

**ERF 3729, 4 THIRTEENTH STREET, VOËLKLIP, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE & DETERMINATION OF AN ADMINISTRATIVE PENALTY: INTERACTIVE TOWN & REGIONAL PLANNING (ITRP) ON BEHALF OF MIRROVEST CORPORATION (PTY) LTD**

Notice is hereby given in terms of Sections 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received in order to do the following:

- Departure in terms of Section 16(2)(b) of the By-Law to relax the following:
  - Western street building line from 4m to 1.96m, to accommodate the following changes: replacement of 2 doors & 1 window; opening in the wall between the bathroom and bedroom;
  - Eastern lateral building line from 2m to 1.48m, to accommodate the following changes: bricking up of 3 windows and 1 door; replace 1 window with a taller window; 2 new doors; replace 1 window; internal stairs moved to new location; new wall between kitchen and scullery; part of previous garage change to a storage area; games room and bedroom converted to a kitchen; bathroom converted to a scullery; and
  - Southern lateral building line from 2m to 0m, to accommodate the following changes: replace 1 door; replace 1 door with taller door; outhouse converted into a bedroom; storage room converted to a bedroom.
- Determination of an administrative penalty in terms of Section 16(2)(q) of the By-Law, to accommodate the existing above-mentioned changes.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, 16 Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) on or before **Friday, 9 September 2022**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Town Planner, Mr P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

**ERF 3729, DERTIENDE STRAAT 4, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: INTERACTIVE TOWN & REGIONAL PLANNING (ITRP) NAMENS MIRROVEST CORPORATION (PTY) LTD**

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek ontvang is ten einde die volgende te doen:

- Afwyking ingevolge Artikel 16(2)(b) van die Verordening om verslapping van die volgende:
  - Westelike straat boulyn vanaf 4m na 1.96m, ten einde die volgende veranderinge te akkommodeer: vervang 2 deure; vervang 1 venster; muur opening tussen badkamer en slaapkamer;
  - Oostelike syboullyn vanaf 2m na 1.48m, ten einde die volgende veranderinge te akkommodeer: toemaak van 3 vensters & 1 deur; verlang 1 venster met groter venster; 2 nuwe deure; vervang 1 venster; intern strappe geskuif na nuwe plek; nuwe muur tussen kombuis en opwaskamer; verandering van gebruik van 'n gedeelte van die motorhuis na 'n stoor area, verandering van gebruik van speel en slaapkamer na 'n kombuis; verandering van gebruik van badkamer na opwaskamer; and
  - Suidelike syboullyn vanaf 2m na 0m, ten einde die die volgende veranderinge te akkommodeer: vervang 2 deure; vervang 1 deur; vervang 1 deur met groter deur; verandering van gebruik van buitegebou na 'n slaapkamer; verandering van gebruik van stoorkamer na 'n slaapkamer.
- Bepaling van 'n administratiewe boete ingevolge Artikel 16(2)(q) van die Verordening, ten einde die bestaande bogenoemde veranderinge te akkommodeer.

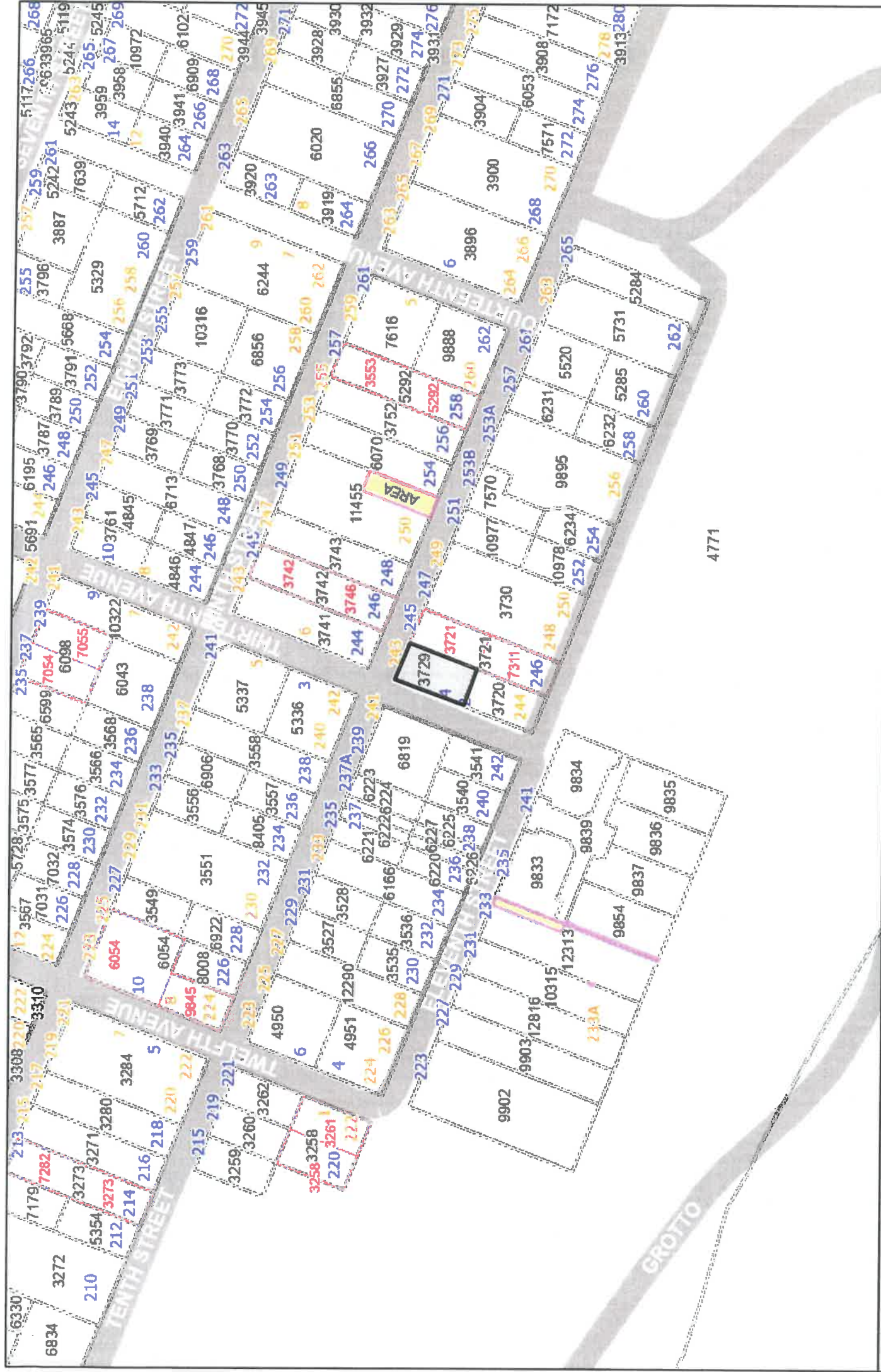
Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) voor of op **Vrydag, 9 September 2022**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Stadsbeplanner, Mnr P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

**ISIZA 3729, 4 THIRTEENTH STREET, VOËLKLIP, KUMASIPALA WASE-OVERSTRAND: ISICELO SOKUNYENYISWA KUNYE NOKUGQITYWA KWESOHLWAYO: ABAKWA-INTERACTIVE TOWN & REGIONAL PLANNING (ITRP) EGAMENI LE-IRROVEST CORPORATION (PTY) LTD**

Kukhutshwa isaziso ngokumayela neCandelo 48 loMthetho Otshintshweyo woMasipala waseOverstrand ongokuSetyenziswa koMhlaba kaMasipala, 2020 (uMthetho kaMasipala), ukuba kufunyenwe isicelo ukuze kwenziwe oku kulandelayo:

- Ukuphambuka ngokumayela neCandelo 16(2)(b) loMthetho kaMasipala ukuze kunyenyiswe oku kulandelayo:
  - Umgca wesakhiwo ongasentshona unyenyiswe ukusuka ku-4m ukuya ku-1.96m ukuze kwenziwe olu tshintsho lulandelayo: kutshintshwe amacango ama-2 kunye nefestile e-1; kuqhekezwe udonga olwahlula igumbi lokuhlambela kunye negumbi lokulala;
  - Umgca wesakhiwo ongasempuma unyenyiswe ukusuka ku-2m ukuya ku-1.48m ukuze kwenziwe olu tshintsho lulandelayo: Ukuvala indawo ebinestile ezi-3 kunye nocango olu-1, ukufakela ifestile ende kunale i-1 ikhoyo; amacango amatsha amabini; ukutshintsha ifestile enye; izitepsi zangaphakathi zitshintshelwe kwenye indawo; udonga olutsha phakathi kwekhithi negumbi lokugcina ukutya; inxalenye yendawo ebiyigaraji itshintshwe ibe yindawo yokugcina izinto; igumbi lemidlalo kunye negumbi lokulala litshintshwe libe likhitshi; igumbi lokuhlamba litshintshwe ibe yindawo yokugcina ukutya; nokuba
  - Umgca wesakhiwo ongasemazantsi unyenyiswe ukusuka ku-2m ukuya ku-0m ukuze kwenziwe olu tshintsho lulandelayo: kutshintshwe ucango olu-1; kufakwe ucango olude kunocango olu-1 olukhoyo; isakhiwo esiseceleni sijikwe ibe ligumbi lokulala; igumbi lokugcina izinto lijikwe libe ligumbi lokulala.
- Ukugqitywa kwesohlwayo emasibhatalwe ngokweCandelo 16(2)(q) loMthetho kaMasipala ukuze olu tshintsho lwenziweyo lwenziwe lube semthethweni.

linkcukacha ezipheleleyo mayela noku kucetyiweyo ziyafumaneka ukuze kuhlolewe phakathi evekini phakathi ko 08:00 no 16:30 kwiSebe: Lokuceba iDolophu, 16 Paterson Street, Hermanus. Amagqabaza okuhlomla abhalileyo amele afakwe kuMasipala ngokommiselo weCandelo 51 neCandelo 52 lalo Mthetho kaMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) ngaphambi okanye **ngoLwesihlanu, 9 Septemba 2022**, ubhale igama lakho, idilesi neenkukacha zoqhagamshelwano, umdla kwisicelo nezizathu zokuhlomla. Imibuzo ngefowuni ingafakwa ku**Mcebi Dolophu, uMnu P Roux** ku 028-313 8900. UMasipala angangavumi ukwamkela amagqabaza okuhlomla afunyenwe emva komhla wokuvala. Nabani na ongakwazi kufunda okanye ukubhala angatyelela iSebe loYilo Dolophu apho igosa lakwamasipala liya kumnceda afake amagqabaza okuhlomla.



