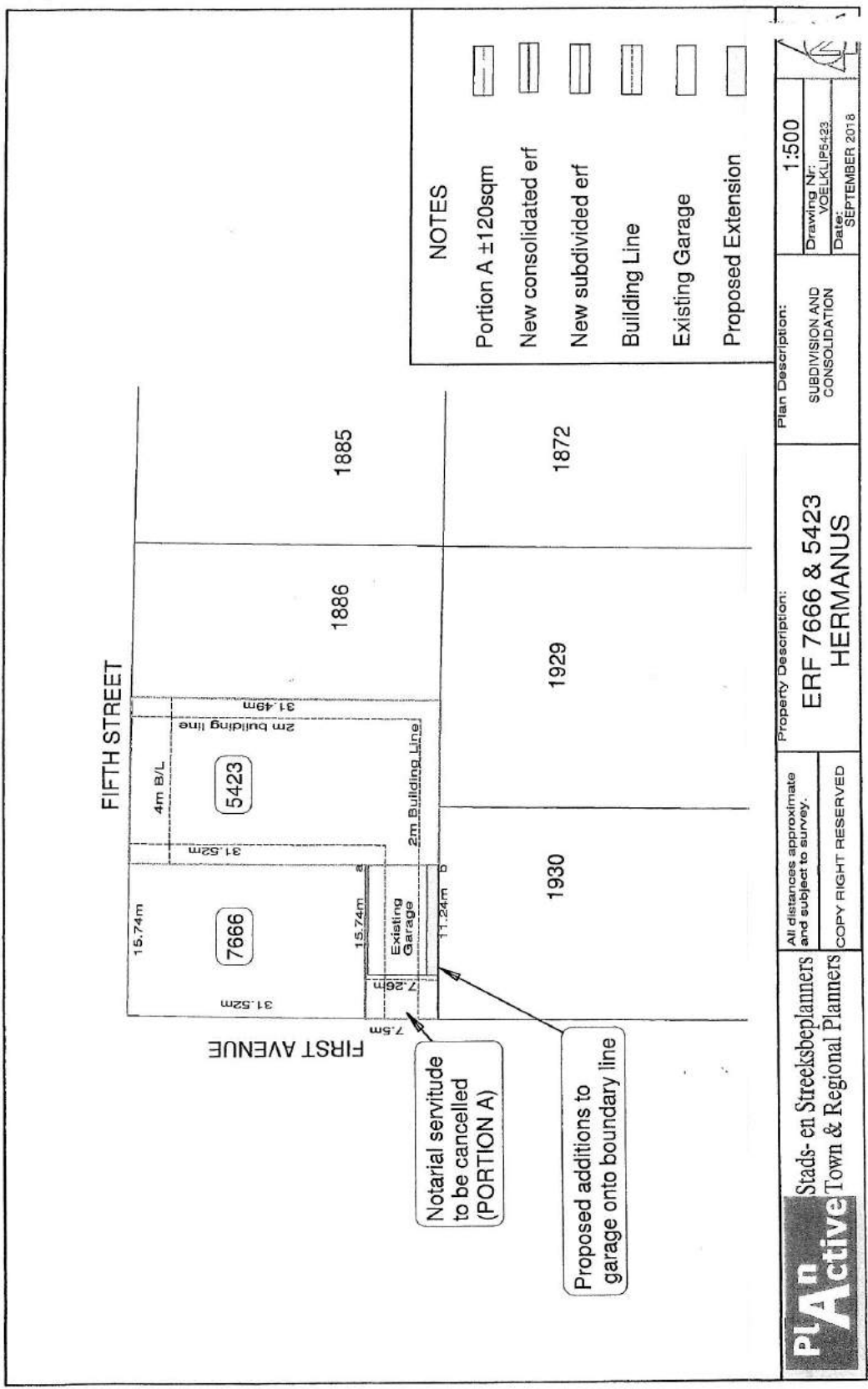
Scale: NTS
 Drawing No: LOCAL PLAN
 Date: JULY 2018

Plan Description:
 LOCALITY MAP

Property Description:
 ERVEN 5423 & 7666
 HERMANUS

All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

Scale: 1:5000
 1cm = 50m
 1:10000
 1cm = 100m
 1:20000
 1cm = 200m
 1:50000
 1cm = 500m
 1:100000
 1cm = 1000m
 1:200000
 1cm = 2000m
 1:500000
 1cm = 5000m
 1:1000000
 1cm = 10000m



Notarial servitude to be cancelled (PORTION A)

Proposed additions to garage onto boundary line

NOTES

- Portion A ±120sqm
- New consolidated erf
- New subdivided erf
- Building Line
- Existing Garage
- Proposed Extension

	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 7666 & 5423 HERMANUS	Plan Description: SUBDIVISION AND CONSOLIDATION	1:500 Drawing Nr: VOELKLP5423 Date: SEPTEMBER 2018
	Stads- en Streeksbeplanners Town & Regional Planners			

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS, SUBDIVISION, CONSOLIDATION & DEPARTURE:
REMAINDER ERF 5423 & ERF 7666, VOELKLIP (4151)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through proposed erven, Voelklip, unobstructed;
7. that refuse will be removed from sidewalks as per municipal arrangement;
8. that access to the proposed development can be obtained via First Avenue and / or 5th Street;

19 DEC 2018

9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**3. ERF 5139, 110 PORTER DRIVE, BETTY'S BAY: PROPOSED SERVITUDE:
MESSRS PLAN ACTIVE ON BEHALF OF HH CHISLETT**

5139 KBB (4216)

**H van der Stoep
25 March 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

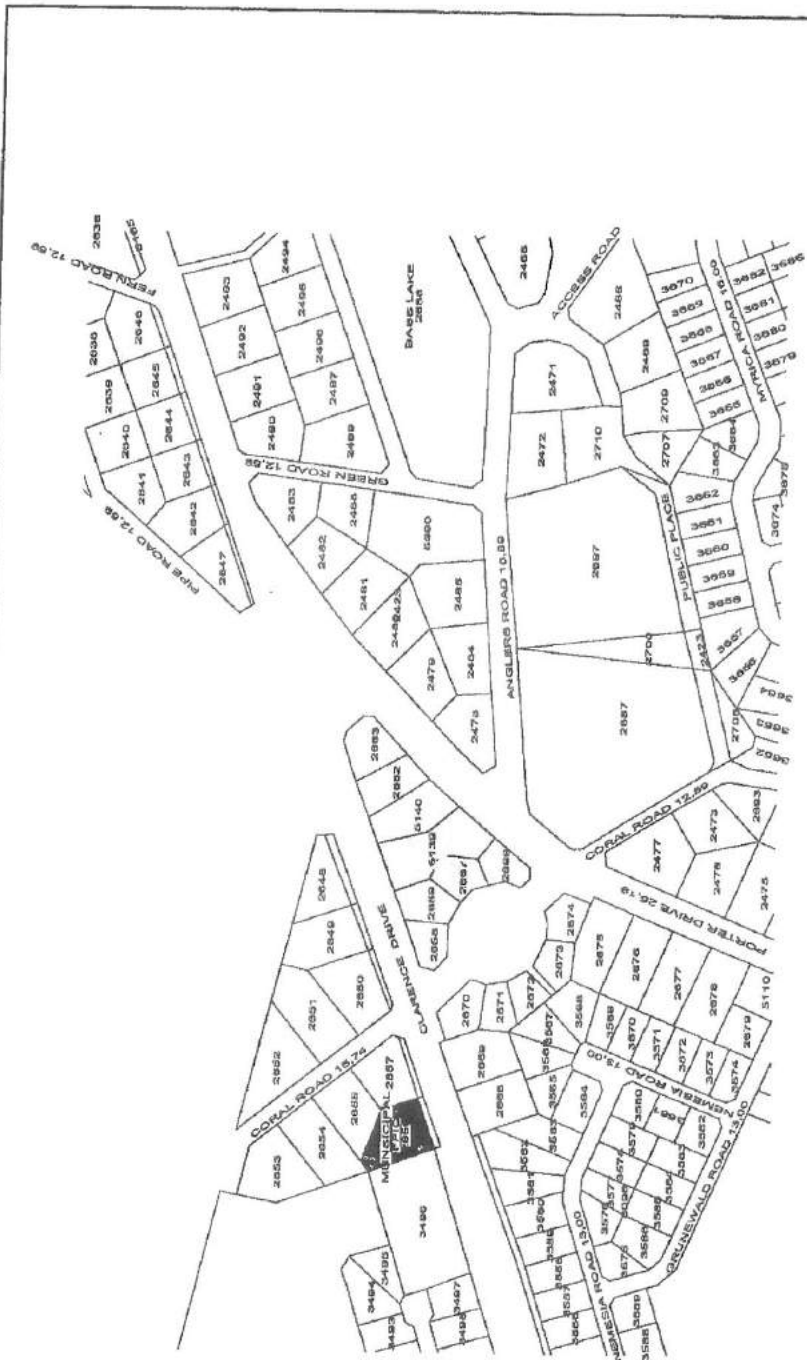
An application has been received on 18 October 2018 from Messrs Plan Active Town & Regional Planners on behalf of HH Chrislett on Erf 5139, Betty's Bay for a subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) to create a parking and access servitude area over Erf 5139, Betty's Bay in favour of Erf 2667, Betty's Bay.

RESOLVED :

1. that the application in terms of Section 16(2)(d) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 5139, Betty's Bay to for a subdivision to create a parking and access servitude area (989m²) over Erf 5139, Betty's Bay in favour of Erf 2667, Betty's Bay, **be approved**, in terms of the provisions of Section 61 of the By-Law, subject to the following conditions
 - (a) that the approval be limited to the agreement between the owners of Erven 5139 and 2667, Betty's Bay;
 - (b) that a site development plan depicting the servitude area (989m²) be submitted for record purposes;
 - (c) that proof of the registered area as per a surveyed diagram be submitted for record purposes;
 - (d) that a copy of the Title Deed indicating the registration against Erf 5139, Betty's Bay be submitted for record purposes;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (f) that all the conditions in the Services Report, be complied with.

**AGENDA of the
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2. that the applicant and person(s) who commented on the application be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



	Stads- en Sireeksbeplanners Town & Regional Planners	Property Description: ERVEN 2667 & 5139 BETTY'S BAY	Plan Description: LOCALITY MAP	Scale: NTS Drawing Nr: bet5139L.dwg Date: 10/2018
	All distances approximate and subject to survey. COPY RIGHT RESERVED			

NOTES

1. REFER TO ALL OTHER DRAWINGS FOR MATERIALS AND FINISHES. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE ARCHITECT.

GENERAL SPECIFICATIONS

ROOF: Events Big (k) facing painted to match existing.
WALLS: Painted brickwork externally and bagged internal painted to match existing.
FLOORS: Shops and offices ceramic tile (300x300mm).
WALKWAYS: Reveal floor 300x300mm terracotta tiles.
WINDOW GLASS: Tinted glass.
SHOPFRONTS: Bronze anodized or powder coated aluminium with horizontal slats to windows & full glazed doors to match existing. 6.35mm thick safety glass to be used on all doors/windows lower than 1000mm AFDL.
GLAZING AND DOWN SPIES: Aluminium as 'waterline'

PARKING REQUIREMENT SCHEDULE

ERF 2667 - 1 BAY PER 100m²
 TOTAL AREA OF EXIST. BAY: 181.270 = 181.270
 NO. OF BAYS REQUIRED: 181.270 / 100 = 1.81270
 NO. OF BAYS PROVIDED: 2
 TOTAL AREA OF EXIST. BAY: 200 + 175 = 375m²
 NO. OF BAYS REQUIRED: 375 / 100 = 3.75
TOTAL NO. OF BAYS REQUIRED: 18 + 15 = 33

NEW PARKING BAYS PROVIDED ON EXISTING

ERF 2666 - 5 BAYS
 ERF 2667 - 18 BAYS
 ERF 2668 - 10 BAYS
TOTAL PARKING BAYS AVAILABLE ON EXISTING 2667, 2666 & 2668 = 33 BAYS

BUILDING AREA SCHEDULE

ERF 2667
 SITE AREA: 1000 m²
 EX. BUILDING AREA: 100 m²
 EX. COVERED WALKWAY: 27 m²
 NEW BUILDING AREA (GROUND FLOOR): 180 m²
 NEW COVERED WALKWAY (GROUND FLOOR): 102 m²
TOTAL COVERAGE 944 m² = 51% of the area.

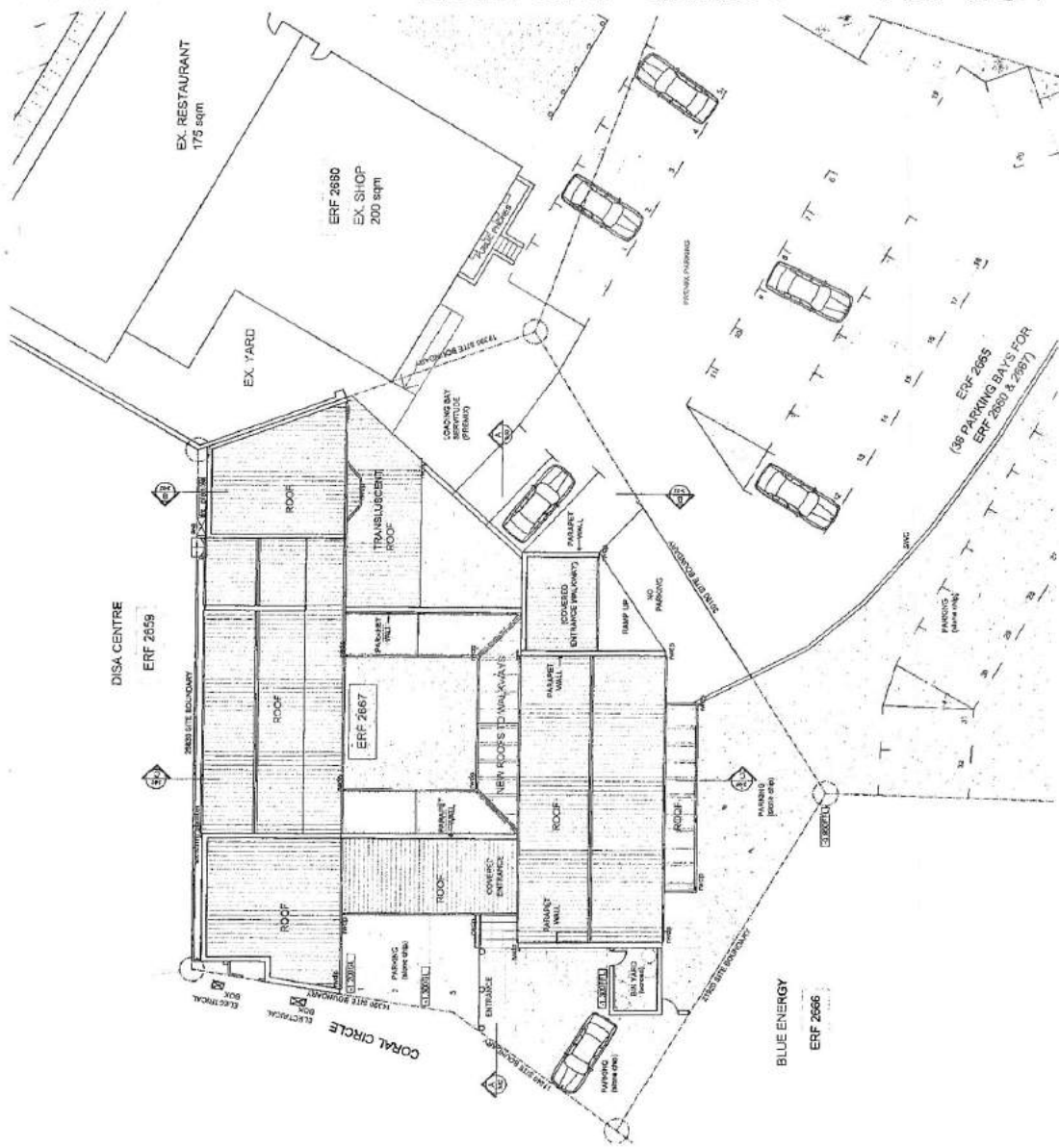


WORKSTAGE 4



VILLAGE CENTRE BETTYS BAY
 ERF 2667

DATE: JUNE 2011
 DRAWING NO: 37/28
 SCALE: 1:200
 DRAWN BY: KIM ARCHITECTS
 CHECKED BY: KIM ARCHITECTS

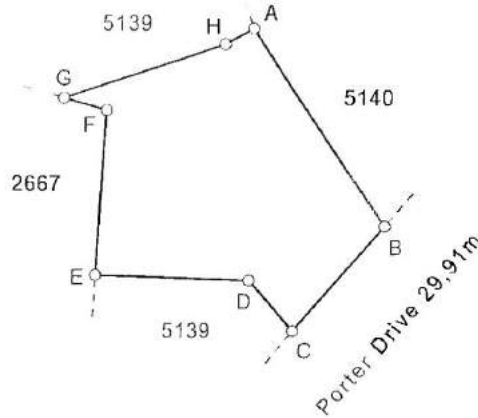
SITE PLAN / ROOF PLAN



VAN DYK & Associates Inc. (V18461)

SIDES metres		ANGLES OF DIRECTION		CO-ORDINATES Y System: WG 19° X		SG No.
				Constants	0,00	+3 800 000,00
AB	32,00	326.11.00	A	+9 274,82	+3 231,87	Approved for SURVEYOR- GENERAL
BC	18,69	40.18.20	B	+9 257,01	+3 258,46	
CD	9,12	138.27.40	C	+9 269,10	+3 272,71	
DE	20,49	91.55.10	D	+9 275,15	+3 265,89	
EF	22,31	183.19.00	E	+9 295,63	+3 265,20	
FG	5,96	106.03.40	F	+9 294,34	+3 242,93	
GH	22,61	251.12.10	G	+9 300,06	+3 241,28	
HA	4,39	240.58.30	H	+9 278,66	+3 234,00	
STONY POINT		131		+9 837,20	+5 120,43	
DAVIDSKRAAL		133		+5 030,93	+2 360,46	

Beacon Description



Scale : 1 / 750

The figure ABCDEFGH represents 989 square metres of land, being

A SERVITUDE AREA OVER ERF 5139 BETTY'S BAY

situate in the Overstrand Municipality
Administrative District of Caledon

Western Cape Province
Surveyed in August 2018 by me

LA van Dyk
Professional Land Surveyor
Registration Number: PLS 1069

This Diagram is annexed to No. Registrar of Deeds	The original diagram is S.G. No. 2632/1979 Transfer No.	File: S.R. No. Gen. Plan T.P. 429 Comp AH-4BD/Y14 (362) AH-4BD/Y23 (365) LPI No. C0130002
	Servitude Diagram	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SERVITUDE: ERF 5139, BETTY'S BAY (4216)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 5139, Betty's Bay, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

4. ERF 4894, 29 SEVENTH STREET, KLEINMOND: PROPOSED DEPARTURE AND CONSENT USE: MESSRS WARREN PETTERSON PLANNING ON BEHALF OF DIE PINKSTER PROTESTANTE KERK

4894 KKM (4058)

**H van der stoep
25 March 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 22 June 2018 from Messrs Warren Peterson on behalf of Die Pinkster Protestante Kerk on Erf 4894, Kleinmond for the following:

- Consent Use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to erect a transmission tower on the above property.
- Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to exceed the applicable 8,5m height restriction in order to accommodate the proposed 20m high transmission tower on the above property.
- Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the southern and western lateral building lines from 5m to 0m respectively to accommodate the proposed transmission tower, and also to encroach the height restriction from 2,1m to 2,4m to erect a palisade fence.

The application was complete on 6 November 2018.

RESOLVED :

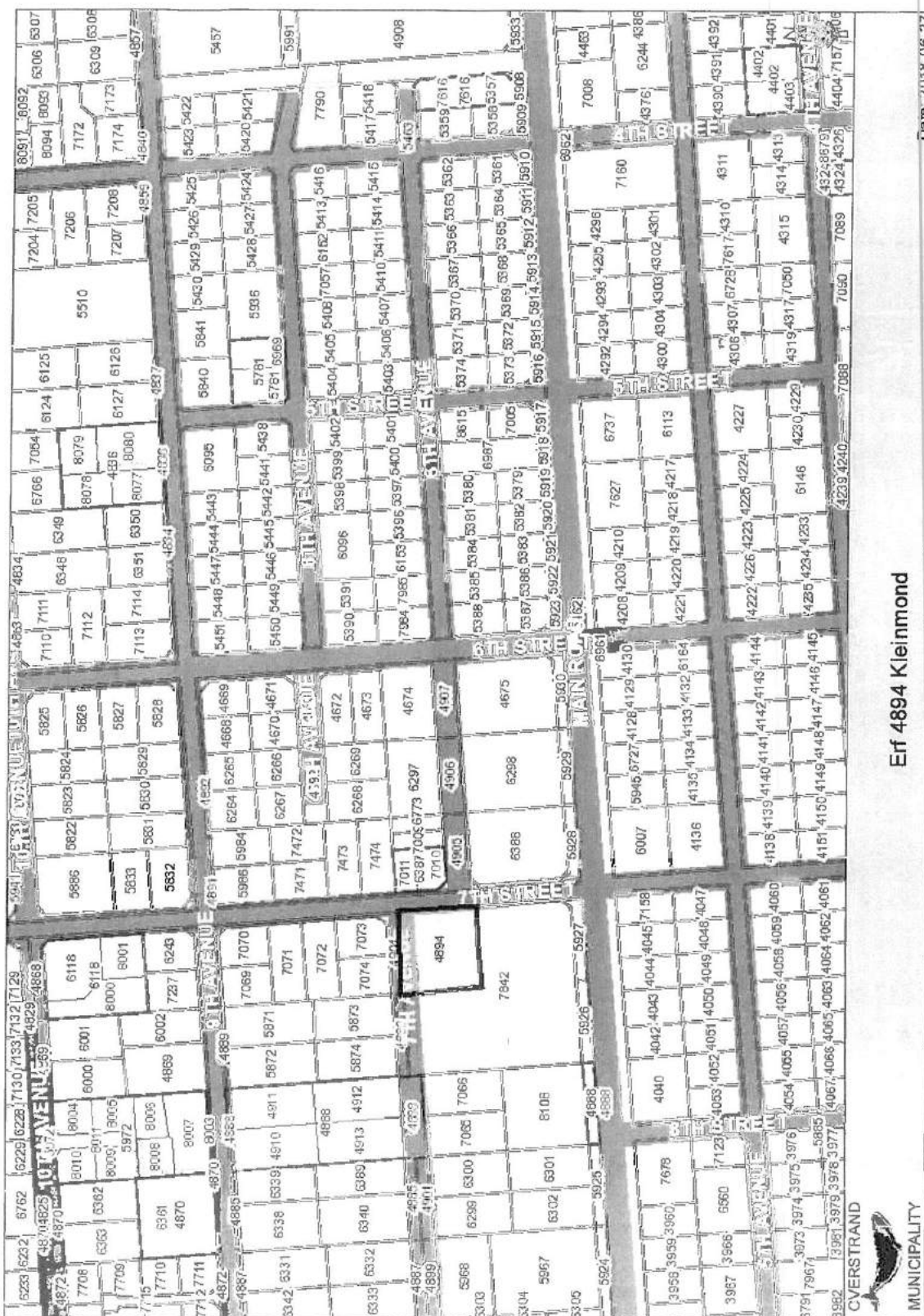
1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4894, Kleinmond for a consent use in order to erect a transmission tower on the above property, **be approved** in terms of the provisions of Section 61 of the By-Law;

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2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 4894, Kleinmond for a departure to exceed the applicable 8,5m height restriction in order to accommodate the proposed 20m high transmission tower on the above property, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 4894, Kleinmond for a departure in order to relax the southern and western lateral building lines from 5m to 0m respectively to accommodate the proposed transmission tower, and also to encroach the height restriction from 2,1m to 2,4m to erect a palisade fence, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approval in Points 1. – 3. be subject to the following conditions:
 - (a) that the consent use for a transmission tower is valid for a period of two (2) years in which the development must be completed and in operation. Should the condition be complied with, the aforementioned time period automatically lapses. The same proviso will be applicable should the proposed development not be completed and has not commenced.
 - (b) that a Site Development Plan be surveyed and submitted for approval before any construction commence;
 - (c) that this approval is only for the development of a transmission tower of 20m in height, built as a tree;
 - (d) that the departure of the lateral building lines from 5m to 0m is to only accommodate the development of 80m²;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (g) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (h) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
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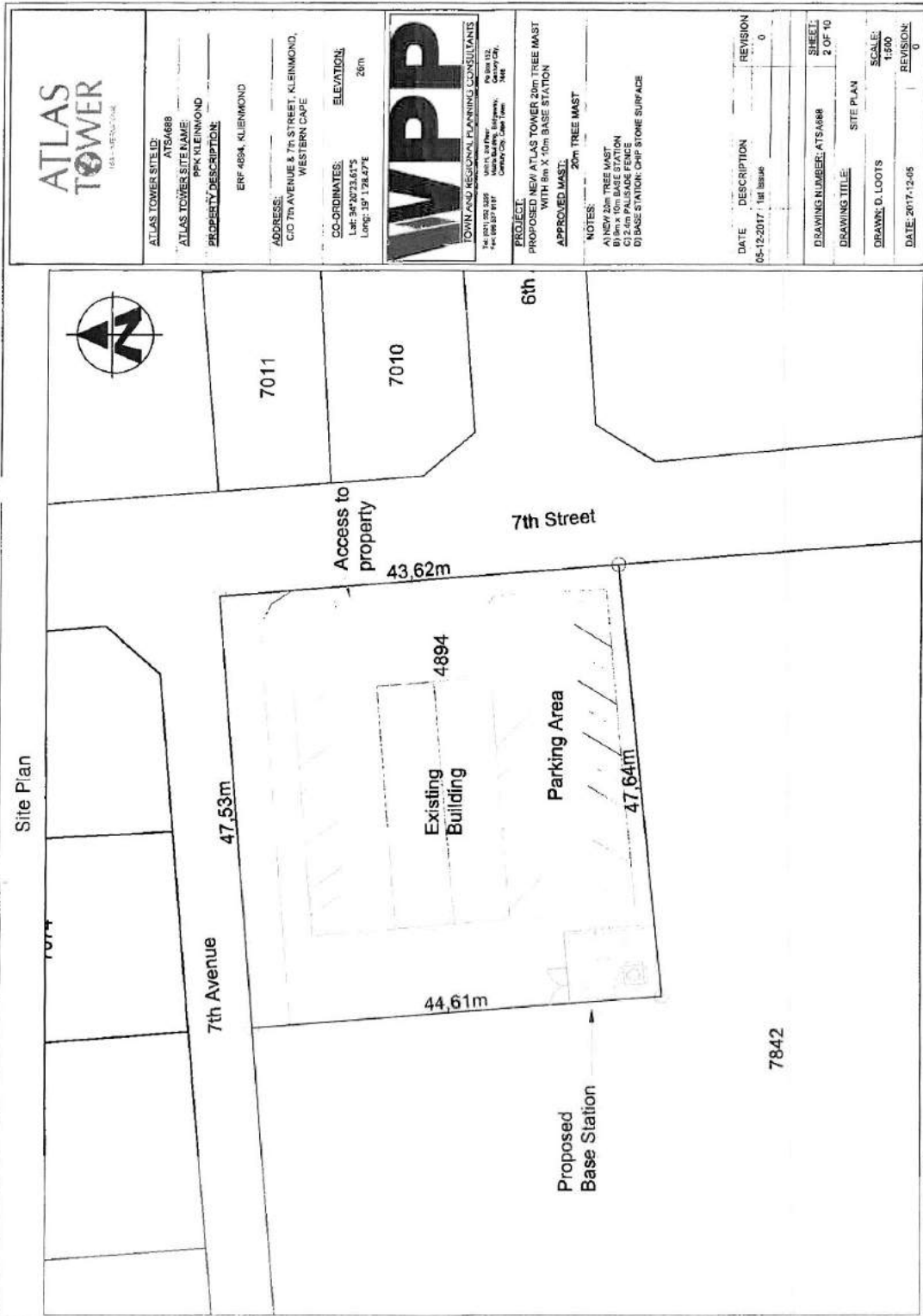
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

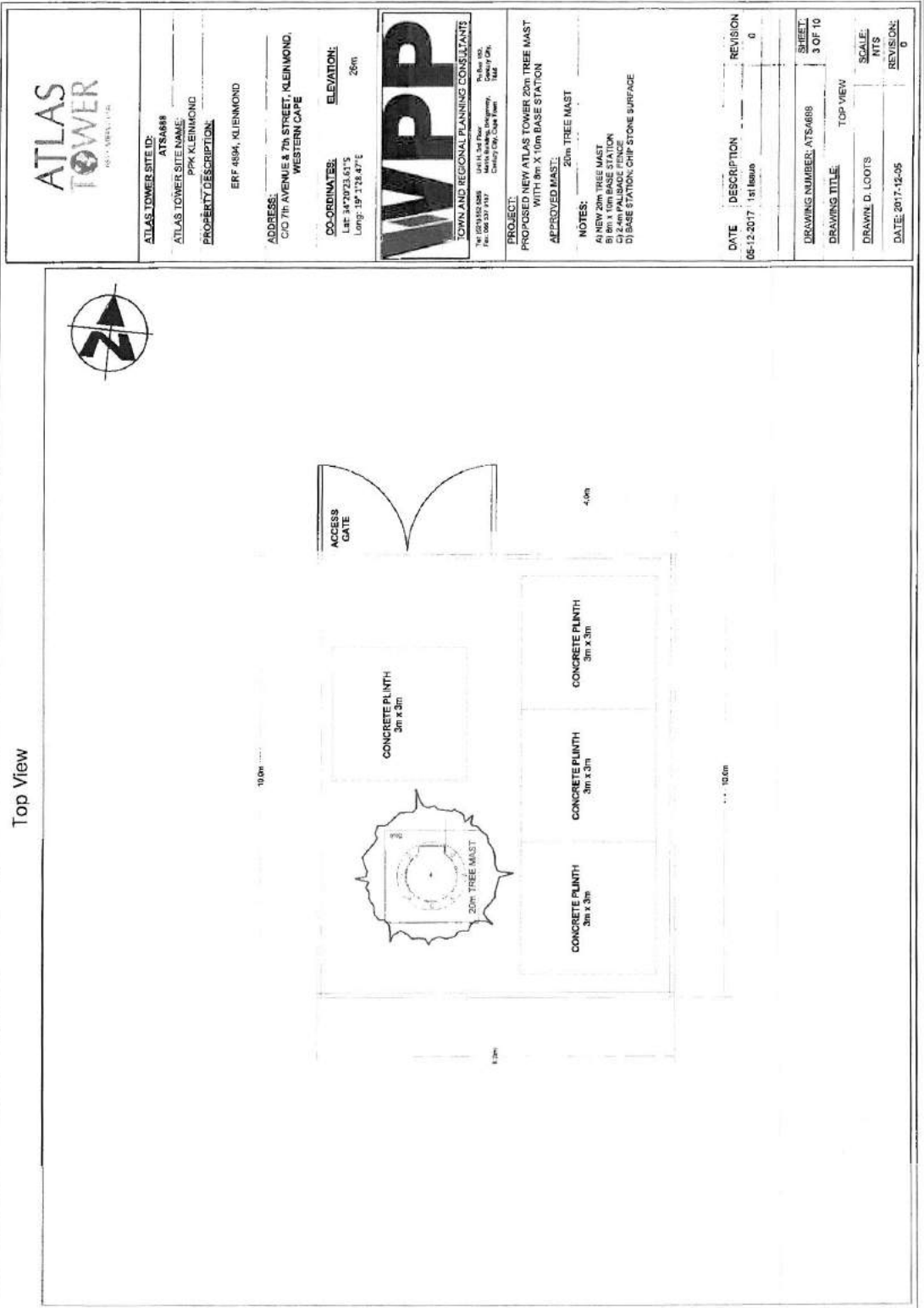


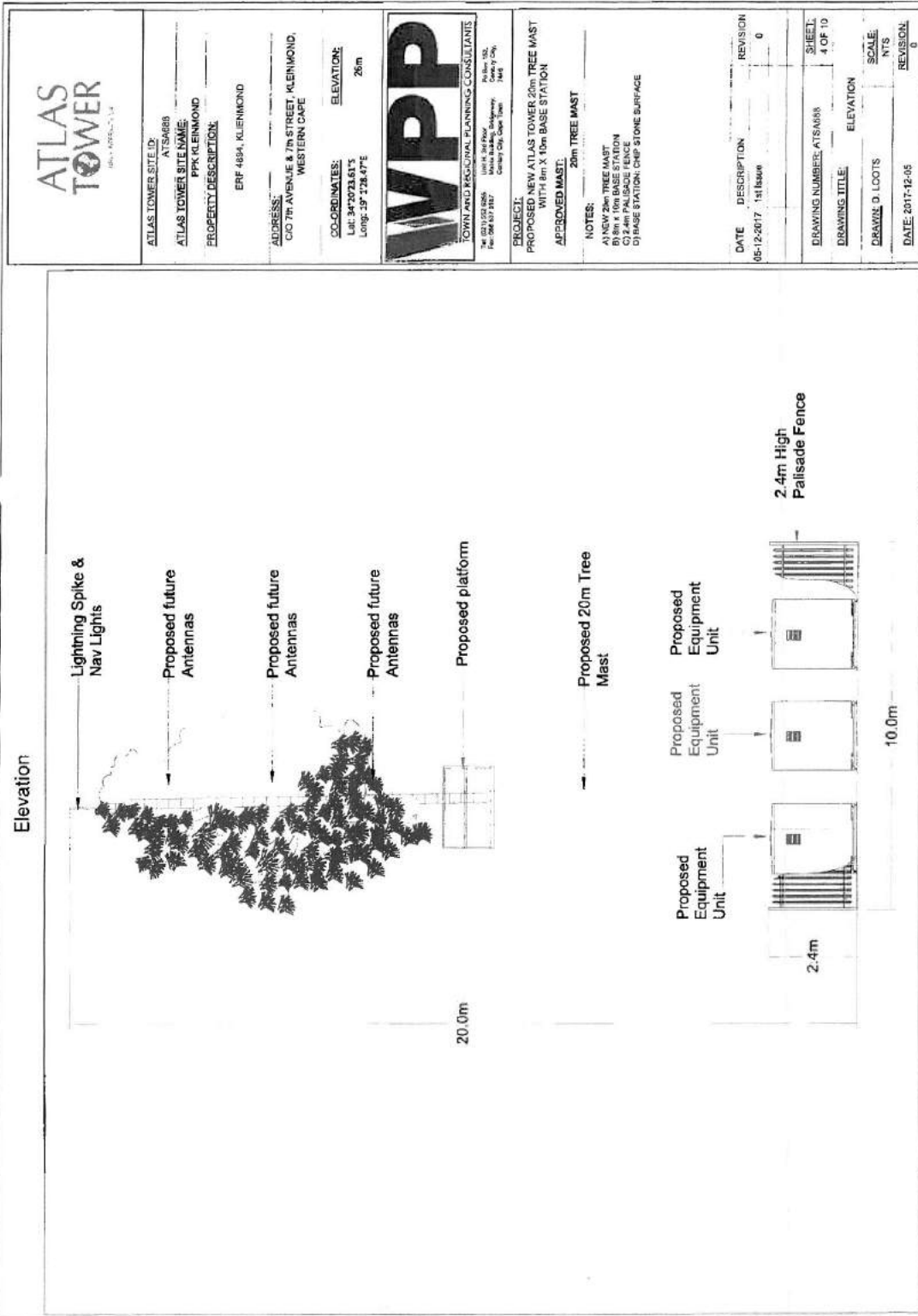
Erf 4894 Kleinmond

Date: 2018-06-27









ATLAS TOWER

ATLAS TOWER SITE ID: ATSA888
 ATLAS TOWER SITE NAME: PPK, KLEINMOND
 PROPERTY DESCRIPTION: EPF 4894, KLEINMOND
 ADDRESS: C/O 7th AVENUE & 7th STREET, KLEINMOND, WESTERN CAPE
 COORDINATES: Lat: 34°20'23.61"S Long: 18°17'28.47"E
 ELEVATION: 26m



PROJECT: PROPOSED NEW ATLAS TOWER 20m TREE MAST WITH 8m X 10m BASE STATION
 APPROVED MAST: 20m TREE MAST

NOTES:
 A) NEW 20m TREE MAST
 B) 8m X 10m BASE STATION
 C) 2.4m PALISADE FENCE
 D) BASE STATION: CHIP STONE SURFACE

DATE	DESCRIPTION	REVISION
05-12-2017	1st Issue	0

DRAWING NUMBER: ATSA888	SHEET: 4 OF 10
DRAWING TITLE: ELEVATION	SCALE: NTS
DRAWN: D. LOOTS	REVISION: 0
DATE: 2017-12-05	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 4894, KLEINMOND
(4058)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4894, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

5. REMAINDER ERF 2752, 152 SEVENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USES: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF TRADEFLAIR 5 (PTY) LTD

2752 HVK (4007)

S van der Merwe

(028) 313 8900

Hermanus Administration

25 February 2019

Executive Summary

An application for consent uses (guesthouse and tourist accommodation) has been received on 24 May 2018 from Messrs Plan Active Town- and Regional Planners on behalf of TradeFlair 5 (Pty) Ltd in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Remainder Erf 2752, Hermanus in order to allow for two (2) guestrooms in the main dwelling on the property, as well as two (2) guestrooms and one (1) self-catering unit in the existing second dwelling unit on the property. In total four (4) guest rooms and a one (1) bedroom self-catering unit for tourists will be conducted from the property.

RESOLVED :

1. that the application in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a consent use for a "guesthouse" in order to conduct a four (4) bedroom guesthouse establishment for tourists from Remainder Erf 2752, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16.(2)(o) of the aforesaid By-Law for a consent use for "tourist accommodation" in order to conduct a self-catering unit for tourists from one (1) of the three (3) bedrooms of the second dwelling unit on Remainder Erf 2752, Hermanus, **be refused** in terms of the provisions of Section 61 of the By-Law;
3. that the entire second dwelling unit be utilized as a self-catering unit, or alternatively that a maximum of two (2) bedrooms in the second dwelling unit be utilized for guest house purposes;
4. that the approval in 1. above be subject to the following conditions:
 - (a) that building plans for the existing second dwelling unit must be submitted to the Building Department for approval within thirty (30) days from the date of the final approval of the application in 1. above and that all requirements of the Building Department and Fire

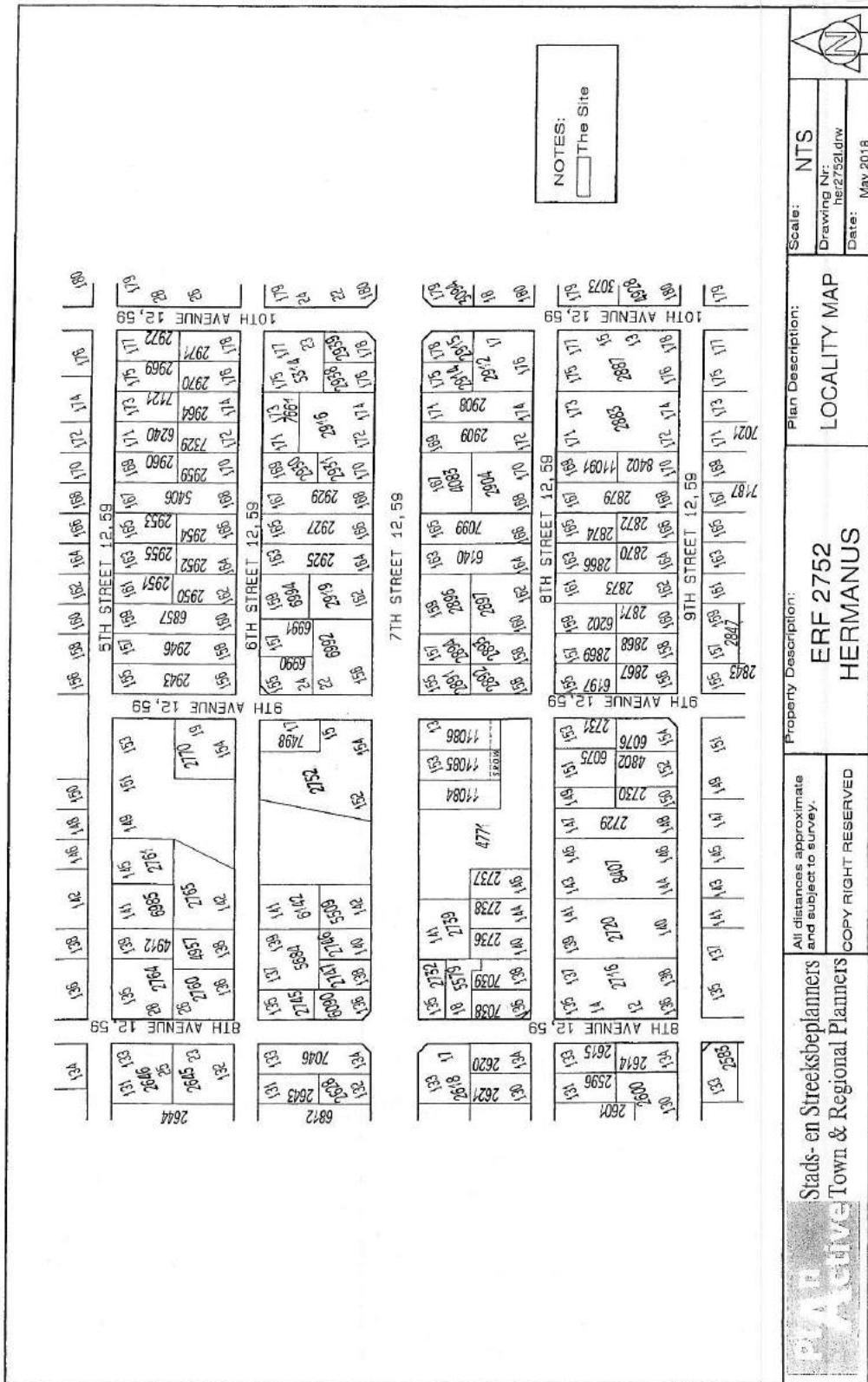
**AGENDA of the
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Services at that stage, be complied with;

- (b) that all buildings on the property must be in compliance with SANS10400.
- (c) that a maximum of four (4) guest bedrooms to be let from the property;
- (d) that the owner/manager resides permanently on the premises, and be responsible for the proper management of the accommodation establishment;
- (e) that no kitchen facilities and/or prep bowls be allowed in any of the guestrooms;
- (f) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (g) that the selling or serving of liquor will be subject to the owner obtaining the necessary Liquor Licence;
- (h) that a minimum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be practically provided within the erf boundaries;
- (i) that the applicable rates and service tariffs, as determined by the annual budget is applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (j) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (k) that only a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
- (l) that the accommodation establishment be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (m) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
- (n) that the conditions of Telkom, Fire Services and Engineering Services, be complied with;

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- (o) that this approval does not absolve the landowner from compliance with any other relevant legislation, and
 - (p) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
5. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the refusal in 2. above, as well as the conditions in 4. above.



NOTES:
 The Site

Stads- en Streksbepanners
Town & Regional Planners

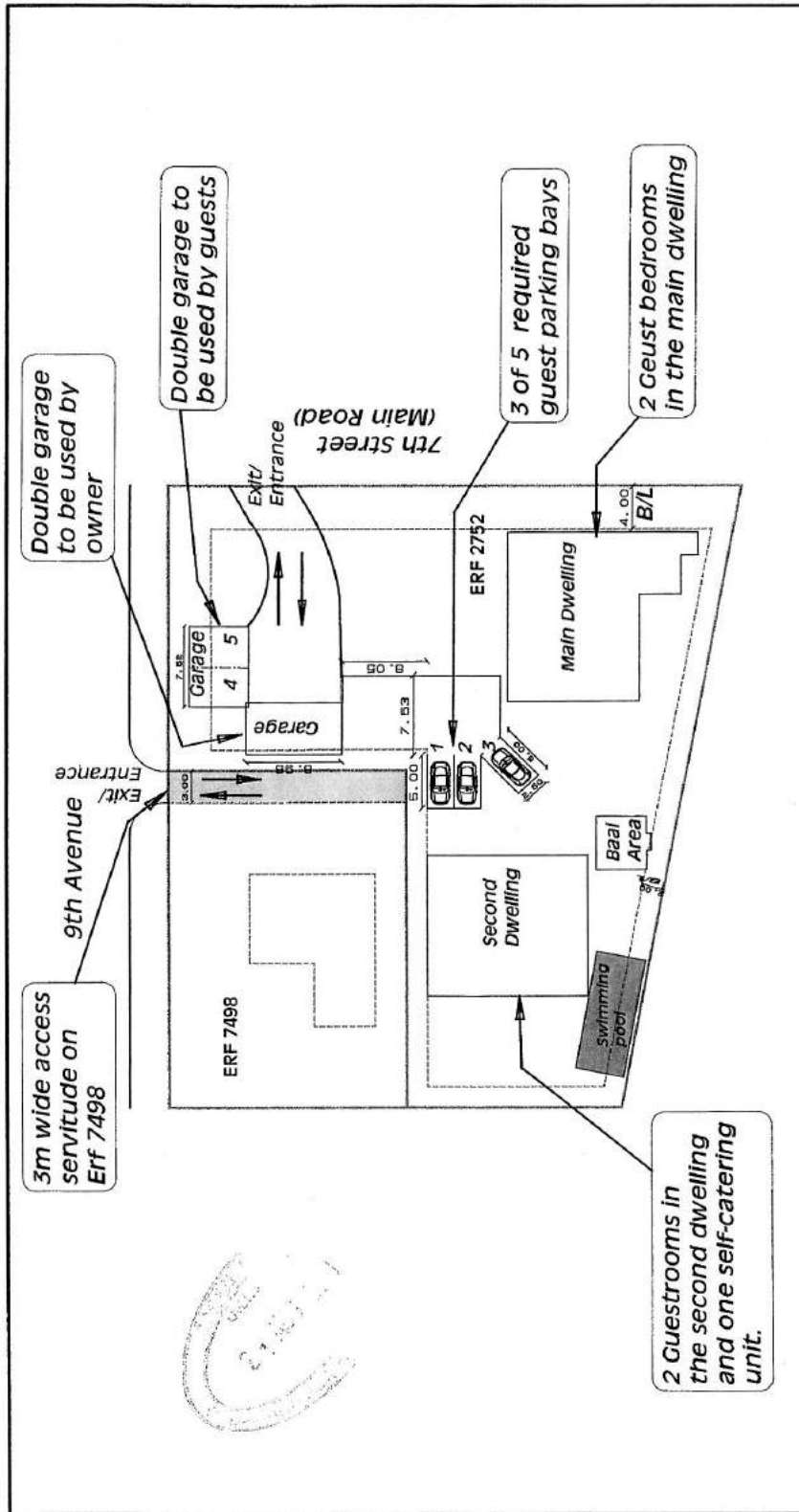
Active

Property Description:
ERF 2752
HERMANUS

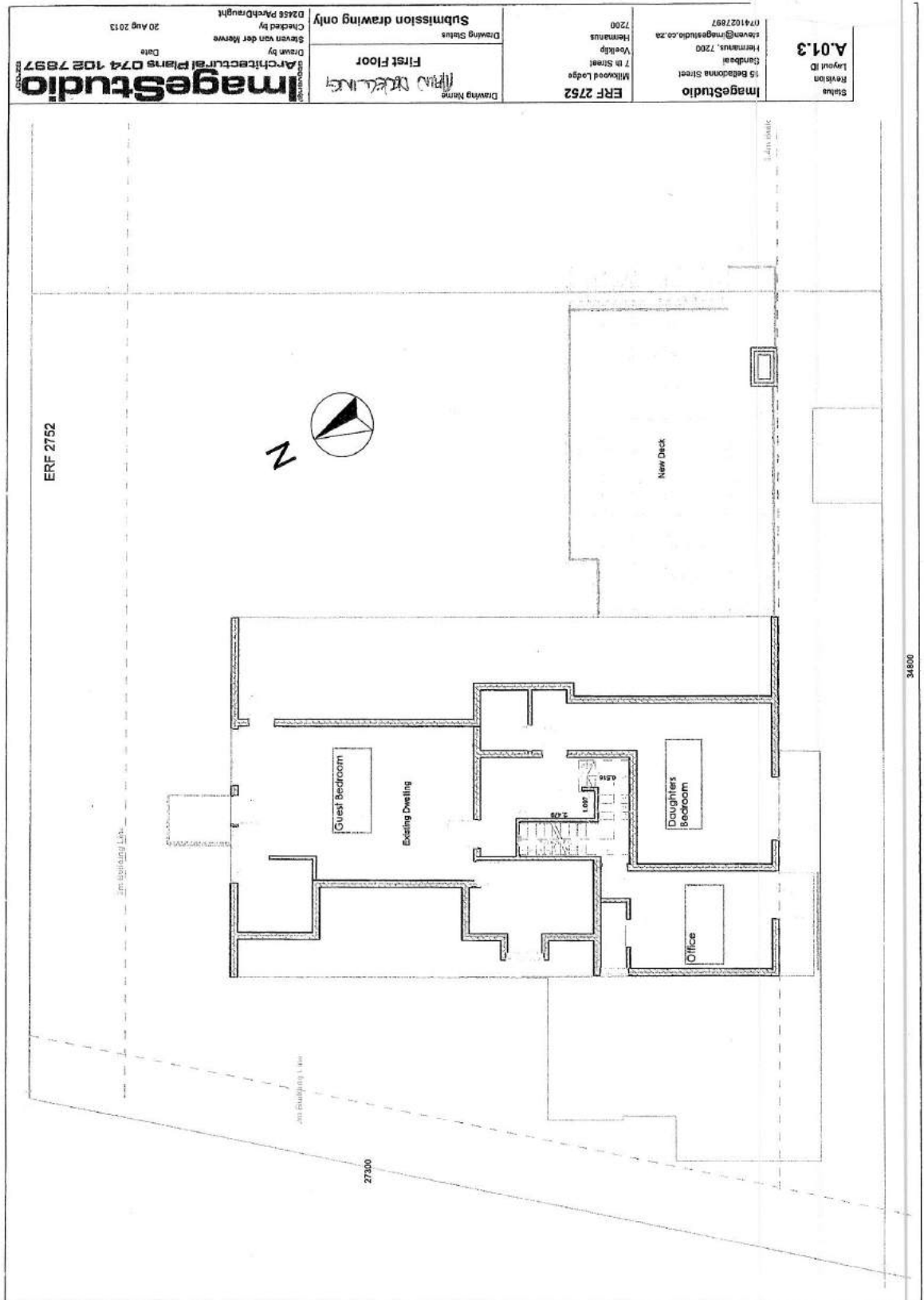
Scale: NTS
Drawing Nr: her27521.dwg
Date: May 2018

Plan Description:
LOCALITY MAP

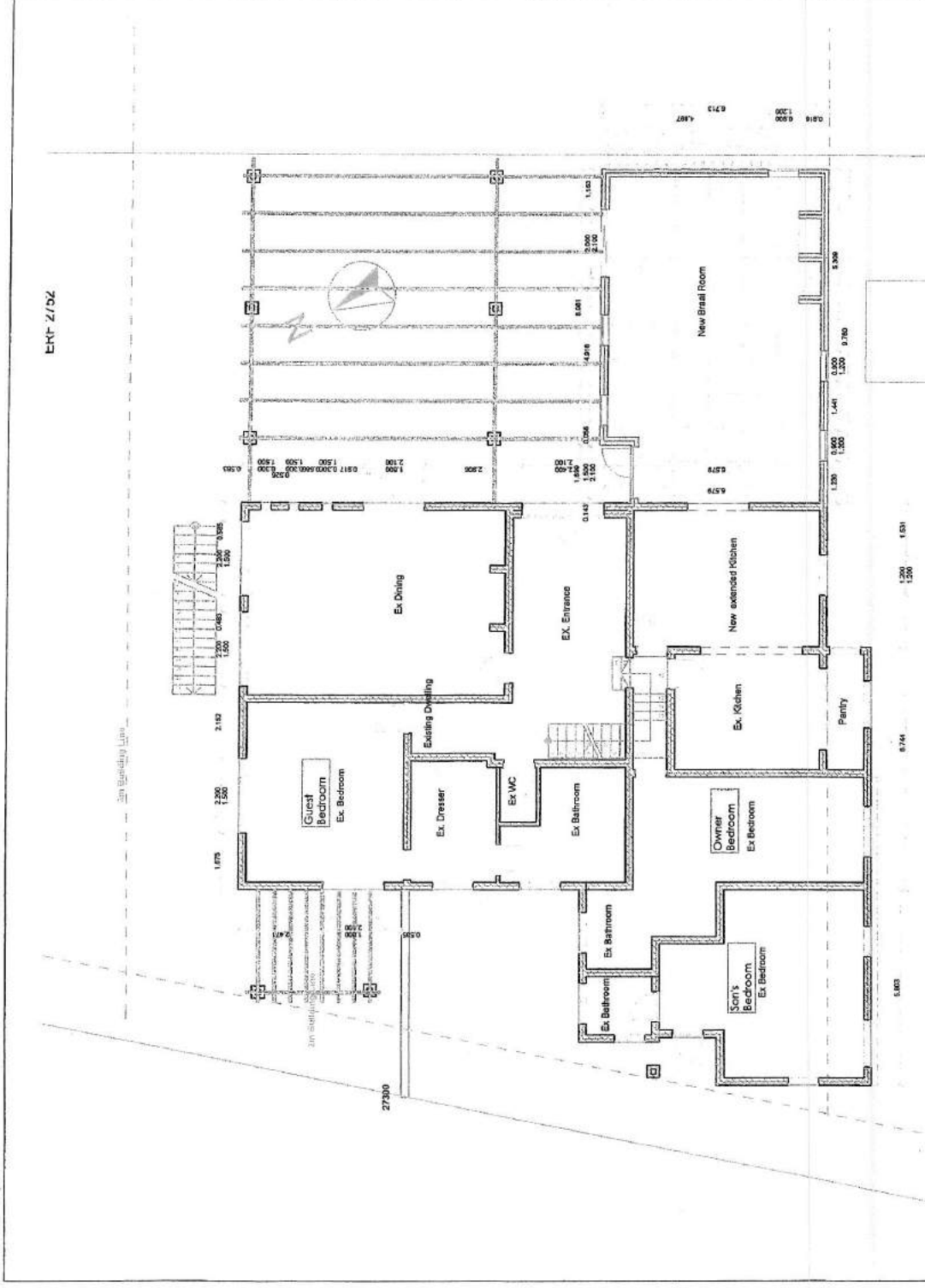
All distances approximate and subject to survey.
 COPY RIGHT RESERVED



PLA'n Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 2752 HERMANUS	Plan Description: SDP AND PARKING LAYOUT	Scale: 1:500 Drawing No: erf2752.dwg Date: MAY 2018



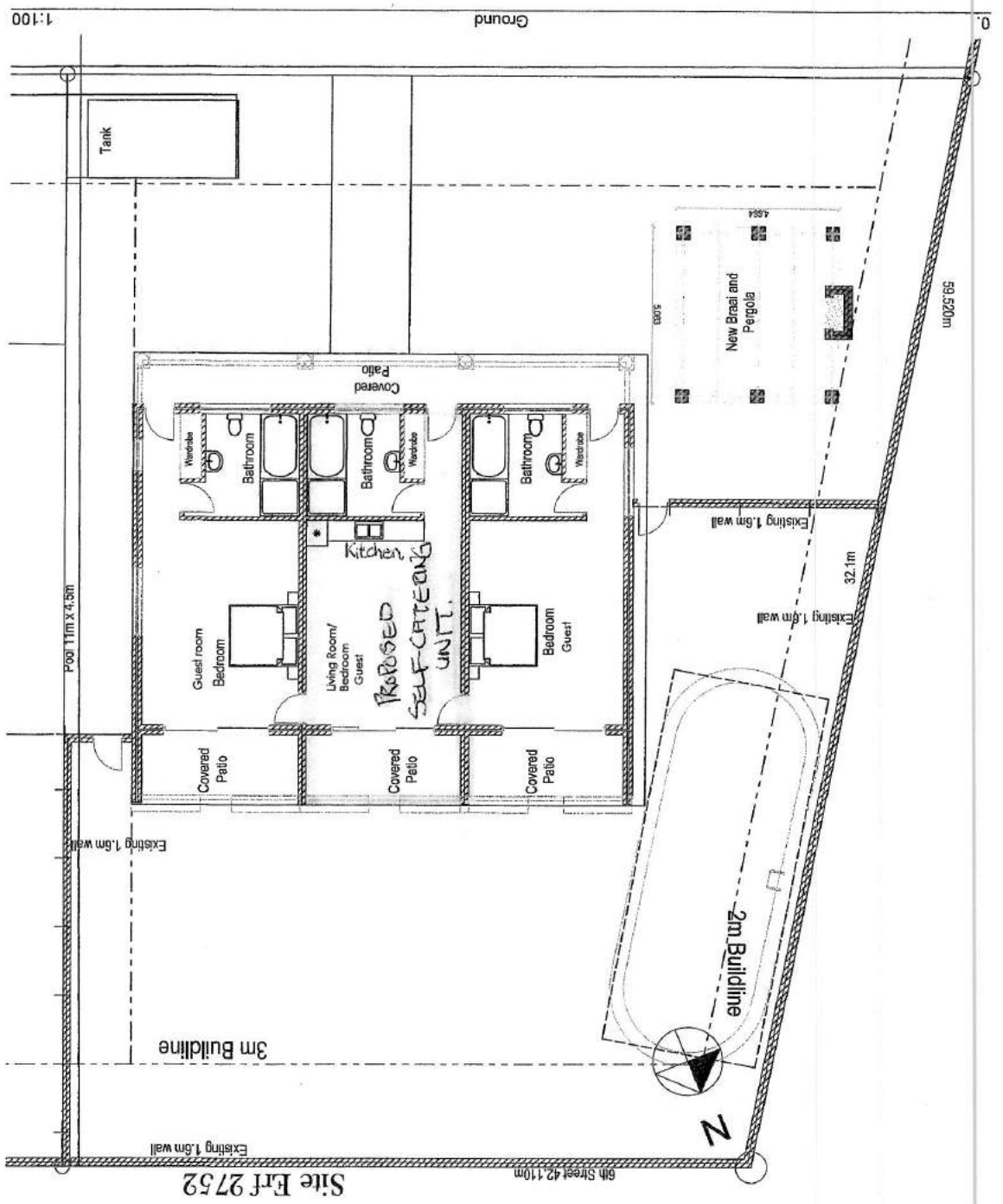
ImageStudio Architectural Plans 074 102 7897 DRAWN	Drawing Name MANN DUCKINGS	Drawing Status Submission drawing only	Checked by 02455 Ppr/Draught	Date 20 Aug 2013	Drawing ID A01.2	Revision Revision	Status Status	1027097 stever@imagestudio.co.za Hermaus, 7200 Voorlip 7 in Street Birkwood Lodge	ImageStudio 15 Beldonna Street Sandbaai, 7200 stever@imagestudio.co.za



RF 27/26

ImageStudio Architectural Plans 074 102 7897 Drawn by Grawen van der Merwe Checked by 02 August 2017 02456 Picturaught olwen.van.der.merwe@gmail.com	Drawing Status As Built Drawings Only	erf 2752 Voelklip Traddalar 5 pty ltd, 0824405800 6th Street, Voelklip Hermanus 7200 mrvhb@hermanus.co.za	erf 2752 Voelklip 15 Buitendome Street Sandstad Hermanus, 7200 074 102 7897 raven@der.merwe@gmail.com	Job Details A.012 582 1708 Traddalar Status Revision Layout ID
	Ground 1:100			

SECOND DWELLING UNIT



Site Erf 2752
 6th Street 42.110m
 5th Street 59.520m
 Ground
 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 2752, VOELKLIP (4007)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 2752, Voelklip, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that refuse will be removed from the sidewalks as per municipal arrangement;
9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

6. ERF 277, 65 CLIFF STREET, DE KELDERS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE AND DEPARTURE: JS WALLACE ON BEHALF OF THE THREE JAMES TRUST

277 GDK (3998)

P Roux

(028) 313 8900

Hermanus Administration

10 April 2019

Executive Summary

An application has been received in terms of Section 16(2)(o) and (b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 from JS Wallace on behalf of the Three James Trust, applicable to Erf 277, De Kelders for the following:

- ❖ consent use in terms of Section 16(2)(o) for the continued use of a fourth bedroom for accommodation purposes (guesthouse); and
- ❖ departure in terms of Section 16(2)(b) in order to relax the lateral building line from 2m to 1,57m to accommodate the encroachment of the existing building, (which consists of the managers bedroom and one (1) of the guest bedrooms).

RESOLVED :

1. that the application received in terms of Section 16(2)(o) and (b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) from JS Wallace on behalf of the Three James Trust, on Erf 277, De Kelders for the following:
 - consent use in terms of Section 16(2)(o) for the continued use of a fourth bedroom for accommodation purposes (guesthouse); and
 - departure in terms of Section 16(2)(b) in order to relax the lateral building line from 2m to 1,57m to accommodate the encroachment of the existing building which consists of the manager's bedroom and one of the guest bedrooms,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

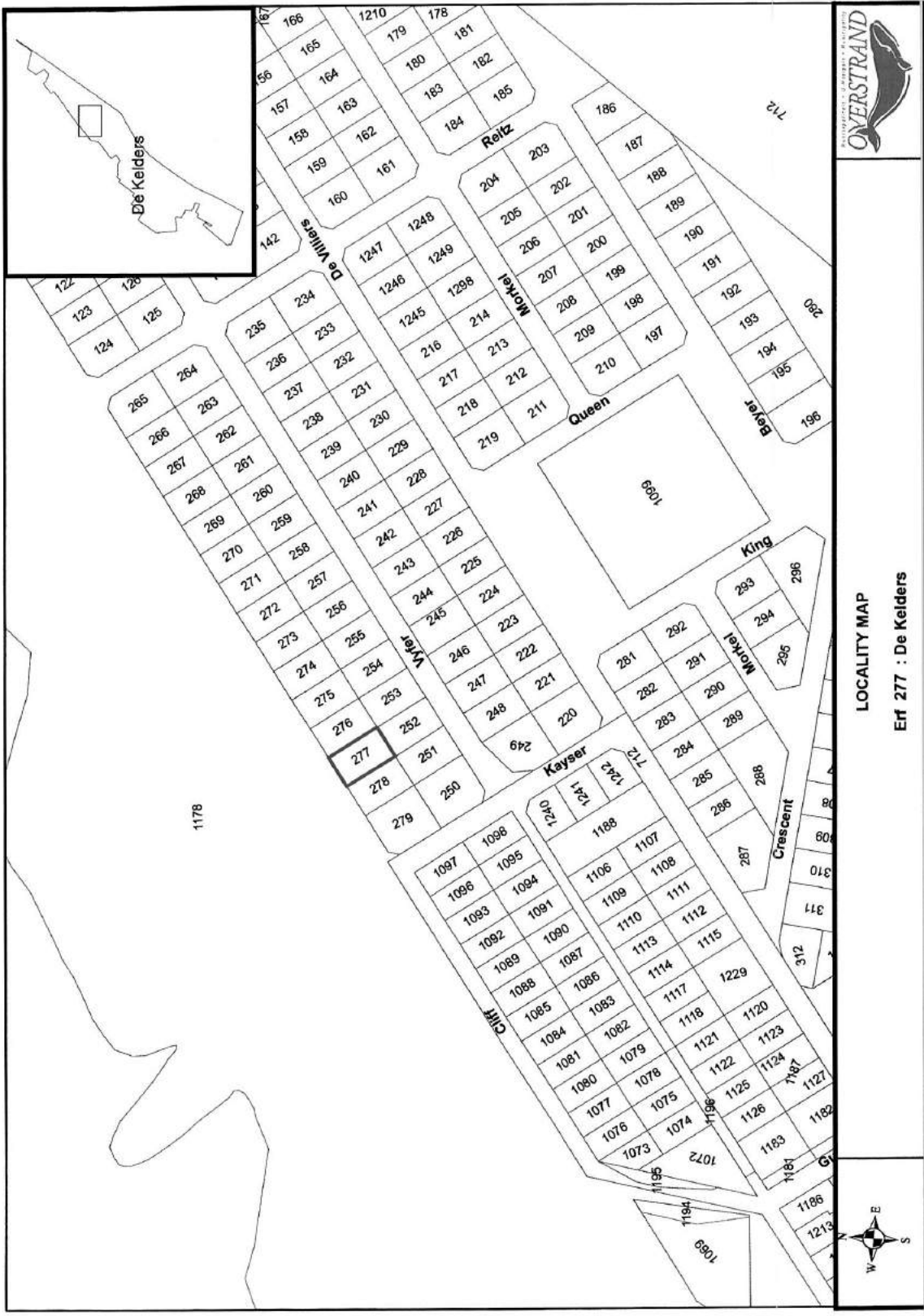
- (a) that the facilities be utilized as dwellings and guest houses only - no self-catering;

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- (b) that this approval only relates to the proposed Site Development Plan, drawing no. A.04 to A.10 as submitted with the application and parking layout dated 07/11/2018 layout 1 to 4;
- (c) that building plans be submitted to the Building Department for approval and that all conditions of the Building- and the Fire Department be complied with at that stage;
- (d) that a maximum of **four** (4) bedrooms to be let, be permitted on Erf 277, De Kelders;
- (e) that the owner/manager resides on the premises and be responsible for the proper management of the guest house;
- (f) that a single non-illuminated sign that complies with the Municipal By-Law on signage may be displayed on each property;
- (g) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (h) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary liquor licence;
- (i) that a maximum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries;
- (j) that the applicable tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (k) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (l) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
- (m) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (n) that all the conditions in the Services Report, be complied with;

**AGENDA of the
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- (o) that all conditions imposed by the Fire Department and Telkom, be complied with;
 - (p) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (q) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.”



LOCALITY MAP
Erf 277 : De Kelders



<p>NOTES:</p> <p>GENERAL:</p> <p>1. ALL DIMENSIONS AND HEIGHTS TO BE SHOWN ON THIS DRAWING TO BE TAKEN FROM THE FINISHED FLOOR LEVEL UNLESS OTHERWISE SPECIFIED.</p> <p>2. ALL WORK TO BE ACCORDING TO S.A.S.A. REGULATIONS.</p> <p>3. ALL WORK TO BE ACCORDING TO THE NATIONAL BUILDING REGULATIONS.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</p>	<p style="text-align: center;">Stewart Wallace</p> <p style="text-align: center;">ERF 277 De Kelders</p> <p style="text-align: center;">Gansbaai</p> <p style="text-align: center;">Three James Trust</p>	<p style="text-align: center;">PRINSARCH</p> <p style="text-align: center;">MARTIN PRINSLOO Member of S.A.S.A. (Member of SAQAAT 3199)</p> <p style="text-align: center;"> </p> <p style="text-align: center;"> prinsarch@gmail.com </p>
<p>Drawing Name: First Floor + Second</p> <p>Drawing Status: Town Planning Application</p> <p>Drawn by: Eric Janus</p> <p>Checked by: MARTIN PRINSLOO</p> <p>Drawing Scale: AS SHOWN</p> <p>Layout ID: A.04</p>		
<p>Date: 06-05-2016</p> <p>Date: 09-05-2018</p> <p>Sheet Size: A3</p> <p>Revision:</p>		

FIRST STOREY FLOOR PLAN

SECOND STOREY FLOOR PLAN

A.04

NOTE

GENERAL:

1. ALL DIMENSIONS ARE SUBJECT TO THE INFORMATION ON THE DRAWINGS TO BE CHECKED ON THE ORIGINAL. VERIFY ANY STATE OR FEDERAL REQUIREMENTS.
2. DIMENSIONS SHOWN TAKE INTO ACCOUNT ALL DIMENSIONS AND MATERIALS TO BE USED.
3. THE DIMENSIONS SHOWN ON THIS DRAWING IS APPROXIMATE AND NOT FOR CONSTRUCTION. VERIFY ALL DIMENSIONS IN ANY CONTRACT DOCUMENTS.
4. THE DIMENSIONS SHOWN ON THIS DRAWING IS APPROXIMATE AND NOT FOR CONSTRUCTION. VERIFY ALL DIMENSIONS IN ANY CONTRACT DOCUMENTS.
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10. THE DIMENSIONS SHOWN ON THIS DRAWING IS APPROXIMATE AND NOT FOR CONSTRUCTION. VERIFY ALL DIMENSIONS IN ANY CONTRACT DOCUMENTS.

Stewart Wallace
Gansbaal
Three James Trust

Prinsarch

MARTIN PRINSLOO
Member of S.A.C.A.P. 570288, Member of S.A.I.A.T. 3782

22 DRAKENSBERG ROAD, SANDHURST
7130
021 951 1111
021 951 1111
021 951 1111

prinsarch@gmail.com

prinsarch.com

Drawing Name: North West Elevation

Drawing Status	Town Planning Application
Drawn by	Eric Justus
Date	09-05-2018

Checked by	MARTIN PRINSLOO
Date	09-05-2018
Drawing Scale	As Shown
Sheet Size	A3

Layout ID	A-06
Revision	

NORTH WEST ELEVATION

SCALE: 1:100

NOTE:

1. ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE BEFORE WORK COMMENCES.
2. DIMENSIONS SHOWN TAKE INTO ACCOUNT ALL WALLS AND FINISHES.
3. ALL WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS.
4. THE DESIGNER'S SHOW ON THIS DRAWING IS FOR INFORMATION ONLY. ANY WORK SHOULD BE DONE IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS AND NOT THIS DRAWING.
5. ALL WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS.
6. ANY WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS SHOULD BE DONE IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS AND NOT THIS DRAWING.
7. ALL WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS SHOULD BE DONE IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS AND NOT THIS DRAWING.
8. ALL WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS SHOULD BE DONE IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS AND NOT THIS DRAWING.
9. ALL WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS SHOULD BE DONE IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS AND NOT THIS DRAWING.
10. ALL WORKING TO S.A.S.S. AND MUNICIPAL BUILDING REGULATIONS SHOULD BE DONE IN ACCORDANCE WITH THE APPROVED ARCHITECTURAL DRAWINGS AND NOT THIS DRAWING.

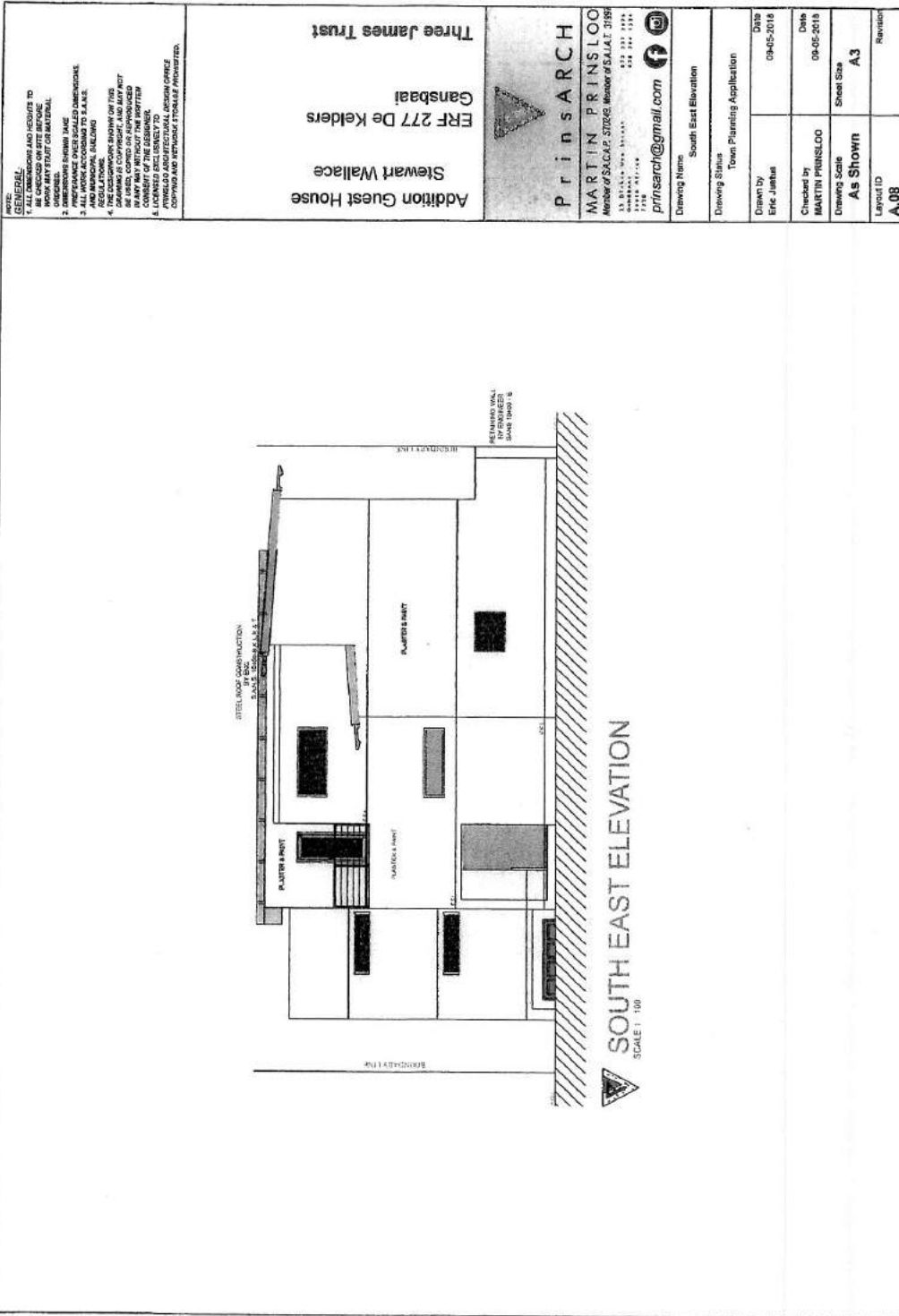
Three James Trust
Gansbaai
ERF 277 De Kelders
Stewart Wallace
Addition Guest House

PRIN SARCH
MARTIN PRINSLOO
 Member of S.A.S.S. (Member of S.A.I.A.T. 3196)
 65 CLIFF STREET, GANSBAAI, WEST CAPE, SOUTH AFRICA
 7130 5111 1111
 7130 5111 1111
 7130 5111 1111
 prinsarch@gmail.com

LOWER STOREY FLOOR PLAN

SITE & GROUND STOREY FLOOR PLAN

Drawing Name Site & Ground Storey - Lower Storey Plans	
Drawing Status Town Planning Application	
Drawn by Eric Janke	Date 08-05-2018
Checked by MARTIN PRINSLOO	Date 08-05-2018
Drawing Scale As Shown	Sheet Size A3
Layout ID A.07	Revision

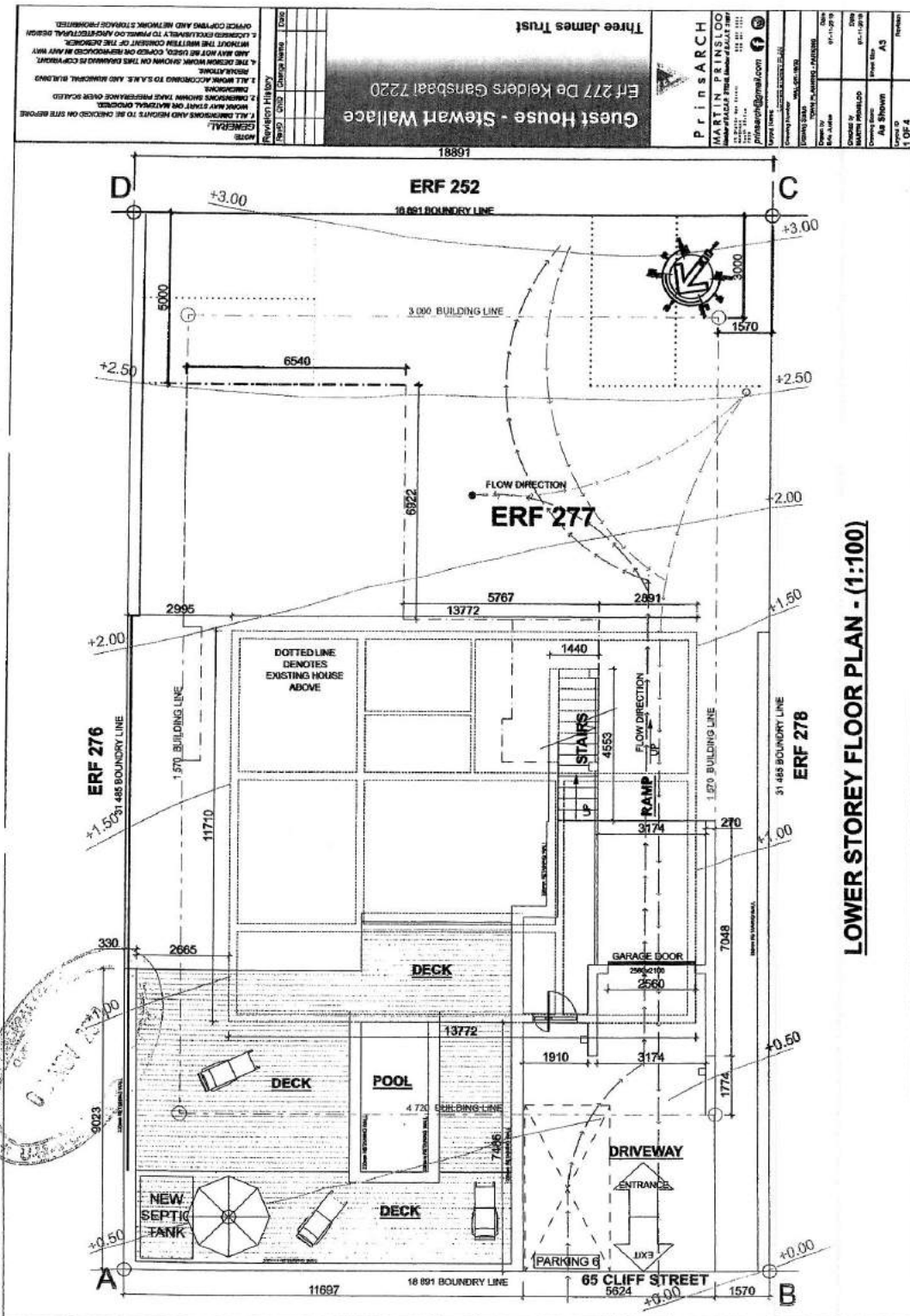


NOTE:
GENERAL:
 1. ALL DIMENSIONS AND HEIGHTS TO FINISH UNLESS SPECIFIED OTHERWISE.
 2. DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE.
 3. DIMENSIONS TO CENTERLINE UNLESS SPECIFIED OTHERWISE.
 4. DIMENSIONS TO SURFACE UNLESS SPECIFIED OTHERWISE.
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 8. DIMENSIONS TO FINISH UNLESS SPECIFIED OTHERWISE.
 9. DIMENSIONS TO CENTERLINE UNLESS SPECIFIED OTHERWISE.
 10. DIMENSIONS TO SURFACE UNLESS SPECIFIED OTHERWISE.

