

ERF 3966, 267 SIXTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: SMART SOLUTION ARCHITECTURE & ARCHITECTURAL CONSULTANTS ON BEHALF OF H.J. & L. DU TOIT

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for departure in terms of Section 16(2)(b) for the following:

- relaxation of the western lateral boundary line from 2m to 1.52m to accommodate the change of use (conversion of care-takers room and bathroom into a kitchenette area);
- relaxation of the eastern lateral building line from 2m to 1.422m to accommodate a carport and supporting columns on ground floor; &
- relaxation of the eastern lateral building line from 2m to 1.356m to accommodate the sunroom, open balcony and planter box on first floor.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 028-313 2093 / (e) alida@overstrand.gov.za) on or before **2 September 2022**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 3966, 267 SEDESTRAAT, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: SMART SOLUTION ARCHITECTURE & ARCHITECTURAL CONSULTANTS NAMENS H.J. & L. DU TOIT

Kennis word hiermee gegee ingevolge Artikel 48, van die Overstrand Munisipaliteit Wysigings Verordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek ontvang is om afwyking ingevolge Artikel 16(2)(b) vir die volgende:

- verslapping van die westelike syboullyn vanaf 2m na 1.52m ten einde die verandering van gebruik (omskepping van versorgerskamer en badkamer in 'n kombuis-area);
- verslapping van oostelike laterale syboullyn vanaf 2m na 1.422m ten einde die motorafdak en kolomme op grondvloer te akkommodeer; &
- verslapping van die oostelike syboullyn vanaf 2m na 1.356m ten einde die sonkamer, oop balkon en planter-boks op eerstevloer te akkommodeer.

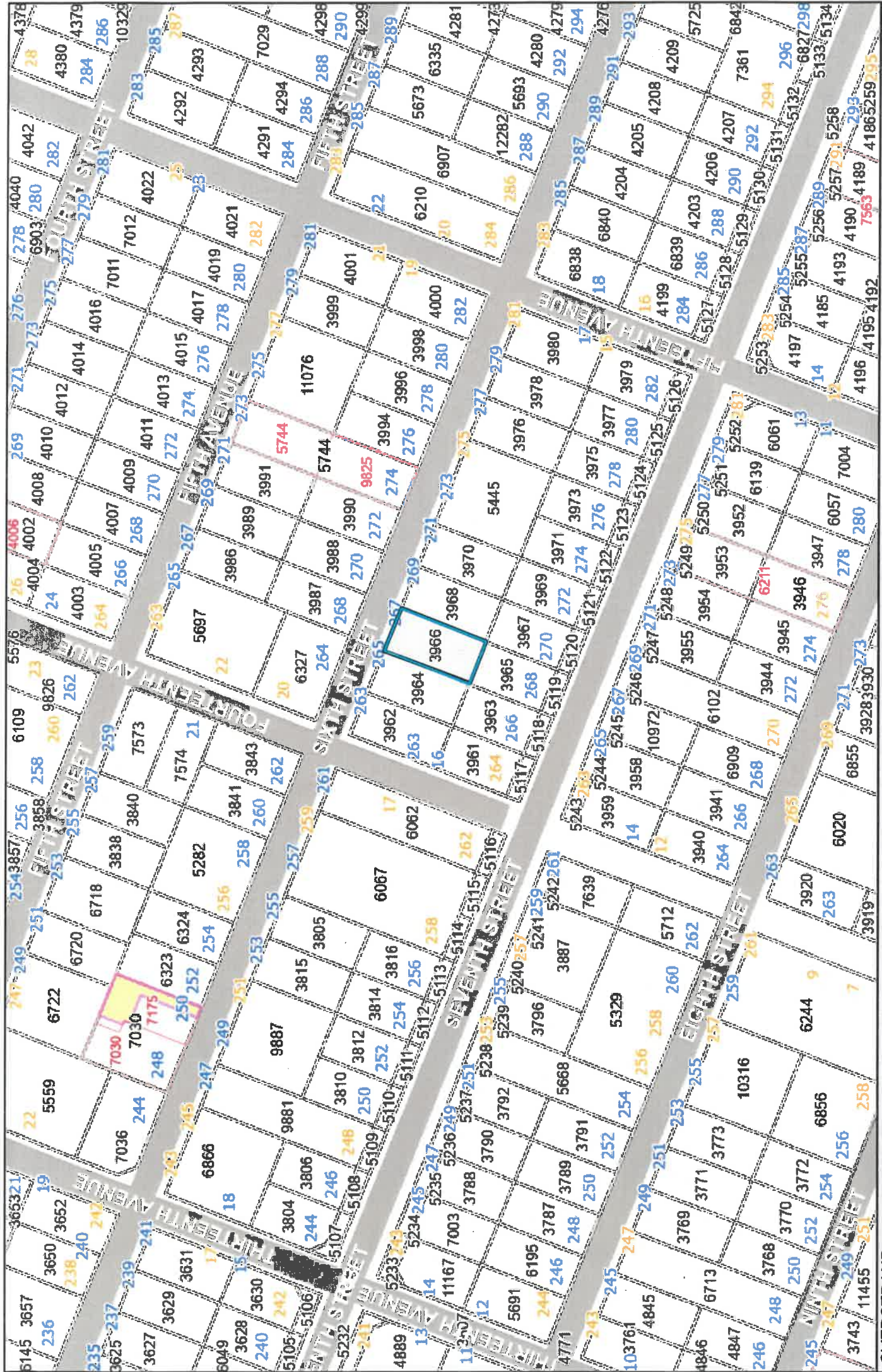
Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 028-313 2093 / (e) alida@overstrand.gov.za) voor of op **2 September 2022**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr. P. Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

