

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
21 April 2015**

**(Also the agenda for the Mayoral Committee Meeting : 29 April 2015)**

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**5.**

**ERF 14, 4 DU PLESSIS STREET, FRANSKRAAL, OVERSTRAND MUNICIPAL  
AREA : PROPOSED DEPARTURE AND RELAXATION OF RESTRICTIVE TITLE  
DEED CONDITION : FH FOSTER**

**Erf 14 GFK (2667)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**23 February 2015**

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**1. Executive Summary**

To consider an application for departure and relaxation of a restrictive title deed condition received on 19 August 2014 from the owner of Erf 14 Franskraal, FH Foster, in order to enlarge the existing double garage and to construct a carport, which structures encroach the 4m street- and 2m lateral building lines up to the respective property boundaries. Application is also made for the retention of a canopy, which canopy encroaches the 2m lateral building line with 0,36m.

A Locality Plan of the property concerned is attached as Annexure A. The proposed Site Development Plan is attached as Annexure B, and the Motivation Report from the applicant in support of the proposal is attached as Annexure C.

**2. Service Delivery and Budget Implementation Plan - IGNITE**

Infrastructure and Planning  
Town Planning

**3. Compliance with Strategic Priorities**

Provision of democratic, accountable and ethical governance  
Creation and maintenance of a safe and healthy environment  
Promotion of tourism, economic and social development

**4. Delegated Authority**

Executive Mayor

**5. Legal Requirements**

Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)  
Removal of Restrictions Act, 1967 (Act 84 of 1967)

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## **6. Background/Discussion/Evaluation/Conclusion**

### **Background**

Erf 14, Franskraal measures 595m<sup>2</sup> in extent. The property is developed with a dwelling house and a detached garage. An existing canopy to the rear of the garage and a carport to the front had been erected without approved building plans. The said structures encroach the lateral- and street building lines respectively.

The applicant proposes to extend the existing garage onto the street- as well as lateral property boundaries. Application is also made for the construction of a carport in front of the garage, which carport encroaches the street building line onto the street boundary. Access to the enlarged garage would occur across the erf via the proposed carport. Application is also made to retain the existing canopy behind the garage, which canopy encroaches the lateral building line with 0,36m.

In terms of the Zoning Scheme Regulations the property is subject to 4m street- and 2m lateral building lines. The Title Deed imposes a 4,72m street- and 1,57m lateral building line. The application therefore also comprises the relaxation of restrictive title conditions with regard to the garage extension and the proposed carport.

### **Discussion**

The application was advertised in the prescribed manner. The Franskraal Ratepayers' Association as well as Mr Kris Jooste objected to the proposed development. The objections are attached as Annexure D and the applicant's response as Annexure E. The objections are based on the following grounds, with a summary of the applicant's response thereto:

- **The creation of a precedent to relax the building line up to the footway should be avoided**

Although each application is considered on merit, similar applications had in the past been recommended for refusal unless a 2m set back from the street boundary and access via the erf is achieved.

- **Reference is made to refusals where the applicants were forced to remove/demolish the encroachments and the need to be consistent**

No specific examples are mentioned. It should be noted that a similar application on Erf 2817, Perlemoenbaai were refused during 2014

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requiring demolition of the structure and is currently the subject of an appeal.

- **Vehicular and pedestrian safety would be compromised as a result of limited view from enclosed garage**

Access to the proposed garage would be obtained from Du Plessis Street across the erf. Manoeuvring of vehicles would take place on the erf such that vehicles would be able to leave the erf in forward gear. As such the opinion is held that the proposal would not be detrimental to vehicle and pedestrian safety.

- **Fire risk if lateral property boundary cannot be accessed**

The Fire Services Department did not object to the proposal from a fire safety point of view. Furthermore, access would still be possible to the lateral boundary from the adjoining erf.

- **Negative impact on property values**

The objection is deemed to be speculative and not supported by substantive facts/evidence in this regard.

The applicant in his comment on the objections state that the proposal would not create a precedent as the application should be evaluated on merit. The merit in this case being that the adjoining property owners support the proposal. Considered from a planning point of view the pure fact that the neighbours did not object is not considered to add to the merit of the proposal. The merit in this case relates to the impact of the proposal onto the visual amenity of the locality, the character and appearance of the surrounding area and impact on pedestrian and traffic safety.

### **Evaluation**

The subject property measures 18,90m wide on the property frontage abutting Du Plessis Street. The proposed garage and carport would be situated onto the street boundary and measures 13,73m in width. This represents an encroachment onto the street boundary amounting to 73% of the property frontage.

In terms of Section 16.1.2(a) of the Zoning Scheme Regulations, Council may permit the construction of a garage over the street building line subject to a height restriction of 4,5m and a distance of 5m being maintained from the road kerb or road surface. Paragraph 16.1.2(b) states that Council may permit the construction of a carport onto the street boundary provided that it complies with the specified stipulations of the Zoning Scheme Regulations

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pertaining to the height and width of the structure and that it may not be enclosed, etc.

**Proposed garage**

The proposed garage extension would not comply with the stipulations of paragraph 16.1.2(a) of the Scheme Regulations as a distance of only 4m from the road surface would be maintained. Furthermore, it should be noted that encroachments of the street building line are usually only supported if the garage is situated 2m from the street boundary and access is obtained over the erf. The proposed garage would be accessed via the erf and as such manoeuvring would occur on the subject property, clear from the road. The proposal is therefore not deemed to have an adverse impact from a vehicle or pedestrian traffic safety point of view.

The siting of the proposed garage onto the street boundary would be visually imposing and out of keeping with the character of the surrounding area where development on adjacent properties is set back from their respective street boundaries. The opinion is held that Council must be consequent in its decision-making in that garages that encroach street building lines should not be supported, because of the negative impacts it have on the visual amenity of the locality and the character and appearance of the surrounding area. In this regard it should be noted that Council refused a similar application for amongst others the retention of a garage on Erf 2817, Gansbaai during April 2014, which is currently the subject of an appeal.

The applicant motivates that the additions are required to accommodate two vehicles, a trailer and boat and that, if a 2m street building line should be maintained, he could only install a single garage door. The existing garage measured 6m x 6m which is a standard double garage. There is no reason why a double garage door cannot be fitted to the enlarged garage. As such the applicant's motivation in this regard is not supported.

**Proposed carport**

The Zoning Scheme Regulations, subject to Council's prior approval, makes provision for the siting of carports onto or in close proximity from the street building line. Carports have a lesser visual impact as the sides are open and the Zoning Scheme Regulations prohibits their enclosure. In this instance the opinion is held that the garage and carport combined that are sited on the street boundary and cover approximately 73% of the width of the subject property is excessive and not desirable from a planning point of view as it would detract from the visual amenity of the locality.

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**Canopy**

Application is also made to retain the existing canopy that was erected to the rear of the garage. The canopy encroaches the now applicable 2m lateral building line with 0,36m.

The canopy is located behind the garage and not visible from the road. It maintains a distance of 1,64m from the lateral property boundary which is deemed to be acceptable as it would not detract from the residential amenity of the occupiers of the adjoining properties. The adjoining property owners did not object to the retention of the canopy.

**Conclusion**

That the application not be supported as per the recommendation below.

**7. Financial Implications**

None

**8. Staff Implications**

None

**9. Comments from other Departments, Divisions and Administrations**

**Building Department**

No comment.

**10. Annexures**

- Annexure A: Locality Plan
- Annexure B: Site Development Plan
- Annexure C: Motivation Report
- Annexure D: Objections
- Annexure E: Applicant's comment on objections

**RECOMMENDATION:**

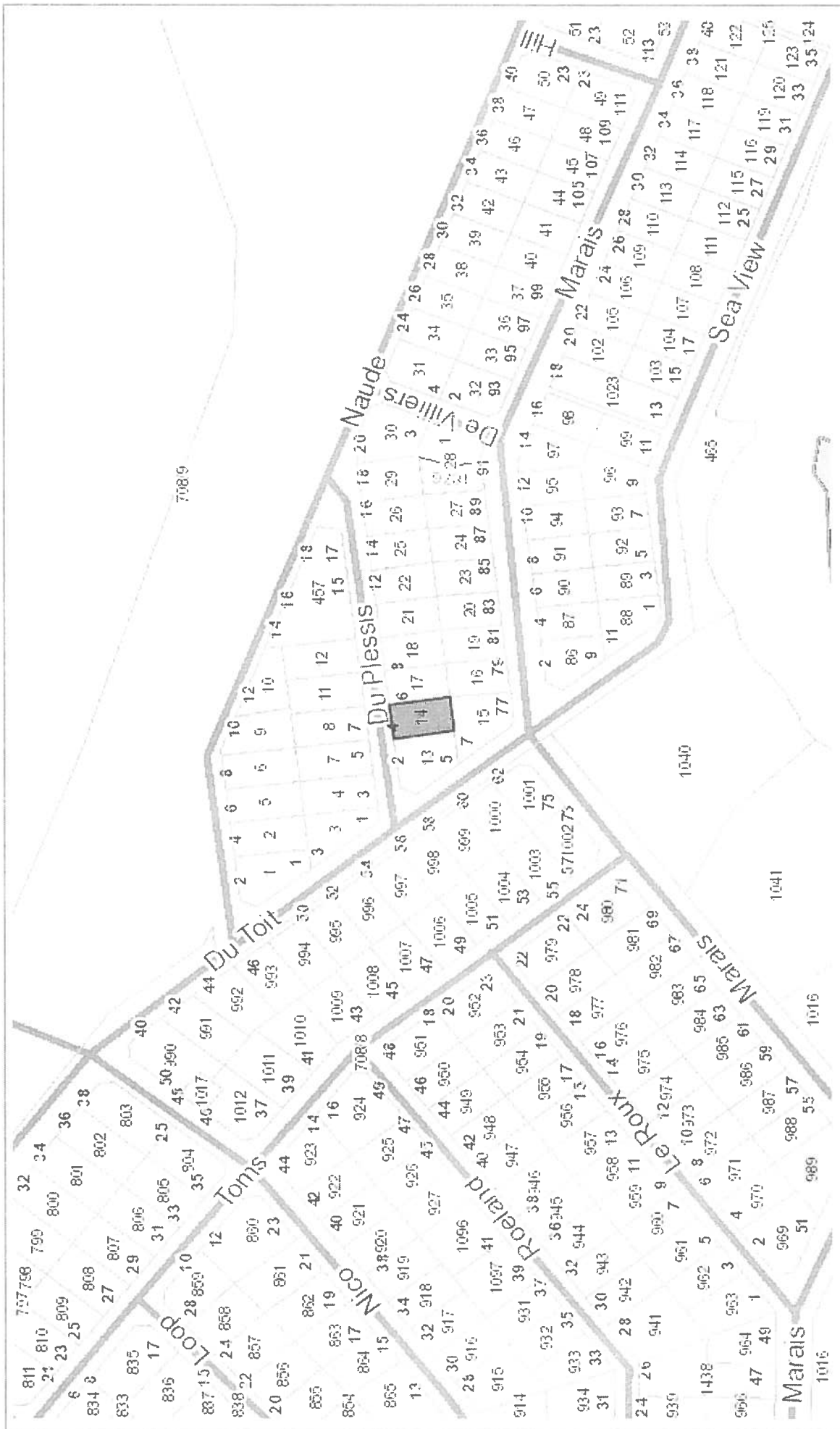
1. that the objections **be noted**;

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2. that, in terms of the Removal of Restrictions Act, 1967 (Act 84 of 1967) the application for the relaxation of restrictive title conditions in order to relax the 4,72m street- and 1,57m lateral building lines contained in Title Deed No. T51241/2006 **be recommended for refusal** to the Provincial Government: Western Cape;
3. that, in terms of the provisions of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) the application for departure in order to enlarge the existing double garage onto the street- and lateral property boundary as well as to construct a carport onto the street boundary, **be refused**, for the following reasons:
  - (a) the siting of the garage and carport onto the street boundary would be visually obtrusive in the street scene; and
  - (b) the siting of the garage and carport would detract from the visual amenity of the locality and character and appearance of the surrounding area that is characterised by development that is set back from the street boundaries.
4. that, in terms of the provisions of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) the application for departure to retain the existing canopy, which canopy encroaches the 2m lateral building line with 0,36m, **be approved**, subject to the submission of a building plan to the Building Control Department within **30 days** from the decision date; and
5. that the applicant/objector be notified of their right of appeal in terms of Section 62 of the Local Government : Municipal Systems Act No 32 of 2000 with regard to the above decision.