Stewart Wallace
 Addition Guest House
 ERF 277 De Kelders
 Gansbaai
 Three James Trust

PrinsARCH
MARTIN PRINSLOO
 Member of SACAP, SIZIGI, Member of SALAAT, SIBB
 15 BUCKLEBUSH DRIVE, SANDHURST, 7130
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Drawing Name	South East Elevation
Drawing Status	Town Planning Application
Drawn by	Eric Janshu
Date	09-05-2018
Checked by	MARTIN PRINSLOO
Date	09-05-2018
Drawing Scale	As Shown
Sheet Size	A3
Layer ID	A.08
Revision	



Guest House - Stewart Wallace
 Erf 277 De Kelders Gansbaai 7220

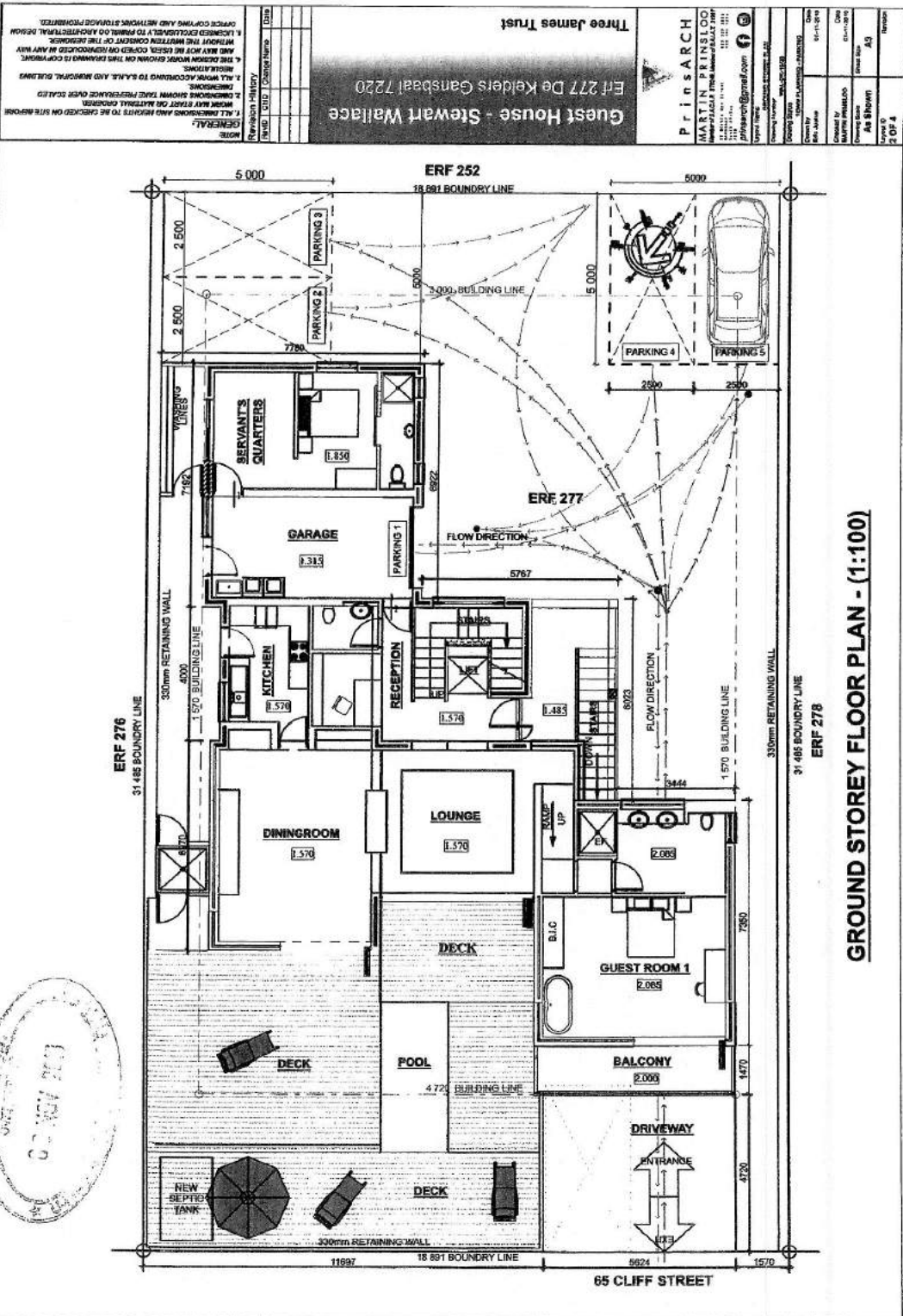
Three James Trust

PrinsARCH
 MARIË PRINSLOO
 1111111111
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 1111111111

DATE: 2023-11-13
 TIME: 14:00
 DRAWN BY: MARIË PRINSLOO
 CHECKED BY: AS SHOWN
 SCALE: 1:100
 SHEET: 1 OF 4

GENERAL NOTES:
 1. ALL WORK ACCORDING TO S.A.S. AND MUNICIPAL BY-LAWS.
 2. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALES.
 3. ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALES.
 4. THE DESIGNER ACCEPTS NO LIABILITY FOR THE DESIGN OR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
 6. CHECKS SHALL BE MADE TO PREVENT COLLISIONS WITH EXISTING SERVICES AND UTILITIES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
 8. CHECKS SHALL BE MADE TO PREVENT COLLISIONS WITH EXISTING SERVICES AND UTILITIES.
 9. CHECKS SHALL BE MADE TO PREVENT COLLISIONS WITH EXISTING SERVICES AND UTILITIES.
 10. CHECKS SHALL BE MADE TO PREVENT COLLISIONS WITH EXISTING SERVICES AND UTILITIES.

LOWER STOREY FLOOR PLAN - (1:100)



Guest House - Stewart Wallace
 Erf 277 De Kelders Gansbaai 7220

PrinsARCH
 MARTIN PRINSLOO
 Project Manager
 082 311 2512
 martin@prinsarch.co.za

Three James Trust

Revision	History	Date
01	Final	2012

GENERAL:
 1. ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE BEFORE WORK STARTS ON MATERIALS ORDERING.
 2. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALES.
 3. ALL WORKING ACCORDING TO S.A.S. AND MUNICIPAL BY-LAWS.
 4. THE DRAWINGS SHOW ON THIS DRAWING IS COPYRIGHTED AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
 5. LICENSED TO CONSULT TO PERFORM AN ARCHITECTURAL DESIGN OFFICE COPIES AND NETWORK STORAGE PROVIDED.

NOTATIONS:
 1. ALL WORKING ACCORDING TO S.A.S. AND MUNICIPAL BY-LAWS.
 2. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALES.
 3. ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE BEFORE WORK STARTS ON MATERIALS ORDERING.

CREATED BY: MARTIN PRINSLOO
DRAWN BY: As Shown
DATE: 01-11-2012
SCALE: A3

PROJECT NO: 2012-01-01
CLIENT: Three James Trust
LOCATION: De Kelders Gansbaai 7220
DATE: 01-11-2012

FIG 4

GROUND STOREY FLOOR PLAN - (1:100)

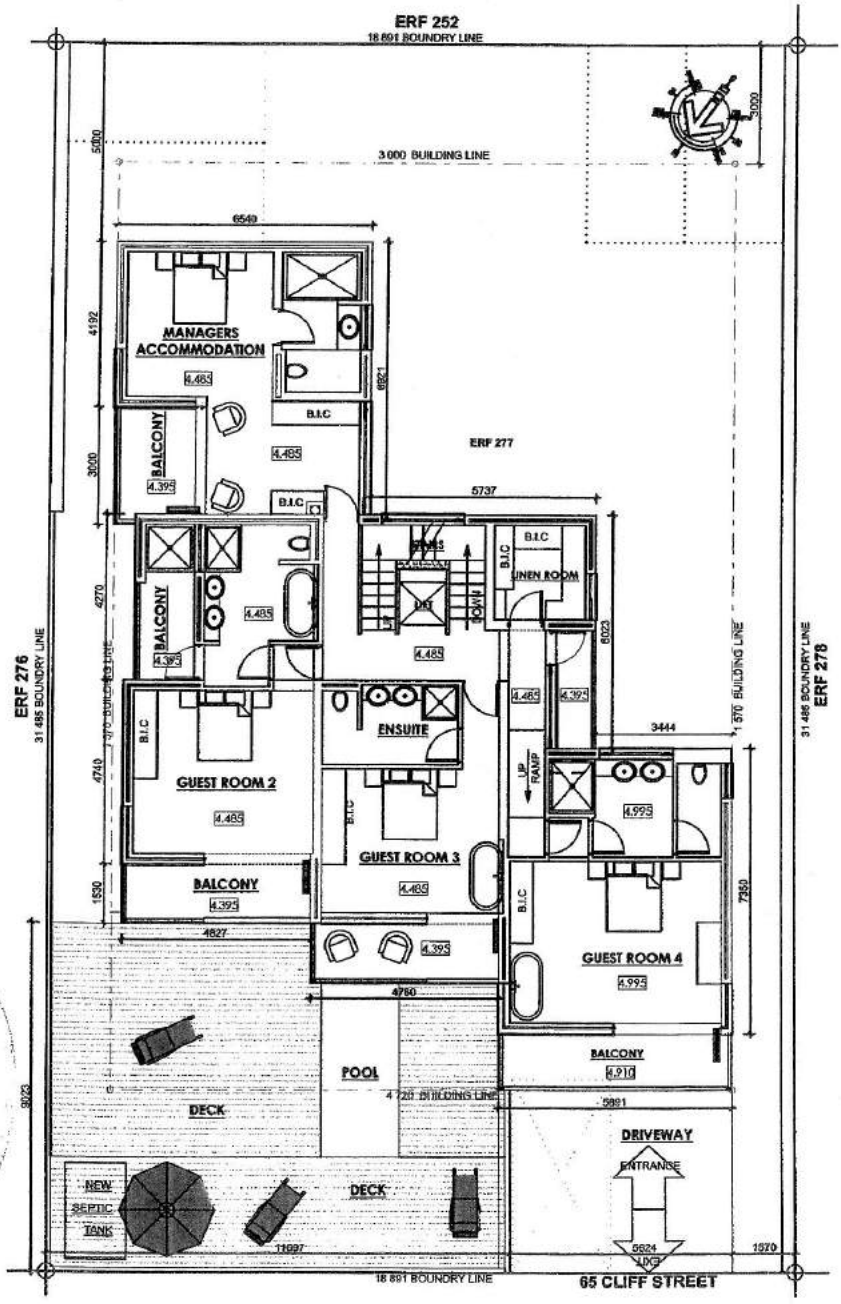
Guest House - Stewart Wallace
 Erf 277 De Kelders Gansbaai 7220

Prins Arch
 MARTIN BRINLOO
 Architectural & Engineering
 111 De Kelders Road, Gansbaai 7220
 Tel: 021 211 1111
 Fax: 021 211 1112
 Email: info@prinsarch.com

Three James Trust

GENERAL NOTES:
 1. ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE BEFORE WORK MAY START ON MATERIAL ORDERED.
 2. DIMENSIONS SHOWN HAVE PERFORMANCE GRADES.
 3. ALL WORKING ACCORDING TO S.A.S. AND NATIONAL BUILDING REGULATIONS.
 4. THE DESIGN WORK SHOWN ON THIS DRAWING IS CONFINED TO THE SPECIFIC SITES AND CONDITIONS OF THE PROJECT.
 5. LOCATIONS SPECIFICALLY TO PHYSICAL/ARCHITECTURAL DESIGN OFFICE DRAWINGS AND NETWORK STAKEHOLDER PROVIDED.

REVISION	DATE	DESCRIPTION



FIRST STOREY FLOOR PLAN - (1:100)

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 277, DE
KELDERS (3998)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that the existing water connection and sewer conservancy tank to Erf 277 shall be used to service Erf 277;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 277, De Kelders, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**7. ERF 2860, CORNER OF BERGSIG ROAD & SCHULPHOEK ROAD,
SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR
DEPARTURES: MESSRS WRAP ON BEHALF OF THE SEA AND SHORE
TRUST**

2860 HSB (3940)

H Boshoff

(028) 313 8900

Hermanus Administration

19 February 2019

Executive Summary

An application has been received on 12 March 2018 from Messrs WRAP on behalf of The Sea and Shore Trust in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2860, Sandbaai for the following departures :

- to increase the total maximum allowable floor space of factory shops on the property from 10% to 45%;
- to relax the southern lateral building line from 5m line to 4m to accommodate a new industrial building;
- to relax the western lateral building line from 2m to 0m to accommodate a new industrial building;
- to relax the northern lateral building line from 2m to 0m to accommodate a new industrial building;
- to relax the north western lateral building line from 2m to 0m to accommodate a new industrial building; and
- to relax the north eastern lateral building line from 2m to 1m to accommodate a new industrial building.

RESOLVED :

1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2860, Sandbaai in order to:
 - relax the southern lateral building line from 5m line to 4m to accommodate a new industrial building;
 - relax the western lateral building line from 2m to 0m to accommodate a new industrial building;
 - relax the northern lateral building line from 2m to 0m to accommodate a new industrial building;
 - relax the north western lateral building line from 2m to 0m to accommodate a new industrial building; and to

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

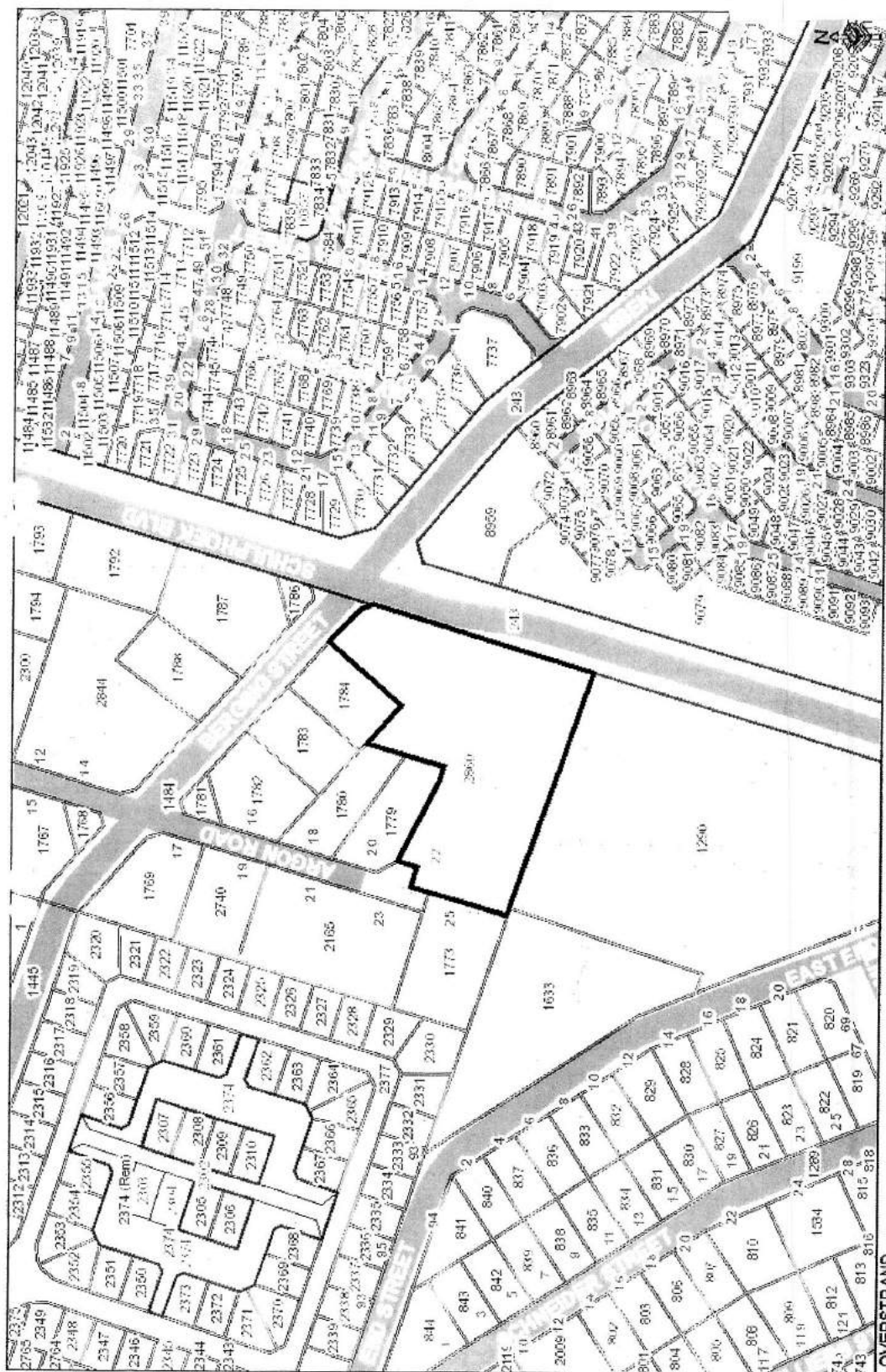
- relax the north eastern lateral building line from 2m to 1m to accommodate a new industrial building.

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) the building line encroachments are only for the dimensions as indicated on undated Plan 3: Site Development Plan which was submitted with the application;
 - (b) that the development of the property must be done in accordance with the Hermanus Business Park Owners' Association's architectural guidelines;
 - (c) that all the parking requirements as per the applicable Zoning Scheme, must be provided on the property;
 - (d) that a 2,5m high boundary wall must be constructed along the whole length of the communal boundary with Erf 1290, Sandbaai (Bosco School);
 - (e) that the conditions of the Engineering Services and Telkom respectively, must be adhered to;
 - (f) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (g) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (h) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (i) that the owners of Erf 1779 be consulted by the owners of the subject property with regard to the construction phase and possible damage to the fence to ensure safety and security.
2. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2860, Sandbaai in order to increase the total maximum allowable floor space of factory shops on the property from 10% to 45%, **not be approved** in terms of the provisions of Section 61 of the By-Law, and

**AGENDA of the
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20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

3. that the applicant and commenters be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above decisions.



Erf 2860 Sandbaai

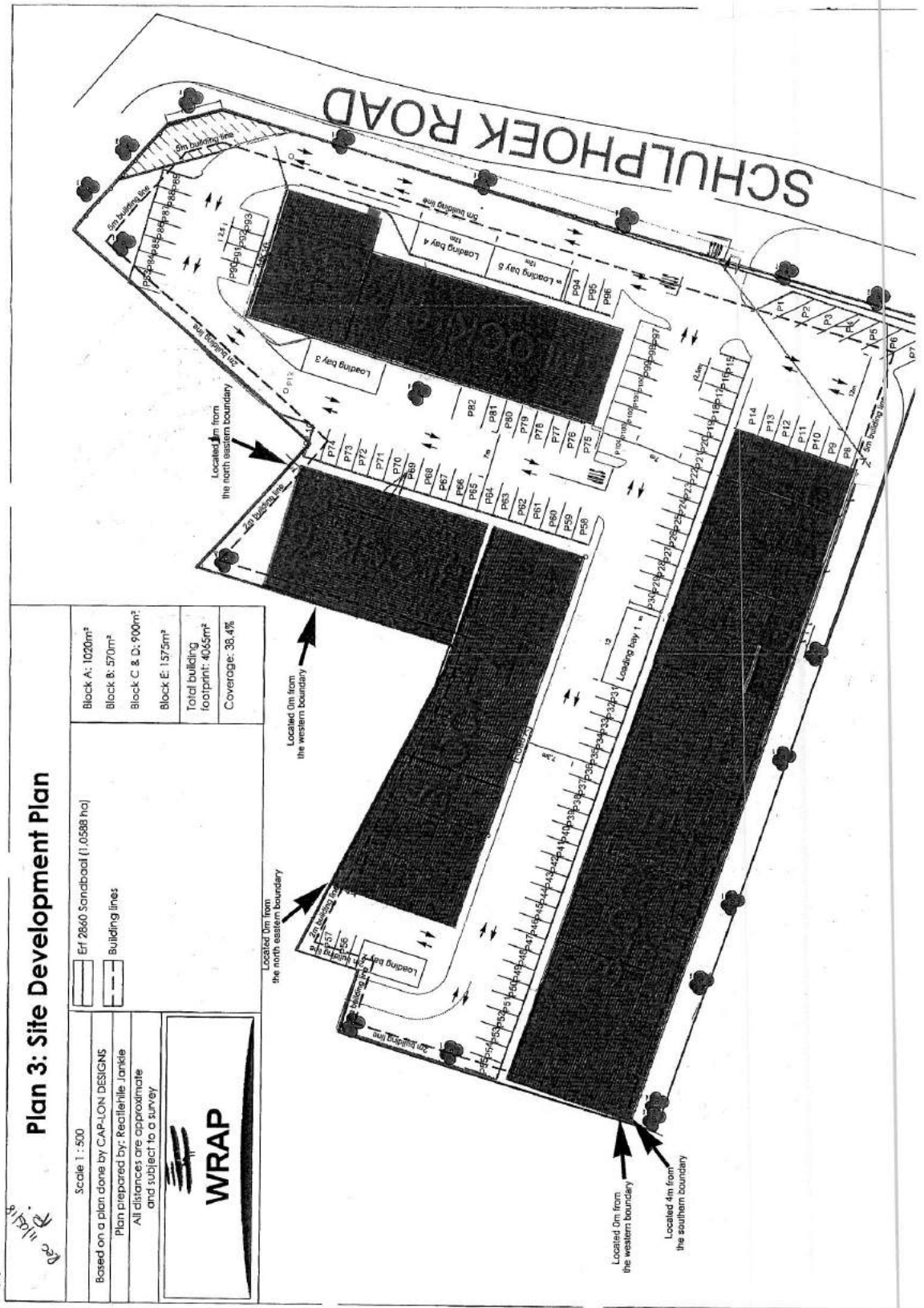
Date: 2018-03-23





Aerial Erf 2860, HSB

Date: 2019-02-20



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2860, SANDBAAI (3856)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 -P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Directorate: Operational Services;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 2860, Sandbaai, unobstructed;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

03/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**8. ERF 43, 6 ONSE BAAI, VAN DYKSBAAI, OVERSTRAND MUNICIPAL AREA:
APPLICATION FOR DEPARTURE: MESSRS ME PLANNERS ON BEHALF
OF THE GHER RABIE FAMILY TRUST**

43 GKB (4049)

**SW van der Merwe
3 May 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 20 June 2018 from ME Planners on behalf of the GHER Rabie Family Trust in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 43, van Dyksbaai for the following departures:

- encroachment of the 4m street building line to 2,368m to accommodate a portion of the existing garage as roof terrace;
- encroachment of the 2m western lateral building line varying between 1,222m and 1,520m to accommodate the master bedroom and bathroom;
- encroachment of the 2m eastern lateral building line to 1m and 1,2m respectively to accommodate an existing bathroom and outbuilding (bedroom 5), and
- encroachment of the 2m rear building line varying between 0,771m and 1,002m to accommodate a store room and 1,161m and 1,970m to accommodate bedroom 5.

RESOLVED :

1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 43, Van Dyksbaai in order to:
 - relax the 4m street building line to 2,368m to accommodate a portion of the existing garage as roof terrace;
 - relax the 2m western lateral building line varying between 1,222m and 1,520m to accommodate the master bedroom and bathroom;
 - relax the 2m eastern lateral building line to 1m and 1,2m respectively to accommodate an existing bathroom and outbuilding (bedroom 5), and
 - relax the 2m rear building line varying between 0,771m and 1,002m to accommodate a store room and 1,161m and 1,970m to accommodate bedroom 5.

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- (a) that the approval is only for the departures indicated on the Site Development Plan;
 - (b) that the conditions compiled in the Services Report, be complied with;
 - (c) that the railings on the roof terrace shall remain translucent / see through at all times;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (f) that the written consent be obtained from the owner of Erf 721, Van Dyksbaai pertaining to the encroachment of the stairs, situated in the panhandle.
2. that the applicant and person who commented be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN : ERF 43, KLEINBAAI

Date: 2019-01-22



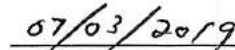
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 43, KLEINBAAI (4049)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 43, Kleinbaai, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

9. ERF 2643, 19 DAGERAAD STREET, PEARLY BEACH (PEARLY BEACH RESORT), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: SE BAARD

2643 GPB (2928)

SW vd Merwe

(028) 313 8900

Hermanus Administration

6 May 2019

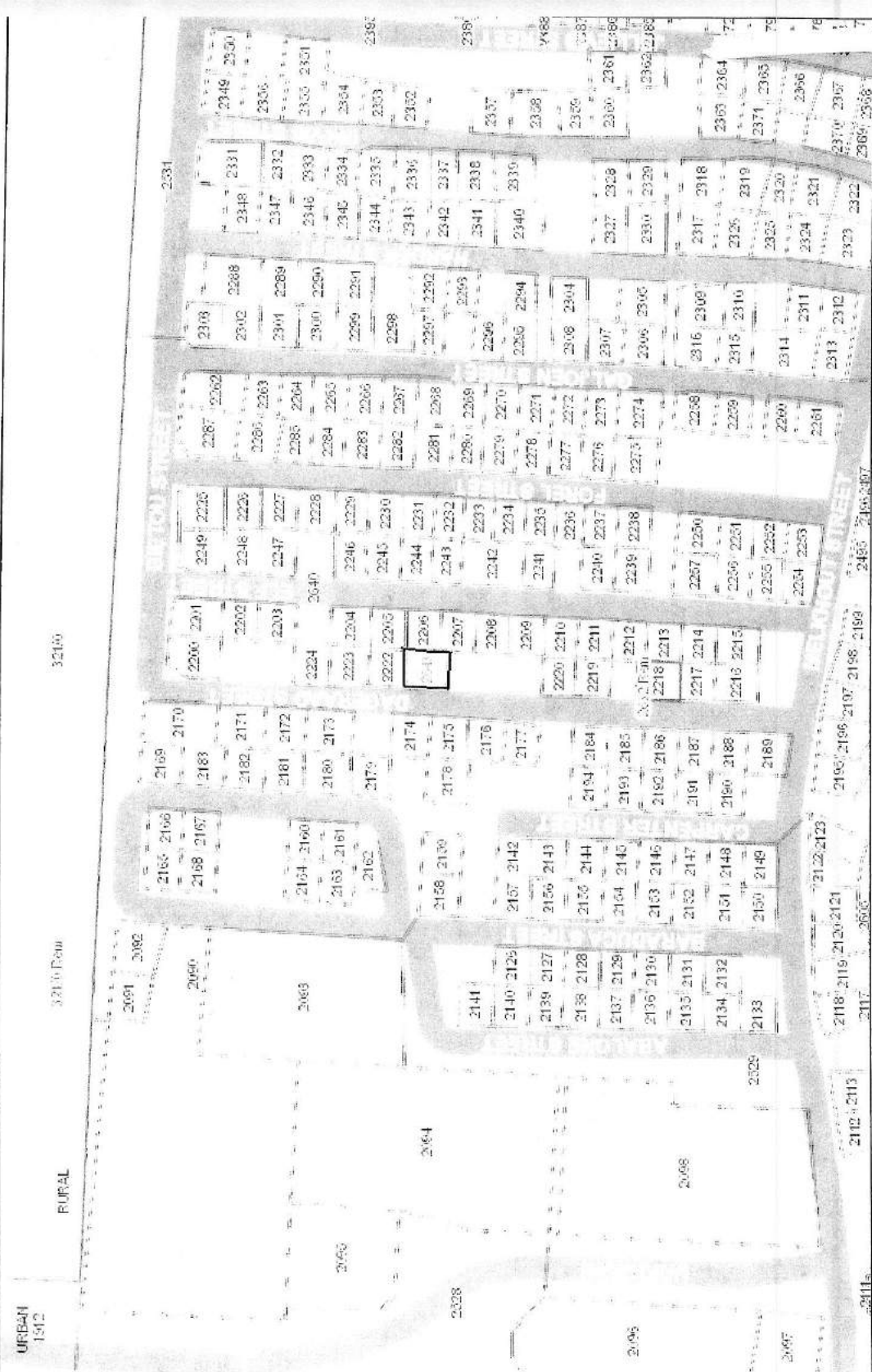
Executive Summary

To consider an application received on 16 January 2019 from the owner of Erf 2643, Pearly Beach, SE Baard, for departure from the Resort Development Rules in terms of Section 16(2)(b) of the Overstrand By-Law on Municipal Land Use Planning, 2015 in order to encroach the 1m lateral building line varying between 0,600m and 0,990m to accommodate the existing dwelling, which dwelling encroach the 4,5m height restriction with 0,25m (pitched roof).

RESOLVED :

1. that the application for departure on Erf 2643, Pearly Beach in terms of Section 16(2)(b) of the Overstrand By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 1m to 0,600m and 0,990m and the 4,5m height restriction with 0,25m to accommodate the existing dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the departures indicated on the Site Plan as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all the conditions in the Services Report, be complied with;
 - (d) that the development be in compliance with the approved guidelines, and
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation.

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



URBAN
1512

RURAL

32100 ROW

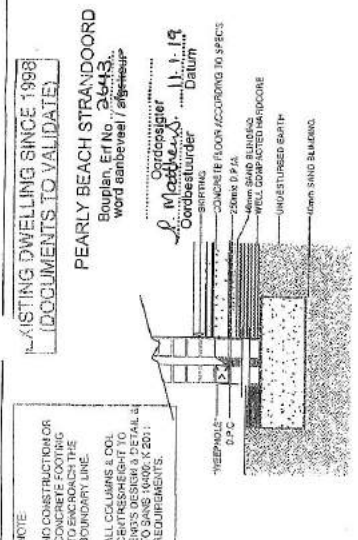
32100



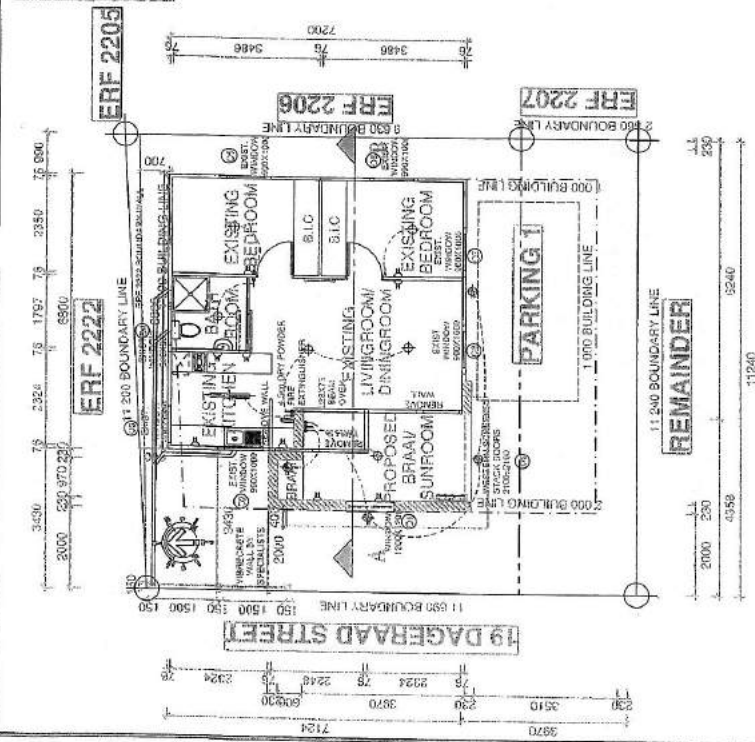
ERF 2643 GPB

Date: 2010-02-07

NOTE
 GENERAL: 1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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 8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.



FOUNDATION DETAIL
 SCALE 1:25



SITE & GROUND FLOOR PLAN
 SCALE 1:100

ENERGY DEMANDS

ALLOWED SW/SCM	28KW
SW/SCM/RES	43.7W + 28W
EXTERIOR LIGHTS	52.4W + 24W
CEILING LIGHTS	15.1W + 11W
MEDIA LIGHT	45W
TOTAL	
DEMAND SW/SCM	0.88SW/SCM
SC COMP. Y. ACCORDING TO SANS 200:2011 TABLE 12	

ELECTRICAL KEY

INCL. LIGHT/OUTSIDE	□
BEAM LIGHT/FIXTURE	□
UPPER SWITCH/SHALE	□
RESTRICTING COUPLER	□
1PH NEW LIGHT	□
1PH OLD LIGHT	□
1PH NEW LIGHT	□
1PH OLD LIGHT	□

LOADING TABLE

NO.	W	D	L	W	D	L	W	D	L	W	D	L
1	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
2	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
3	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
4	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
5	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
6	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
7	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
8	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
9	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
10	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
11	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
12	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
13	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
14	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
15	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
16	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
17	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
18	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
19	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
20	1.20	1.20	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40

PROPOSED ADDITION
 FOR 3E RAABD
 ON ERF 2648
 10 DAGERBAAD STREET
 PEARLY BEACH RESORT
GANSBAAI

NOTE
 SITE & GROUND FLOOR PLAN
 ELECTRICAL, SET, LEGEND
 ENERGY DEMAND FOR DETAIL
 SANS 10400-1:2011

DATE
 19/04/2013

OWNER
 GANSBAAI HOLDINGS

DRAWN BY
 J. VAN DER MERWE

SCALE
 AS SHOWN

COVER
 1374cm

EXISTING GROUND FLOOR:
 1000sqm
NEW BRAAV SUNROOM:
 250sqm
TOTAL:
 1250sqm

ET HOME DESIGNS
 10 DAGERBAAD STREET
 PEARLY BEACH RESORT
 GANSBAAI

READ IN CONJUNCTION WITH
 SANS 10400-XA
 NTS

ENERGY DEMAND
 NTS

ELECTRICAL KEY
 NTS

PEARLY BEACH STRANDCOORD

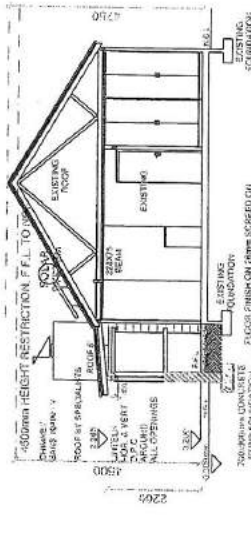
Roubaix, Erf No. 24A3, word behever/Regisierder

GENERAL NOTES:
 1. ALL DIMENSIONS AND HEIGHTS TO BE INDICATED ON THE DRAWING UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO BE CHECKED ON SITE AND VERIFIED TO MATCH THE DIMENSIONS TO SCALE.
 3. ALL DIMENSIONS TO BE CHECKED ON SITE AND VERIFIED TO MATCH THE DIMENSIONS TO SCALE.
 4. ALL DIMENSIONS TO BE CHECKED ON SITE AND VERIFIED TO MATCH THE DIMENSIONS TO SCALE.
 5. ALL DIMENSIONS TO BE CHECKED ON SITE AND VERIFIED TO MATCH THE DIMENSIONS TO SCALE.

NOTE:
 NO CONSTRUCTION OR CONCRETE FOOTING TO EXCEED THE BOUNDARY LINE.
 ALL COLUMNS & COIL CENTRE-TO-CENTRE HEIGHT TO SHALD BE 2011 REQUISITION.

- EXISTING TIMBER STRUCTURE:**
 1. SOLE PLATES N/A
 2. CONCRETE FLOORING
 3. WUTS @ 900mm C/C
 4. 15mm FIRE BOARD 18 - 1.0T
 5. UNPAINTED AND PAINTED, SANS 10601 - 2a
 6. RAFTERS AND BUILD IN S/C COURSES DEEP
 7. 28 x 110mm NU TEN PASCA
 8. 10 PVC GUTTERS AND DOWNPIPES
 9. TO MANUFACTURE SPECIFICATIONS
 10. SANS 1100-BKALR.1

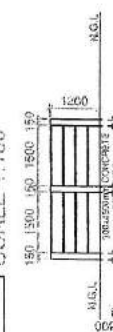
GAS INSTALLATION MUST BE CHECKED BY CERTIFIED INSTALLER. MUST HAVE CROSS VENTILATION THAT COMPLY BY SANS REGULATIONS.



ROOF BY SHELTERING:
 1. ROOF PITCH 1:12
 2. ROOF COVERING: 15mm FIRE BOARD
 3. ROOF RAFTERS: 28 x 110mm NU TEN PASCA
 4. ROOF BRACES: 28 x 110mm NU TEN PASCA
 5. ROOF TRUSS: 28 x 110mm NU TEN PASCA
 6. ROOF GUTTERS: 10 PVC GUTTERS
 7. ROOF DOWNPIPES: 10 PVC DOWNPIPES
 8. ROOF VENTS: 150mm DIA VENTS
 9. ROOF FLASHING: 150mm DIA FLASHING
 10. ROOF DRAINAGE: 150mm DIA DRAINAGE

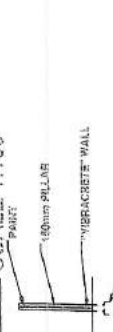
SECTION A - B

SCALE 1:100



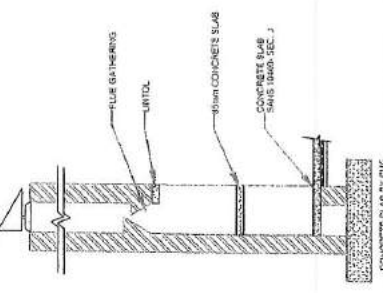
WALL DETAILS

SCALE 1:100



SECTION OF WALL

SCALE 1:100



BRAAI DETAIL

SCALE 1:50

- PROPOSED ADDITION:**
 FOR S. LEBAARD ON ERF 2643
 18 DAGERAD STREET, PEARLY BEACH RESORT, GANSBAAI

SECTION 2 - B WALL SECTION & DETAIL (BRAAI DETAIL IS NOTED)

DRAWING NUMBER: 1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

DRAWN BY: EYFIRE TRADING

ET HOME DESIGNS

1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

DRAWN BY: EYFIRE TRADING

ET HOME DESIGNS

1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

DRAWN BY: EYFIRE TRADING

ET HOME DESIGNS

1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

DRAWN BY: EYFIRE TRADING

ET HOME DESIGNS

1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

DRAWN BY: EYFIRE TRADING

ET HOME DESIGNS

1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

DRAWN BY: EYFIRE TRADING

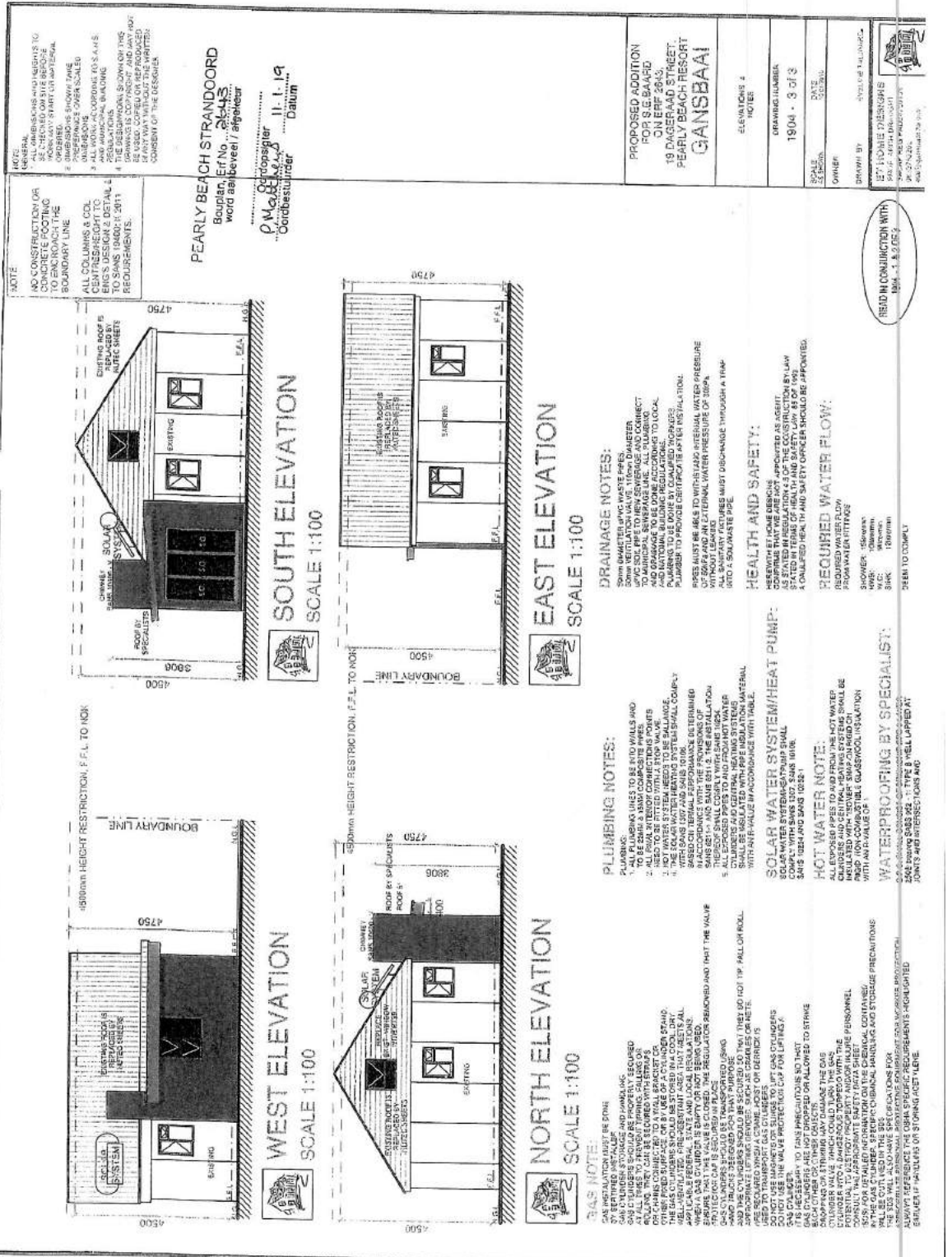
ET HOME DESIGNS

1904 - 2 OF 3

SCALE: 1:100

OWNER: EYFIRE TRADING

READ IN CONJUNCTION WITH
 DRAWING NO. 1904 - 1 OF 3



NOTE:
 1. ALL DIMENSIONS AND HEIGHTS TO CONCRETE FOOTING UNLESS OTHERWISE NOTED.
 2. FINISH FLOOR FINISH TO BE DETERMINED BY THE ARCHITECT.
 3. PERFORMANCE OVER SCALE.
 4. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 6. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 7. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 8. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 9. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 10. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

PEARLY BEACH STRANDDOORD
 Bouplan, Erf No. 26-15
 word aalbeveel / adviseur

P. M. van der Grinten
 Architect
 11.11.19
 Datum

SOUTH ELEVATION
 SCALE 1:100

EAST ELEVATION
 SCALE 1:100

WEST ELEVATION
 SCALE 1:100

NORTH ELEVATION
 SCALE 1:100

PROPOSED ADDITION FOR S.C. BAARD ON EFF. 28.03. 18 DINGERHAD STREET, PEPPIJN BEACH RESORT GANSBAAI
ELEVATIONS 2 HOTER
DRAWING NUMBER 1804 - 3 OF 3
SCALE 1:100
DATE 11.11.19
OWNER
DRAWN BY S. VAN DER GRIJND
DESIGNED BY P. M. VAN DER GRINTEN

READ IN CONJUNCTION WITH
 1804 - 1 & 2 OF 3

DRAINAGE NOTES:

1. DOWNCAST PVC WASTE PIPES.
2. ALL WASTE PIPES TO BE IN WALLS AND TO BE SECURED WITH STRAPS.
3. ALL WASTE PIPES TO BE CONNECTED TO APPROPRIATE SEWERAGE LINE. ALL TUBING TO BE INSTALLED IN ACCORDANCE WITH LOCAL AND NATIONAL BUILDING REGULATIONS.
4. NOT WATER HEATING SYSTEM SHALL COMPLY WITH THE PERFORMANCE DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL BUILDING REGULATIONS.
5. ALL EXPOSED PIPES TO AND FROM HOT WATER STORAGE SHALL BE INSULATED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

PLUMBING NOTES:

1. ALL PLUMBING TO BE IN WALLS AND TO BE SECURED WITH STRAPS.
2. ALL PLUMBING TO BE CONNECTED TO APPROPRIATE SEWERAGE LINE. ALL TUBING TO BE INSTALLED IN ACCORDANCE WITH LOCAL AND NATIONAL BUILDING REGULATIONS.
3. NOT WATER HEATING SYSTEM SHALL COMPLY WITH THE PERFORMANCE DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL BUILDING REGULATIONS.
4. ALL EXPOSED PIPES TO AND FROM HOT WATER STORAGE SHALL BE INSULATED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

GAS NOTE:

ALL GAS PIPING TO BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL BUILDING REGULATIONS AND THAT THE VALVE SHALL BE INSTALLED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

ALL EXPOSED PIPES TO AND FROM HOT WATER STORAGE SHALL BE INSULATED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

ALL EXPOSED PIPES TO AND FROM HOT WATER STORAGE SHALL BE INSULATED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

ALL EXPOSED PIPES TO AND FROM HOT WATER STORAGE SHALL BE INSULATED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

HEALTH AND SAFETY:

THESE DRAWINGS HAVE BEEN PREPARED BY AN ARCHITECT REGISTERED WITH THE ARCHITECTS BOARD OF SOUTH AFRICA. A CALLED HEALTH AND SAFETY OFFICER SHOULD BE APPOINTED TO CONDUCT A HEALTH AND SAFETY ASSESSMENT OF THE PROJECT.

REQUIRED WATER FLOW:

- SHOWER: 150 l/min
- KITCHEN: 10 l/min
- SINK: 10 l/min

SOLAR WATER SYSTEM/HEAT PUMP:

SOLAR WATER SYSTEMS/HEAT PUMPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL BUILDING REGULATIONS AND THAT THE VALVE SHALL BE INSTALLED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

HOT WATER NOTE:

ALL EXPOSED PIPES TO AND FROM HOT WATER STORAGE SHALL BE INSULATED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

WATERPROOFING BY SPECIALIST:

ALL WATERPROOFING TO BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL BUILDING REGULATIONS AND THAT THE VALVE SHALL BE INSTALLED WITH 25MM INSULATION WITH AN R-VALUE IN ACCORDANCE WITH TABLE 1.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2643, PEARLY BEACH (2928/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**10. ERF 4589, 3 KINGSWAY CRESCENT, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: WJ DREYER**

4589 HON (2953)

H Olivier

(028) 313 8900

Hermanus Administration

9 May 2019

Executive Summary

An application has been received on 5 December 2018 from WJ Dreyer on Erf 4589, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the following:

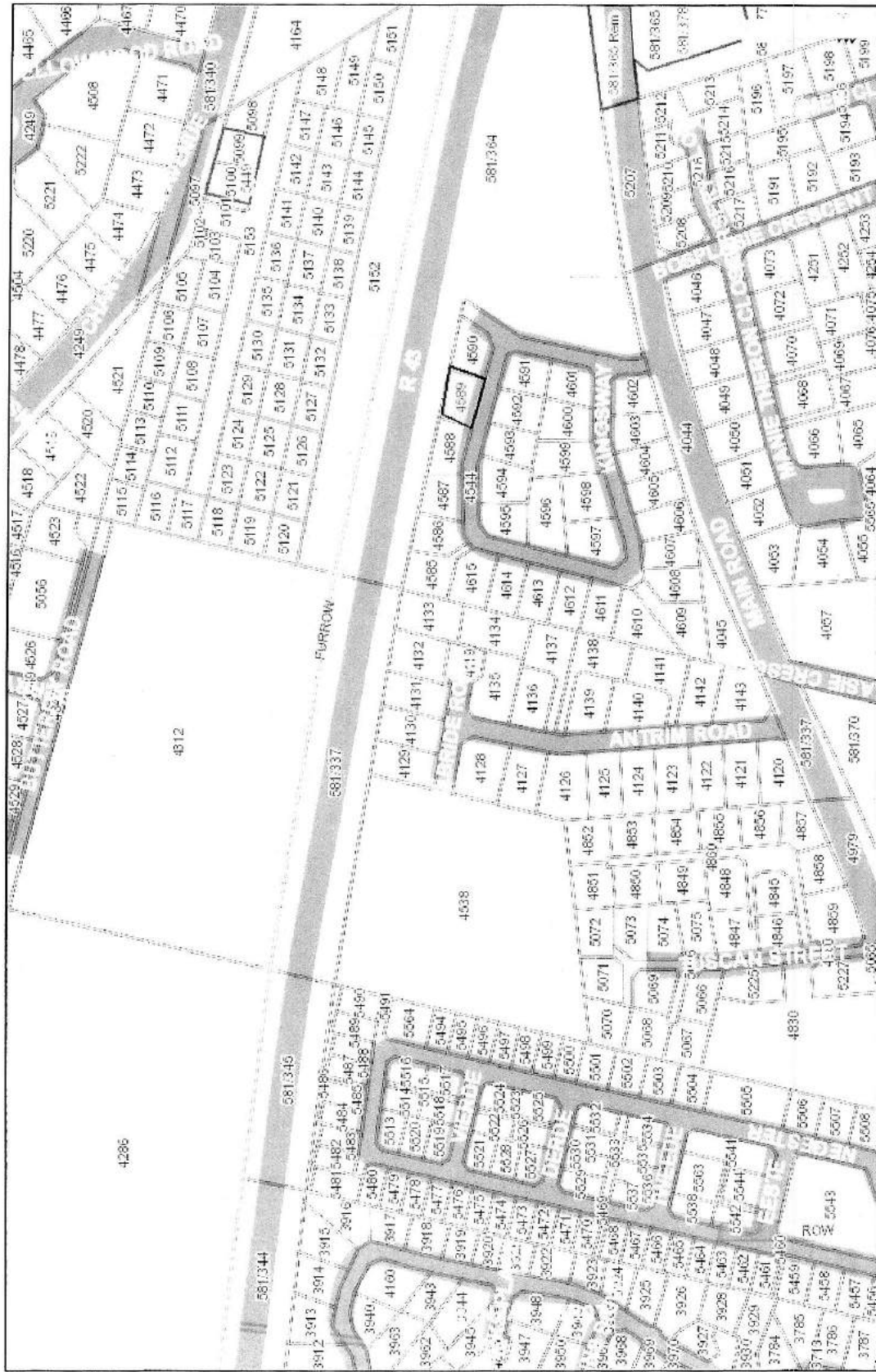
- The street building line from 4m to 1,85m for the existing dwelling;
- The street building line from 4m to 0m for the existing timber deck, and
- The western lateral building line from 2m to 1,038m for a car shade port

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 4589, Onrustrivier to relax the street building line from 4m to 1,85m and 0m to accommodate an existing dwelling and low-deck respectively, and also to relax the 2m western lateral building line to 1,038m to accommodate the existing shade port structure, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the building lines as indicated on the plan submitted by the architect with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

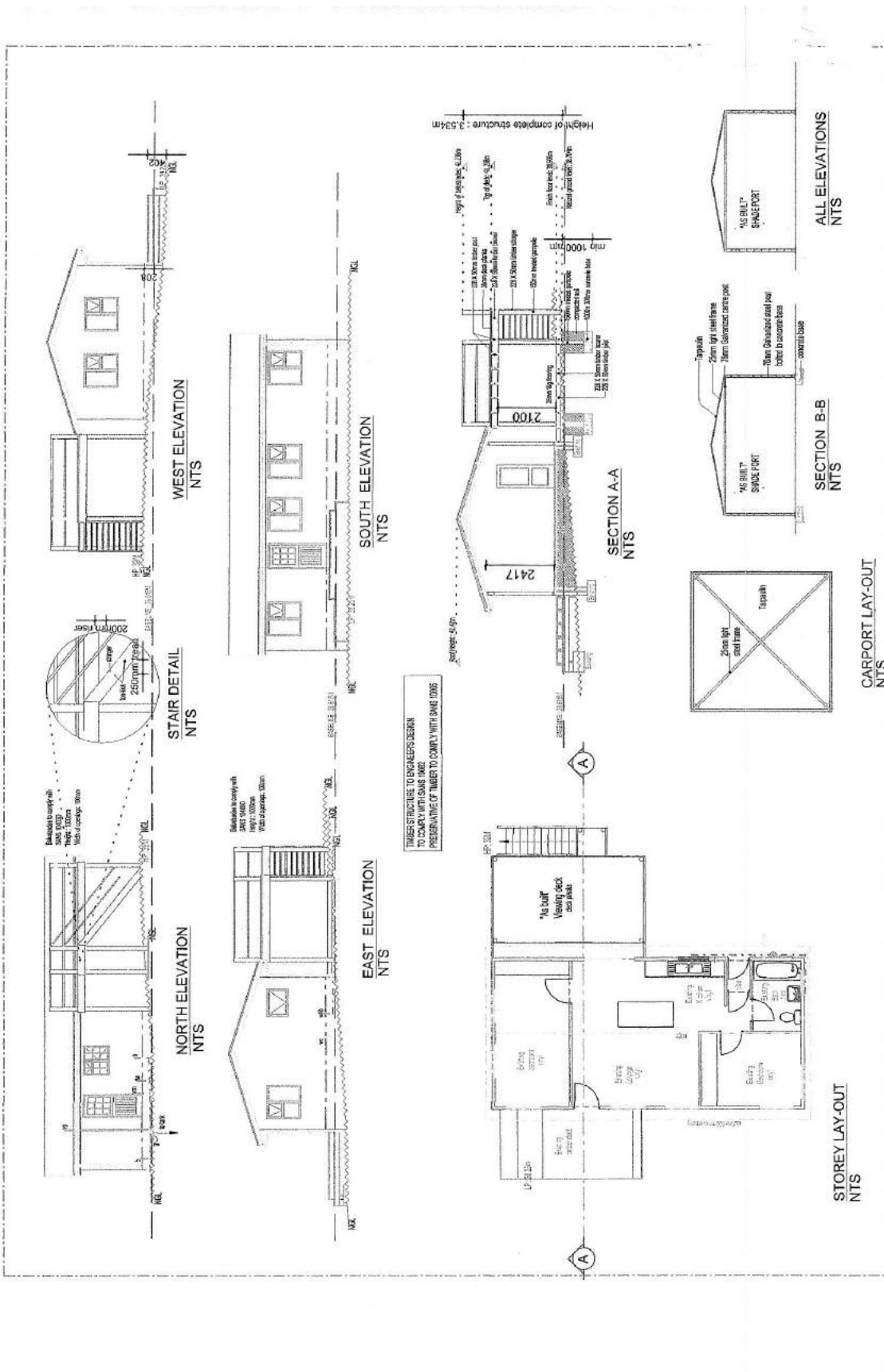
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

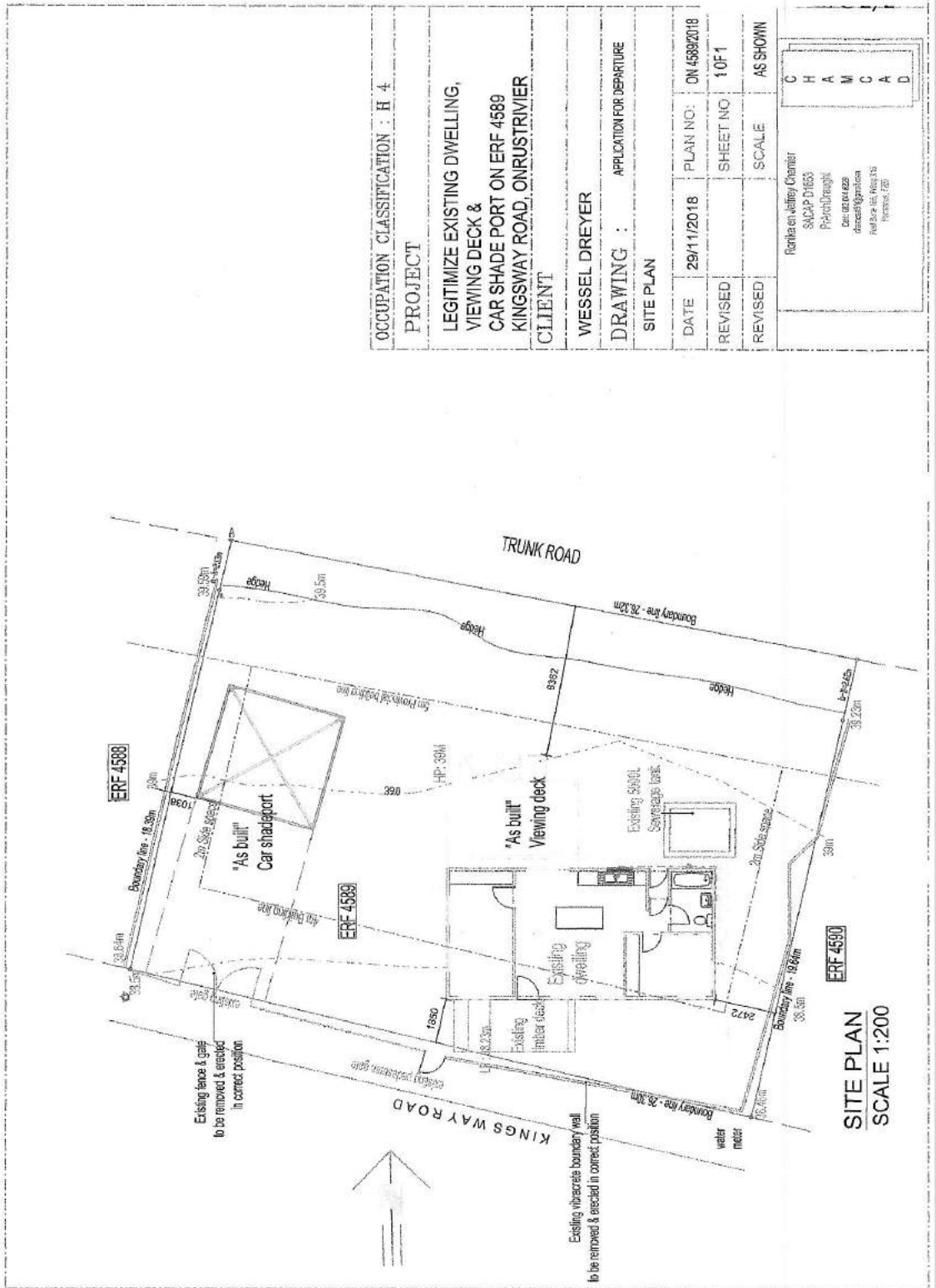


Erf 4589 Ontarivier

**OVERSTRAND
MUNICIPALITY**

Date: 2019-01-30





SITE PLAN
SCALE 1:200

OCCUPATION CLASSIFICATION : H 4	
PROJECT	LEGITIMIZE EXISTING DWELLING, VIEWING DECK & CAR SHADE PORT ON ERF 4589 KINGSWAY ROAD, ONRUSTRIVIER
CLIENT	WESSEL DREYER
DRAWING :	APPLICATION FOR DEPARTURE
SITE PLAN	
DATE	29/11/2018
REVISÉ	
REVISÉ	
PLAN NO :	ON 4589/2018
SHEET NO	1 OF 1
SCALE	AS SHOWN

Florida en Jeffrey Chemier
 SACAP D1663
 PictetDraaht
 Cot: 02 04 828
 daniel@pictet.com
 Postbus 161, Nieuw VTS
 1600 Nieuw VTS

C
H
A
M
C
A
D

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4589, ONRUS RIVER (2767/2018)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4589, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. D. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

15/02/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

11. ERF 2353, 44 KRIGE STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ME PLANNERS ON BEHALF OF JN GELDENHUYS, C GELDENHUYS AND F DU TOIT

2353 HON (4210)

H Olivier

(028) 313 8900

Hermanus Administration

2 April 2019

Executive Summary

An application has been received on 5 October 2018 from Messrs ME Planners on behalf of JN Geldenhuys, C Geldenhuys and F du Toit on Erf 2353, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the 2m lateral building line to 1,33m and 1,6m to accommodate the existing dwelling.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 2353, Onrustrivier in order to relax the 2m western lateral building line to 1,33m and 1,6m to accommodate the existing dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that building plans be submitted to the Building Department, and that all conditions set by the Building and Fire Departments at that stage, be complied with;
 - (b) that this approval only relates to a departure for the structure as indicated on plan DRG.No.2 dated November 2017;
 - (c) that all the conditions in the Service Report, be complied with;
 - (d) that all conditions imposed by Eskom, be complied with, and
 - (e) that this is not an approval in terms of any other relevant legislation.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

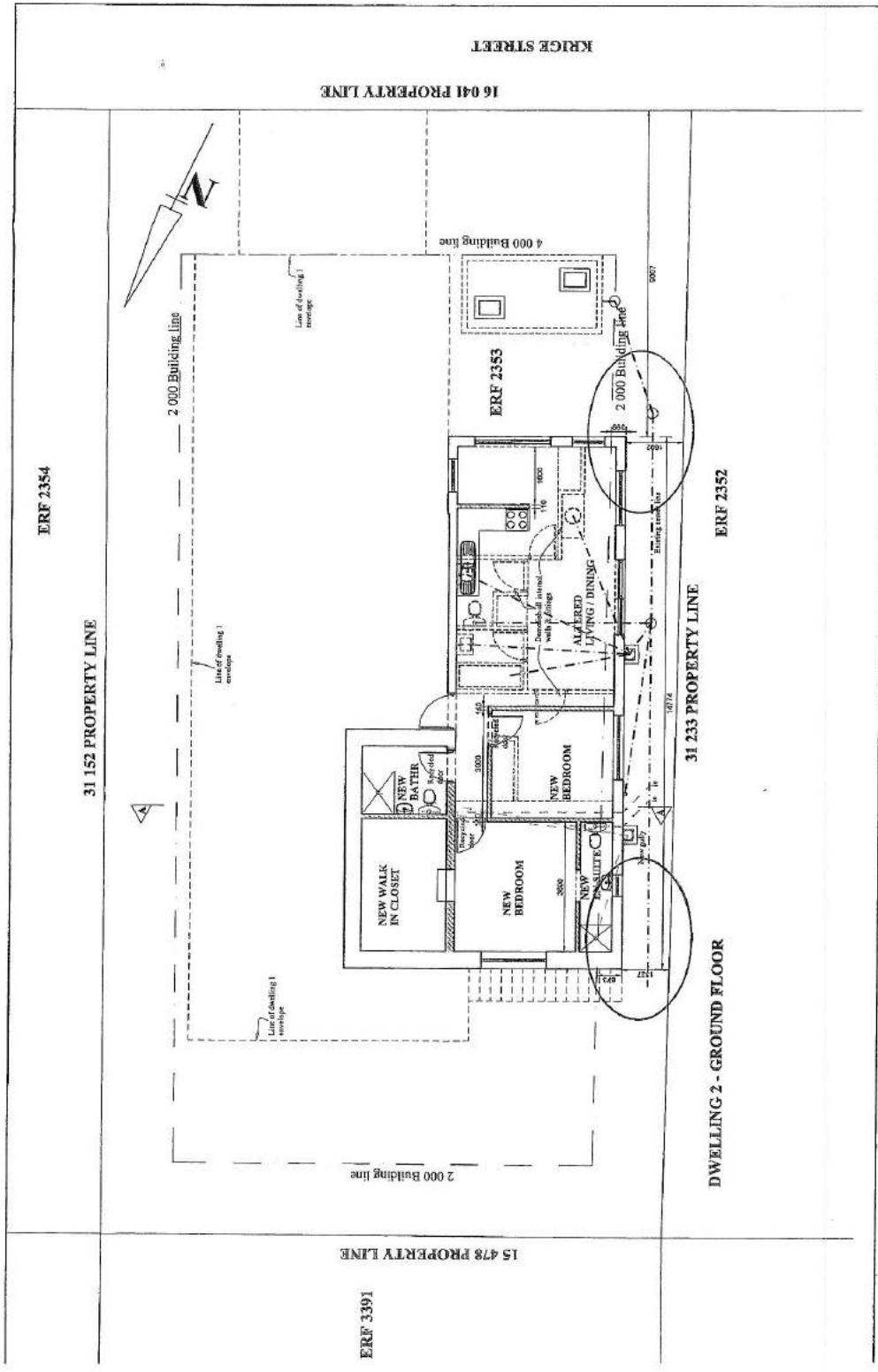


Date: 2018-11-C

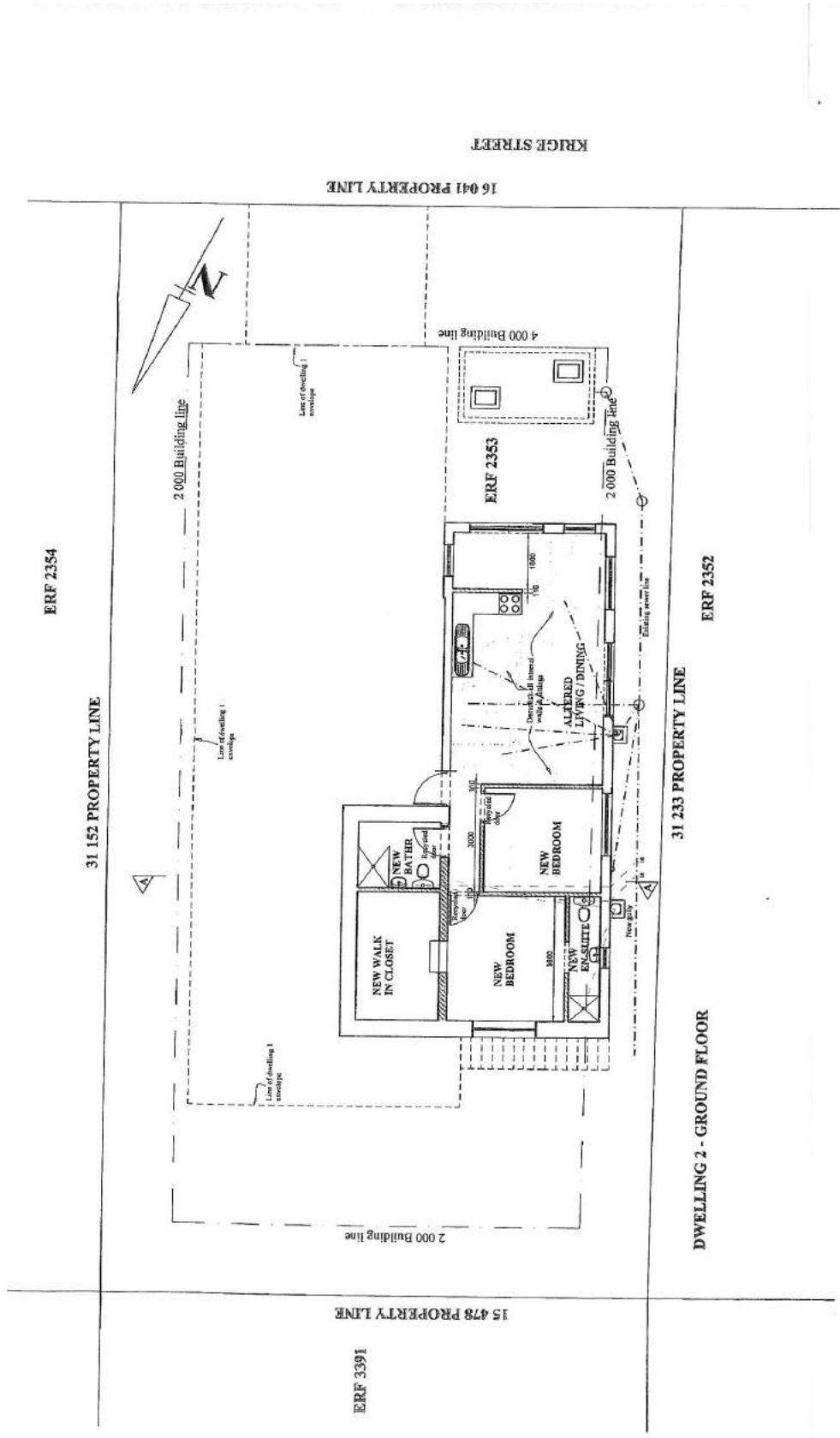
Erf 2353 HON



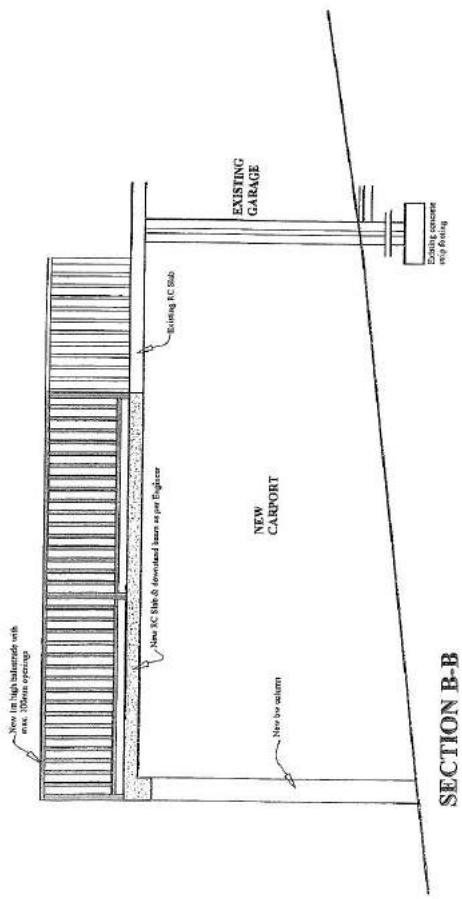
OVERSTRAND MUNICIPALITY



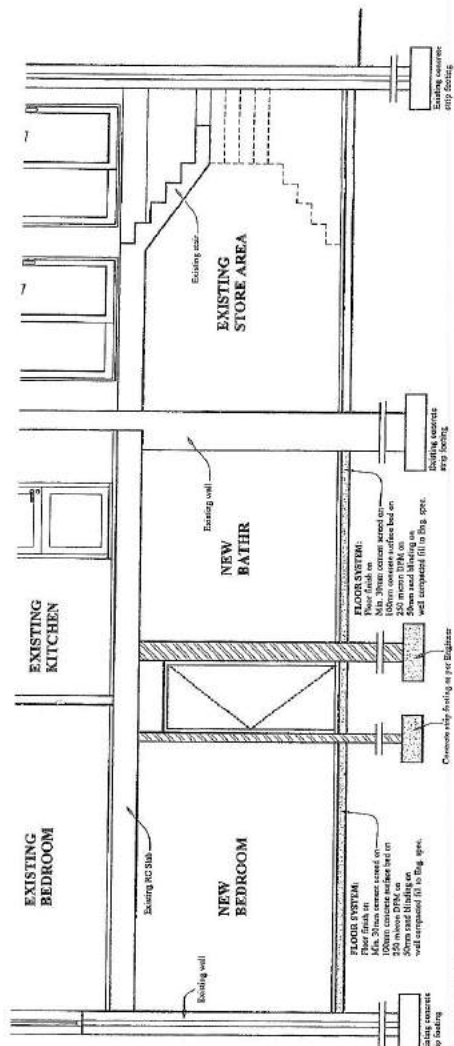
<p>TBS REGISTERED ARCHITECT</p> <p>ACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK</p> <p>WORKS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK</p>	<p>ALTERATIONS FOR APPROVAL</p> <p>R VAN DER MERWE SACAP NO. D2400</p>	<p>ERF 2353 ONRUS RIVER OVERSTAND</p>	<p>DWELLING 2 - GROUND FLOOR</p> <p>SCALE 1:100</p>
<p>DATE: JULY 2018</p>		<p>DRG. NO. 2</p>	



<p>NOTES THE DRAWING IS A COPY. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. USE TO BE DIMENSIONS IN PREFERENCE TO CALLING. ALL WORK TO COMPLY WITH NATIONAL REGULATORY AND LOCAL AUTHORITY REQUIREMENTS. ALL DIMENSIONS ARE IN METERS. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>ALTERATIONS FOR APPROVAL R VAN DER MERWE SACAP NO. D2400</p>	<p>ERF 2353 ONKUS RIVER OVERSEASLAND</p>	<p>DWELLING 2 - GROUND FLOOR SCALE 1:100</p>
			<p>DRG. NO. 2</p>
			<p>DATE : NOVEMBER 2017</p>



SECTION B-B



SECTION A-A

NOTES
 THE DRAWING IS COPYRIGHT:
 CONTRACTOR TO VERIFY ALL DIMENSIONS OF SITE BEFORE COMMENCING WORK.
 USE PREFERRED DIMENSIONS IN PREFERENCE TO CALLING.
 ALL WORK TO COMPLY WITH NATIONAL BUILDING CODES AND LOCAL AUTHORITY REQUIREMENTS.
 ALL DIMENSIONS ARE IN mm.
 ALL RESPONSIBLE CONTRACTOR WORK TO ENFORCE.