Locality Map  
 Erf 3729, 4 Thirteenth Avenue, Voëlklip

# 1. Introduction

<p><b>a. Brief</b></p> <p>Refer to <b>Annexure B</b> for the Power of Attorney.</p>	<p>Interactive Town and Regional Planning was appointed by the owner of the property Mirrovest Corporation Pty Ltd to prepare and submit an application for building line departures and the determination of an administrative penalty on Erf 3729, Voëlklip in terms of the relevant legislation.</p>
<p><b>b. Background</b></p>	<p>The application area consists of a 535m<sup>2</sup> single residential erf with a dwelling house situated at number 4 Thirteenth Avenue.</p> <p>Changes have been made to the dwelling within the existing footprint and includes internal changes as well as changes to windows and doors.</p>

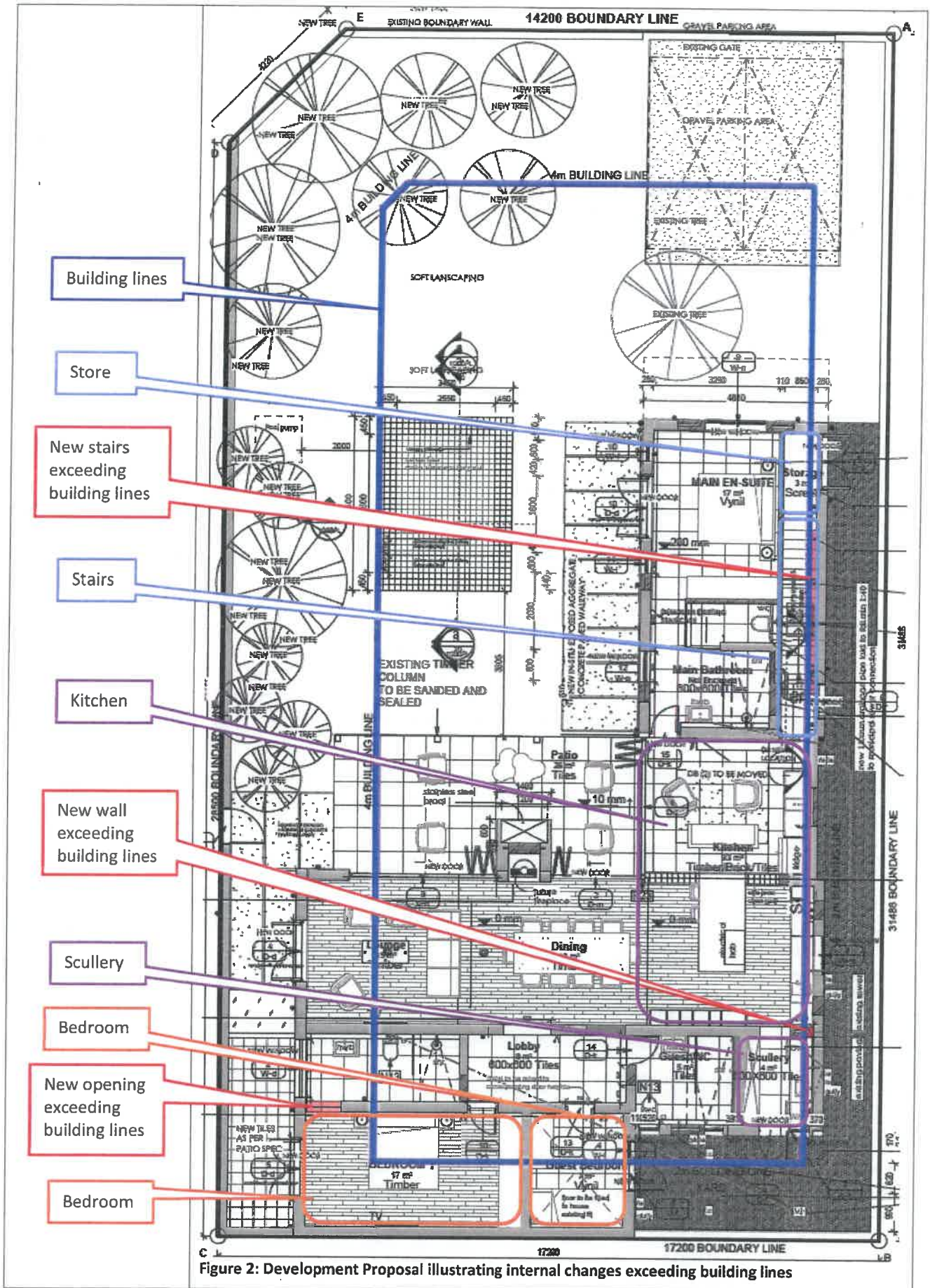
**c. Development Objective & Application Proposal**

The **development objective** is to legalise the existing structures exceeding building lines as illustrated below:

The figure consists of four architectural elevations of a house, each with callouts indicating specific changes and building lines:

- East Elevation:** Shows a 'Southern side building line' on the left. Callouts include 'New window' (pointing to a new window on the left side), 'Replace door' (pointing to a door on the left side), and two 'New door' callouts (pointing to new doors on the right side).
- West Elevation:** Shows a 'Southern side building line' on the right. Callouts include 'Replace door' (pointing to a door on the left side), 'Replace window' (pointing to a window on the right side), and 'Replace door' (pointing to a door on the right side).
- North Elevation:** Shows 'Eastern side building line' on the left and 'Western street building line' on the right. A callout for 'New door' points to a door on the right side.
- South Elevation:** Shows 'Western street building line' on the left and 'Eastern side building line' on the right. A callout for 'Replace window' points to a window on the right side.

Figure 1: Elevations illustration external building changes exceeding building lines



Subsequently the **application proposal** is for:

- a departure to relax the **western street building line** from 4m to 1.96m to allow for existing structures.
- a departure to relax the **eastern side building line** from 2m to 1.48m to allow for existing structures.
- a departure to relax the **southern side building line** from 2m to 0m to allow for existing structures.
- a determination of an administrative penalty.

## 2. The Application

<p><b>a. Analysis: Title Deed</b> Refer to <b>Annexure D</b> for the Conveyancer Certificate.</p>	<p>The Conveyancer Monica Korf issued a certificate confirming that <u>no</u> restrictive title deed conditions exist against the proposal on Erf 3729 Hermanus.</p>								
<p><b>b. Analysis: Development Criteria:</b></p> <p>The development parameters for Erf 3729 Hermanus as per the Overstrand Municipality Land use Scheme, 2020 are summarised as follows:</p>	<b>Parameters</b>		<b>Existing Zoning:</b>		<b>Proposal:</b>		<b>Comments</b>		
	<b>Zoning</b>		Residential Zone 1: Single Residential (SR1)		Residential Zone 1: Single Residential (SR1)		Consistent		
	<b>Primary Use</b>		Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self-catering		Dwelling house		Consistent		
	<b>Consent Uses</b>		Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture		None		Consistent		
	<b>Coverage</b>		50%		38%		Consistent		
	<b>Height</b>		8m		6.7m		Consistent		
	<b>Building lines</b>		<b>Street</b>		4m		1.96m west 4m north		Consistent
			<b>Side</b>		2m		1.48m east 0m south		<b>Application is for departures</b>
<b>Parking</b>		Dwelling house: 2 bays		Dwelling house: 2 bays		Consistent			
<p><b>c. Application:</b></p> <p>The application form is attached as <b>Annexure A</b>.</p>	<p>Application is subsequently made in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020</p> <ul style="list-style-type: none"> <li>• a <u>departure</u> to relax the <b>western street building line</b> from 4m to 1.96m to allow for existing structures in terms of Chapter IV, Section 16(2)(b).</li> <li>• a <u>departure</u> to relax the <b>eastern side building line</b> from 2m to 1.48m to allow for existing structures in terms of Chapter IV, Section 16(2)(b).</li> <li>• a <u>departure</u> to relax the <b>southern side building line</b> from 2m to 0m to allow for existing structures in terms of Chapter IV, Section 16(2)(b).</li> <li>• a <u>determination of an administrative penalty</u> in terms of Chapter IV, Section 16(2)(q).</li> </ul>								

### 3. Contextual Site Information

a. Property Description

Property	Extent	Title Deed	Registered Owner
3729 Hermanus	535m <sup>2</sup>	T39395/2021	Mirrovest Corporation Pty Ltd

Refer to Annexure E for the SG Diagrams, Annexure C for the Title Deed of Erf 3729 Voëlkip.

The following Surveyor General Plans reflect the application site:

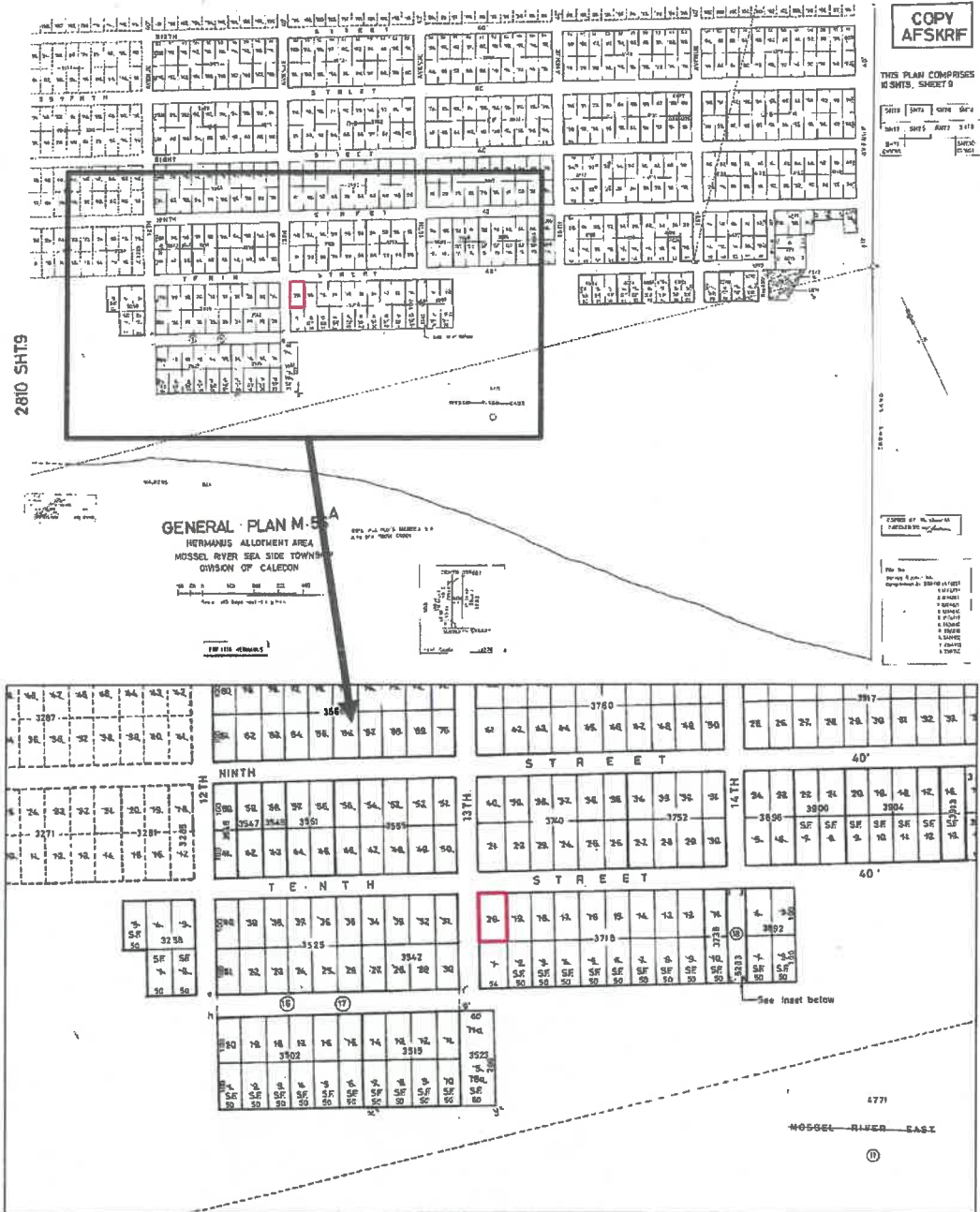


Figure 3: Extracts of the Surveyor General Plans of the application site

**b. Location:**

For the Locality Plans refer to Annexure F

**Regional Context:**

Within the regional context, the application area is located within Voëklip residential suburb. Voëklip is located on the Eastern side of Hermanus.