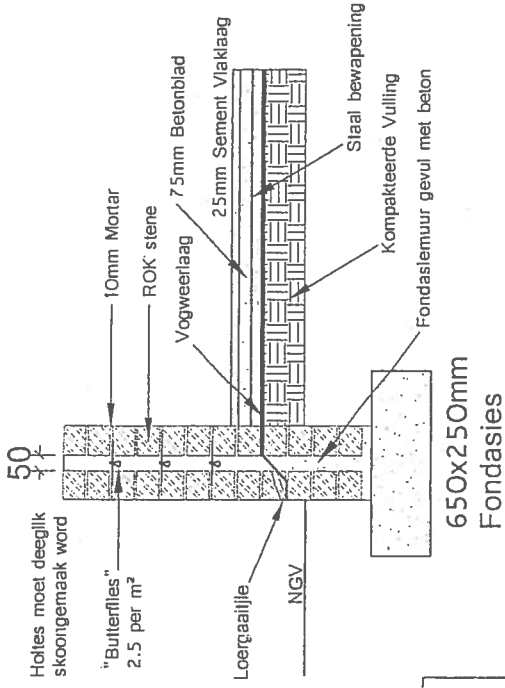
<b>RESPONSIBLE OFFICIAL :</b>	<b>SW VAN DER MERWE</b>
<b>TARGET DATE FOR IMPLEMENTATION :</b>	<b>13 MAY 2015</b>
<b>TARGET DATE TO INFORM APPLICANT :</b>	<b>13 MAY 2015</b>
<b>TARGET DATE TO INFORM OBJECTOR :</b>	<b>13 MAY 2015</b>



**Erf 14 Franskraal  
Locality Map**







Fondasie detail Skaal 1:20

Copyright

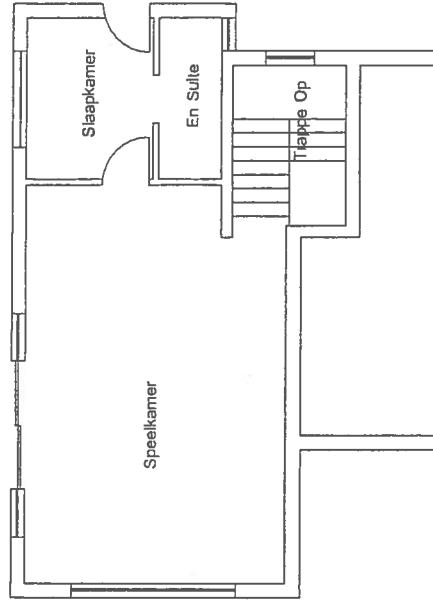
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Holtes moet deeglik skoongemaak word

"Butterflies" 2.5 per m<sup>2</sup>

Loergraaijle NGV

650x250mm Fondasies



Laer Grondverdieping

Skaal 1 : 100

Okkupasie Klas : H4 Woonenheid  
Populasie : 4 persone per huis 24/7

Oppervlakktes :	
Grondverdieping :	158,87m <sup>2</sup>
Balkon :	11,70m <sup>2</sup>
Laer Grondverdr :	64,50m <sup>2</sup>
Motorhuis :	37,63m <sup>2</sup>
Nuwe Motorhuis :	40,79m <sup>2</sup>
Afdag :	28,93m <sup>2</sup>
Totaal :	342,42m <sup>2</sup>
Erf :	595,00m <sup>2</sup>
Dekking :	46,71%

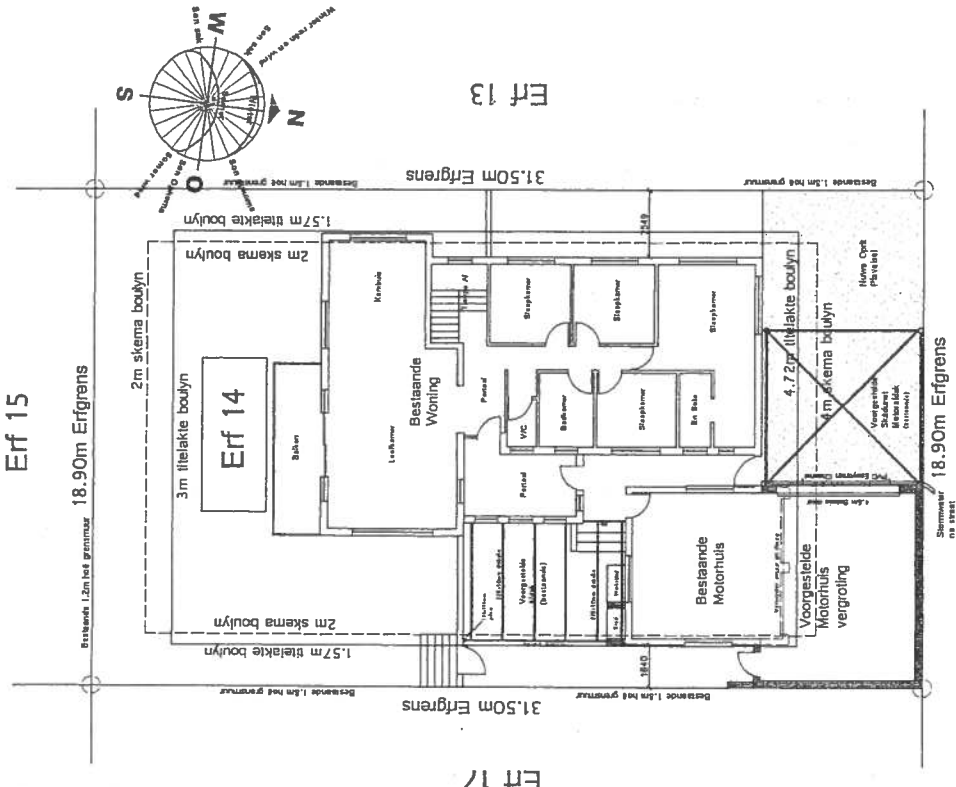
**Legende**

- Nuwe Steenwerk
- Nuwe Houtwerk
- Nuwe Riool
- Nuwe Staal
- Nuwe Fondasies / Beton

Du Plessis Straat 4

Terreinplan - GV

Skaal 1 : 200



Hierdie plan is opgetrek volgens die standaard vir boutekeninge : SABS 0143

**Gericke Argitektoniese Dienste**  
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 Postal 992, Genesbaai 7201  
 Tel/Fax: 028 334 1659 | Tel: 082 453 8554  
 jand@axcess.co.za  
 Lid van SAIT: 507023

Plan nagesien deur : Datum :  
 JLS Gericke

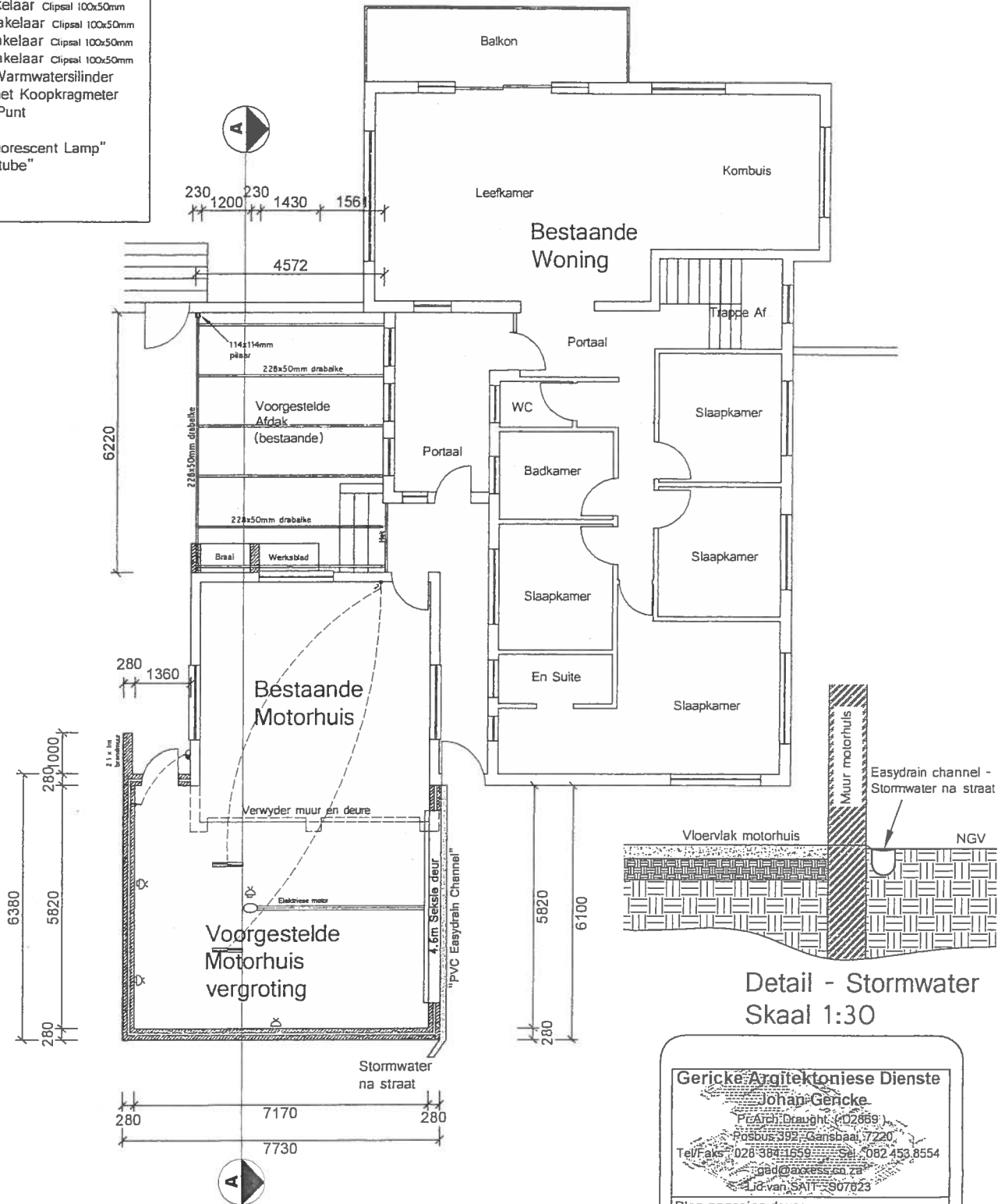
Voorgeselde Aanbouing vir  
 Mnr E Foster te erf 14,  
 Du Plessis Straat 4, Franskraal.

Tekening : Terrein en  
 Laer Grondverdieping

Projek No : 04/EF/14  
 Skaal : Soos Getoon  
 Bladsy : 1 van 4  
 Datum : 15 Julie 2014

47

- ⊕ Plafon Ligpunt
- ▲ Muurlig - Bulkhead
- ▲ Downlighter - 1x3W LED
- ▲ Trap muurlig - Downlighter
- Dubbele Buislig - 2x32W FT
- ⊗ 16A Dubbele Muurprop 100x100mm
- ↓ Enkel Ligskakelaar Clipsal 100x50mm
- ↘ Dubbel Ligskakelaar Clipsal 100x50mm
- ↙ 3 Punt Ligskakelaar Clipsal 100x50mm
- ↗ 4 Punt Ligskakelaar Clipsal 100x50mm
- ☐ 150L 3kWh Warmwatersilinder
- ⊞ Skakelbord met Koopkrugmeter
- TV / DSTV Punt
- ⊙ Stof Punt
- CFL "Compact Fluorescent Lamp"
- FT "Fluorescent tube"
- LED "LED lamp"
- ⊗ Suigwaaier

Detail - Stormwater  
Skaal 1:30

## 2 Grondverdieping

Skaal 1 : 100

Okkupasie Klas : H4 Wooneenheid  
Populasie : 4 persone per huis 24/7

Oppervlaktes :	
Grondverdieping :	158.87m <sup>2</sup>
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Laer Grondverd :	64.50m <sup>2</sup>
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Totaal :	342.42m <sup>2</sup>
Erf :	595.00m <sup>2</sup>
Dekking :	46.71%

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Plan nagesien deur :

JLS Gercke

Datum :

Voorgestelde Aanbouing vir  
 Mnr E Foster te erf 14,  
 Du Plessis Straat 4, Franskraal.

Tekening : Grondverdieping

Projek No : 04/EF/14

Skaal : Soos Getoon

Bladsy : 2 van 4

Datum : 15 Julie 2014

Hierdie Bouplan is opgetrek volgens die standaard vir boutekeninge : SABS 0143

## Copyright

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**NOTAS :**

Alle verelstes van die plaaslike owerheid moet streng nagekom word.  
 Die kontrakteur is verantwoordelik om die munisipale regulasies na te kom en bomselle vergoeds met die proseduras van boubeheer.  
 Alle mates moet getoontrulleer word voor enige bouwerk begin.  
 Mates aangedui op plan geniet voorrang oor mates geskaal vanaf plan.  
 Ingenieur moet in kennis gestel word voordat projek begin word.  
 Aangestelde Ingenieur MOET gebruik word vir projek.

Okkupasie Klas : H-4 Wooneenheid  
 Populasie : 4 persone per huis 24/7

Oppenvlaktes :	
Grondverdieping :	158.87m <sup>2</sup>
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Dekking :	46.71%

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Plan nagesien deur : JLS Gerjcke  
 Datum :

**Voorgestelde Aanbouing vir**  
 Mnr E Foster te erf 14,  
 Du Plessis Straat 4, Franskraal.

Tekening :	Aansigte
Projek No. :	04/EF/14
Skaal :	Soos Getoon
Bladsy :	3 van 4
Datum :	15 Julie 2014

**FONDASIES**  
 280mm muur - 650x250mm beton strookfondasies.  
 Betonsterkte = 15Mpa (3 x Y12 staalsiawe in alle dramuur fondasies).

**BETONVLOERE**  
 Motorhuis - 100mm Betonvloer op staal bewapening op 250 mik vogweeriaag op 150mm goedgekpmakteerde puinvulling.

**DEURE**  
 4.5x2.4m Aluminium seksie motorhuisdeur.

**PLAFONNE**  
 6.4mm Rhinoboard geheg aan 38x38mm SA Den latte teen 450mm h.o.h. Hela motorhuis. Isolasiie soos per detail.