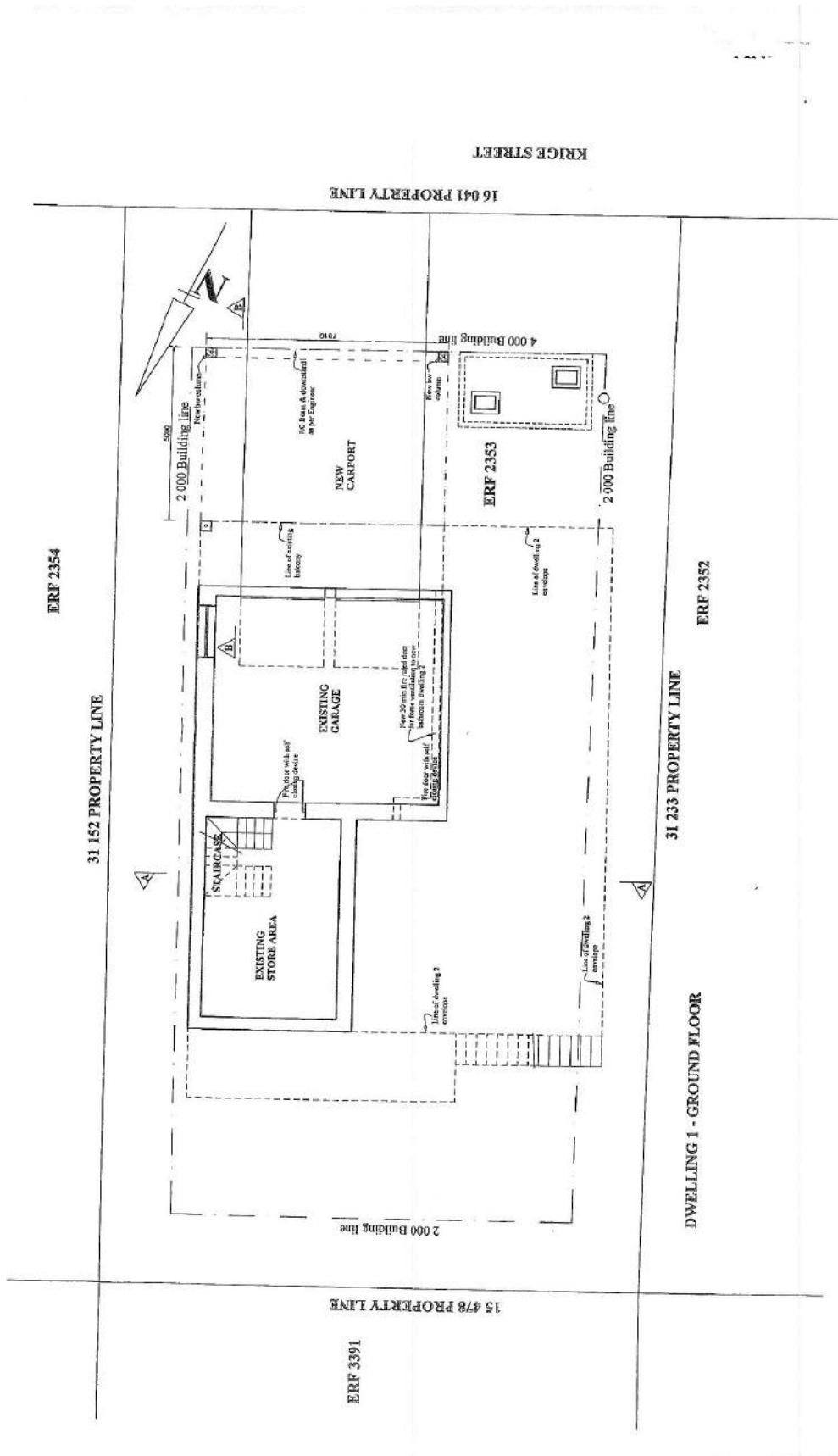
ALTERATIONS FOR APPROVAL
R VAN DER MERWE
 SACAP NO. D2400

ERF 2353
ONRUS RIVER
OVERSTRAND

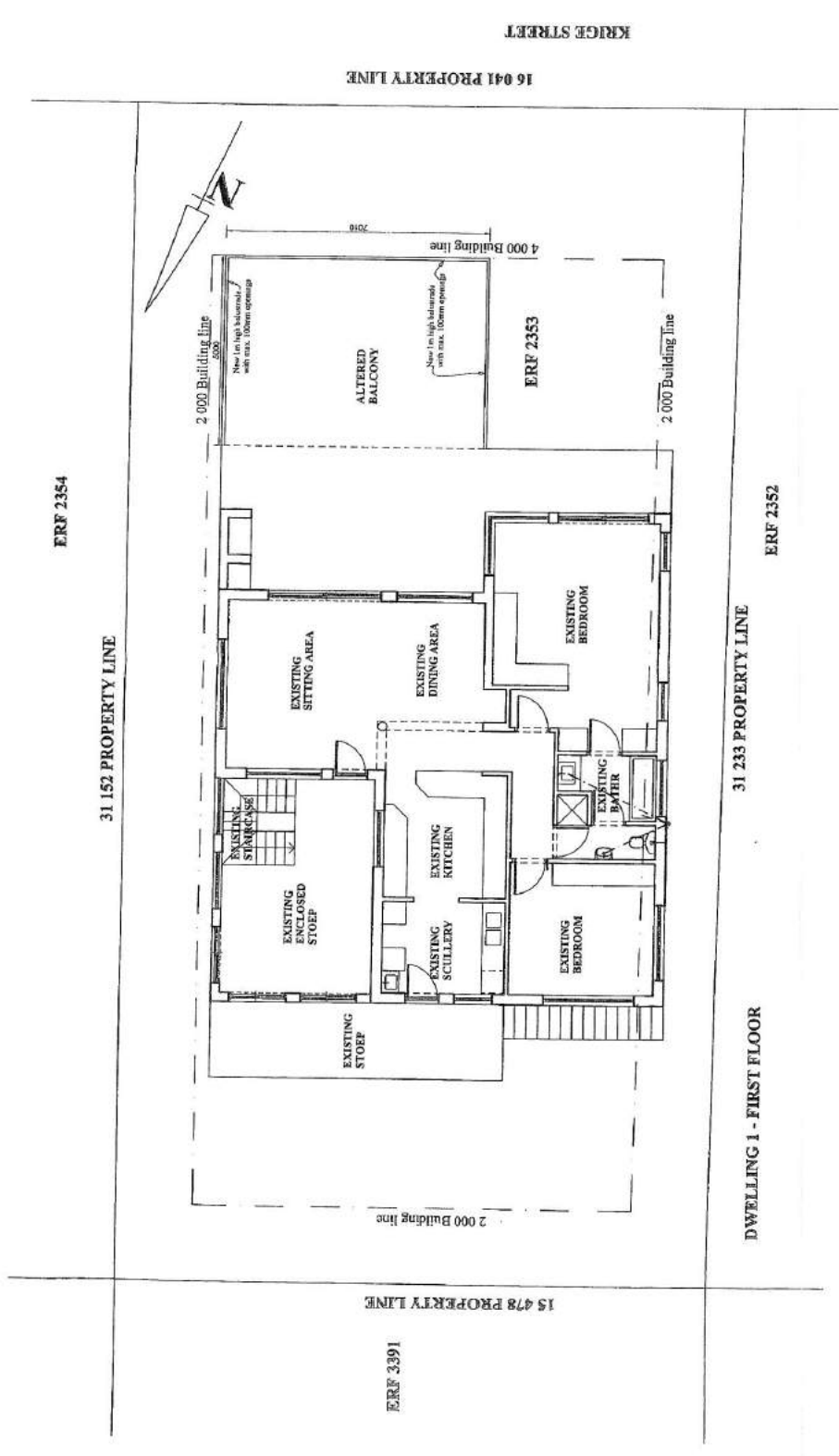
SECTIONS SCALE 1:50

DATE: SEPTEMBER 2017

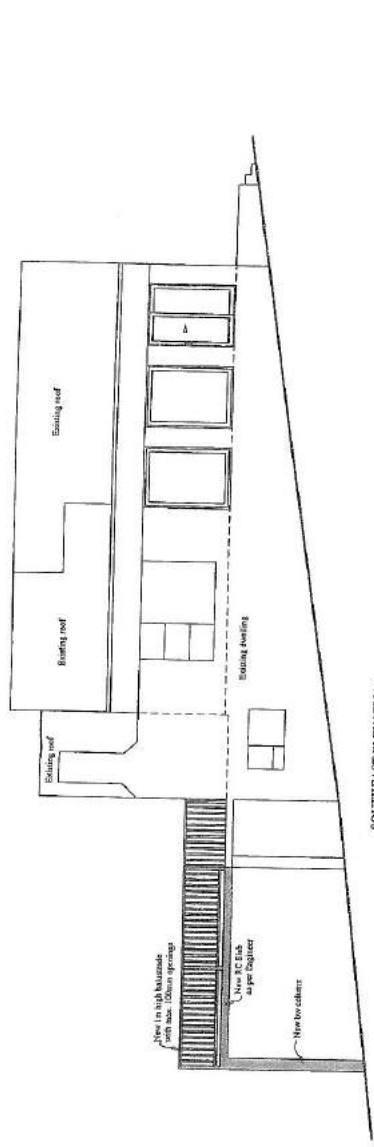
DRG. NO. 5



<p>NOTES</p> <p>THIS DRAWING IS COPYRIGHTED.</p> <p>CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.</p> <p>USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.</p> <p>ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.</p> <p>ALL DIMENSIONS ARE IN METERS.</p> <p>ALL DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE.</p> <p>ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>ALTERATIONS FOR APPROVAL</p> <p>R VAN DER MERWE SACAP NO. P2400</p>	<p>ERF 2353 ONRUS RIVER OVERSTAND</p>	<p>DWELLING 1 - GROUND FLOOR</p> <p>SCALE 1:100</p>
	<p>DATE: NOVEMBER 2017</p>		



<p>NOTES THE DRAWING IS COPYRIGHT CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. USE FINISHED DIMENSIONS OR REFER TO THE DRAWING TO OBTAIN ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS. ALL DIMENSIONS ARE IN MM. ALL REINFORCED CONCRETE WORK TO BE CHECKED BY THE ARCHITECT. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>ALTERATIONS FOR APPROVAL R VAN DER MERWE SACAP NO. D2400</p>	<p>ERF 2353 ONRUS RIVER OVERS TAKAND</p>	<p>DWELLING 1 - FIRST FLOOR SCALE 1:100 DRG. NO. 4 DATE: NOVEMBER 2017</p>
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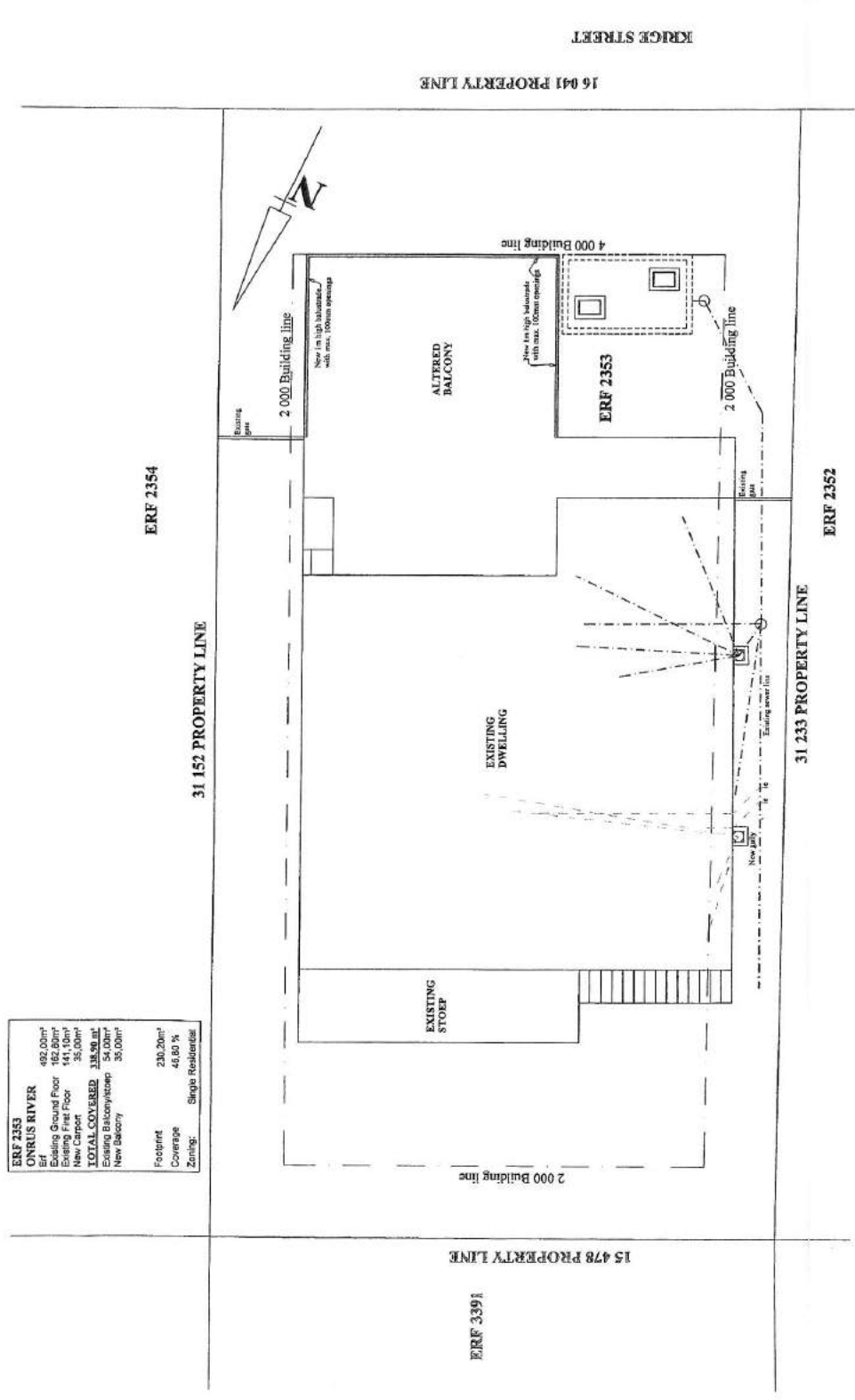


SOUTHEAST ELEVATION



SOUTHWEST ELEVATION

<p>NOTES THE DRAWING IS COPYRIGHT CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. USE DIMENSIONS IN PREFERENCE TO SCALING. ALL WORK TO COMPLY WITH NATIONAL BUILDING TESTS AND LOCAL AUTHORITY REQUIREMENTS. ALL DIMENSIONS ARE IN mm. ALL UNFINISHED CONCRETE WORK TO PAINT/PLASTER. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>ALTERATIONS FOR APPROVAL R VAN DER MERWE SACAP NO. D2400</p>	<p>ERF 2353 ONRUS RIVER OVERSTRAND</p>	<p>ELEVATIONS SCALE 1 : 100</p> <p>DRG. NO. 6</p> <p>DATE : SEPTEMBER 2017</p>
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ERF 2353	ONRUS RIVER
Existing Ground Floor	482,00m ²
Existing First Floor	141,10m ²
New Carport	35,00m ²
TOTAL COVERED	318,90 m²
Existing Balcony/stoep	54,00m ²
New Balcony	35,00m ²
Footprint Coverage	230,20m ² 46,80 %
Zoning:	Single Residential

<p>NOTES</p> <p>THIS DRAWING IS COPYRIGHT.</p> <p>CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.</p> <p>USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.</p> <p>ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATORY REQUIREMENTS.</p> <p>ALL DIMENSIONS ARE IN mm.</p> <p>ALL REINFORCED CONCRETE WORK TO INCLUDE:</p> <p>311 - Reinforcement for Slab/Columns and other structural members per SANS 10400</p>	<p>ALTERATIONS FOR APPROVAL</p> <p>R VAN DER MERWE S.A.C.A.P. NO. 202490</p>	<p>ERF 2353 ONRUS RIVER OVERSTRAND</p>	<p>SITE PLAN SCALE 1 : 100</p>
	<p>DATE : SEPTEMBER 2017</p>	<p>DRG. NO. 1</p>	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2353, ONRUS RIVER (4210)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2353, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

12. **ERVEN 12199 AND 10963, CNR MAIN ROAD AND MUSSEL STREET, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE AND CONSOLIDATION: MESSRS @PLANNING TOWN PLANNING ON BEHALF OF MASSBUILD (PTY) LTD, HERMANUS**

12199 & 10963 HIND (4186)

H van der Stoep

(028) 313 8900

Hermanus Administration

13 May 2019

Executive Summary

An application has been received on 14 September 2018 from Messrs @Planning Town Planning on behalf of Massbuild (Pty) Ltd, Hermanus for the following:

- Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 10963, Hermanus in order to relax the boundary wall height on the south western and southern street boundary from 2,1m to 2,5m for the enclosure of the goods yard.
- Consolidation of Erven 12199 and 10963, Hermanus in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to create better development possibilities in terms of location of footprints of structures.

The application was complete on 5 March 2019 to compile the item, due to the Western Cape Government: Transport and Public Works and applicant's discussions of the access to Main Road.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 10963, Hermanus for a departure in order to relax the boundary wall height on the south western and southern street boundary from 2,1m to 2,5m for the enclosure of the goods yard, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(e) of the above By-Law for the consolidation of Erven 12199 and 10963, Hermanus in order to create better development possibilities in terms of location of footprints of structures, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

3. that the approval in Points 1. and 2. be subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. 3989 -01 dated 22/8/2018, as submitted with the application;
 - (b) that an amended site development plan be submitted indicating the final access points on Main Road and Industria Road, the services servitudes and the extension of Musson Road towards Main Road;
 - (c) that the development is subject to the applicant submitting a rational fire safety design from a competent person for approval as determined by the National Fire Protection Regulations SANS10400T : 2011;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Departments be complied with at that stage;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (g) that all the conditions in the Services Report, be complied with;
 - (h) that all the conditions imposed by the Local Heritage and Aesthetics Committee, be complied with, and
 - (i) that all conditions imposed by the Western Cape Government: Transport and Public Works, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Locality Map



Scale 1:5000

Name	Area	Coverage Area Schedule
Builidngs Warehouse	55,47 m ²	
Builidngs Phase 1	24,53 m ²	
Builidngs Phase 2	7,60 m ²	
Tenant 1	124,1 m ²	
Tenant 2	17,20 m ²	
Tenant 3	1,52 m ²	
Tenant 4	1,54 m ²	
Tenant 5	20,00 m ²	
Grand Total	129,87 m ²	

Floor Factor Calculation		Coverage Calculation	
Floor Space (Total)	Floor Factor	Area	Total Site Area Coverage
10292 m ²	10,786	17894 m ²	35800 m ²
Permissible floor factor = 2		Permissible coverage = 7,25	

Name	Area
Builidngs Carport	1026 m ²
Builidngs Warehouse	20,00 m ²
Builidngs Office	2000 m ²
Builidngs Phase 1	884 m ²
Builidngs Storage	174 m ²
Tenant 1	1240 m ²
Tenant 2	18,60 m ²
Tenant 3	1500 m ²
Tenant 4	1500 m ²
Grand Total	10962 m ²

Zone Information:
Zone: General Industry (IND)
Max Height: 12m
BF Numbers: 12 F9 + 10W3 (Cancelled)

Refer to drawing 00-03 for Area Diagrams

Name	Total Area (m ²)	Required Number of Bays
Builidngs Carport	1026 m ²	2
Builidngs Warehouse	79 m ²	5
Builidngs Office	2003 m ²	4
Builidngs Phase 1	2005 m ²	2
Builidngs Phase 2	884 m ²	2
Builidngs Storage	174 m ²	1
Total	4451 m ²	17

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Builidngs Warehouse	79 m ²	5
Builidngs Office	2003 m ²	4
Builidngs Phase 1	2005 m ²	2
Builidngs Phase 2	884 m ²	2
Builidngs Storage	174 m ²	1
Total	4451 m ²	17

Name	Total Area (m ²)	Required Number of Bays
Tenant 1	1240 m ²	7
Tenant 2	1860 m ²	11
Tenant 3	1500 m ²	9
Tenant 4	1500 m ²	9
Tenant 5	2000 m ²	12
Total	6500 m ²	38

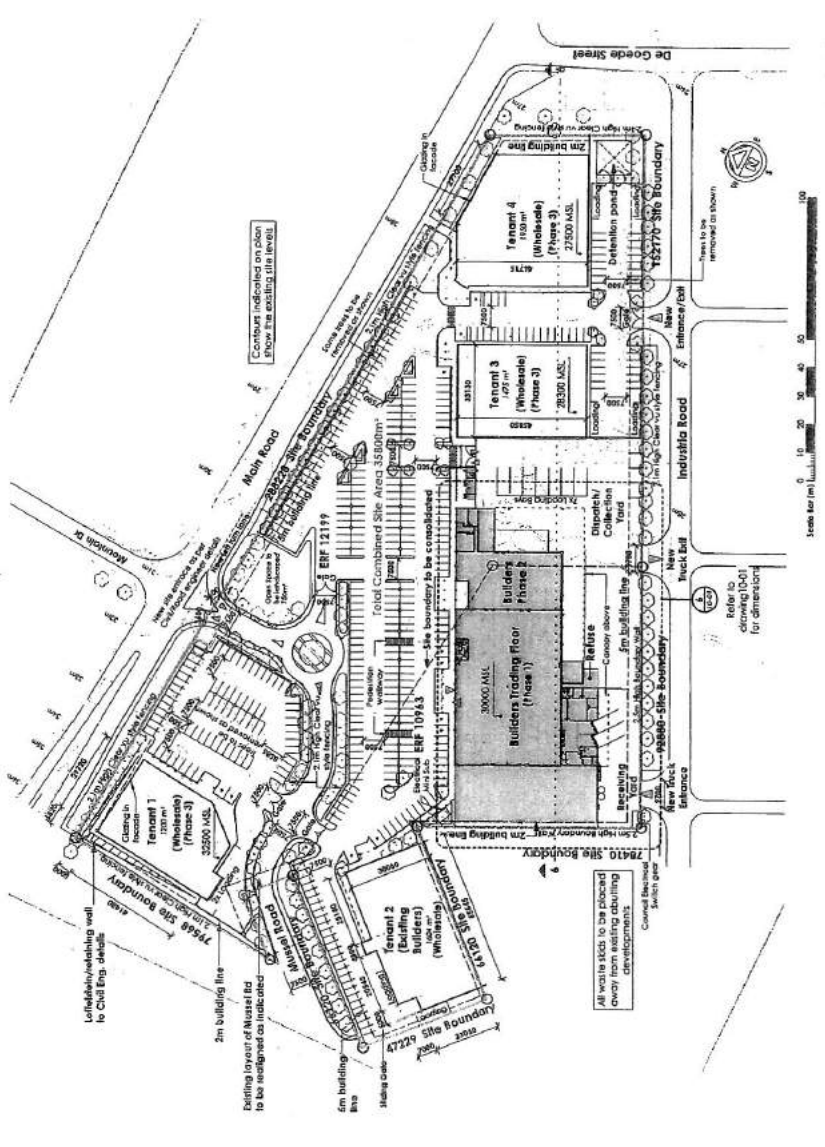
Name	Total Area (m ²)	Required Number of Bays
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Refer to Drawing 00-03 for Area Diagrams

Site Development Plan
Wild Developments
Consultants

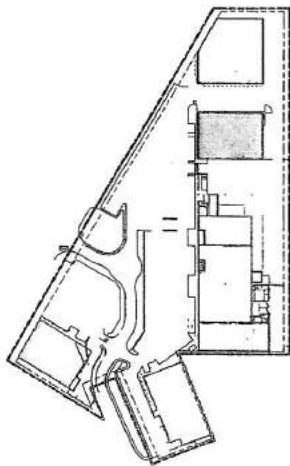
Scale: 1:1000 @ A2
Date: April 2018
Drawn: SFA

Revision: 0
Drawing Number: 3989 - 01

Site & 5th Floor Impact House
Wild Developments
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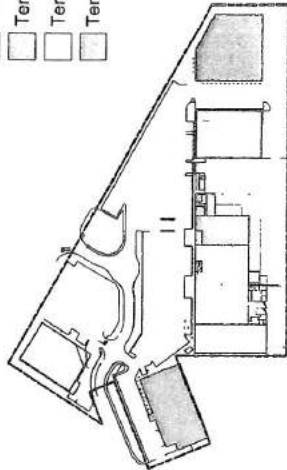
Master GLA

- Builders Garden Centre
- Builders Office
- Builders Phase 1
- Builders Phase 2
- Builders Storage
- Tenant 1
- Tenant 2
- Tenant 3
- Tenant 4



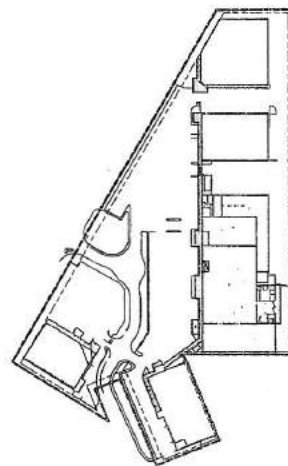
First Floor Floor Space

- Builders Phase 1
- Builders Phase 2
- Tenant 1
- Tenant 2
- Tenant 3
- Tenant 4



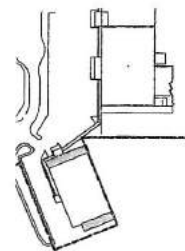
Master Coverage

- Builders Warehouse
- External Walkway
- Tenant 1
- Tenant 2
- Tenant 3
- Tenant 4



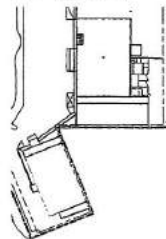
First Floor Floor Space

- Builders Mezzanine
- Tenant 2



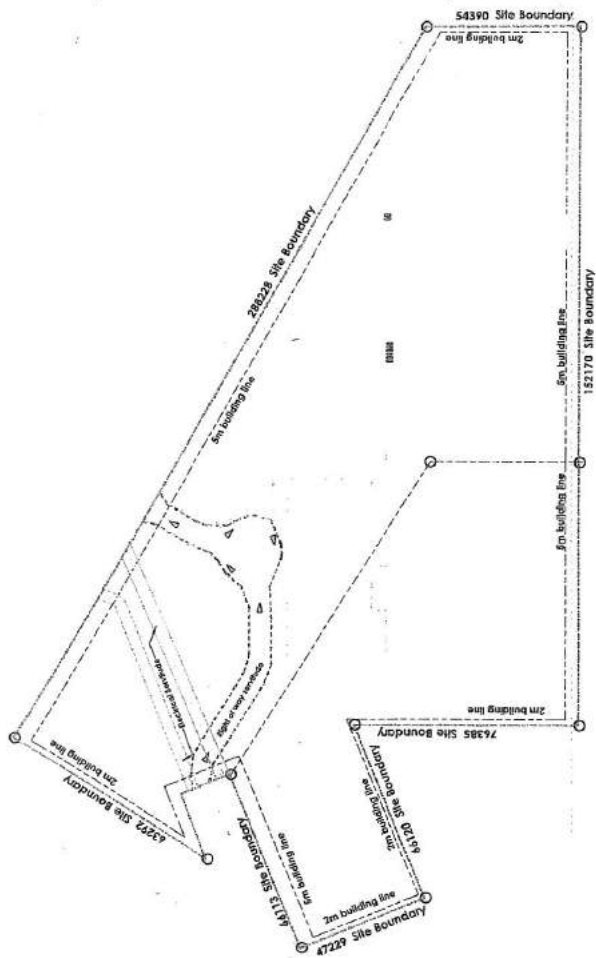
First Floor GLA

- Existing First Floor
- Mezzanine Office



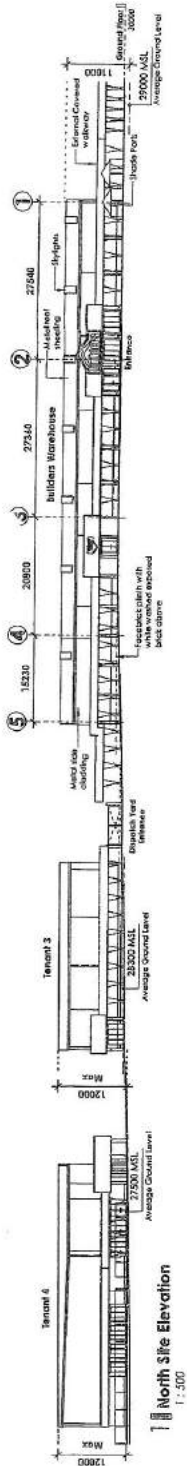
<p>1. The design of this drawing is copyright and remains the property of the architect.</p> <p>2. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.</p> <p>3. All work is subject to the terms and conditions of the contract.</p>		<p>Area Diagrams</p> <p>Builder's Warehouse - 1st Floor</p> <p>Wild Developments</p>		<p>Scale: 1:2000 @A2</p> <p>Date: Aug 2016</p> <p>Drawn: SFA</p>	<p>Revision</p> <p>3089 - 02</p> <p>3089</p>	<p>0</p>
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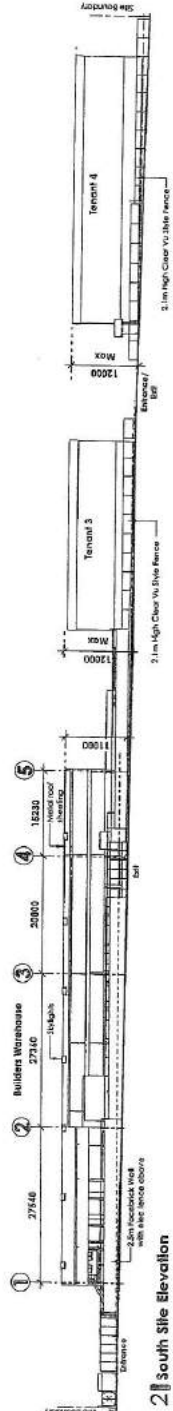


<p>NOTES</p> <ol style="list-style-type: none"> The status of this drawing is copy/print and not for construction. All work is to be done in accordance with the relevant regulations. Wild Developments is not responsible for any errors or omissions in this drawing. For further details, visit: www.wilddevelopments.co.za 	<p>PROPOSED SERVITUDES AND CONSOLIDATION PLAN</p> <p>Client: Wild Developments</p> <p>Project: Wild Developments</p> <p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p> <p>Drawn: [Name]</p> <p>Checked: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>		<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>	<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>	<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>
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	<p>PROPOSED SERVITUDES AND CONSOLIDATION PLAN</p> <p>Client: Wild Developments</p> <p>Project: Wild Developments</p> <p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>		<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>	<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>	<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>
	<p>PROPOSED SERVITUDES AND CONSOLIDATION PLAN</p> <p>Client: Wild Developments</p> <p>Project: Wild Developments</p> <p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>		<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>	<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>	<p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>Date: 15/08/2016</p> <p>Scale: 1:1000 @ A2</p>

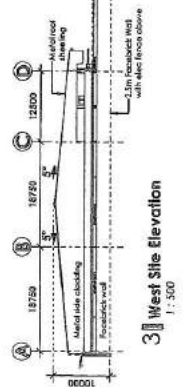




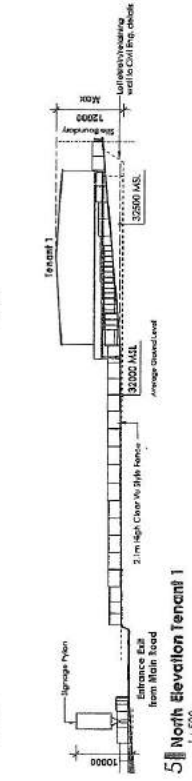
1 North Site Elevation
1:500



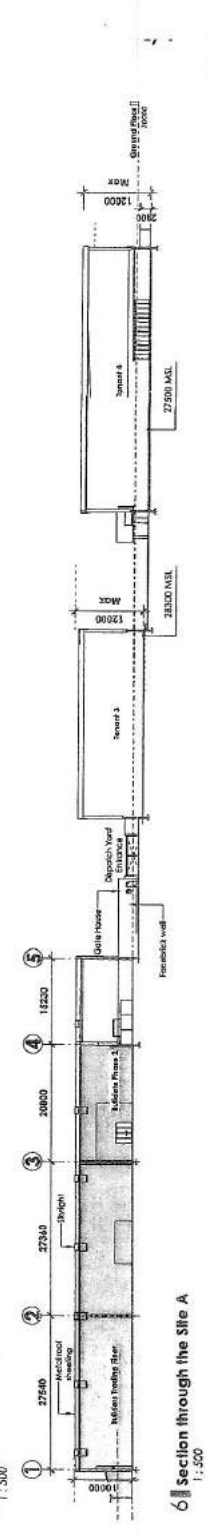
2 South Site Elevation
1:500



3 West Site Elevation
1:500

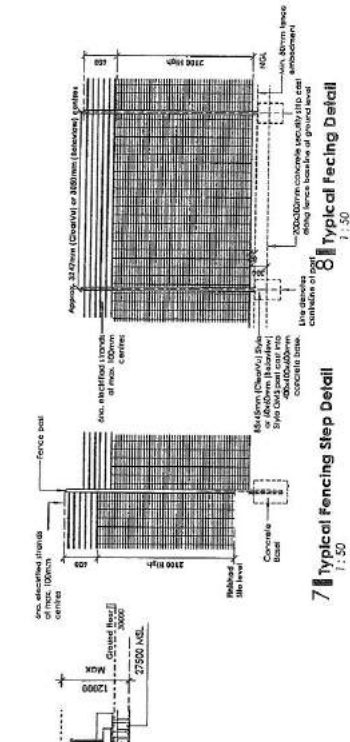


4 East Site Elevation
1:500

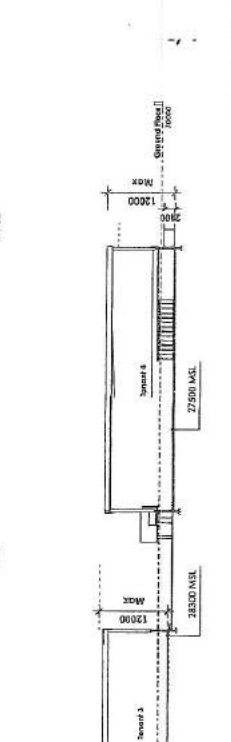


5 North Elevation Tenant 1
1:500

6 Section through the Site A
1:500



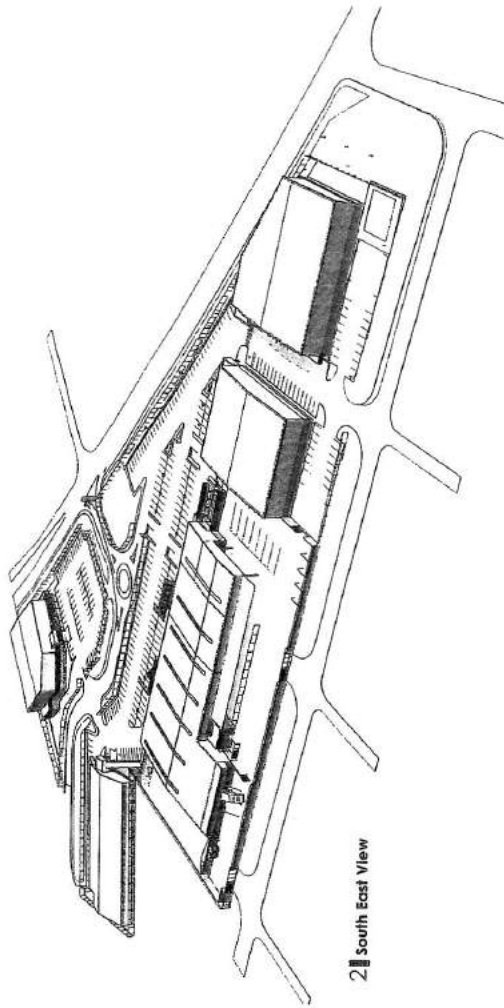
7 Typical Fencing Step Detail
1:50



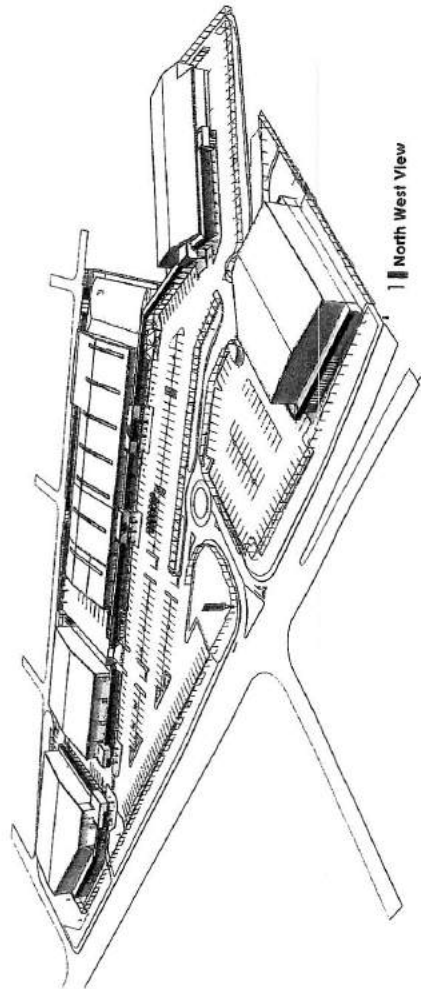
8 Typical Fencing Detail
1:50



<p>NOTE: 1. All elevations are shown to the finished level unless otherwise stated. 2. All levels are based on the datum of 25700 MSL. 3. All levels are based on the datum of 25700 MSL. 4. All elevations are shown to the finished level unless otherwise stated.</p>	<p>As indicated 08/08/2018 date 2018</p>	<p>3989 - 04 drawing number</p>	<p>3989 drawing number</p>	<p>0 drawing number</p>
<p>SDP Site Elevations & Sections Builder: EXPANSE HERMANUS Client: M&P (Pty) Ltd</p>	<p>drawn by: [blank] checked by: [blank] approved by: [blank]</p>	<p>drawn by: [blank] checked by: [blank] approved by: [blank]</p>	<p>drawn by: [blank] checked by: [blank] approved by: [blank]</p>	<p>drawn by: [blank] checked by: [blank] approved by: [blank]</p>



2 | South East View



1 | North West View

NOTES:
 1. The design and construction is subject to any
 2. All work to be done under the supervision of a registered
 3. The design and construction is subject to any
 4. All work to be done under the supervision of a registered

3D Aerial Views
 Builders Express Hierarchy
 Will Development
 Project of Main Street West, Toronto

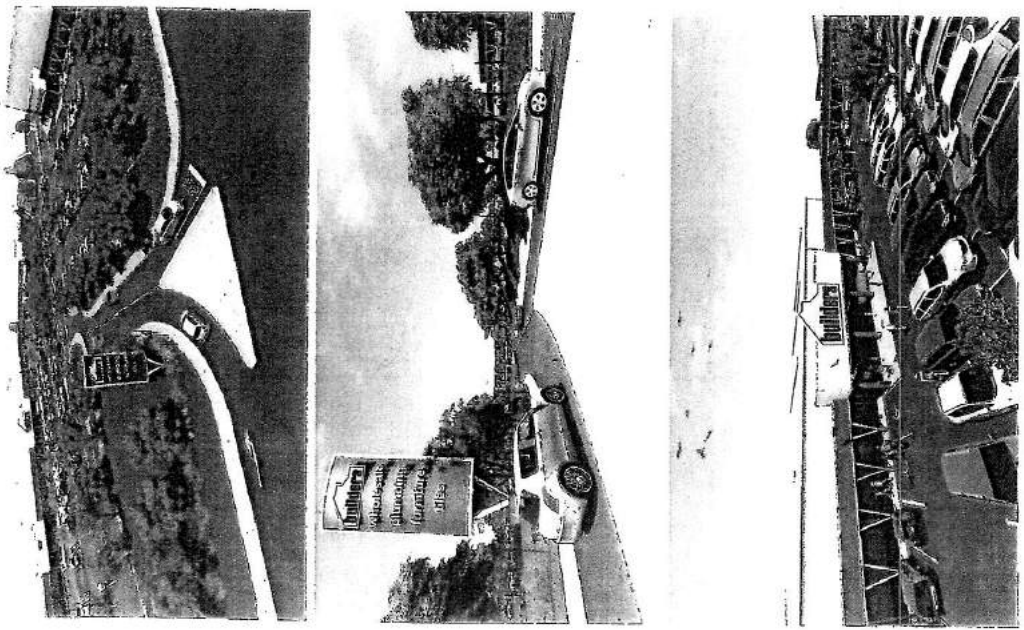
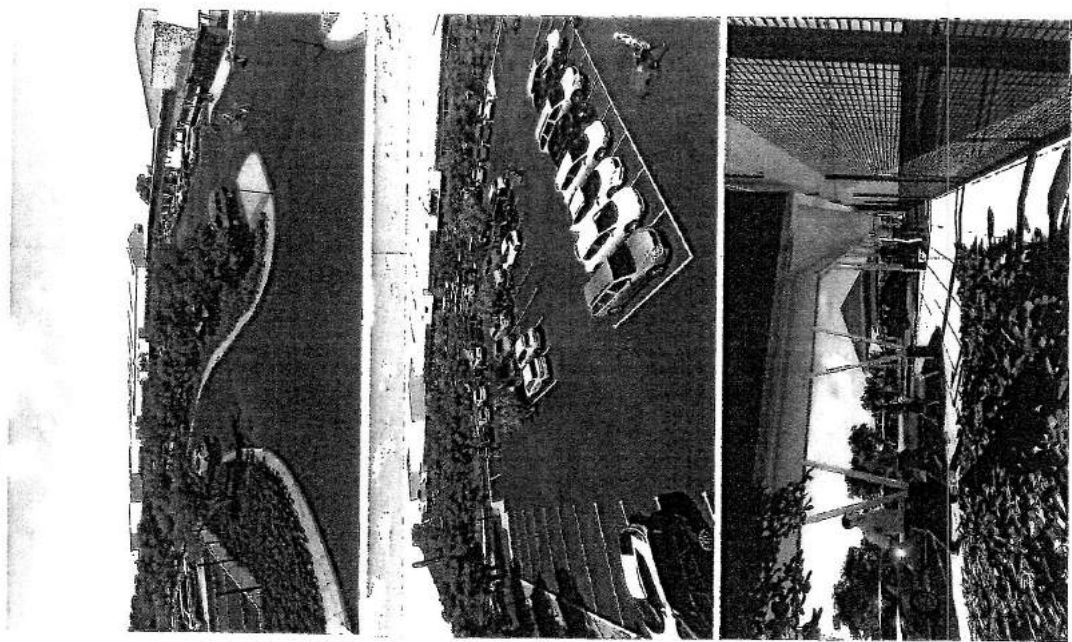
Scale @A2
 Date Aug 2018
 Drawn SFA

Rev	Date	Description
1	2018.08.01	Issue for Review

Project Number: 3389

Project Name: 3000 - 05
 Project Location: 3000 - 05
 Project Contact: 3000 - 05





3889 - 06
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 3889
 3889

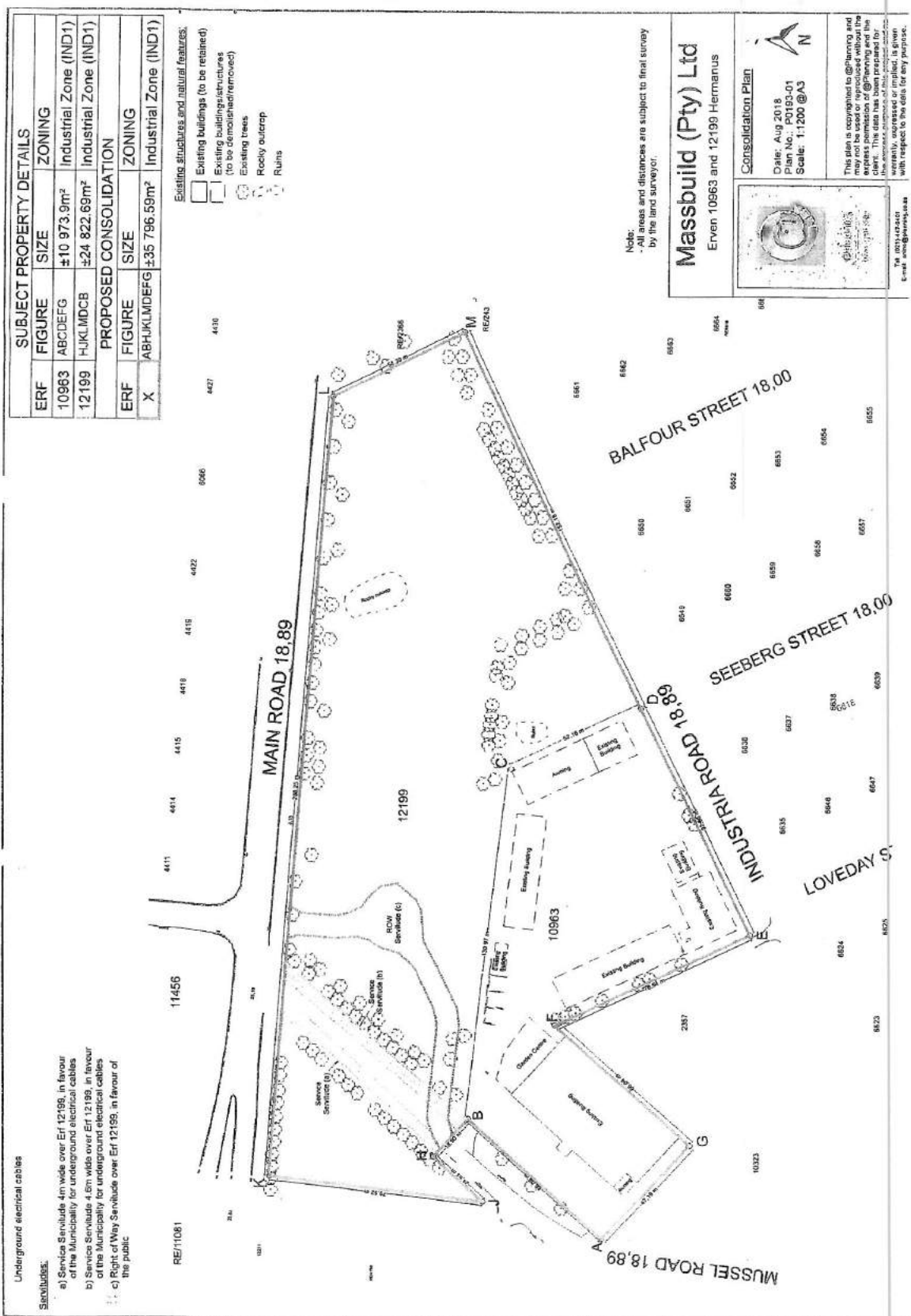
3889 - 06
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Artist Impressions
 business express entrance
 Wild Development

The scope of the drawing is conceptual and
 is not to be used for construction.
 All dimensions are approximate and subject to
 change without notice.
 All dimensions shown are approximate.



SUBJECT PROPERTY DETAILS			
ERF	FIGURE	SIZE	ZONING
10963	ABCDEFG	±10 973.9m ²	Industrial Zone (IND1)
12199	HJKLMDCB	±24 822.69m ²	Industrial Zone (IND1)
PROPOSED CONSOLIDATION			
ERF	FIGURE	SIZE	ZONING
X	ABHJLMDEFG	±35 796.59m ²	Industrial Zone (IND1)

Existing structures and natural features.

- Existing buildings (to be retained)
- Existing buildings/structures (to be demolished/removed)
- Existing trees
- Rocky outcrop
- Ruins

Note: Increases and distances are subject to final survey by the land surveyor.

Massbuild (Pty) Ltd
Erven 10963 and 12199 Hermanus

Consolidation Plan
Date: Aug 2018
Plan No.: PD193-01
Scale: 1:1200 @A3

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THE AUTHOR/ARTIST
Erven_2018@massbuild.co.za

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & CONSOLIDATION: ERVEN 12199 &
10963, HERMANUS (4186)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that the new water and sewer connections to erf 12199 & 10963 shall be used to service Erf 12199 & 10963;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, before any excavations be done on the premises, the Electrical Department be contacted to get wayleaves, as there are 11kV main feeder cables crossing the Erf and the repair of this cables are very expensive and will be for the account of the developer;
4. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
8. that stormwater be allowed to discharge through proposed erven, Hermanus, unobstructed;
9. that refuse will be removed from sidewalks as per municipal arrangement;

10. that access to the proposed development can be obtained via Main Road /Industrial- and Mussel Street;
11. that any plans or proposal to re-align Mussel Street and/or to modify the intersection of Mussel and Main Road will be subject to approval by the Western Cape Department of Transport and Public Works.
12. that no on-street parking be allowed.
13. that off-street parking for the future development will be provided in line with the requirements of the Overstrand Zoning Scheme Regulations.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

13. ERVEN 5543 AND 5456, (REMAINDER OF ERF 5455), NEGESTER RETIREMENT VILLAGE, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: AMENDMENT OF SITE DEVELOPMENT PLAN: MESSRS PLAN ACTIVE ON BEHALF OF TWEE FONTEINE ONTWIKKELINGSTRUST

5543 & 5456 HON (4185)

H Olivier

(028) 313 8900

Hermanus Administration

9 May 2019

Executive Summary

An application was received on 21 September 2018 from Messrs Plan Active on behalf of Twee Fonteine Ontwikkelingstrust on Erven 5543 and 5456, Onrustrivier for the amendment of the Site Development Plan (SDP) in terms of Section 16(2)(1) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate the Health Care Building on Erf 5543, and to create additional parking bays on Erf 5456 (Private Open Space).

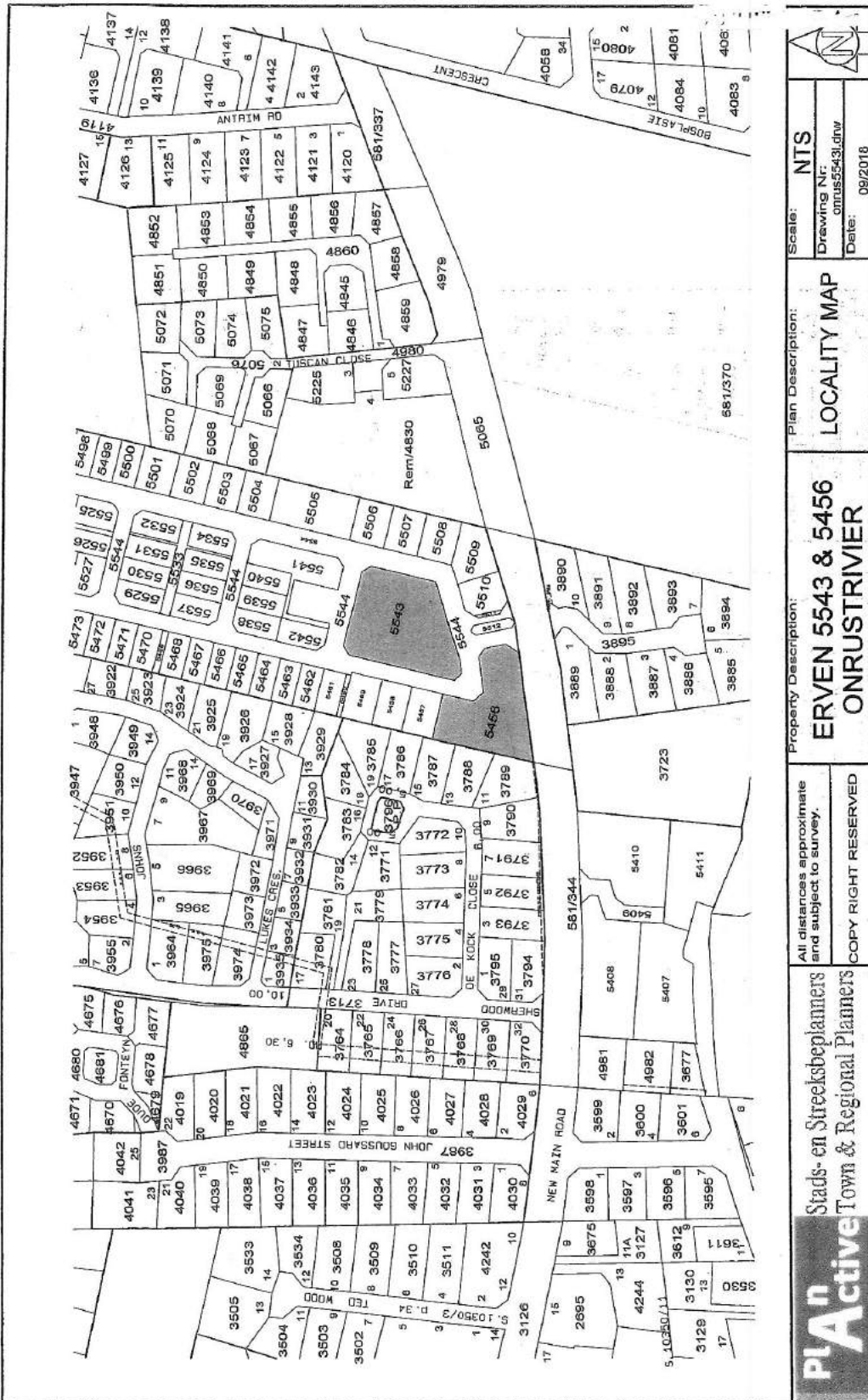
RESOLVED :

1. that the application in terms of Section 16(2)(l) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for the amendment of the Site Development Plan of Negester Retirement Village on Erven 5543 and 5456, Onrustrivier as depicted on Site Development Plan *Revision F* dated 1 December 2017, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the use of the new area must be in line with the uses as indicated on the SDP and Plans *5543-HB/7.9.1B and 5543-HB/1.2*;
 - (b) that building plans be submitted to the Building Department for approval;
 - (c) that the new parking area be constructed prior to the extension of the dining room/lounge be in operation;
 - (d) that all Fire Regulations be complied with, and
 - (e) that the five (5) new parking bays and other parking bays for the Health Care Building may not be reserved, other than disabled parking, to ensure sufficient parking for residents when using the facilities.

**AGENDA of the
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20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

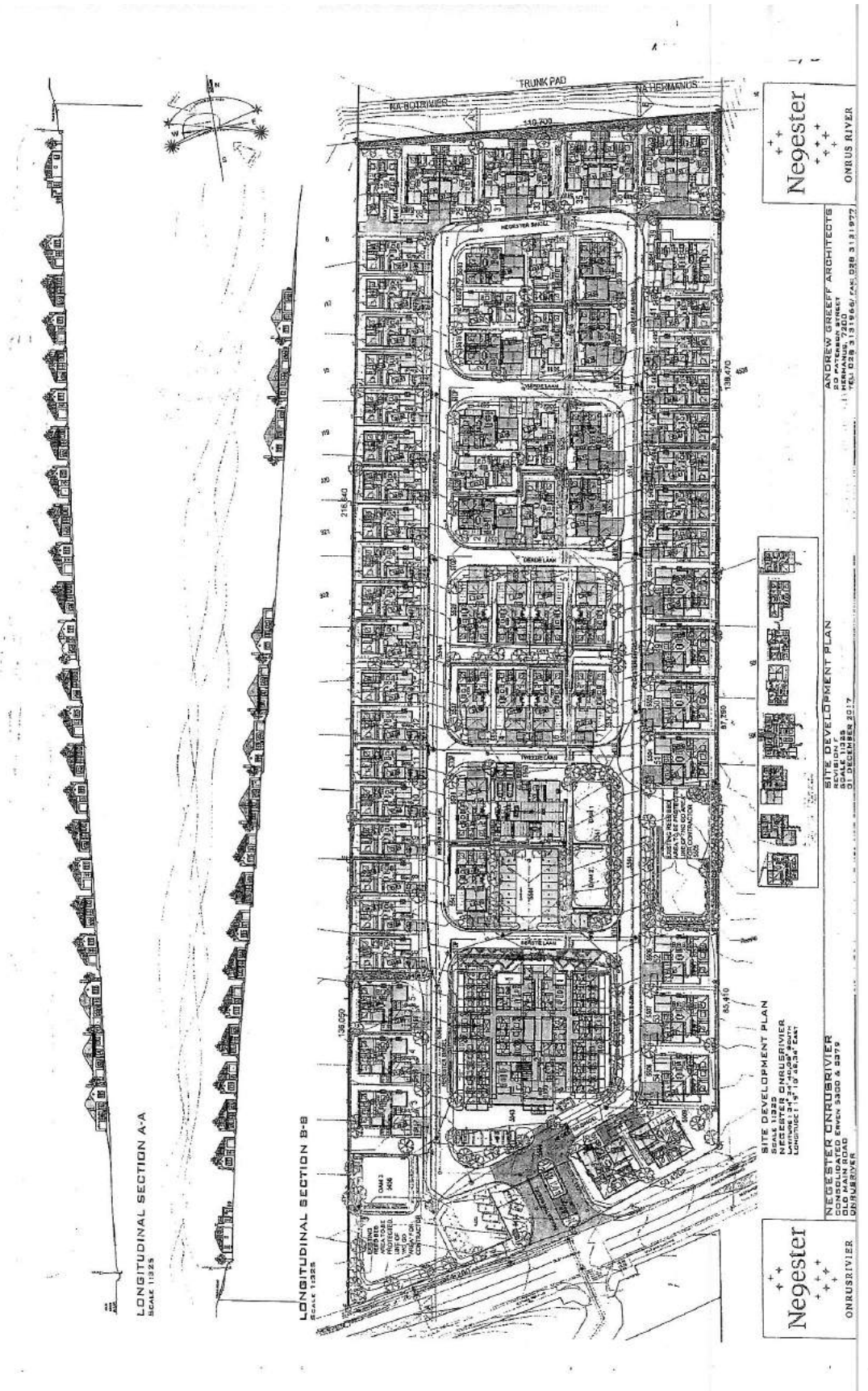
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

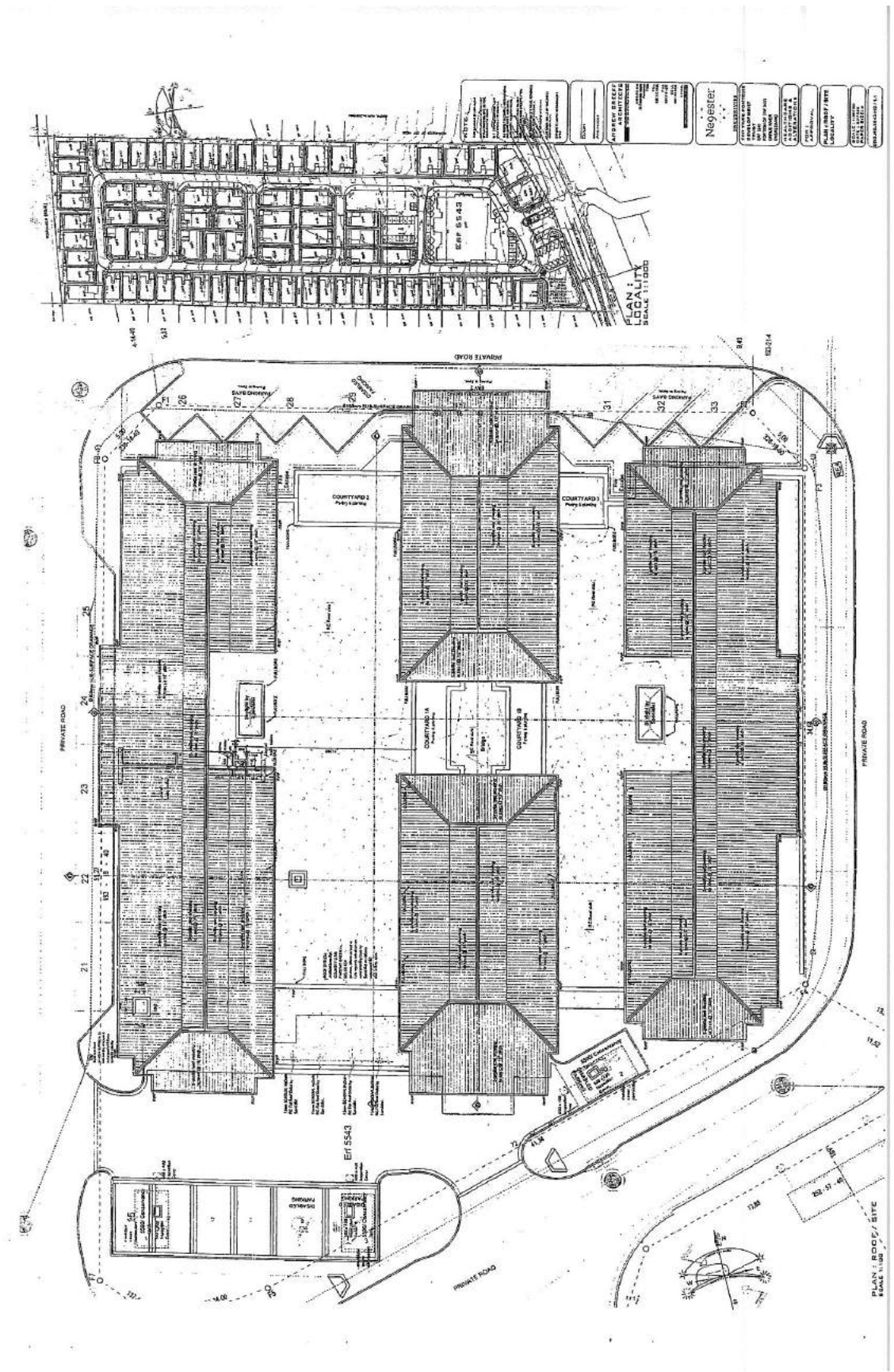


PLAn Active Stads- en Streetsbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERVEN 5543 & 5456 ONRUSTRIVIER	Plan Description: LOCALITY MAP	Scale: NTS Drawing Nr: onrus5543.drw Date: 09/2018
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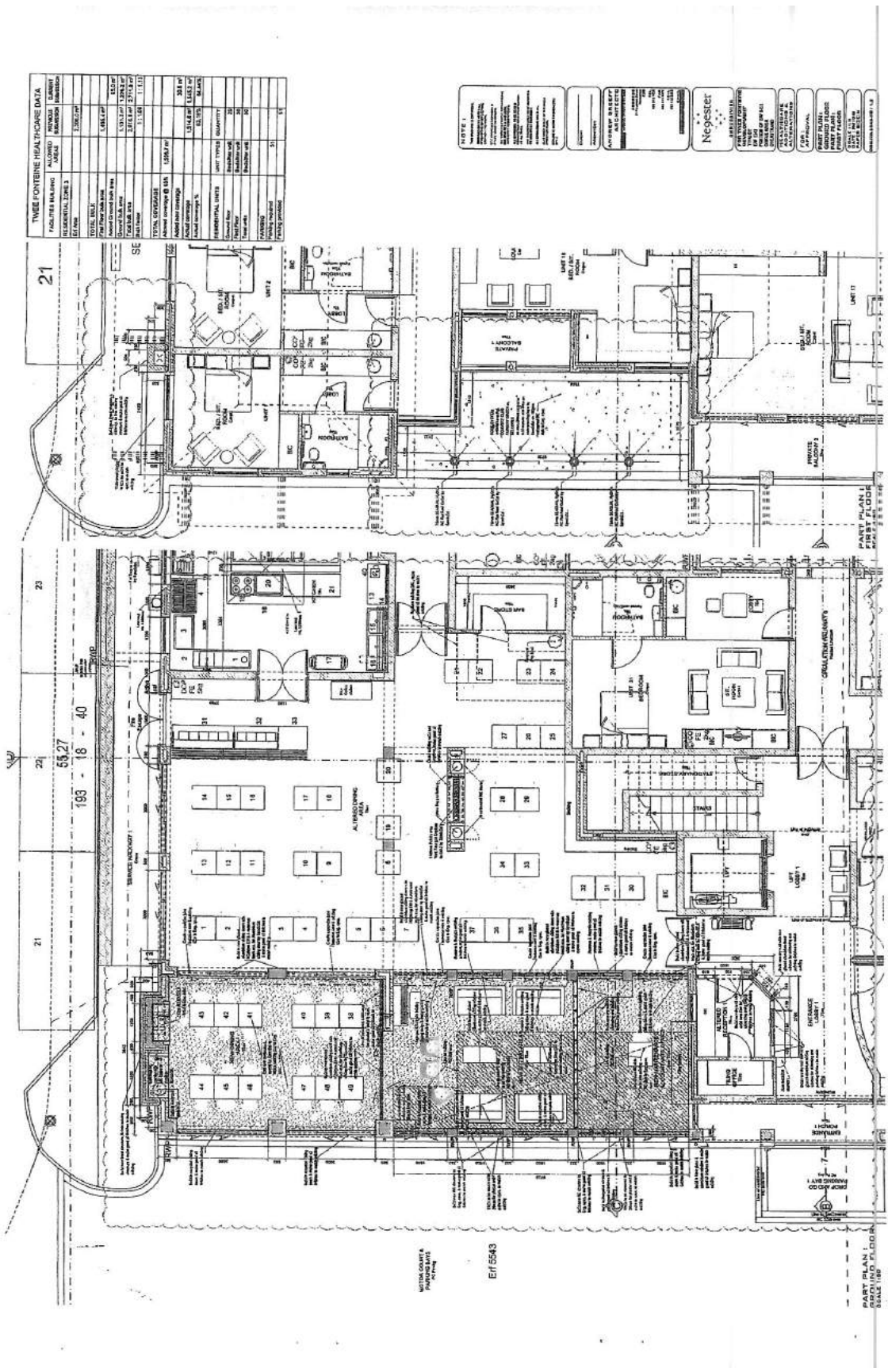
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**



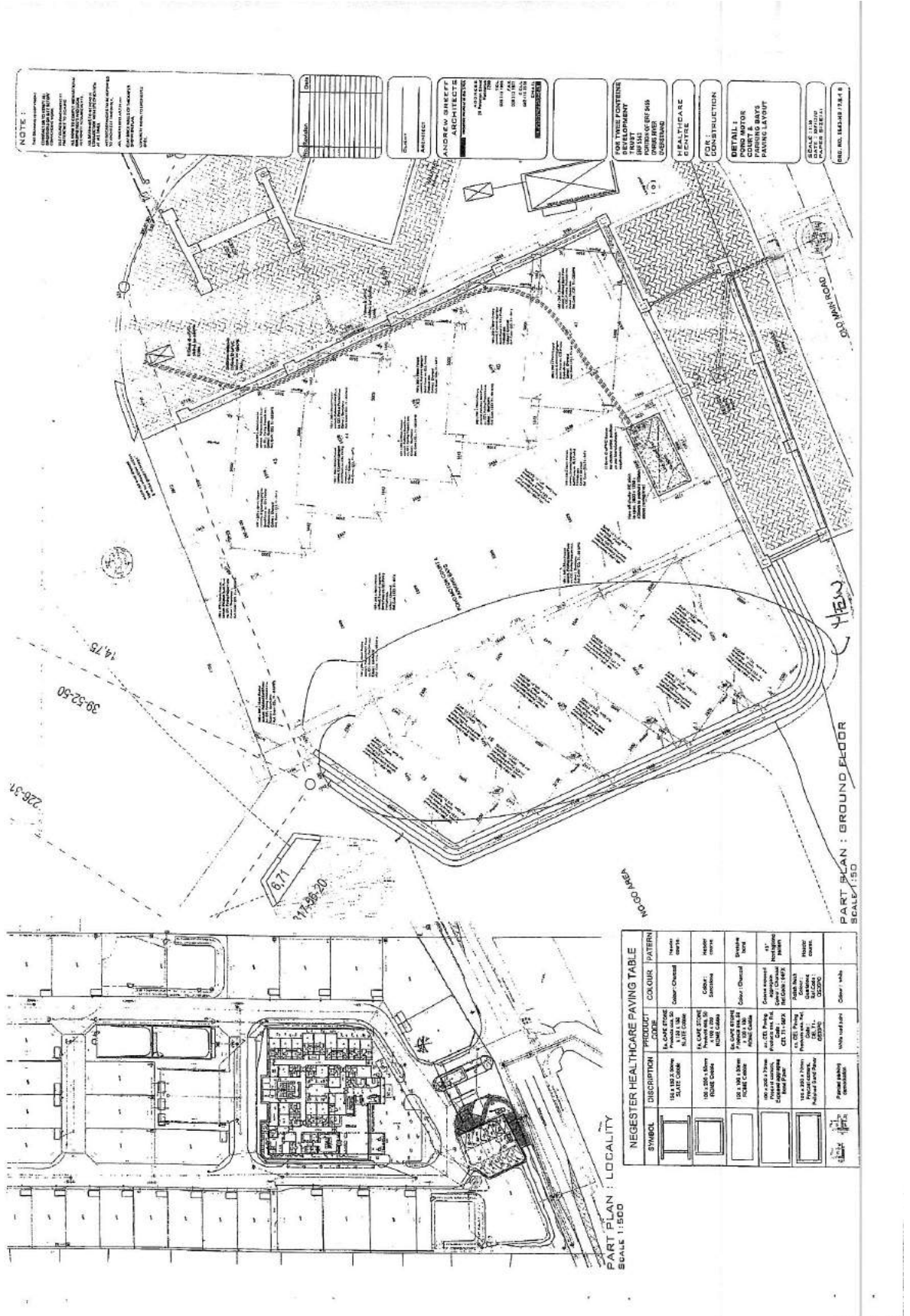
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**



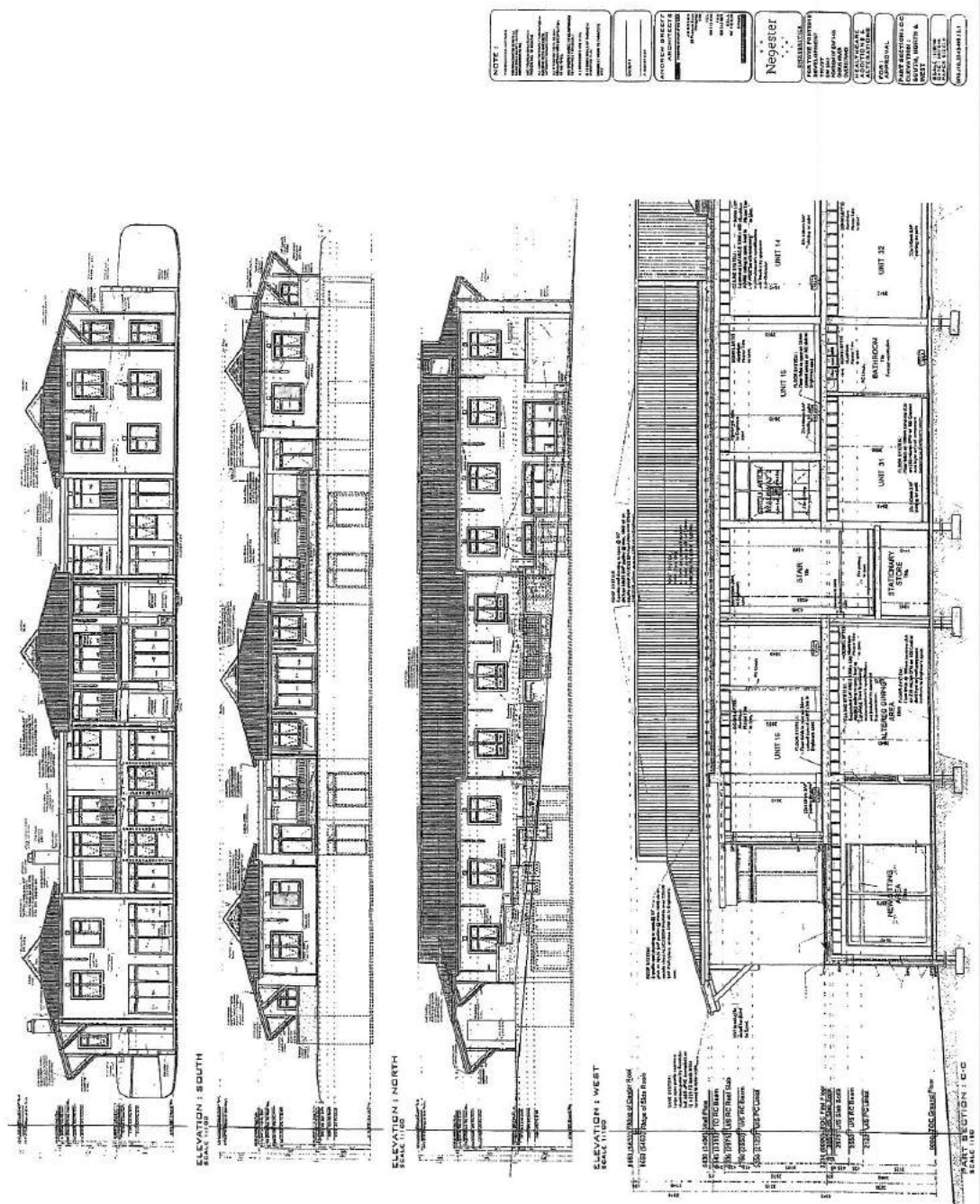
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

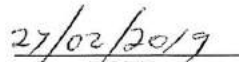
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF SITE DEVELOPMENT PLAN: ERVEN 5543
& 5456 REMAINDER OF ERF 5455, ONRUS RIVER (4185)**

Stormwater (SW) : In order
Electricity : Eskom Area
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**14. ERF 1779, 8 HILTON CIRCLE, PRINGLE BAY: PROPOSED DEPARTURE:
MESSRS PLAN ACTIVE ON BEHALF OF L & DC BARNES**

1779 KPRB (4160)

H van der Stoep

(028) 313 8900

Hermanus Administration

22 March 2019

Executive Summary

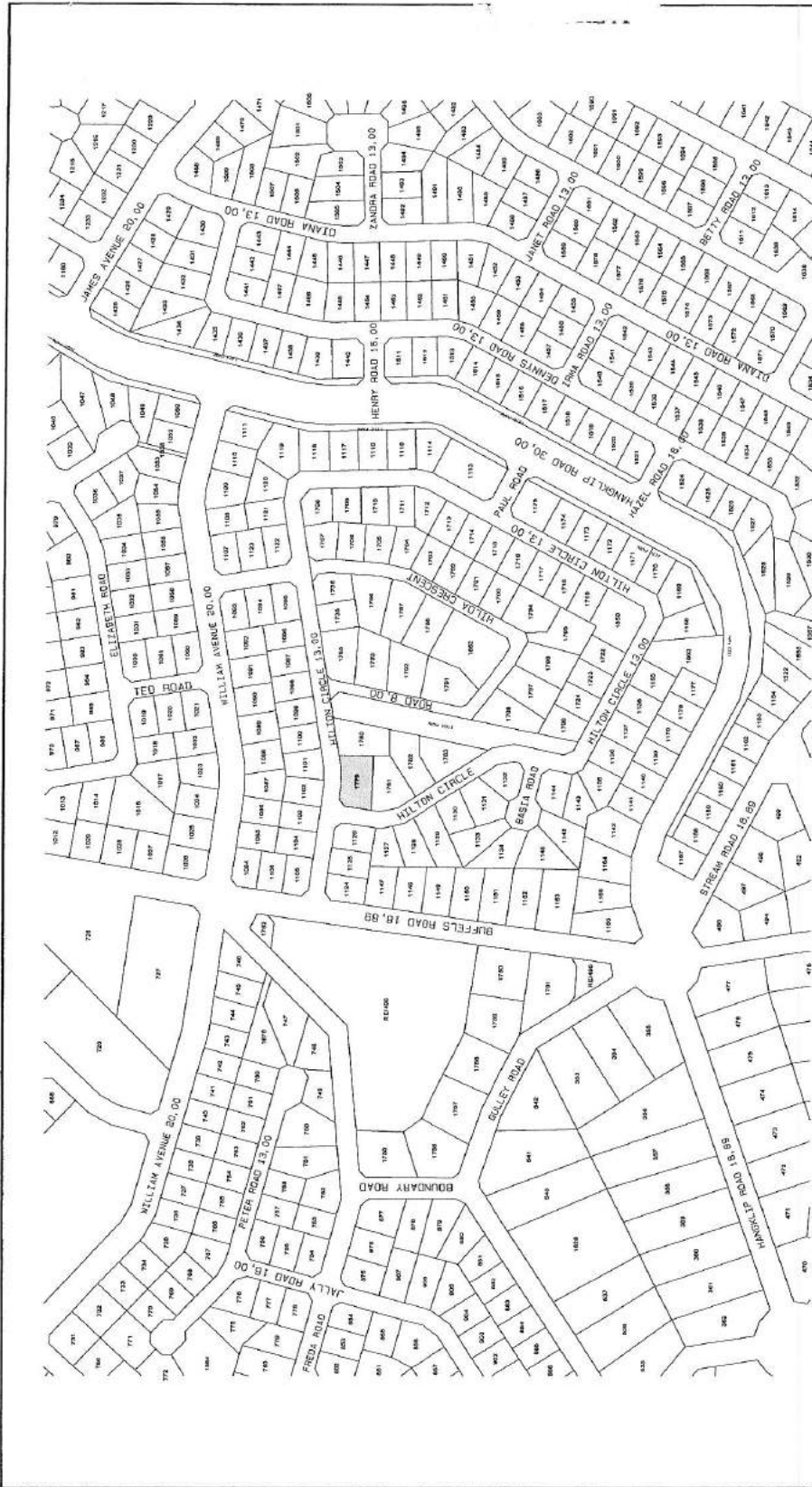
An application has been received on 31 August 2018 from Messrs Plan Active on behalf of L & DC Barnes on Erf 1779, Pringle Bay for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the southern lateral building line from 2m to 0,58m; 0,83m and 0,86m respectively, to accommodate a parapet wall, encroachments of the living room on ground floor level and a bedroom on first floor level respectively, as well as to accommodate a feature wall higher than 2,1m in height.