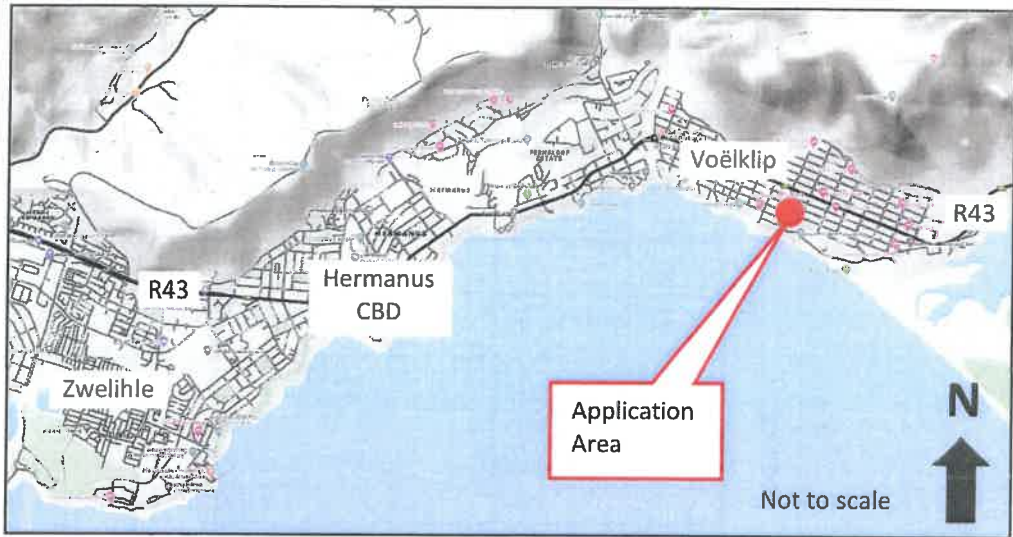


Figure 4: Locality Plan – Regional Context

**Local Context:**

Within the local context the application area consists of a residential erf within Voëklip. The application area is located at number 4 Thirteenth Avenue.



Figure 5: Locality Plan – Local Context

**c. Land Use:**

Refer to the Extract of Hermanus Zoning plan attached as Annexure G.

The application area accommodates a dwelling house on the property. The surrounding land-uses consist of single residential dwellings. No change in land use is proposed. The application proposal is **consistent** with the land use of the area.



Figure 6: Google Image illustrating the residential land-use activities of the application area and surrounding properties

**d. Zoning:**

Refer to the Extract of Hermanus Zoning plan attached as Annexure H.

The application area, Erf 3729, Voëlklip is zoned Residential Zone 1: Single Residential. The surrounding erven are zoned Residential Zone 1: Single Residential as well. No change in zoning is proposed. The application proposal is **consistent** with the zoning of the area.

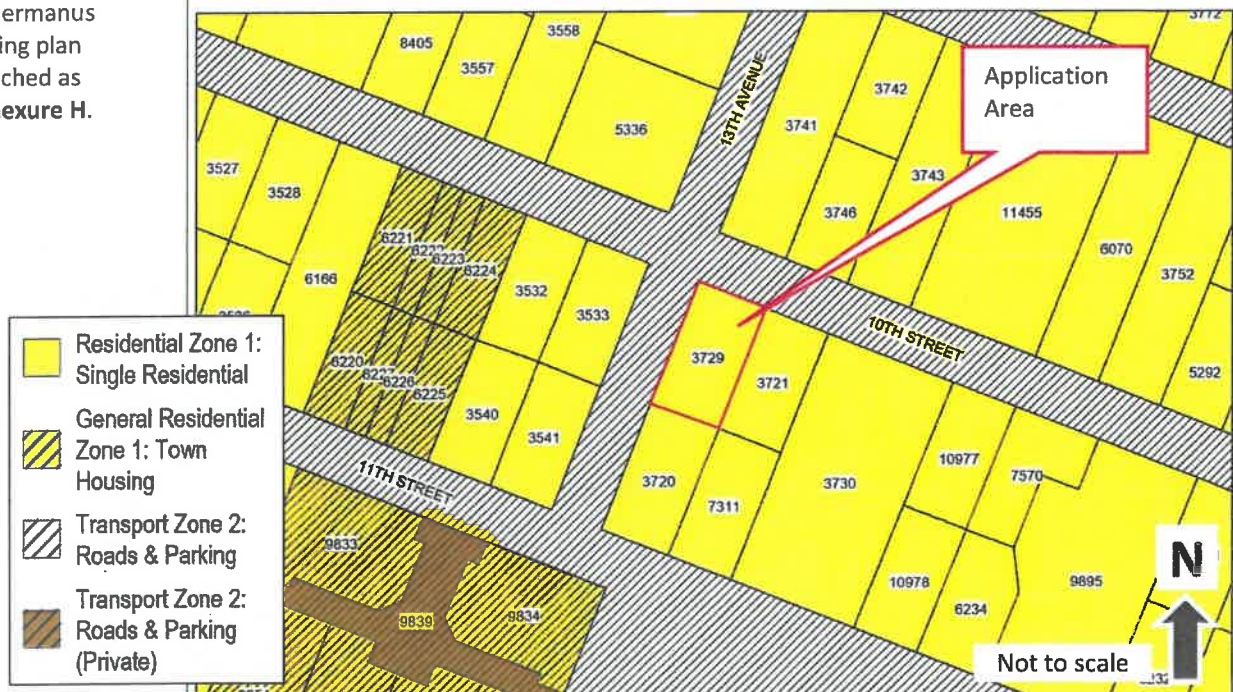


Figure 7: Extract from the Overstrand Municipality: Online zoning viewer

e. Laws and policies relevant to the consideration of the application and forward planning and land use documents

The following policy is applicable to the application area.

i. **Overstrand Municipal Spatial Development Framework, 2020**

The application area falls within an Urban Development area as well as a Sensitive Development Area and is within the Urban Edge.

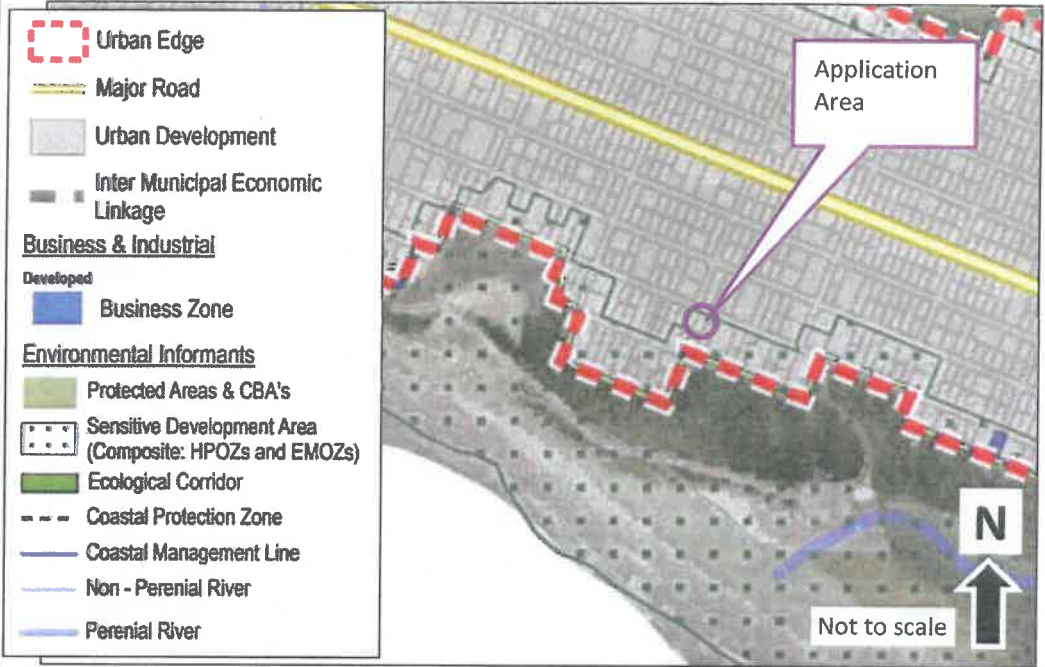


Figure 8: Spatial Development Framework 2020 Spatial Proposals Plan

The application is consistent with the Overstrand Municipal Spatial Development Framework, 2020.

ii. **Overstrand Municipality Growth Management Strategy, 2010**

The application area is within an area earmarked for 10 to 20 Dwelling Units Per Hectare Density Zone.

No further densification is applicable to this application.

The application is thus consistent with the Overstrand Municipality Growth Management Strategy, 2010.

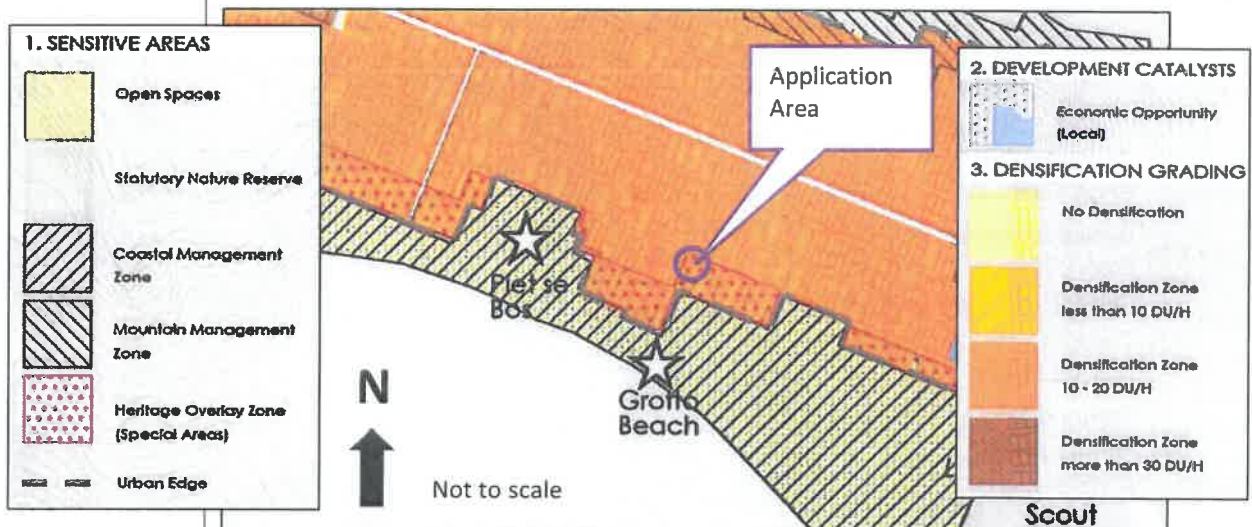


Figure 9: Extract from the Overstrand Municipality Growth Management Strategy, 2010 reflecting the envisaged land-uses for the area.

iii. **Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020**

**90. Application for administrative penalty**

- (1) A person who is in contravention of this By-Law, and submits an application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof concerned.
- (2) A person making an application contemplated in Subsection (1) must –
  - (a) submit an application;
  - (b) pay the prescribed fee;
  - (c) provide the information contemplated in Subsections (3); and
  - (d) comply with the duties of an applicant in Section 84.
- (3) The applicant must, to the satisfaction of the Municipality, provide the following information such as-
  - (a) the nature, duration, gravity and extent of the contravention;
  - (b) the conduct of the person (allegedly) involved in the contravention;
  - (c) a report by a quantity surveyor in matters of unauthorised building/construction;
  - (d) whether the unlawful conduct was stopped; and
  - (e) whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law.