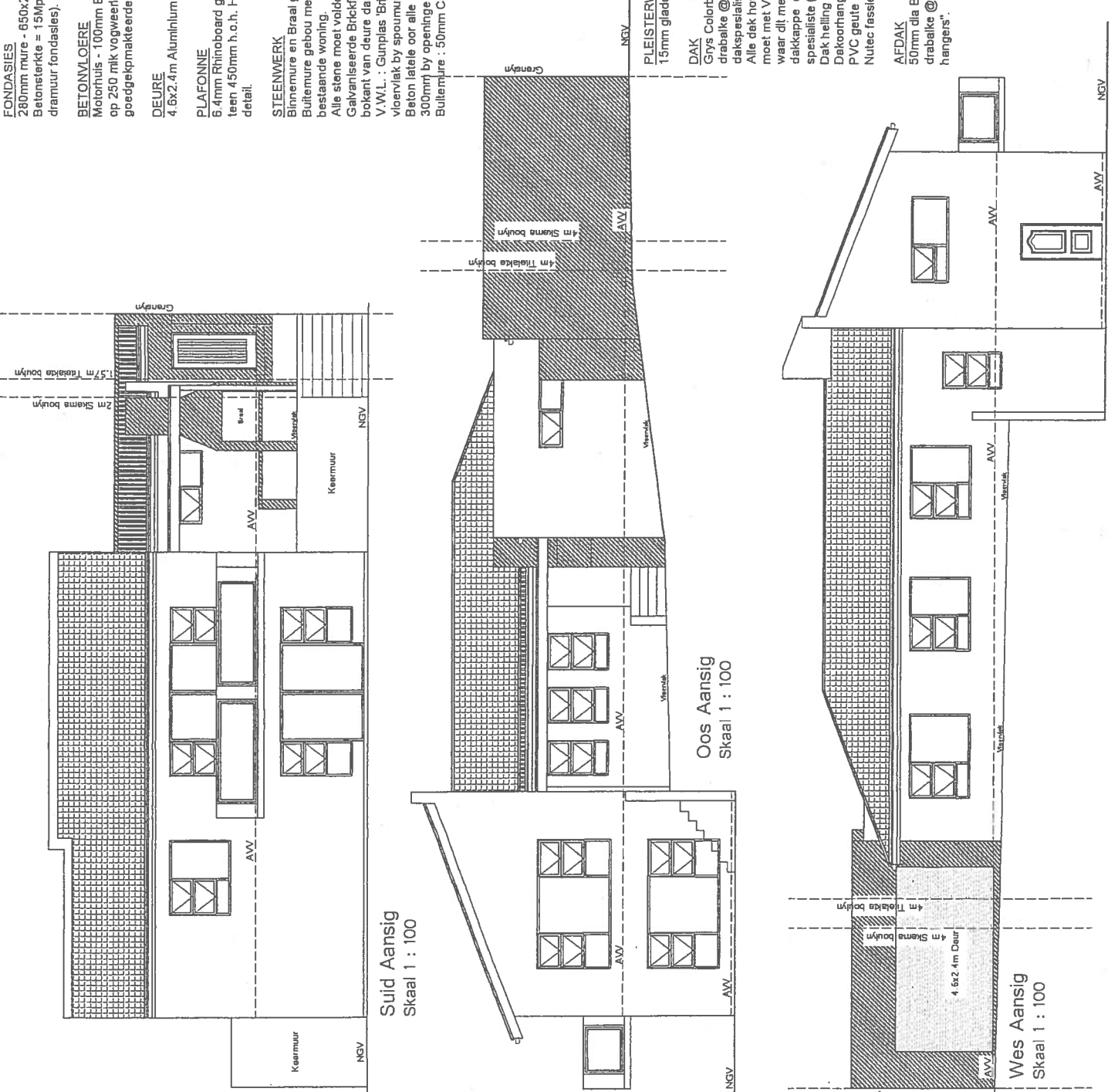
**STEENWERK**  
 Binnemure en Braal gebou met ROK stene.  
 Buitemure gebou met dieselfde siersteen as bestaande woning.

Alle stene moet voldoen aan SABS 227.  
 Galvaniseerde Brickforce : Elke tweede laag lot bokant van deure daama elke laag.  
 V.W.L. : Gunplas 'Brickgrip' 375mikron verstep by vloervlak by spoumure en openinge.  
 Beton latele oor alle openinge. Latele moet minimum 300mm by openinge abel kante oorsky.  
 Buitemure : 50mm Cavity gebou.

**PLEISTERWERK**  
 15mm gladde troffel pleisterafwerking.

**DAK**  
 Grys Colorbond dakplaat op "reflective foil" op drabalk @ 1000mm s/s volgens dakspesialiste.  
 Alle dek houtte wat in muur in gebou word, moet met VML bedek word by die gedeelte waar dit met die muur kontak maak. Alle dakkappe opperig en vervaardig deur spesialiste (SABS 0400 en kode 082).  
 Dak helling = 3 grade.  
 Dakoorhang = 0mm.  
 PVC geute met afvoerpype op 12x225mm Nutec fassies.

**AFDAK**  
 50mm dia Bloekomlatte op 228x50mm drabalk @ 1100mm vasgeheg met 'truss hangers'.



Hiertoe Raunlan is onnefrak volvoer die standoed die bepalende...



☒ 3800 DURBANVILLE 7551



021-975 3880



083-261 8333



086 544 6900

e-Pos: [Eric.Foster@telkomsa.net](mailto:Eric.Foster@telkomsa.net) :e-Mail

16 Julie 2014

Die Munisipale Bestuurder  
Posbus 26  
GANSBAAI  
7220

Meneer

**ERF 14, FRANSKRAAL : AANSOEK OM AFWYKINGS EN TITELVERSLAPPINGS.**

Erf 14, Franskraal is vir enkel residensiële doeleindes gesoneer en 595m<sup>2</sup> groot. Die eiendom is ontwikkel met 'n woonhuis en gepaardgaarde buitegebou (motorhuis).

Hiermee word aansoek vir die volgende gedoen (sien uitlegplanne):

- 'n Voorgestelde vergrote motorhuis,
- Verskuiwing van 'n bestaande skadunet motorafdak en
- 'n Braai-afdak (bestaande)

wat die toepaslike noordelike straatboulyn asook oostelike syboulyn oorskry.

Die voorgestelde motorhuis oorskry die 4m straatboulyn met 4m (35.68m<sup>2</sup>).

Die voorgestelde skadunet motorafdak oorskry die 4m straatboulyn met 4m (23.48m<sup>2</sup>).

Die voorgestelde Braai-afdak oorskry die 2m syboulyn met 360mm (2.24m<sup>2</sup>).

Ons benodig die voorgestelde motorhuis/vergroting vir ons twee voertuie en 'n skiboot om teen die elemente te beskerm. Tans staan die boot in 'n stoor wat ek moet huur.

Die bestaande motorhuis gedeelte sal gebruik word vir die berg van die boot en 'n sleepwa. Die voorgestelde motorhuis sal gebruik word vir die parkeer van ons voertuie en 'n werksarea. Die opsie was oorweeg om 2m vanaf die straatgrens te bly, maar dan kan ons slegs 'n enkel motorhuisdeur inpas en slegs een voertuig daar parkeer. Indien die motorhuisdeur op die muur wat parallel met straat is geplaas word, was die binnemate van motorhuis slegs 8.7m. Dit sal nie deug om twee voertuie (een van 5m) en 'n boot van 7m ingepas te kon kry nie. Die opsie was ook oorweeg om die bestaande motorhuis na agter te vergroot, maar dit sou beteken dat ek meer as een meter moes opvul en versterkings moes insit. Dit is meer prakties en ekonomies soos voorgestel op die bouplan.

Die bestaande motorhuis se binnemate is 5.58m breed. My een voertuig is ietwat langer as 5m en derhalwe is beweegspasie rondom die voertuig feitlik nul. Om die motorhuis 'n aanvaarbare grootte te kan kry om ons voertuie en boot met gemak te kan parkeer, asook om sodoende beweegspasie te kan skep rondom die voertuie moet die voorgestelde motorhuis die syboulyn oorskry.

Die skadunet motorafdak is reeds bestaande en is tans voor die bestaande motorhuis geplaas. Die motorafdak sal dus net verplaas word voor die voorgestelde motorhuis soos aangedui. Dit skep ekstra parkering en gerieflike koelte in die somer vir ons gaste (mees dikwels ons kinders) se voertuie wat noodsaaklik is.

Soos voorgestelde bouplan aandui kan u sien dat die Braai-afdak reeds bestaande is. Ons was onder die indruk dat die syboulyne 1.57m is en bouplanne nie nodig is vir 'n struktuur met Bloekomlatte op nie. Ons verstaan dat die nuwe Overstrand skemasyboulyn 2m is en word nou genoodsaak om ook aansoek te doen vir die afdak wat dit oorskry met 360mm maar steeds binne die 1.57m titelakte syboulyn is.

**Titelverslapping**

In terme van die wet op opheffing van beperkende titelvoorwaardes word aansoek gedoen om die 1.57m oostelike syboullyn asook die 4.72m noordelike straatboullyn, soos voorgeskryf in die titelaktevoorwaardes, te oorskry met 1.57m en 4.72m onderskeidelik deur die voorgestelde motorhuis en skadunet motorafdak. Aansoek om titelverslapping is vir dieselfde redes soos hierbo genoem, maar kan alleenlik mee voortgegaan word indien u Raad se toestemming daartoe verkry word.

**Slotsom**

Voldoende parking kan op die eiendom voorsien word.

Die bewegings van voertuie in en uit die motorhuis sal op die eiendom plaasvind en nie direk vanaf die straat nie. Dus sal geen verkeer daardeur belemmer of negatief beïnvloed word nie.

Die aansoeke hierbo sal na ons mening nie 'n negatiewe impak op die karakter van die omgewing of die bestaande regte van die omliggende grondeienaars inhou nie, aangesien die Braai-afdak en skadunet motorafdak reeds bestaande is en dat voorgestelde motorhuis dieselfde styl as bestaande woning gebou sal word en sal aansluit by die res van die woning.

Die oorskryding van die straatboullyn van die voorgestelde motorhuis vanaf die straat sal nie maklik opgelet word nie omrede daar nog steeds 'n Munisipale sypaadje van gras sal bestaan wat 4m breed is tot by die rand van die teerpad self.

Die omliggende grondeienaars het almal skriftelik aangedui dat hul geen beswaar teen die voorstelle het nie.

Geen verkeersimpak sal voorkom nie aangesien dit nie 'n besige straat is nie en omrede Erf 17 se erftoegang ook aan die oostelike kant van die erf geplaas is.

Gunstige oorweging van hierdie aansoek sal baie hoog op prys gestel word.

Vriendelike die uwe



**Alida Calitz - ERF 14, DU PLESSIS 4, FRANSKRAAL, OVERSTRAND MUNISIPALE  
AREA: VOORGESTELDE AFWYKING: FH FOSTER**

---

**From:** "Van Zyl, G. (Gerrit)" <GerritVa@Nedbank.co.za>  
**To:** "alida@overstrand.gov.za" <alida@overstrand.gov.za>  
**Date:** 2014/11/18 01:30 PM  
**Subject:** ERF 14, DU PLESSIS 4, FRANSKRAAL, OVERSTRAND MUNISIPALE AREA:  
VOORGESTELDE AFWYKING: FH FOSTER

---

19 November 2014

VIR AANDAG:

SW van der Merwe (Senior Stadsbeplanner)  
S Muller ( Direkteur Infrastruktuur en Beplanning)

Meneer

U skrywe gedateer 31 Oktober 2014 verwys. Ons het voorgestelde planne vir aanbouings by bogenoemde eiendom bestudeer en bevestig dat ons nie beswaar het met voorgestelde planne deur u kantoor aan ons verskaf. Ons wil dit egter op rekord plaas dat geen beswaar aangeteken word nie op die uitsluitlike voorwaarde dat nie die bestaande motorhuis of die voorgestelde motorhuis in die toekoms gewysig word tot dubbelverdieping nie.

Bevestig asseblief ontvangs van hierdie skrywe.

Die uwe  
Gerrit Van Zyl  
( Erf 7, 5 du Plessis straat, Franskraalstrand)

\*\*\*\*\*

Nedbank Limited Reg No 1951/000009/06. The following link displays the names of the Nedbank Board of Directors and Company Secretary.

[ <http://www.nedbank.co.za/terms/DirectorsNedbank.htm> ]

This email is confidential and is intended for the addressee only.

The following link will take you to Nedbank's legal notice.

[ <http://www.nedbank.co.za/terms/EmailDisclaimer.htm> ]

\*\*\*\*\*

Alida Calitz - Erf 14, Du Plessisstraat 4 Franskraal.

TR-ATheart

(S vldmerwe)

From: Theuns Roodman <sheerbliss80@gmail.com>  
To: <alida@overstrand.gov.za>  
Date: 2014/11/12 04:36 PM  
Subject: Erf 14, Du Plessisstraat 4 Franskraal.



Die hoof Stadsbeplanning Departement,  
Overstrand Munisipaliteit

Ek verwys na bogenoemde aansoek om boulyne te oorskry.

In die lig van vorige aansoeke waar die Franskraal Belastingbetalers Vereeniging beswaar gemaak het, is dieselfde van pas hier dat ons presedente skep met boulyne wat loop tot by die sypaadjie, en ten alle tye vermy moet word.

Ek vertrou dat dit u oorweging sal positief be-invloed  
Alle sterkte

Theuns Roodman Voorsitter

Franskraal Belastingbetalers Vereeniging

THEUNS & DIANE ROODMAN  
"SHEER BLISS"  
80 SCHNEIDER STREET  
FRANSKRAAL, 7220  
082 927 2170  
028-3880188

FILE NO:	EL 14 Franskraal
SCAN NO:	58
COLLABORATOR NO:	686018

17 NOV 2014

18 NOV 2014

Francois Myburgh - Erf 14 Du Plessisstraat, Franskraal

TP- A Theart  
(S vld Merve)

From: "Kris Jooste"  
 To:  
 Date: 21 November 2014 03:41 PM  
 Subject: Erf 14 Du Plessisstraat, Franskraal  
 CC: "Theuns Roodman" , "Francois(Kat) Myburgh"



Aansoek om verslapping van laterale- en straatboulyn : FH Foster

As wykskomiteelid vir wyk 1 en namens inwoners van Franskraal maak ek beswaar teen die aansoek van die eienaars van erf 14, Du Plessisstraat, Franskraal om verslapping van die boulyne soos hierbo vermeld.