U-ERF 3966, KWA-267 SIXTH STREET, VOËLKLIP, EHERMANUS, KUMMANDLA KAMASIPALA I-OVERSTRAND: ISICELO SOPHAMBUKO: U-SMART SOLUTION ARCHITECTURE & ARCHITECTURAL CONSULTANTS EGAMENI LIKA-H.J. & L. DU TOIT

Kukhutshwa iSaziso ngokwemiqathango yeSiqendu 48 soMthetho kaMasipala i-Overstrand woKwenza iZilungiso kuCwangciso loSetyenziso loMhlaba kaMasipala, uMthetho kaMasipala ka2020), sokuba isicelo sophambuko sifunyenwe ngokweMiqathango yeSiqendu 16(2)(b) malunga noku kulandelayo:

- Ukuguqulwa komgca womda onqamlezileyo osentshona ukuze usuke ku- 2m ube ngu-1.52m ukulungiselela inguqu ngokosetyenziso (kuguqulwe igumbi likanogada ukuze libe ngummandla wegumbi lokuphekela);
- Ukuguqulwa komgca wolwakhiwo olunqamlezileyo olusempuma ukuze usuke ku-2m ube ngu-1.422m ukulungiselela ikhaphoti neekholam zokuxhasa kumgangatho osezantsi; &
- Ukuguqulwa komgca wolwakhiwo olunqamlezileyo olusempuma ukuze usuke ku-2m ube ngu-1.356m ukulungiselela igumbi lelanga, ibhalkhoni evulekileyo nebhokisi yesixhobo sotyalo kumgangatho wokuqala.