This application includes the determination of an administrative penalty.

## 4. Motivation

### Motivation for the application:

Refer to Annexure I for the Building Plan

#### a. Introduction and Background

The application area consists of a 535m<sup>2</sup> single residential erf with a dwelling house situated at number 4 Thirteenth Avenue.

Changes have been made to the dwelling within the existing footprint and includes internal changes as well as changes to windows and doors.

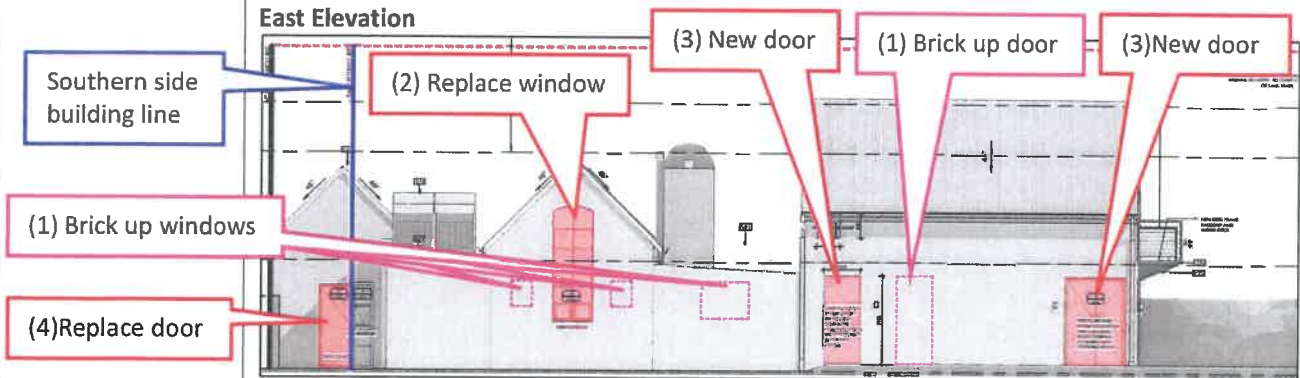
#### b. Proposal

The **development objective** is to legalise the following existing structures exceeding building lines:

#### Building façade changes exceeding building lines

No	Item	Elevation	Building line
1	Bricking up of 3 windows & door	East	East side
2	Relace window with taller window	East	East side
3	Two new doors	East	East side
4	Replace door	East	South side
5	Replace door with taller door	West	West street
6	Replace door with taller door	West	West street & south side
7	Replace window	West	West street
8	New door	North	West street
9	Replace window	South	East side

East Elevation



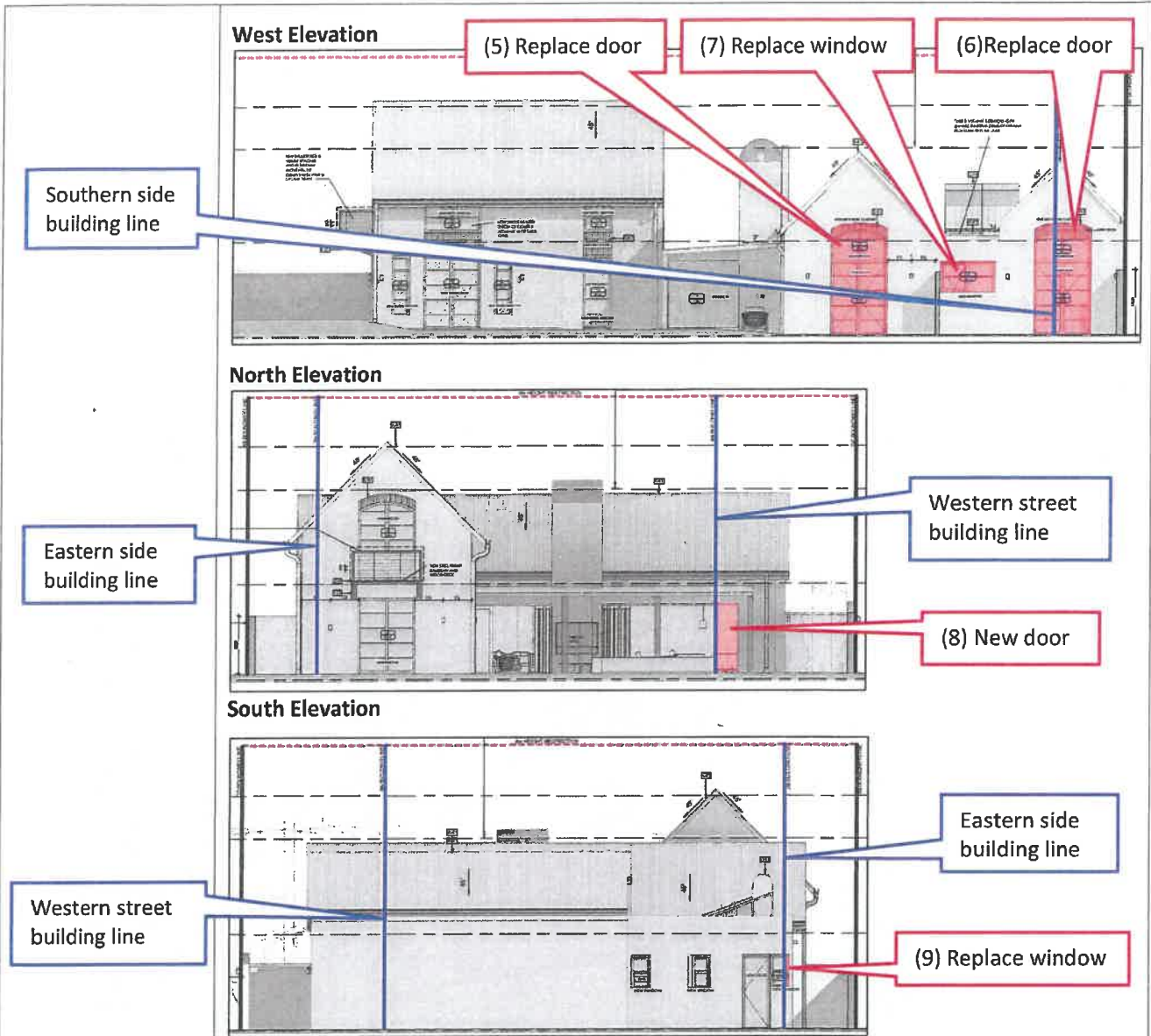


Figure 10: Elevations illustration external building changes exceeding building lines

Internal changes exceeding building lines

No	Item	Building line
1	Internal stairs moved to location which exceeds building lines	East side
2	New wall between kitchen and scullery	East side
3	New opening in bathroom wall	Western street
4	Part of the previous garage changed to a storage area	East side
5	Games room and bedroom converted to a kitchen	East side
6	Bathroom converted to a scullery	East side
7	Outouse converted to a bedroom	South side
8	Storage room converted to a bedroom	South side

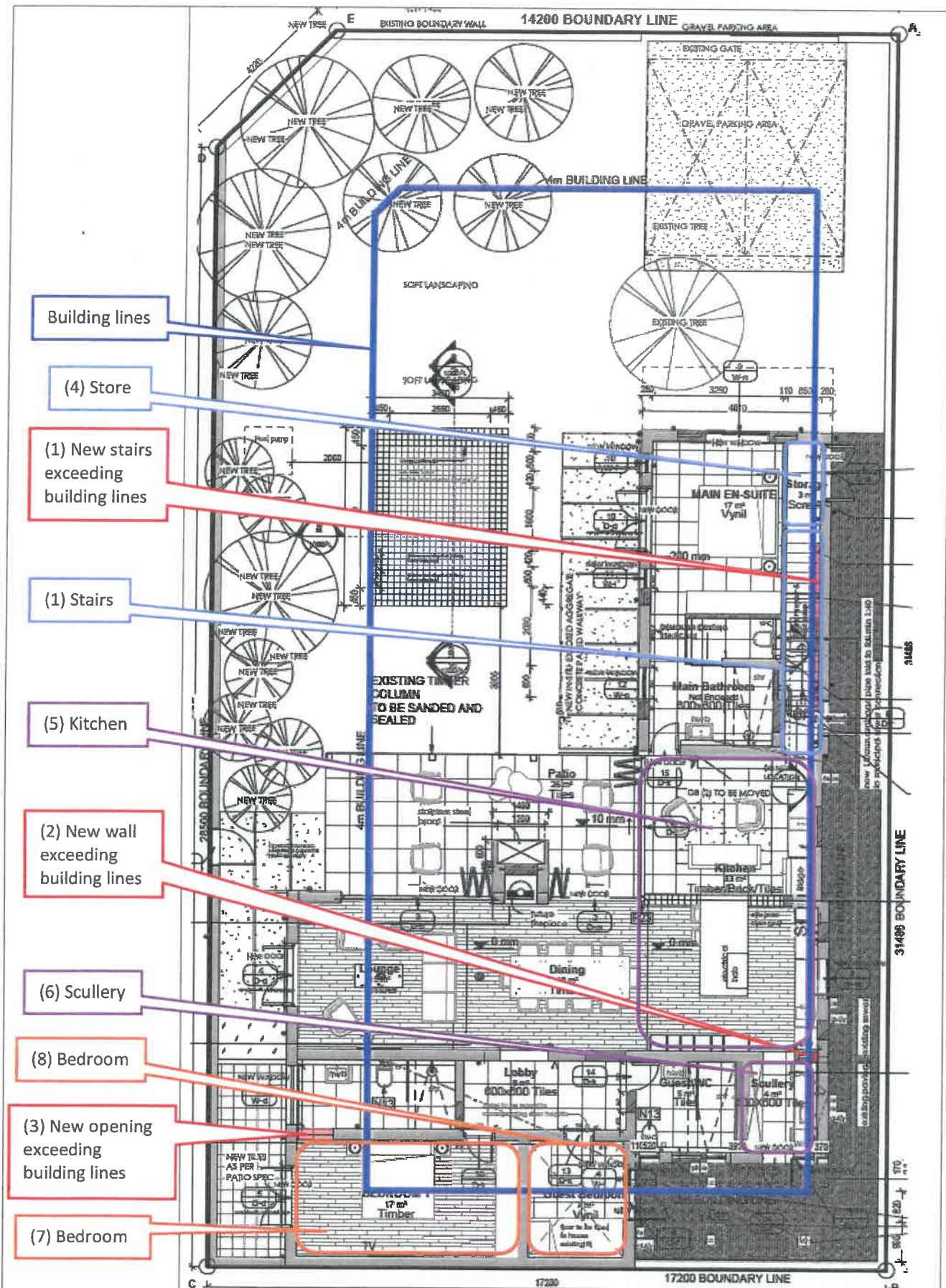


Figure 11: Development Proposal illustrating internal changes exceeding building lines