RESOLVED :

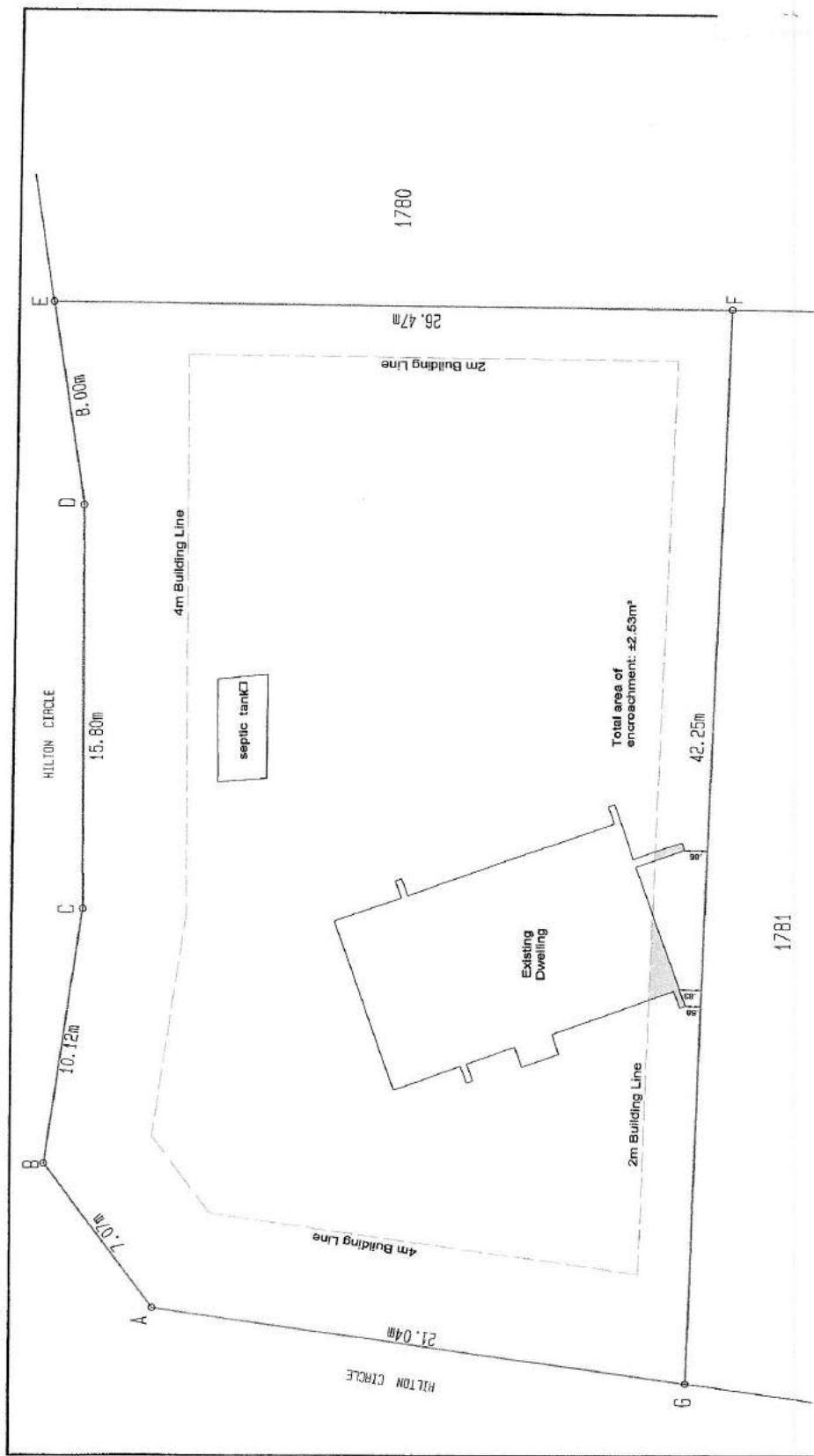
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 1779, Pringle Bay in order to relax the southern lateral building line from 2m to 0,58m; 0,83m and 0,86m respectively, to accommodate a parapet wall, encroachments of the living room on ground floor level and a bedroom on first floor level respectively, as well as to accommodate a feature wall higher than 2,1m in height, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. 2018/02 P.1 dated February 2018, as submitted with the application;
 - (b) that the windows on the first floor be replaced with non see-through glass blocks or something similar to mitigate the transgression;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- (f) that all the conditions in the Services Report, be complied with;
 - (g) that all the conditions imposed by Telkom, be complied with, and
 - (h) that all the conditions imposed by Eskom, be complied with.
2. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



 Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey.	Property Description: ERF 1779 PRINGLE BAY	Plan Description: LOCALITY MAP	Scale: NTS Drawing Nr: pringl1779i.dwg Date: 07/2018	



PLAN Active Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 1779 PRINGLE BAY		Plan Description: SITE PLAN	
		Scale: 1:200		Drawing Nr: PringB1779s.dwg	
		Date: 07/2018		Date: 07/2018	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1779, PRINGLE BAY (4160)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 1779, Pringle Bay, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/09/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

15. **ERVEN 8650 & 8651, HARBOUR ROAD, KLEINMOND: PROPOSED CONSOLIDATION, AMENDMENT OF CONDITIONS OF APPROVAL AND SITE DEVELOPMENT PLAN: MESSRS TV3 ARCHITECTS AND TOWN PLANNERS (PTY) LTD ON BEHALF OF WHARFSIDE DEVELOPMENT KLEINMOND (PTY) LTD**

8650 & 8651 KKM (4127)

**H van der stoep
17 May 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 31 July 2018 from Messrs TV3 Architects and Town Planners (Pty) Ltd on behalf of Wharfside Development Kleinmond (Pty) Ltd Kleinmond for the following:

- Consolidation of Erven 8650 & 8651, Kleinmond in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to create better development possibilities in terms of location of footprints of structures.
- Amendment of the conditions of approval to reflect the proposed consolidation of the subdivision plan, as per approved municipal letter dated 15 July 2011, Plan No Nr.5C, dated 14 July 2011, in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.
- Amendment of the conditions of approval to reflect the consolidated erven with seven (7) additional residential units within the approved Special Zone 3, approved 14 July 2011, Plan no. 12 in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.
- Amendment of the approved Site Development Plan, approved 14 July 2011 for only the portions relating to precincts F and G, indicating the Revised Building Footprints and Revised Parking Layout Plan in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015

The application was completed on 8 January 2019.

RESOLVED :

1. that the application in terms of Section 16(2)(e) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for the consolidation of Erven 8650 and 8651, Kleinmond in order to create better

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- development possibilities in terms of location of footprints of structures, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(h) of the abovementioned By-Law on Erven 8650 and 8651, Kleinmond for the amendment of the conditions of approval to reflect the proposed consolidation of the subdivision plan, as per approved Municipal letter dated 15 July 2011, Plan No Nr.5C dated 14 July 2011, **be approved** in terms of the provisions of Section 61 of the By-Law;
 3. that the application in terms of Section 16(2)(h) of the abovementioned By-Law on Erven 8650 and 8651, Kleinmond for the amendment of the conditions of approval to reflect the consolidated erven with seven (7) additional residential units within the approved Special Zone 3 approved 14 July 2011, Plan no. 12, **be approved** in terms of the provisions of Section 61 of the By-Law;
 4. that the application in terms of Section 16(2)(l) of the abovementioned By-Law on Erven 8650 and 8651, Kleinmond for the amendment of the approved Site Development Plan approved 14 July 2011 for only the portions relating to precincts F and G, indicating the Revised Building Footprints and Revised Parking Layout Plan, **be approved** in terms of the provisions of Section 61 of the By-Law;
 5. that the approval in Points 1. – 4. be subject to the following conditions:
 - (a) that an amended site plan be submitted in order to comply with the parking ratios of the Zoning Scheme, if applicable;
 - (b) that all other conditions as per approval letter dated 15 July 2011 remains applicable;
 - (c) that the proposed development be restricted to the plans as submitted with the application, Plan numbers 3549-P dated 19 June 2018 and J2404 dated 26 June 2018 (3 and 4),
 - (d) that the developer must submit a rational fire safety design by a competent person (Fire Engineering) as determined by the National Building and Fire Protection Regulations SANS10400A:2010 and 10400T:2011 to the Municipality for approval prior commencement of any development;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Departments be complied with at that stage;

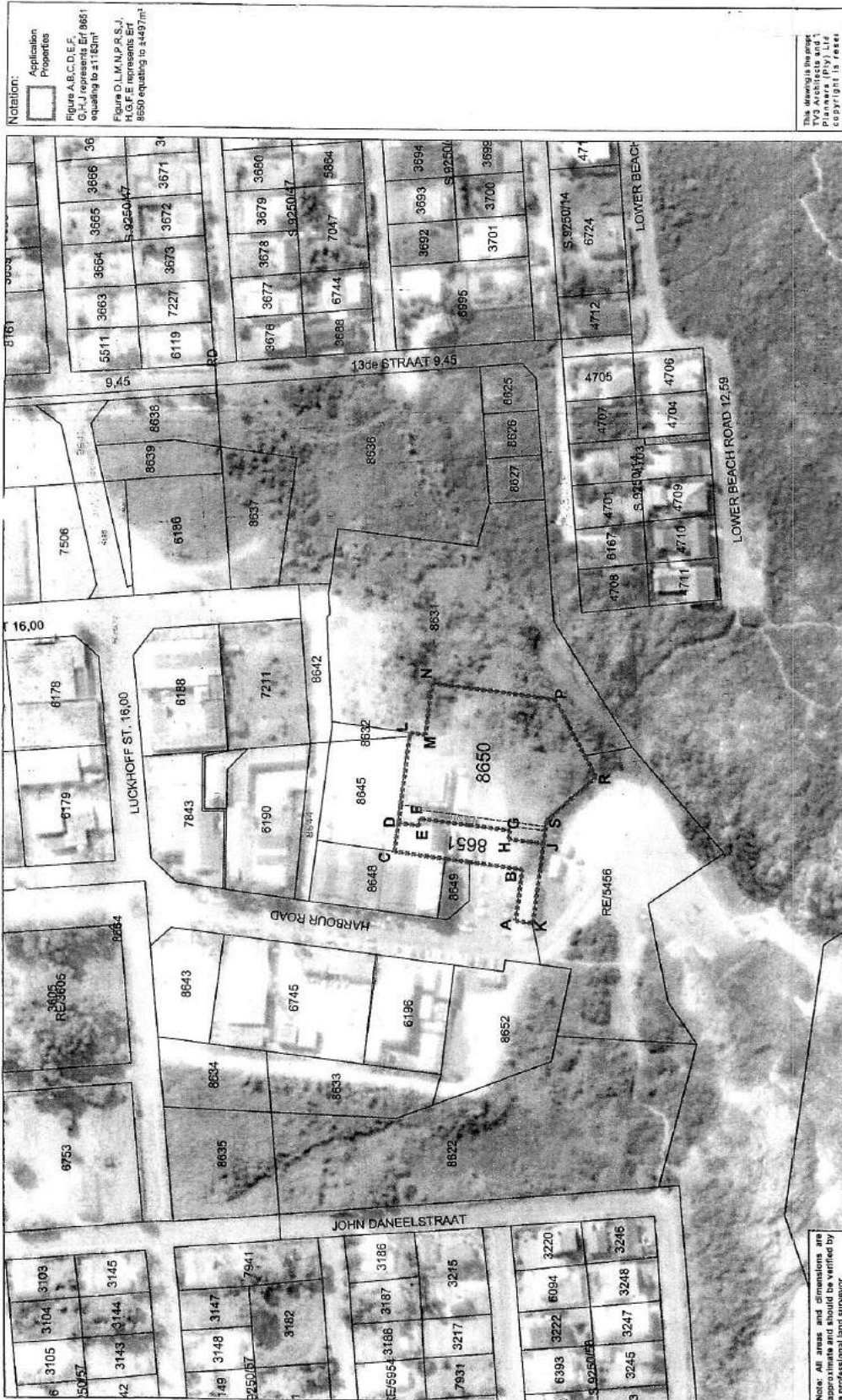
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (g) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (h) that all the conditions in the Services Report, be complied with.
6. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Even 8650 & 8651 Kleinmond

Date: 2019-01-16



Notation:
 Application Properties
 Figure A,B,C,D,E,F,
 G,H,I represents Erv 8651
 equating to 2118m²
 Figure D,L,M,N,P,S,J,
 H,G,F,E represents Erv
 8650 equating to 4497m²

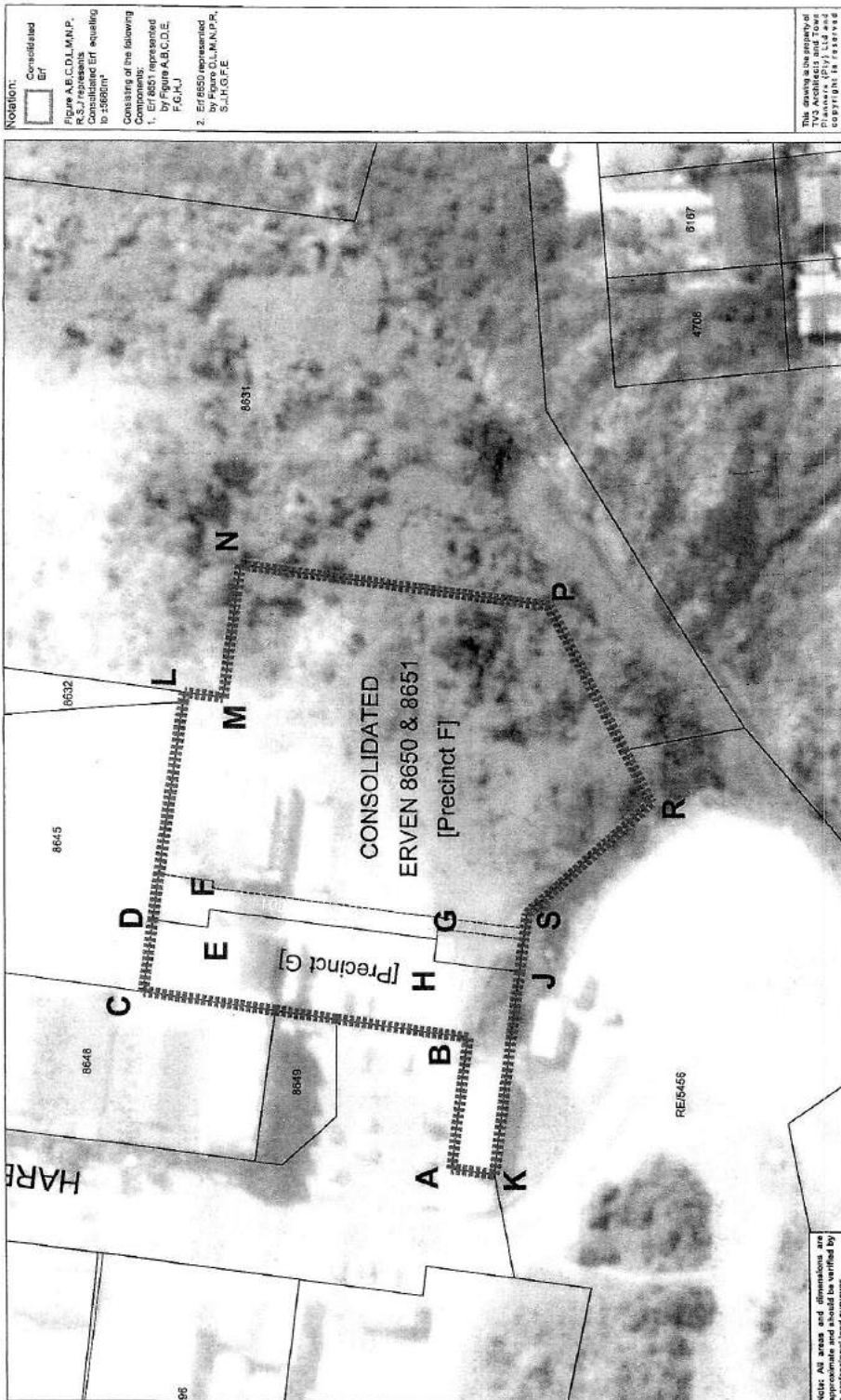
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Drawn:	Checked:	Date:	Scale:
WH	MW	19/06/2018	NTS
Project no.:	Revision no.:	1	
3518-P			
Drawing:	Locality Plan		
	Plan no. 1		

ERVEN 8650 AND 8651, KLEINMOND HARBOUR

First Floor - La Grenouille Office Building
 97 Dorp Street - Stellenbosch 7600
 Tel: (021) 961 3600
 Fax: (021) 852 8025
 e-mail: info@t3.co.za
 web: www.t3.co.za





Notation:
 Consolidated
 Er
 Figure A.B.C.D.L.M.N.P.
 Figure A.B.C.D.L.M.N.P.
 Consolidated ErF resulting
 to :16680m*

Consisting of the following
 Consisting of the following
 1. ErF 8651 represented
 by Figure A.B.C.D.E.
 F.G.H.J
 2. ErF 8650 represented
 by Figure A.B.C.D.L.M.N.P.R.
 S.H.G.F.F.E

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 PLANNERS (Pty) Ltd and
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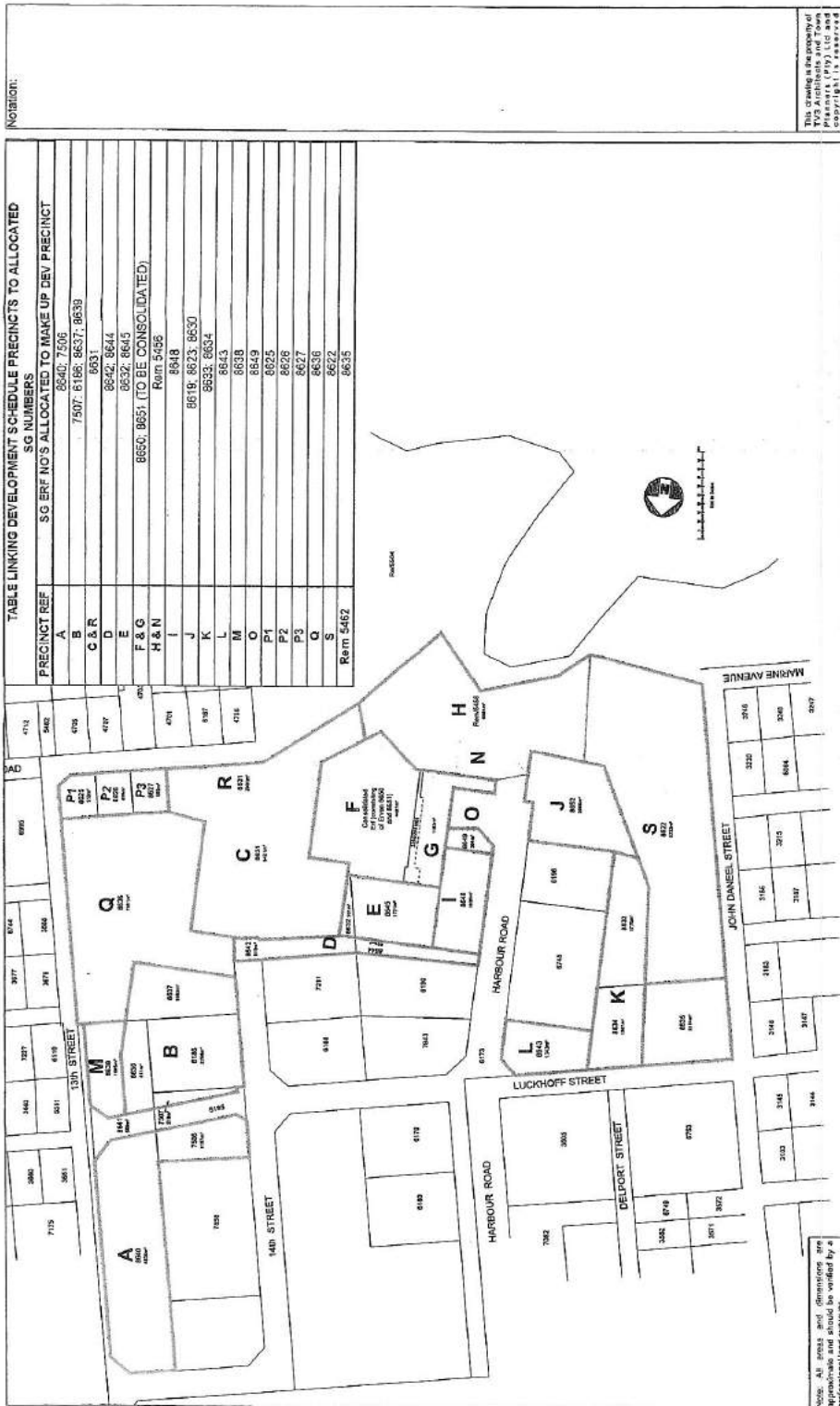
Drawn:	Checked:	Date:	Scale:
WH	MW	15/04/2018	NYS
Project no.:	Revision no.:		
3509-P	1		
Drawing:	Consolidation		2

**CONSOLIDATION OF ERVEN 8650 AND 8651
 KLEINMOND HARBOUR**

First Floor • Le Grange Office Building
 97 Dorp Street • Stellenbosch 7600
 Tel: (021) 061 3600
 Fax: (021) 862 8020
 E-mail: tv3@tv3.co.za
 www.tv3.co.za

TV3
ARCHITECTS AND TOWN PLANNERS

Note: All areas and dimensions are approximate and should be verified by a professional land surveyor.



Drawn:	Checked:	Date:	Scale:
M4	MV	26/06/2018	1:125
Project Ref: 27534784		Revision No: 2104	1
Drawing:		KLEINMOND HARBOUR	
		3	

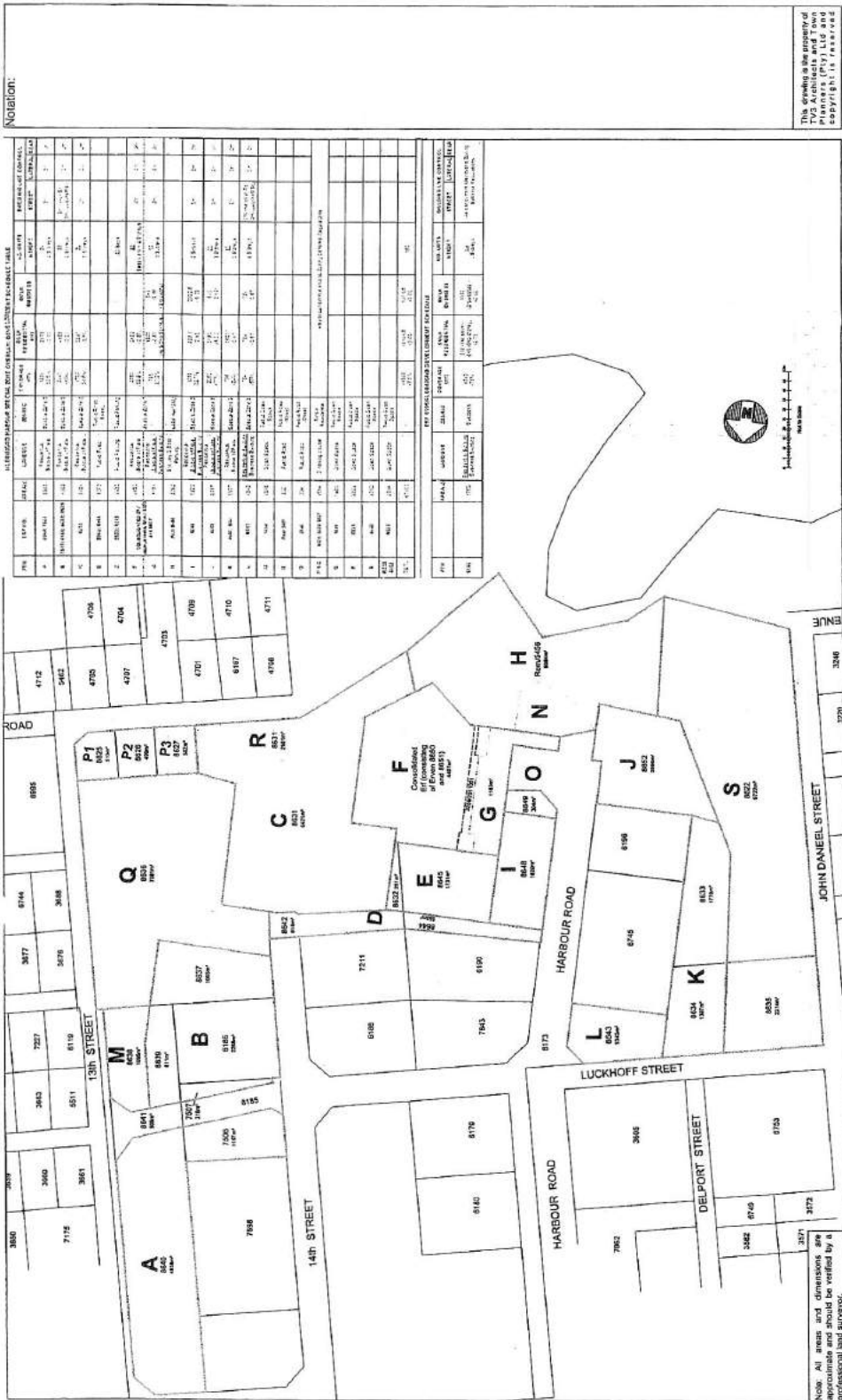
KLEINMOND HARBOUR: SPECIAL ZONE 3 COMPOSITE SUBDIVISION PLAN SCHEDULE

First Floor - La Gratiotia Office
 97 Copp Street - Stellenbosch, 7800
 Tel: (021) 861 3000
 Fax: (021) 862 3025
 e-mail: ste@twp3.co.za
 www.twp3.co.za

twp3
 ARCHITECTS AND TOWN PLANNERS

Note: All areas and dimensions are approximate and should be verified by a professional land surveyor.

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Notation:

PRE	TYPE	AREA	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS
1	400	1000
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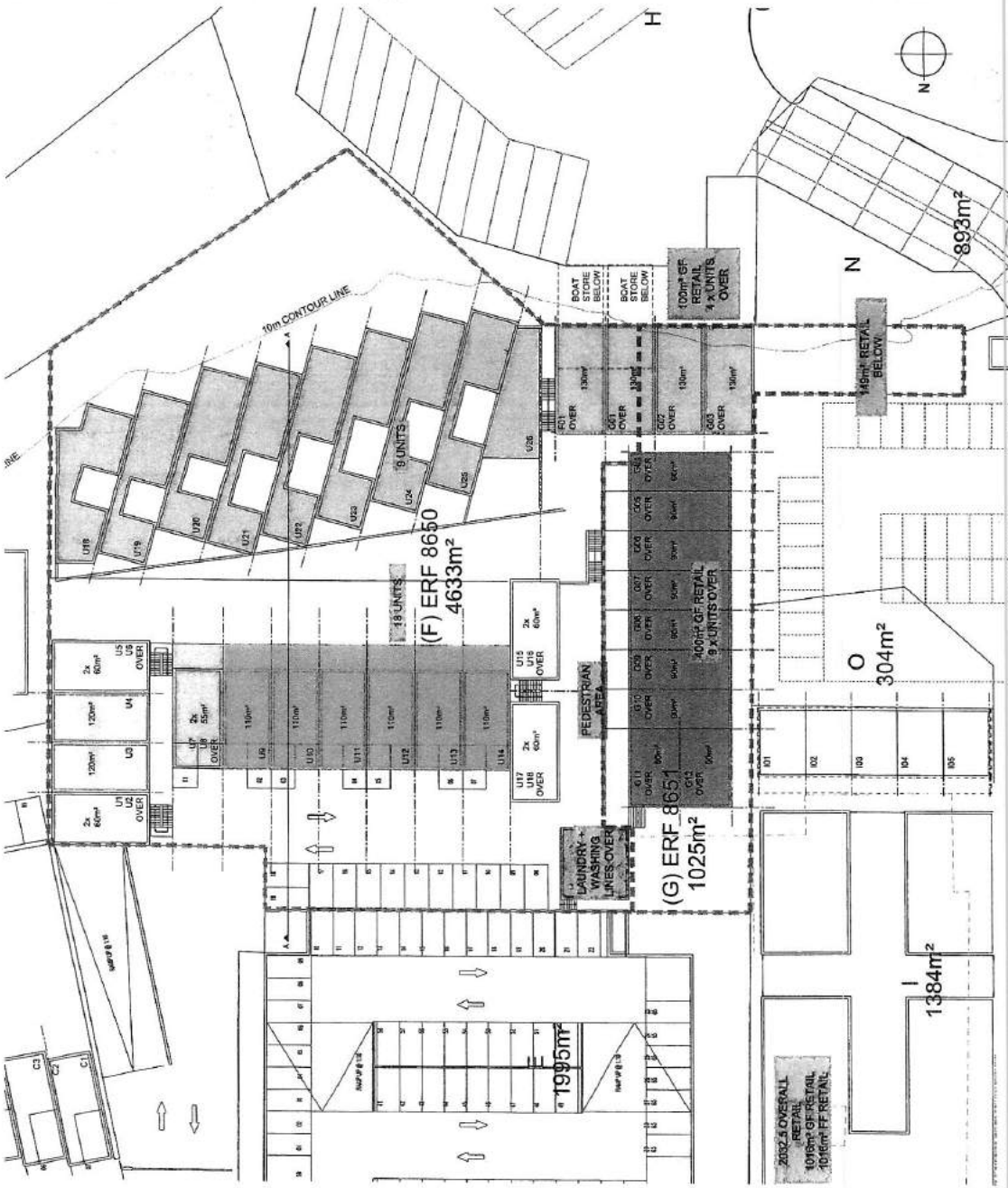
Client:	WH	Checked:	MW	Date:	26/06/2018
Project No.:	12404	Revision no.:	1	Scale:	NTS
Drawing:	KLEINMOND HARBOUR	Part no.:	4		

KLEINMOND HARBOUR UPDATED SPECIAL ZONE DEVELOPMENT SCHEDULE



 First Floor - La Gratitude Office Building
 97 Domp Street - Stellenbosch 7600
 Tel: (021) 861 3600
 Fax: (021) 862 8025
 e-mail: ste@tv3.co.za
 web: www.tv3.co.za

LEGEND	SYMBOL	QTY	AREA
1	150 m ²	2	300 m ²
2	150 m ²	4	600 m ²
3	150 m ²	3	450 m ²
4	150 m ²	3	450 m ²
5	150 m ²	2	300 m ²
6	150 m ²	2	300 m ²
7	150 m ²	4	600 m ²
8	150 m ²	4	600 m ²
9	150 m ²	9	1350 m ²
10	150 m ²	4	600 m ²
11	150 m ²	4	600 m ²
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65	150 m ²	4	600 m ²
66	150 m ²	4	600 m ²
67	150 m ²	4	600 m ²
68	150 m ²	4	600 m ²
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90	150 m ²	4	600 m ²
91	150 m ²	4	600 m ²
92	150 m ²	4	600 m ²
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94	150 m ²	4	600 m ²
95	150 m ²	4	600 m ²
96	150 m ²	4	600 m ²
97	150 m ²	4	600 m ²
98	150 m ²	4	600 m ²
99	150 m ²	4	600 m ²
100	150 m ²	4	600 m ²



KLEINMOND HARBOUR PRECINCT
DEVELOPMENT
REVISED BUILDING FOOTPRINTS
SCALE 1:200



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION, AMENDMENT OF CONDITIONS OF
APPROVAL & SITE DEVELOPMENT PLAN: ERVEN 8650 & 8651, KLEINMOND
(4127)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erven 8650 & 8651, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

16. ERF 3003, 81 ATLANTIC DRIVE, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: TIM ZIEHL ARCHITECTS ON BEHALF OF THE JORDAAN FAMILY TRUST

3003 HON (4250)

H Olivier

(028) 313 8900

Hermanus Administration

2 May 2019

Executive Summary

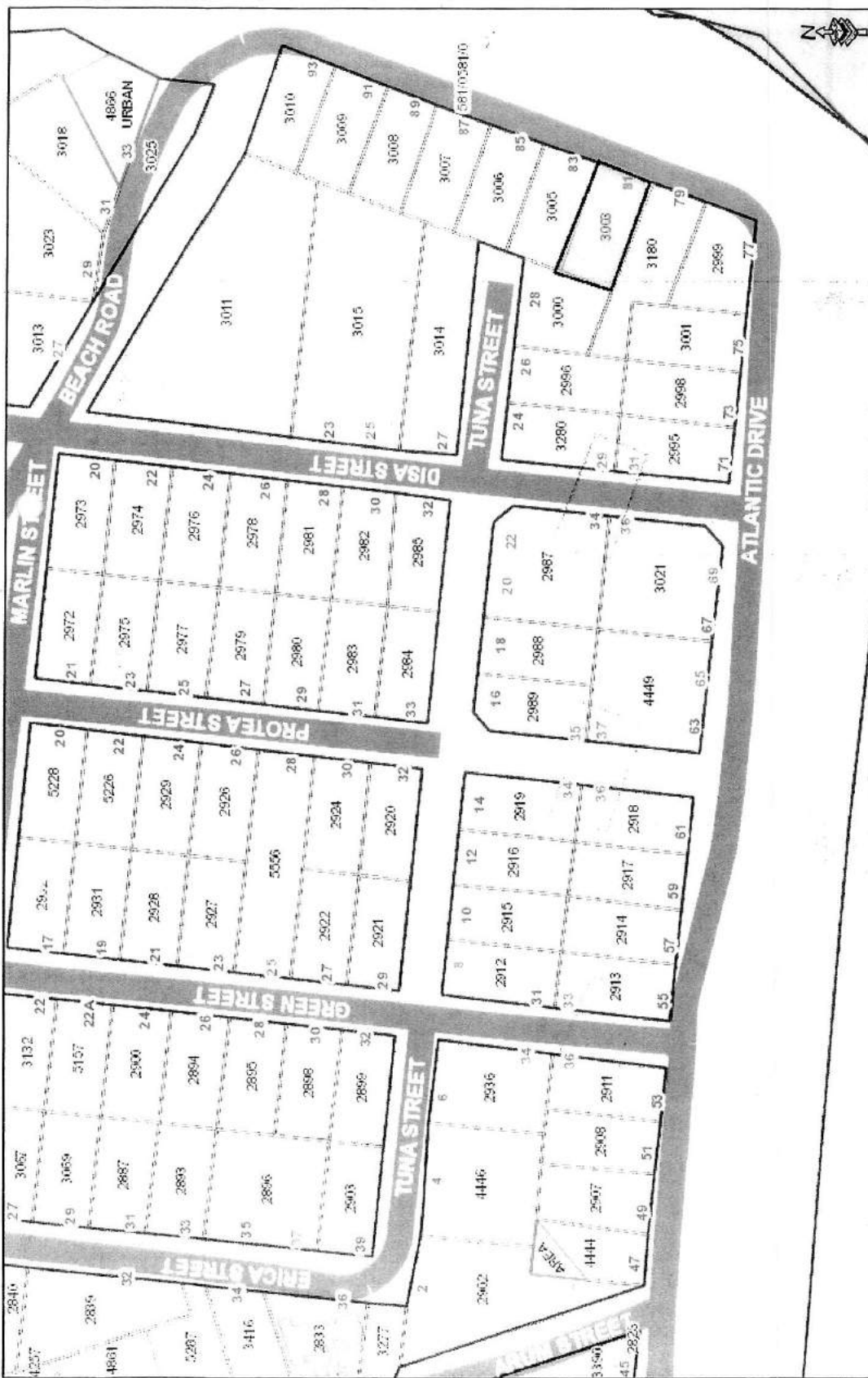
An application has been received on 23 October 2018 from Tim Ziehl Architects on behalf of the Jordaan Family Trust (GP Jordaan) on Erf 3003, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the southern building line from 2m to 1,06m and approximately 1,2m in order to accommodate extensions on first floor level and new windows and a pergola on ground floor level, and from 2m to 0m for an overhead pergola.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 3003, Onrustrivier to relax the southern lateral building line from 2m to approximately 1,06m and 1,2m in order to accommodate changes and extensions to the existing dwelling on ground and first floor level, and to relax the same lateral building line to accommodate a new pergola on the same lateral boundary, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the proposed encroachments be restricted to Plan No. M-02 dated 16 October 2018;
 - (b) that all existing buildings on the property not shown on the plan submitted should be dealt with to the satisfaction of the Building Control Department;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- (f) that all conditions in the Services Report, be complied with;
 - (g) that all conditions imposed by Eskom, be complied with, and
 - (h) that all conditions imposed by Telkom, be complied with.
2. that the applicant and objector be notified of the right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

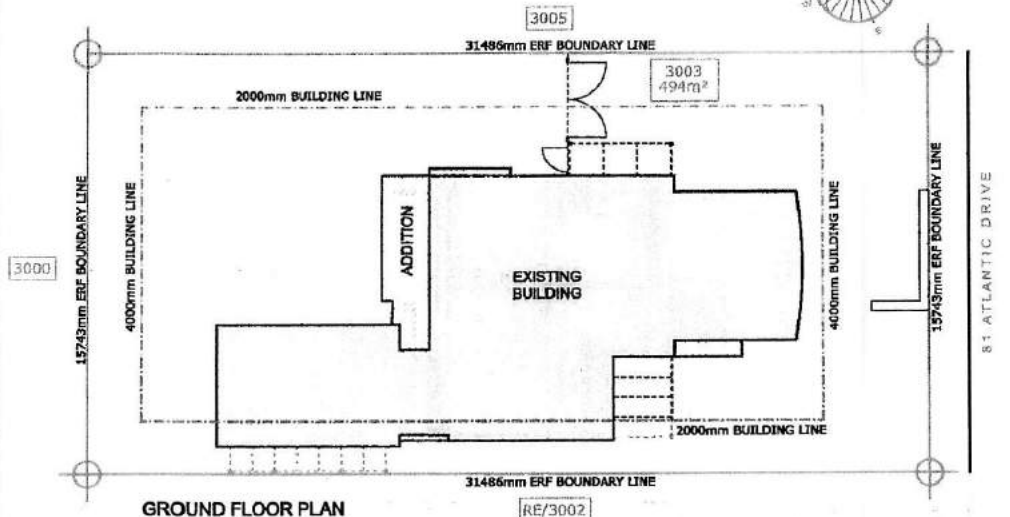


ERF 3003 ONRUSRIVER

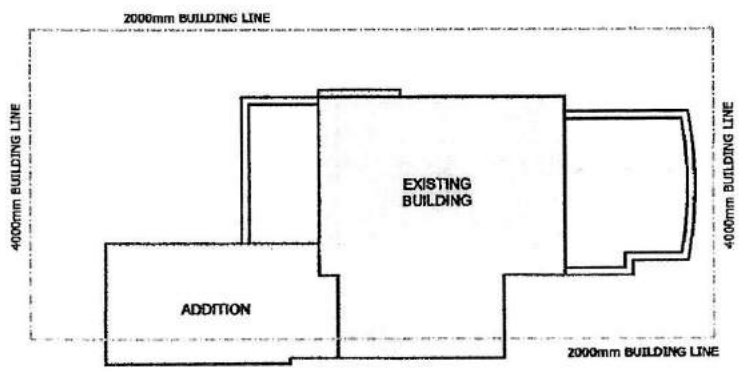
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Date: 2016-10-04

BUILDING LINE ENCROACHMENT APPLICATION

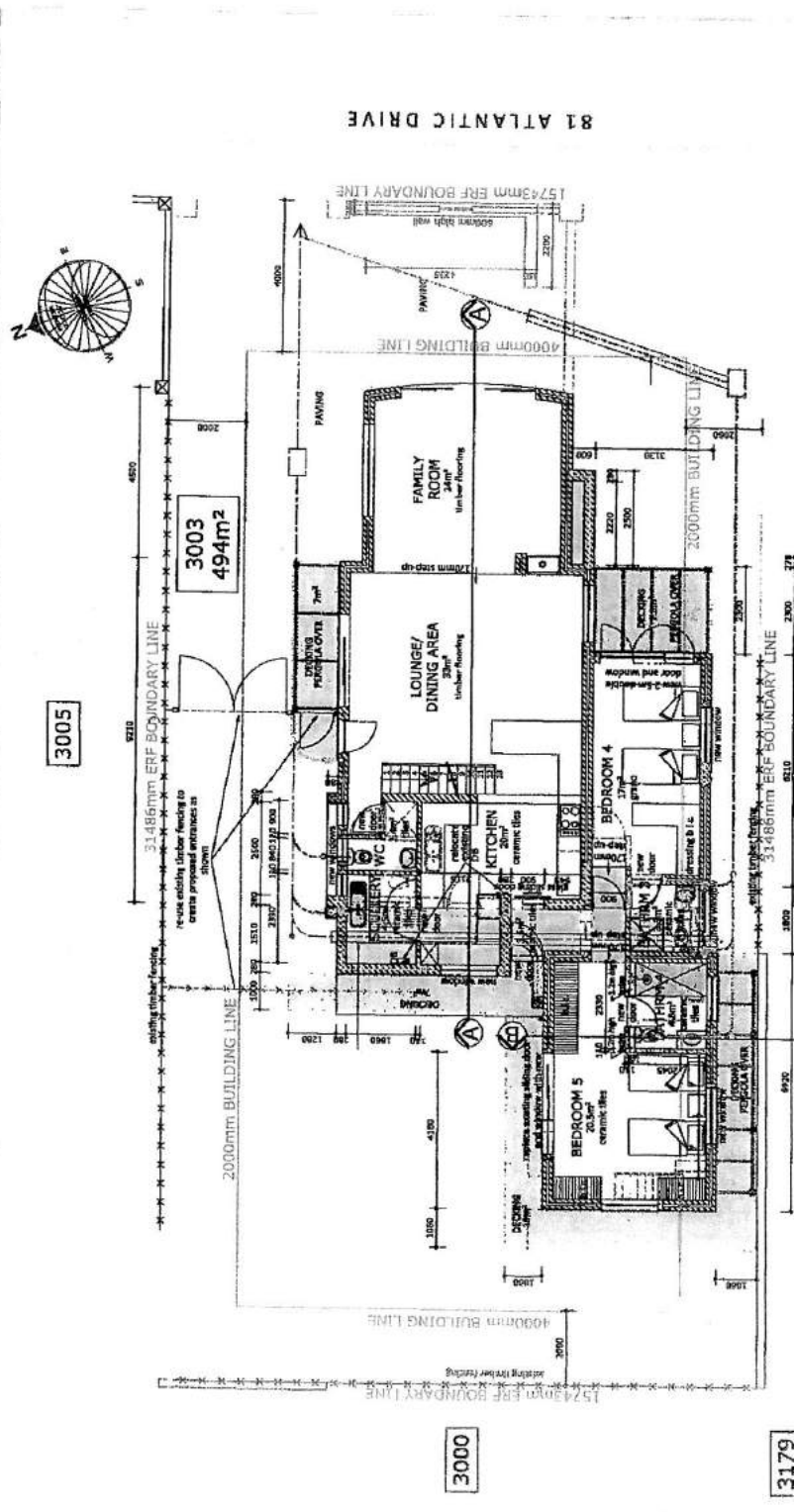


GROUND FLOOR PLAN
SCALE 1:200



FIRST FLOOR PLAN
SCALE 1:200

tim | ziehl
ARCHITECTS
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Stellenbosch, 7599 Fax: +27 - 21 - 883 3013



tim zehi
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 info@timzehi.com
 Tel: +27-21-886 2716
 Fax: +27-21-886 2013

JORDAAN FAMILY TRUST
 2018-10-16
 M-01

ERF SIZE: 494 sqm
 EXISTING GROUND FLOOR: 145 sqm
 EXISTING FIRST FLOOR: 119.5 sqm
 EXISTING OUTDOOR BRAAI AREA: 20 sqm
 NEW GROUND FLOOR AREA: 11 sqm
 NEW FIRST FLOOR AREA: 8.5 sqm
 NEW FIRST FLOOR PATIO: 16 sqm
 COVERAGE: 35%

RE/3002

SITE / GROUND FLOOR PLAN
 1:100

WHERE ANY BUILDING IS SITUATED WHERE WATER WILL DRAIN NATURALLY TOWARDS IT, DRAINAGE SHALL BE PROVIDED TO THE STREET OR TO ANY FRENCH SUCH A SET OR BUILDING, TO A SEWER, WATER DRAIN OR TO DISPOSE OF IT IN SOME OTHER SAFE APPROVED MANNER.

ALL SURPLUS MATERIAL AND MATTER ARISING FROM THE ERECTING OR DISMANTLING OF ANY BUILDING IS TO BE REMOVED AND FROM ANY OTHER LAND OR PUBLIC STREET OR PUBLIC PLACE AFFECTED BY SUCH MATERIAL OR MATTER.

BEFORE ANY FOUNDATION IS LAID, THE AREA TO BE COVERED BY ANY BUILDING IS TO BE PROPERLY CLEARED OF VEGETABLE MATTER, TREE STUMPS, TIMBER AND OTHER CELLULOSE MATERIAL, DEBRIS OR REFUSE AND ANY MATERIAL CONTAMINATED WITH FECAL MATTER.

SITE OPERATIONS (TRANS LOBBY, PART 1):
 TEMPORARY SANITARY FACILITIES ARE TO BE PROVIDED FOR THE PERSONNEL EMPLOYED / INVOLVED WITH THE CONSTRUCTION OF THE NEW DWELLING (ONE SANITARY FACILITY FOR EVERY THIRTY WORKERS) AND TO BE MAINTAINED THROUGHOUT THE DURATION OF THE BUILDING WORK. IT IS TO BE CLEAN AND IN A HYGIENIC CONDITION AT ALL TIMES AND BE POSITIONED SO AS NOT TO BE OFFENSIVE.

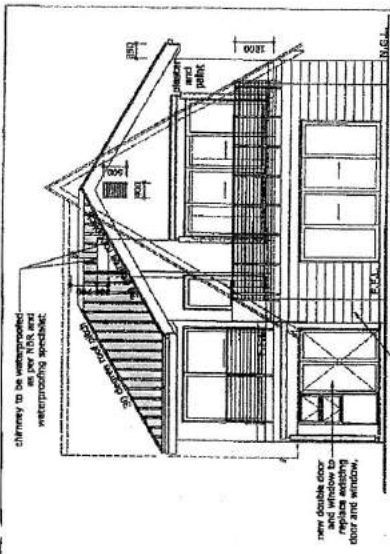
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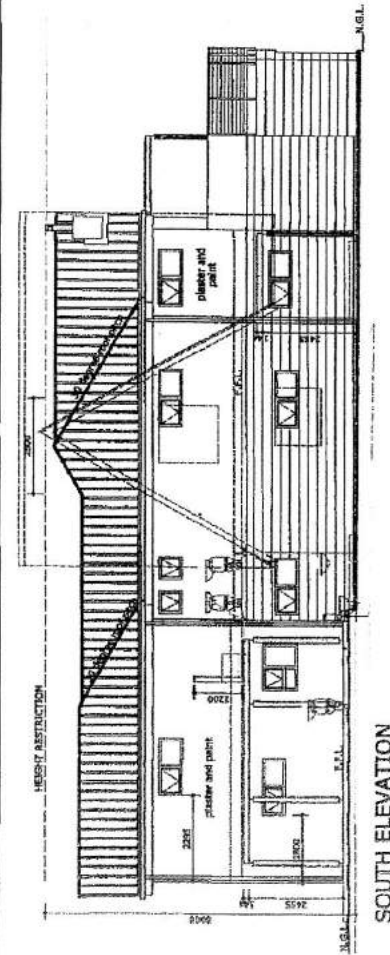
3003
 494m²



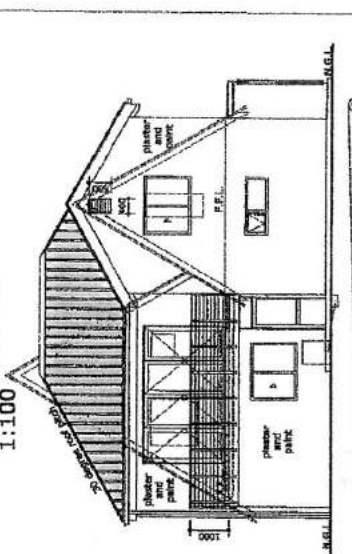
81 ATLANTIC DRIVE



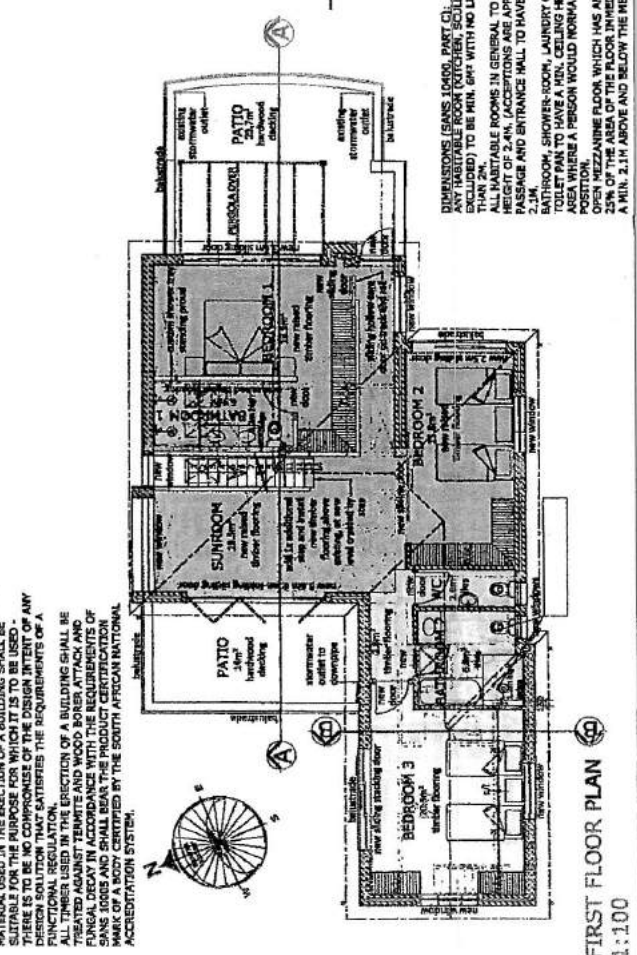
EAST ELEVATION
1:100



SOUTH ELEVATION
1:100



WEST ELEVATION
1:100



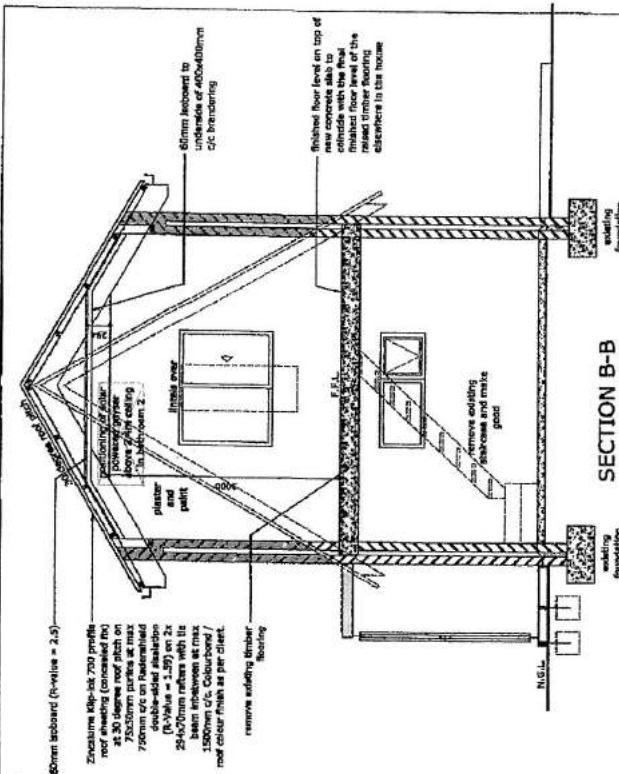
FIRST FLOOR PLAN
1:100

tim zien
A R C H I T E C T S
147 Street 1A West
Black Horse Center
Cruikshank & Hinkle Streets
Stellenbosch, 7999.
Tel: +27-21-884 5700
Fax: +27-21-883 3013
S.A.C.A.P. No. 5294 (Tm 2481)

JORDAAN FAMILY TRUST
1288
2018-10-16
M-02

DIMENSIONS (SANS 10400, PART C1)
ANY HABITABLE ROOM (KITCHEN, SCULLERY AND LAUNDRY) SHOULD BE MIN. 2.1M WITH NO DIMENSION LESS THAN 2M.
ALL HABITABLE ROOMS IN GENERAL TO HAVE MIN. CEILING HEIGHT OF 2.4M. (EXCEPTIONS ARE APPLICABLE).
PASSAGE AND ENTRANCE HALL TO HAVE MIN. CEILING HEIGHT OF 2.1M.
BATHROOM, SHOWER-ROOM, LAUNDRY OR ROOM CONTAINING A TOILET PAN TO HAVE A MIN. CEILING HEIGHT OF 2.1M ABOVE ANY POSITION.
MEZZANINE FLOOR WHICH HAS AN AREA NOT EXCEEDING 25% OF THE AREA OF THE FLOOR IMMEDIATELY BELOW IT TO HAVE A MIN. 2.1M ABOVE AND BELOW THE MEZZANINE FLOOR.

BUILDING MATERIALS (SANS 10400, PART A1)
MATERIAL USED IN THE ERECTION OF A BUILDING SHALL BE SUITABLE FOR THE PURPOSE FOR WHICH IT IS TO BE USED.
THE FINISHES OF THE INTERIOR OF ANY PERSON BUILDING THAT SATISFIES THE REQUIREMENTS OF A FUNCTIONAL REGULATION.
ALL TIMBER USED IN THE ERECTION OF A BUILDING SHALL BE TREATED AGAINST TERMITES AND WOOD BORER ATTACK AND SHALL BE CERTIFIED AS SUCH BY THE SOUTH AFRICAN NATIONAL CERTIFICATION BOARD.
SANS 10000 SHALL BE THE PRODUCT CERTIFICATION MARK OF A BODY CERTIFIED BY THE SOUTH AFRICAN NATIONAL ACCREDITATION SYSTEM.



SECTION B-B
1:50

HEALTH & SAFETY
 PRINCIPAL CONTRACTOR TO MAKE ADEQUATE PROVISION FOR HEALTH & SAFETY MEASURES FOR THE DURATION OF THE CONSTRUCTION PROCESS. PRINCIPAL CONTRACTOR TO COMPLY WITH ALL APPLICABLE HEALTH & SAFETY REGULATIONS AND CONSTRUCTION REGULATIONS G.N.R. 1010 OF JULY 2003. PRINCIPAL CONTRACTOR TO PROVIDE CLIENT WITH HEALTH & SAFETY PLAN BEFORE CONSTRUCTION WORK BEGINS.

ENVIRONMENTAL NOTES
 CONTRACTOR TO ALLOW FOR MOVEMENT JOINTS IN FLOOR SLABS & WALLS WHERE NECESSARY TO ENGINEERS' SPECIFICATION. JOINTS TO BE SEALED WITH "JOINTER".

FLOOR CONSTRUCTION (BATH ROOM, BATH IN THE TOILET OF ANY LAUNDRY, KITCHEN, SHOWERS, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL SHALL BE A WATER-RESISTANT FLOOR (E.G. CONCRETE FLOOR, OR A FLOORING SYSTEM THAT CAN HOLD ANY SURFACE WATER OR FLOODING SYSTEM THAT CAN HOLD ANY SURFACE WATER) WITH A FINISH WHICH WILL ALLOW WATER CAN ACCOMMODATE ANY MOVEMENT IN THE FLOORING SYSTEM WITHOUT LOSING ITS IMPERMEABLE PROPERTIES).

ANY CONCRETE FLOOR SLAB SUPPORTED ON GROUND OR FILLING MUST BE PROTECTED FROM PENETRATING THE CONCRETE FLOOR SLAB.

GROUND STORY, (SURFACE BED)
 FLOOR FINISH AS SPECIFIED ON PLANS ON 35MM CEMENT SCALED ON 100MM CONCRETE SLAB (GRADE 25 OR HIGHSTRENGTH 310) WITH D.S.C. (200MM OVERLAP AT JOINTS) ON 50MM CLEAN RIVER SAND BED ON WELL COMPACTED FILL. FILL FROM SUITABLE MATERIAL COMPACTED IN LAYERS TO 93 MM ASHTO DENSITY. FILLING SHALL BE PLACED IN UNCOMPACTED LAYERS NOT EXCEEDING 150MM. ALL FILLING SHALL BE PLACED IN RESPECT OF COMPACTION BY MECHANICAL MEANS. ALL 150MM LAYER SHALL BE WELL COMPACTED BEFORE ADDITIONAL FILL MATERIAL IS ADDED. FINISHED FLOOR LEVEL TO BE MIN. 150MM ABOVE NATURAL GROUND LEVEL.

FIRST STORY, (SUSPENDED FLOOR)
 REINFORCED CONCRETE SLABS ACCORDING TO STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS. IN-SITU OR RIB-AND-BLOCK CONCRETE FLOOR CONSTRUCTION TYPE TO BE USED. ALL FLOORING SHALL BE Laid ON 100MM THICK CONCRETE BOARDING HORIZONTALLY LAPPED OVER JOINTS. PROVIDE JUMPS IN CONCRETE SLABS ON LOAD BEARING WALLS. PROVIDE JUMPS IN CONCRETE SLABS ON LOAD BEARING WALLS AND CONCRETE SLABS AND SURFACE BED. (ALL ACCORDING TO STR. ENG. DESIGN).

HOT WATER SERVICES (SANITATION, BATH, V.A.)
 AT LEAST 50% OF THE ANNUAL VOLUME OF ELECTRICITY USED FOR WATER HEATING MUST BE HEATED BY OTHER MEANS (E.G. SOLAR OR RECUPERATORS).
 ALL WATER SERVICES SHALL BE INSULATED WITH A MATERIAL ACHIEVING A MINIMUM R-VALUE OF 2.

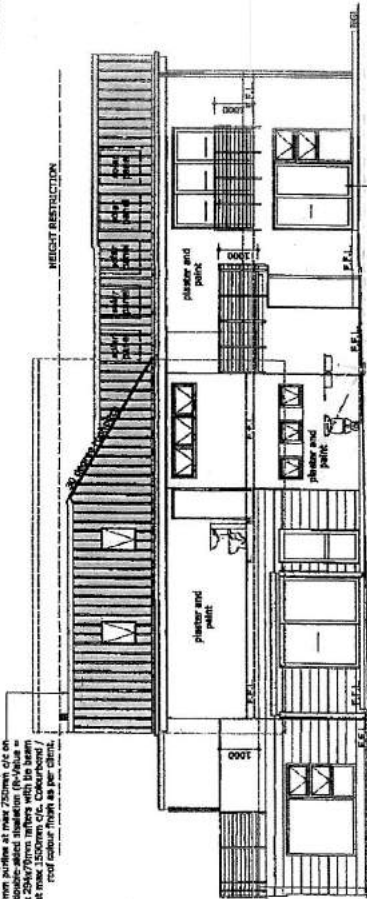
LEVELS:
 ALL DIMENSIONS, THE BUILDING IS TO BE LAID OUT AND ERECTED IN THE POSITION AND TO THE LEVELS AS INDICATED ON THE PLAN & SITE PLAN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS ON-SITE BEFORE COMMENCING ANY WORK. ALL BUILDING WORK TO COMPLY WITH SANS 10400 EDITION 3 AND MUNICIPAL BY-LAWS.

LAND SURVEYOR TO CORRECT ALL BOUNDARY PEGS AND TO CHECK ALL LEVELS BEFORE CONSTRUCTION COMMENCES.

TOP SOIL SHALL BE REMOVED FROM THE AREA TO BE BUILT UPON. ALL GRADING AND LEVELING TO BE DONE BY CONTRACTOR.

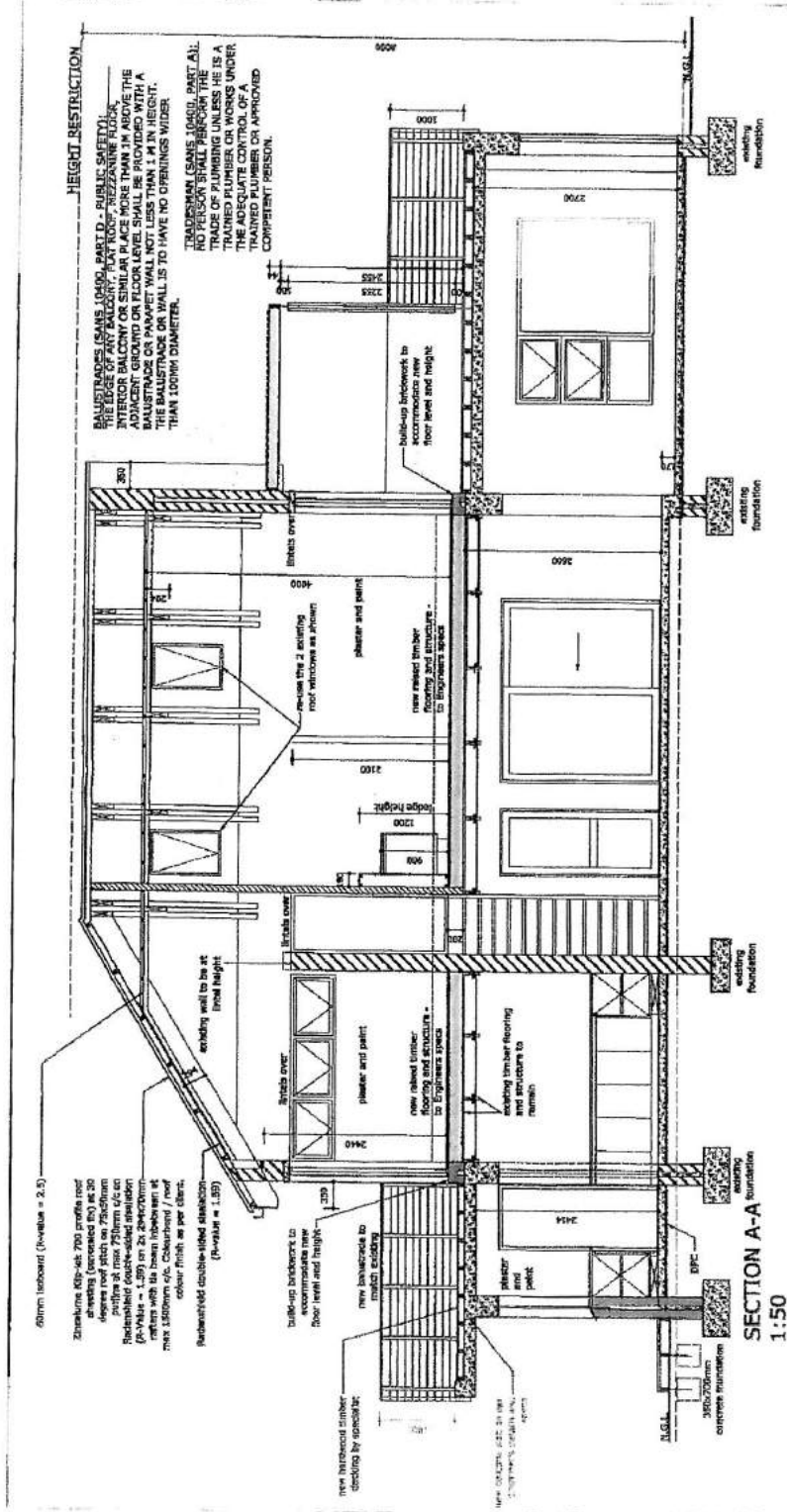
ELECTRICITY:
 ALL ELECTRICAL WORK ARE TO COMPLY TO LOCAL AUTHORITIES BY-LAWS.

STORMWATER NOTES:
 METHOD OF STORMWATER DISPOSAL TO BE DETERMINED ON SITE, ACCORDING TO ACTUAL SITE CONDITIONS. THE SITE IS TO BE SHAPED TO AVOID PONDING, WHERE POSSIBLE. THE ROOF STORMWATER RUN-OFF IS TO BE PAVED TO UNDERGROUND STORAGE TANKS WITH LEVELS LOW TO GARDEN.



NORTH ELEVATION
1:100

tim zien
 ARCHITECTS
 1st Floor/ 1/4 Viger
 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



HEIGHT RESTRICTION

BALUSTRADES (SANS 10450, PART D - PUBLIC SAFETY)
 BALUSTRADES SHALL BE PROVIDED FOR ALL INTERIOR BALCONY OR SIMILAR PLACE WORKING PLACES. THE BALUSTRADE OR PARAPET WALL SHALL BE PROVIDED WITH A BALUSTRADE OR PARAPET WALL NOT LESS THAN 1 M IN HEIGHT. THE BALUSTRADE OR WALL IS TO HAVE NO OPENINGS WIDER THAN 100MM DIAMETER.

TRADESMAN (SANS 10450, PART A)
 NO PERSON SHALL PERFORM THE TRADE OF PLUMBER UNLESS HE IS A TRAINED PLUMBER OR WORKS UNDER THE ADEQUATE CONTROL OF A TRAINED PLUMBER OR APPROVED COMPETENT PERSON.

SECTION A-A
 1:50

FOUNDATIONS (SANS 10400, PART D)
 CONCRETE FOUNDATION TO BE CONSTRUCTED HAVING A STRENGTH OF NO LESS THAN 10 MPa AT 28 DAYS, ON BE MOVED IN ACCORDANCE WITH THE REQUIREMENTS OF SANS 10400-1 AND 10400-2 FOR FOUNDATIONS OF ORDINARY SYSTEMS AND CONCRETE, SAND AND STONE FOUNDATIONS, FOR LOADBEARING WALLS.

FOUNDATION DESIGN SHALL PREVENT THE PASSAGE OF MOISTURE THROUGH FOUNDATIONS TO THE INTERIOR OF THE BUILDING. ALL FOUNDATIONS DESIGNED AND SPECIFIED BY A PROFESSIONAL STRUCTURAL ENGINEER TAKES PREPARATION.

MINIMUM REQUIREMENTS:-
 LOAD BEARING WALLS = MIN. 250 x 750mm
 NON LOAD BEARING WALLS = 250 x 650mm

FOUNDATIONS WALLS HIGHER THAN 1 METER TO BE 340mm THICK.
 FOUNDATIONS WALLS LOWER THAN 1 METER TO BE IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

PROVIDE MIN. 300x60x45mm CONCRETE FOOTING TO ALL FREE STANDING COLUMNS

CONCRETE STRIP FOUNDATIONS TO BE LAID IN A SOLID AND UNIFORM TRENCH AND MUST COMPLY WITH SANS 10400-8 AND SANS 1044-H

FIRE RESISTANCE (SANS 10450, PART 1 - IN DOOR COMPOST)
 ALL FLOOR JOINTS ON TOUGHENED OR ANY OTHER COMBUSTIBLE MATERIAL SHALL BE BUILT INTO ANY HEARTH, OR WITHIN 200MM OF THE INSIDE OF A CHIMNEY, OR PENETRATE A FIRE SEPARATION ELEMENT.

MORTAR OR PLASTER MIXTURE (MINIMUM REQUIREMENT - AS PER SANS 501)
 MORTAR SHALL HAVE THE MIX PROPORTIONS OF A CLASS II MORTAR MIX AS PER SANS 501. LIME TO BE INCLUDED INTO THE MIXTURE AS PER SANS 501. THE MIXTURE SHALL BE OF THE CLASS M20 TYPE.

ALL SAND USED SHALL CONTAIN NO ORGANIC MATERIAL NOR ANY MATERIALS WHICH WOULD INTERFERE WITH THE REQUIREMENTS OF SANS 1050 FOR MORTAR SAND.

PLASTER CEMENT MUST BE MIX 3 PART CEMENT, 1.5 PARTS LIME AND 6 PARTS SAND.

FIRE INSULATION (SANS 10450, PART 2A)
 ALL HOT WATER SERVICE PIPES ARE TO BE CLADDED WITH INSULATION WITH AN R-VALUE FOR THE FOLLOWING:
 SMALLER AND EQUAL TO 80mm DIA. = MIN. R-VALUE OF 1.
 GREATER THAN 80mm DIA = MIN. R-VALUE OF 1.5

tim zien
 A B C H T B C T B
 P.O. Box 7292, Stellenbosch, 7599.
 Email: info@timzien.co.za
 S.A.S.P. no. 2594 (Tim Zien)

Or: Dep. - 8 Verkeerd Straat, Stellenbosch, 7600
 Tel: 027 - 21 - 883 8013
 Fax: 027 - 21 - 883 8013

tim zien
 2018-10-16
 1:50
 M-04

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3003, ONRUS RIVER (4250)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of *SANS 10400 – P:2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager; Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 3003, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

D.P. A. Chopra
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

13/03/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**17. ERVEN 1192 TO 1196, KLIPFONTEYN, OVERSTRAND MUNICIPAL AREA:
PROPOSED AMENDMENT OF CONSTITUTION: KA AKERMANN ON
BEHALF OF KLIPFONTEIN HOME OWNERS ASSOCIATION**

1192-1196 GKB (2941/2019)

SW van der Merwe

(028) 313 8900

Hermanus Administration

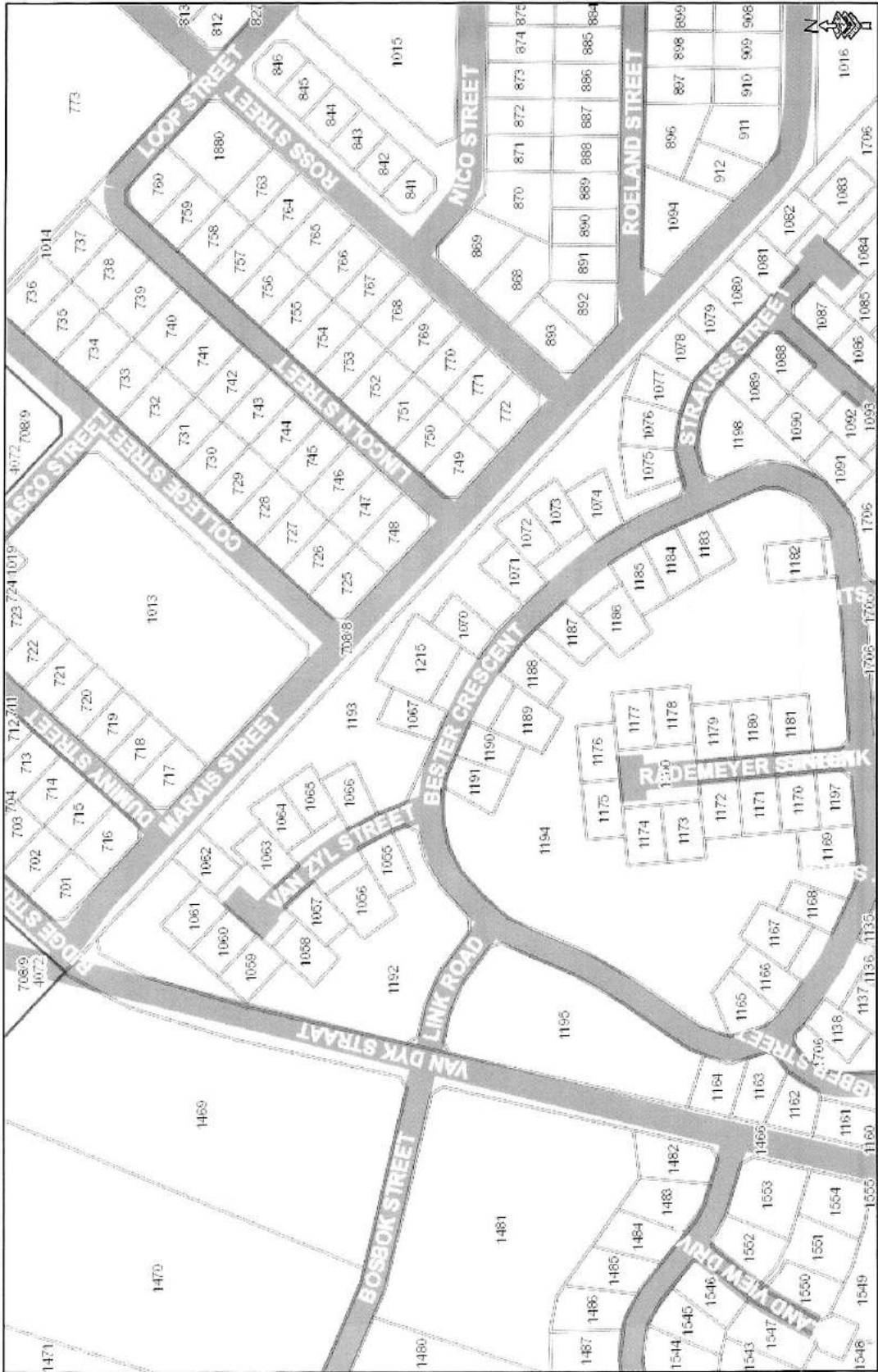
3 June 2019

Executive Summary

An application has been received on 13 February 2019 from KA Akermann on behalf of the Klipfonteyn Home Owners Association in terms of Section 16(2)(l) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Rules of Conduct and Building and Aesthetic Guidelines that forms part of the Constitution of Klipfonteyn.