My beswaar is gegrond op die volgende, nl.,

1. Skep van presedent:

Talle aansoeke om verslapping van boulyne in Franskraal en die groter Gansbaai is die afgelope tyd afgekeur en dan was die afwykings nie naasteby so drasties soos in hierdie geval nie. Om hierdie aansoek goed te keur sal 'n blatante presedent skep wat dit baie moeilik gaan maak vir enigeen om in die toekoms beswaar aan te teken teen skreiende afwykings. Hier verwys ek ook na onlangse gevalle waar meer as een huiseienaar verplig was om boustrukture af te breek wat nie aan die bouregulasies voldoen het nie en wat nie naasteby dieselfde afwykings getoon het nie. Die munisipaliteit moet deurgaans konsekwent optree.

2. Veiligheid van voetgangers en motoriste op die sypaadjie en in die straat:

Om agteruit uit 'n toegeboude motorhuis te ry met baie beperkte uitsig op voetgangers wat op die sypaadjie stap, of motors wat in die straat verby ry, hou hoë risiko in vir die verbygangers.

3. Risiko's tydens brande:

Totale afwyking van die laterale boulyne hou ernstige risiko's in vir inwoners van die betrokke erf, sowel as die aangrensende erwe wanneer 'n brand op een van die persele of in die huise uitbreek. Indien daar geen toegang tot die persele/huise is nie, behalwe deur die "brandende huis" hou dit ernstige risiko's in vir beide die inwoners van die betrokke erf sowel as aangrense persele. Verder beperk dit die beweging van brandweerpersoneel. Om hierdie afwyking goed te keur laat die deur oop vir die direkte bure, en enige ander huiseienaar in die Overstrand Munisipale gebied om dieselfde te doen en dan kan daar nie gediskrimineer word nie.

4. Negatiewe invloed op markwaarde van aangrensende eiendomme:

Huiseienaars wat op Franskraal eiendomme aanskaf doen dit om naby die see te wees en elkeen is sekerlik geregtig om 'n oëblik van die see te sien, indien dit moontlik is. Verder kom mense na Franskraal om die landelikheid en oop spasies te geniet. Hierdie mense vlug reeds uit die beton-oerwoud van die stad en wil beslis nie hier op Franskraal dieselfde ervaring beleef nie.

Ek vertrou dat hierdie verhoë u ernstige aandag sal geniet.

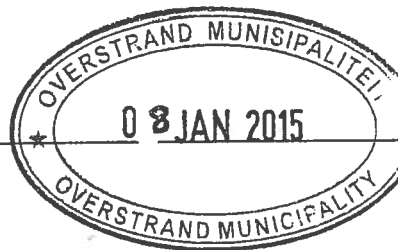
Vriendelike groete,

Kris Jooste  
 Tel. 028 3880 668  
 Sel 082 4091 039  
 Epos : [krisj@telkomsa.net](mailto:krisj@telkomsa.net)

FILE NO:	EL 14-FK
SCAN NO:	
COLLABORATOR NO:	688913

file://C:\Documents and Settings\fmyburgh\Local Settings\Temp\XPgrpwise\546F5D1Eg... 2014/11/21

26 NOV 2014



A Theart ANNEXURE E 1/2  
(S van der Merwe)

☎ 021-975 3880

☎ 083-261 8333

☎ 086 544 6900

✉ 3800 DURBANVILLE 7551

e-Pos: [Eric@efqeng.co.za](mailto:Eric@efqeng.co.za) :e-Mail

7 Januarie 2015

Die Direkteur  
Infrastruktuur en Beplanning  
Posbus 20  
HERMANUS  
7200

Meneer

**ERF 14, FRANSKRAAL : AANSOEK OM AFWYKINGS EN TITELVERSLAPPINGS.**

U skrywe gedateer 9 Desember 2014 het betrekking.

Ons kommentaar op elk van die skrywes aangeheg by u skrywe is as volg:

FILE NO: EL 14 - FK

SCAN NO: 15

COLLABORATOR NO: 702194

**1. G van Zyl**

Mnr Gerrit van Zyl is ten gunste van die aanbouing soos deur ons voorgestel, maar wil sy uitsig op die see beskerm deur seker te maak dat ons nie 'n tweede verdieping op die motorhuis bou nie. Ons het reeds aan hom bevestig dat ons nie beoog om 'n tweede verdieping te bou nie.

**2. T Roodman namens Franskraal Belastingbetalers Vereniging**

Let asb op dat die basis van beswaar is dat daar moontlik 'n presedent geskep kan word indien hierdie aansoek goedgekeur word.

Na ons mening is dit beslis nie die geval dat 'n presedent hierdeur geskep sal word nie, want elke aansoek behoort volgens eie meriete beoordeel te word. In hierdie geval is die spesifieke meriete waarna verwys behoort te word die feit dat al die geaffekteerde bure almal hul onderskeie toestemmings verleen het.

**3. Kris Jooste**

3.1 Weereens is die moontlike skep van 'n presedent die hoofrede van beswaar. Die aansoek is soos hierbo in para 2 genoem dus nie op eie meriete beoordeel nie.

Veiligheid van voetgangers en motoriste op die sypaadjie en in die straat word as beswaar aangedui omrede daar agteruit uit 'n toegeboude motorhuis gery word met beperkte uitsig... Dit is duidelik dat Kris Jooste nie die voorgestelde bouplan reg interpreter nie. **Die bouplan maak voorsiening vir 'n ingang na die oop geplaveide gedeelte van ons perseel en dan ingang vandaar na die motorhuis.** Hierdie plan maak ook voorsiening daarvoor dat daar (meestal) op die perseel omgedraai kan word sodat 'n motor die perseel in 'n vorentoe rat kan verlaat.

Origens moet dit ook in ag geneem word dat Du Plessisstraat slegs ongeveer 15 persele van toegang voorsien en daarby ook baie min eksterne verkeer dra, bv in teenstelling met Marais-, Du Toit- en Naudestrate. Desnieteenstaande is dit gesonde algemene praktyk om teen kruispoele in 'n straat in te ry vanaf enige perseel. Voetgangers is en behoort ook te alle tye waar te neem of daar vir hul gevaar geskep kan word met 'n voertuig wat 'n perseel verlaat.

Dit dien ook gemeld te word dat omrede Du Plessisstraat so min verkeer dra, die voetgangers hierlangs meestal op die teeroppervlakte van die straat loop, m.a.w. op die ryvlak.

3.3 Brandbestryding sal nie beperk word deur die motorhuis op die sygrens te bou nie omrede daar voldoende beweegruiimte op die aangrensende persele bestaan om reg rondom toegang hiervoor te verleen.

3.4 Seer sekerlik sou ons bure nie hul onderskeie toestemmings verleen het vir boulynverslappings as hul van mening was dat hul eiendomswaardes daardeur negatief beïnvloed sal word nie.

#### Slotsom

Indien elke aansoek op eie meriete beoordeel word, sal daar nie nodig wees om te vrees vir die skep van 'n presedent nie.

Die bewegings van voertuie in en uit die motorhuis sal op die eiendom plaasvind en nie direk vanaf die straat nie. Dus sal geen verkeer daardeur belemmer of negatief beïnvloed word nie.

Die aansoeke hierbo sal na ons mening nie 'n negatiewe impak op die karakter van die omgewing of die bestaande regte van die omliggende grondeienaars inhou nie.

Die oorskryding van die straatboulyn van die voorgestelde motorhuis vanaf die straat sal nie maklik opgelet word nie omrede daar nog steeds 'n Munisipale sypaadjie van gras sal bestaan wat 4m breed is tot by die rand van die teerpad self, asook die twee groot Brasiliaanse Peperbome op/voor ons bure se perseel.

Die omliggende grondeienaars het almal skriftelik aangedui dat hul geen beswaar teen die voorstelle het nie.

Geen verkeersimpak sal voorkom nie aangesien dit nie 'n besige straat is nie.

Gunstige oorweging van hierdie aansoek op eie meriete sal baie hoog op prys gestel word.

Vriendelik die uwe



**AGENDA of the  
Portfolio Committee : Infrastructure and Planning  
21 April 2015  
(Also the agenda for the Mayoral Committee Meeting : 29 April 2015)**

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6.

**ERF 436, 22 CALEDON STREET, STANFORD, OVERSTRAND MUNICIPAL AREA :  
PROPOSED DEPARTURE : MESSRS GERARD REULING ARCHITECTS ON  
BEHALF OF MA RIDELL**

**Erf 436 SSS (2743)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**25 February 2015**

---

**1. Executive Summary**

An application has been received on 28 October 2014 from Messrs Gerard Reuling Architects on behalf of the owner, MA Ridell, on Erf 436, Stanford for a departure from the Overstrand Zoning Scheme Regulations in order to relax the lateral building line from 2,0m to 0m in order to accommodate the proposed pizza oven and timber deck.

A Locality Plan of the property concerned is attached as Annexure A. The proposed Site Plan is attached as Annexure B, and the Motivation Report from the applicant in support of the proposal is attached as Annexure C.

**2. Service Delivery and Budget Implementation Plan - IGNITE**

Infrastructure and Planning  
Town Planning

**3. Compliance with Strategic Priorities**

Provision of democratic, accountable and ethical governance  
Promotion of tourism, economic and social development

**4. Delegated Authority**

Executive Mayor

**5. Legal Requirements**

Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

**6. Background/Discussion/Evaluation/Conclusion**

**Background**

Registered notices were sent to all potentially affected property owners, and no objections were received.

**AGENDA of the  
Portfolio Committee : Infrastructure and Planning  
21 April 2015  
(Also the agenda for the Mayoral Committee Meeting : 29 April 2015)**

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The application was also circulated to all relevant municipal departments, and no objections were received.

**Discussion/Evaluation**

Erf 436, Stanford is zoned for residential use and the property measures 1412m<sup>2</sup> in extent. The property is developed with a single dwelling.

The applicant motivates that the proposed timber deck will need to encroach upon the lateral building line in order to be in line with the existing patio. In general, this is not considered favourable due to the negative impact it may have on the adjacent properties' residential amenity. Furthermore, the applicant wishes to situate the proposed pizza oven on the boundary. Braai areas in general are regarded as a nuisance by surrounding property owners and as such it is common practice not to support such an application. A further concern is the possibility of intruding the adjacent property's privacy, seeing that the pizza/bread oven will most likely be used with social gatherings.

Upon a site inspection it was noted that the proposed timber deck and proposed pizza oven are existing structures. The timber deck measures an estimate 1,8m from the natural ground; this will allow people to look over the existing fence and unto the adjacent owner's property.

From a planning point of view the retention of the wooden deck and pizza oven as far as the encroachments of the building lines are concerned is not supported for the following reasons:

- the timber deck and the pizza oven is used for recreational purposes and the Municipality does not support habitable areas that encroach the lateral building lines in close proximity to the property boundaries as it may adversely impact on the residential amenity of the occupiers of adjoining properties;
- in this case the elevated deck (1,8m above natural ground level) would result into overlooking of the private outside space of adjoining properties and loss of privacy which is deemed detrimental to the residential amenity of the occupiers of adjoining properties; and
- approval of the existing structures would set an undesirable precedent, the cumulative impact of which would be detrimental to the character of the area and amenity of adjoining properties.

It is therefore the opinion that the section of the timber deck which encroaches upon the 2m lateral building line must be removed in order to restrict a person from infringing upon the privacy of the adjacent property owners and that the pizza oven should be moved in order to respect the 2m boundary line.

Furthermore, two wendy houses are situated closer than 2m from the boundary fence. One of the wendy houses is used for storage purposes and the other as

**AGENDA of the  
Portfolio Committee : Infrastructure and Planning  
21 April 2015  
(Also the agenda for the Mayoral Committee Meeting : 29 April 2015)**

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a laundry/storage facility. It is therefore recommended that the owner submits an application to legalise the existing wendy houses and proof that the laundry/wendy houses comply with National Building Regulations.

**Conclusion**

The application for departure is not recommended for approval.

**7. Financial Implications**

None

**8. Staff Implications**

None

**9. Comments from other Departments, Divisions and Administrations**

**Fire Department**

No objection.

**Electrical Department**

No objection.

**10. Annexures**

Annexure A: Locality Plan  
Annexure B: Site Development Plan  
Annexure C: Motivation Letter

**RECOMMENDATION:**

1. that, in terms of Section 15 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985), the application for departure from the Scheme Regulations on Erf 436, Stanford for the relaxation of the lateral building line from 2,0m to 0m in order to accommodate a pizza oven and timber deck, **be refused**;
2. that the refusal in paragraph 1. above is based on the following reasons:
  - (a) the Municipality generally speaking is not in favour of the approval of (open) outside habitable areas in close proximity to the property boundaries as it is likely to have a negative impact on the residential amenity of the occupiers; and

**AGENDA of the  
Portfolio Committee : Infrastructure and Planning  
21 April 2015  
(Also the agenda for the Mayoral Committee Meeting : 29 April 2015)**

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- (b) the elevated deck would give rise to overlooking and loss of privacy to the private outdoor areas of the adjoining properties, thereby giving rise to circumstances that is detrimental to the residential amenity of the occupiers of adjoining properties.
3. that the deck **be demolished** within **60 days** from the date of the decision to the extent that the relevant building lines are maintained; and
4. that the applicant be notified of his right of appeal in terms of the provisions of Section 62 of the Municipal Systems Act, 2000 (Act 32 of 2000) with regard to the above decision.

<b>RESPONSIBLE OFFICIAL :</b>	<b>P ROUX</b>
<b>TARGET DATE FOR IMPLEMENTATION :</b>	<b>13 MAY 2015</b>
<b>TARGET DATE TO INFORM APPLICANT :</b>	<b>13 MAY 2015</b>
<b>TARGET DATE TO INFORM OBJECTOR :</b>	<b>13 MAY 2015</b>



**Erf 436 Stanford  
Locality Map**



**general notes:**

- o all dimensions and levels are to be verified on site prior to commencing setting out, survey drawings or construction
- o figured dimensions only to be used.
- o discrepancies, errors and omissions are to be reported to the architect immediately they become evident.
- o drawings to be submitted for approval prior to manufacture or installation.
- o all specified products are to be fitted to the respective manufacturers specification.
- o copyright and right of reproduction of this drawing or any portion thereof is reserved by the architect.