Application area

Existing dwelling

Laundry drying yard

Single storey building



Double storey building

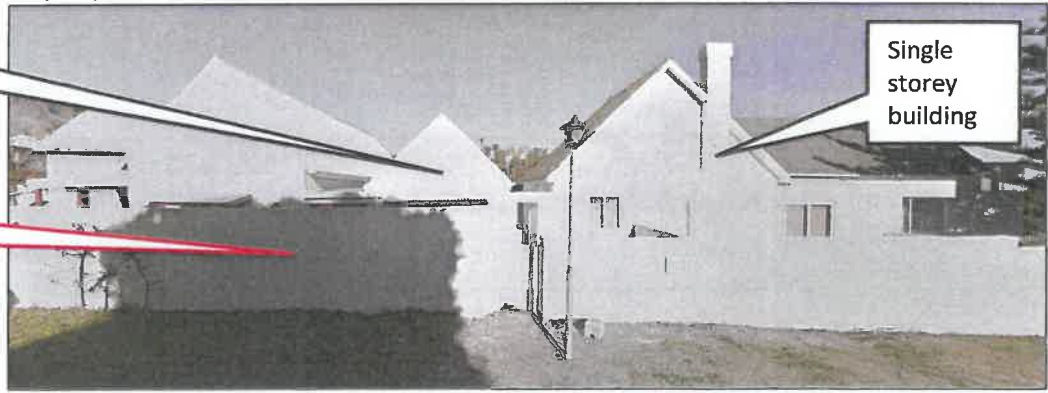
Figure 12: Arial Image overlay

Property to the South

Single storey on boundary

Application area

Single storey building



Property to the East

Double storey building

No large windows

Application area



Figure 13: Photos of the adjacent properties to the South and East

Subsequently the **application proposal** is for:

- a departure to relax the **western street building line** from 4m to 1.96m to allow for existing structures which are the following:
  - Replace 2 doors
  - Replace window
  - Opening in wall between bathroom and bedroom
- a departure to relax the **eastern side building line** from 2m to 1.48m to allow for existing structures which are the following:
  - Bricking up of 3 windows & 1 door
  - Relace window with taller window
  - Two new doors
  - Replace window
  - Internal stairs moved to location which exceeds building lines
  - New wall between kitchen and scullery
  - Part of the previous garage changed to a storage area
  - Games room and bedroom converted to a kitchen
  - Bathroom converted to a scullery
- a departure to relax the **southern side building line** from 2m to 0m to allow for existing structures which are the following:
  - Replace door
  - Replace door with taller door
  - Outhouse converted to a bedroom
  - Storage room converted to a bedroom
- a determination of an administrative penalty

#### Building line departures

##### **Changes to the building facades**

All changes made to the building facades are changes to doors and windows on the ground floor.

No further changes have been made to the building facades and no new structures were built.

The building footprint remains the same and since window and door changes have been limited to the ground floor and only walls that already contained windows and doors. Subsequently the proposal does not have an impact on privacy, views, light or safety.

The changes in doors and windows on the building facades further contributes to the improved functionality of the property.

The proposal revitalise the external appearance of the building, thus counteracting aging and contributing positively to the character and viability of the area.

##### **Internal changes**

The new land uses exceeding building lines includes stairs, storage area, kitchen, scullery and two bedrooms.

The stairs and storage area are internal changes and are not habitable areas, thus not having a negative effect on safety or neighbouring properties.

The conversion of the games room and bedroom to kitchen from one habitable room to another and therefore does not have an additional effect on safety or neighbouring properties.

The scullery is not considered a habitable space and does not have a negative effect on safety or neighbouring properties.

Outhouse converted to a bedroom due to its size and direct access to the dwelling is suitable for use as a habitable room or in this case a bedroom. The dwelling does not have any additional rooms suitable for a bedroom. It is more efficient to convert an existing room as to build additional rooms and converting an existing room as opposed to building additional structures has the least effect on neighbouring properties. There is an open corridor between the bedroom and the neighbouring dwelling and the bedroom does not have doors or windows facing the neighbouring property and as a result does not negatively affect the neighbouring property.

Storage room converted to a guest bedroom will only be used on special occasions when guests visit and as a result will not have an effect on the neighbouring property. The proposed guest room will mostly not be habited, thus not having a significant increase in land use.

The internal changes to the dwelling improves the functionality of dwelling and improves the quality of life of the residents.

The proposed uses were accommodated within the existing dwelling footprint thus eliminating the need for additional structures and additional impact on neighbouring properties. The functionality of the dwelling has therefore been improved in the most efficient way without having a negative effect on the neighbouring properties or safety.

### **Conclusion**

The proposal as motivated above improves the dwelling, counteracts ageing and therefore has a general positive effect on the character of the area without having a negative effect on the neighbouring properties or character of the area.

### **Determination of Administrative Penalty**

Furthermore, due to the proposal representing an existing contravention of the By-Law, the application is for a determination of an administrative penalty in terms of Chapter IV, Section 16(2)(q) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020, as follows:

The following information with regards to the administrative penalty is provided as required according to Chapter X, Section 90(3):

#### **(a) The nature, duration, gravity and extent of the contravention;**

The nature, duration, gravity and extent of the contravention has been described in this motivation report and includes the following contraventions;

- Regarding the building facades, changes have been made to windows and doors within walls that already had windows and doors, exceeding building lines.
- Internal changes have been made to the dwelling which exceeds building lines.
  - Land uses areas exceeding building lines are as follows:
    - Bedroom 1: 11.9m<sup>2</sup>
    - Guest bedroom: 4.2m<sup>2</sup>
    - Scullery: 0.5m<sup>2</sup>
    - Stairs with storage below stairs: 1.3m<sup>2</sup>

#### **(b) The conduct of the person (allegedly) involved in the contravention;**

It is evident from this application that the applicant/owner is co-operative and willing to rectify the existing contraventions and to follow the correct statutory procedure to apply to legally accommodate the existing structures.

#### **(c) Report by a quantity surveyor in matters of unauthorised building/construction;**

Due to the nature and scale of the contravention, a report by a quantity surveyor is thus not considered necessary.

(d) Whether the unlawful conduct was stopped

Due to the nature of the contravention being a building line transgression, the only way to stop the unlawful conduct is either by legalising the contraventions, for which the applicant/owner is in the process of applying through this application, by changing the land use of the rooms while there are no other suitable rooms on the property, or by demolishing portions of the existing building, which is an unnecessarily destructive and costly procedure, especially in view of the conclusion that the current contraventions are not causing a material impact on the environment.

(e) Whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law

No, according to our knowledge, the applicant/owner has not previously contravened this By-Law or a previous planning law.

**c. Desirability**

The application proposal is considered desirable for the following reasons:

- The proposal is in accordance with the relevant spatial planning legislation for the area.
- The proposal is practical and functional and will improve the quality of life of the residents.
- Legalisation is a more cost-efficient solution to the existing building-line transgressions than demolishing solid, neat structures aligned with the character of the area.
- The relaxation of the building lines will not cause any negative visual impact, unsafe conditions, obstruction of sunlight, views or intrusion on privacy for the application area or the adjacent properties.
- Access to the application area for emergency purposes will still be accommodated.
- All changes have been made within the existing footprint and does not have an additional effect on the neighbouring properties.
- The amendments renew the property, therefore counteracting aging.
- Therefore, the land will remain to provide a satisfactory residential environment to cater for a full range of residential needs, in accordance with the statutory requirements of the municipality and without any foreseen negative impact on the surroundings or on the application erf.

**d. Planning Principles**

In terms of Chapter VI of the Spatial Planning and Land Use Management Act, 2013 the following Planning Principles have been applied to the application site:

- 1) **Spatial Justice** which refers to the need for redressing the past apartheid spatial development imbalances and aims for equity in the provision of access opportunities, facilities, services and land.

**Possible results of the development**

The proposal will not in any way contribute to perpetuation of past apartheid spatial development imbalances as it will legally accommodate amendments to an existing house within a residential area and inside the urban edge.

Furthermore, the proposal will provide a more satisfactory residential environment catering for a full range of residential needs.

The application proposal is **consistent with spatial justice**.

- 2) **Spatial Sustainability** which refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

**Possible results of the development**

The proposal will allow for amendments to an existing dwelling on a single residential erf within the urban edge. Therefore, no impact on agricultural land, environmentally sensitive areas and biodiversity rich areas will occur.

Furthermore, the proposal will represent a legalisation of and an improvement to the existing dwelling as it will provide a more satisfactory residential environment catering for a full range of residential needs in accordance with the statutory requirements of the municipality and without any foreseen negative impact on the surroundings or on the application erf.

The application proposal is **consistent with spatial sustainability**.

- 3) **Efficiency** which refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

**Possible results of the development**

The proposal is functional and represents a positive proposal of the property by providing improved functionality on the property without the need to increase the footprint of the dwelling.

The application proposal is **consistent with the efficiency principle**.

- 4) **Spatial Resilience** which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

**Possible results of the development**

The proposed development will not lead to any economical and/or environmental shocks as the application allows for amendments to an existing dwelling within a residential suburb.

The application proposal is **consistent with the principle of spatial resilience**.

- 5) **Good Administration** which, in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

**Possible results of the development**

Consultive practices are being followed in this application as it is done in consultation with the Planning Department of the Municipality who will also advertise the application in such a manner as to enable the Government and the general public to participate in the eventual decision-making process.

The application proposal is **consistent with the principle of good administration**.

## 5. Conclusion

The application as motivated in this report is regarded **desirable** within its local context and well-integrated within the existing community land-use activities.

Furthermore, the application proposal is considered to strike an efficient balance between the optimal use of the application area, providing a satisfactory residential environment and catering for a full range of residential needs while no negative impact on the environment is evident or foreseen.

It is therefore recommended that the application **be approved** in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020:

- a departure to relax the **western street building line** from 4m to 1.96m to allow for existing structures in terms of Chapter IV, Section 16(2)(b).
- a departure to relax the **eastern side building line** from 2m to 1.48m to allow for existing structures in terms of Chapter IV, Section 16(2)(b).
- a departure to relax the **southern side building line** from 2m to 0m to allow for existing structures in terms of Chapter IV, Section 16(2)(b).
- a determination of an administrative penalty in terms of Chapter IV, Section 16(2)(q).