RESOLVED :

1. that the application in terms of Section 16(2)(l) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) to amend the Rules of Conduct and Building and Aesthetic Guidelines that form part of the Constitution of the Klipfonteyn Home Owners Association, **be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Erwe 1192, 1193, 1194 & 1195 Kleinbaai

Date: 2019-02-19



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

18. ERF 2045, SLOVO STREET, MASAKHANE, GANSBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS ME PLANNERS ON BEHALF OF AD & MN YAWA

2045 GMK (2870/2019)

**SW van der Merwe
2 June 2019**

(028) 313 8900

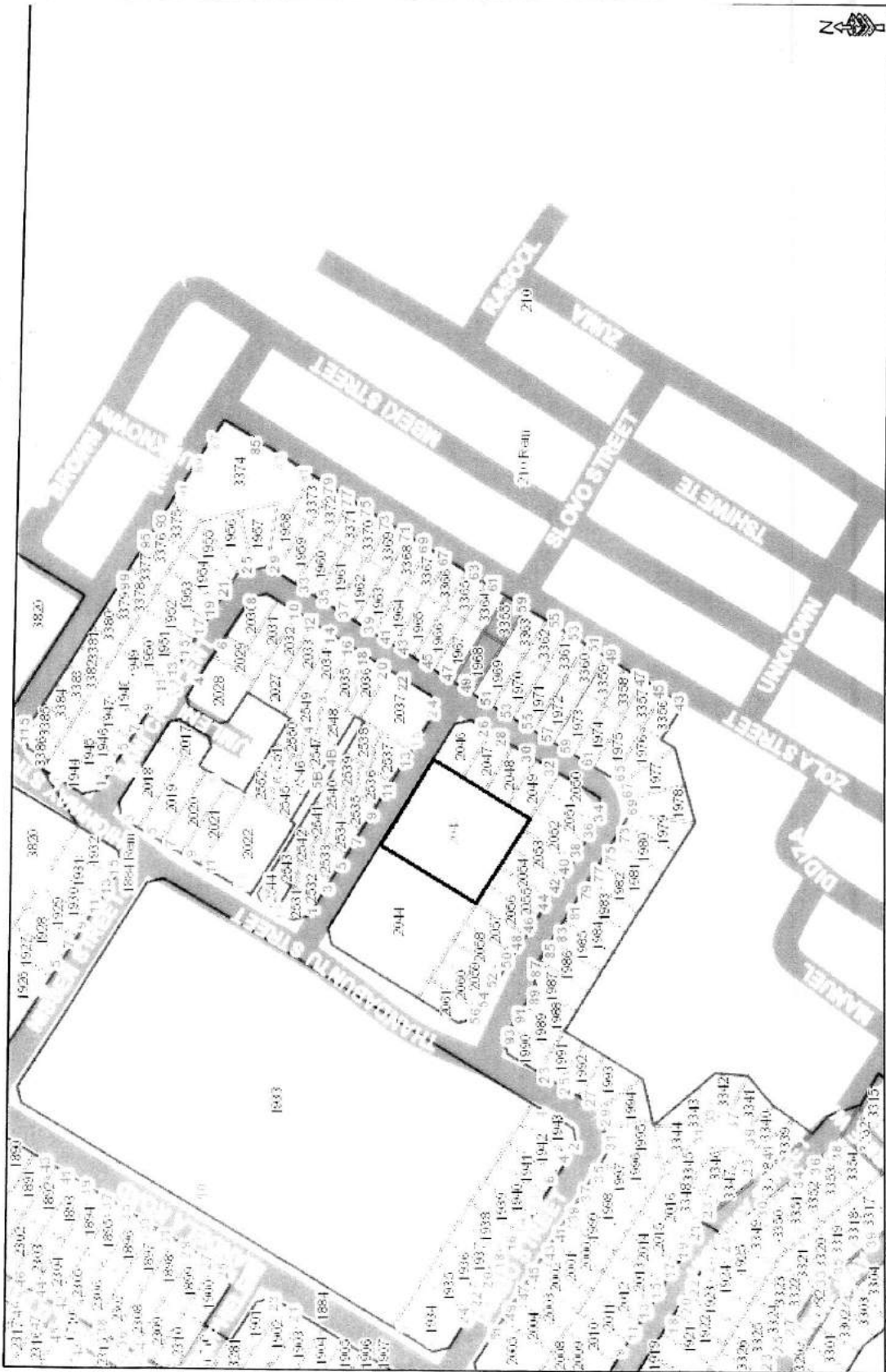
Hermanus Administration

Executive Summary

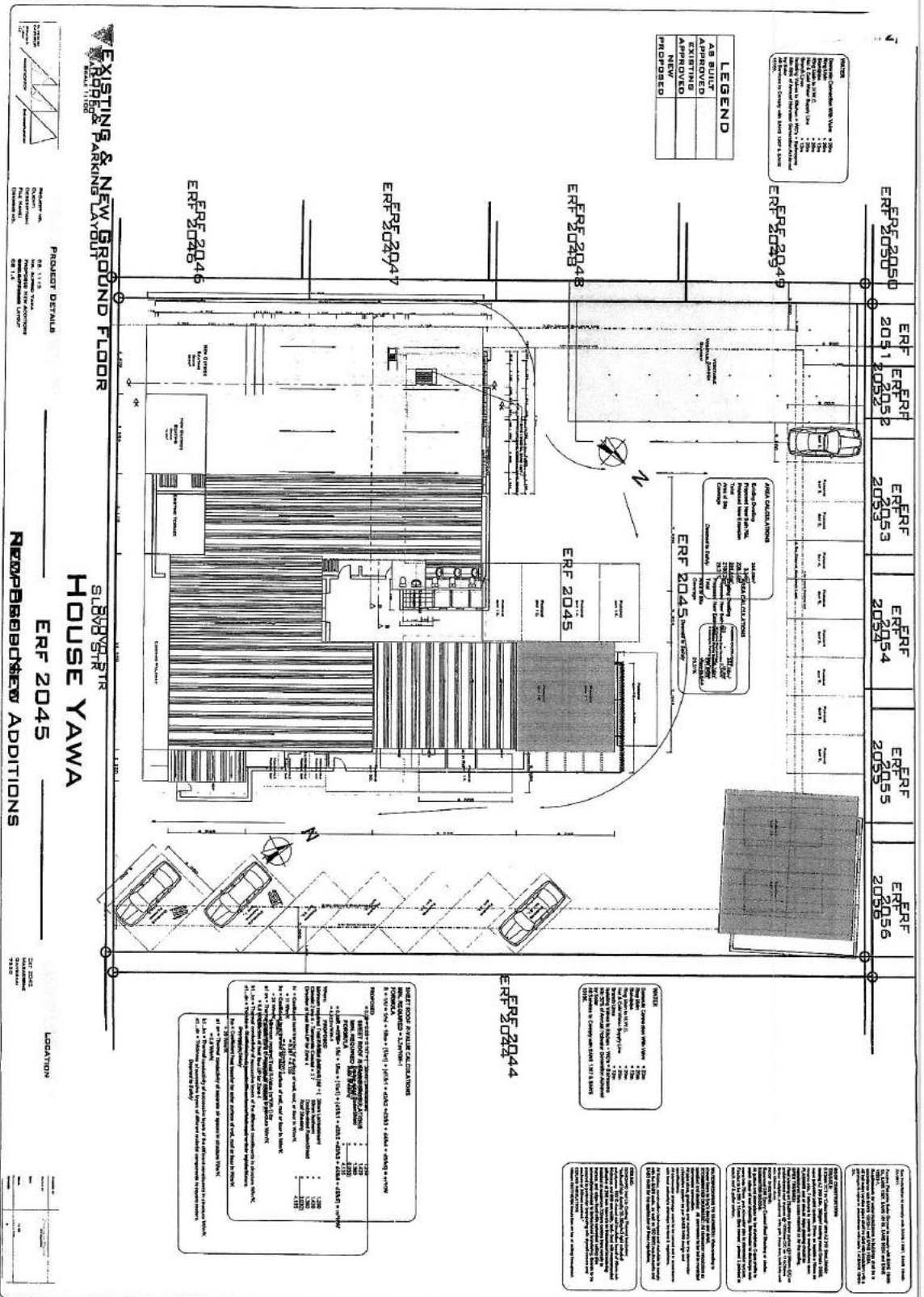
An application has been received on 14 January 2019 from Messrs ME Planners on behalf of AD & MN Yawa in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 2045, Masakhane, Gansbaai for departure to encroach the 4,5m eastern lateral building line varying between 1,014m and 1,433m and the 2m rear building line varying between 0,842m and 0,392m in order to accommodate an existing garage.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2045, Masakhane, Gansbaai in order to encroach the 4,5m eastern lateral building line varying between 1,014m and 1,433m and the 2m rear building line varying between 0,842m and 0,392m in order to accommodate an existing garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the departures indicated on the Site Development Plan;
 - (b) that the conditions compiled in the Services Report and Fire Services, be complied with;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage, and
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 2045 Masakhane, Gansbaai



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2045, MASAKHANE (2870/2018)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2045, Masakhane, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

19. ERF 2123, 57 FIFTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: S VON WIELLIGH ON BEHALF OF HC AND MP CRONJE

2123 HVK (4038)

H Boshoff

(028) 313 8900

Hermanus Administration

14 June 2019

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2123, Hermanus has been received on 25 January 2019 from S von Wielligh on behalf HC and MP Cronje in order to:

- a) relax the south-eastern lateral building line from 2m to $\pm 1,2$ m to accommodate a new internal staircase, as well as the extension of the existing garage at lower ground floor level;
- b) relax the south-eastern lateral building line partially to accommodate a balustrade along a new open patio at ground floor level;
- c) relax the south-eastern lateral building line from 2m to $\pm 1,2$ m in order to raise the load bearing wall of a portion of the existing dwelling with ± 500 mm to accommodate a new mono-pitched roof at ground floor level, and
- d) relax the north-western lateral building line from 2m to $\pm 1,2$ m in order to raise the load bearing wall of the existing dwelling with ± 787 mm to accommodate a new mono-pitched roof at ground floor level.

RESOLVED :

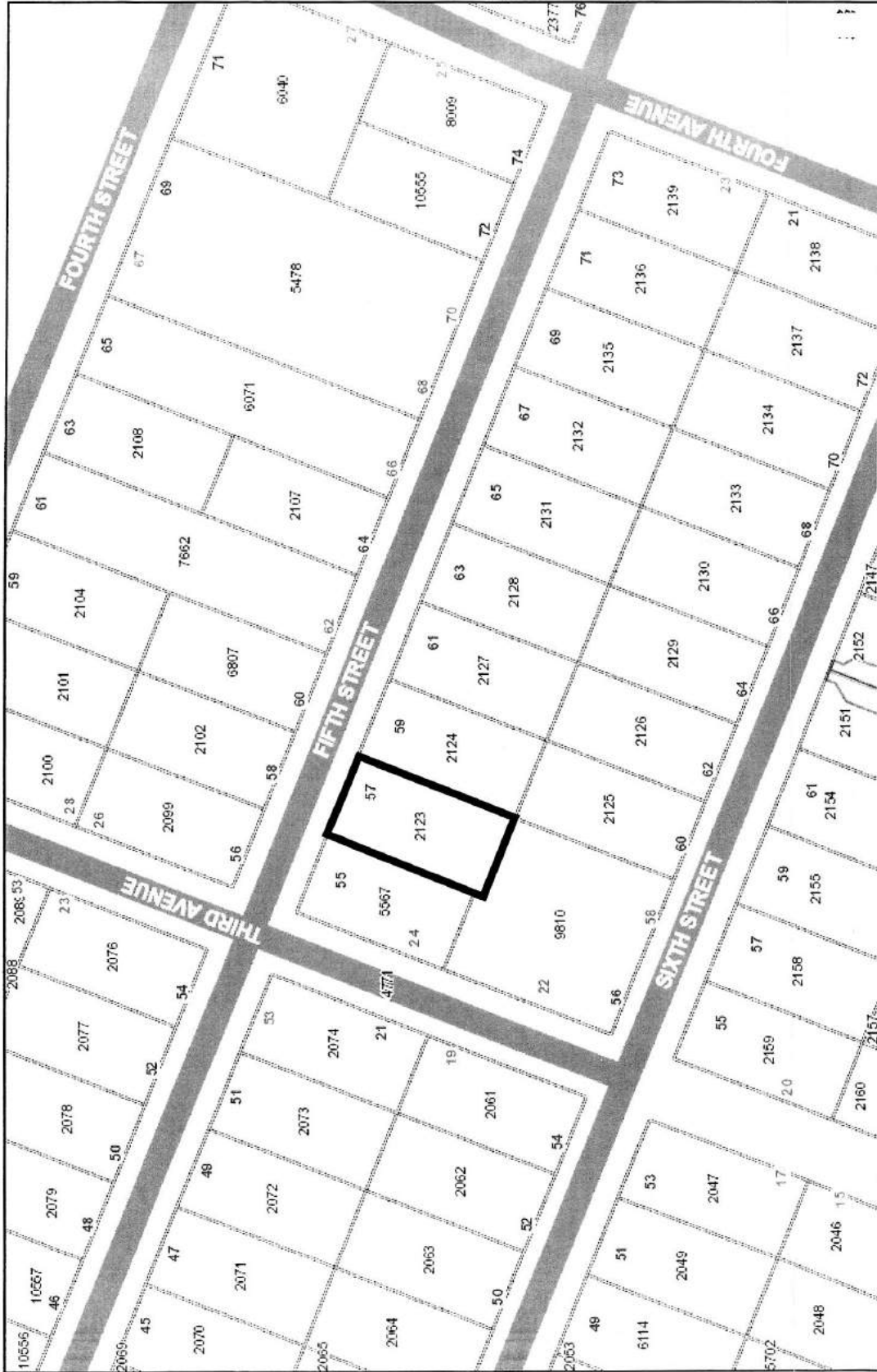
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2123, Hermanus in order to:
 - a) relax the south-eastern lateral building line from 2m to $\pm 1,2$ m to accommodate a new internal staircase, as well as the extension of the existing garage at lower ground floor level;
 - b) relax the south-eastern lateral building line partially to accommodate a balustrade along a new open patio at ground floor level;

**AGENDA of the
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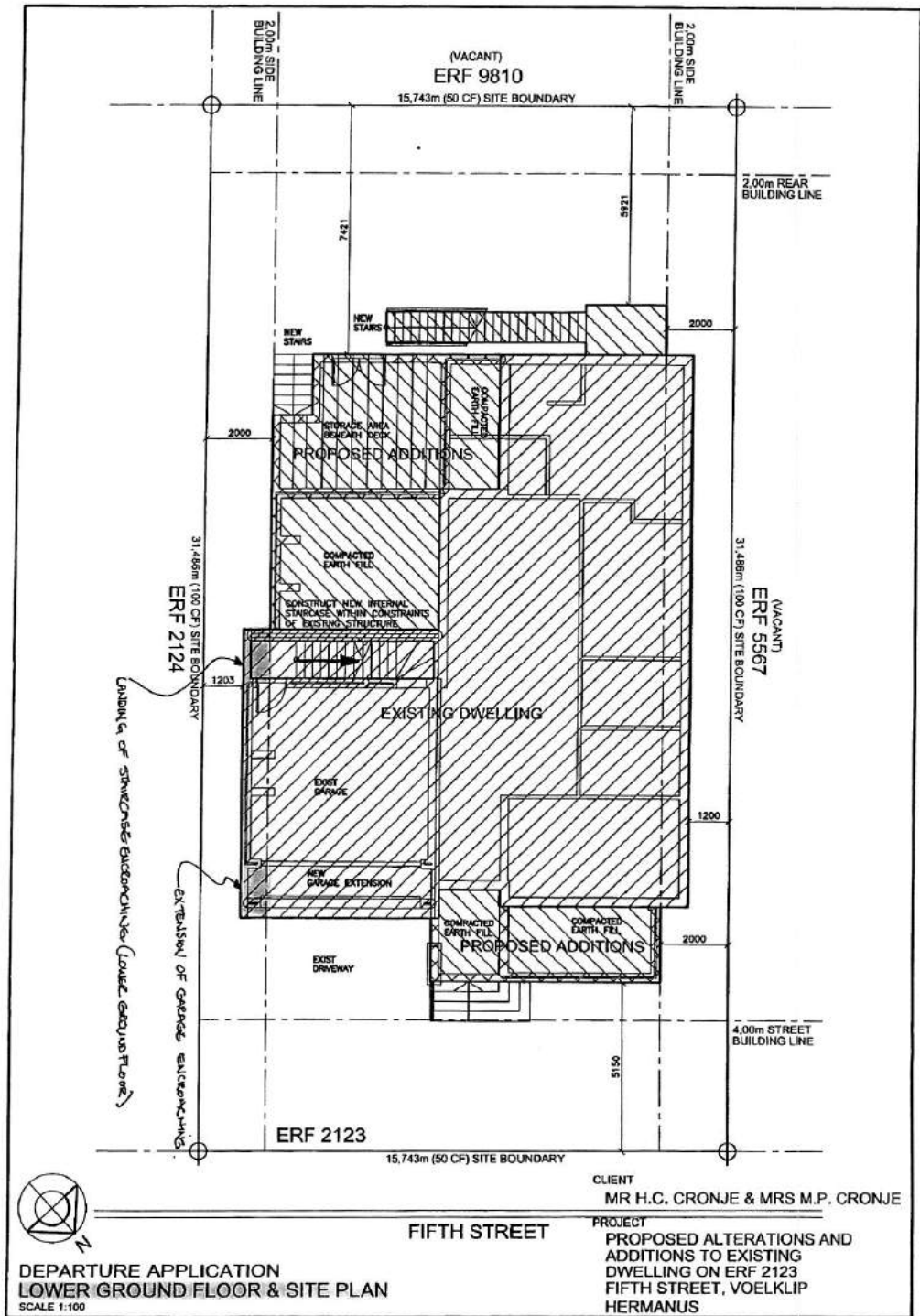
- c) relax the south-eastern lateral building line from 2m to $\pm 1,2$ m in order to raise the load bearing wall of a portion of the existing dwelling with ± 500 mm to accommodate a new mono-pitched roof at ground floor level, and
- d) relax the north-western lateral building line from 2m to $\pm 1,2$ m in order to raise the load bearing wall of the existing dwelling with ± 787 mm to accommodate a new mono-pitched roof at ground floor level;

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the approval is only for the dimensions as per the un-numbered and undated plans that was submitted with the application;
 - (b) that building plans be submitted to the Building Department and that all conditions of the Building Department and Fire Services be complied with at that stage;
 - (c) that the applicable conditions of Engineering Services and Telkom, be complied with;
 - (d) that all other development parameters as set out in the Zoning Scheme, be complied with, and
 - (e) that the above approvals do not exempt the landowner from compliance with any other applicable legislation.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN - FFE 2123, HERMANIUS

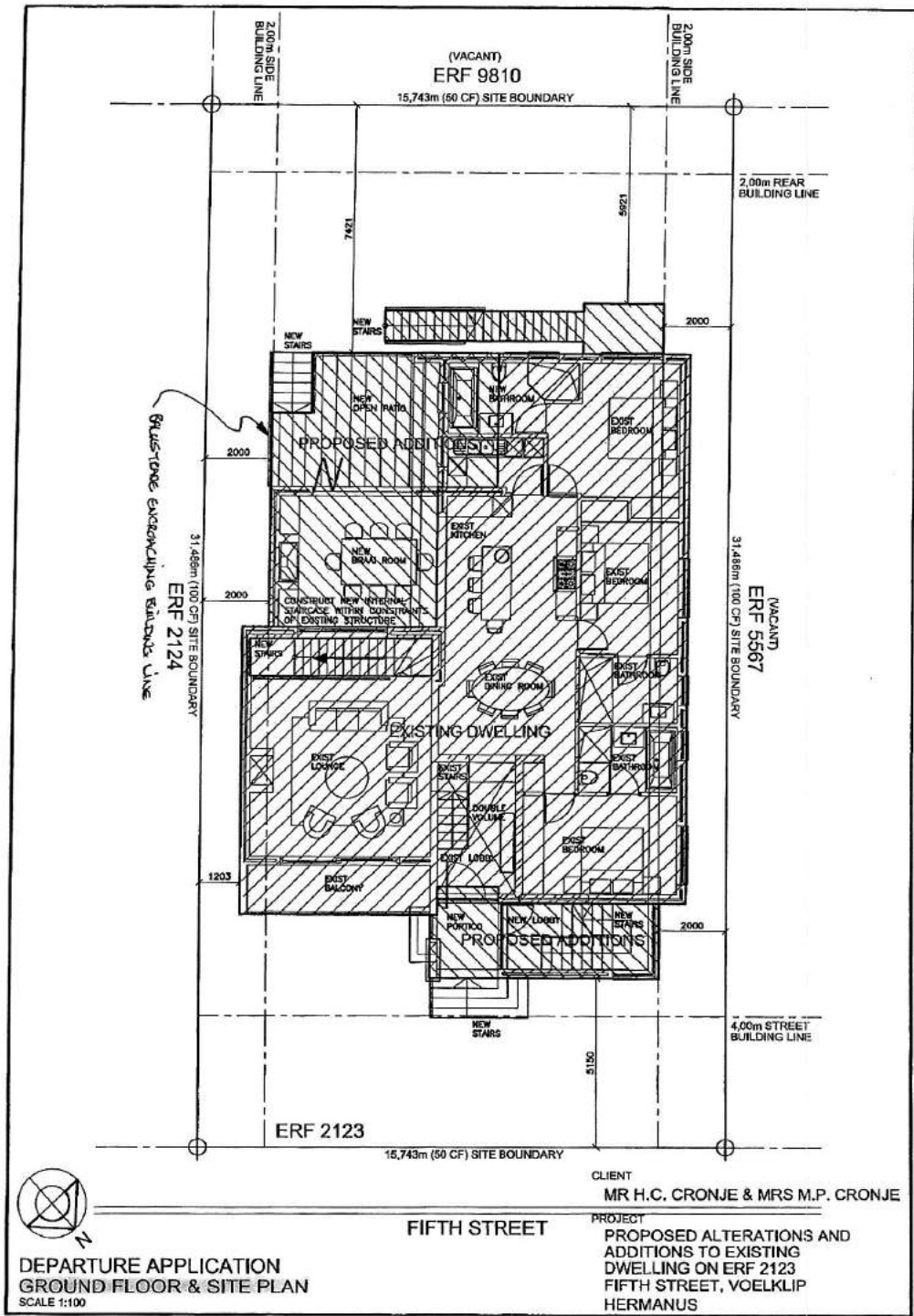


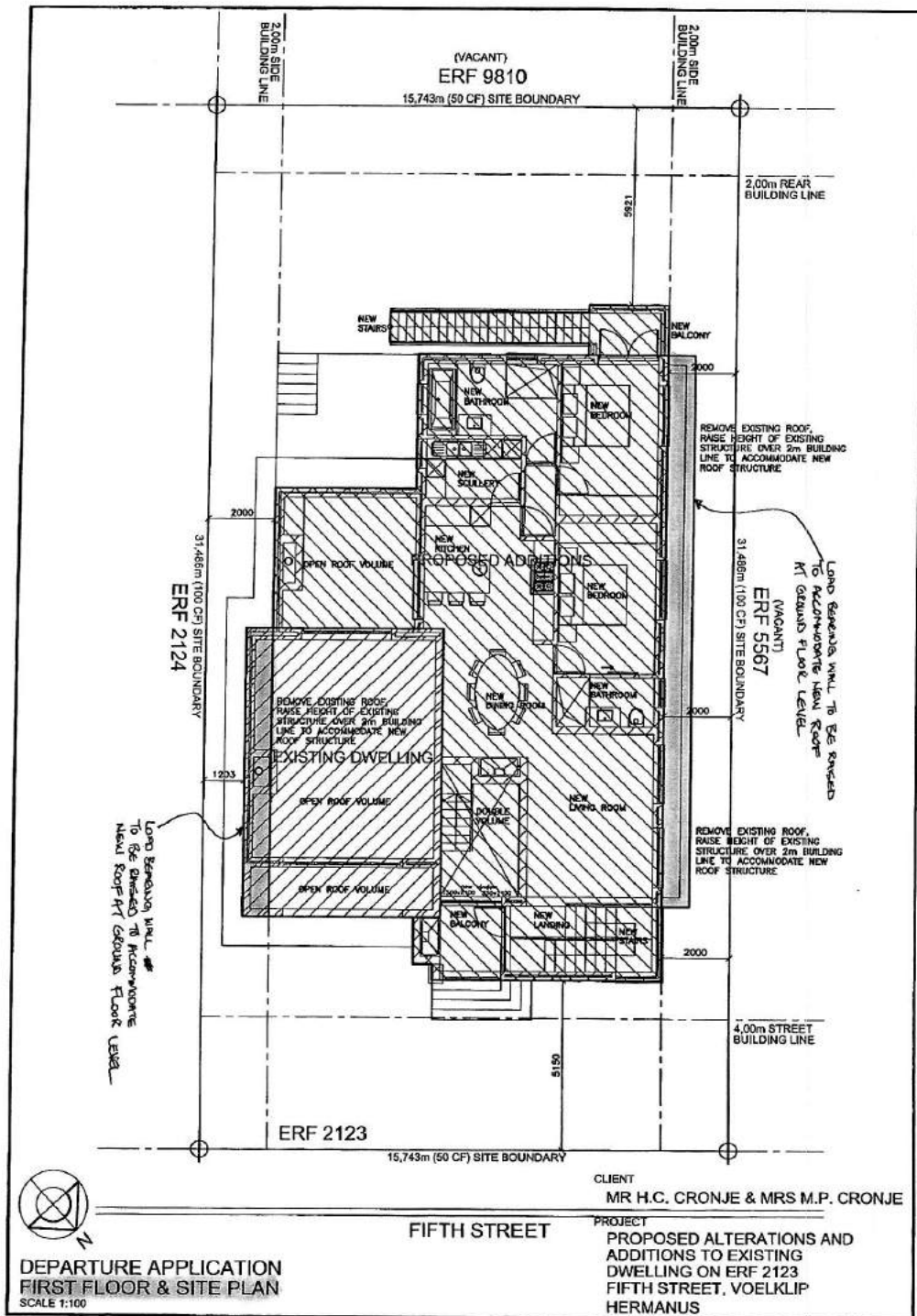
DEPARTURE APPLICATION
 LOWER GROUND FLOOR & SITE PLAN
 SCALE 1:100

FIFTH STREET

CLIENT
 MR H.C. CRONJE & MRS M.P. CRONJE

PROJECT
 PROPOSED ALTERATIONS AND
 ADDITIONS TO EXISTING
 DWELLING ON ERF 2123
 FIFTH STREET, VOELKLIP
 HERMANUS

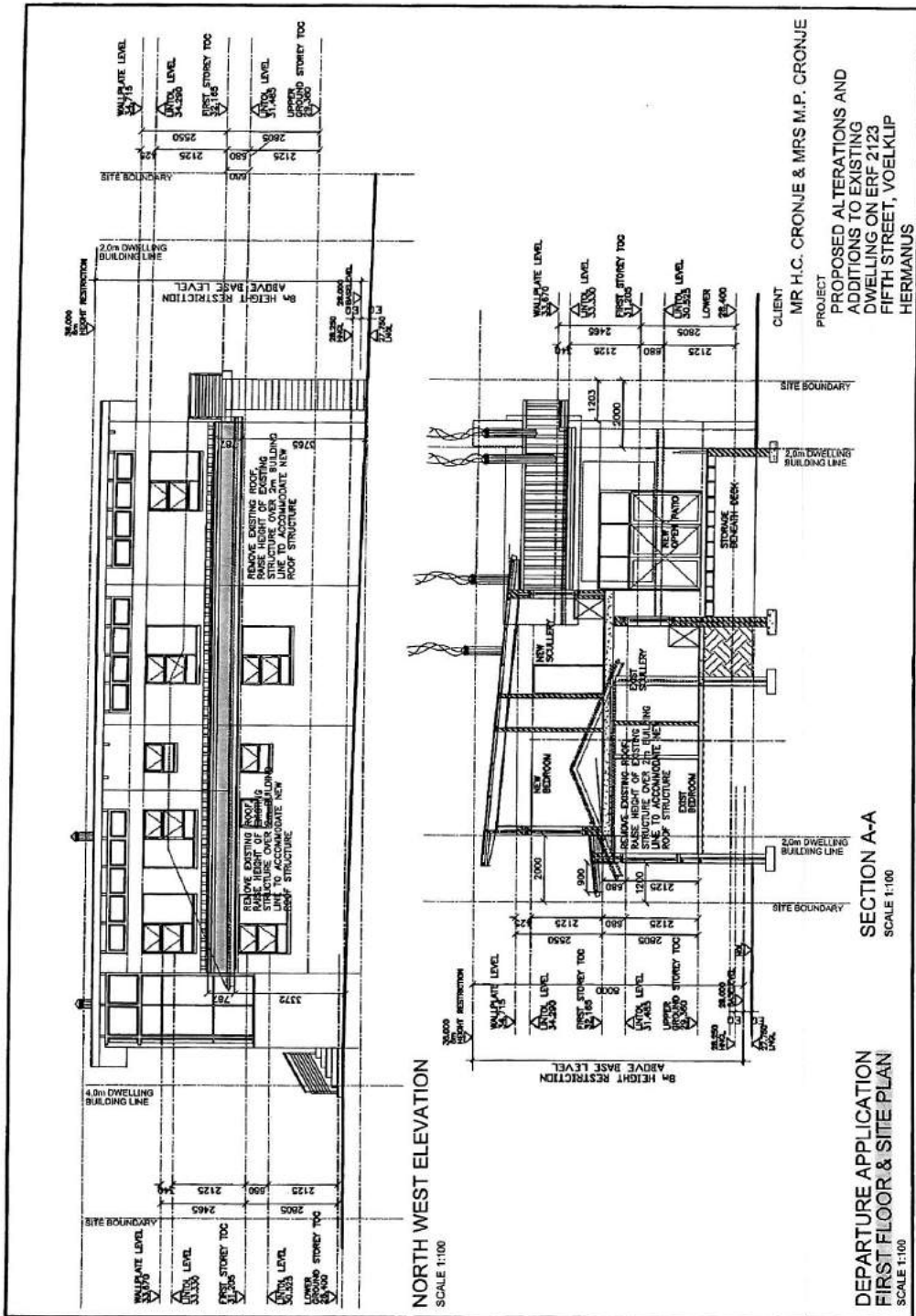


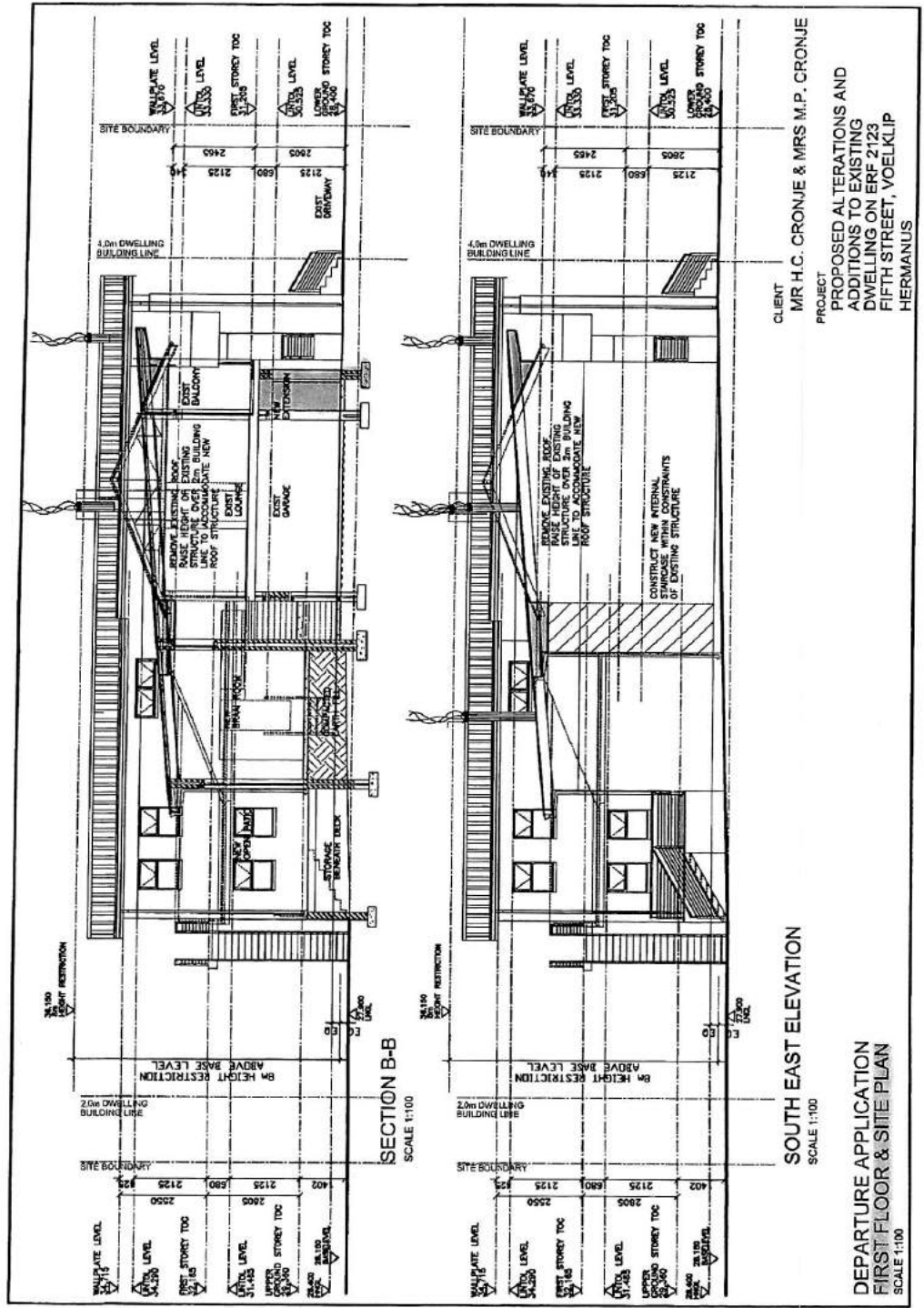


DEPARTURE APPLICATION
FIRST FLOOR & SITE PLAN
SCALE 1:100

FIFTH STREET

CLIENT
MR H.C. CRONJE & MRS M.P. CRONJE
PROJECT
PROPOSED ALTERATIONS AND
ADDITIONS TO EXISTING
DWELLING ON ERF 2123
FIFTH STREET, VOELKLIP
HERMANUS





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2123, VOELKLIP (4038)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2123, Voelklip, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- 20. ERF 4126, 300 NINTH STREET, HERMANUS (VOËLKLIP): APPLICATION FOR DEPARTURE: MESSRS PLANACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF BRG & MC SMITH**

4126 HVK (2809)

H Boshoff

(028) 313 8900

Hermanus Administration

11 June 2019

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 21 November 2018 from Messrs PlanActive Town- and Regional Planners to relax the eastern lateral building line of Erf 4126, Hermanus (Voëlklip) from 2m to 1,2m to accommodate a new double storey dwelling unit on the property.

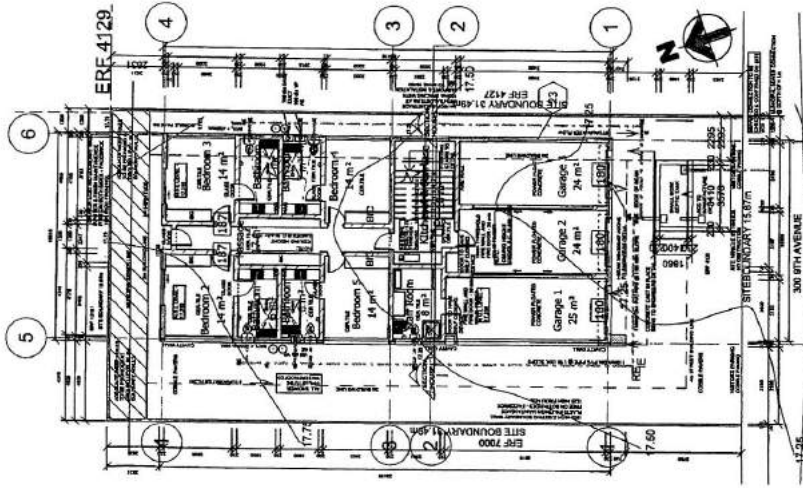
RESOLVED :

1. that the application departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the eastern lateral building line of Erf 4126, Hermanus (Voëlklip) from 2m to 1,2m to accommodate a new double storey dwelling unit on the property, **not be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above decision.

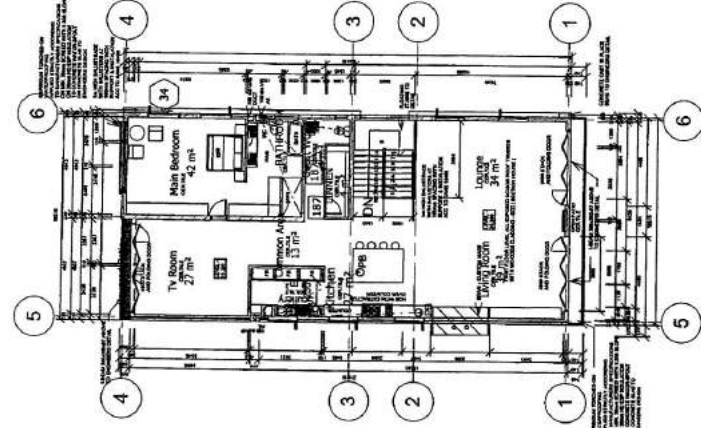


ERF 4126 VOELKLIP

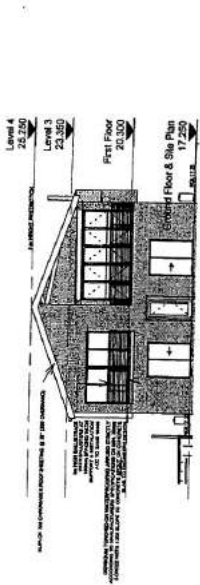
Date: 2019-C-14



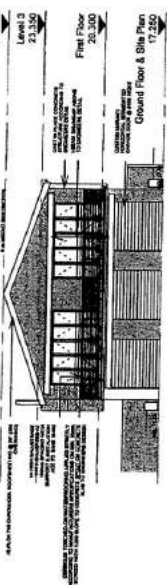
Ground Floor & Site Plan For A3
1 : 200



First Floor for A3
1 : 200



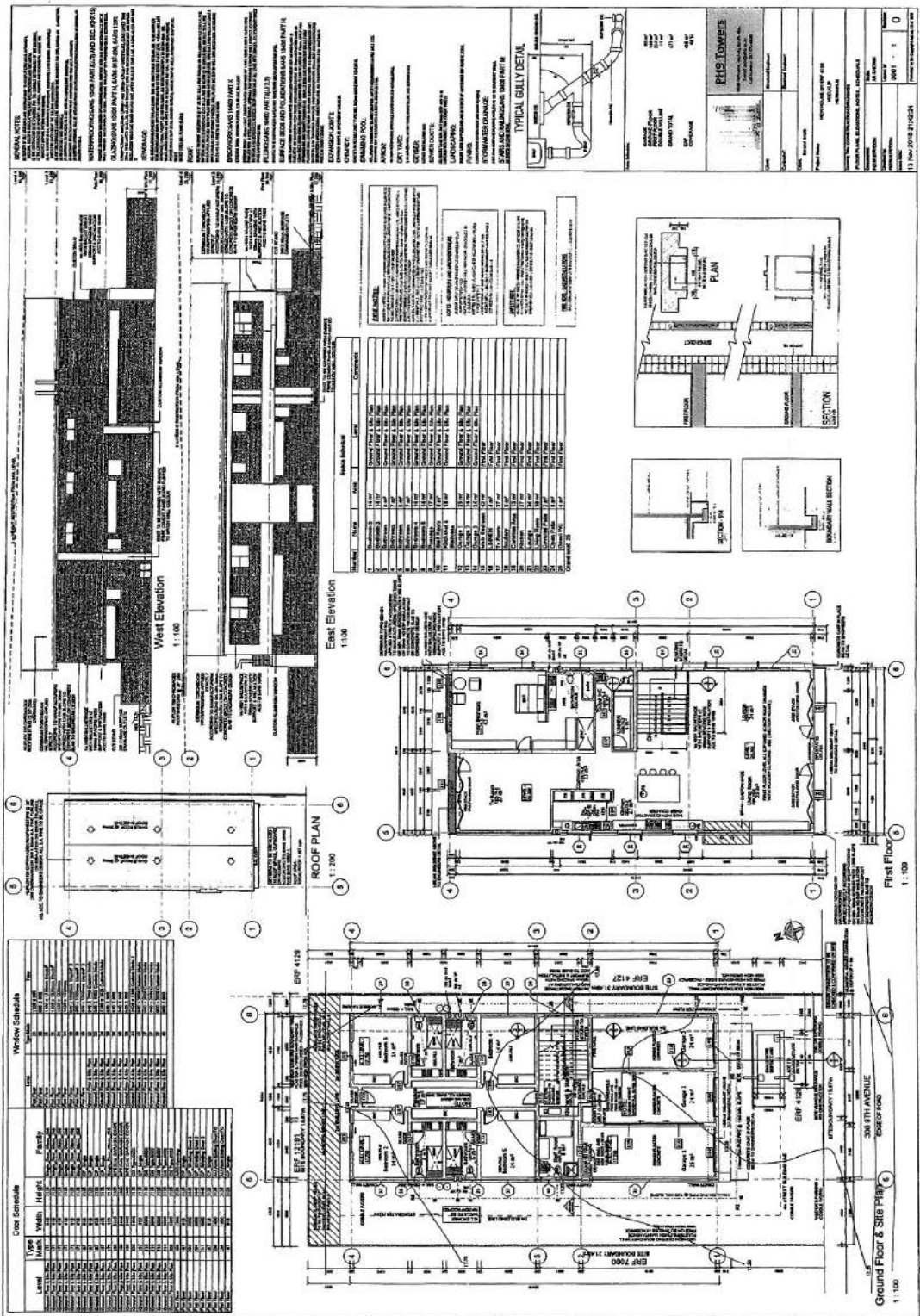
North Elevation for A3
1 : 200



South Elevation Copy 1
1 : 200

AREA SCHEDULE: GARAGE 93 sqm GROUND FLOOR 146 sqm TOTAL 239 sqm DBL LOT USE 11.1 BED TOTAL 477 sqm SITE AREA 447 sqm COVERAGE 48 %	PROJECT NO.: REVISION:	DATE ISSUED: 15 Jan 2019 18:15:35
	PROJECT NAME: NEW HOUSE - VOELKLIP - HERMANUS ERF 4126 9TH AVENUE FOR MR BAREND SMITH	
	DRAWING NO.: 7	DRAWINGS IN SET:

Ph9 Towers
 15 Melrose Road, Oshana Park
 6165 Torrance, Gauteng South Africa
 Email: info@ph9.co.za
 Call Number: 011 772 8005



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4126, VOELKLIP (2809)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4126, Voelklip, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

21. ERF 1951, STANHAVEN, STANFORD: PROPOSED AMENDMENT OF ARCHITECTURAL GUIDELINES: G VAN DYK ON BEHALF OF STANHAVEN HOME OWNERS ASSOCIATION

1951 SSS (4150)

P Roux

(028) 313 8900

Hermanus Administration

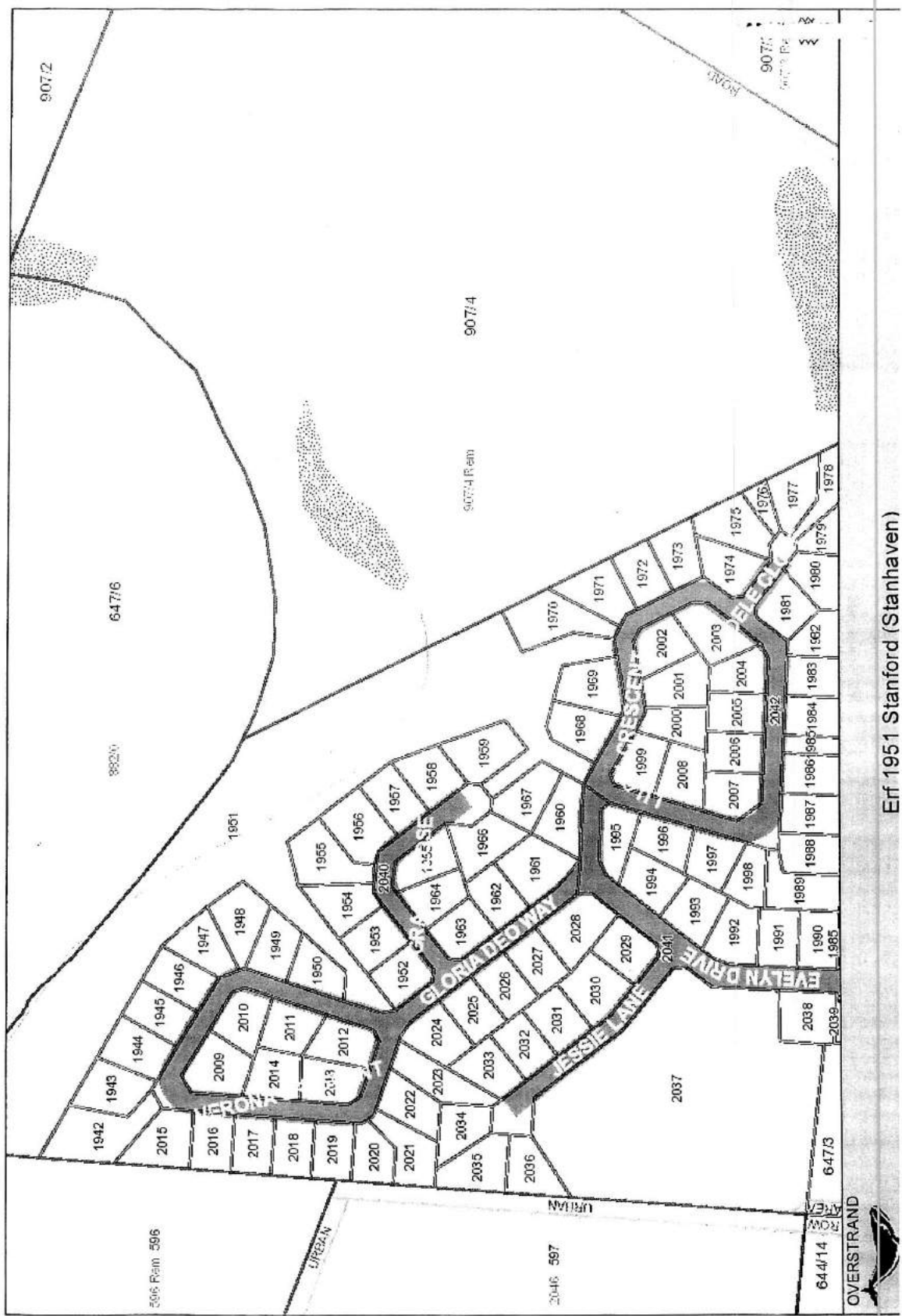
3 June 2019

Executive Summary

An application has been received on 27 August 2018 from Mr G van Dyk on behalf of Stanhaven Home Owners Association (HOA) in terms of Section 16(2)(l) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Architectural Design Guidelines of Stanhaven.

RESOLVED :

1. that the application to amend the Architectural Design Guidelines in terms of Section 16(2)(l) of the Overstrand Municipal Land Use Planning By-Law, 2015 (By-Law) applicable to Stanhaven, **be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Erf 1951 Stanford (Stanhaven)



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF ARCHITECTURAL GUIDELINES: ERF
1951, STANHAVEN, STANFORD (4150)**

Stormwater (SW) : In order
Electricity : Eskom Area
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

22. PORTIONS 26 & 27 OF FARM MODDER RIVIER NO. 654, DIVISION CALEDON: PROPOSED SUBDIVISION AND CONSOLIDATION: MESSRS WRAP CONSULTANCY ON BEHALF OF PJ DE VILLIERS LOUW & RAKA BOERDERY (PTY) LTD

Ptns 26 & 27/654 (4207)

P Roux

(028) 313 8900

Hermanus Administration

7 June 2019

Executive Summary

An application was received on 15 October 2018 from Messrs WRAP Consultancy on behalf of the owners of Portion 26 and Portion 27 of the Farm Modder Rivier No. 654, PJ de Villiers Louw and Raka Boerdery (Pty) Ltd respectively, in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- ❖ subdivision in terms of Section 16(2)(d) of Portion 26 of Farm Modder Rivier No. 654, Division Caledon into two (2) portions namely, Portion A ($\pm 198,3865$ ha) and a Remainder ($\pm 270,9826$ ha), and
- ❖ consolidation in terms of Section 16(2)(e) of Portion A ($\pm 198,3865$ ha) with Portion 27 of Farm Modder Rivier No. 654, Division Caledon ($\pm 11,9957$ ha) to create a consolidated Farm of 210,3822 ha.



RESOLVED :

1. that the application for subdivision and consolidation in terms of Sections 16(2)(d) and 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Portions 26 and 27 of Farm Modder Rivier No. 654, Division Caledon to subdivide Portion 26 of Farm Modder Rivier No. 654 to create a Remainder (measuring $\pm 270,9826$ ha) and a new Portion A (measuring $\pm 198,3865$ ha) and to consolidate the newly created Portion A ($\pm 198,3865$ ha) with Portion 27 of Farm Modder Rivier No. 654, Division Caledon for agricultural purposes, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the subdivision and consolidation as indicated on the Subdivisional Plan as submitted with the application;
 - (b) that relevant documentation is submitted indicating that the dairy has been previously approved, alternatively a land use application must be submitted for the regulation of the dairy prior to the registration of the property;

**AGENDA of the
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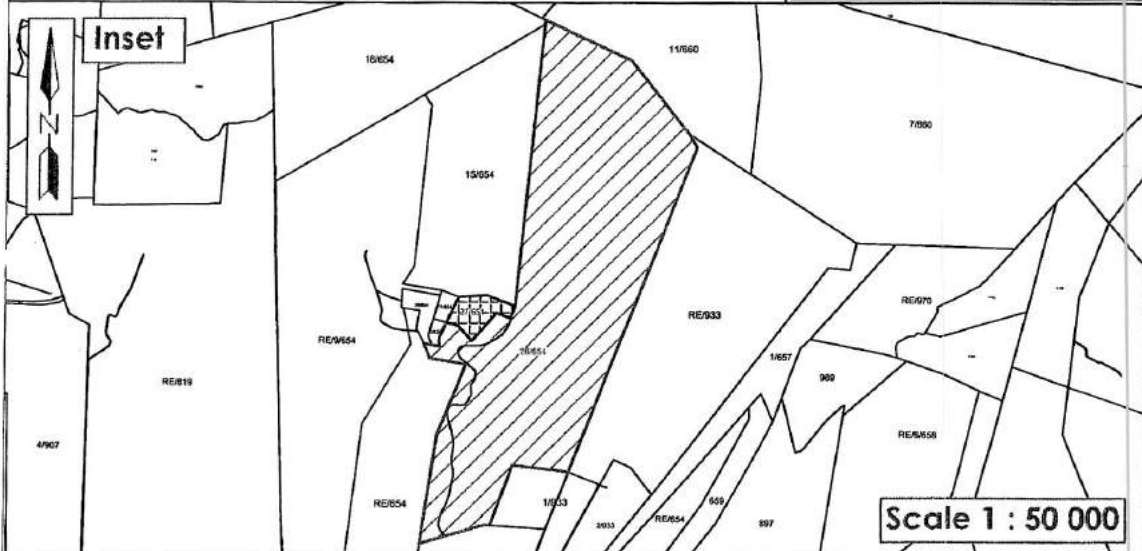
- (c) that the conditions compiled in the Services Report, be complied with;
 - (d) that the conditions by Telkom, CapeNature, Department of Transport and Public Works, Department of Agriculture and Department of Agriculture, Forestry and Fisheries, be complied with;
 - (e) that the conditions compiled by Fire Services, be complied with, and
 - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

Plan 1: Locality Plan Portion 26 and 27 of the Farm Modder Rivier No 654 Caledon

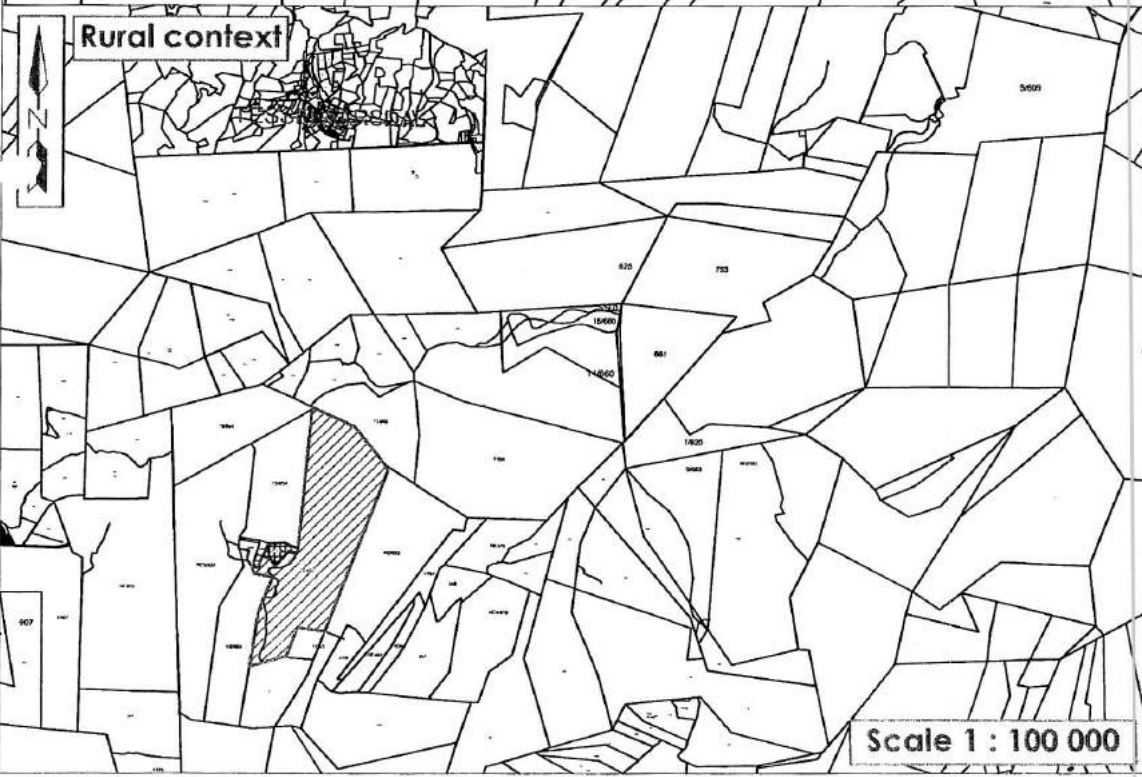
-  Portion 26 of the Farm Modder Rivier No 654 (469,3688 ha) (Located in the Overstrand Municipality)
-  Portion 27 of the Farm Modder Rivier No 654 (11,9957 ha) (Located in the Overstrand Municipality)

Plan prepared by: Reatlehle Jankie

All distances are approximate
and subject to a survey







Scale 1 : 50 000



Scale 1 : 100 000

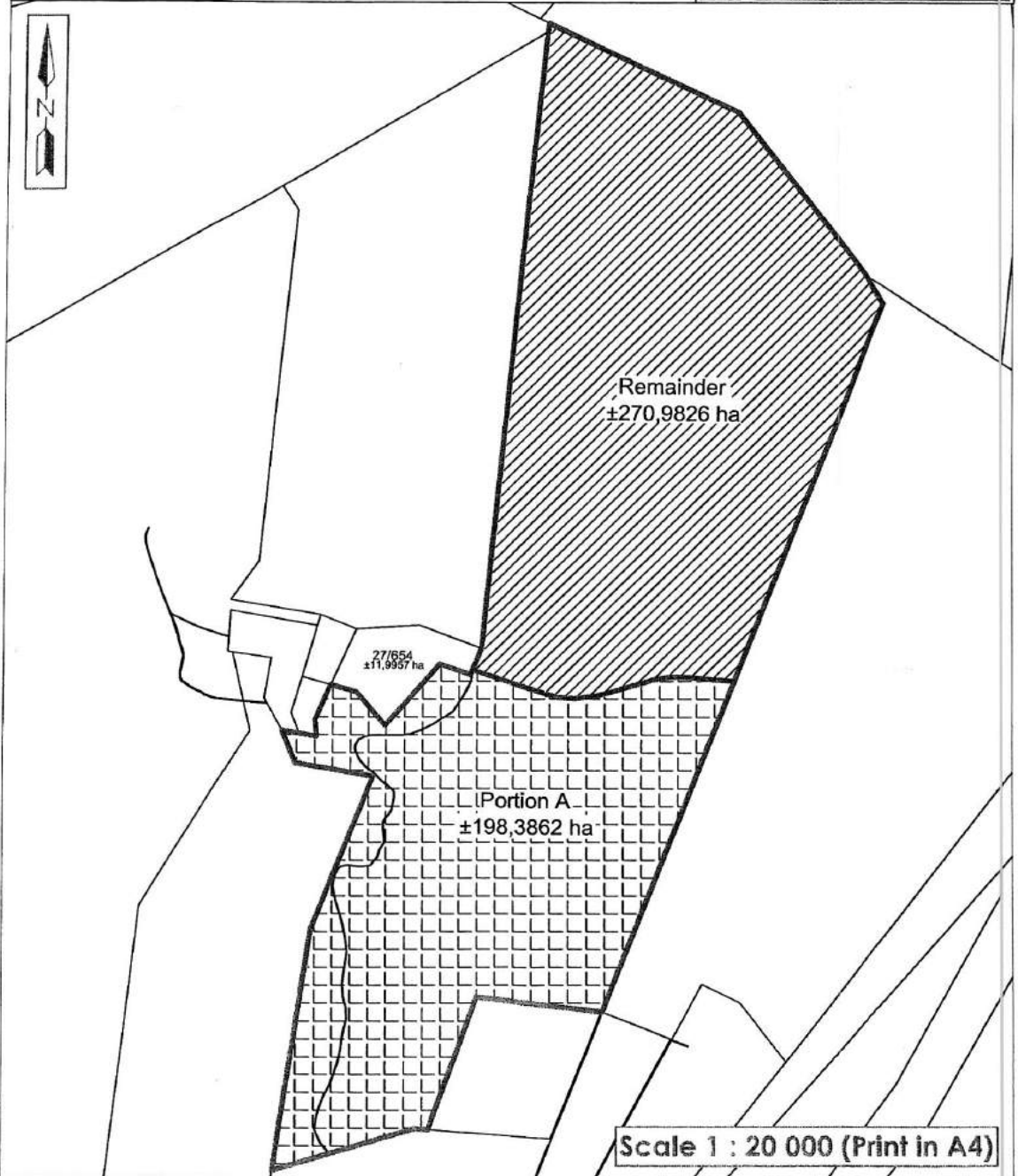
Plan 3: Subdivision of Portion 26 of Farm 654 Caledo

-  Subject farm
-  Subdivision line
-  Portion A
-  Remainder





Plan prepared by: Reatlehle Jankie

All distances are approximate
and subject to a survey


WRAP



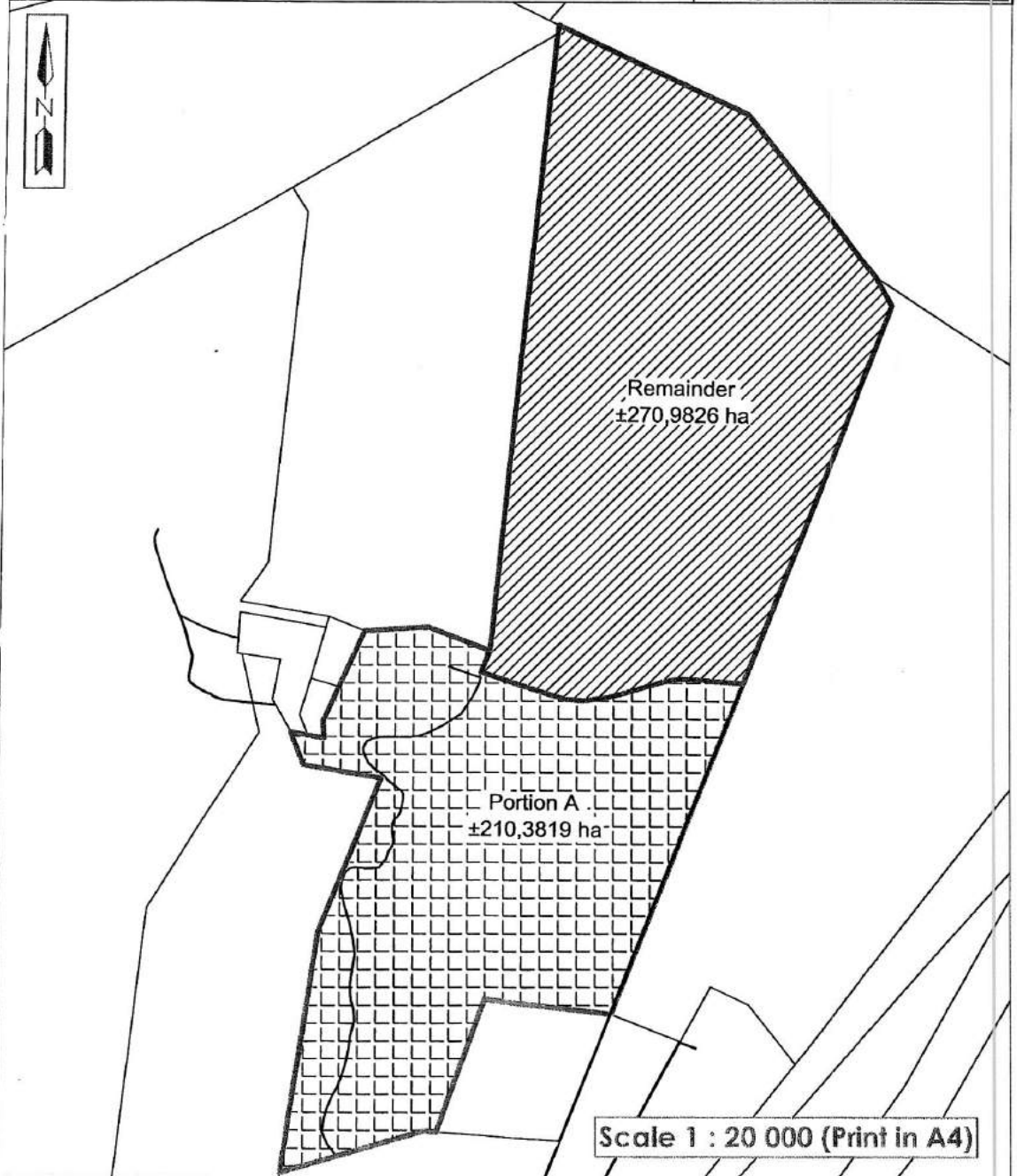
Plan 4: Consolidation of Portion 26 of the Farm Modder Rivier No 654 and Portion A

-  Subject farm
-  Subdivision line
-  Portion A
-  Remainder

Plan prepared by: Reetlehle Jankie

All distances are approximate
and subject to a survey


WRAP



Scale 1 : 20 000 (Print in A4)

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION & CONSOLIDATION: PORTIONS 26 &
27 OF FARM MODDER RIVIER 654 (4207)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that, as no municipal network is available in the vicinity of the consolidated farm, and no municipal water services will be rendered to the consolidated farm, the developer is responsible for the provision of any water supply and / or –services to the development on the farm;
3. that the proposed development on the consolidated farm is provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services, and to which the sewer services of the development must connect to;
4. that the sewer conservancy tanks must be accessible to the municipal sewer tankers from one of the adjacent public roads, with parking areas for the sewer tankers provided with permanent surfaces and to the layout and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
6. that the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
7. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure & Quality , Overstrand Municipality;

8. that the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any sewage disposal;
9. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
10. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road;
11. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

23. ERF 3779, 143 FIRST AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: LP VAN DER MERWE

3779 KKM (4176)

H van der Stoep

(028) 313 8900

Hermanus Administration

21 May 2019

Executive Summary

An application has been received on 17 September 2018 from LP van der Merwe on Erf 3779, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 2m to 1,4 to extend the living room on first floor level.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 3779, Kleinmond in order to relax the lateral building line from 2m to 1,4 to extend the living room on first floor level, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. 2018-042 (A3-001 and A3-002) dated 30 August 2018, as submitted with the application;
 - (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.