**revisions:**

no.	date	description
a-c	2014.04.24	issued for information: V.1 electronic file
d	2014.05.20	issued for calculating areas
e	2014.06.06	final submitted <b>03 SEP 2014</b>

**STRENGTH AND DURABILITY**

It is recommended for building work to be subject to the applicable Town Planning regulations and the National Building Regulations and Building Standards Act 103 of 1977.

Chief Geomatics Control Officer  
Building Plan No. 103 of 1977  
To be used in conjunction with the National Building Regulations and Building Standards Act 103 of 1977.

Plan approved on: 10/08/2014

**gerard reuling architects**

b arch (up) pr.arch

2c dyerard road  
green point  
cape town  
8005

16 dempers street  
east river  
7201

tel: 083 3579 974

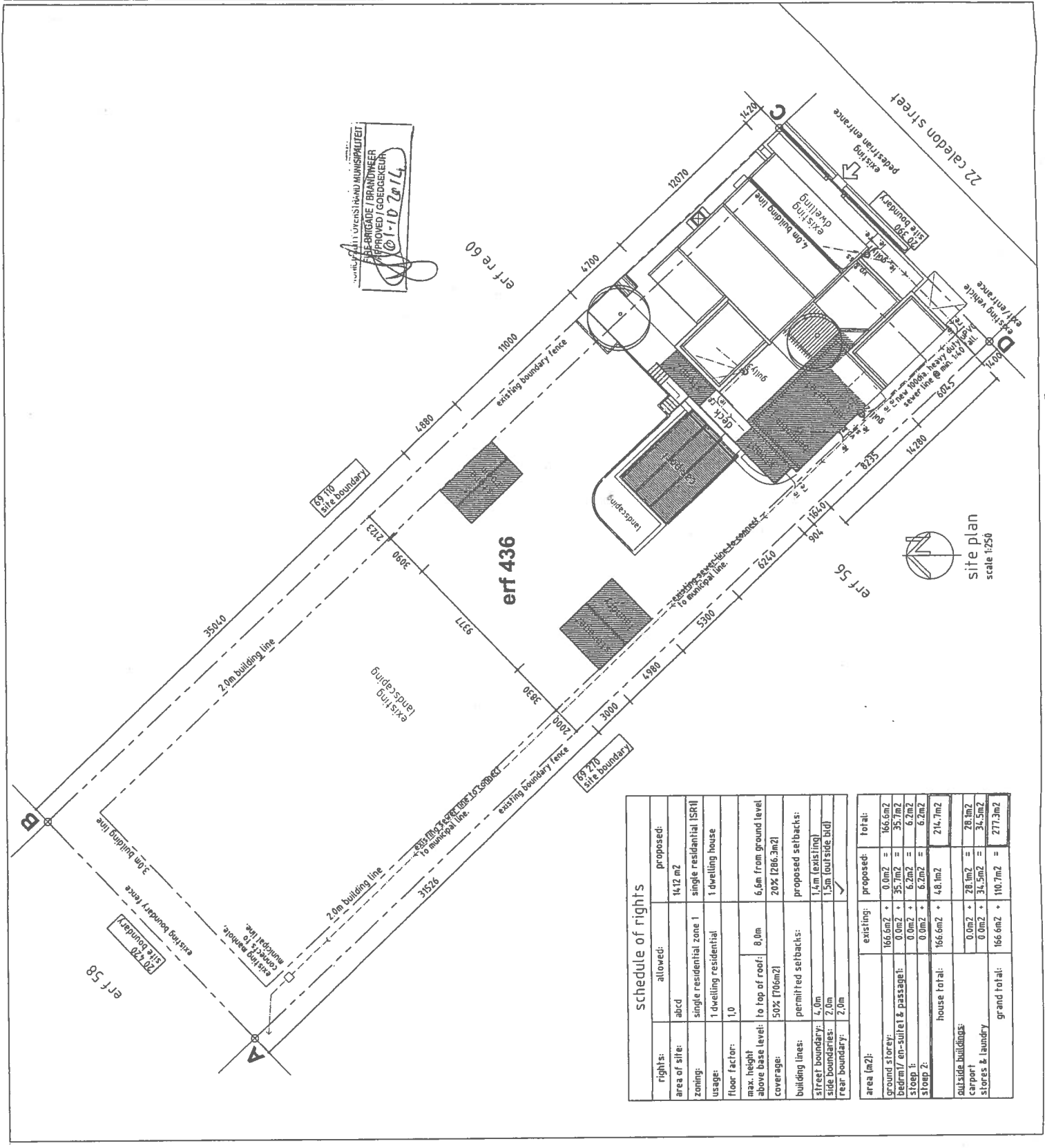
**architect signature:** *Bradlemie*

client: house riddell  
project: proposed alterations & additions on erf 436 stanford overstrand

drawing title: site plan

scale: 1:250  
date: 2014.04  
drawn: gr  
checked:

phase: design development  
drawing number: j0814-fp01  
revision: e



**schedule of rights**

rights:	allowed:	proposed:
area of site:	abcd	1412 m <sup>2</sup>
zoning:	single residential zone 1	single residential ISRI
usage:	1 dwelling residential	1 dwelling house
floor factor:	1.0	
max. height above base level:	to top of roof: 8.0m	6.6m from ground level
coverage:	50% (106m <sup>2</sup> )	20% (286.3m <sup>2</sup> )
building lines:	permitted setbacks:	proposed setbacks:
street boundaries:	4.0m	1.4m (existing)
side boundaries:	2.0m	1.5m (outside bid)
rear boundary:	2.0m	

area (m <sup>2</sup> ):	existing:	proposed:	total:
ground storey:	166.6m <sup>2</sup> + 0.0m <sup>2</sup>	0.0m <sup>2</sup>	166.6m <sup>2</sup>
bedrm/ en-suite & passage:	0.0m <sup>2</sup> + 35.7m <sup>2</sup>	35.7m <sup>2</sup>	35.7m <sup>2</sup>
stoep 1:	0.0m <sup>2</sup> + 6.2m <sup>2</sup>	6.2m <sup>2</sup>	6.2m <sup>2</sup>
stoep 2:	0.0m <sup>2</sup> + 6.2m <sup>2</sup>	6.2m <sup>2</sup>	6.2m <sup>2</sup>
house total:	166.6m <sup>2</sup> + 48.1m <sup>2</sup>	48.1m <sup>2</sup>	214.7m <sup>2</sup>
outside buildings:			
carport:	0.0m <sup>2</sup> + 28.1m <sup>2</sup>	28.1m <sup>2</sup>	28.1m <sup>2</sup>
stores & laundry:	0.0m <sup>2</sup> + 34.5m <sup>2</sup>	34.5m <sup>2</sup>	34.5m <sup>2</sup>
grand total:	166.6m <sup>2</sup> + 110.7m <sup>2</sup>	110.7m <sup>2</sup>	277.3m <sup>2</sup>



**general notes:**

- o all dimensions and levels are to be verified on site prior to commencing setting out, workshop drawings or construction
- o figured dimensions only to be used.
- o discrepancies, errors and omissions are to be reported to the architect immediately they become evident.
- o shop drawings to be submitted for approval prior to manufacture or installation.
- o all specified products are to be fitted to the respective manufacturers specifications.
- o copyright and right of reproduction of this drawing or any portion thereof is reserved by the architect.

**revisions:**

no.	date	description
a-c	2014.04.24	issued for Information Wes-Knap
d	2014.05.29	issued for calculation system update
e	2014.06.06	closed submission

U3 2014

**GENERAL MUNICIPALITY**

2014/05/29

Planned Area No. 100 is recommended for approval subject to the applicable Town Planning regulations and the National Building Regulations and Building Standards Act 103 of 1977.

City of Cape Town

is approved subject to the applicable Town Planning regulations and the National Building Regulations and Building Standards Act 103 of 1977.

Plan approved on: 2014/06/06

**gerard reuling architects**

b arch (up) pr.arch

2c dyserd road  
green point  
cape town  
8005

16 dempers street  
annet river  
7201

tel: 083 3579 974

architect signature: *Gerard Reuling*

client: house riddell

project: proposed alterations & additions on erf 4.36 stanford overstrand

drawing title: roof plan

scale: 1:100

date: 2014.04

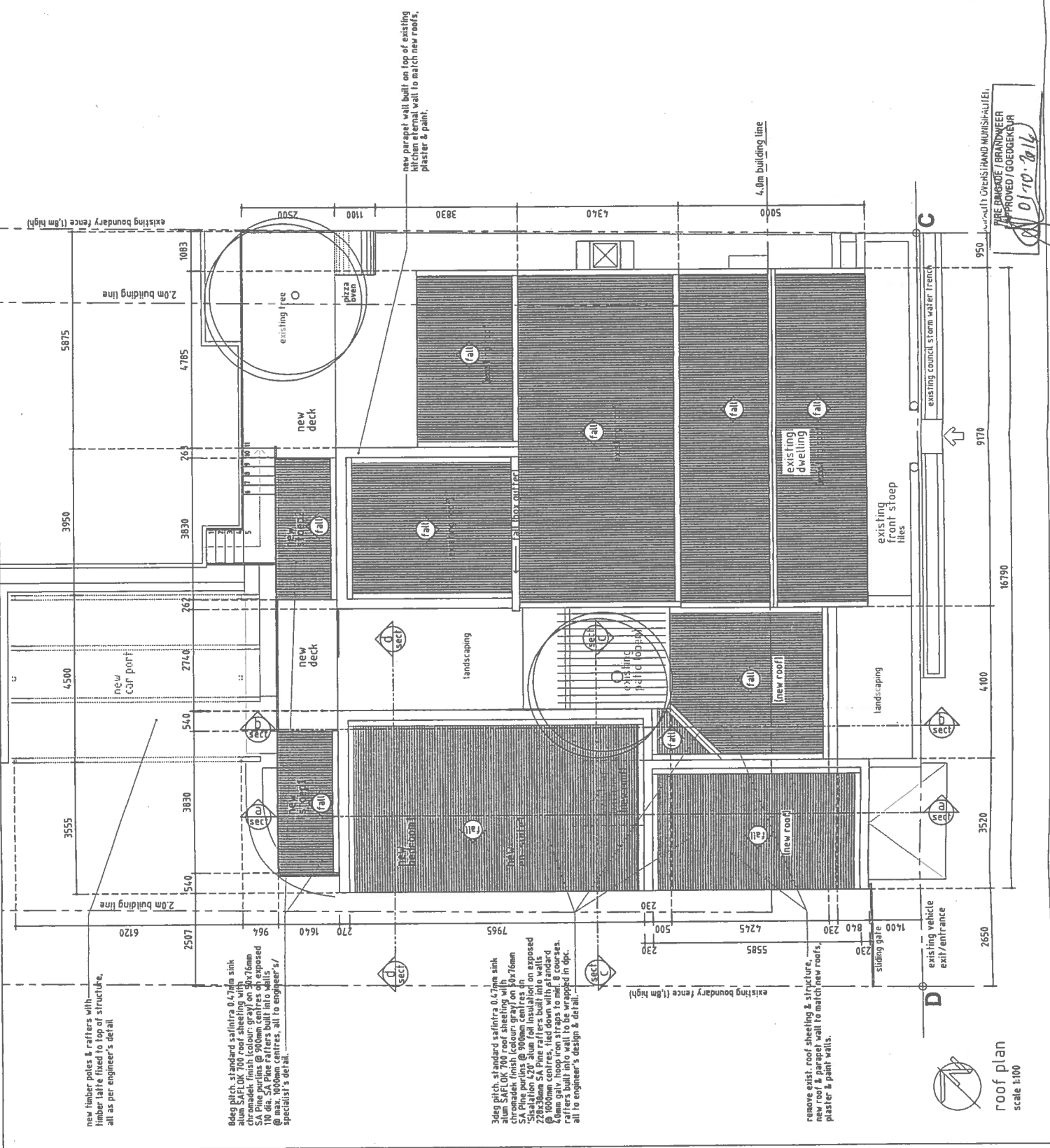
drawn: gr

checked:

phase: design development

drawing number: J0814-fp03

revision: E



APPROVED / GOEDGEKOR

01-110-2014

BRANDMEER

OVERSTRAND MUNICIPALITY

roof plan  
scale 1:100

**general notes:**

- o all dimensions and levels are to be verified on site prior to commencing setting out, workshop drawings or construction
- o figured dimensions only to be used.
- o discrepancies, errors and omissions are to be reported to the architect immediately they become evident.
- o shop drawings to be submitted for approval prior to manufacture or installation.
- o all specified products are to be fitted to the respective manufacturer's specification.
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**REVISIONS:**


no.	date	description
1	2014.04.24	issued for Maitland Vets-Kuipi
2	2014.05.28	issued for Highgate West-kuipi
3	2014.06.06	issued for council submission

**OVERSTRAAND MUNICIPALITY**

Building Plan (No. 26331) is recommended for approval subject to the completion of Town Planning Regulations and Building Standards Act 103 of 1977.