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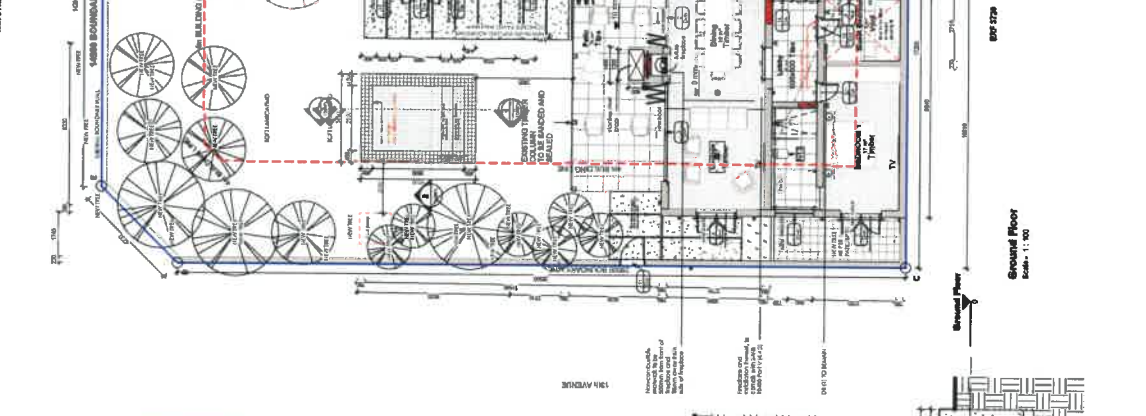
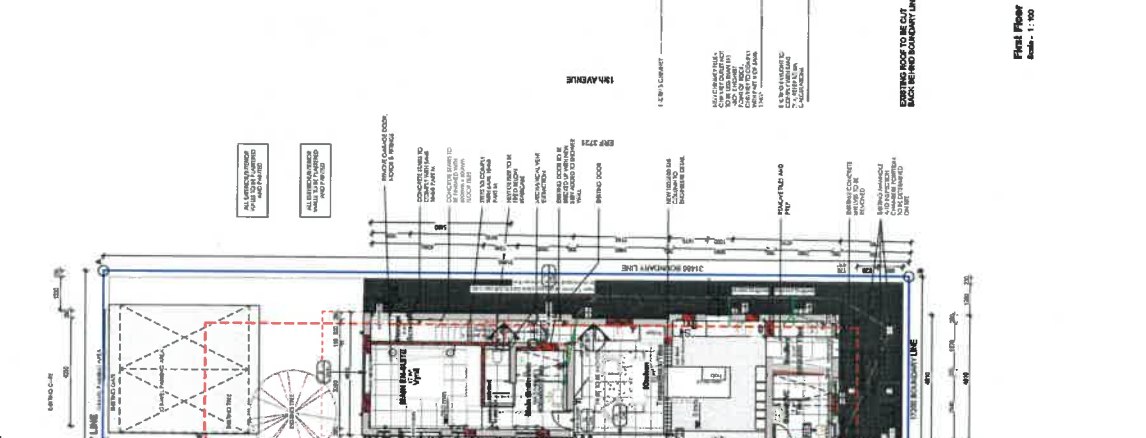
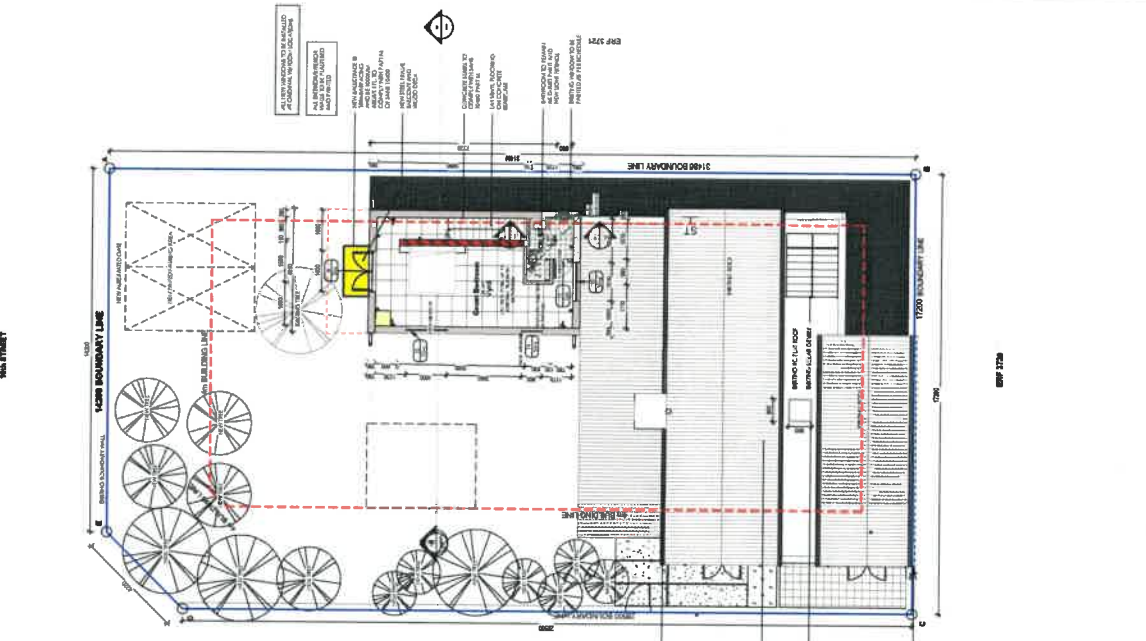
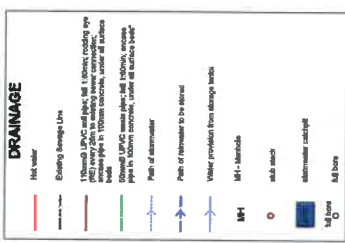
**BUILDING LINE NOTE**  
BUILDING LINES AS STIPULATED IN THE BY LAW APPLIES TO THIS REF, EXCEPT FOR THE EXISTING BUILDING FOOTPRINT

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**GENERAL NOTES**  
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2. ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE BRITISH STANDARD BS 8001:2001.  
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**DISCREPANCIES & REQUIREMENTS**  
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**project details**  
House London  
4, 13th, Ayrholm  
Pharmacia  
Rif G. Mrs. Loxton

**general notes**  
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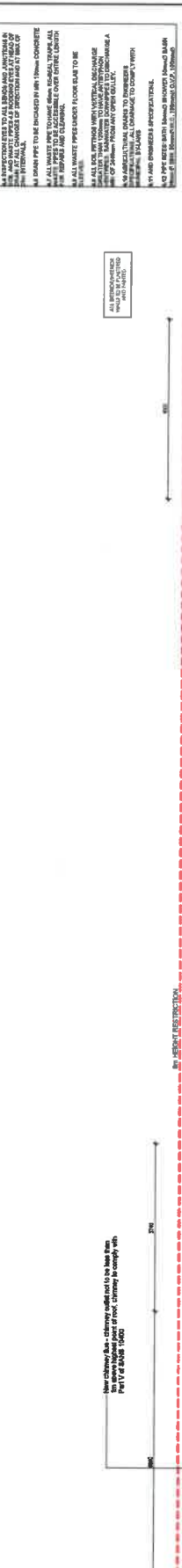
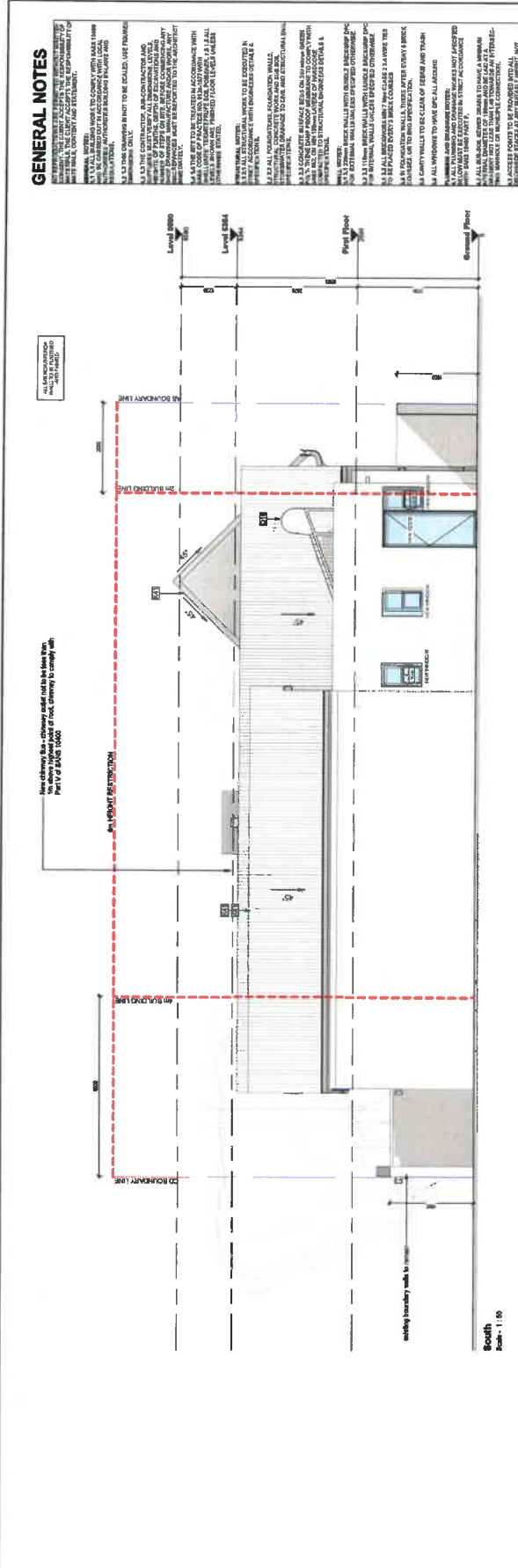
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**BUILDING LINE NOTE**

**BUILDING LINES AS STIPULATED IN THE BY LAW APPLIES TO THIS ERF EXCEPT FOR THE EXISTING BUILDING FOOTPRINT**

Item No.	Description
1	FOUNDATION
2	WALLS
3	ROOF
4	FLOOR
5	DOORS
6	WINDOWS
7	STAIRS
8	ELEVATIONS
9	MECHANICAL
10	ELECTRICAL
11	PLUMBING
12	PAINTING
13	LANDSCAPE
14	CONCRETE
15	IRONWORK
16	GLASS
17	STEEL
18	ALUMINIUM
19	COPPER
20	ZINC
21	BRASS
22	WOOD
23	PLASTER
24	CEILING
25	WALL PAPER
26	FLOOR COVERING
27	MECHANICAL EQUIPMENT
28	ELECTRICAL EQUIPMENT
29	PLUMBING EQUIPMENT
30	PAINTING EQUIPMENT
31	LANDSCAPE EQUIPMENT
32	CONCRETE EQUIPMENT
33	IRONWORK EQUIPMENT
34	GLASS EQUIPMENT
35	ALUMINIUM EQUIPMENT
36	COPPER EQUIPMENT
37	ZINC EQUIPMENT
38	BRASS EQUIPMENT
39	WOOD EQUIPMENT
40	PLASTER EQUIPMENT
41	CEILING EQUIPMENT
42	WALL PAPER EQUIPMENT
43	FLOOR COVERING EQUIPMENT
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**revisions**

NO.	DATE	DESCRIPTION
1	2023-10-10	ISSUED FOR PERMIT
2	2023-10-10	ISSUED FOR PERMIT
3	2023-10-10	ISSUED FOR PERMIT
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94	2023-10-10	ISSUED FOR PERMIT
95	2023-10-10	ISSUED FOR PERMIT
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98	2023-10-10	ISSUED FOR PERMIT
99	2023-10-10	ISSUED FOR PERMIT
100	2023-10-10	ISSUED FOR PERMIT

**drawing title**

**ELEVATIONS**

**project details**

House Lodon  
4136v Avenue  
Hermanus  
Mr & Mrs Lodon

**general notes**

1. All work to be done in accordance with the drawings.
2. All materials and workmanship are to comply with the relevant SANS standards.
3. The drawings to be used in conjunction with all other drawings and specifications.
4. This contract is for the construction of the building as shown on the drawings and shall be subject to the relevant building regulations.