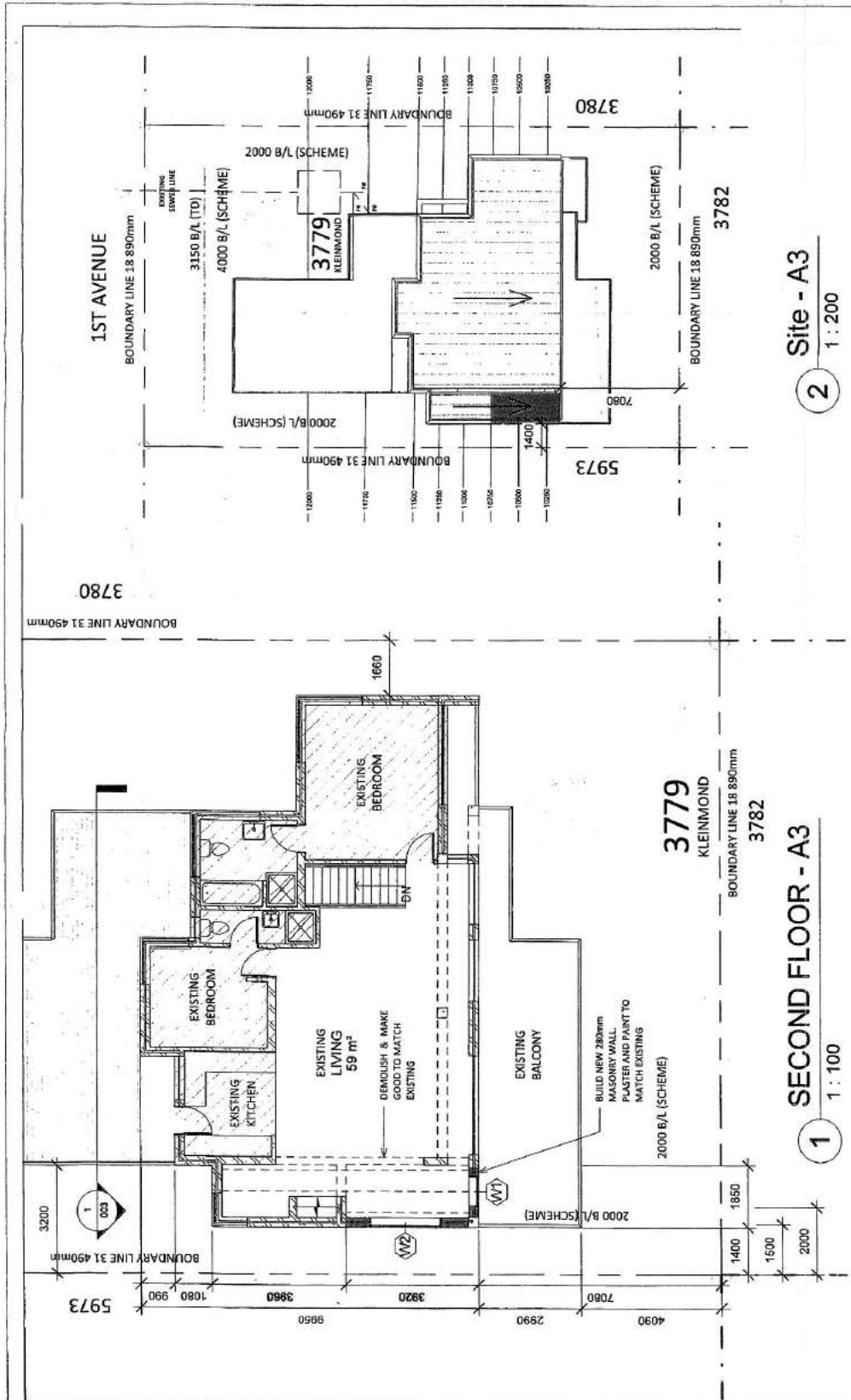
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 3779 Kleinmond

Date: 2018-09-18



2 Site - A3
1 : 200

1 SECOND FLOOR - A3
1 : 100

SITE - & FLOOR PLANS	
PROJECT NUMBER	2018-04-2
DATE	2018-08-30
DRAWN BY	J/S
REVISION	DWG SCALE
	A3 -001
	As Indicated

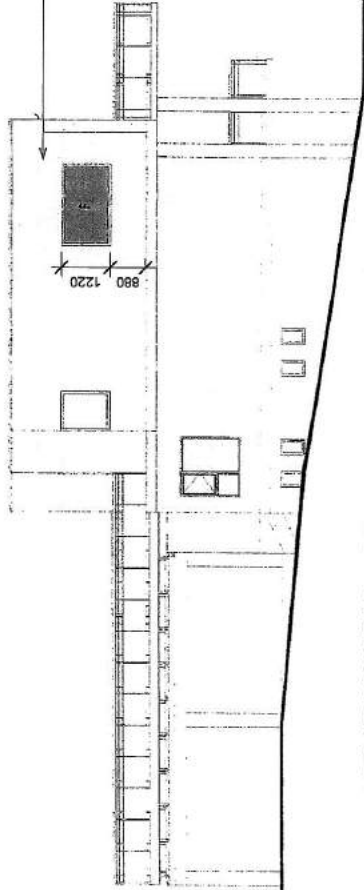
VAN DER MERWE

die ontwerp-atejjee
 Architectural Drafting Services
 082 410-5564
 daniejee@ontwerp-atejjee.co.za

LYNXDESIGNS
 ARCHITECTURE

FOUNDED AND DIRECTED BY
 JILLIE@lynxdesigns.co.za • 082 302 4816

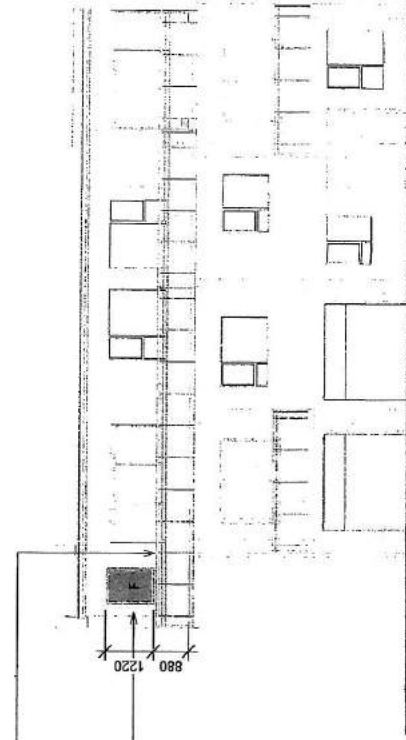
EXTERNAL WALL:
PLASTER & PAINT TO
MATCH EXISTING



2 west ELEVATION - A3

1 : 100

BALUSTRADES:
BALUSTRADE RAILING
(1000H) WITH MAX.
OPENING OF 100mm



EXTERNAL WALL:
PLASTER & PAINT TO
MATCH EXISTING

1 south ELEVATION - A3

1 : 100



P.O. BOX 336, 35111'S BAY
june@lynxdesigns.co.za • 082 202 4816

die ontwerp-afeljee
Architectural Drafting Services
082 410-5664
danieljz@ontwerp-afeljee.co.za

VAN DER MERWE

ELEVATIONS

PROJECT NUMBER: 2018-042
DATE: 2018-08-30
DRAWN BY: JCB
REVISION: DINZ SCALE: 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3779, KLEINMOND (4176)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 3779, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

24. ERF 1906, MAMSUKWINI STREET, ZWELIHLE, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: N SANDRA

1906 HWZ

H Olivier

(028) 313 8900

Hermanus Administration

10 May 2019

Executive Summary

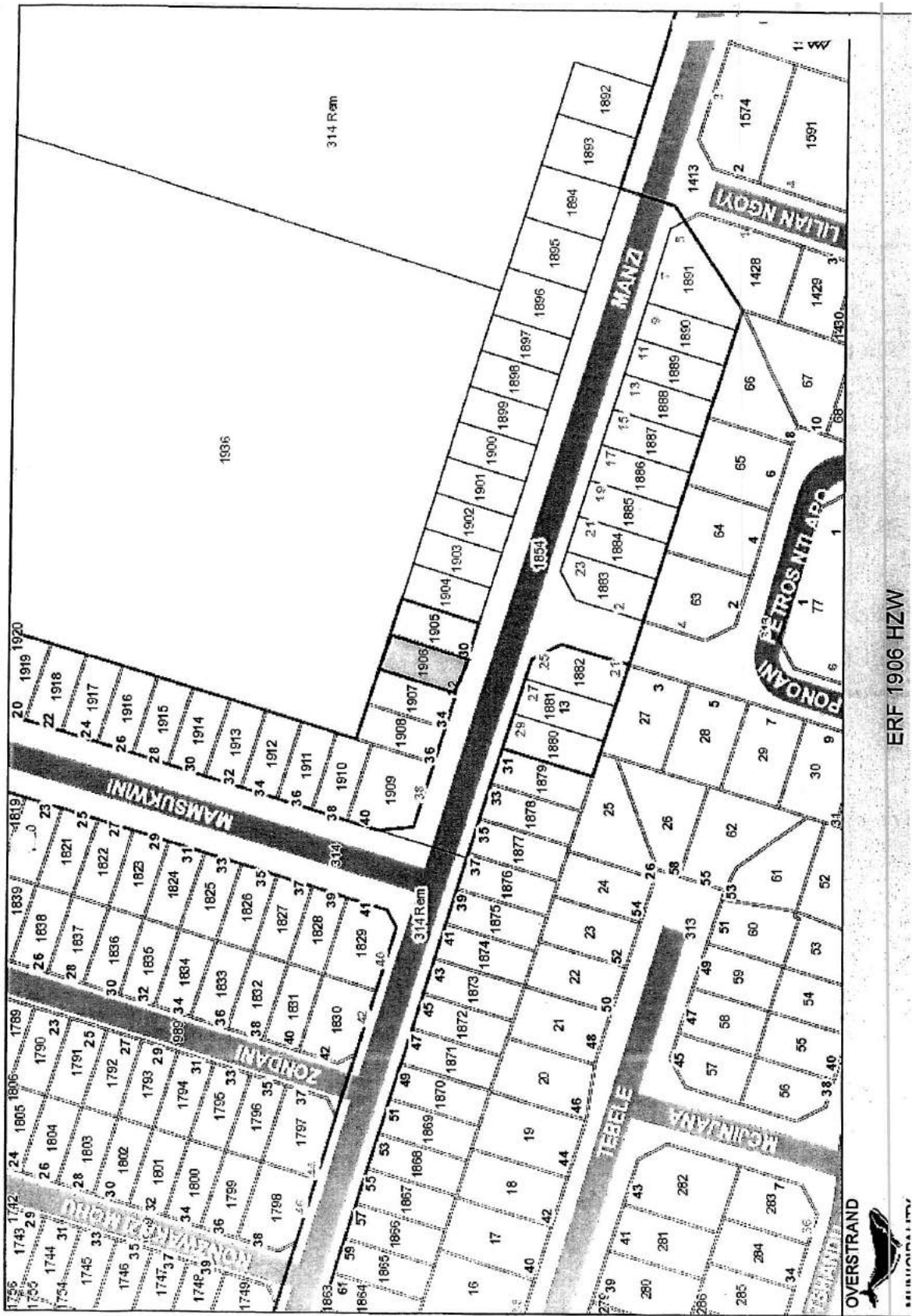
An application has been received on 18 October 2019 from N Sandra on Erf 1906, Zwelihle for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the street building line from 2m to 1,5m and the lateral western building from 1m to 0,7m.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 1906, Zwelihle to relax the 2m street building line to 1,5m and the western lateral building line to 0,7m to accommodate existing extensions to the dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the building lines as indicated on Plan No. 2017/12/65 submitted by the architect;
 - (b) that should it be required at building plan approval phase, that the window over the 1m building line be removed or amended, it be complied with;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

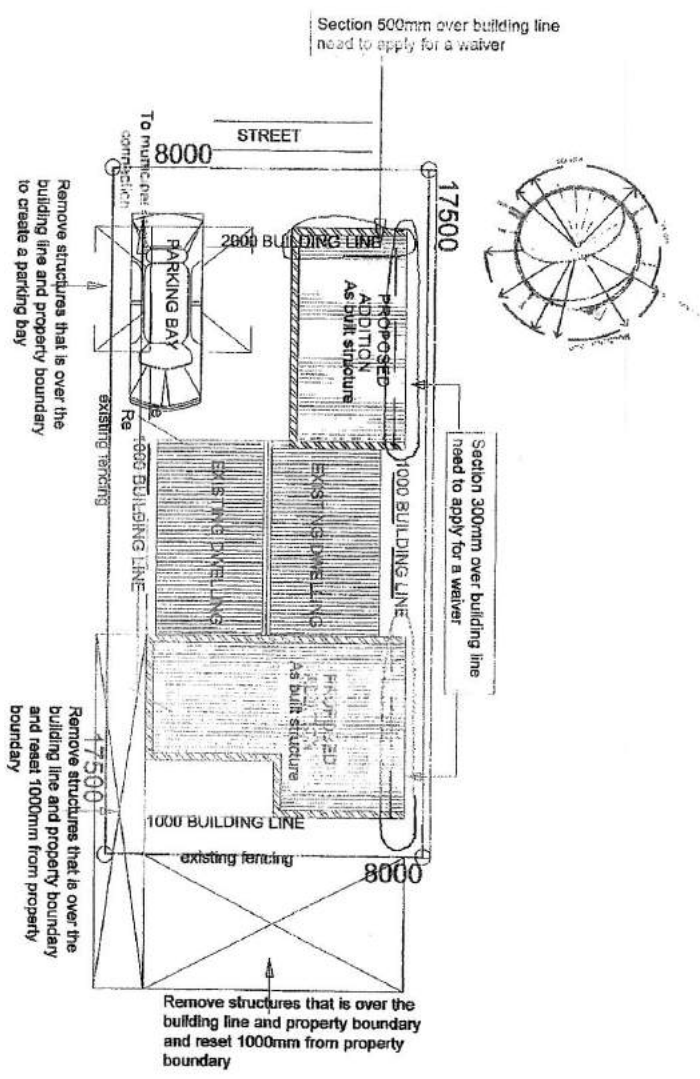


CAP-LON DESIGNS
 P.A.D.
 470 4300
 470 4300
 470 4300
 470 4300
 470 4300
 470 4300

HOUSE SANDA
 PLOTNO 1906
 ZWELIHLE

PROPOSED ADDITIONS

2017/12/65
 DEC 18 CA 1:100



HOUSE SANDA
 PLOTNO 1906
 ZWELIHLÉ

11/12/2023
 CA 1:100

HOUSE SANDA
 PLOTNO 1906
 ZWELIHLÉ

11/12/2023
 CA 1:100

CAUTION ENGINEERS

P.A.O

NOTE : LIGHTING & VENTILATION
 The lighting in a habitable room, bathroom, shower, and room containing a toilet pan comply with the requirements of SANS 10400-C

NOTE : FLOORS
 Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or unitaire in accordance with the detailed requirements of SANS 10400-J

NOTE : ROOFS
 Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-B
 Roof fixing in accordance with SANS 10400-B

ENERGY EFFICIENCY IN BUILDINGS
 orientation and shading are in accordance detailed requirements of SANS 10400-XA
 roof assembly construction is in accordance hot water systems is in accordance with

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
METAL SHEETING - UNVENTILATED ROOF ASPHALTES	1	m ²	13.25	13.25
INSULATION	1	m ²	5.25	5.25
CEILING	1	m ²	5.25	5.25
RESISTANCE FOR BRICKWORK/CONCRETE/INSULATION	1	m ²	5.25	5.25
INSULATION 1	1	m ²	5.25	5.25
INSULATION 2	1	m ²	5.25	5.25
INSULATION 3	1	m ²	5.25	5.25
INSULATION 4	1	m ²	5.25	5.25
INSULATION 5	1	m ²	5.25	5.25
INSULATION 6	1	m ²	5.25	5.25
INSULATION 7	1	m ²	5.25	5.25
INSULATION 8	1	m ²	5.25	5.25
INSULATION 9	1	m ²	5.25	5.25
INSULATION 10	1	m ²	5.25	5.25
INSULATION 11	1	m ²	5.25	5.25
INSULATION 12	1	m ²	5.25	5.25
INSULATION 13	1	m ²	5.25	5.25
INSULATION 14	1	m ²	5.25	5.25
INSULATION 15	1	m ²	5.25	5.25
INSULATION 16	1	m ²	5.25	5.25
INSULATION 17	1	m ²	5.25	5.25
INSULATION 18	1	m ²	5.25	5.25
INSULATION 19	1	m ²	5.25	5.25
INSULATION 20	1	m ²	5.25	5.25
INSULATION 21	1	m ²	5.25	5.25
INSULATION 22	1	m ²	5.25	5.25
INSULATION 23	1	m ²	5.25	5.25
INSULATION 24	1	m ²	5.25	5.25
INSULATION 25	1	m ²	5.25	5.25
INSULATION 26	1	m ²	5.25	5.25
INSULATION 27	1	m ²	5.25	5.25
INSULATION 28	1	m ²	5.25	5.25
INSULATION 29	1	m ²	5.25	5.25
INSULATION 30	1	m ²	5.25	5.25
INSULATION 31	1	m ²	5.25	5.25
INSULATION 32	1	m ²	5.25	5.25
INSULATION 33	1	m ²	5.25	5.25
INSULATION 34	1	m ²	5.25	5.25
INSULATION 35	1	m ²	5.25	5.25
INSULATION 36	1	m ²	5.25	5.25
INSULATION 37	1	m ²	5.25	5.25
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INSULATION 41	1	m ²	5.25	5.25
INSULATION 42	1	m ²	5.25	5.25
INSULATION 43	1	m ²	5.25	5.25
INSULATION 44	1	m ²	5.25	5.25
INSULATION 45	1	m ²	5.25	5.25
INSULATION 46	1	m ²	5.25	5.25
INSULATION 47	1	m ²	5.25	5.25
INSULATION 48	1	m ²	5.25	5.25
INSULATION 49	1	m ²	5.25	5.25
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INSULATION 58	1	m ²	5.25	5.25
INSULATION 59	1	m ²	5.25	5.25
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INSULATION 62	1	m ²	5.25	5.25
INSULATION 63	1	m ²	5.25	5.25
INSULATION 64	1	m ²	5.25	5.25
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INSULATION 70	1	m ²	5.25	5.25
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INSULATION 72	1	m ²	5.25	5.25
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INSULATION 76	1	m ²	5.25	5.25
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INSULATION 78	1	m ²	5.25	5.25
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INSULATION 90	1	m ²	5.25	5.25
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INSULATION 92	1	m ²	5.25	5.25
INSULATION 93	1	m ²	5.25	5.25
INSULATION 94	1	m ²	5.25	5.25
INSULATION 95	1	m ²	5.25	5.25
INSULATION 96	1	m ²	5.25	5.25
INSULATION 97	1	m ²	5.25	5.25
INSULATION 98	1	m ²	5.25	5.25
INSULATION 99	1	m ²	5.25	5.25
INSULATION 100	1	m ²	5.25	5.25
TOTAL A VALUE (m ² KVA)				5.25

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
METAL SHEETING - UNVENTILATED ROOF ASPHALTES	1	m ²	13.25	13.25
INSULATION	1	m ²	5.25	5.25
CEILING	1	m ²	5.25	5.25
RESISTANCE FOR BRICKWORK/CONCRETE/INSULATION	1	m ²	5.25	5.25
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INSULATION 8	1	m ²	5.25	5.25
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INSULATION 90	1	m ²	5.25	5.25
INSULATION 91	1	m ²	5.25	5.25
INSULATION 92	1	m ²	5.25	5.25
INSULATION 93				

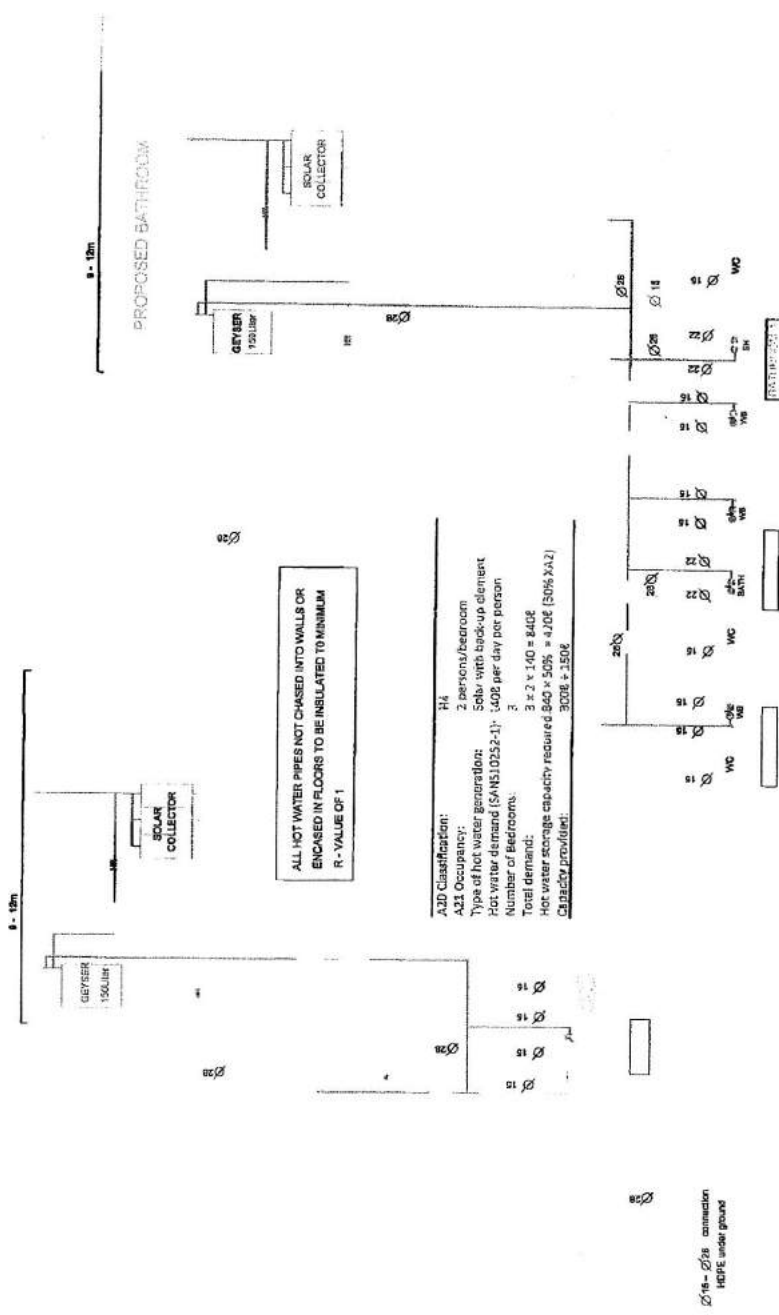
NOV 15 CA 1:100

HOUSE PIET LOTZ
PLOTNO 3120
ONRUS

Architect: ONRUS
12501 100th Ave
Suite 100
Golden, CO 80101
Tel: (303) 440-9000
Fax: (303) 440-9001
www.onrus.com

PAD

FLOOR DESIGN



AJD Classification: R4
AJ1 Occupancy: 2 persons/bedroom
Type of hot water generation: Solar with back-up element
Hot water demand (SANS10252-1): 140L per day per person
Number of Bedrooms: 2
Total demand: 280 L
Hot water storage capacity required: $840 \times 50\% = 420L$ (SANS 3021)
Capacity provided: 300L + 250L

SCHEMATIC WATER RETICULATION LAYOUT

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1906, ZWELIHLE (4226)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the owner should keep in mind if there are any electrical structures in the road reserve, which services the houses in the street they will not be moved to accommodate the application;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 1906, Zwelihle, unobstructed;
7. that the existing vehicular entrance be used for access to the proposed carport;
8. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

25. **ERVEN 647, 649, 651 & 5677, C/O LONG & PATERSON STREET, NORTHCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSOLIDATION: MESSRS PLAN ACTIVE ON BEHALF OF E & PE SPANELIS**

647, 649, 651 & 5677 HNC (4142)

H van der Stoep

(028) 313 8900

Hermanus Administration

29 May 2019

Executive Summary

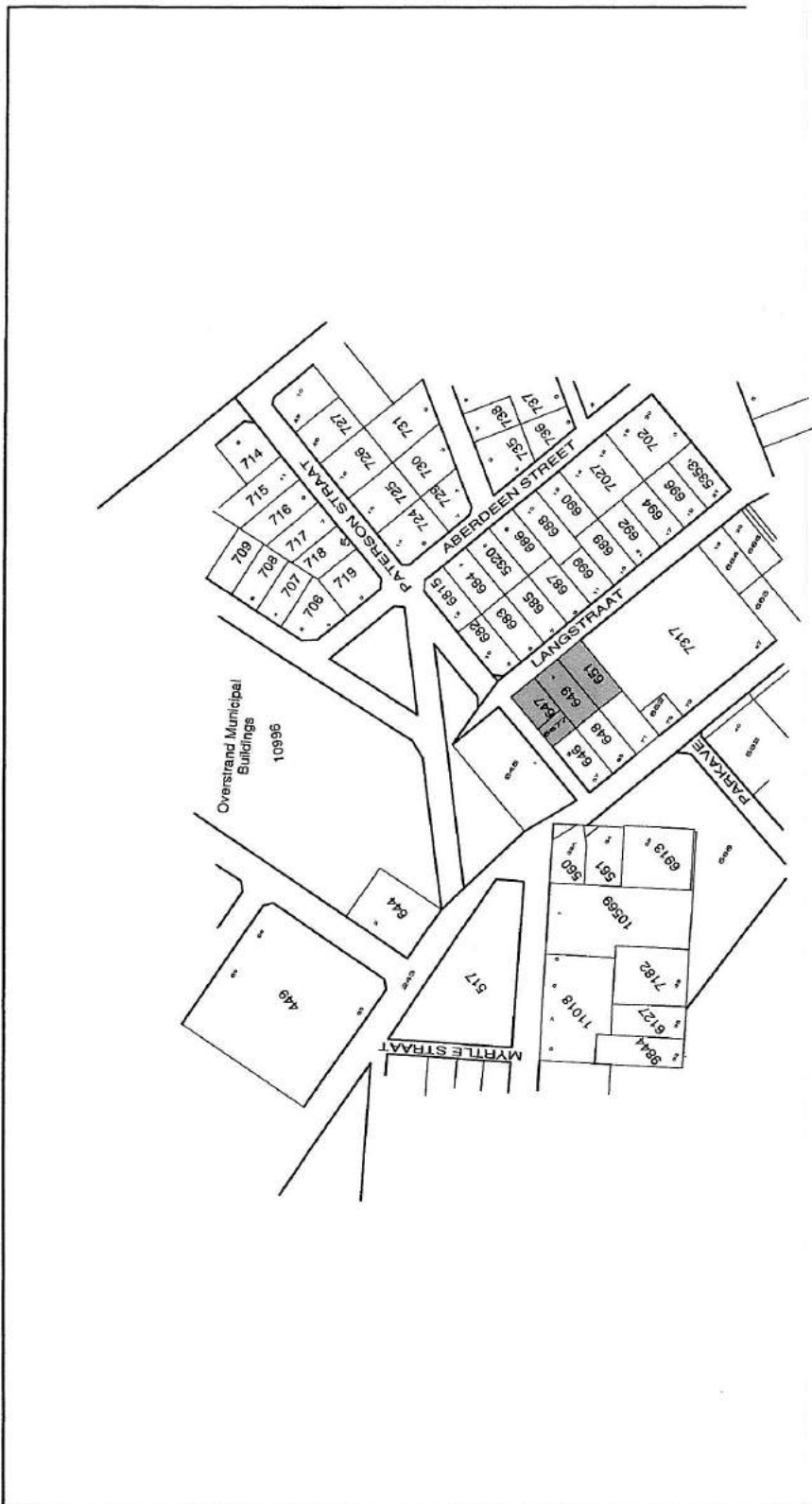
An application has been received on 15 August 2018 from Messrs Plan Active on behalf of E and PE Spanellis on Erven 647, 649, 651 and 5677, Hermanus for consolidation in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate the four (4) erven.

RESOLVED :

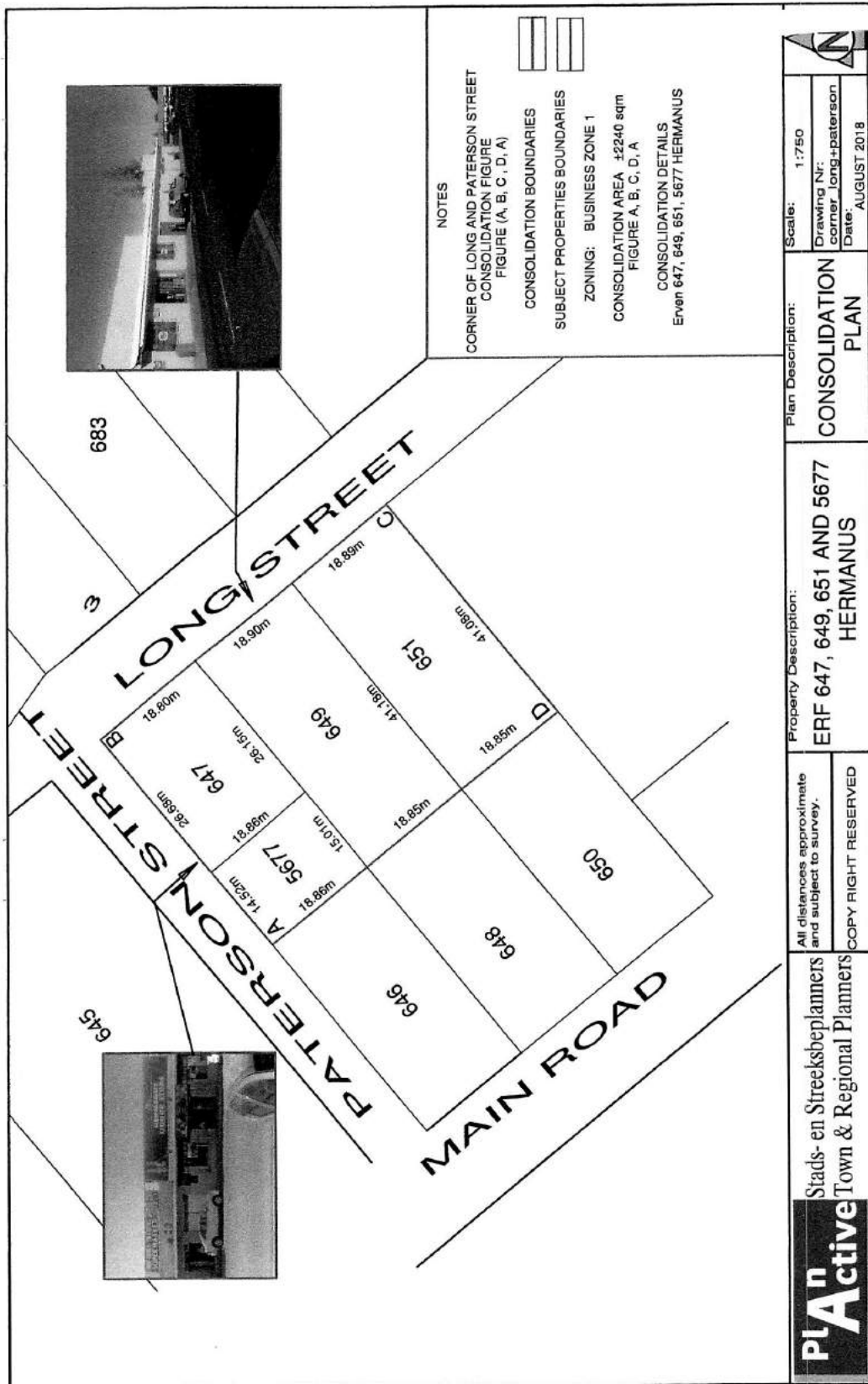
1. that the application in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) to consolidate Erven 647, 649, 651 and 5677, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the consolidation of Erven 647, 649, 651 and 5677, Northcliff, Hermanus;
 - (b) that a Site Development Plan as per the Zoning Scheme be submitted for approval, which includes building lines, height and footprint of buildings, coverage and a parking layout;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with within three (3) months of approval;
 - (f) that should the illegal structures add to the existing GLA and parking cannot be provided on-site, an application be lodged for the buyout of parking as per the Overstrand Zoning Scheme;

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- (g) that all the conditions in the Services Report, be complied with applicable to the approved structures in terms of the National Building Regulations pertaining to parking;
 - (h) that all the conditions imposed by Heritage Western Cape, be complied with, and
 - (i) that all the conditions imposed by Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



	Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERVEN 649, 651, 5677 & 647 HERMANUS	Plan Description: LOCALITY MAP	Scale: NTS Drawing Nr: hermanus649.drw Date: AUG 2018



	Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPYRIGHT RESERVED	Property Description: ERF 647, 649, 651 AND 6577 HERMANUS	Plan Description: CONSOLIDATION PLAN	Scale: 1:750 Drawing Nr: corner long-paterson Date: AUGUST 2018
	CONSOLIDATION PLAN				

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: ERVEN 647, 649 & 5677,
NORTHCLIFF (4142)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that the existing water and sewerage connections on the consolidated erven shall be used to service the proposed consolidation of Erven 647, 649 & 5677;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the electricity connections to the erven must be consolidated to one connection, and that the available capacity be combined;
4. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through Erven 647, 649 & 5677, Northcliff, unobstructed;
8. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

27/02/2019
DATE

**AGENDA of the
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20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

26. ERVEN 1476 & 1477, 28 JAMES AVENUE & 4 LAWRENCE ROAD, PRINGLE BAY, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSOLIDATION: MESSRS WRAP ON BEHALF OF C & F POTGIETER

1476 & 1477 KPRB (2095)

H van der Stoep

(028) 313 8900

Hermanus Administration

22 May 2019



Executive Summary

An application has been received on 11 January 2019 from Messrs WRAP on behalf of C & F Potgieter on Erven 1476 and 1477, Pringle Bay in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the consolidation of the two (2) erven to create a consolidated erf measuring 1651m².

RESOLVED :

1. that the application in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate Erven 1476 and 1477, Pringle Bay to create a consolidated erf measuring 1651m², **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the consolidation as indicated on plan no. 18/146 Plan 4, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

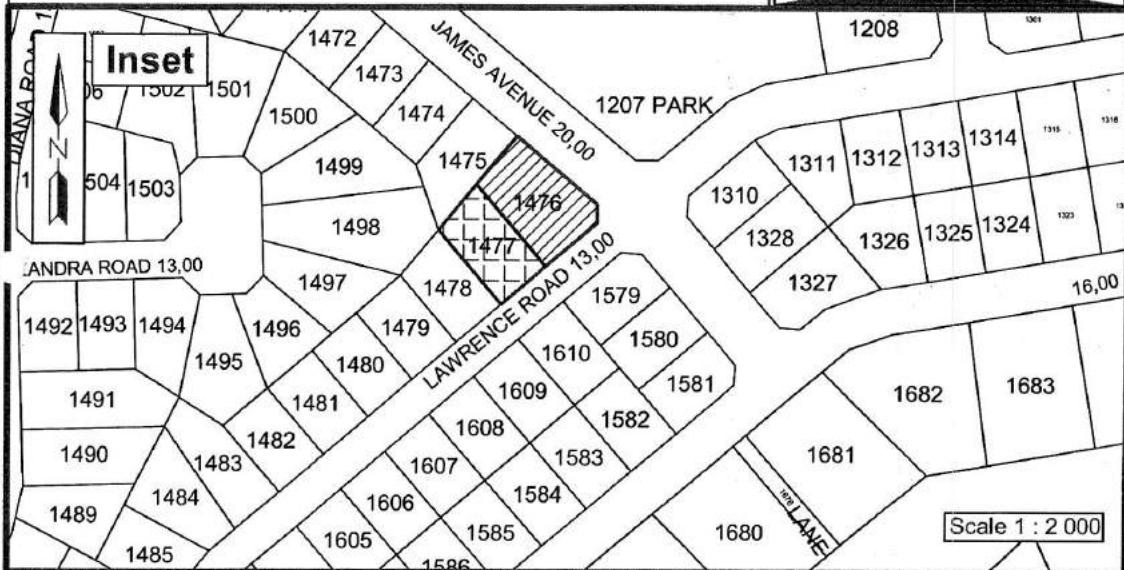
Plan 1: Locality Plan Erven 1476 and 1477 Pringle Bay

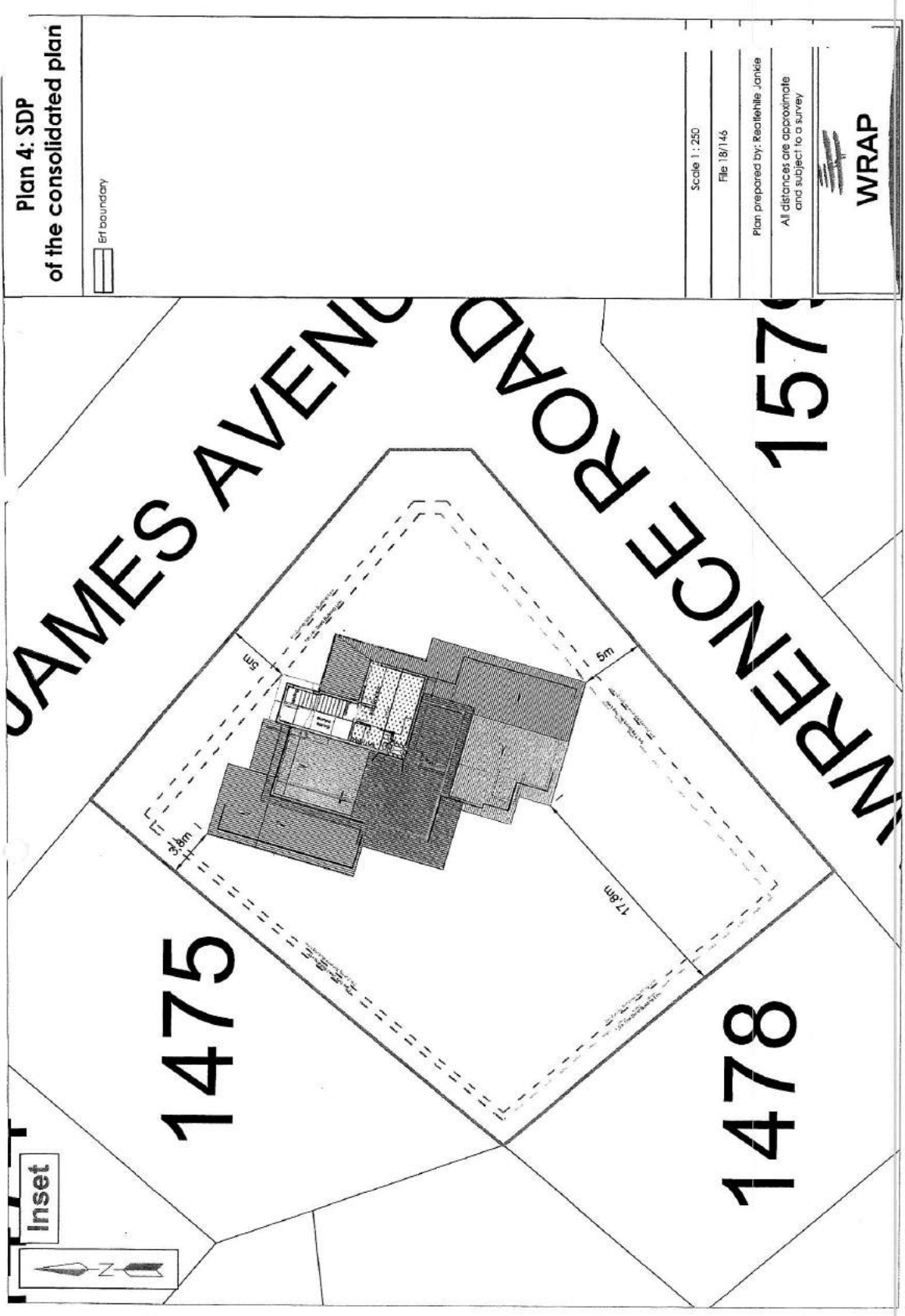
-  Erf 1476 Pringle Bay (949m²)
-  Erf 1477 Pringle Bay (702m²)

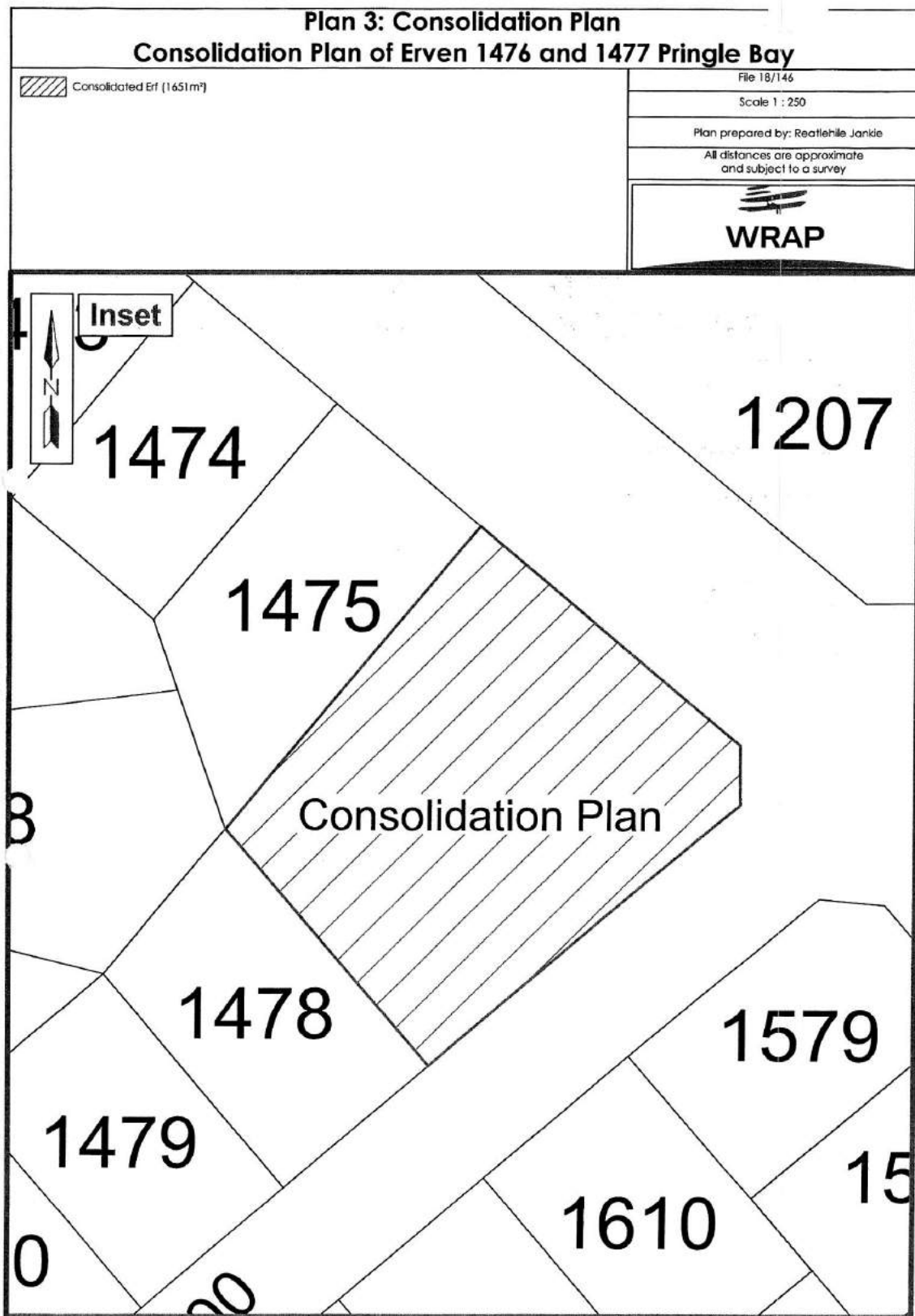
File 18/146

Plan prepared by: Reatlehle Jankie

All distances are approximate
and subject to a survey





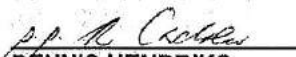


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: ERVEN 1476 & 1477, PRINGLE BAY
(2905/2019)**

Stormwater (SW) : In order
Electricity : Escom Area
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that stormwater be allowed to discharge through the proposed erven, Pringle Bay, unobstructed;
3. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**27. ERF 1690, 14 BERGZIGHT COMPLEX, BERGSIG STREET, SANDBAAI,
OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: RD &
SY COQUILLON**

1690 HSB (4205)

H Boshoff

(028) 313 8900

Hermanus Administration

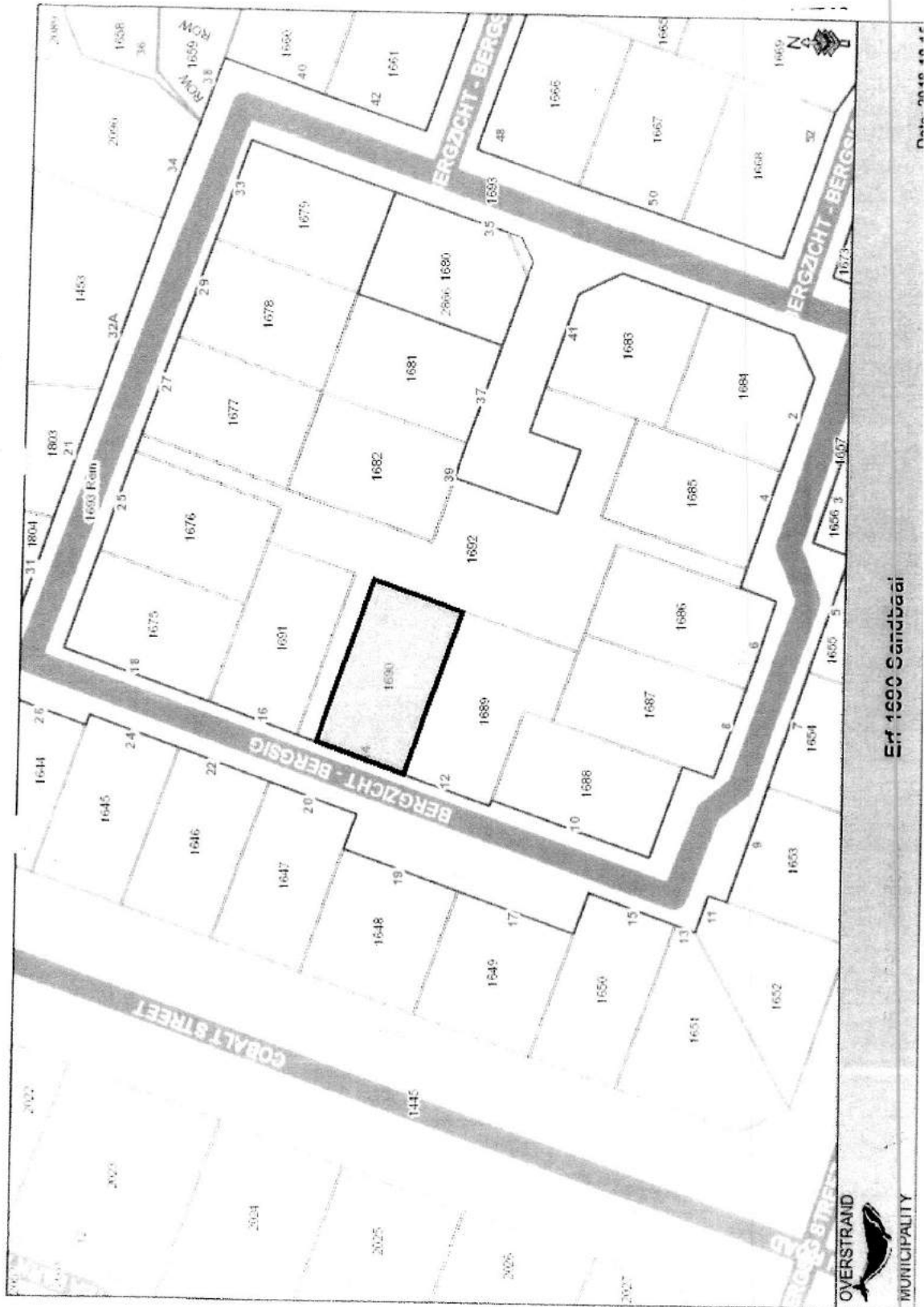
4 June 2019

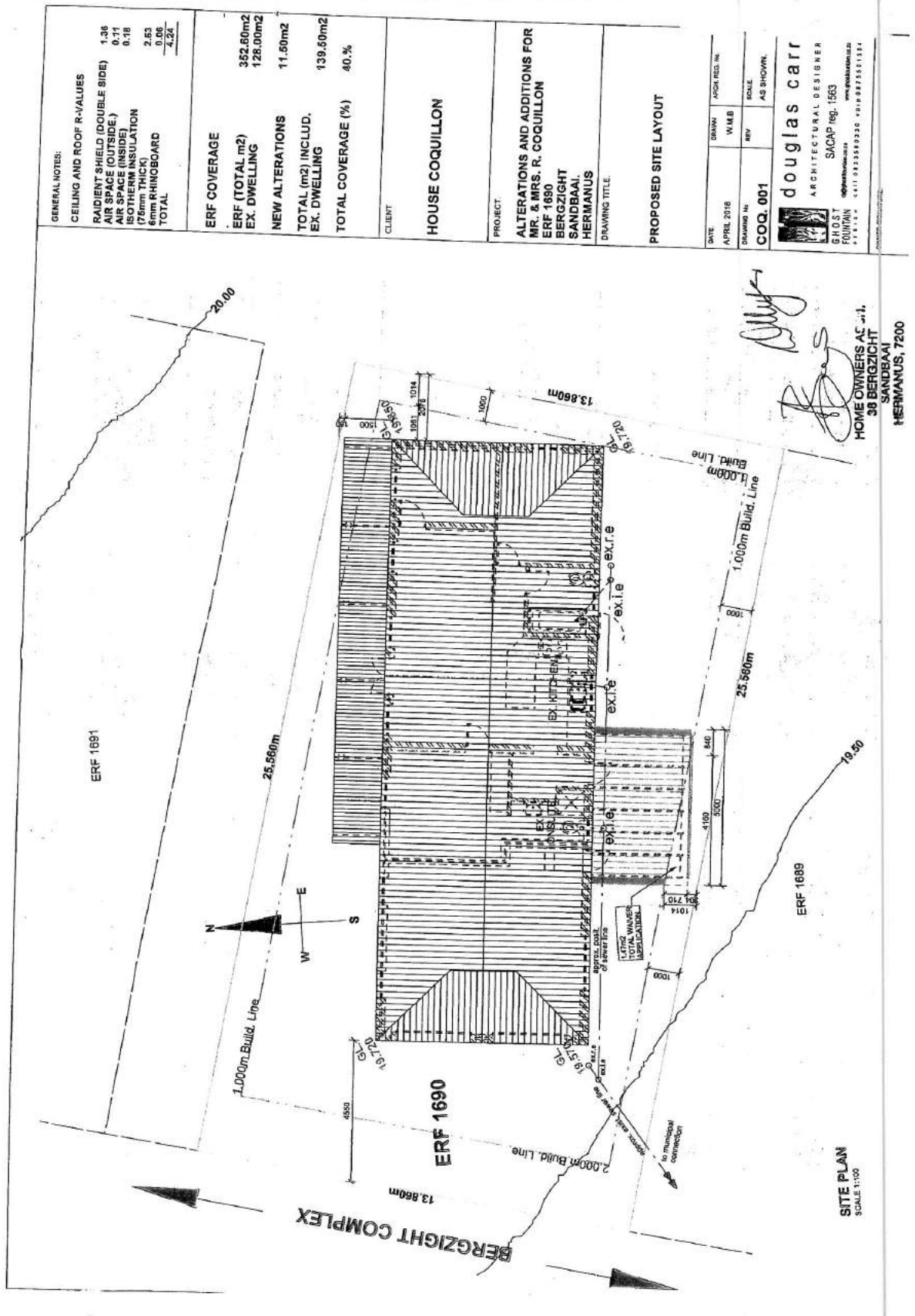
Executive Summary

An application has been received on 24 October 2018 from RD & SY Coquillon in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for departure to relax the southern lateral building line of Erf 1690, Sandbaai (Bergzight Town Housing Complex) from 1m to $\pm 0,176$ m to accommodate a portion of a utility/sewing room.

RESOLVED :

1. that the application for departure applicable to Erf 1690, Sandbaai in order to relax the southern lateral building line from 1m to $\pm 0,176$ m in order to accommodate a portion of a utility/sewing room, **be approved** in terms of the provisions of Section 61 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, subject to the following conditions:
 - (a) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
2. that the applicants be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.





GENERAL NOTES:

CEILING AND ROOF R-VALUES

RAJIDENT SHIELD (DOUBLE SIDE)	1.38
AIR SPACE (OUTSIDE)	0.11
AIR SPACE (INSIDE)	0.18
ISOTHERM INSULATION (76mm THICK)	2.63
6mm RHINOBOARD	0.50
TOTAL	4.80

ERF COVERAGE

ERF (TOTAL m ²)	362.60m ²
EX. DWELLING	128.00m ²

NEW ALTERATIONS

TOTAL (m ²) INCL. EX. DWELLING	11.50m ²
TOTAL COVERAGE (%)	139.50m ²
	40.0%

CLIENT

HOUSE COQUILLON

PROJECT

ALTERATIONS AND ADDITIONS FOR MR. & MRS. R. COQUILLON
 ERF 1690
 BERGZICHT
 SANDBAAL
 HERMANUS

DRAWING TITLE

PROPOSED SITE LAYOUT

DATE	APRIL 2018	DRAWN	W.M.B	ARCH REG. NO.	
DRAWING NO.	COQ. 001	REV		SCALE	AS SHOWN

douglas carr
 ARCHITECTURAL DESIGNER
 SACAP Reg. 1563
 38 HOUTFOUNAIN
 SANDBAAL
 HERMANUS 7200
 TEL: 011 92337020 • P: 011 92337151

HOME OWNERS AC c/o
 38 BERGZICHT
 SANDBAAL
 HERMANUS, 7200

SITE PLAN
 SCALE 1:100

HOME OWNERS AT: J.L.
38 BERGZICHT
SANDBAAL
HERMANUS, 7200

CLIENT
HOUSE COQUILLON

PROJECT:

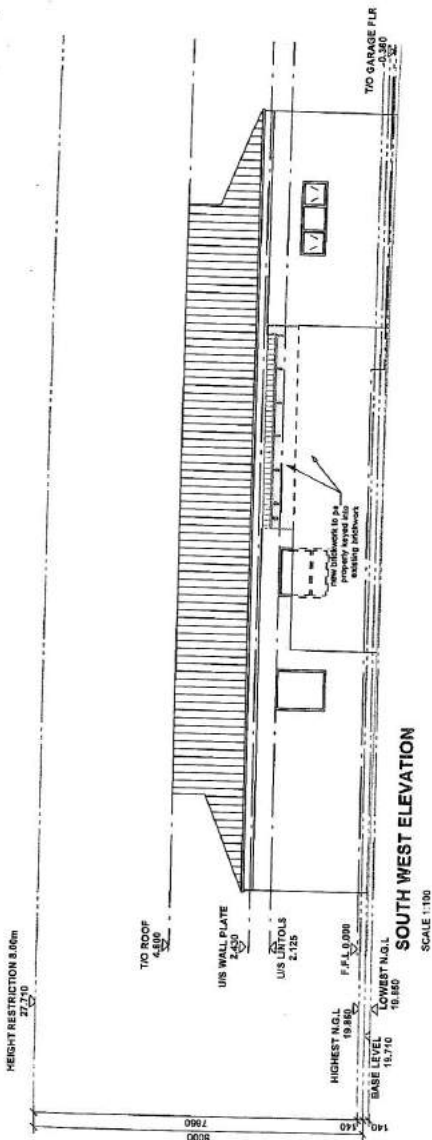
ALTERATIONS AND ADDITIONS FOR
MR. & MRS. R. COQUILLON
ERF 1690
BERGZICHT
SANDBAAL
HERMANUS

DRAWING TITLE:

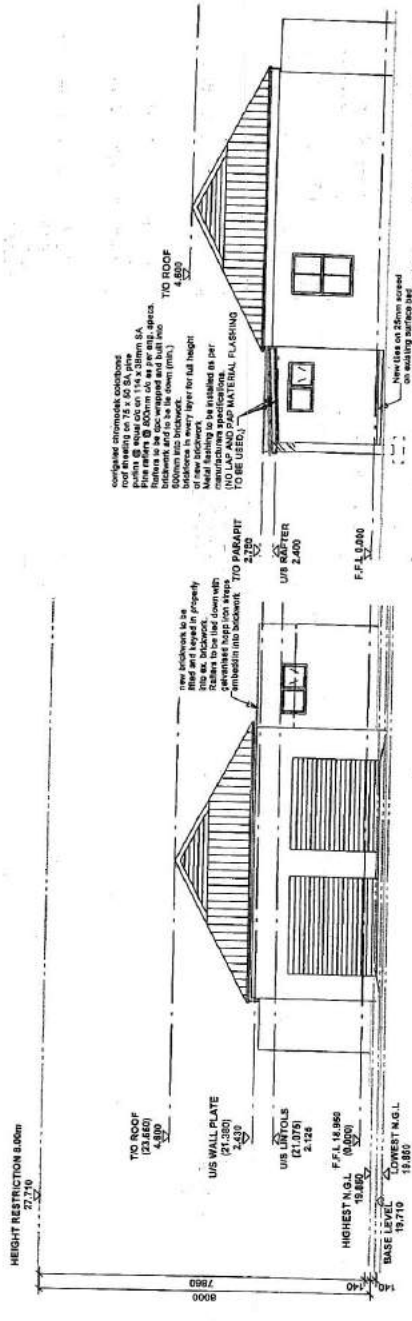
**PROPOSED NEW UTILITY/SEWING
ROOM
ELEVATIONS AND SECTIONS**

DATE	APRIL 2018	DRAWN	WJM B	ARCH. REG. NO.
DRAWING NO	COQ 003	REV	AS SHOWN	SCALE

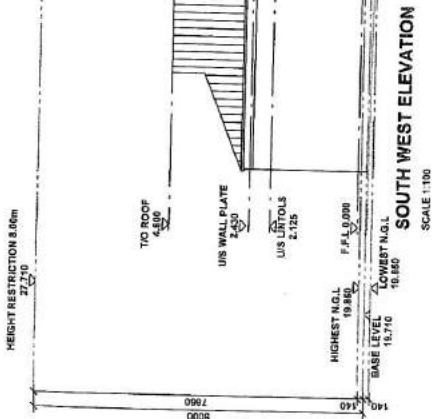
douglas carr
ARCHITECTURAL DESIGNER
SACAP reg. 1563
GHOST
COQUILLON
1111 8833 880330 1111 8811 5191304
www.douglascarr.co.za



SOUTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

**AGENDA of the
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(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

28. ERF 3391, 13 FIFTEENTH AVENUE, KLEINMOND: APPLICATION FOR SUBDIVISION, RIGHT OF WAY SERVITUDE AND DEPARTURE: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF SL GILDENHUYS

3391 KKM (2934/2019)

H van der stoep

(028) 313 8900

Hermanus Administration

31 May 2019

Executive Summary

An application has been received on 12 February 2019 from Messrs Plan Active Town & Regional Planners on behalf of SL Gildenhuys on Erf 3391, Kleinmond for the following:

- ❖ subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to subdivide Erf 3391, Kleinmond into two (2) portions, namely Portion A ($\pm 1620\text{m}^2$) and a Remainder ($\pm 1860\text{m}^2$), and to register a proposed right of way servitude of approximately 300m^2 in favour of Portion A to gain access.
- ❖ departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the relaxation of the common building line from 2m to 0m in order to accommodate an existing tool shed (outbuilding) on the Remainder, and an existing double garage on the proposed Portion A.

RESOLVED :

1. that the application in terms of Section 16(2)(d) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) to subdivide Erf 3391, Kleinmond into two (2) portions, namely Portion A ($\pm 1620\text{m}^2$) and a Remainder ($\pm 1860\text{m}^2$), and to register a proposed right-of-way servitude of approximately 300m^2 in favour of Portion A to gain access, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(b) of the By-Law for a departure for the relaxation of the common building line from 2m to 0m in order to accommodate an existing tool shed (outbuilding) on the Remainder, and an existing double garage on the proposed Portion A, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in Points 1. and 2. be subject to the following conditions:

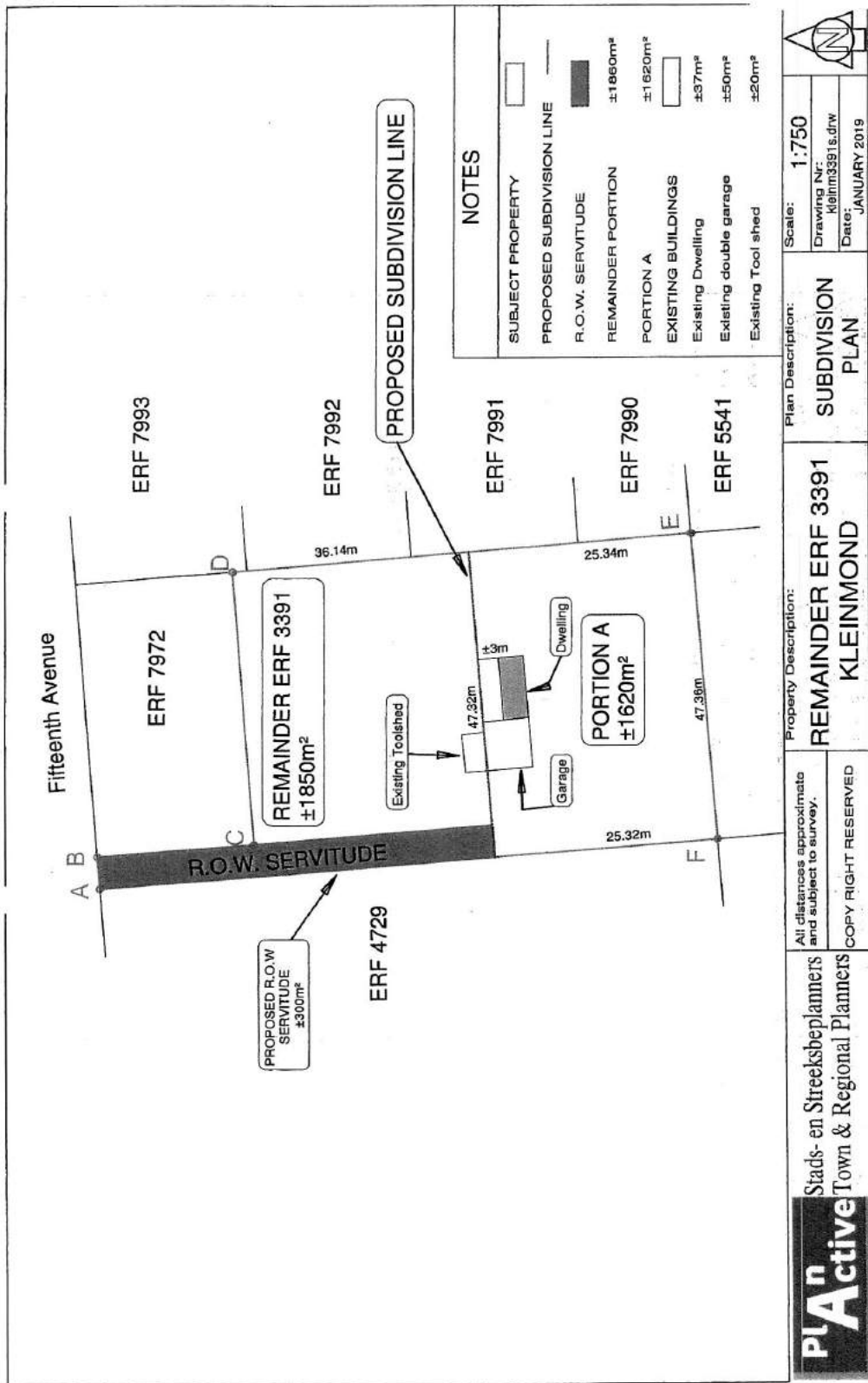
**AGENDA of the
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- (a) that the Remainder of Erf 3391 be subdivided into three (3) portions as per plan kleinm3391.drw, dated January 2019.
 - (b) that proof of the registered right-of-way servitude area as per a surveyed diagram be submitted for record purposes;
 - (c) that a copy of the Title Deed indicating the registration of a right-of-way servitude against the proposed Remainder of Erf 3391, be submitted for record purposes;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (g) that all the conditions in the Services Report, be complied with.
4. that the applicant and person(s) who commented on the application be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Erf 3331 Kleinmond

Date: 2019-02-22



NOTES

SUBJECT PROPERTY	[Symbol]
PROPOSED SUBDIVISION LINE	[Symbol]
R.O.W. SERVITUDE	±1850m ²
REMAINDER PORTION	±1620m ²
PORTION A	±37m ²
EXISTING BUILDINGS	±50m ²
Existing Dwelling	±20m ²
Existing double garage	
Existing Tool shed	

Scale: 1:750

Drawing Nr: kleinm3391s.drw

Date: JANUARY 2019

Plan Description:
SUBDIVISION PLAN

Property Description:
REMAINDER ERF 3391 KLEINMOND

All distances approximate and subject to survey.
COPY RIGHT RESERVED

PLA'n Active
Stads- en Streeksbeplanners
Town & Regional Planners

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION, RIGHT OF WAY SERVITUDE &
DEPARTURE: ERF 3391, KLEINMOND (2934/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2018/2019**) is as follows:

Freehold erven:

Water	R 21 688.60 x 1	=	R 21 688.60
Sewerage	R 14 623.16 x 1	=	R 14 623.16
Roads	R 6 557.01 x 1	=	R 6 557.01
Stormwater	R 7 565.79 x 1	=	R 7 565.79
Solid Waste	R 1 311.40 x 1	=	R 1 311.40
Electricity	R 32 139.45 x 1	=	<u>R 32 139.45</u>
TOTAL (inclusive of VAT)		=	R 83 885.41

Note:

1.3 The above figures are estimates

1.4 The above figures do not include connection fees

2. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;

2

3. that each individual erf be provided with its own water and sewerage connections;
4. that only a standard 60 Amp single phase electricity connection will be available per erf;
5. that the owner will be responsible for the development and subsequent maintenance of the civil services (including water and sewer) and right of way servitude (access road/path for Portion A).
6. that stormwater be allowed to discharge through the proposed Erven, Kleinmond, unobstructed;
7. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES

09/04/2019
DATE

**AGENDA of the
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29. ERF 1824, 181 PIET RETIEF CRESCENT, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND AMENDMENT OF THE SITE DEVELOPMENT PLAN: MESSRS PLANACTIVE ON BEHALF OF SCHULPHOEK GUESTHOUSE (PTY) LTD

1824 HSB (4183)

H van der Stoep

(028) 313 8900

Hermanus Administration

16 May 2019

Executive Summary

An application in terms of the provisions of Sections 16(2)(b) and (l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 20 September 2018 from Messrs PlanActive on behalf of Schulphoek Guesthouse (Pty) Ltd applicable to Erf 1824, Sandbaai in order to:

- relax the southern street building line (Kusweg) of the property from 5m to 0m to accommodate the existing wooden deck/patio with filling within the building line 1,884m above natural ground level;
- exceed the 2,1m height restriction applicable to boundary walls with $\pm 0,884\text{m}$ to accommodate the existing boundary wall with glass balustrades at a section of the southern street boundary (Kusweg) of the property;
- relax the northern street building line (Piet Retief Crescent) of the property from 5m to 0m to accommodate the existing enclosed refuse yard and two (2) store rooms; and
- amendment of the approved Site Development Plan (SDP) applicable to the property in order to retain a portion of an existing loose standing building at the eastern side of the property that should have been demolished completely in terms of the approved SDP and to utilize the remainder thereof as a combined sauna, spa/jacuzzi, boiler- and server room, as well as to change the approved parking layout on the property in order to create a more practical parking layout.

RESOLVED :

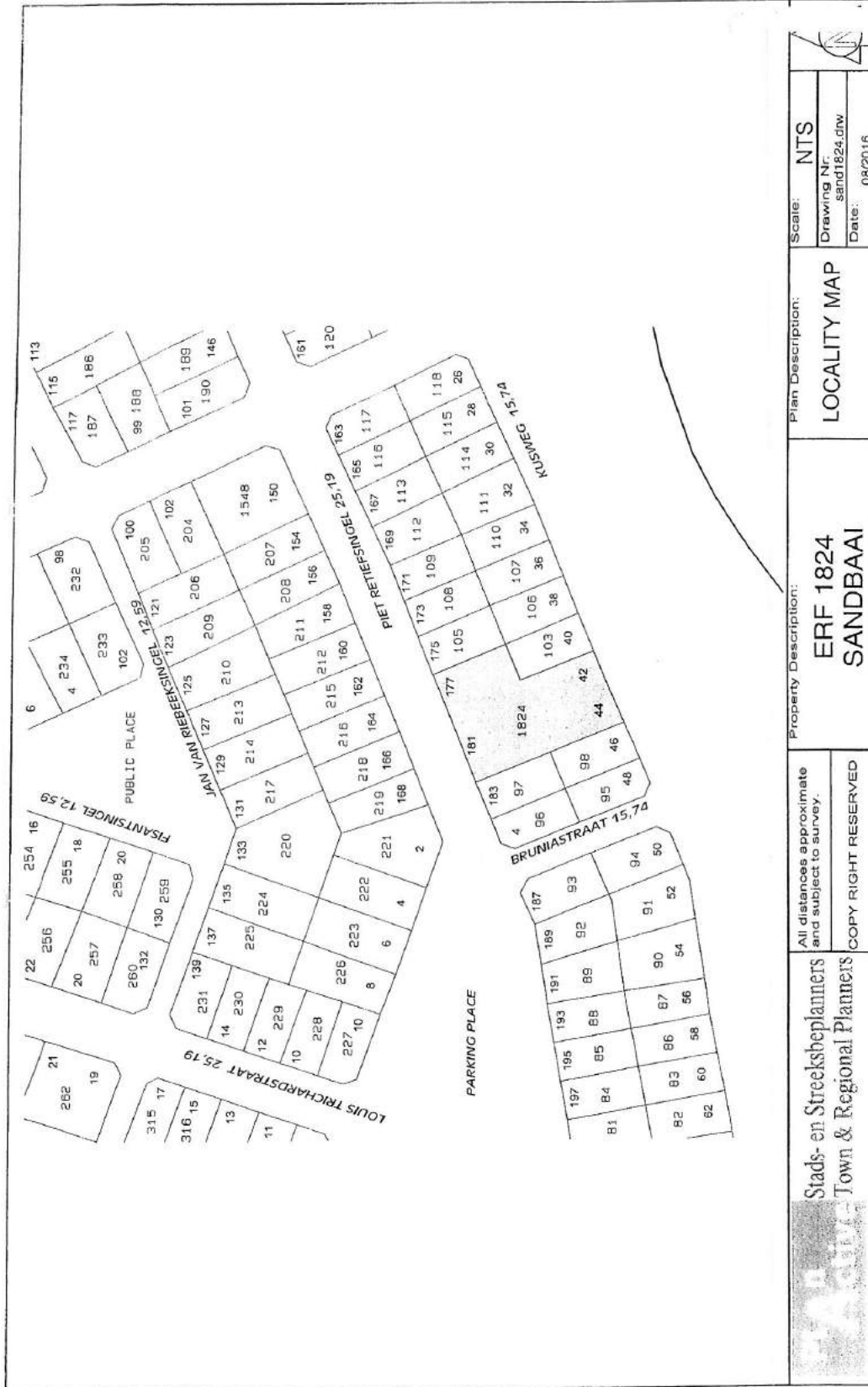
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1824, Sandbaai to relax the southern street building line (Kusweg) of the property from 5m to 0m to accommodate the existing wooden deck/patio with filling within the building line of 1,884m above natural ground level, **be approved** in terms of the provisions of Section 61 of the By-Law;

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2. that the application for departure in terms of Section 16(2)(b) of the By-Law applicable to Erf 1824, Sandbaai in order to exceed the 2,1m height restriction applicable to boundary walls with $\pm 0,884\text{m}$ to accommodate the existing boundary wall with glass balustrades at a section of the southern street boundary (Kusweg) of the property, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application for departure in terms of Section 16(2)(b) of the By-Law applicable to Erf 1824, Sandbaai in order to relax the northern street building line (Piet Retief Crescent) of the property from 5m to 0m to accommodate the existing enclosed refuse yard and two (2) store rooms, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(l) of the By-Law for the amendment of the approved Site Development Plan (SDP) applicable to Erf 1824, Sandbaai in order to retain a portion of an existing loose standing building at the eastern side of the property that should have been demolished completely in terms of the approved SDP and to utilize the remainder thereof as a combined sauna, spa/jacuzzi, boiler- and server room, as well as to change the approved parking layout on the property in order to create a more practical parking layout, **be approved** in terms of the provisions of Section 61 of the By-Law.
5. that the above approvals be subject to the following conditions:
 - (a) that the approvals are only for the development as per the dimensions indicated on the plans dated 24 August 2018 that was submitted with the application and that these plans serve as the new SDP for the development on the property;
 - (b) that partial demolition of the loose standing building at the eastern side of the property be done in such a manner that a 3m lateral building line be maintained;
 - (c) that the sauna and spa/jacuzzi of the remainder of the building in (b) above be for the exclusive use of paying guests only and not the general public;
 - (d) that the landowner must submit a Rational Fire Safety Design in terms of the National Fire Protection Regulations SANS10400T:2011, as per the requirements of Annexure D at the Fire Department for approval;

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- (e) that building plans be submitted to the Building Department for approval, and that all relevant conditions of the Building – and the Fire Department be complied with at that stage;
 - (f) that the conditions of Engineering Services, be adhered to;
 - (g) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (h) that all the applicable conditions of previous approvals still be adhered to, and
 - (i) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
6. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

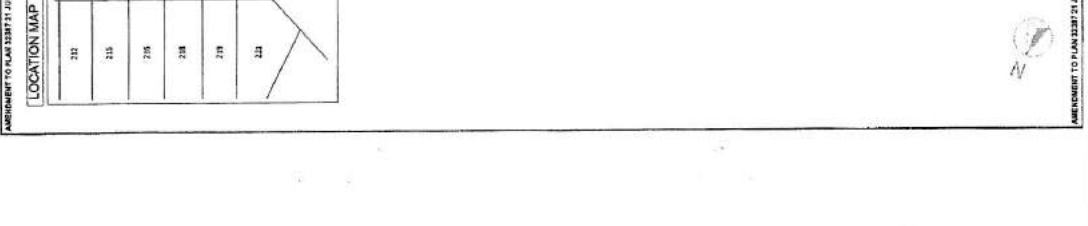
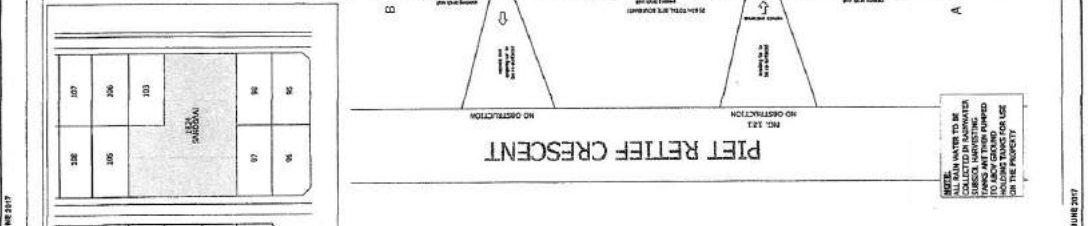
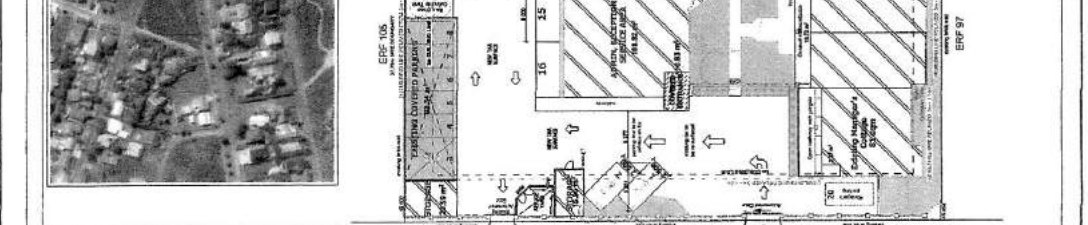
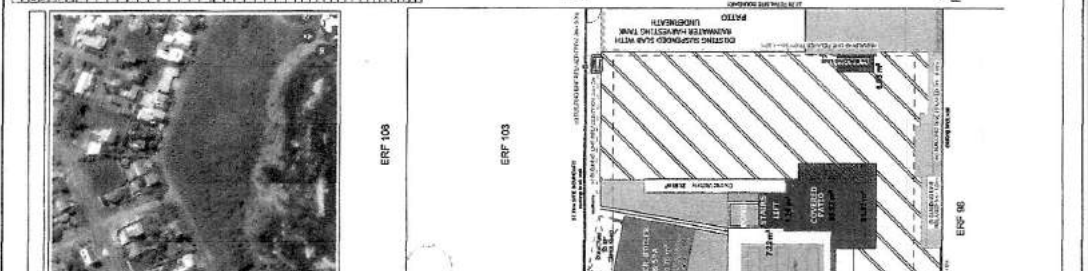


 <p>Stads- en Streeksbeplanners Town & Regional Planners</p>	<p>All distances approximate and subject to survey.</p> <p>COPY RIGHT RESERVED</p>	<p>Property Description: ERF 1824 SANDBAAI</p>	<p>Plan Description: LOCALITY MAP</p>	<p>Scale: NTS</p>
				<p>Drawing Nr: sand1824.drw</p> <p>Date: 08/2016</p>

AMENDMENT TO PLAN 2287 21 JUNE 2017
EXISTING BUILDING FOOTPRINT
 ALL EXISTING AND PROPOSED BUILDINGS SHALL BE CONFORMANT WITH THE CITY OF JOHANNESBURG MUNICIPALITY SPATIAL ORDER AND ALL APPLICABLE ZONING REGULATIONS.
 ALL EXISTING AND PROPOSED BUILDINGS SHALL BE CONFORMANT WITH THE CITY OF JOHANNESBURG MUNICIPALITY SPATIAL ORDER AND ALL APPLICABLE ZONING REGULATIONS.
 ALL EXISTING AND PROPOSED BUILDINGS SHALL BE CONFORMANT WITH THE CITY OF JOHANNESBURG MUNICIPALITY SPATIAL ORDER AND ALL APPLICABLE ZONING REGULATIONS.

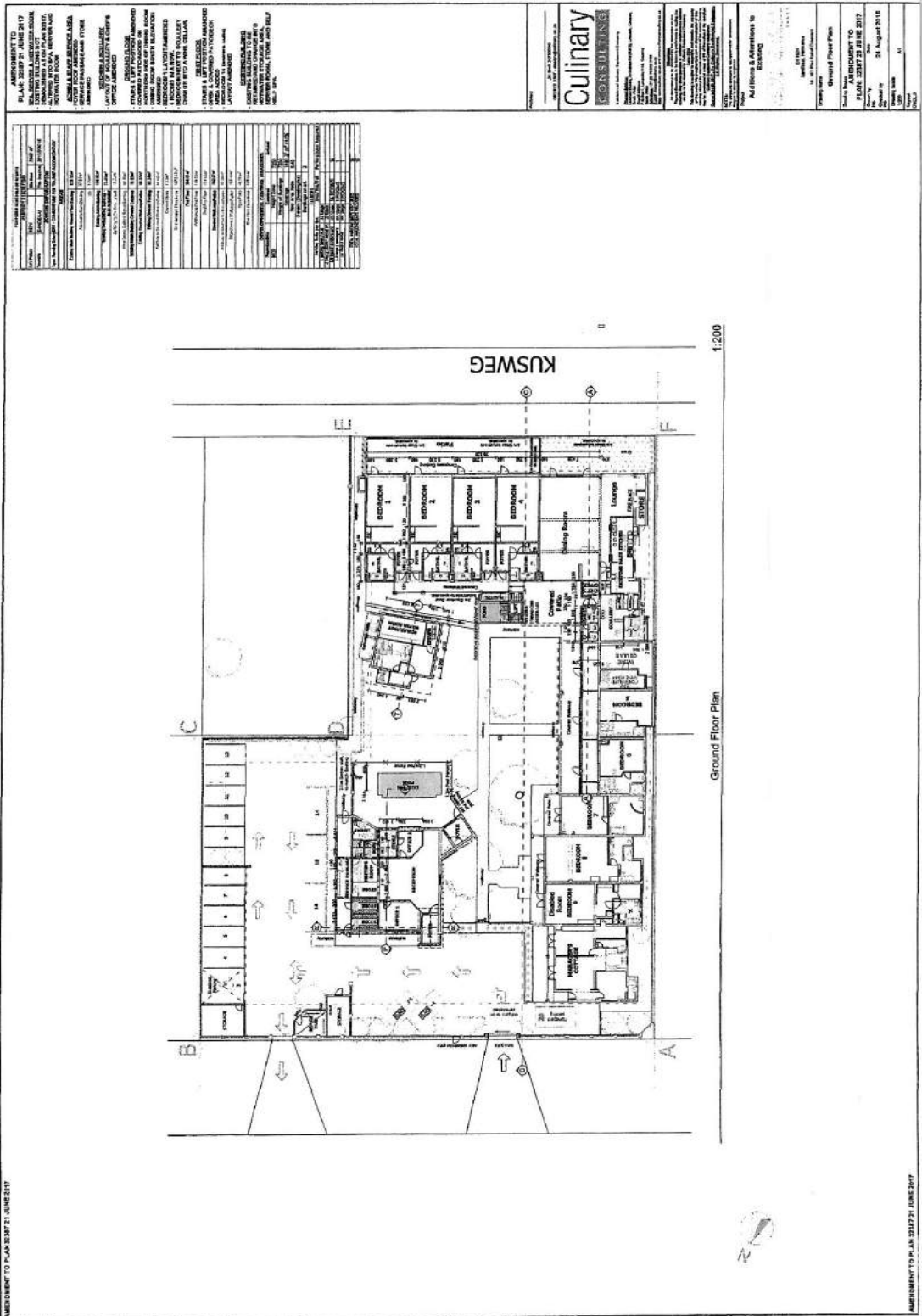
GENERAL
 1. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
1	CONCRETE	m ³	100	1500	150000
2	STEEL	kg	5000	20	100000
3	BRICK	m ²	200	500	100000
4	ROOFING	m ²	100	1000	100000
5	PAINT	m ²	50	2000	100000
6	GLASS	m ²	20	5000	100000
7	MECHANICAL	unit	10	10000	100000
8	ELECTRICAL	unit	10	10000	100000
9	PLUMBING	unit	10	10000	100000
10	LANDSCAPE	unit	10	10000	100000



PIET RETIEFF CRESCENT
 NO OBSTRUCTION
 NO OBSTRUCTION
 NO OBSTRUCTION

NOTE: ALL MATERIALS TO BE USED SHALL BE COLLECTED IN A DRAINAGE CANAL AND DISPOSED OF IN A MANNER APPROVED BY THE APPLICABLE AUTHORITIES.
 ALL MATERIALS TO BE USED SHALL BE COLLECTED IN A DRAINAGE CANAL AND DISPOSED OF IN A MANNER APPROVED BY THE APPLICABLE AUTHORITIES.