Chief Building Control Officer  
Building Section  
Town Planning Regulation, the National Building Regulations and Building Standards Act 103 of 1977

Plan approved on: \_\_\_\_\_  
Area: \_\_\_\_\_ (per Council)



**gerard reuling architects**  
b arch (up) pr arch

2c dyarst road  
green point  
cape town  
8005

16 dempers street  
orange river  
7201

tel: 083 3579 974

architect signature: *Gerard Reuling*

client: house riddell

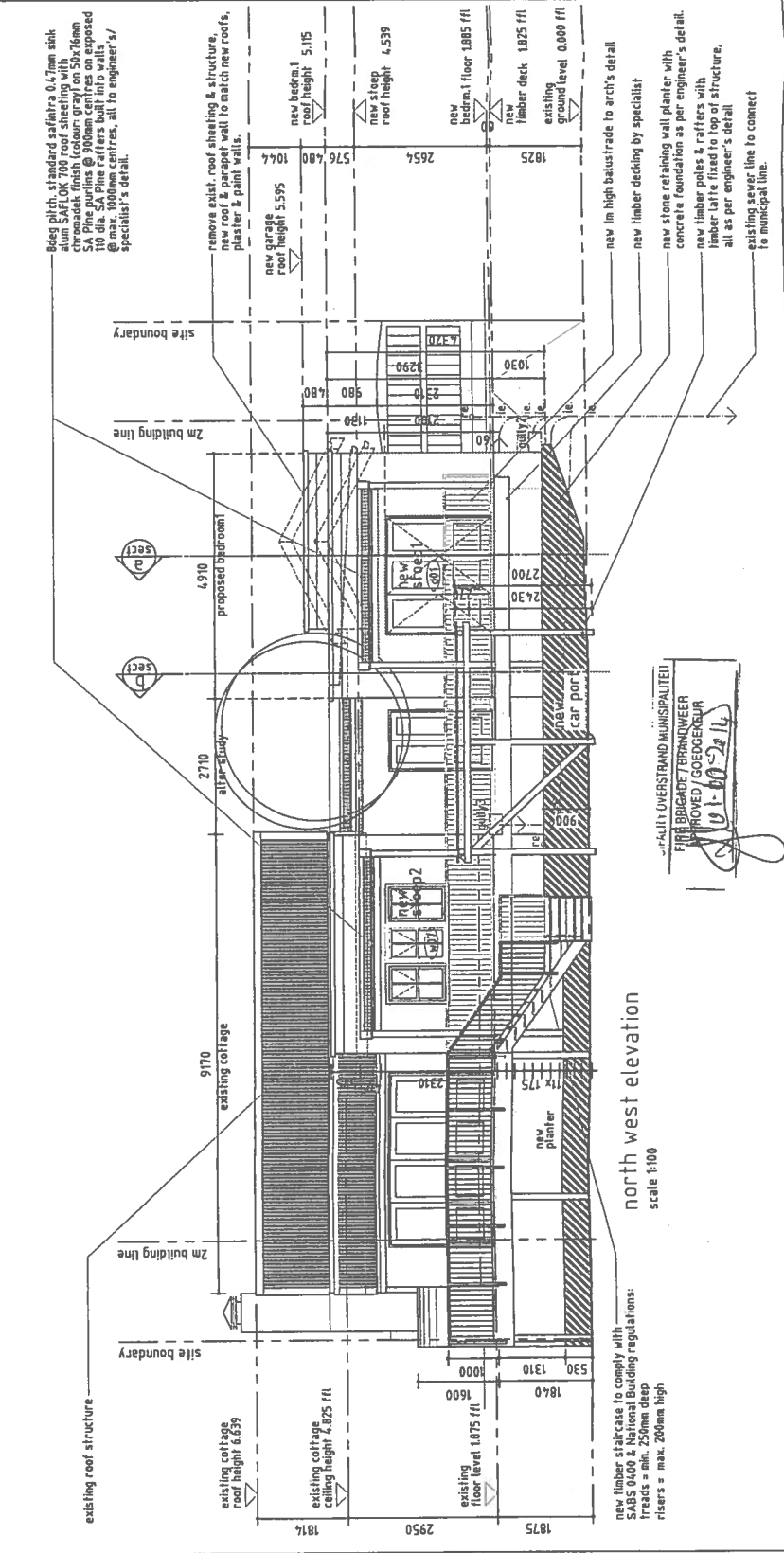
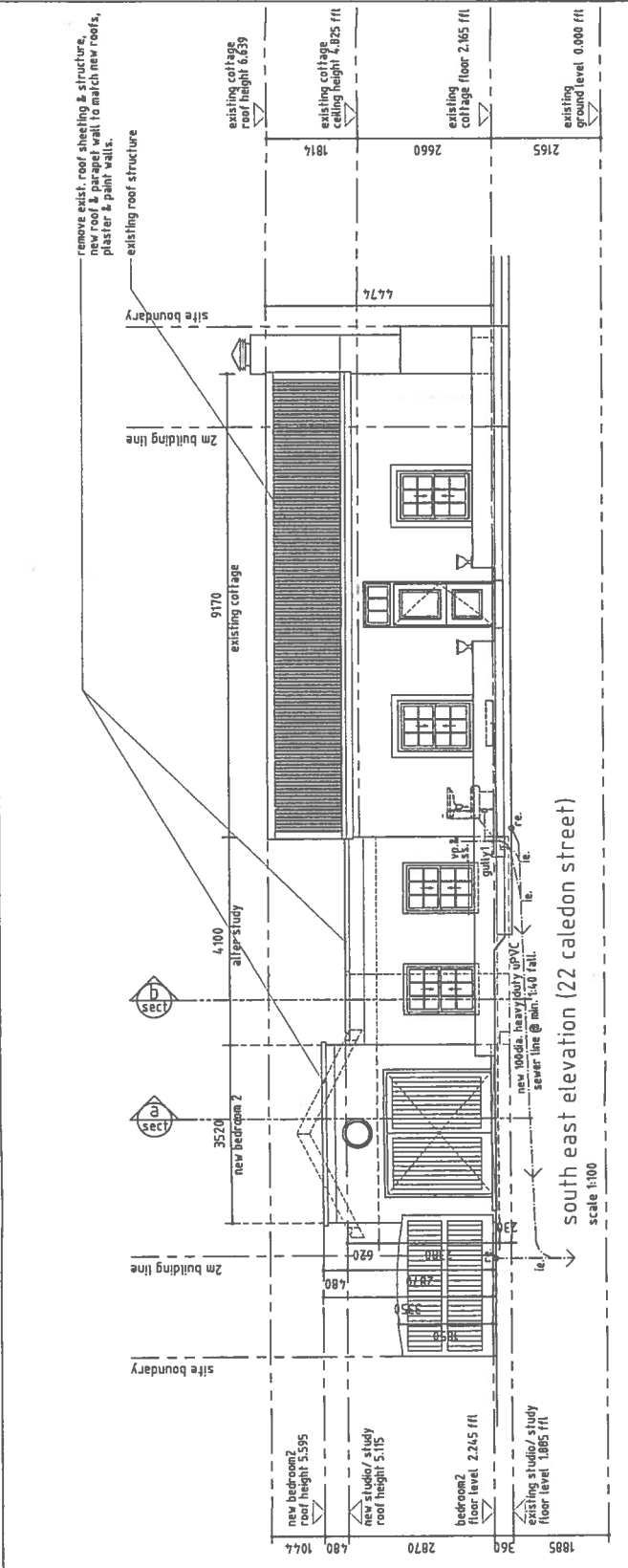
project: proposed alterations & additions on erf 436 stanford overstrand

drawing title: south east elevation north west elevation

scale: 1/100 date: 2014.04.06 checked: \_\_\_\_\_  
drawn: gr

phase: design development

drawing number: j0814-e(01) revision: 0



APPROVED FOR THE ARCHITECT  
PROVED / GOEDGEKUR  
19-08-14

**general notes:**

- all dimensions and levels are to be verified on site prior to commencing setting out, workshop drawings or construction
- figured dimensions only to be used.
- discrepancies, errors and omissions are to be reported to the architect immediately they become evident.
- shop drawings to be submitted for approval prior to manufacture or installation.
- all specified products are to be fitted to the respective manufacturers specifications.
- copyright and right of reproduction of this drawing or any portion thereof is reserved by the architect.

**REVISIONS:**

no.	date	description
a-c	2014.04.11	final design
d	2014.05.20	issued for construction
e	2014.06.04	corrected for errors

**OVERSTRAND LOCAL COUNCIL**

is recommended for approval of this project to the appropriate Town Planning Regulations and Building Standards Act 103 of 1977

is approved subject to the following conditions: the applicant must comply with the National Building Regulations and Building Standards Act 103 of 1977

Plan approved on: 2014.06.04

**gerard reuling architects**  
b arch (up) pr arch

2c dyersd road  
green point  
cape town  
8005

16 dempers street  
annat river  
7201

tel: 083 3579 974

client: house riddell

project: proposed alterations & additions on erf 436 stanford overstrand

drawing title: south west elevation north east elevation

scale: 1:100

date: 2014.04

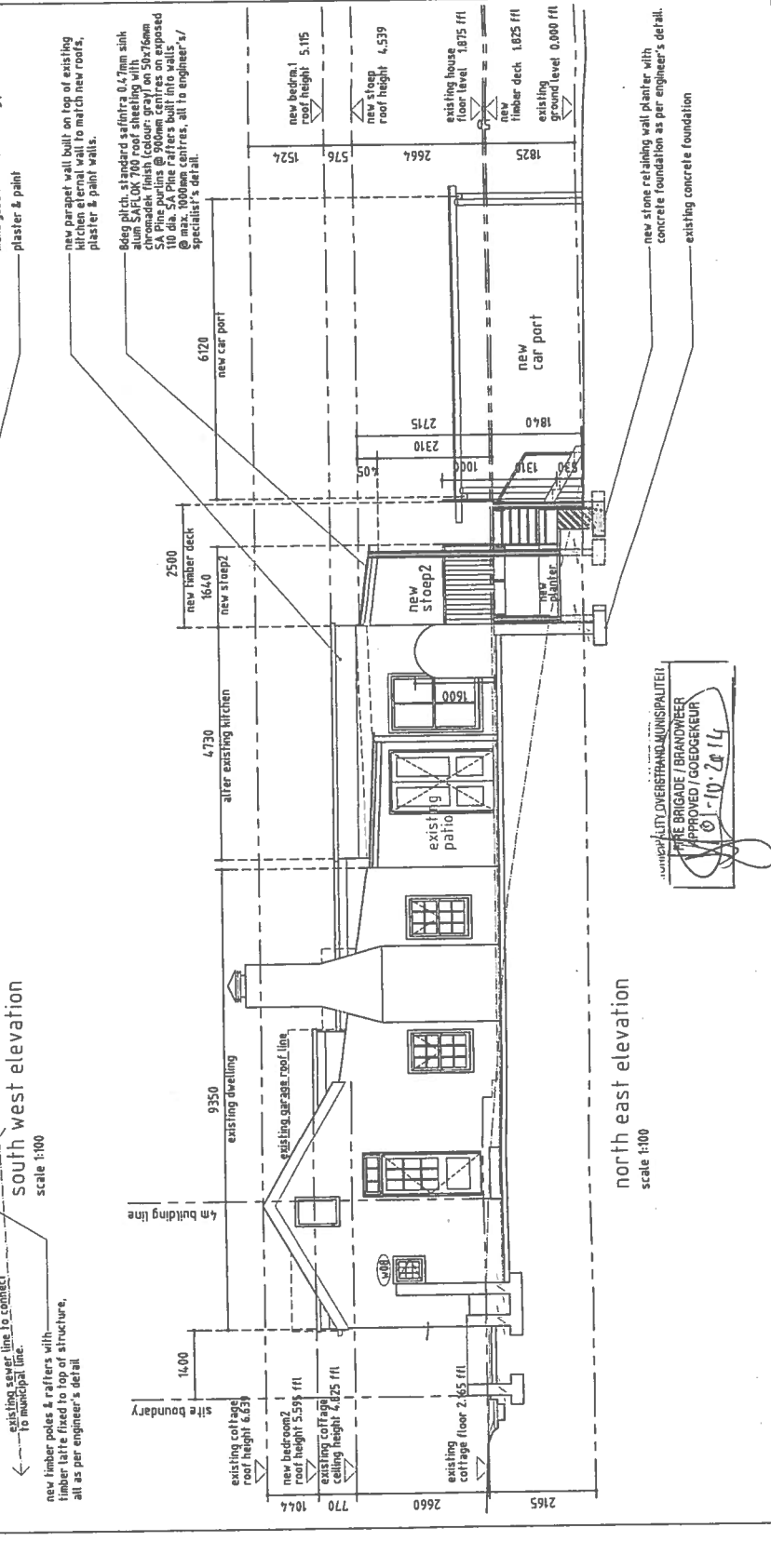
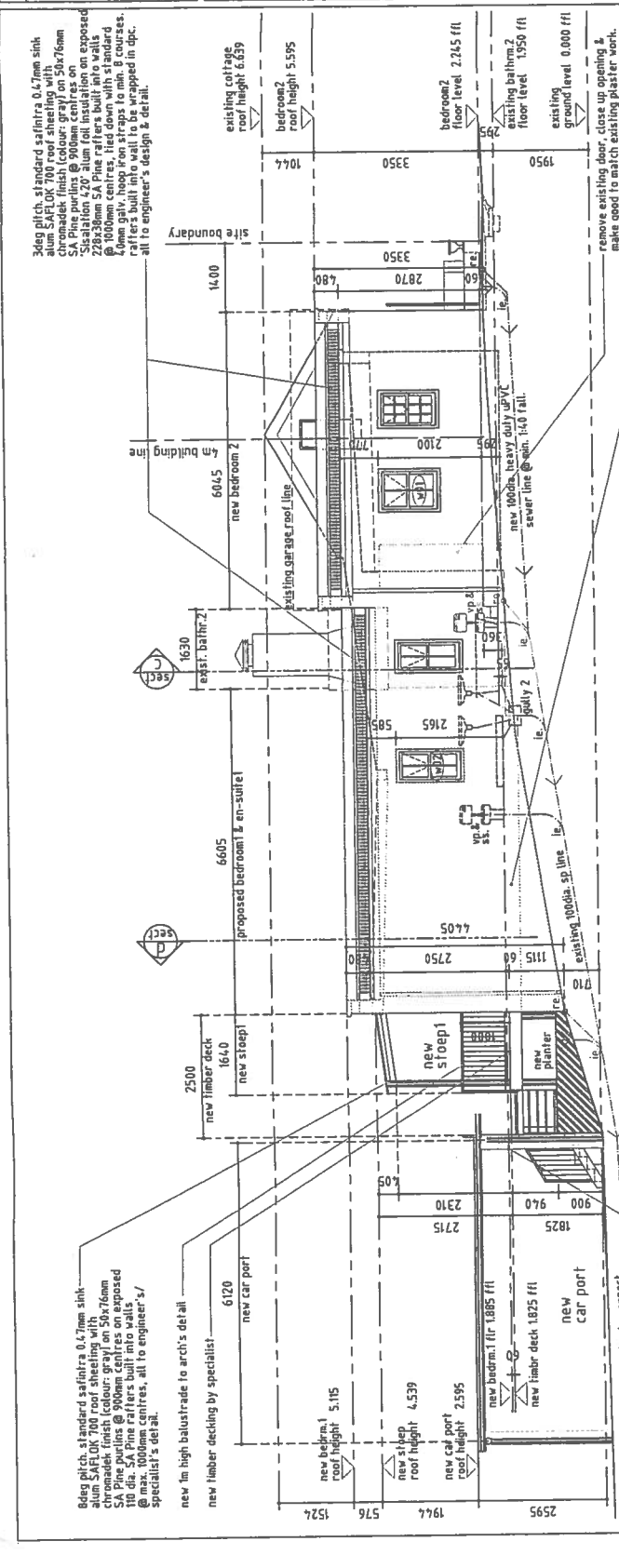
drawn: gr

checked:

phase: council submission

drawing number: j0814-el02

revision: e



OVERSTRAND LOCAL COUNCIL  
THE BRIGADE / BRANDVORER  
APPROVED / GOEDGEKUR  
10.2014

general notes:

- all dimensions and levels are to be verified on site prior to commencing setting out, working drawings or construction
- figured dimensions only to be used.
- discrepancies, errors and omissions are to be reported to the architect immediately they become evident.
- shop drawings to be submitted for approval prior to manufacture or installation.
- all specified products are to be fitted to the respective manufacturers specifications.
- copyright and right of reproduction of this drawing or any portion thereof is reserved by the architect.

REVISIONS:

no.	date	description
1	2016.06.06	revised submission

U3-SEP-2014

Building Plan No. 2533 is recommended for approval. Applicable to the Town Planning Regulations and the Building Regulations and Building Standards Act 103 of 1977.

Chief Building Officer, Ombud Building Regulator, is approved subject to the applicable Town Planning Regulations and Building Standards Act 103 of 1977.

Area Manager (for Council)

**gerard reuling architects**  
b arch (up) pr.arch

2c d'yaort road  
green point  
cape town  
8005

16 dempers street  
annorst river  
7201

tel: 083 3579 974

client: house riddell  
project: proposed alterations & additions on erf 436 stanford oversstrand

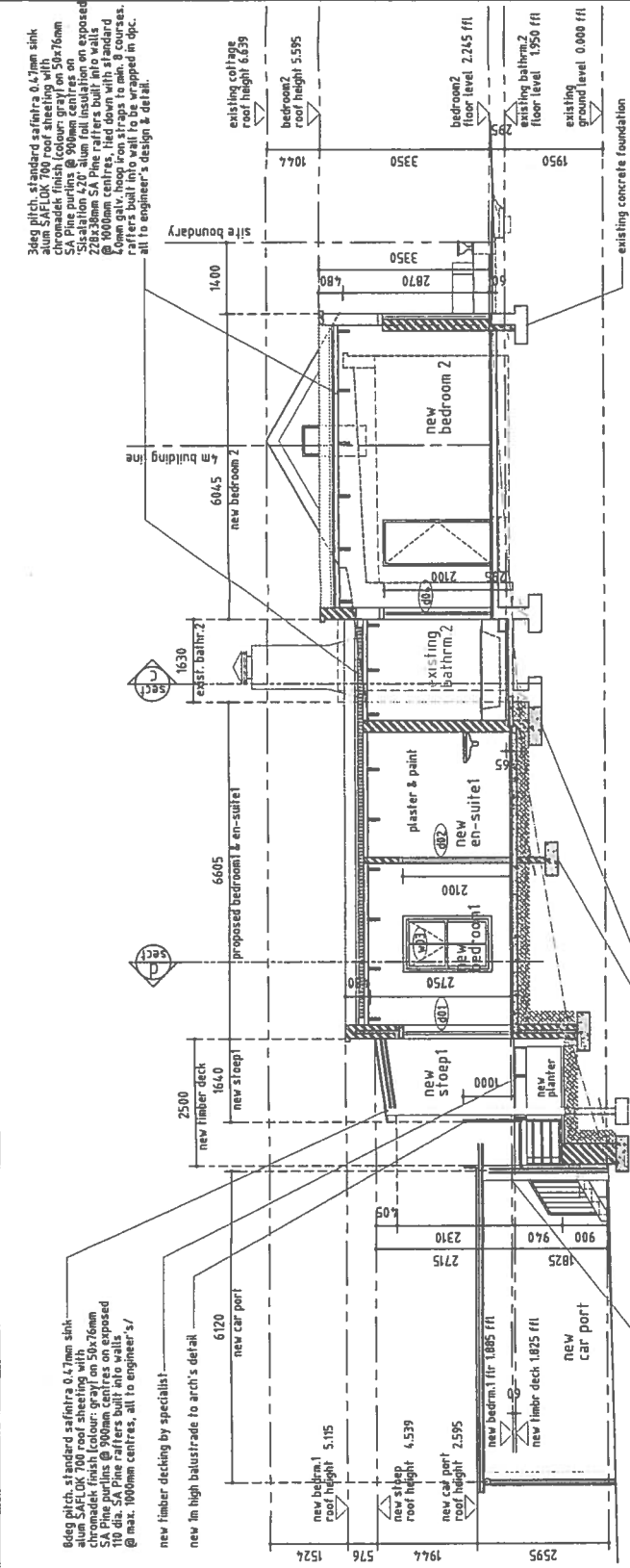
architect signature: *Arno Lemmer*

drawing title: section a-a section b-b

scale: 1:100  
date: 2016.06  
drawn: gr  
checked: [ ]

phase: council submission

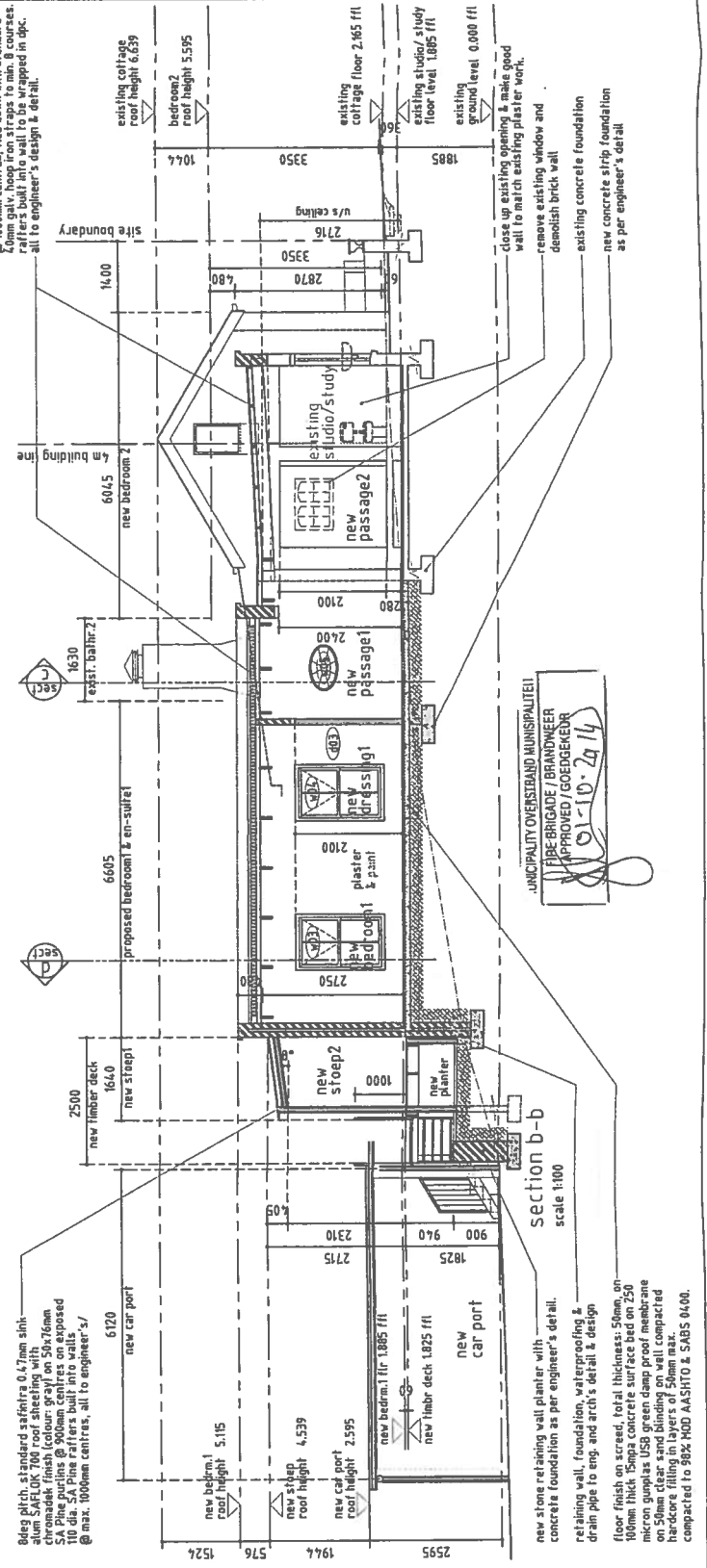
drawing number: J0814-SC01  
revises: e



SECTION a-a  
scale 1:100

new timber poles & rafters with timber lath fixed to top of structure, all as per engineer's detail

new concrete strip foundation as per engineer's detail



SECTION b-b  
scale 1:100

new stone retaining wall planter with concrete foundation as per engineer's detail.

retaining wall, foundation, waterproofing & drain pipe to eng. and arch's detail & design

floor finish on screed, total thickness: 50mm, on 100mm thick 50mpa concrete surface bed on 250 micron gunplas USB green damp proof membrane on 50mm clear sand binding on well compacted hardcore filling in layers of 50mm max. compacted to 90% MOD AASHTO & SABS 0400.

MUNICIPALITY OVERSTAND MUNISPALLETEL  
PIPE BRIGADE / BRANDENEER  
APPROVED / GOEDGEKEUR  
01-10-2014

**general notes:**

- all dimensions and levels are to be verified on site prior to commencing setting out, workshop drawings or construction and to approved plans.
- figure dimensions only to be used.
- discrepancies, errors and omissions are to be reported to the architect immediately they become evident.
- shop drawings to be submitted for approval prior to manufacture or installation.
- all specified products are to be fitted to the respective manufacturer's specification.
- copyright and right of reproduction of this drawing or any portion thereof is reserved by the architect.

**revisions:**

no.	date	description
1	2014.06.06	revised drawings (VLS-joinip) Herington, Westin C (up)
2	03 SEP 2014	

**OVERSEAS LABOUR CERTIFICATE**

Building plan No: **2433** is recommended for approval subject to the applicable town planning regulations and the National Building Standards Act 103 of 1977.

Plan approved on: \_\_\_\_\_

222A Westin C (up) (not Council)

Chief Building Control Officer  
Building File No: \_\_\_\_\_ is approved subject to the applicable town planning regulations, the National Building Standards Act 103 of 1977.

**gerard reuling architects**  
b arch (up) pr arch

2c dyson road  
green point  
cape town  
8005

16 dempers street  
omrust river  
7201

tel: 083 3579 974

architect signature: *Gerard Reuling*

client: house riddell

project: proposed alterations & additions on erf 436 stanford overstrand

drawing title: section c-c section d-d

scale: 1:100

date: 2014.06

drawn: gr

checked:

phase: council submission

drawing number: j0814-sc02

revision: e

**plumbing & drainage:**

- to be in strict accordance to regulations of local authority and to approved plans.
- 140 sewer 100mm dia. heavy duty upvc drainage pipes with 140 max. in strict accordance with municipal regulations.
- drainage pipes, gullies etc. installed using cleaning eye system, connected into existing municipal drainage system.
- hot & cold water to be provided to all washing facilities.
- all waste fittings to have 50mm dia. deep-seal pipes.
- all waste fittings to have 150mm dia. deep-seal traps.
- any foundation within 1000mm of a drain line to be below such drain line.
- all soil fittings to have 100mm dia. heavy duty upvc soil pipes.
- gully rim to be 150mm above surrounding natural ground level.
- a crown of lowest trap to be 150mm above gully rim.

rainwater goods:  
new rainwater goods to match existing.

handrails:  
x minimum height of 1000mm

glazing:  
to comply with SANS 10400-N

safety glazing:  
in accordance with SANS 1253-1

roof and piping insulation:  
type, thickness & r-value = refer to Energy Efficiency in Buildings report attached

Solar water heating system to comply with National Building Regulations: SANS 10400-XA & SANS 204

**general notes:**

- ft of building to be min. 150mm above ngl.
- foundations of any boundary wall not to project boundary line.
- all work to comply with SANS 10400 and national building regulations.
- all work to be in accordance to local authorities regulations and by-laws.

**levels & dimensions:**

- the building are to be laid out and erected in the position and to the levels as indicated.
- excavate where necessary to reduce levels as shown on drawings.
- excavate material not to be used for filling, but only for site work, if suitable.