**copyright**

GASS ARCHITECTURAL STUDIO

#18 - 107 11482 2048 CT - 472 21 001 0210 R - 468 668 0200  
E: gass@gass.co.za W: www.gass.co.za P: 061 291 1900

**drawing info**

DATE	NO.	SCALE
2023-10-10	374	3001:EL

**issued for CONSTRUCTION**

**drawing number**

374

**client name**

Mr & Mrs Lodon

**sheet number**

C

**total sheets**

E

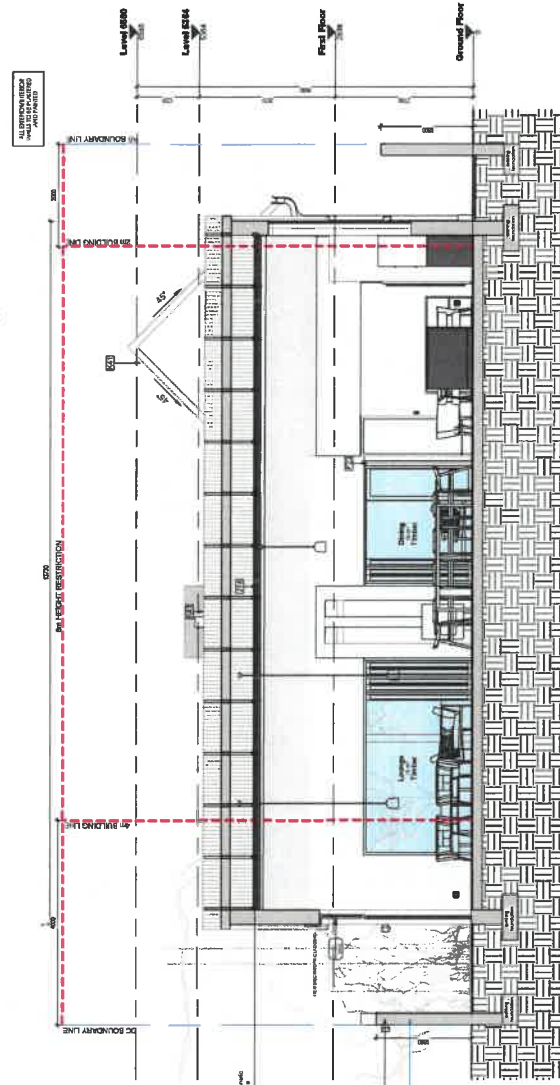
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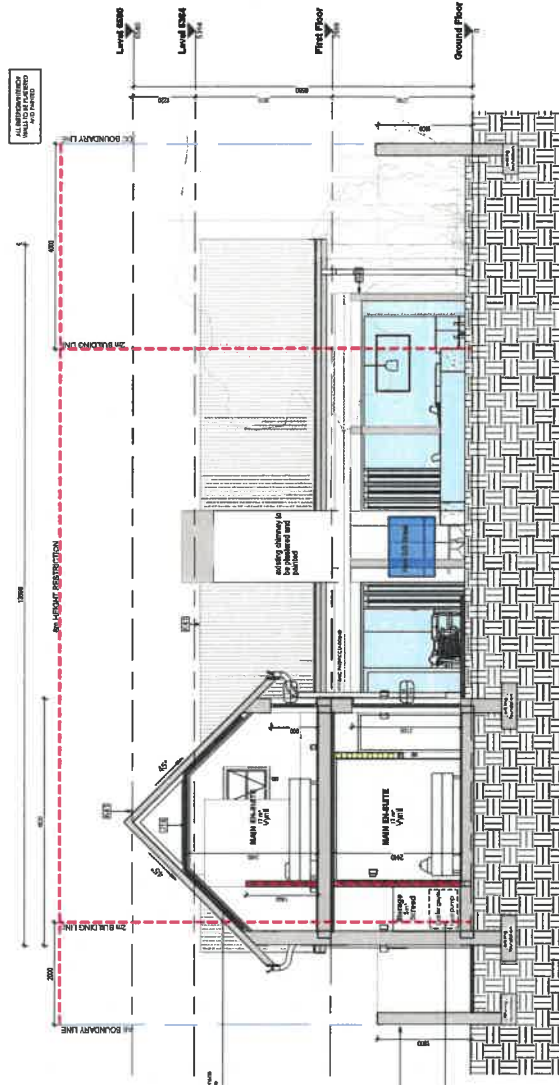
CLIENT	ARCHITECT	ENGINEER
PROJECT	DATE	SCALE
BY: [Signature]	DATE: [Date]	SCALE: [Scale]

**BUILDING LINE NOTE**  
 BUILDING LINES AS STIPULATED IN THE BY-LAW APPLIES TO THIS ERP, EXCEPT FOR THE EXISTING BUILDING FOOTPRINT

REV	DATE	DESCRIPTION
01	10/01/2024	Issue for Construction
02	10/01/2024	Revised to include structural notes
03	10/01/2024	Revised to include MEP notes
04	10/01/2024	Final approved version



Section 4  
Scale: 1:100



Section 3  
Scale: 1:100

**GENERAL NOTES**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) CODES OF PRACTICE AND THE LATEST EDITIONS OF THE BUILDING REGULATIONS (BR).
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5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) CODES OF PRACTICE AND THE LATEST EDITIONS OF THE BUILDING REGULATIONS (BR).
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) CODES OF PRACTICE AND THE LATEST EDITIONS OF THE BUILDING REGULATIONS (BR).
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8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) CODES OF PRACTICE AND THE LATEST EDITIONS OF THE BUILDING REGULATIONS (BR).
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) CODES OF PRACTICE AND THE LATEST EDITIONS OF THE BUILDING REGULATIONS (BR).
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH STANDARDS INSTITUTION (BSI) CODES OF PRACTICE AND THE LATEST EDITIONS OF THE BUILDING REGULATIONS (BR).

**Dimensions & Squares Note**

Dimensions are given in millimeters unless otherwise stated. All dimensions are to the centerline of walls and columns unless otherwise stated. All dimensions are to the finished surface of work unless otherwise stated. All dimensions are to the centerline of walls and columns unless otherwise stated. All dimensions are to the finished surface of work unless otherwise stated.

drawing info	drawing number	374	1003SE	C	E
DATE	ISSUED	DATE	SCALE	PROJECT	REVISION
10/01/2024	10/01/2024	10/01/2024	1:100	1003SE	C

revisions	drawing title	SECTIONS
	House London	
	4, 13th Avenue	
	Hammersmith	
	Mr & Mrs London	

general notes	project details	revisions
1. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	House London	
2. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	4, 13th Avenue	
3. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	Hammersmith	
4. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	Mr & Mrs London	

copyright	general notes	project details	revisions
In accordance with the relevant clauses of the Copyright, Designs and Patents Act 1988, all drawings are the copyright of GASS. All rights are reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without the prior written permission of GASS.	1. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	House London	
	2. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	4, 13th Avenue	
	3. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	Hammersmith	
	4. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	Mr & Mrs London	

copyright	general notes	project details	revisions
In accordance with the relevant clauses of the Copyright, Designs and Patents Act 1988, all drawings are the copyright of GASS. All rights are reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without the prior written permission of GASS.	1. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	House London	
	2. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	4, 13th Avenue	
	3. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	Hammersmith	
	4. All work to be done in accordance with the latest editions of the British Standards Institution (BSI) codes of practice and the latest editions of the Building Regulations (BR).	Mr & Mrs London	

**GASS**  
 ARCHITECTS

208-2711-662-2048 CT: 477-01-0110 P: 448-646-6399  
 E: info@gass.co.uk W: www.gass.co.uk Project by the psm - GACP # 1892

**STAMP BLOCK**

**SIGNATURE BLOCK**

<b>CLIENT</b>	THE CONTRACTOR
<b>ARCHITECT</b>	GASS ARCHITECTURE
<b>ENGINEER</b>	THE CONTRACTOR
<b>DATE</b>	12/15/2023
<b>PROJECT</b>	1234567890

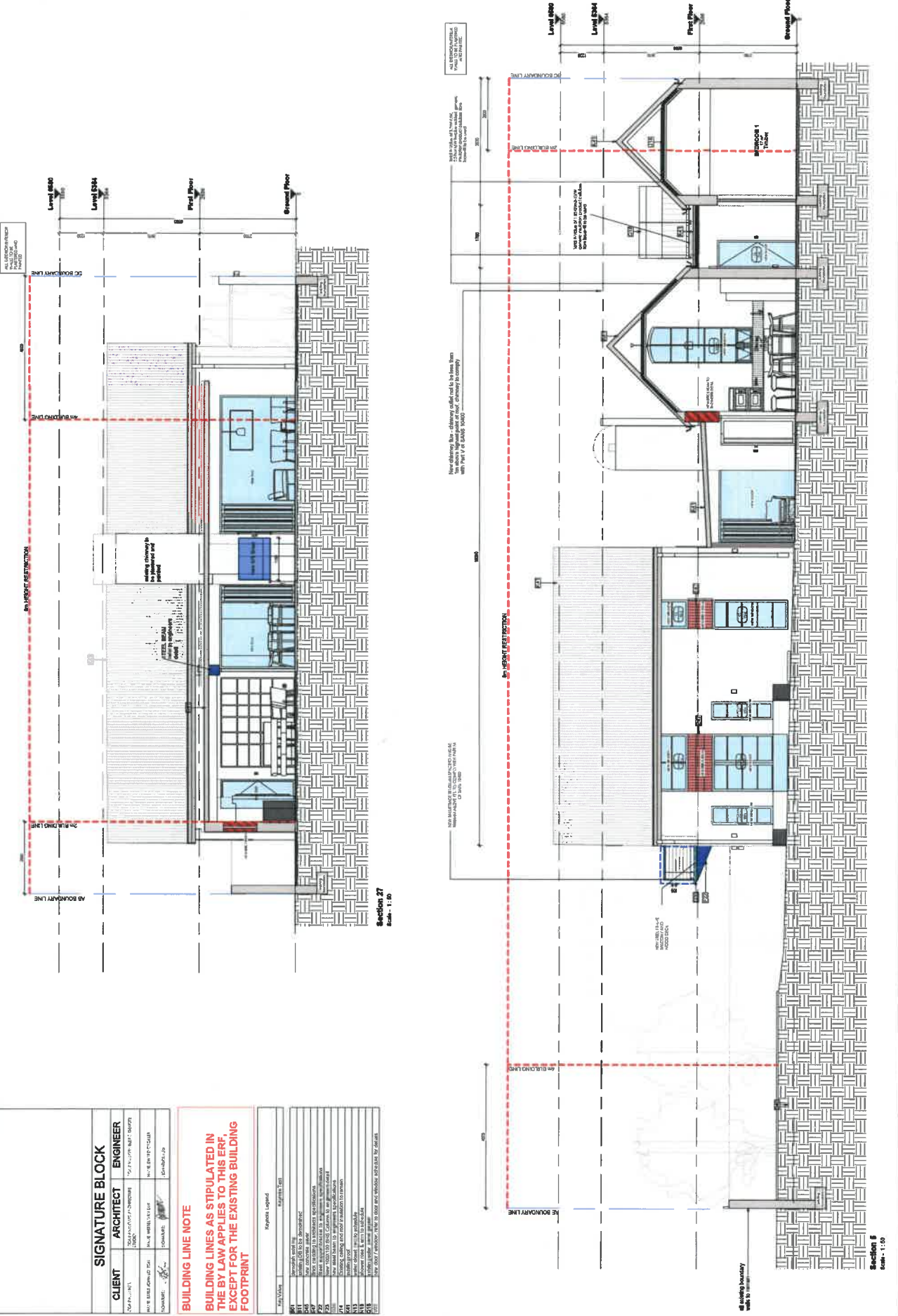
**BUILDING LINE NOTE**  
**BUILDING LINES AS STIPULATED IN THE BY LAW APPLIES TO THIS ERF, EXCEPT FOR THE EXISTING BUILDING FOOTPRINT**