AMENDMENT TO
 PLAN 32187 21 JUNE 2017
 ADDITIONAL BEDROOMS
 ADDITIONAL BATHROOMS
 ADDITIONAL KITCHEN
 ADDITIONAL LIVING AREA
 ADDITIONAL OFFICE
 ADDITIONAL STORAGE
 ADDITIONAL TERRACE
 ADDITIONAL WALKWAY

REVISIONS:
 NO. DATE BY DESCRIPTION

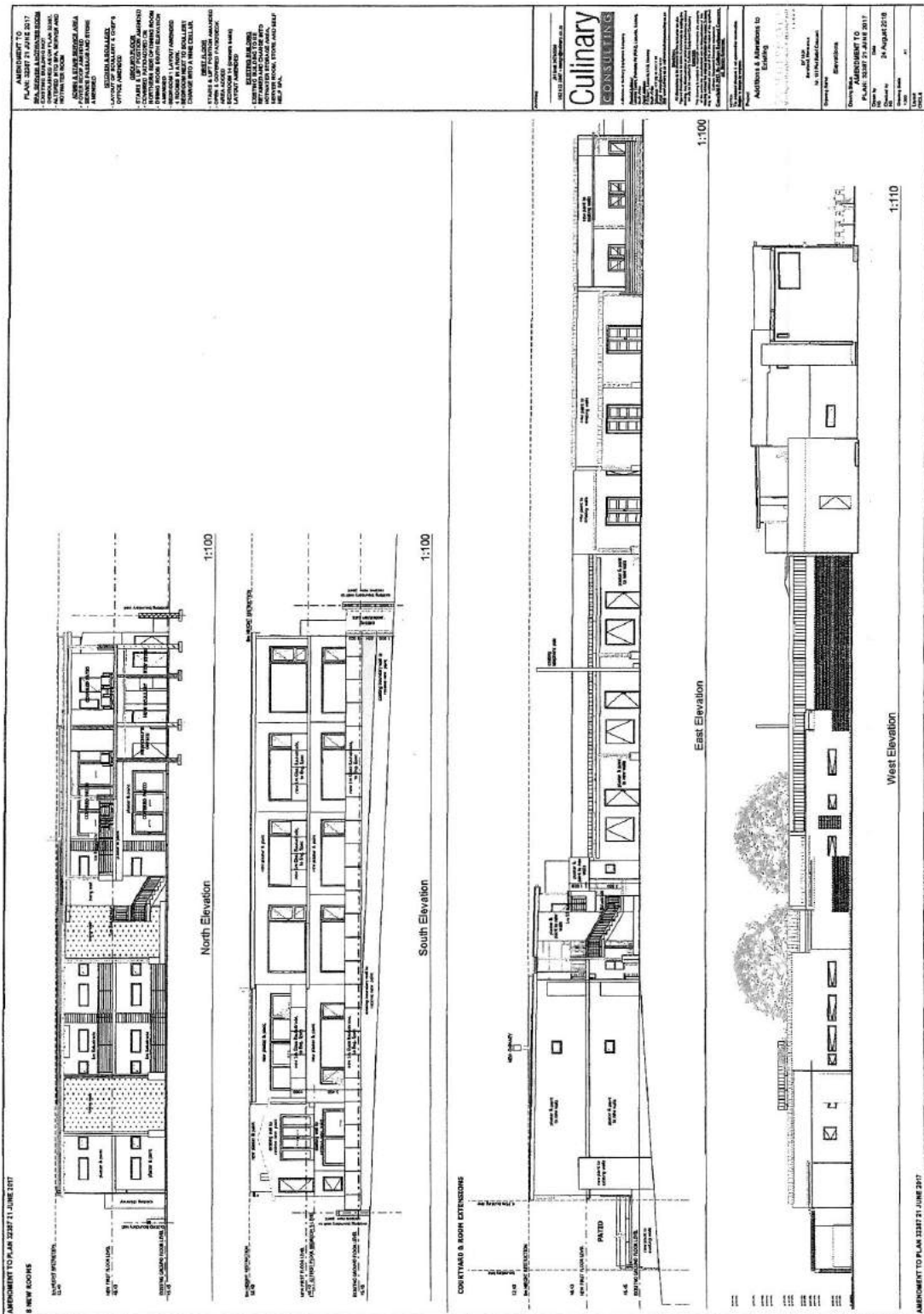
NO.	DATE	BY	DESCRIPTION
1	21/06/2017		ISSUED FOR PERMIT
2	21/06/2017		ISSUED FOR PERMIT
3	21/06/2017		ISSUED FOR PERMIT
4	21/06/2017		ISSUED FOR PERMIT
5	21/06/2017		ISSUED FOR PERMIT
6	21/06/2017		ISSUED FOR PERMIT
7	21/06/2017		ISSUED FOR PERMIT
8	21/06/2017		ISSUED FOR PERMIT
9	21/06/2017		ISSUED FOR PERMIT
10	21/06/2017		ISSUED FOR PERMIT
11	21/06/2017		ISSUED FOR PERMIT
12	21/06/2017		ISSUED FOR PERMIT
13	21/06/2017		ISSUED FOR PERMIT
14	21/06/2017		ISSUED FOR PERMIT
15	21/06/2017		ISSUED FOR PERMIT
16	21/06/2017		ISSUED FOR PERMIT
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42	21/06/2017		ISSUED FOR PERMIT
43	21/06/2017		ISSUED FOR PERMIT
44	21/06/2017		ISSUED FOR PERMIT
45	21/06/2017		ISSUED FOR PERMIT
46	21/06/2017		ISSUED FOR PERMIT
47	21/06/2017		ISSUED FOR PERMIT
48	21/06/2017		ISSUED FOR PERMIT
49	21/06/2017		ISSUED FOR PERMIT
50	21/06/2017		ISSUED FOR PERMIT

Culinary CONSULTING

122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

ADDENDUM 8 - ADDENDUM 10
 BUILDING

Project Name: Ground Floor Plan
 Drawn by: [Name]
 Checked by: [Name]
 Date: 21 August 2018



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & AMENDMENT OF THE SITE
DEVELOPMENT PLAN: ERF 1824, SANDBAAI (4183)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 1824, Sandbaai, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that refuse will be removed from the sidewalks as per municipal arrangement;
9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

30. ERF 598, 16 DUIKER STREET, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: M REYNEKE ON BEHALF OF MI BOONZAIER

598 HVM (2796)

H Olivier

(028) 313 8900

Hermanus Administration

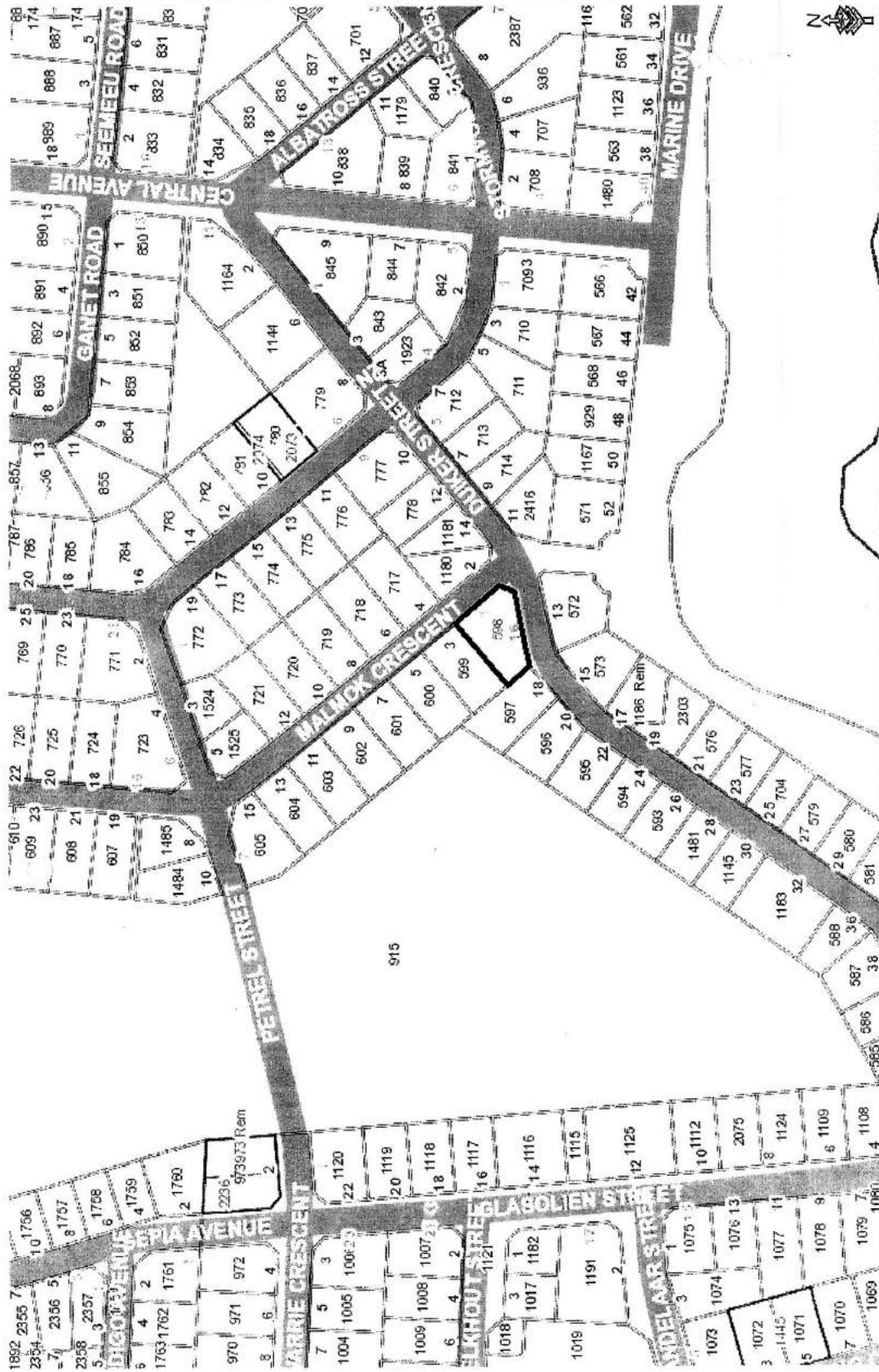
21 June 2019

Executive Summary

An application has been received on 3 December 2018 from M Reyneke on behalf of MI Boonzaier on Erf 598, Vermont for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the 4m street building line to 3,15m to accommodate a single storey braai room.

RESOLVED :

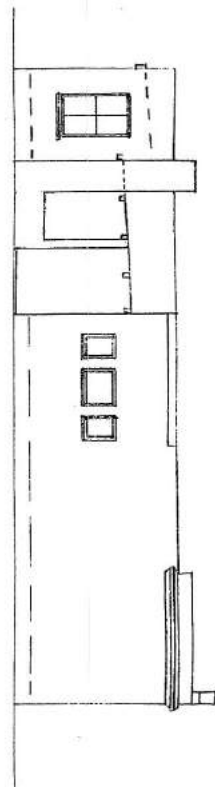
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 598, Vermont to relax the 4m street building line to 3,15m to accommodate a braai room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the street building line as indicated on plan BOON18/09/01 dated September 2018 submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with, and
 - (f) that all the conditions by Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



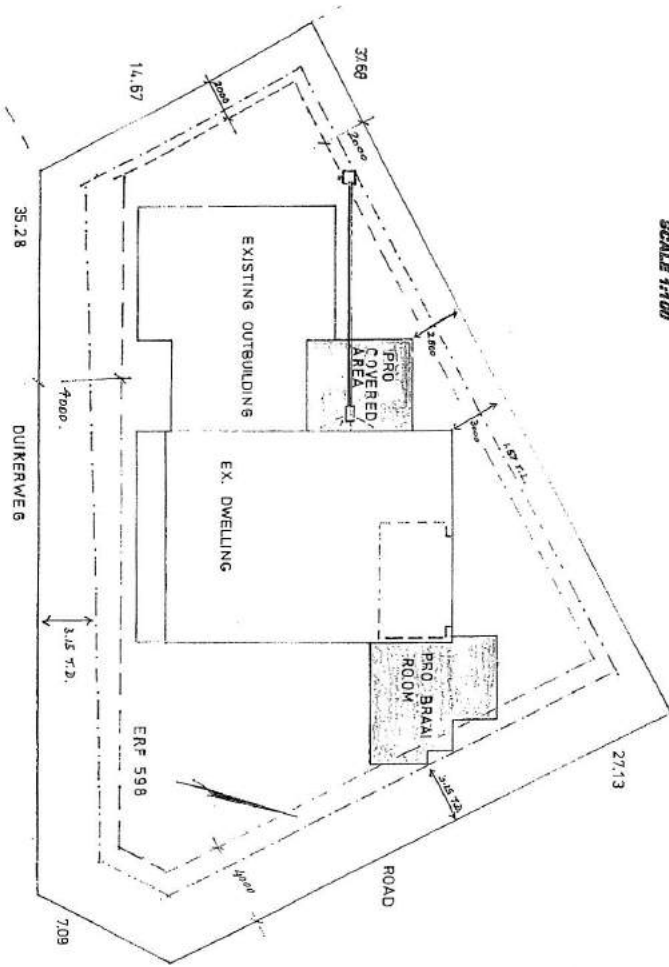
Date: 2016-12-01

Erf 598, Vermont





COVERAGES:
 Existing Dwelling: 239' 19" x 2"
 Proposed Addition: 56' 22" x 2"
TOTAL: 295' 41" x 2"
 Area of Lot: 5294 sq. ft.
 % Impervious: 53.23 %



SITE PLAN
 SCALE 1/200

FENESTRATION DETAIL H4

WALLS:
 MASONRY WALL HAS A MINIMUM R - VALUE OF 80 (F2)

FLOOR:
 CONCRETE SLAB-ON-GROUND TO HAVE INSULATION INSTALLED AROUND THE VERTICAL EDGE OF ITS PERIMETER WITH AN R - VALUE OF NOT LESS THAN 10 BE CONTIGUOUS FROM THE ADJACENT FINISHED GROUND LEVEL TO A DEPTH OF NOT LESS THAN 300mm

ROOF:
 METAL SHEETING TYPE OF ROOFING ASSEMBLY CONSTRUCTION SHALL ACHIEVE THE MINIMUM TOTAL R-VALUE OF 3.7 WITH THE INSTALLATION OF INSULATION THAT HAS AN R-VALUE OF 3.35 THE FITTED CEILING ADDS AN ADDITION R-VALUE OF 0.30 CELLULOSE FIBRE LOOSE-FILL, min thickness 150mm, min added R-value of insulation (eqn. 4-9V) 2.00 to 3.26

DOORS AND WINDOWS:
 ALL NEW DOORS AND WINDOWS TO BE ALUMINUM.
 ALL NEW GLASS TO MEET MANU. SPECS.
 ALL GLASS TO BE SAFETY GLASS.

FENESTRATION CALCULATIONS ERF 598 VERMONT PROPOSED SUIV AND BRNRM ROOM

FLOOR AREA	25.38 sq. m.
WINDOW AREA (GLASS)	6.544 sq. m.
RATIO WINDOW TO FLOOR AREA	26.4%
MAX CONDUCTANCE	25.38 x 0.13 = 35.53
MAX SHGC	25.38 x 0.13 = 4.5994
CONDUCTANCE	6.544 x 4.06 = 26.56
SHGC	2.134 x 0.77 x 0.84 = 1.3802
NORTH	2.278 x 0.77 x 0.81 = 1.064
SOUTH	1.087 x 0.77 x 1.15 = 0.944
EAST	1.087 x 0.77 x 1.10 = 0.910
WEST	1.087 x 0.77 x 1.10 = 0.910
TOTAL	= 4.543

MAXIMUM PERMITTED CONDUCTANCE AND MAXIMUM SHGC HAVE NOT BEEN EXCEEDED AND ARE THEREFORE PERMISSIBLE

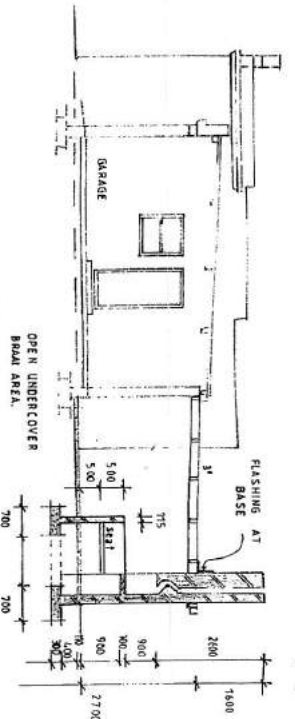
ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING WORK.

PROPOSED ADDITIONS AND ALTERATIONS FOR:
MRS. M. BOONZAAIER
 DUIKER ROAD
 ERF 598
 VERMONT

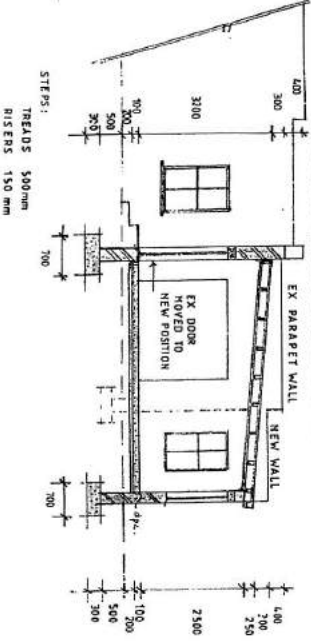
AUTHORIZED SIGNATURE

DRAWN BY: H. HENDERSON EXPIRES: 2013 / 03
 TR. NO. 5123 ROOM 718 / 50 / 103

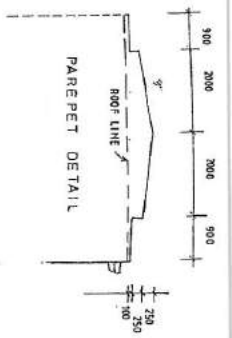
Michael J. Henderson
 Michael J. Henderson
 17 Shipen Street, Maple 7275, T06B 4E3 5890C 043 701 17 60
 mhj@mhj.ca mhj.ca



SECTION A-A
SCALE 1/100



SECTION 1-1
SCALE 1/100



PARPET DETAIL

PROPOSED SIM AND INDOOR BRAMA AREA.
CONCRETE ON WEATHERPROOF UNDERLAY ON
ISOLATION ON BLANKET INSULATION BETWEEN
PARTS AND SECONDARY CEILING. FIBRE TO MATTER.
CEILING ANGLE TO BE SIMILAR AS MAIN DWELLING.
CONNECT TO MATCH EXISTING.
114 X 38 WALL PLATE
ALL ROOFING TIED DOWN USING GALV STEEL
HOOP RODS EMBEDDED IN BRAMA BRICKWORK
PARAPET WALL TO BE AS EXISTING AND
REINFORCED TO BE AT EVERY COURSE.
PARAPET WALL NOT TO EXCEED 500mm HIGH.

GUTTERS AND DOWNSPIES.
PVC GUTTERS AND DOWNSPIES TO MATCH EXISTING TO
FEED WATER TANK.

DOORS AND WINDOWS
ALUMINIUM FRAME DOORS AND WINDOWS
TO MATCH EXISTING
PRECAST LANTAS AND HORIZONTAL ALUMINIUM FRAMES
PRECAST LANTAS MAXIMUM 3.0m LANT TO MAIN SPECS
ABOVE ALL OPENINGS WITH 4 COURSES OF BRICKWORK
ABOVE BRICKWORK EVERY COURSE.

FOUNDATIONS AND FLOORING
100mm CONCRETE FLOOR ON COMPACTED HANDPORE
FLOOR LEVEL TO MATCH EXISTING STEEP FLOOR AFTER
FINISHES.
DPC ON ALL NEW BRICKWORK
300 X 700 FOUNDATIONS

STEPS
TREADS 100mm
RISERS 150mm

GENERAL NOTES
230mm WALLS THROUGHOUT
PRECAST LANTAS ABOVE ALL OPENINGS
LANT TO MAIN SPECS.
BRAMA LANT DETAILING TO OWNERS SPECS
FINISH TO BE FLOURED AND PAINTED
BRAMA LANT DETAILING TO OWNERS SPECS
MINIMUM OF BRAMA LANT
CHIMNEY MINIMUM 1.0m ABOVE ROOF.
ELECTRICALS
O LIGHTS
A FLOORS

ROOF DETAIL UNDERCOVER BRAMA AREA

CHANGEOVER ON WEATHERPROOF UNDERLAY
228 X 50 PARTER FIBRES AT 1.0 C/P RIGID TO
228 X 50 CARRIER BEAM USING GALV ANGLE BRACKETS
AND COMB SCREWS AND TO WALL CORNER
AND STEEL DOWNLINES GALV STEEL HOOP RODS
EMBEDDED 600mm INTO BRICKWORK TO POSTS
AND CHIMNEY

GUTTERS AND DOWNSPIES
PVC GUTTERS AND DOWNSPIES AS PER EXISTING
TO BE FED INTO MAIN FLOOR DRAINAGE.

FLOORING AND FOUNDATIONS.
NO CHANGE TO EXISTING PAVED FLOOR AREA
300 X 700 STRIP FOUNDATIONS FOR BRAMA AND
SEATING AREA.

GENERAL NOTES
BRAMA TO BE BUILT BY SPECIALISTS
SPARK ARRESTER TO BE FITTED TO TOP
CHIMNEY TO BE MIN 1.0m ABOVE ROOF.
ALL HEIGHTS AND LEVELS TO BE CHECKED ON SITE
AS WORK PROGRESSES.
NO DPC TO BE IN BRICKWORK.
ALL BRICKWORK TO BE FLOURED AND PAINTED
TO MATCH EXISTING DWELLING.
554 DETAIL TO OWNERS SPECS.

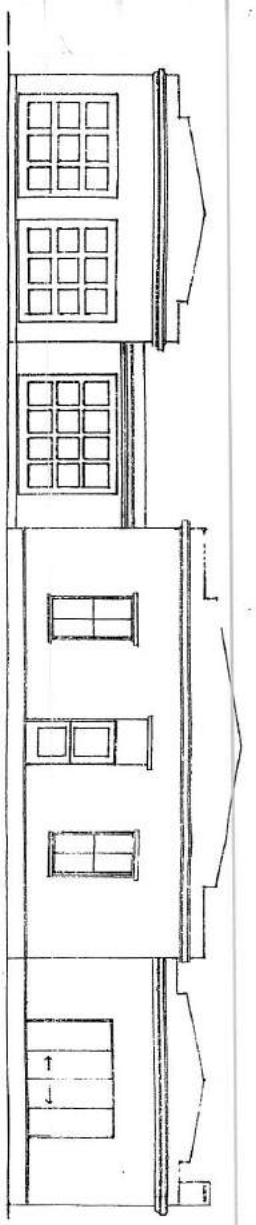
ALL DIMENSIONS TO BE
CHECKED ON SITE
BEFORE COMMENCING WORK.

PROPOSED ADDITIONS AND ALTERATIONS
FOR
MS. M. BOONZAAIER
DUIKER ROAD
ERF 598
VERMONT

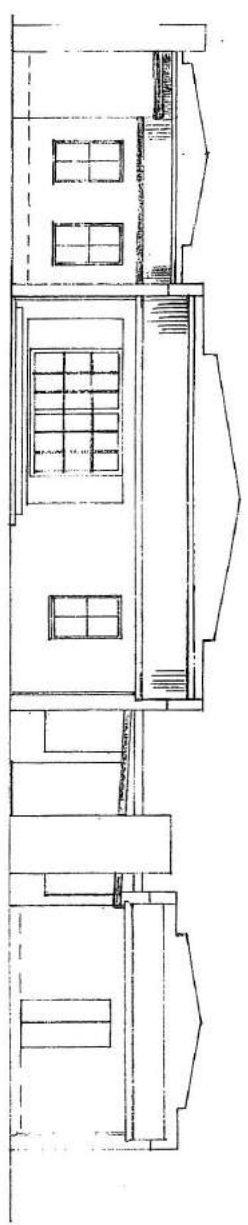
AUTHORISED SIGNATURE

Drawn BY: M. BOONZAAIER DATE: 18 FEB 2018
T.M. NO. 0125. ROOM 7/18 709 / 911

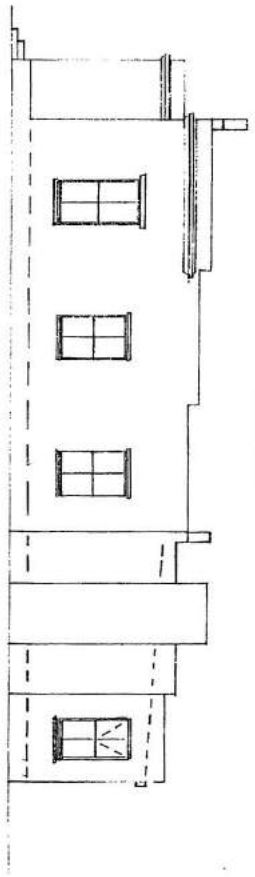
M. M. Boonzaaier
REGISTERED ARCHITECT
17 Steyn Street, Mt Pleasant, Durban
mboonzaai@sanet.co.za



SOUTH ELEVATION
SCALE 1/100



NORTH ELEVATION
SCALE 1/100



EAST ELEVATION
SCALE 1/100

ALL DIMENSIONS TO BE
CHECKED ON SITE
BEFORE COMMENCING WORK.

PROPOSED ADDITIONS AND ALTERATIONS
FOR:
MS. M. BOONZAAIER
DUJIKER ROAD
ENF 598
VERMONT

AUTHORIZED SIGNATURE

DESIGNER: M. H. NEWBERG DATE: SEPT 2015
 PLAN NO. 0125 ROOM 1/18 / 89 / 81

M. H. Newberg
Michael Newberg Architects

DESIGNER: TONY BLANKINS - PROJECT MANAGEMENT
 17 SOUTH CHURCH STREET, SUITE 200, VERMONT, VT 05401
 TEL: 802-249-1234 FAX: 802-249-1235

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 598, VERMONT (2796/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 598, Vermont, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

pp. R. Coefen
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

09/04/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

31. ERF 2741, 2741 LIPKIN ROAD, BETTY'S BAY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: AM OLIVARI

2741 KBB (4167)

H van der stoep

(028) 313 8900

Hermanus Administration

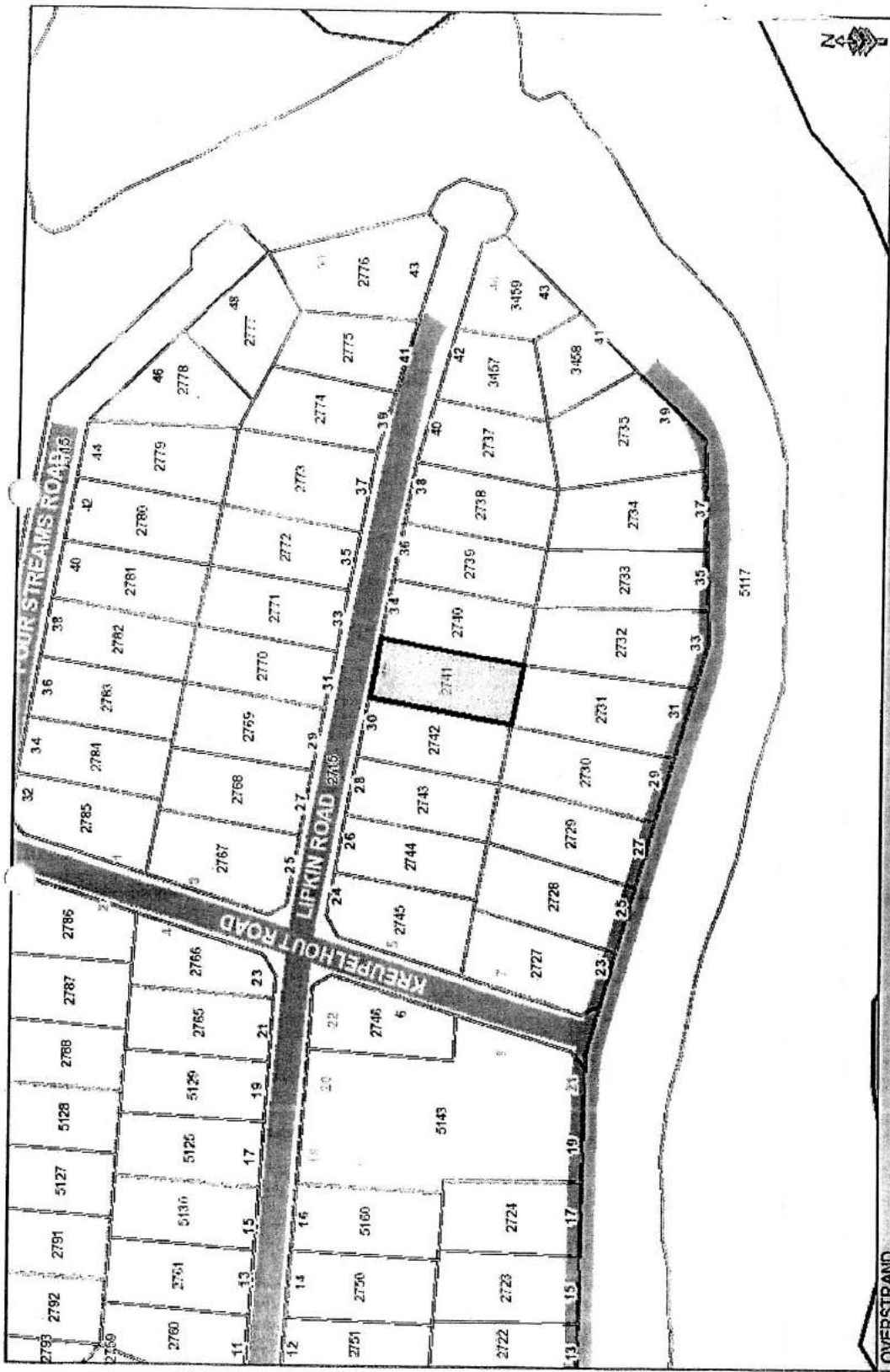
22 March 2019

Executive Summary

An application has been received on 6 September 2018 from AM Olivari on Erf 2741, Betty's Bay in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure of the lateral building line from 2m to 1,845m to accommodate a garage and braai room and exceeding the 9m building length over the building line.

RESOLVED :

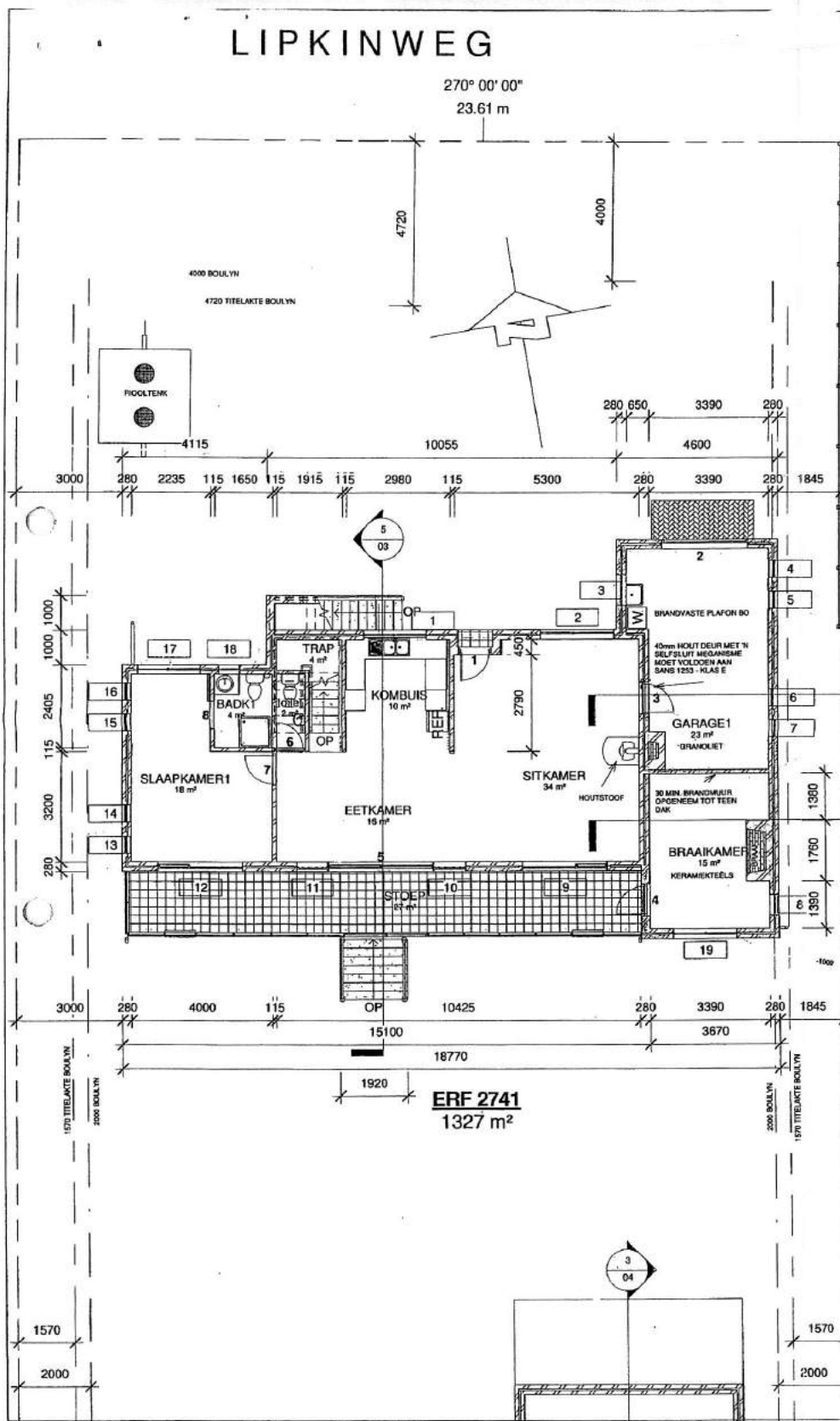
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 2741, Betty's Bay for a departure of the lateral building line from 2m to 1,845m to accommodate a garage and braai room and exceeding the 9m building over the building line, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval be limited to plan B8001 dated 2/3/2018 as submitted with the application;
 - (b) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (c) that building plans be submitted to the Building Department for approval for any proposed amendments, and
 - (d) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Lot 2741 Deily's Bay



PLAN: 2010/06/07



GRONDVERDIEPING

Projektnummer: BR001
Datum: 2015.05.06
Getekende deur: JHB

08

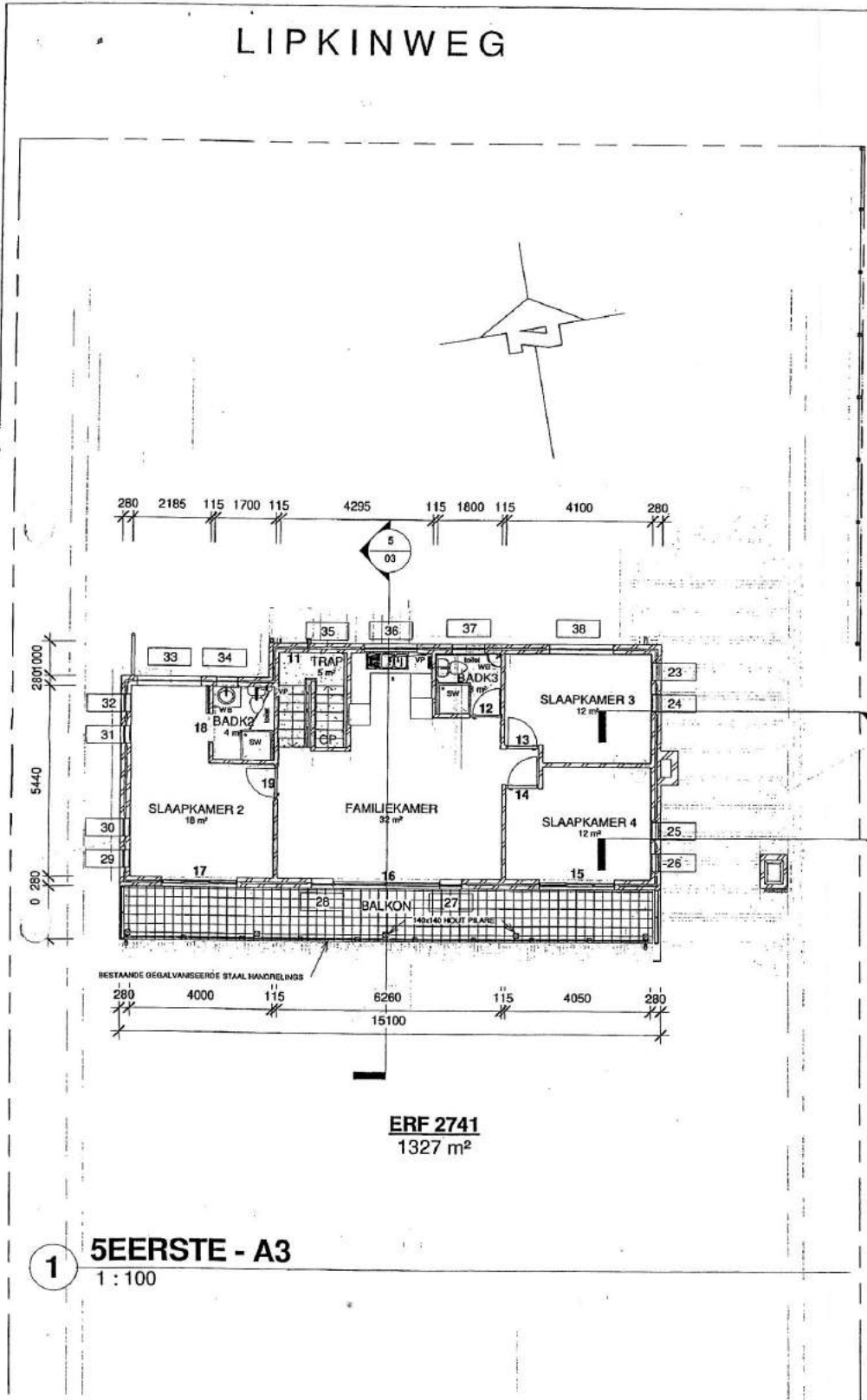
AANBOUINGS AAN WOONHUIS VIR
MEV. ANITA OLIVARI

No.	Description	Date

SAARP REG. NR. ST2285
J H BLIGNAUT
KUNSWEG 42
KLEINMOND

TELEFOON 082 7322732
TELEFOON 028 2713796

LIPKINWEG



ERF 2741
1327 m²

1 5EERSTE - A3
1 : 100

EERSTEVERDIEPING

Projektnommer: B8001
 Datum: 2018 03 02
 Getekende deur: JHB
 Namastein deur: JHB

09

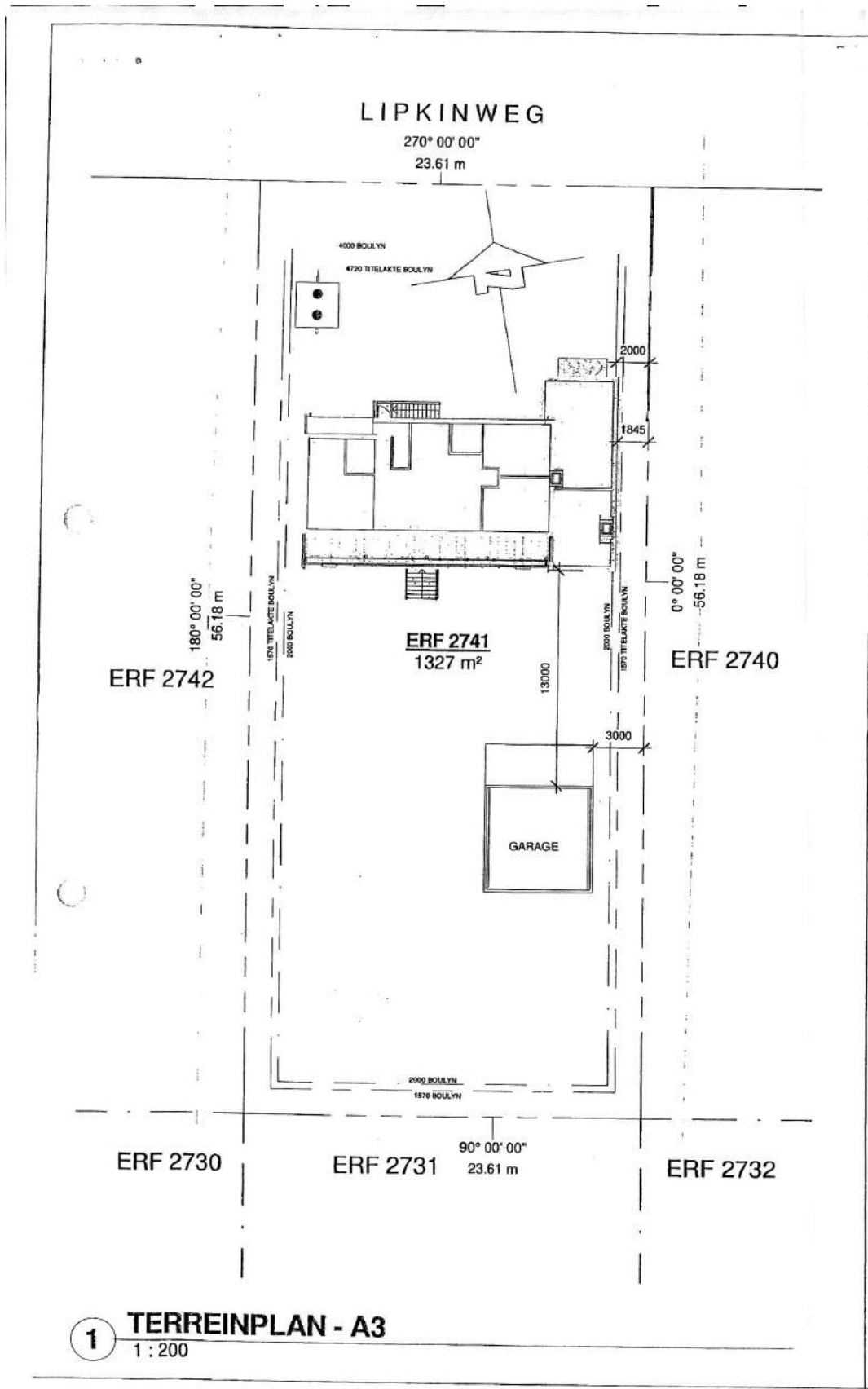
AANBOUINGS AAN WOONHUIS VIR
 MEV. ANITA OLIVARI

No.	Description	Date

PROF. SENIOR ARGITEKSTEGNOLOG

J H BLIGNAUT
 SAAPP REG. NR. ST2985
 KUSWEG 42
 KLEINMOND
 7195

SELFOON 082 7322792
 TELEFOON 028 2713793
 EPOS |anblignaut@exxess.co.za



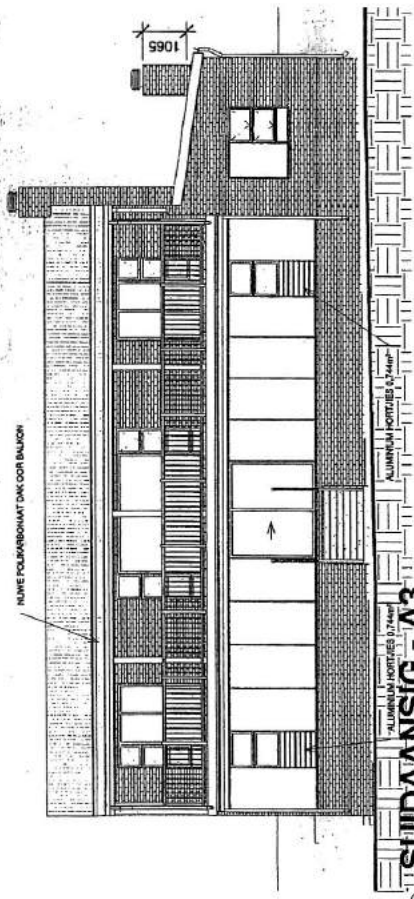
1 TERREINPLAN - A3
1 : 200

TERREINPLAN	
Projektnummer	BB001
Datum	2019.09.02
Getekende deur	JHB
10	

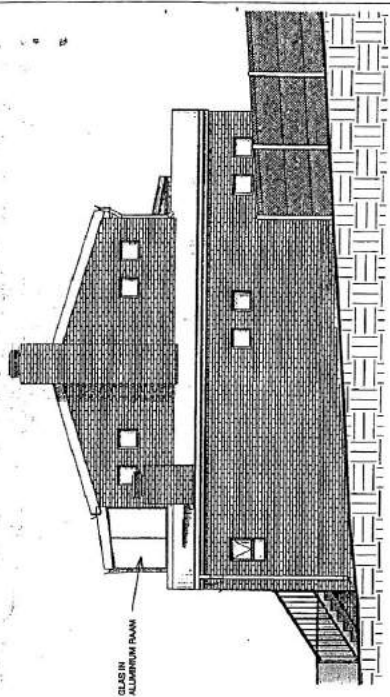
AANBOUINGS AAN WOONHUIS VIR
MEV. ANITA OLIVARI

No.	Description	Date

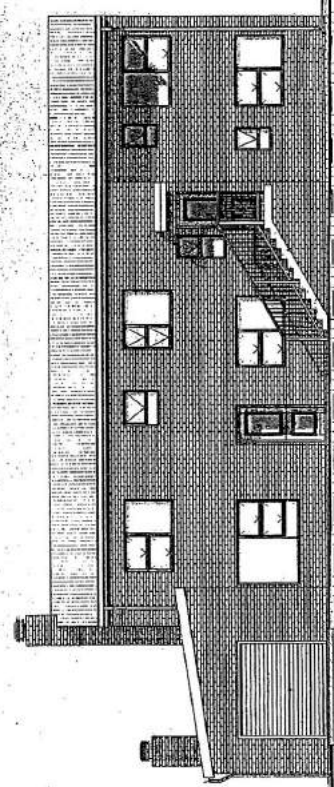
SAARP REG. NR. ST2385
J H BLIGNAUT
PROF. SENIOR ARGITEKSTEGNIOLOG
KUSWEG 42
KLEINMOND
7195
TELEFOON 028 2713796
FAX 028 2713795
EMAIL: jhblignaut@ayvasee.co.za



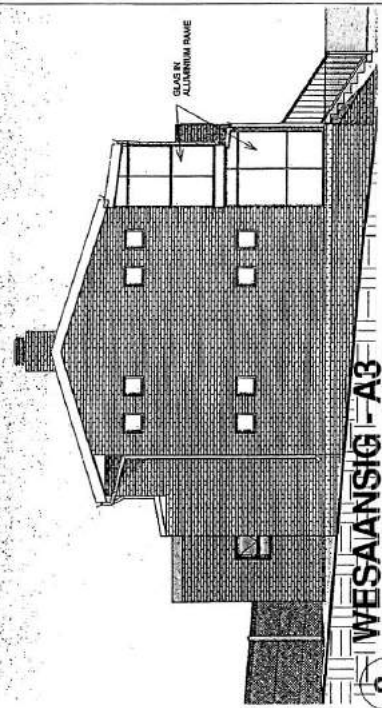
2 SUIDAANSIG - A3
1 : 100



4 OOSAANSIG - A3
1 : 100



1 NOORDAANSIG - A3
1 : 100



3 WESAANSIG - A3
1 : 100

PROF. SENIOR ARGITEKSTEGNOLOOG SAARP REG. NR. ST2385
J H BLIGNAUT
 KUSWEG 42 SELFON 082 7322732
 KLEINMOND TELEFON 028 2713795
 EPOS jhblignaut@ayyace.co.za

No.	Description	Date

AANBOUINGS AAN WOONHUIS VIR
 MEV. ANITA OLIVARI

AANSIGTE

Projektnommer	B0001
Datum	2018.03.02
Getekende deur	Author
Naam van deur	Checker
Maatstaf	Staal
	1 : 100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2741, BETTY'S BAY (4167)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 2741, Betty's Bay, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

32. ERF 3506, 45 VILJOEN STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: DEPARTURE AND CONSENT USE : MESSRS PLAN ACTIVE ON BEHALF OF V GROVE

3506 HON (2824/2018)

H Olivier

(028) 313 8900

Hermanus Administration

26 June 2019

Executive Summary

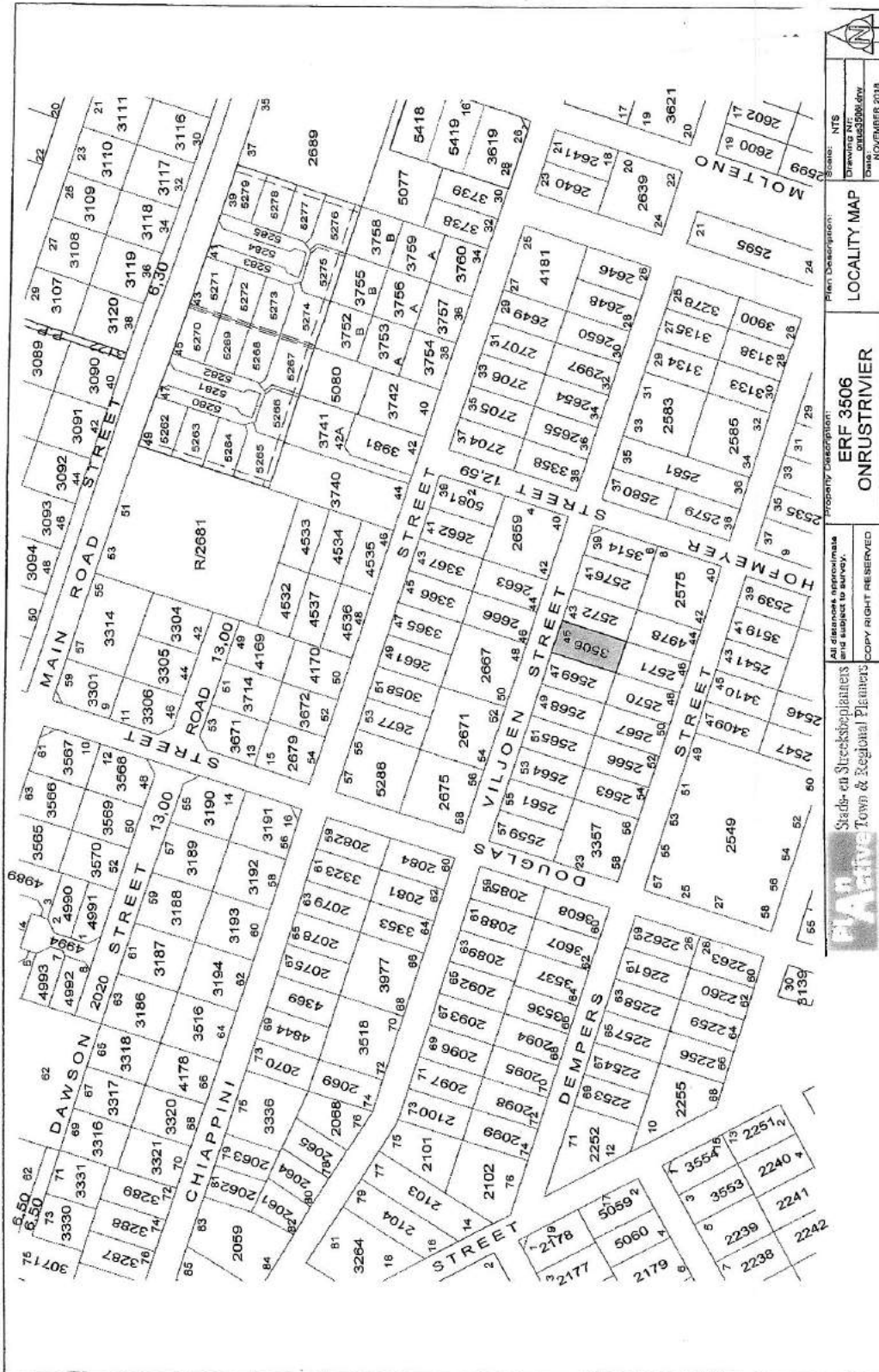
An application has been received on 3 December 2018 from Messrs Plan Active on behalf of V Grove on Erf 3506, Onrustrivier in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure in order to relax the eastern lateral building line from 2m to 0m for a change in land use from a garage to a store room and outside toilet, and to relax the rear building line from 2m to approximately 0,88m to accommodate a hobby room.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 3506, Onrustrivier for a departure to relax the eastern lateral building line from 2m to 0m and the rear building line from 2m to approximately 0,88m to accommodate a store room, outside toilet and hobby room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the owner of Erf 3506 must amend the Title Deeds for Erven 3506 and 2572 with regard to the existing protrusion of the building over the common boundary, at the cost of the owner of Erf 3506, and prior to building plan approval;
 - (b) that this approval only relates to the relaxation of the building lines due to use changes, as depicted on plan 104-02 dated 17/07/2016;
 - (c) that building plans for the alterations be submitted to the Building Department within three (3) months of this approval;
 - (d) that the alterations be completed within twelve (12) months, to the satisfaction of the Building Department;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and

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- (f) that the plan comply with all conditions imposed by the Fire Department at building plan submission phase.
- 2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Scale: NTS
 Drawing No: 01653006.dwg
 Date: 01 NOVEMBER 2019

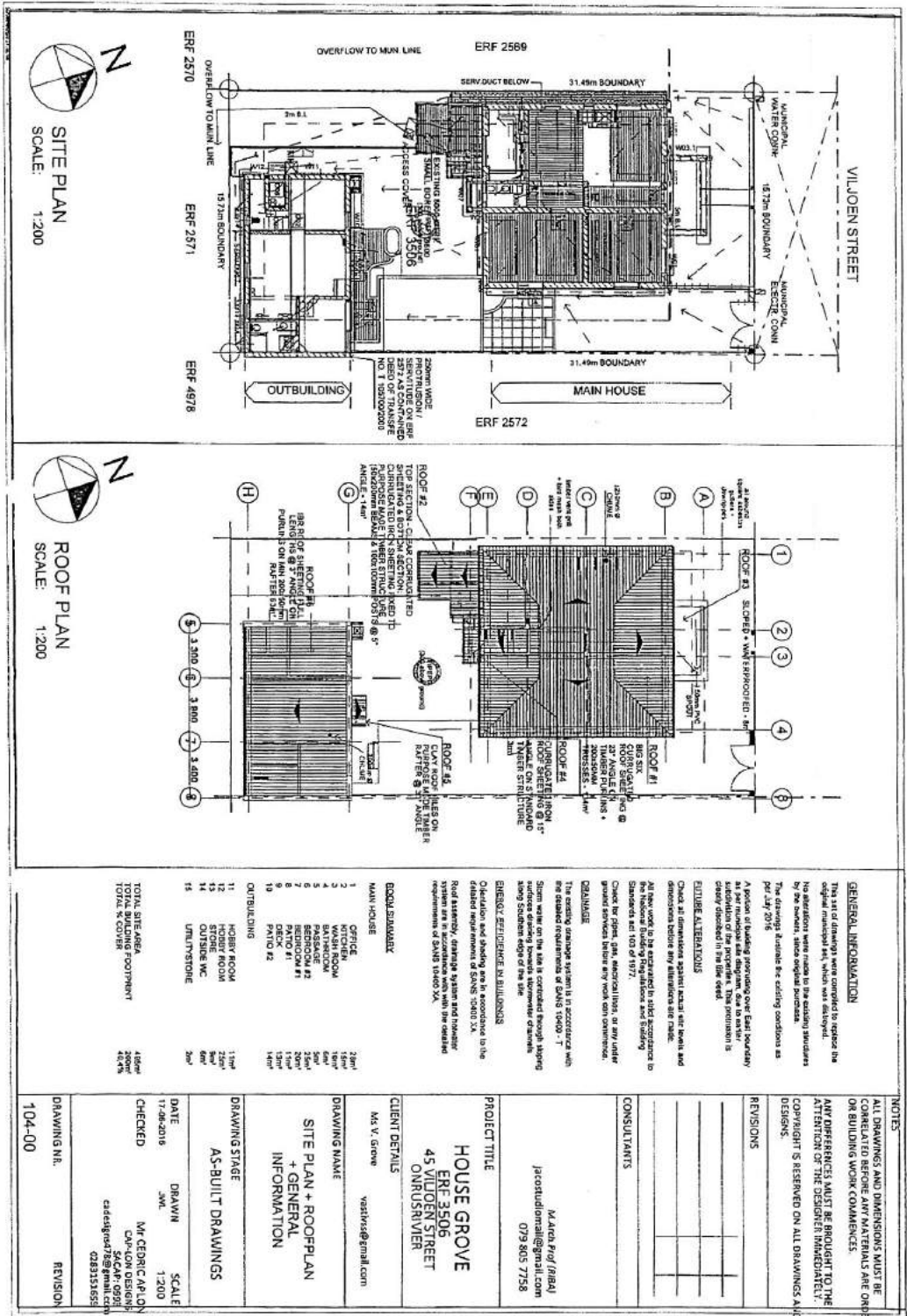
Property Description:
LOCALITY MAP

Property Description:
**ERF 3506
 ONRUSTRIVIER**

All dimensions approximate
 and subject to survey.
 Copy Right Reserved

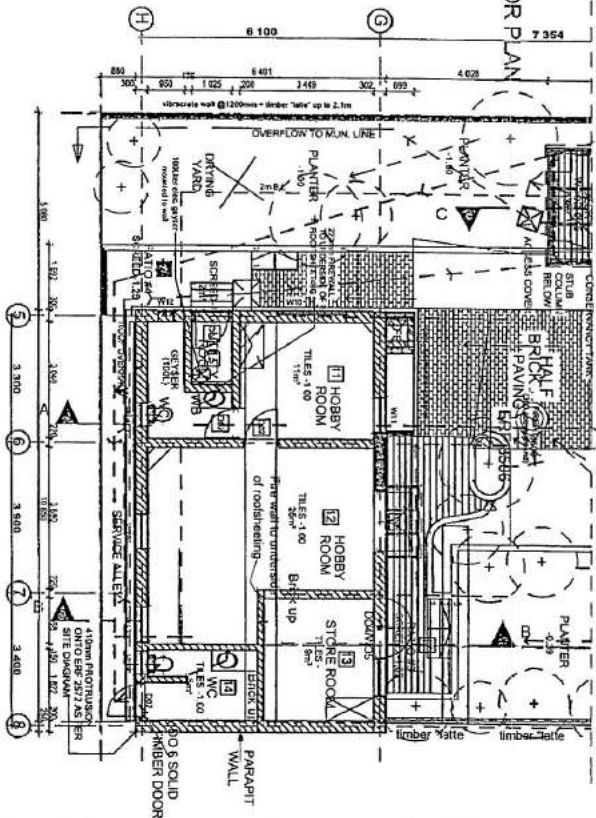
Scale: 1:1000
 Date: 01 NOVEMBER 2019

Scale: 1:1000
 Date: 01 NOVEMBER 2019





OUTBUILDING - GROUND FLOOR PLAN
SCALE: 1:100



DOOR SCHEDULE
SCALE: 1:50

REF. CODE	ELEVATION	QUANTITY	SPEC.	ADDITIONAL
D01		1	STANDARD TIMBER AWF 900 X 2100	Security Gate open to outside
D02		7	STANDARD TIMBER AWF 900 X 2100	
D03		1	STANDARD TIMBER SLIDING 1800 X 2800	Flush Front Glass Panel
D04		1	ALUMINIUM SINGLE DOOR 900 X 2100	Colour to match WOS
D05		2	WOODEN DOUBLE DOOR 1800 X 900	
D06		1	STAND. TIMBER SOLID CORE 900 X 2100	

NOTES
ALL DRAWINGS AND DIMENSIONS MUST BE CORRELATED BEFORE ANY MATERIALS ARE ORDERED OR BUILDING WORK COMMENCES.
ANY DIFFERENCES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. COPYRIGHT IS RESERVED ON ALL DRAWINGS AND DESIGNS.

REVISIONS

CONSULTANTS

PROJECT TITLE
HOUSE GROVE
ERE 3506
45 WILDEN STREET
ONRUSVIEW

CLIENT DETAILS
Ms V Grove
vashog@gmail.com

Macra Prof./Arch
jacostudionline@gmail.com
079 805 7758

DRAWING NAME
OUTBUILDING
FLOOR PLAN
+ DOOR SCHEDULE

DRAWING STAGE
AS-BUILT DRAWINGS

DATE
17-08-2018

CHECKED
JML

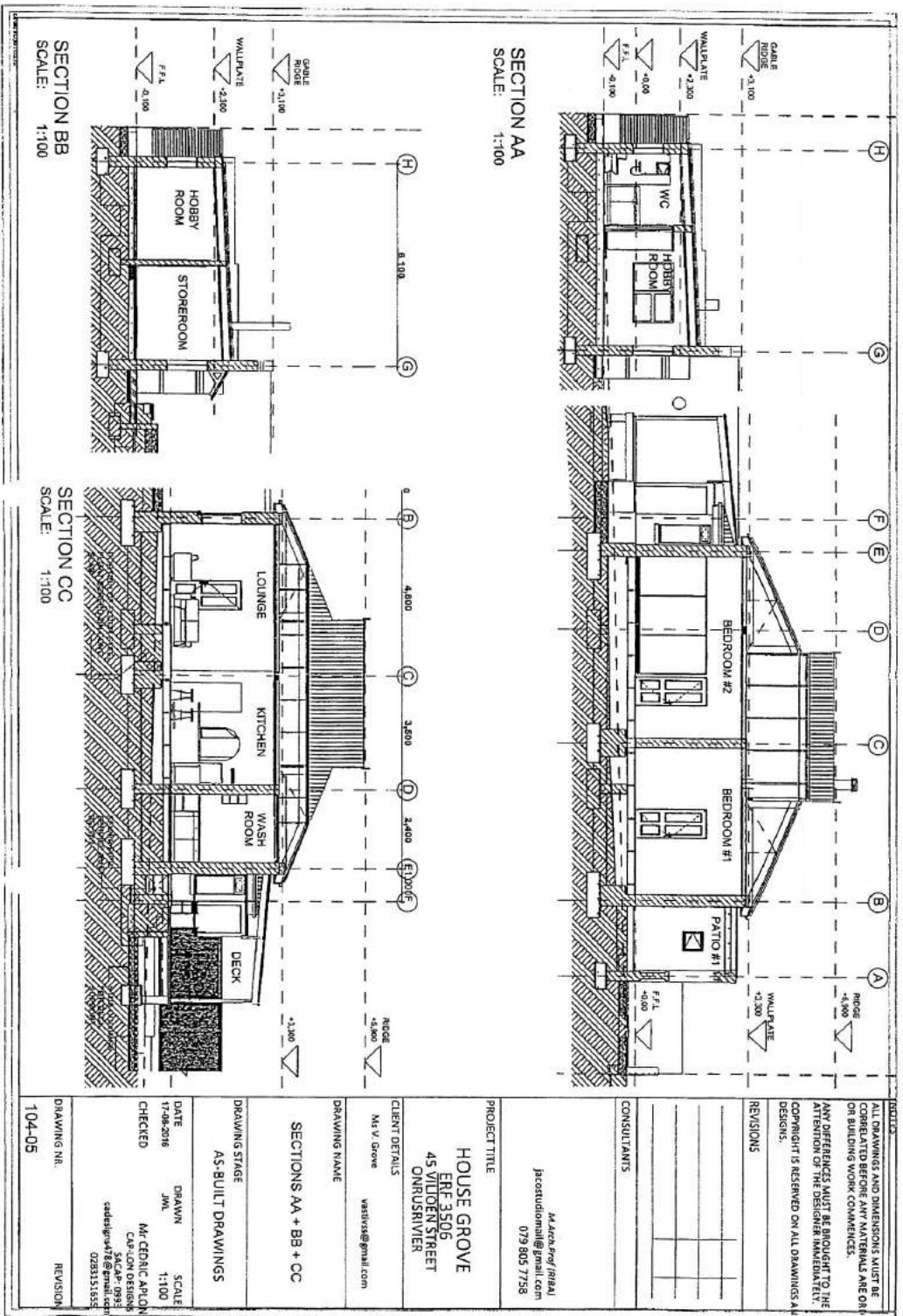
DRAWN
JML

SCALE
1:100 / 1:50

Mr CERIC AYLON
CAPLON DESIGN
7600 LAR
CAD@caplondesign.com
0283151555

DRAWING NR.
104-02

REVISION



ALL DRAWINGS AND DIMENSIONS MUST BE CORRELATED BEFORE ANY MATERIALS ARE ORDERED OR BUILDING WORK COMMENCES.

ANY DIFFERENCES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. COPYRIGHT IS RESERVED ON ALL DRAWINGS AND DESIGNS.

REVISIONS

NO.	DESCRIPTION

CONSULTANTS

M. Acton Prof (RIBA)
jacostudion@icloud.com
079 805 7758

PROJECT TITLE

HOUSE GROVE
ERE 3505
45 VILLEN STREET
ONRUSDRIVER

CLIENT DETAILS

M. V. Grove
vastovs@gmail.com

DRAWING NAME

SECTIONS AA + BB + CC

DRAWING STAGE

AS-BUILT DRAWINGS

DATE

17-08-2018

DRAWN

J.M.L.

CHECKED

Mr CERON APIDON
CAPADON DESIGN
capiadon@icloud.com
0283151555

DRAWING NR.

104-05

REVISION

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**33. ERF 2977, 25 PROTEA STREET, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ENGELBRECHT &
SCORGIE ON BEHALF OF KR DU PLESSIS AND AE BURGOYNE**

2977 HON (2761/2019)

H Olivier

(028) 313 8900

Hermanus Administration

24 June 2019

Executive Summary

An application has been received on 7 November 2018 from Messrs Engelbrecht & Scorgie on behalf of KR du Plessis and AE Burgoyne on Erf 2977, Onrustrivier for a departure application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

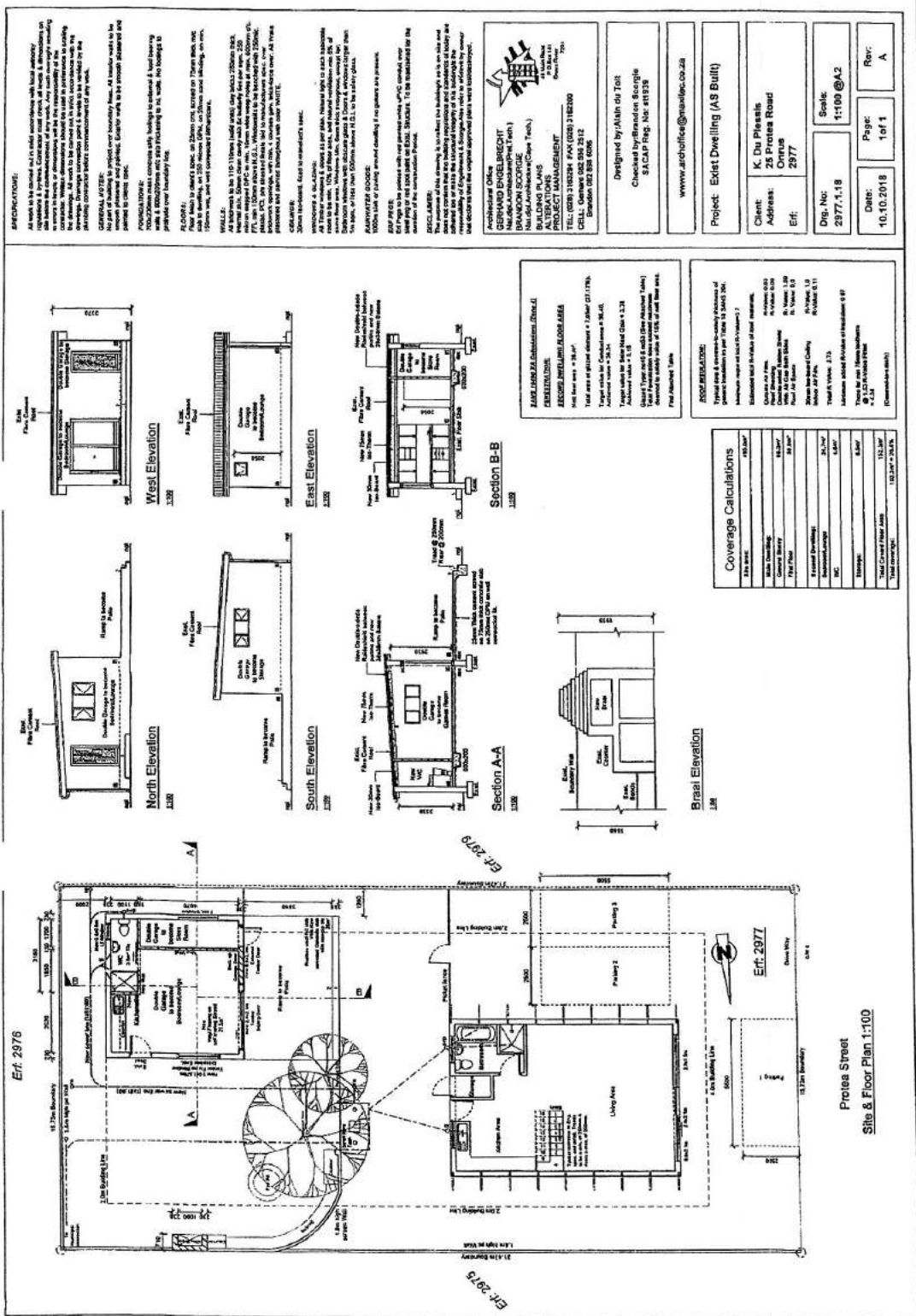
- To relax the southern lateral building line from 2m to 1,2m to accommodate the use change of an existing garage to a store room and en-suite for a second dwelling;
- To relax the northern lateral building line from 2m to 0m to accommodate an existing built braai.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 2977, Onrustrivier to relax the 2m southern lateral building line from 2m to 1,2m to accommodate a use change of a garage into a store room and en-suite for a second dwelling, and to relax the northern lateral building line from 2m to 0m to accommodate an existing braai, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the lateral building lines as indicated on plan 2977.1.18 dated 10/10/2018 submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;

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- (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with;
 - (f) that all the conditions by Telkom, be complied with, and
 - (g) that all the conditions by Eskom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



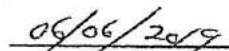
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2977, ONRUS RIVER (2761/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of *SANS 10400 – P:2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2977, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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34. ERF 7342, 306 TENTH STREET, HERMANUS (VOËLKLIP): APPLICATION FOR DEPARTURE: MESSRS ENGELBRECHT & SCORGIE ARCHITECTURAL OFFICE ON BEHALF OF THE HJ POIET FAMILY TRUST

7342 HVK (4188)

P Roux

(028) 313 8900

Hermanus Administration

26 June 2019

Executive Summary

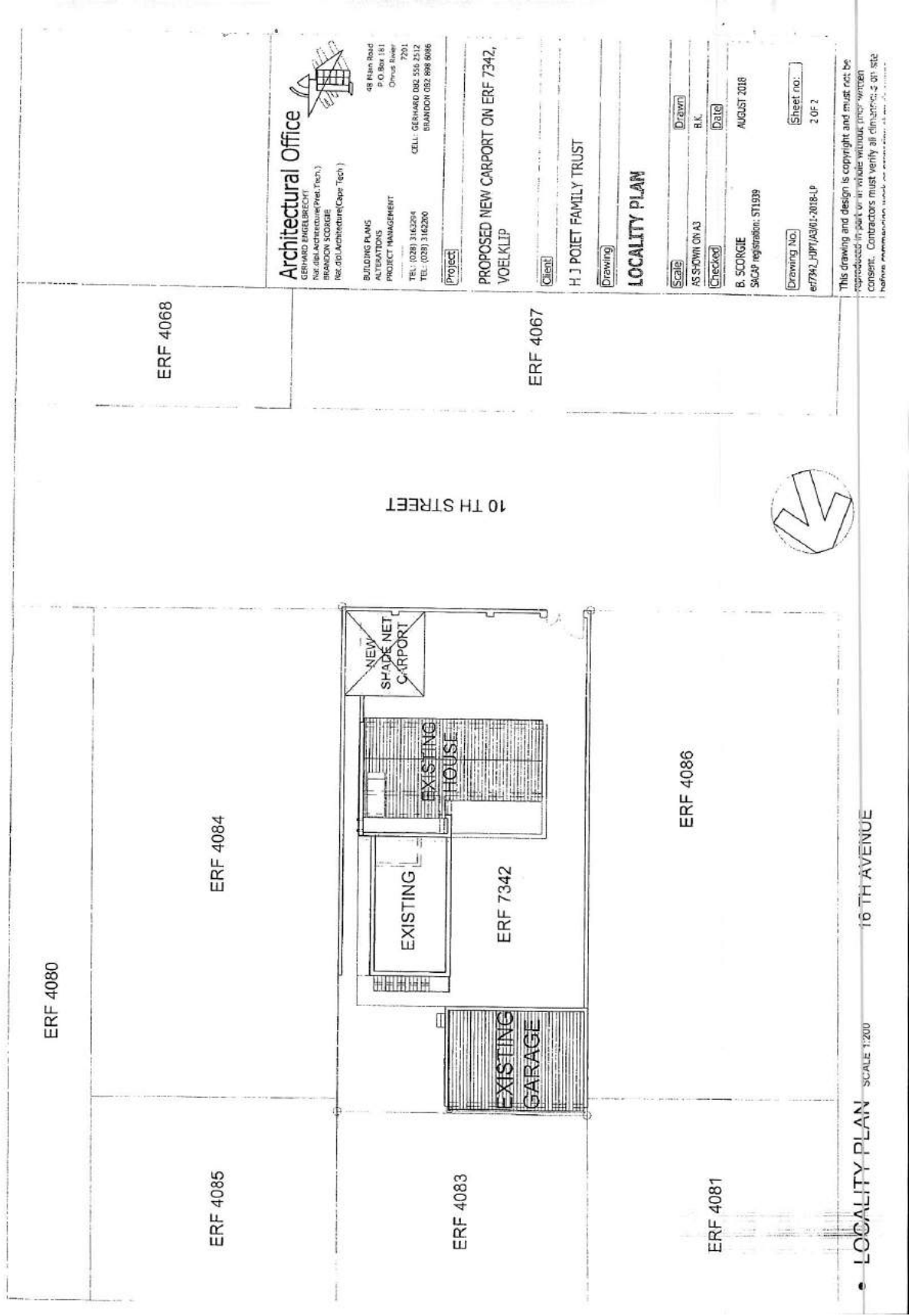
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 26 September 2018 from Messrs Engelbrecht & Scorgie Architectural Office on behalf of the HJ Poiet Family Trust applicable to Erf 7342, Hermanus to relax the eastern lateral building line from 2m to 0m and the street building line from 4m to 0m in order to accommodate a shade carport.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 7342, Hermanus (Voëlkliip) to relax the eastern lateral building line from 2m to 0m and the street building line from 4m to 0m in order to accommodate a shade carport, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as per dimensions indicated on Plan Number erf7342_HJPT/A1/01-2018-WD dated August 2018, which was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
 - (c) that no direct access from the street to the carport is permitted and that no sides of the structure be sealed off;
 - (d) that the relevant conditions Engineering Services, be adhered to;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Architectural Office
 GERHARD ENGELBRECHT
 NURJIBLAKHACHINDI (Pret. Tech.)
 BRANDON SCORGIE
 Reg. 201 Architecture (Cape Tech.)