**concrete foundations:**

- all concrete foundations to engineer's design & details.
- all concrete to be 15 mpa mass concrete.
- all reinforced concrete and bending schedules as per engineer's design & details.

**foundation walls:**

- rot bricks to meet wall thickness of walls above.
- ceilings of foundation walls to be filled with concrete, to dpc level.
- reinforced concrete stairs, roofs & balconies to engineer's design & detail.

**floors:**

- ground floor:  
floor finish as specified on screed, total thickness: 50mm on 100mm thick 15 mpa concrete surface bed, on 250 micron gunplas top damp proof membrane on 50mm clean sand blinding on well compacted hardcore filling in layers of 150mm max. compacted to 98% mod aashto & sabs 0400.
- external:  
x 270mm rot cavity wall construction plastered & painted to match existing.
- internal:  
x 100mm & 220mm walls, refer to plans, plastered & painted to match existing.
- x weep holes on outside skin of cavity tray at 800mm c/c at floor level or indicated.
- x weep holes on outside skin of cavity tray at 440mm c/c above window & door lintels.
- x gable butterfly wall has built in at 5/8cm of wall face.
- x 300mm wide, 250 micron dpc to be built in around all door & window openings.
- x 375 micron dpc (brick grip) stepped down in cavity tray at floor level & above precast concrete lintels.
- x precast concrete lintels over all doors & window openings, where as necessary to engineer's specification with 4 courses of brickwork over.
- x lintels to have end bearing of min. 220mm on each side.

**ceilings:**

- x skimmed 4mm gypsum plasterboard flush ceiling fixed in accordance with manufacturer's specifications.
- x joints to be taped with fibreglass and skinned.
- x ceilings fixed to 300mm x 300mm x 12mm plasterboard at 400mm c/c
- x painted ceilings - refer to paint specification.

**insulation:**

- x refer to energy efficiency report.

**skalation:**

- x refer to energy efficiency report.

**cornice:**

- x timber profile cornices to be specified (to match existing).

**skirtings:**

- x timber profile skirtings to be specified (to match existing).
- x tile skirtings in bathroom to later detail.

**doors:**

- x timber doors:  
all doors & door frames to comply with SANS 204 & 10400 XA & fitted according to supplier specification.

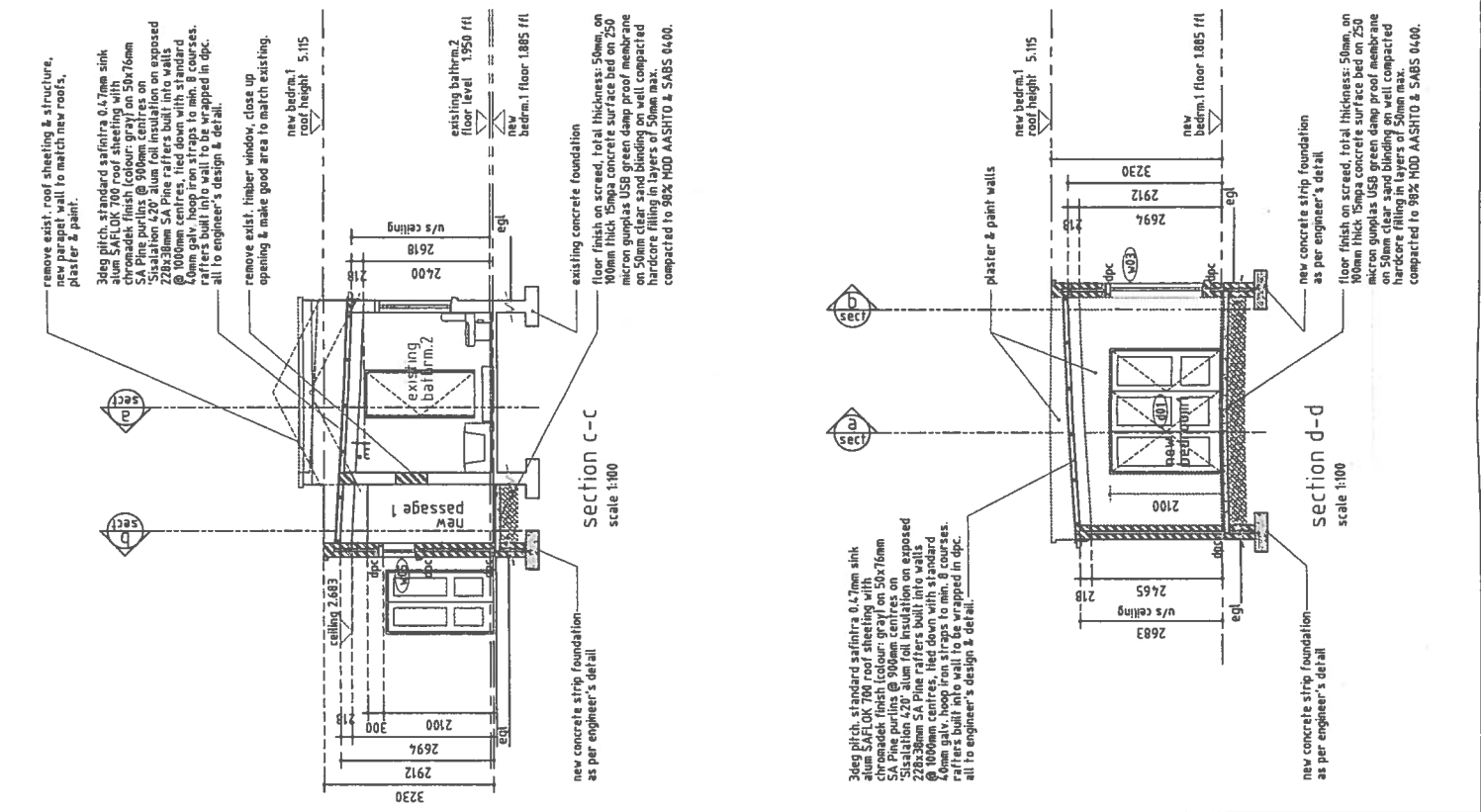
**window:**

- x timber windows:  
all windows to comply with SANS 204 & 10400 XA & fitted according to supplier specification.

**window cills:**

- x external cills:  
smooth plastered & painted cills outside to match existing.
- x internal cills:  
smooth plastered & painted cills inside to match existing.
- x timber cills inside to match existing.
- x fitted cills to bathrooms with aluminium straight edge trims.

APPROVED / GEORGE MURPHY  
14/07/14




general notes:

- o all dimensions and levels are to be verified on site prior to commencing setting out, workshop drawings or construction
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revisions:

no.	date	description
1	2014.08.20	consult submission (as per council's requirements)


  
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**architects**  
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 16 dempers street  
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 east  
 7201  
 tel: 083 3579 974

architect signature:

*[Handwritten Signature]*

client:

house riddell

project:

proposed alterations & additions on erf 436 stanford overstrand

drawing title:

outside buildings: laundry & store

scale:

1:100

date:

2014.10

drawn:

gr

checked:

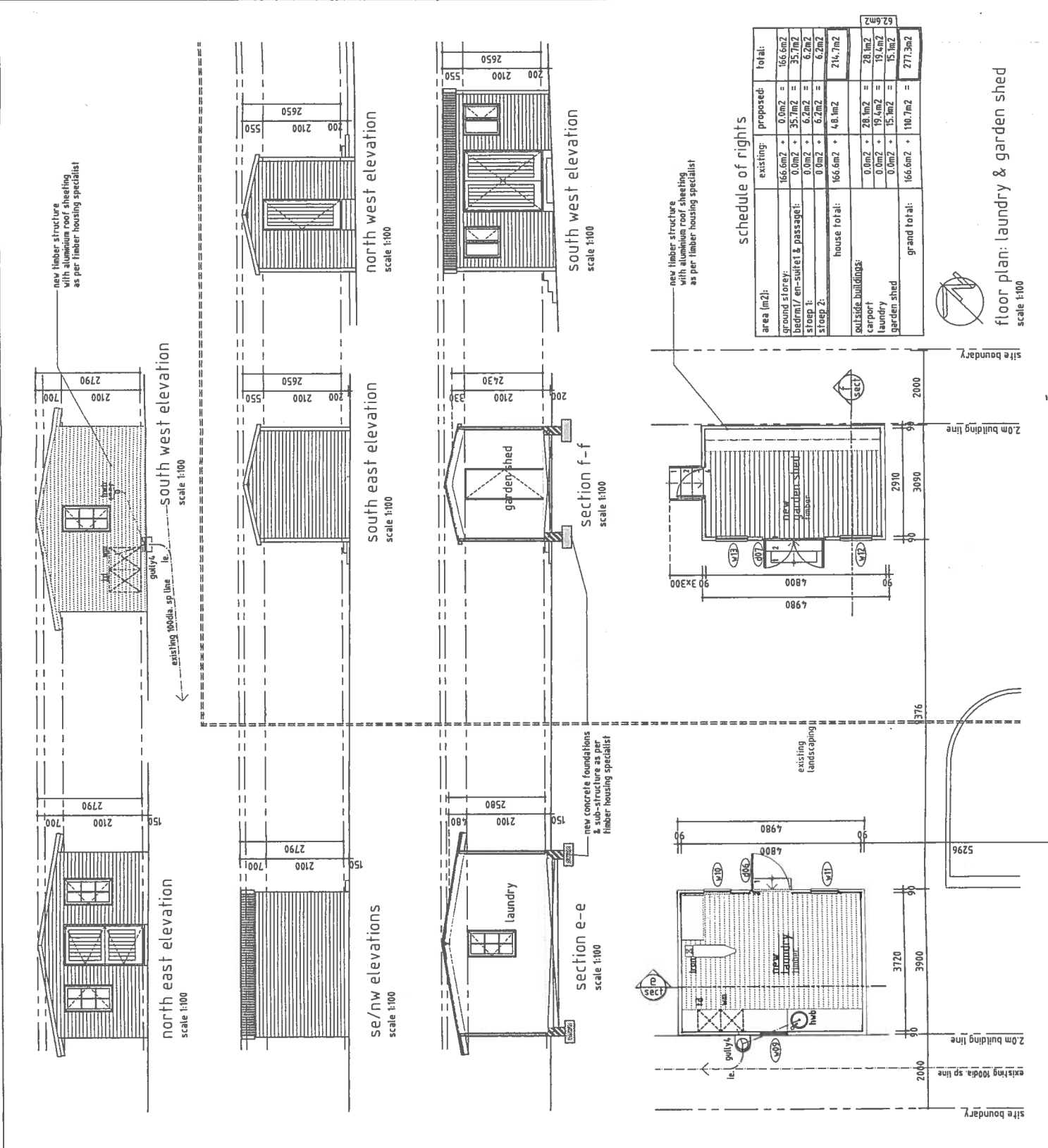
phase:

council submission

drawing number:

j0814-fp04

revision: e



schedule of rights

area (m <sup>2</sup> ):	existing:	proposed:	total:
ground storey:	166.6m <sup>2</sup>	0.0m <sup>2</sup>	166.6m <sup>2</sup>
bedrm/ en-suite/ & passage:	0.0m <sup>2</sup>	35.7m <sup>2</sup>	35.7m <sup>2</sup>
steeep 1:	0.0m <sup>2</sup>	6.2m <sup>2</sup>	6.2m <sup>2</sup>
steeep 2:	0.0m <sup>2</sup>	6.2m <sup>2</sup>	6.2m <sup>2</sup>
<b>house total:</b>	<b>166.6m<sup>2</sup></b>	<b>48.1m<sup>2</sup></b>	<b>214.7m<sup>2</sup></b>
<b>outside buildings:</b>			
carport	0.0m <sup>2</sup>	28.1m <sup>2</sup>	28.1m <sup>2</sup>
laundry	0.0m <sup>2</sup>	19.4m <sup>2</sup>	19.4m <sup>2</sup>
garden shed	0.0m <sup>2</sup>	15.1m <sup>2</sup>	15.1m <sup>2</sup>
<b>grand total:</b>	<b>166.6m<sup>2</sup></b>	<b>110.7m<sup>2</sup></b>	<b>277.3m<sup>2</sup></b>

floor plan: laundry & garden shed  
scale 1:100



gerard reuling  
architects

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green point  
8005

company registr. no.  
ck 2002/099976/23

27 October 2014

Overstrand Municipality  
Magolia Street  
Hermanus  
7200

Attention: To whom it may concern

Dear Sir / Madam

**22 CALEDON STREET, ERF 436, STANFORD**

The existing property comprises of a heritage cottage with additional structures that were built over the years.

The proposed construction work, consisting of alterations & additions are mainly to be done at the back of the existing house. Keeping the scale and proportion of the house's front facade the same as per existing, the character of the streetscape will still remain as beautiful as it is. The existing cottage will therefore remain being the main focus of the property and will be kept in its historical & contextual character.

At the back of the property, the new proposed timber decking will run over the 2m proposed building line. The reason for this is to get the decking to line up with the existing patio & walkway around the house, creating all lines to line up and make it look like it was all designed and done at the same time. Proposing a pizza/ bread oven (no chimney required) over the building line closer to the beautiful existing tree, will give an undisturbed visual effect towards the beautiful landscape at the back causing no obstruction when sitting on the 'stoep' or inside the house. No neighbouring buildings are close to this proposal and will therefore have no negative effect on their property.

The renovated house will be in keeping with the neighboring properties that are typical to the Stanford architecture. The surrounding properties and environment can only benefit from such a sensitive renovation.

Yours sincerely,

Gerard Reuling  
Professional Architect



Google earth



22 Caledon Street  
 Stanford  
 Western Cape  
 South Africa.

Grans Bay



Google earth



Google

Address Queen Victoria St

72

Address is approximate

22 Caledon street view, Stanford



Caledon Street view



Google earth