KEY	DESCRIPTION
1	EXISTING BUILDING FOOTPRINT
2	NEW BUILDING FOOTPRINT
3	NEW BUILDING FOOTPRINT WITH CHANGES
4	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS
5	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS AND ADDITIONS
6	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS AND ADDITIONS AND MODIFICATIONS
7	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS AND ADDITIONS AND MODIFICATIONS AND ALTERATIONS
8	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS AND ADDITIONS AND MODIFICATIONS AND ALTERATIONS AND REVISIONS
9	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS AND ADDITIONS AND MODIFICATIONS AND ALTERATIONS AND REVISIONS AND CORRECTIONS
10	NEW BUILDING FOOTPRINT WITH CHANGES AND DELETIONS AND ADDITIONS AND MODIFICATIONS AND ALTERATIONS AND REVISIONS AND CORRECTIONS AND IMPROVEMENTS

**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.
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11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.
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19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AFFECTING AGENCIES.

**Dimensions & Square Feet Note**  
 All dimensions and square feet are based on the exterior face of the walls unless otherwise noted. All dimensions are in feet and inches. All square feet are in square feet.



**Section 27**  
 Scale: 1/8" = 1'-0"

**Section 5**  
 Scale: 1/8" = 1'-0"

<b>drawing info</b>	DATE: 12/15/23	SCALE: AS SHOWN @ A1
<b>drawing number</b>	374	PROJECT NUMBER: 1004SE
<b>issued for</b>	CONSTRUCTION	PROJECT NAME: 1004SE
<b>revision</b>	1	DATE: 12/15/23
<b>revision</b>	2	DATE: 12/15/23
<b>revision</b>	3	DATE: 12/15/23
<b>revision</b>	4	DATE: 12/15/23
<b>revision</b>	5	DATE: 12/15/23
<b>revision</b>	6	DATE: 12/15/23
<b>revision</b>	7	DATE: 12/15/23
<b>revision</b>	8	DATE: 12/15/23
<b>revision</b>	9	DATE: 12/15/23
<b>revision</b>	10	DATE: 12/15/23

<b>project details</b>	House Location: 475th Avenue, Toronto, ON M8B 1W5, Canada
<b>drawing title</b>	SECTIONS
<b>general notes</b>	All work is to be done in accordance with the Ontario Building Code and the National Building Code of Canada. All dimensions are in feet and inches. All square feet are in square feet.
<b>copyright</b>	GASS ARCHITECTURE INC. 2023. ALL RIGHTS RESERVED.

<b>copyright</b>	GASS ARCHITECTURE INC. 2023. ALL RIGHTS RESERVED.
<b>general notes</b>	All work is to be done in accordance with the Ontario Building Code and the National Building Code of Canada. All dimensions are in feet and inches. All square feet are in square feet.
<b>project details</b>	House Location: 475th Avenue, Toronto, ON M8B 1W5, Canada
<b>drawing title</b>	SECTIONS
<b>drawing info</b>	DATE: 12/15/23, SCALE: AS SHOWN @ A1, DRAWING NUMBER: 374, PROJECT NUMBER: 1004SE

<b>revisions</b>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
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<b>revisions</b>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
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<b>revisions</b>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
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<b>revisions</b>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
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<b>revisions</b>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
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<b>revisions</b>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
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**STAMP BLOCK**

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
CONTRACTOR	DATE	CONTRACT NO.
PROJECT NAME	DATE	PROJECT NO.
DRAWN BY	CHECKED BY	DATE

**BUILDING LINE NOTE**  
 BUILDING LINES AS STIPULATED IN THE BY-LAW APPLIES TO THIS ERP, EXCEPT FOR THE EXISTING BUILDING FOOTPRINT

**DOOR LEGEND**

NO.	DOOR TYPE	DOOR DETAIL	DESCRIPTION	FINISH	FRAME	GLASS	GLASS TYPE	GLASS TREATMENT	GLASS THICKNESS	GLASS WEIGHT	GLASS AREA	GLASS WEIGHT	GLASS AREA
1	DOOR	DOOR 1	Single Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None
2	DOOR	DOOR 2	Double Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None
3	DOOR	DOOR 3	Double Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None
4	DOOR	DOOR 4	Double Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None
5	DOOR	DOOR 5	Double Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None
6	DOOR	DOOR 6	Double Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None
7	DOOR	DOOR 7	Double Glass (Safety) - should comply with Safety Glass (1000) Part 11. Increases to comply with SANS 1000 Part 11.	Aluminium	Painted	None	None	None	None	None	None	None	None

**DOOR LEGEND**  
 Scale: 1:10

**copyright**  
 In accordance with the relevant clauses of the Copyright Act of 1978, the Architectural Firm hereby grants permission to the contractor to use the drawings for the particular project to which the drawings are issued, provided that the contractor shall not use the drawings for any other purpose without the prior written consent of the Architectural Firm. All dimensions and materials shall be in accordance with the specifications stated by the contractor unless stated otherwise.

**general notes**  
 1. All work to be done in accordance with the relevant clauses of the Building Regulations, the relevant SANS codes, and the relevant SANS standards. The contractor shall be responsible for ensuring that all dimensions and materials shall be in accordance with the specifications stated by the contractor unless stated otherwise.

**project details**  
 House, Loboson  
 4 12th Avenue  
 Mr & Mrs Loboson

**drawing title**  
 DOOR SCHEDULES

**revisions**

NO.	DATE	DESCRIPTION
1	2021-10-10	ISSUED FOR PERMIT

**issued for CONSTRUCTION**

**drawing number**  
 374

**drawing info**  
 DRAWING NO. 374  
 DATE 2021-10-10  
 SCALE As indicated @ 1:10

**drawing info**  
 DRAWING NO. 374  
 DATE 2021-10-10  
 SCALE As indicated @ 1:10

**GENERAL NOTES**  
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE BUILDING REGULATIONS, THE RELEVANT SANS CODES, AND THE RELEVANT SANS STANDARDS.  
 2. ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS STATED BY THE CONTRACTOR UNLESS STATED OTHERWISE.  
 3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE BUILDING REGULATIONS, THE RELEVANT SANS CODES, AND THE RELEVANT SANS STANDARDS.  
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 10. ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS STATED BY THE CONTRACTOR UNLESS STATED OTHERWISE.

**Dimensions & Squares Note**  
 All dimensions and squares are to be taken as indicated on the drawings. All dimensions and squares are to be taken as indicated on the drawings. All dimensions and squares are to be taken as indicated on the drawings.

**STAMP BLOCK**

<b>CLIENT</b>	<b>ARCHITECT</b>	<b>ENGINEER</b>
CONTRACT NO. 123456789	CONTRACT NO. 123456789	CONTRACT NO. 123456789
DATE: 12/31/2024	DATE: 12/31/2024	DATE: 12/31/2024
PROJECT: 123456789	PROJECT: 123456789	PROJECT: 123456789

**BUILDING LINE NOTE**  
**BUILDING LINES AS STIPULATED IN THE BY-LAW APPLIES TO THIS ERP, EXCEPT FOR THE EXISTING BUILDING FOOTPRINT**

**WINDOW LEGEND & SCHEDULE**

View	Window Type	Material	Finish	Notes
View 1	1.0x W-10	Aluminum	Painted	Clear Single Glazed - should comply with Safety Glass Regulations. Glazing and safety film should be installed in accordance with the applicable code.
View 2	1.0x W-10	Aluminum	Painted	Clear Single Glazed - should comply with Safety Glass Regulations. Glazing and safety film should be installed in accordance with the applicable code.
View 3	1.0x W-10	Aluminum	Painted	Clear Single Glazed - should comply with Safety Glass Regulations. Glazing and safety film should be installed in accordance with the applicable code.
View 4	1.0x W-10	Aluminum	Painted	Clear Single Glazed - should comply with Safety Glass Regulations. Glazing and safety film should be installed in accordance with the applicable code.
View 5	1.0x W-10	Aluminum	Painted	Clear Single Glazed - should comply with Safety Glass Regulations. Glazing and safety film should be installed in accordance with the applicable code.

**WINDOW LEGEND**  
 Scale: 1:10

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN BUILDCODE REGULATIONS (CBCR) AND THE NATIONAL BUILDING CODE (NBC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AND UTILITIES AT ALL TIMES.

5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.

7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.

9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.

**Discontinuity & Expansion Joints**

All expansion and contraction joints to be indicated on the drawings. The location and details of these joints shall be as shown on the drawings. The contractor shall be responsible for the installation and maintenance of these joints in accordance with the applicable codes and standards.

<p><b>copyright</b></p> <p>In accordance with the copyright notice of the project, the contractor shall be responsible for the protection of the intellectual property of the client. All rights are reserved.</p>	<p><b>general notes</b></p> <p>1. All work to be done in accordance with the applicable codes and standards.</p> <p>2. The contractor shall be responsible for the protection of all existing structures and utilities.</p> <p>3. All work shall be completed within the specified time frame.</p>	<p><b>project details</b></p> <p>House, London                  4, 12th Avenue                  Toronto, Ontario                  M1S 1R6, Canada</p>	<p><b>drawing title</b></p> <p>WINDOW SCHEDULES</p>	<p><b>revisions</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2024-12-31</td> <td>ISSUED FOR PERMIT</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	2024-12-31	ISSUED FOR PERMIT	<p><b>drawing info</b></p> <p>SCALE: AS SHOWN @ 1:10</p> <p><b>drawing number</b></p> <p>4001SC</p>
					NO.	DATE	DESCRIPTION				
1	2024-12-31	ISSUED FOR PERMIT									
<p><b>GASS</b></p> <p>ARCHITECTURE LTD.</p> <p>4001 SCOTT ST. TORONTO, ONT. M5S 1A6</p> <p>TEL: 416-593-8888</p> <p>WWW.GASSARCHITECTURE.COM</p>	<p><b>issued for</b></p> <p>CONSTRUCTION</p>	<p><b>DATE</b></p> <p>2024-12-31</p>	<p><b>SCALE</b></p> <p>AS SHOWN @ 1:10</p>	<p><b>PROJECT NUMBER</b></p> <p>4001SC</p>	<p><b>CLIENT</b></p> <p>374</p>	<p><b>ISSUED BY</b></p> <p>C</p>	<p><b>REVIEWED BY</b></p> <p>E</p>				