48 Pine Road
 P.O. Box 181
 Orinda River
 7201
 CELL: GERHARD 082 556 2512
 TEL: (08) 3162294
 BRANDON 082 898 8086

Project
 PROPOSED NEW CARPORT ON ERF 7342,
 VOELKLIP

Client
 H. J. POIET FAMILY TRUST

Drawing
 LOCALITY PLAN

Scale
 AS SHOWN ON A3

Drawn
 B.K.

Checked
 B. SCORGIE

Date
 AUGUST 2018

Drawing No.
 e1794_LFP/A301-2018-LP

Sheet No.
 2 OF 2

This drawing and design is copyright and must not be reproduced in part or in whole without prior written consent. Contractors must verify all dimensions on site before commencement of work. See drawing sheet 1 of 2.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 7342, VOELKLIP (4188)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 7342, Voelklip, unobstructed;
6. that the existing vehicular entrance be used for access to the proposed carport;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

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**35. ERF 7582, 43 ROCKLANDS STREET, HERMANUS (WESTCLIFF),
OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE:
MESSRS NEEL SAAYMAN ARCHITECTS CC ON BEHALF OF P & D
TURPIE**

7582 HWC (2799)

H van der Stoep

(028) 313 8900

Hermanus Administration

26 June 2019

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 5 December 2018 from Messrs Neel Saayman Architects CC on behalf of P & D Turpie to relax the south-western lateral building line of Erf 7582, Hermanus from 2m to 0m and the rear building line from 2m to 0m, as well as to exceed the prescribed combined length of the garages within the lateral building line with $\pm 2,95\text{m}$ in order to accommodate a motorcycle garage.


RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the south-western lateral building line of Erf 7582, Hermanus from 2m to 0m and the rear building line from 2m to 0m, as well as to exceed the prescribed combined length of the garages within the lateral building line with $\pm 2,95\text{m}$ in order to accommodate a motorcycle garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the dimensions as per plan numbers A201 – A208 dated 03/12/2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department and that all conditions of the Building Department and Fire Services be complied with at that stage;
 - (c) that the applicable conditions of Engineering Services and Telkom respectively, be complied with;
 - (d) that all other development parameters as set out in the Zoning Scheme be complied with, and

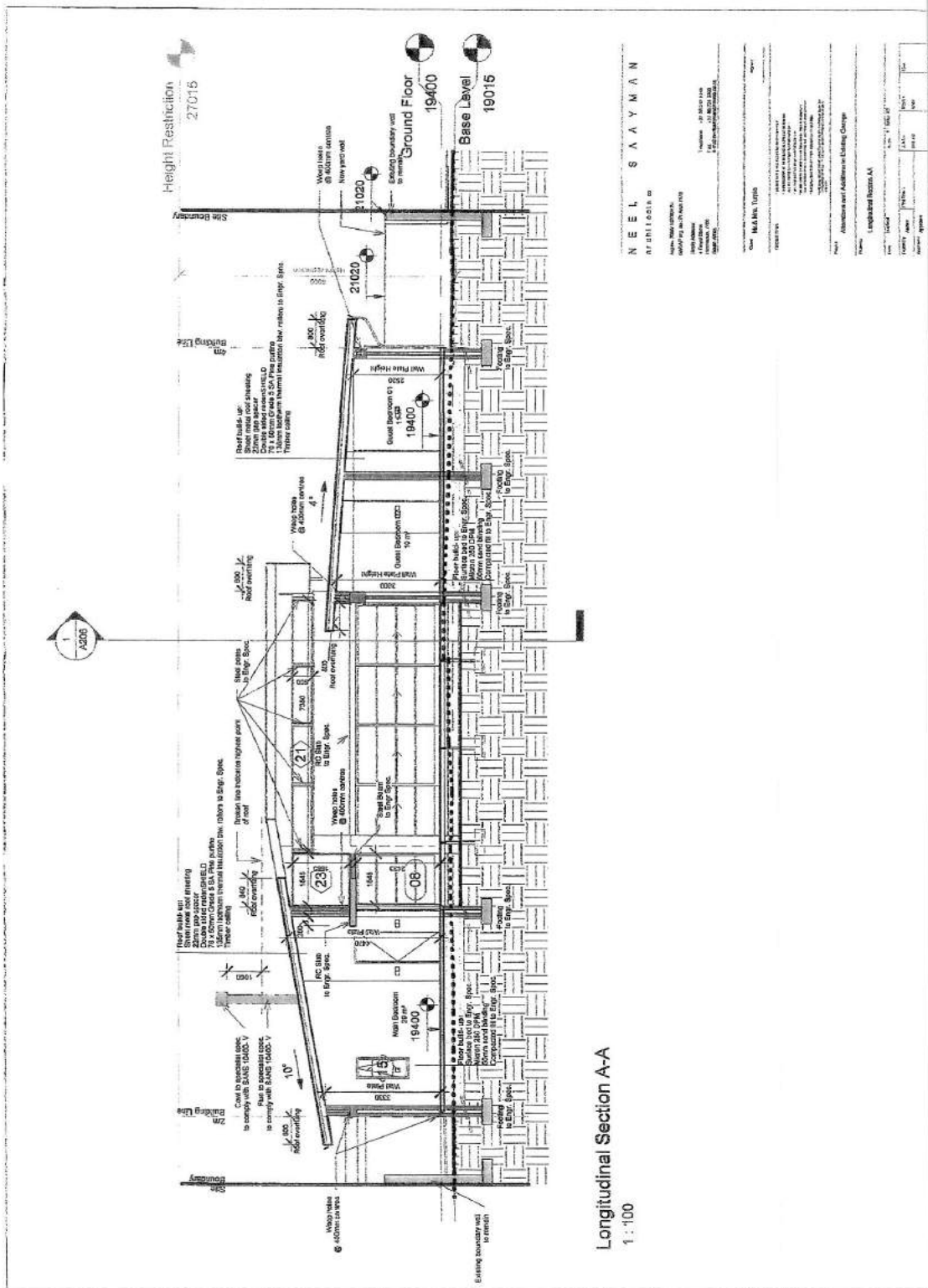
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- (e) that the above approvals do not exempt the landowner from compliance with any other applicable legislation.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions.



OVERSTRAND
 LOCAL MUNICIPALITY
 Locality Map
ERF 7582, HERMANUS (WESTCLIFF)

Date: 2019-07-11



Longitudinal Section A-A
1:100

N E E L S A A Y M A N
ARCHITECTS

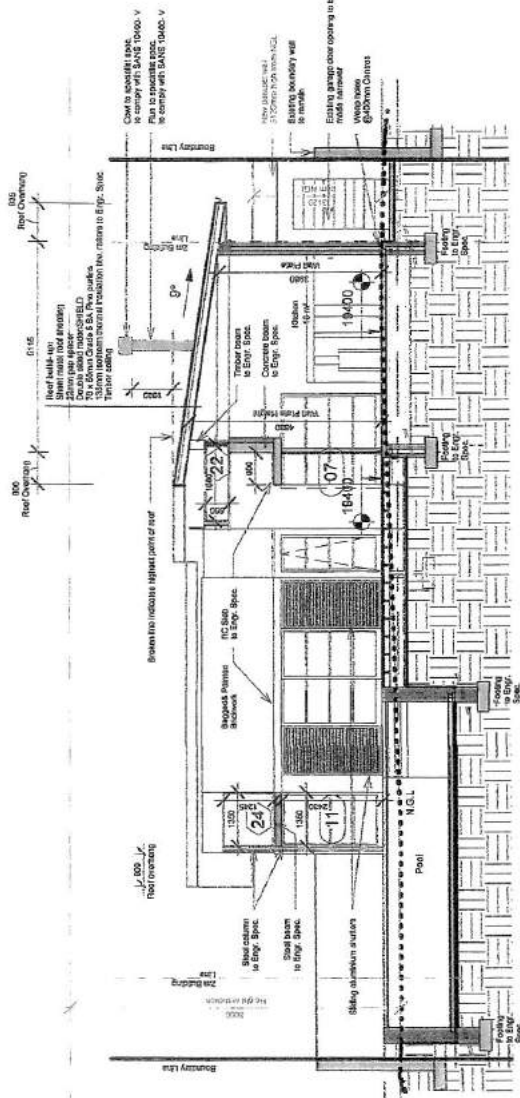
1000, 10th Street, New York, NY 10018
Tel: (212) 904-9000
Fax: (212) 904-9001
www.nesayman.com

Client: M.A. M. Taha
Project: [illegible]
Date: [illegible]

Architect: M.A. M. Taha
Scale: 1:100
Date: [illegible]

Approved: [illegible]
Date: [illegible]

Project: [illegible]
Scale: 1:100
Date: [illegible]



Height Restriction
27015

Ground Floor
19400

Base Level
19015

Cross Section A-A
1 : 100

NEEL SAAYMAN

REGISTERED ARCHITECT

101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 7582, WESTCLIFF (2799/2018)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 7582, Westcliff, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

20/12/2018
DATE

07 JAN 2019

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

Municipal Planning Tribunal

1. **ERF 857, 24 LOOP STREET, FRANSKRAAL, OVERSTRAND MUNICIPAL AREA: PROPOSED REMOVAL OF RESTRICTIONS AND DEPARTURES: MESSRS ME PLANNERS ON BEHALF OF JC & N KORKIE**

857 GFK (4043)

SW van der Merwe

(028) 313 8900

Hermanus Administration

13 March 2019

Executive Summary

An application has been received on 14 June 2018 from Messrs ME Planners on behalf of JC & N Korkie on Erf 857, Franskraal for the following:

- ❖ Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of the restrictive condition in Title Deed T76927/1998, Clause C.5(d):

“no building or structure or any portion thereof, except boundary walls and fences, shall be erected nearer than 4,72 metres of the street line which forms a boundary of this erf, nor within 3,15 metres of the rear or 1,57 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed rear space. On consolidation of any two or more erven this condition shall apply to the consolidated area as one erf.”

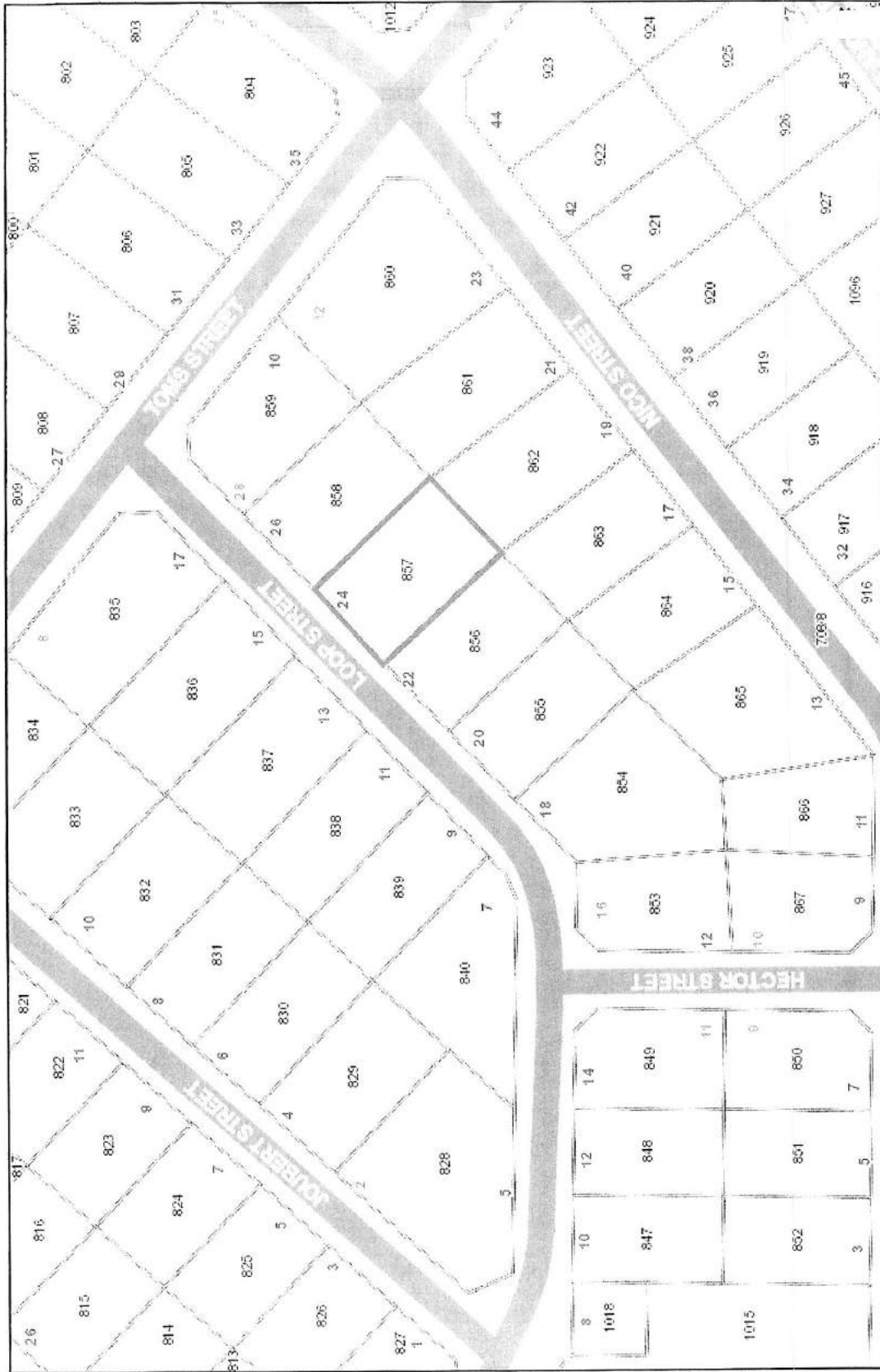
- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to encroach the eastern lateral- and southern rear building line from 2m to 0m to accommodate an existing shade port and carport.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 857, Franskraal for the removal of restrictive Clause C.5(d) in Title Deed T6927/1998, **be approved** in terms of the provisions of Section 61 of the By-Law;

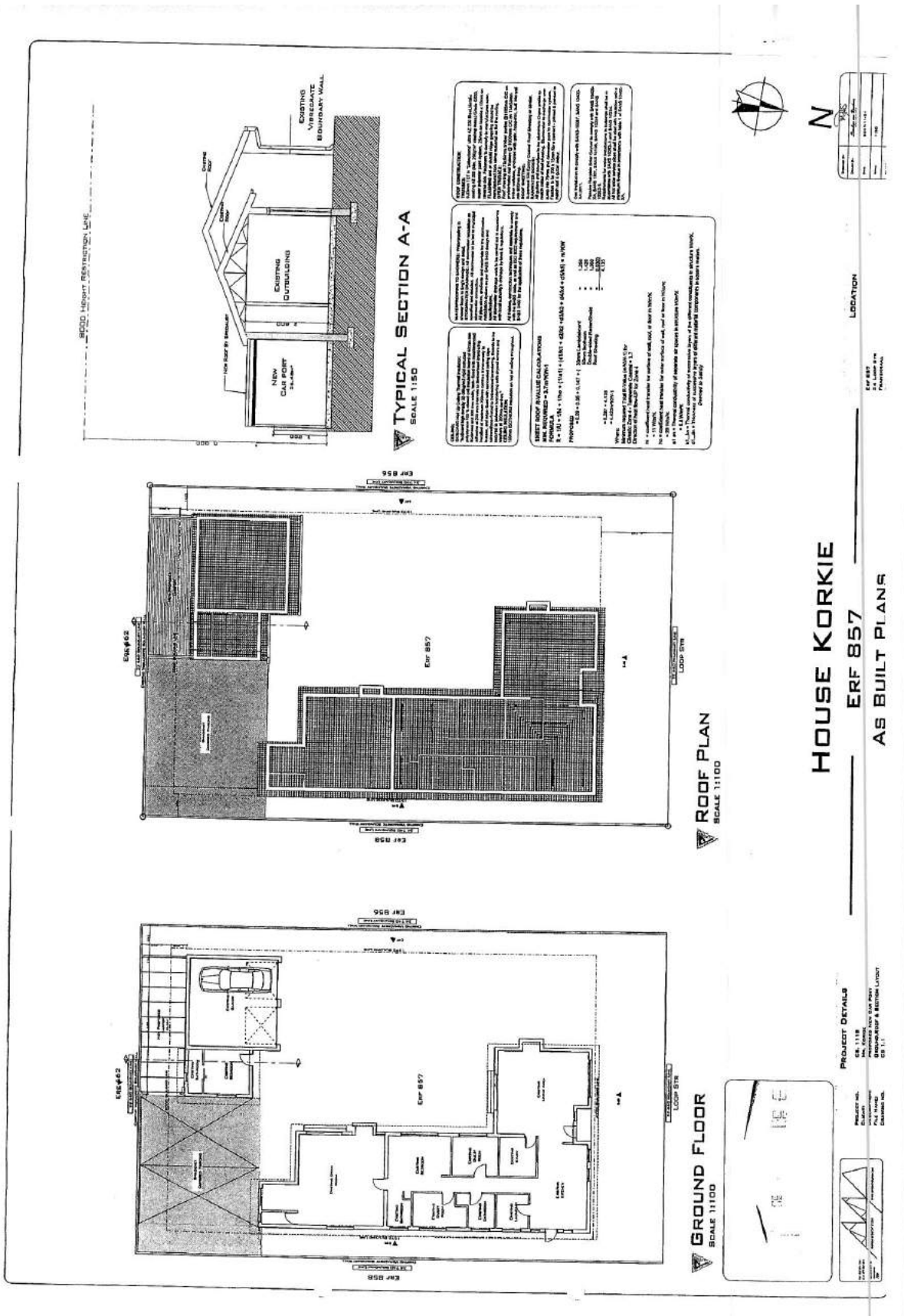
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

2. that the application in terms of Section 16(2)(b) of the afore-mentioned By-Law on Erf 857, Franskraal in order to relax the southern rear- and eastern lateral building line from 2m to 0m to accommodate a carport and shade port, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in paragraphs 1. and 2. above be subject to the following conditions:
 - (a) that the approval only relate to the buildings as indicated on the plan dated 2017/11/21 submitted with the application;
 - (b) that building plans be submitted to the Building Department, and that all conditions set by the Building and Fire Departments at that stage, be complied with;
 - (c) that all the conditions in the Services Report be complied with;
 - (d) that this approval does not relate to approvals in terms of any other legislation;
 - (e) that this approval does not absolve the landowners from compliance with any other relevant legislation; and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



LOCALITY PLAN: ERF 857 FRANSKRAAL

Date: 2019-0



Project No.	1116
Client	Mr. & Mrs. J. J. Korkie
Address	1116
City	1116
Country	1116

GROUND FLOOR
SCALE 1:100

ROOF PLAN
SCALE 1:100

TYPICAL SECTION A-A
SCALE 1:50

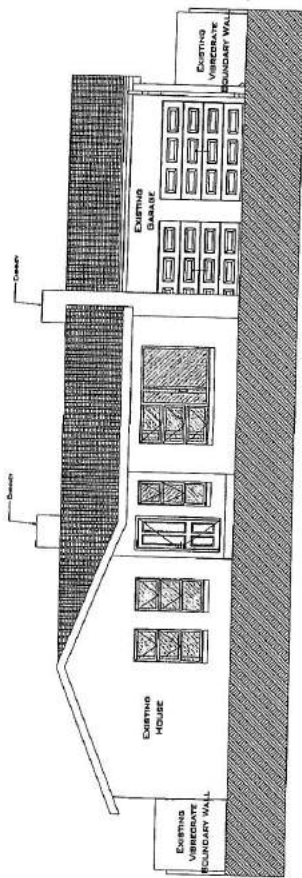
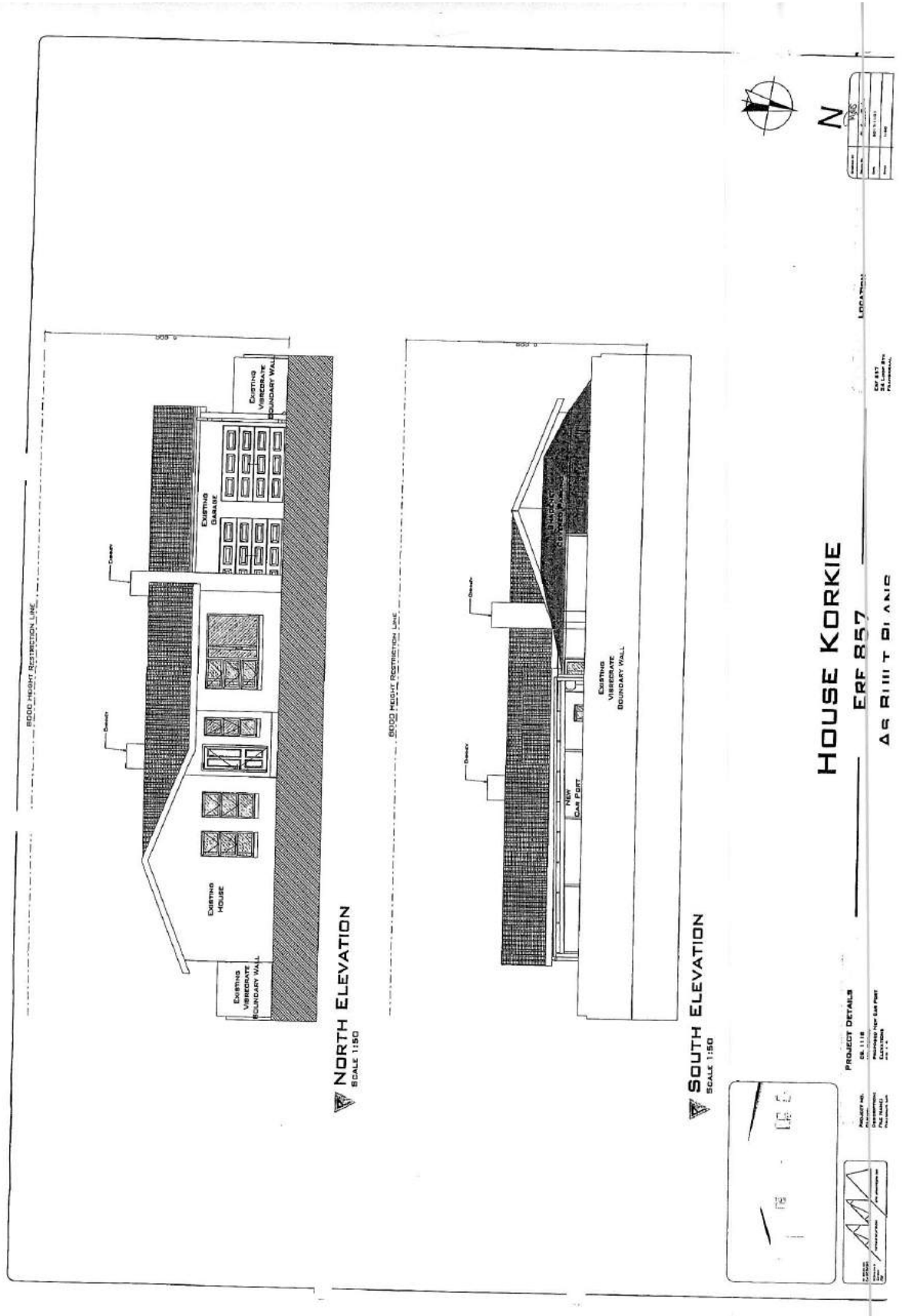
NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE SANS 10400 SERIES.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

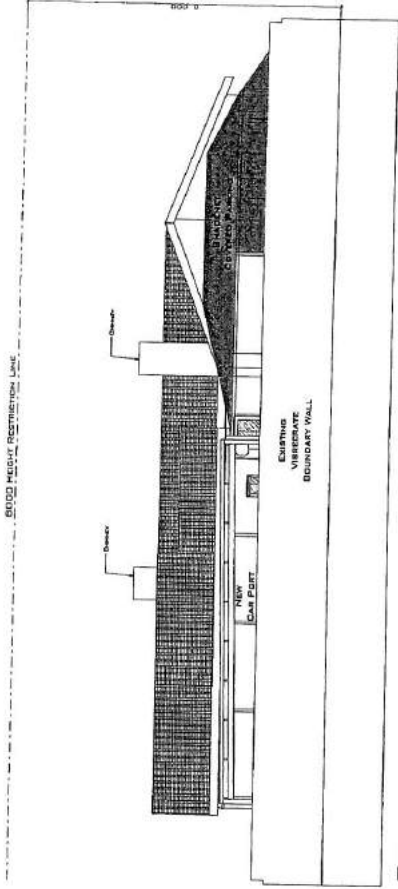
HOUSE KORKIE
ERF 857
AS BUILT PLANS

PROJECT DETAILS
NO. 1116
MR. & MRS. J. J. KORKIE
1116
1116





NORTH ELEVATION
SCALE 1:150



SOUTH ELEVATION
SCALE 1:150



PROJECT DETAILS
 ERF 857
 HOUSE KORKIE
 AR RIII T B I A N I S

HOUSE KORKIE
ERF 857
AR RIII T B I A N I S

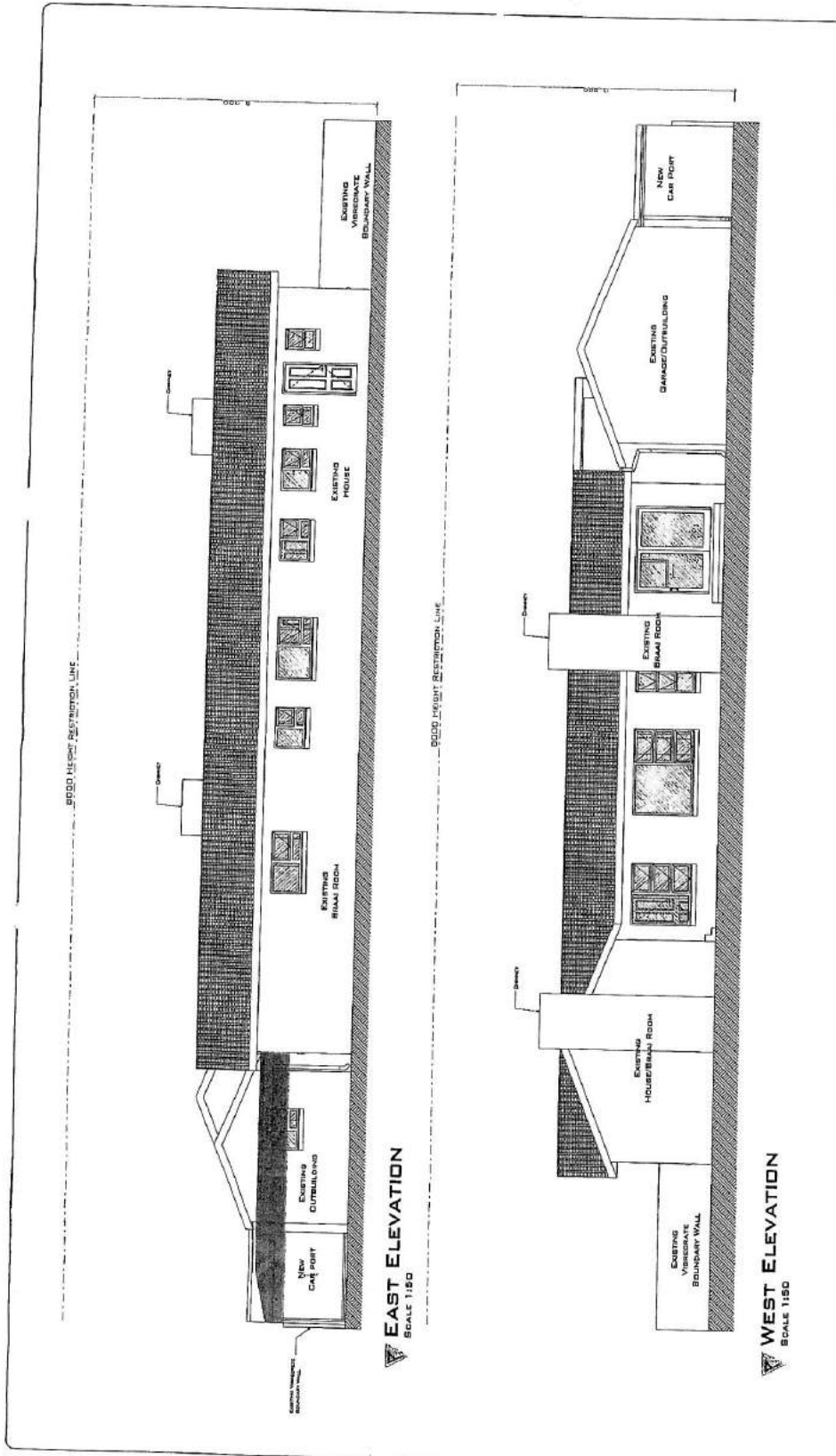


N

DATE	15/05/2018
BY	AR RIII T B I A N I S
FOR	AR RIII T B I A N I S
SCALE	1:150

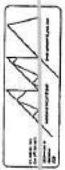
LETOA PHEBUS

ERF 857
 AR RIII T B I A N I S
 PRESENTATION



EAST ELEVATION
SCALE 1:150

WEST ELEVATION
SCALE 1:150



PROJECT DETAILS
 04.11.18
 PROJECT NO.
 DRAWING NO.
 SHEET NO.

HOUSE KORKIE
ERF 857
AS BUILT PLANS

LOCATION

ERF 857
 PRETORIA



N

DATE	04.11.18
PROJECT NO.	
DRAWING NO.	
SHEET NO.	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIONS & DEPARTURE: ERF
857 FRANSKRAAL (4043)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water connection and sewer conservancy tank to Erf 857 shall be used to service Erf 857;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 857, Franskraal, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

19 DEC 2018

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**2. PORTION 63 OF THE FARM ROCKLANDS NO. 633, DIVISION CALEDON,
OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: ATLAS
TOWN PLANNING ON BEHALF OF EAGLES NEST WINES**

Ptn 63/633 (3823)

P Roux

(028) 313 8900

Hermanus Administration

2 April 2019

Executive Summary

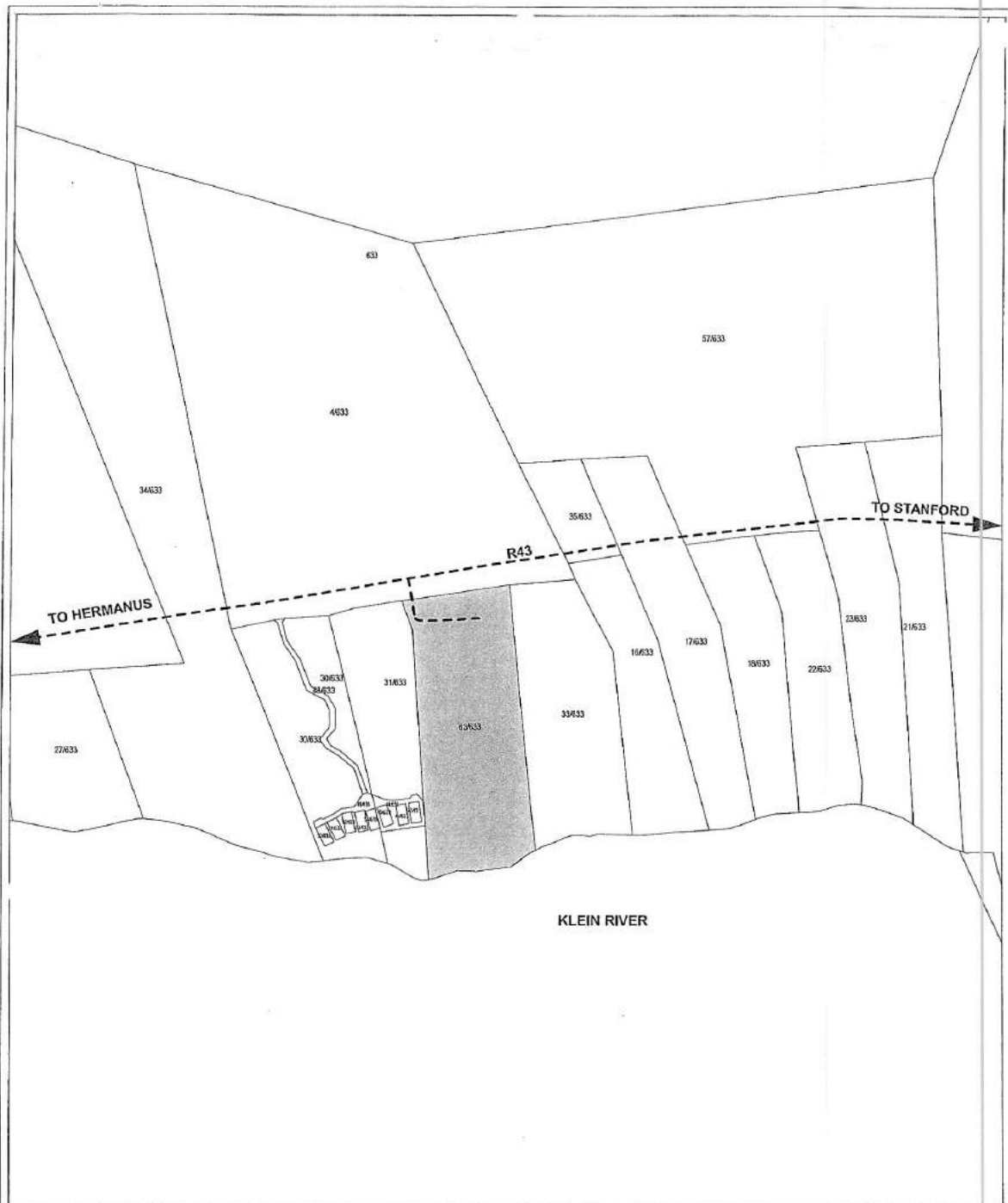
An application has been received in terms of Section 16(2)(o) and (b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), applicable to Portion 63 of the Farm Rocklands No. 633, Division Caledon in order to accommodate a boutique winery and micro-brewery on the property, which structures encroach the applicable building line from 30m to 20,89m.

RESOLVED :

1. that the objection be noted;
2. that the application in terms of Section 16(2)(o) and (b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Portion 63 of the Farm Rocklands No. 633, Division Caledon in order to accommodate a boutique winery on the property, which structures encroach the applicable building line from 30m to 20,89m, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approvals are for the development as indicated on drawing no 806-1/3,2/3 & 3/3 as submitted with the application;
 - (b) that this approval is only for a boutique winery on the subject property;
 - (c) that prior to the submission of building plans and the operation of the boutique winery a revised Site Development Plan indicating the on-site treatment plant of the waste water and the required water use licences, be submitted to the Town Planning Department;
 - (d) that building plans be submitted to the Building Department for approval;
 - (e) that all the conditions imposed by Fire Services, Telkom, Department of Transport and Public Works, Eskom, Department of Environmental Affairs and Development Planning (Environmental Component), Engineering Services Report, CapeNature, and Breede-Gouritz Catchment Management Area, be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

- (f) that the additional and existing uses comply with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (g) that applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
3. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



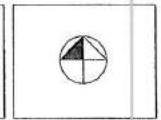
DATE:
SEPTEMBER 2017

PLAN:
LOCALITY

CLIENT:
EAGLES' NEST WINES (PTY) LTD

**PROPOSED CONSENT USE -
PORTION 63 OF FARM 633,
HERMANUS (DIVISION
CALEDON)**

N.T.S



ATLAS
Town Planning
P.O. BOX 880, KUILSRIVIER, 7579 (021) 8017446

AREA
Site area = 10.95ha

PROPOSED WINE CELLAR = 49.3m²
PROPOSED OFFICE = 16.7m²

EX. BARN, NO ADDITIONAL AREA
6 PARKING BAYS & 1 LOADING BAY PROVIDED

SITE DEVELOPMENT PLAN
STONEFIELD FARM
R43
HERMANUS
ERP- 63/633

Scale: 1:2500
Date: October 2017
Drawn: D. van Diehl
Checked: C. de Beer
Project: T0459
Tel: 021 564-632
Cell: 084255409
servo@landplan.co.za

DWG. NO. 806-1/3

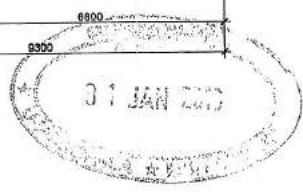
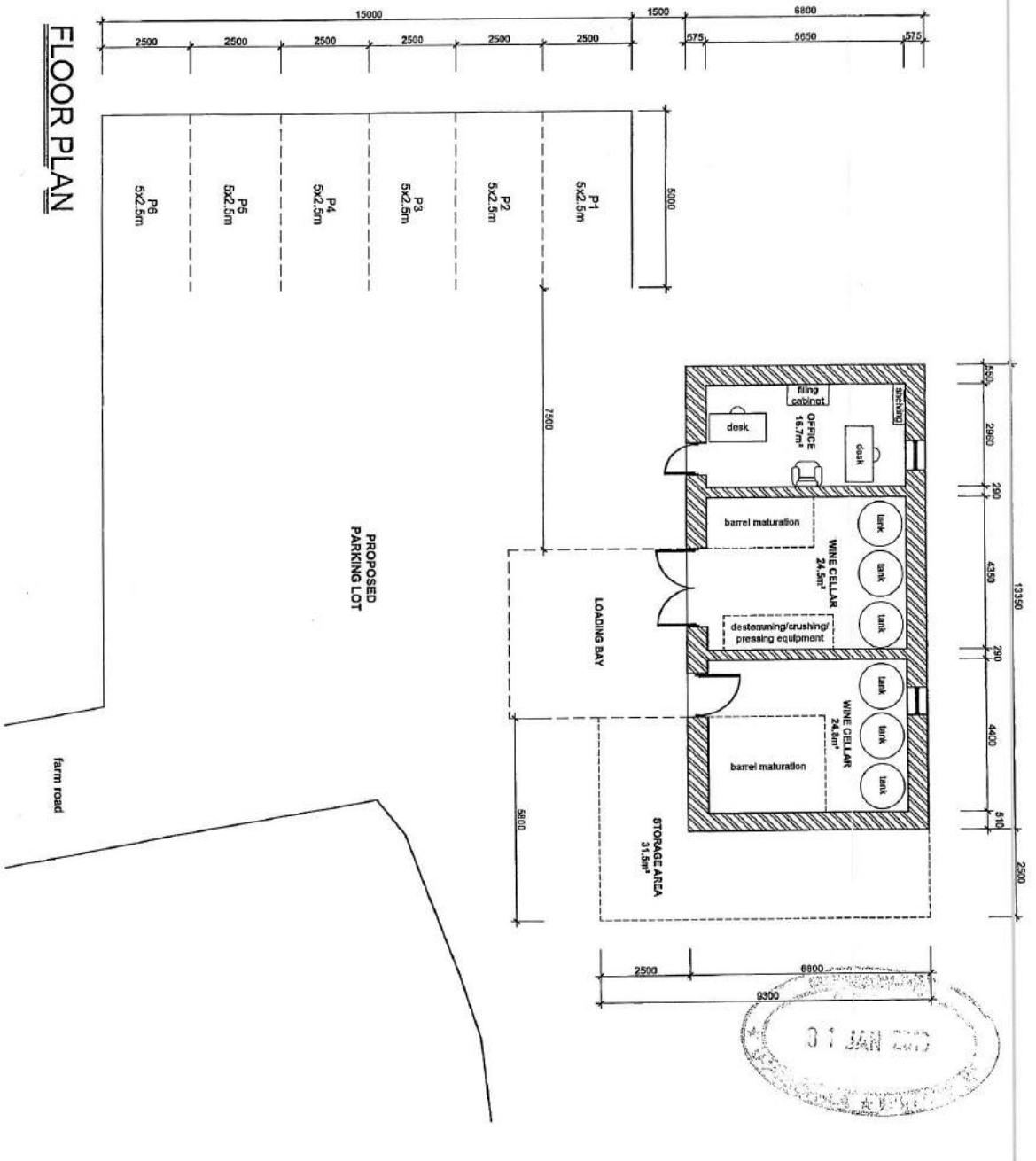


SITE DEVELOPMENT PLAN
STONEFIELD FARM
R43
HERMANNUS
ERF 63/633

Scale: 1:100
 Date: October 2017
 Drawn: D. van Driel
 Checked: C. de Beer
 Project: T0489
 Tel: 0715594632
 Cell: 084625409
 Servo@bancorbuildings.co.za

DWG. NO. 806-2/3

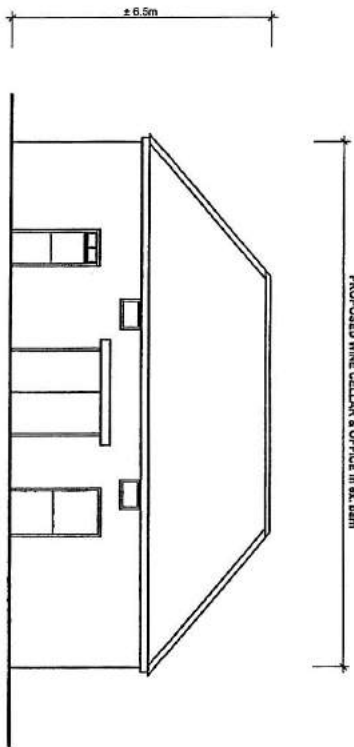
FLOOR PLAN



SITE DEVELOPMENT PLAN
STONEFIELD FARM
R43
HERMANUS
ERF 63/633

Scale: 1:100
Date: October 2017
Drawn: D. van Diek
Checked: C. de Beer
Project: T048
Tel: 021 6644392
Cell: 084225409
email: dvan@netnet.co.za

DWG. NO. 806-3/3



SOUTH ELEVATION



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: PORTION 63 OF THE FARM
ROCKLANDS NO. 633 (3823)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water and sewer services from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure & Quality , Overstrand Municipality;
4. that no sewerage service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any sewage disposal;
5. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;
6. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
7. that the disposal of effluent from the site must comply with all relevant legislation, as well as with the *Municipal By-law: Water Supply & Sanitation Services (2009)*, and in light of the proposed wine making activities on site, with specific reference to Section 58: *Objectionable discharge*, Section 72: *Application for the disposal of Industrial effluent*, Section 73: *Unauthorised discharge of Industrial effluent*, Section 76: *Conditions for disposal of industrial effluent* and Annexure A: *Acceptance of industrial effluent for discharge into sewerage disposal system*;

07 JAN 2019

8. *that the acceptance of industrial effluent for discharge into the sewage disposal system: Special Limitations specifically exclude acceptance of, amongst others, any yeast and yeast wastes as well as molasses (spent or unspent) for disposal into the sewage disposal system;*
9. *that, in light of proposed wine making activities on site, the owner is to ensure that all contaminated stormwater run-off from any relevant open areas and wash bays are contained and treated in accordance with the relevant Environmental legislation, SANS 10400: National Building Regulations (more specifically but not restricted to Section R – Stormwater, as well as Section PP11 – Run-off from Washing Area), and the Municipal By-law: Water Supply & sanitation Services (2009), more specifically but not restricted to Section 48: Owner to prevent pollution of water and Section 58: Objectionable discharge. All costs in this regard will be for the owners account;*
10. *that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road;*
11. *that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility.*


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
20 August 2019
(Also the agenda for the Mayoral Committee Meeting : 28 August 2019)**

**3. ERF 6879, 29 CROSS STREET, EASTCLIFF, HERMANUS : PROPOSED
REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND CONSENT
USE : PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF
B BUSSE**

6879 HEC (4234)

P Roux

(028) 313 8900

Hermanus Administration

9 April 2019

Executive Summary

An application has been received in terms of Section 16(2)(o) and (f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) from PlanActive Town- and Regional Planners on behalf of B Busse, on Erf 6879, Hermanus for the following:

- ❖ application for removal of a restrictive title condition with reference to Clause D.(a) of Title Deed T5150/2018 applicable to Erf 6879, Hermanus in terms of Section 16(2)(f) of the aforementioned By-Law.
- ❖ application for consent use in terms of Section 16(2)(o) of the aforementioned By-Law to enable the owner to utilise the existing dwelling house on the property as a three (3) bedroom guesthouse.

RESOLVED :

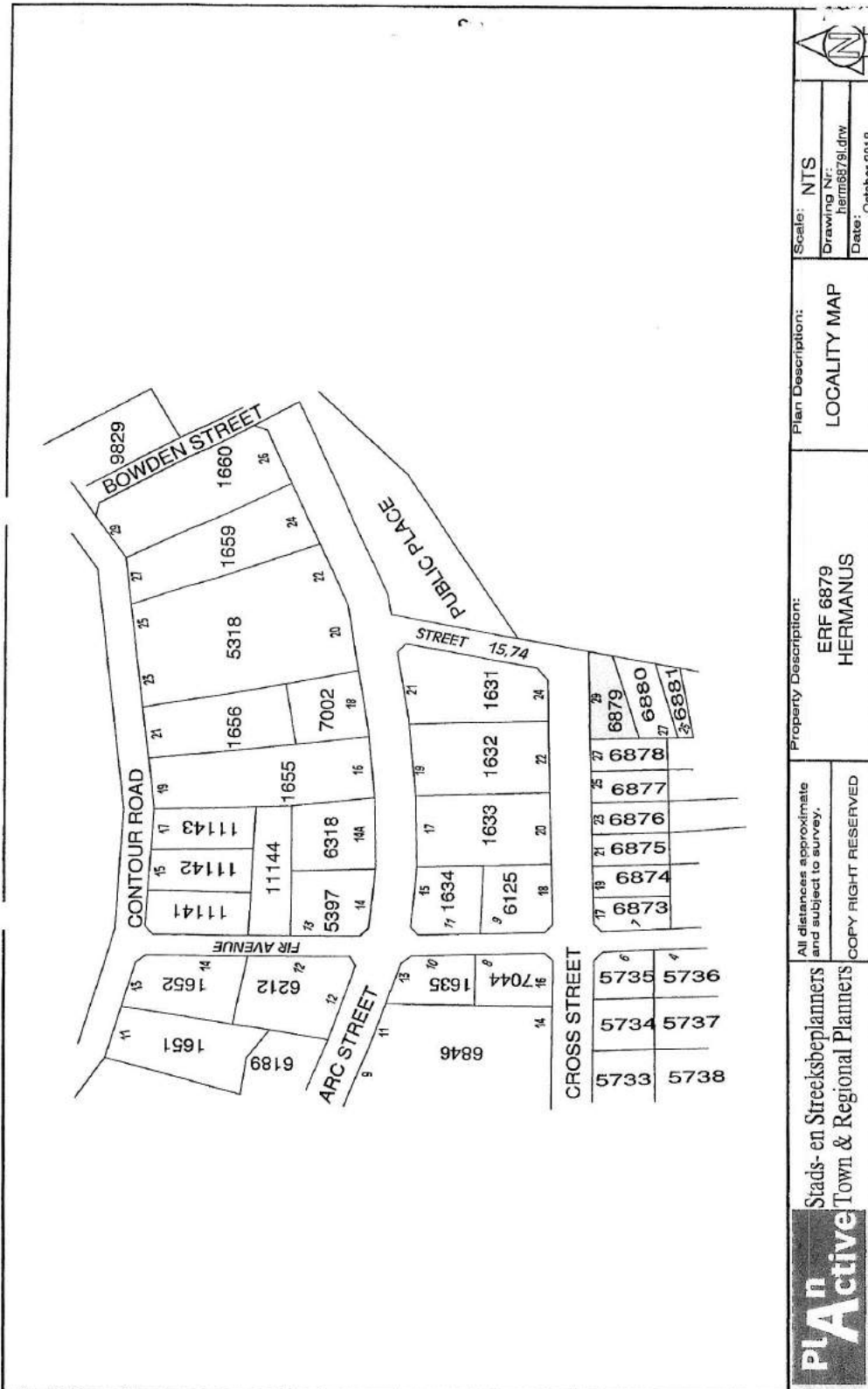
1. that the application received in terms of Section 16.(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed condition D.(a) as contained in Title Deed T5150/2018 applicable to Erf 6879, Hermanus in order to enable the owner to conduct a guesthouse from the property, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16.(2)(o) of the By-Law for consent use for a guesthouse in order to accommodate a guesthouse with three (3) guestrooms on Erf 6879, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals be subject to the following conditions:
 - (a) that the approvals are for the development as indicated on drawing no Erf 6879 –Busse A1-01 to 03 as submitted;
 - (b) that a maximum of three (3) bedrooms to be let, be permitted on Erf 6879 Eastcliff;

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- (c) that the owner/manager resides on the premises and be responsible for the proper management of the guesthouse;
- (d) that the guesthouse is utilised as such – no self-catering will be permitted;
- (e) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;
- (f) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (g) that the selling or serving of liquor will be subject to the owner obtaining the necessary Liquor Licence;
- (h) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on each property;
- (i) that a minimum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries;
- (j) that the applicable tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (k) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (l) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
- (m) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (n) that all the conditions in the Services Report be complied with;
- (o) that all conditions imposed by the Fire Department be complied with;
- (p) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation; and

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- (q) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
- 4. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



	Stads- en Streeksbeplanners Town & Regional Planners	Property Description: ERF 6879 HERMANUS	Plan Description: LOCALITY MAP	Scale: NTS
	All distances approximate and subject to survey. COPY RIGHT RESERVED			Drawing Nr: herm6879.drw Date: October 2018

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED & CONSENT
USE: ERF 6879, EASTCLIFF (4234)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 6879, Eastcliff, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that refuse will be removed from the sidewalks as per municipal arrangement;
9. that no on-street parking be allowed.


**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**


DATE

**AGENDA of the
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4. ERF 572, 13 DUIKER STREET, VERMONT : PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE : PLAN ACTIVE ON BEHALF OF GREGOIRE SE HUIS CC

572 HVM (4155)

H Olivier

(028) 313 8900

Hermanus Administration

6 April 2019

Executive Summary

An application has been received on 29 August 2018 from Messrs Plan Active on behalf of Messrs Gregoire se Huis CC (S Smit) on Erf 572, Vermont for the following:

- ❖ Removal of restrictive title condition in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 572, Vermont for the removal of the restrictive condition in Title Deed T2329/2017, Page 2, Clause 2.(b).

The restrictive condition reads as follows:

“2. SUBJECT to the following special conditions contained in Deed of Transfer No T781 dated 3rd February 1927 imposed for the benefit of the Vermont Seaside Township Limited and all present and future owners of the Lots in the Township of Vermont:-

(b) All buildings on the land hereby transferred shall stand back at least ten feet from the line of the street on which the said lot may front.”

- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 572, Vermont for the following :
 - To relax the western lateral building line from 2m to 1,443m to accommodate an existing double storey art studio and an extension to the stoep.
 - To relax the street building line with Malmok Crescent from 4m to 1m to accommodate a proposed garage, also to relax the same building line from 4m to 1,9m to accommodate the addition to bedroom 5 and en-suite bathroom as well as the existing fireplace on the ground floor and bedroom 1 on the first floor; and lastly to relax the same building line from 4m to 2,213m for the encroachment of a portion of the

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existing cellar and the portion of the proposed open stoep on first floor level.

- To relax the street building line with Marine Drive from 4m to 2m to accommodate the encroachment of a portion of the existing cellar and portion of the stoep on ground floor level, as well as a portion of the proposed open stoep on first floor level.

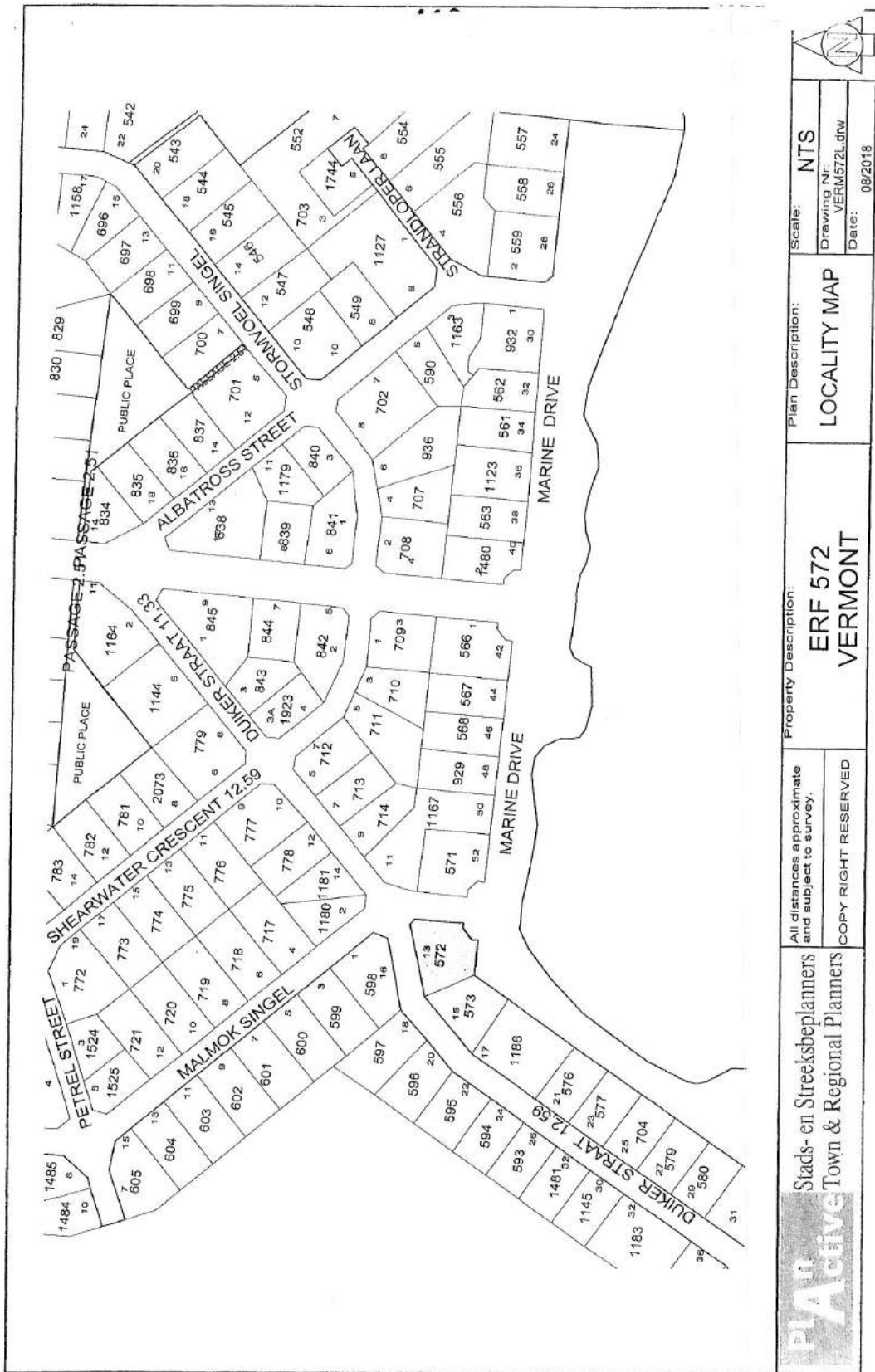
RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 572, Vermont for the removal of restrictive condition 2.(b) of Title Deed T2329/2017, **be approved**, in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 572, Vermont for the following departures:
 - to relax the western lateral building line from 2m to 1,443m to accommodate an existing double storey art studio and stoep;
 - to relax the street building line (next to unmade portion of Malmok Crescent) from 4m to 1m to accommodate a proposed garage, from 4m to 1,9m to accommodate extension to bedroom 5 and from 4m to 2,213m to Malmok Crescent and 2m to Marine Drive road reserve to accommodate a basement wine cellar and enclosed stoep on ground and first floor level

be approved, in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in Points 1. and 2. be subject to the following conditions:
 - (a) that the approval for the departure is only for the building line relaxations as indicated on plans submitted with the application dated 17 April 2018;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that all the conditions in the Services Report be complied with;

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- (f) that all the conditions of Telkom be complied with, and
 - (g) that all the conditions of Eskom be complied with.
4. that the applicant and objectors be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



	Stads- en Streeksbeplanners Town & Regional Planners	Property Description: ERF 572 VERMONT	Plan Description: LOCALITY MAP	Scale: NTS Drawing No: VERM572L.dwg Date: 09/2018
	All distances approximate and subject to survey. COPY RIGHT RESERVED			

REVISIONS

GENERAL NOTES:
 STRUCTURAL ENGINEER TO BE APPOINTED BY OWNER TO CHECK AND APPROVE
 STRUCTURAL INTEGRITY OF THIS DESIGN. ADVISE ON ADVERSE SITE AND / OR SOIL CONDITIONS
 AND INSPECT WORKS PERIODICALLY AND ISSUE OF STRUCTURAL COMPLETION CERTIFICATE
 BUILDING REGULATIONS AND PERFORMED BY QUALIFIED AND
 REGISTERED CONTRACTOR TO MEET WITH ALL LOCAL MUNICIPAL
 REQUIREMENTS. ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO COMMENCING SITE WORKS.
 FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE
 TO SCALING DRAWINGS.
 ALL RELIEVED DETAILS DIMENSIONS TO BE
 CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

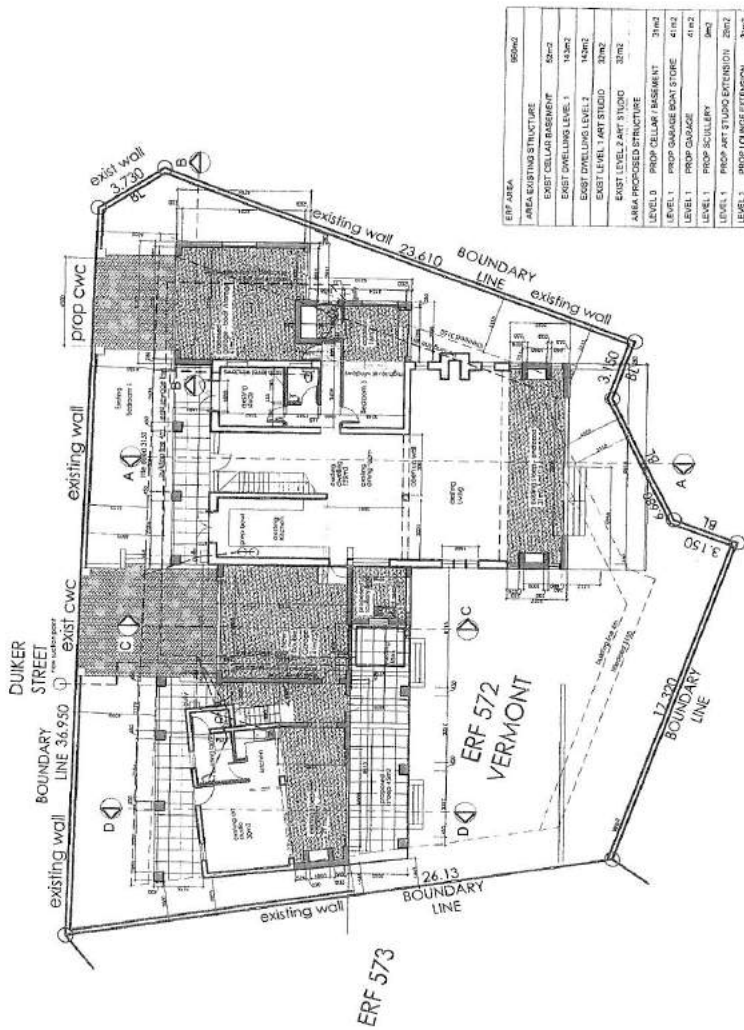
SKETCH	WORKING DWG
COUNCIL	SIT
NO. IN SET	DATE



QJD DESIGN STUDIO
 QUINTON J DAVISTRA

MOBILE 082 485 2766
 E-MAIL QJDAMSTR@NEW.CO.ZA

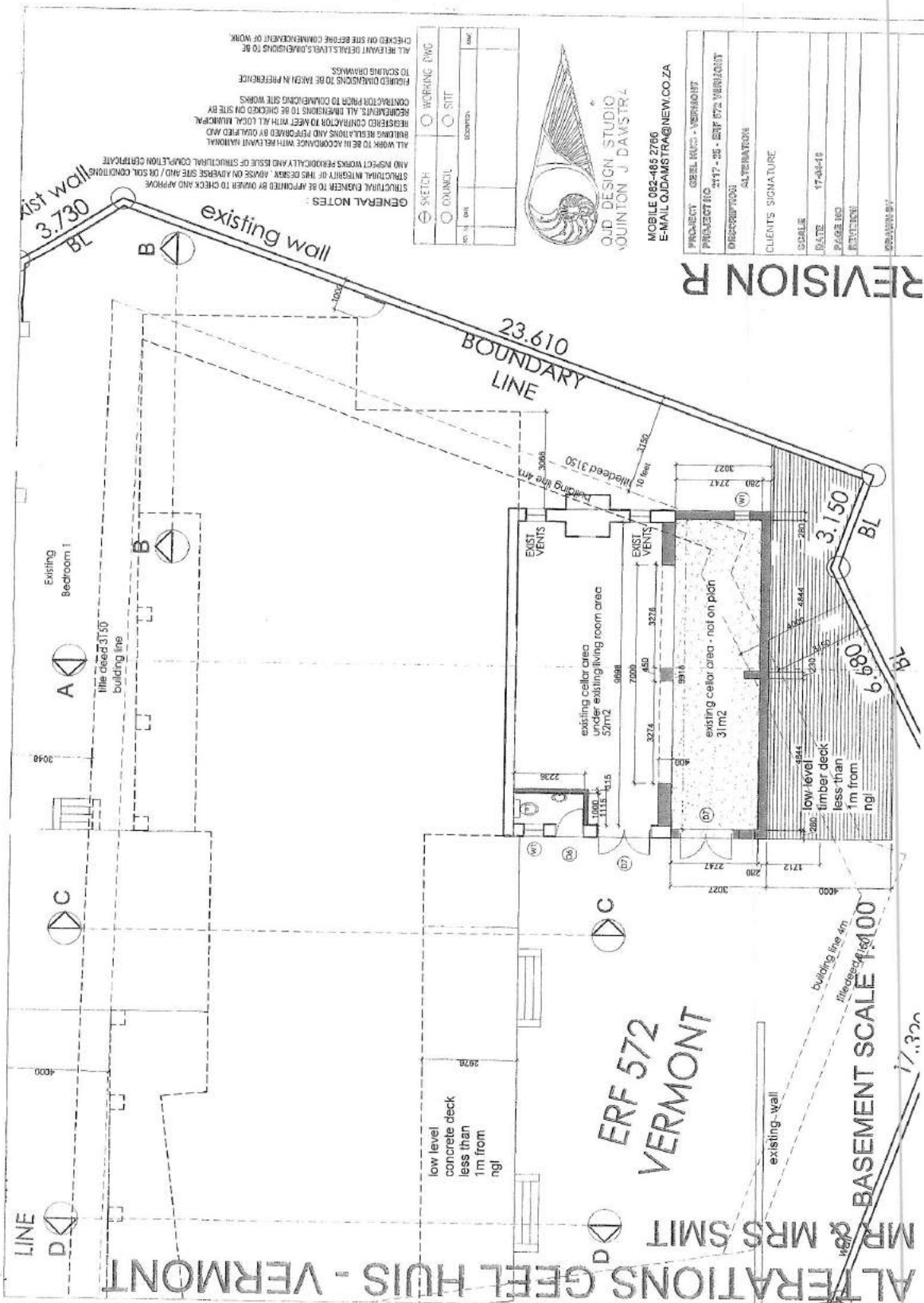
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PROJ. NO.	2187 - DE - ERF 572 VERMONT
DESCRIPTION	ALTERATIONS
CLIENT'S SIGNATURE	
DATE	17-04-16
ISSUE NO.	1
REVISION	
DESIGNED BY	



ERY AREA	DESCRIPTION	3RD
AREA EXISTING STRUCTURE	EXIST CELLAR BASEMENT	2ND
EXIST DWELLING LEVEL 1	13.5M ²	
EXIST DWELLING LEVEL 2	14.8M ²	
EXIST LEVEL 1 ART STUDIO	27M ²	
EXIST LEVEL 2 ART STUDIO	27M ²	
AREA PROPOSED STRUCTURE		
LEVEL 0	PROP CELLAR BASEMENT	3RD
LEVEL 1	PROP GARAGE BOX STORE	4TH
LEVEL 1	PROP GARAGE	4TH
LEVEL 1	PROP SULLERY	3RD
LEVEL 1	PROP ART STUDIO EXTENSION	2ND
LEVEL 1	PROP LOUNGE EXTENSION	3RD
LEVEL 1	PROP BEDROOM EXTENSION	3RD
LEVEL 1	PROP STOP	3RD
LEVEL 2	PROP BEDROOM EXTENSION	2ND
LEVEL 2	PROP BEDROOM 4 EXTENSION	4TH
LEVEL 2	PROP STOP	3RD
LEVEL 2	PROP CONCOURSE DECK	1ST
LEVEL 2	PROP TUBER DECK	2ND
UNDERCOVER COVERAGE		3RD

LEVEL 1 SCALE 1:200

ALTERATIONS GEEL HUIS - VERMONT
 MR & MRS SMIT



REVISION R

PROJECT	GEEL HUIS - VERMONT
PROJECT NO	117-20 - ERF 572 VERMONT
DISCIPLINE	ALTERATIONS
CLIENT'S SIGNATURE	
SCALE	1:7.404-15
DATE	
PAGE NO	
REVISION	
DRAWN BY	


QJD DESIGN STUDIO
 YOUJINION J DAMSTR4
 MOBILE 082-485 2766
 E-MAIL 03DAMSTR4@GMAIL.CO.ZA

DATE		BY	
10.11.20	DAI	DESIGNED	
		SWITCH	<input type="checkbox"/>
		WIRING IN/C	<input type="checkbox"/>
		COUNCIL	<input type="checkbox"/>
		SITT	<input type="checkbox"/>

GENERAL NOTES :
 STRUCTURAL INTEGRITY OF THIS DESIGN ADVISE ON ADVERSE SITE AND / OR SOIL CONDITIONS AND INSPECT WORKS FINANCIALLY AND ISSUE OF STRUCTURAL COMPLETION CERTIFICATE
 BUILDING REGULATIONS AND PROVIDED BY OWNERS AND
 REFERRED CONTRACTOR TO MEET WITH ALL LOCAL MUNICIPAL
 REQUIREMENTS ALL DIMENSIONS TO BE CHECKED ON SITE BY
 CONTRACTOR PRIOR TO COMMENCING SITE WORKS
 TO SCALE DRAWINGS
 ALL RELEVANT DETAILS LEVELS DIMENSIONS TO BE
 CHECKED ON SITE BEFORE COMMENCEMENT OF WORK

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS &
DEPARTURE: ERF 572, VERMONT (4155)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 572, Vermont, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

19 DEC 2018

**AGENDA of the
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20 August 2019
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5. FARM NO. 357, DIVISION BREDASDORP, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE, DEPARTURE AND AMENDMENT OF THE APPROVED SITE DEVELOPMENT PLAN AND CONDITIONS OF APPROVAL: MESSRS ELCO PROPERTY DEVELOPMENTS ON BEHALF OF VIKING FISHING COMPANY (PTY) LTD

Farm 357 GRBRE (3184)

SW van der Merwe

(028) 313 8900

Hermanus Administration

24 June 2019

Executive Summary

To consider an application received on 11 July 2018 from Messrs Elco Property Developments on behalf of Viking Fishing Company (Pty) Ltd, the owner of Farm No. 357, Division Bredasdorp in terms of the provisions of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the following:

- ❖ application for consent use (utility services) in terms of Section 16(2)(o) of the By-Law to accommodate two (2) wind turbines and associated structures on the property;
- ❖ application for departure in terms of Section 16(2)(b) of the By-Law in order to encroach the 30m building line to 26,8m to accommodate a wind turbine;
- ❖ application for departure in terms of Section 16(2)(b) of the By-Law in order to encroach the 12m height restriction to 68,80m to accommodate two (2) wind turbines, and
- ❖ application for amendment of the conditions of approval and Site Development Plan departure in terms of Section 16(2)(h) and (l) of the By-Law in order to accommodate two (2) wind turbines and associated structures.

RESOLVED :

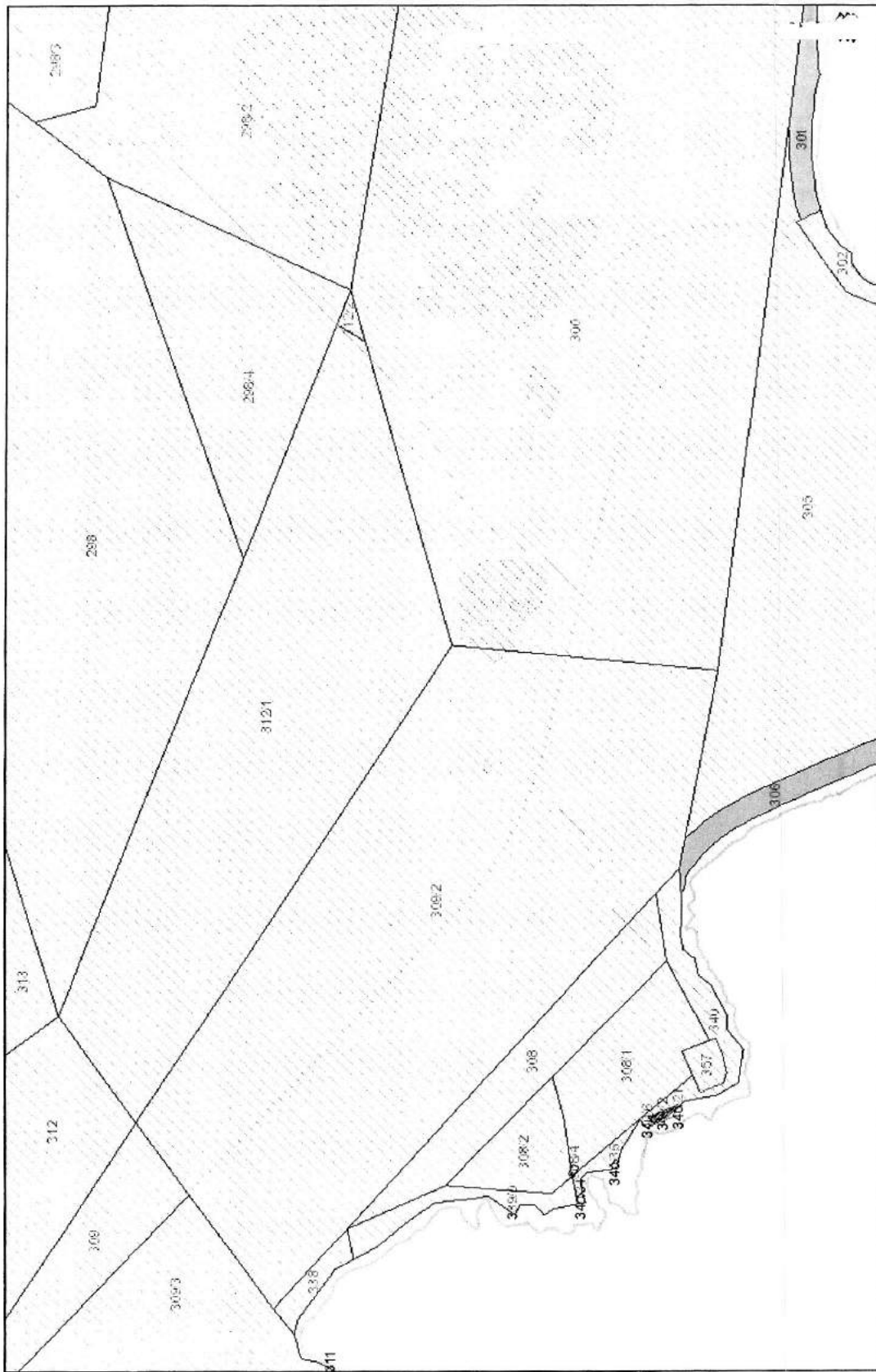
1. that the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Farm No. 357, Division Bredasdorp for consent use (utility services) to accommodate two (2) wind turbines and associated structures on the property, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(b) of the By-Law on Farm No. 357, Division Bredasdorp for departure in order to encroach the 30m building line to 26,8m to accommodate a wind turbine on the property, **be approved** in terms of the provisions of Section 61 of the By-Law;

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3. that the application in terms of Section 16(2)(b) of the By-Law on Farm No. 357, Division Bredasdorp for departure in order to encroach the 12m height restriction to 68,80m to accommodate 2 wind turbines, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(h) and (l) of the By-Law on Farm No. 357, Division Bredasdorp for amendment of the conditions of approval and Site Development Plan in order to accommodate two (2) wind turbines and associated structures, **be approved** in terms of the provisions of Section 61 of the By-Law;
5. that the approvals in paragraphs 1 to 4 above be subject to the following conditions:
 - (a) that the development occur generally in accordance with the Site Development Plan;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with;
 - (c) that the original conditions of approval dated 9 March 2012, be adhered to;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that Council be indemnified against any claim which may be instated as a result of the above approval
 - (f) that all the conditions from Eskom, Breede-Gouritz Catchment Management Agency, Telkom, Department of Transport and Public Works, DEA&DP: Coastal Management, Agriculture, DEA&DP: Development Management, Cape Nature, Overstrand Environmental Services, Local Heritage, Heritage Western Cape and SANPARKS, be complied with;
 - (g) that the Fynbos Rehabilitation Plan and the proposal by Inkululeko Wildlife Services pertaining to bird and bat carcass monitoring be implemented to the satisfaction of the Municipality;
 - (h) that in addition to the proposal by Inkululeko Wildlife Services provision is made for continued carcass searching after the twelve (12) month period and implementation of mitigation measures based on monitoring results;
 - (i) that this approval does not absolve the applicant from compliance with any other relevant legislation, and

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- (j) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
6. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Farm 357

Date: 2017-10-24

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF CONDITIONS OF APPROVAL
(AMENDMENT OF SITE DEVELOPMENT PLAN) CONSENT USE &
DEPARTURE: FARM NO 357, BREDASDORP DIVISION (3814)**

Water	:	No service available
Sewer	:	No service available
Roads and traffic	:	No service available
Stormwater	:	No service available
Electricity	:	Escom

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water and sewer services from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure and Quality, Overstrand Municipality. The developer will only utilize a SANS accredited laboratory ;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
6. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
7. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.

p.p. D. Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER: ENGINEERING SERVICES

01/11/2018
 DATE