linkcukacha ezigcwelelo malunga nesi siphakamiso ziyafumaneka kwaye zilungele ukuhlolwa ngeentsuku zeveki phakathi kwentsimbi ye-08:00 neye-16:30, kwiSebe loCwangciso lweeDolophu elisePaterson Street eHermanus. Onke amagqabantshintshi abhalwe phantsi makathunyelwe ngokwemiqathango yeZiqendu 51 no 52 zoMthetho kaMasipala oxeliweyo ze afakwe kwaMasipala (kwa-16 Paterson Street, eHermanus / okanye ngomnxeba (kwinombolo yemfono-mfono u-0283132093) / kungenjalo uwathumele kule imeyile: alida@overstrand.gov.za) ngomhla okanye phambi komhla **wama-2 EyoMsintsi ku2022**, unike igama lakho, idilesi yakho neenkukacha zoghagamshelwano, uchaze iminqweno yakho malunga nesicelo eso, unike nesizathu sokuba wenze loo magqabantshintshi uwezileyo. Ungayithumela nemibuzo onayo ngokutsalela **UMcwangcisi weeDolophu, uMnu. MP Roux** ku-028-313 8900. UMasipala unalo ilungelo lokuwala onke amagqabantshintshi afike emva kokuba umhla wokuvala udlule. Nabani na ke ongakwazi ukufunda okanye ukubhala angandwendwela kwiSebe loCwangciso lweeDolophu, apho igosa likamasipala liya kunceda khonukuze liqinisekise ukuba loo magqabantshintshi enziwayo abhalwa phantsi ngokusesikweni.



Locality Map
Erf 3966, 267 Sixth Street, Voëlkliip

SMART SOLUTION ARCHITECTURE

and Architectural Consultants

PRINCIPAL: Ian Smil /a Smart Solution Architecture

Members of SACAP / CIA / and SAIAT

Mail Collection 104, Hemel & Aarde Estate, Hermanus, 7200

028 125 0019
admin@ssarc.co.za
www.ssarc.co.za



17.05.2022

OVERSTRAND MUNICIPALITY
16 PATERSON STREET
PO BOX 20
HERMANUS
7200

TO WHOM IT MAY CONCERN:

MOTIVATIONAL LETTER

Pre-consultations	Meeting with Petrus Roux on 15 March 2022 @ 11h00am
Property location:	Erf 3966 267 6 th Street Voëlklip Hermanus 7200
Property size:	495.00m ²
Coverage permitted:	50.00%
Proposed coverage:	43.75% (216.60m ²)
Property zoning:	Single Residential (SR1)
Title Deed number & date:	T 000003624/2013

A) PROPOSED DEVELOPMENT:

With reference to drawings (*dd: 17-05-2022-Rev 00*) attached to this application:

- I 0432/A3/01 - Locality map*
- I 0432/A3/02 - Locality map*
- I 0432/A3/03 - Site photos*
- I 0432/A1/04 - Site and floor plan layouts, section and Elevations*
- I 0432/A3/05 - New Proposed addition*
- I 0432/A3/06 - Elevations*
- I 0432/A3/07 - Section and floor plan*
- I 0432/A3/08 - Partial site and roof plan layout*

Proposed alterations and additions:

1. Ground Storey;

- Existing and previously approved care takers room to be made interleading with existing games room (main dwelling), the care takers room and en-suite to be converted into new kitchenette for existing games room
- Existing lean-to roof structured carport to be demolished and replaced with new RC roof slab to support new proposed addition on first storey. Area to remain as covered

ERF 3966, 267 6th STREET, VOËLKLIP, HERMANUS

carport. New supporting columns as indicated on building plans, position of columns had been placed in such a manner to still gain access to the existing garage.

2. First Storey;

- We proposed a new sunroom, and balcony with planter. The planter to prevent access / usable floor area up to the 2.0m side building line. Thus, the balcony will only extend up to the 2.0m side building line. New structure to

B) CHARACTER OF THE ENVIRONMENT:

Erf 3966 falls within a mixed used area with most of the properties registered as Single Residential 1 (SR1). Current Zoning scheming restrictions imposed on Erf 3966 with property are as follows:

Street building line	4.0m
Side building lines	2.0m
Rear building lines	2.0m
Height restriction	8.0m from base level
Coverage	50%
Title Deed restrictions	n/a

Adjoining and surrounding dwellings are single and double storey dwellings some with architectural and heritage significance with average erf sizes of 450m² - 2000m².

With the imposed 50% coverage permitted on most of the properties, the area is seen a low-density area.

C) DESIRABILITY OF THE PROPOSED UTILISATION

The proposed alterations and additions to existing dwelling has no negative impact on any of the adjoining and surrounding properties.

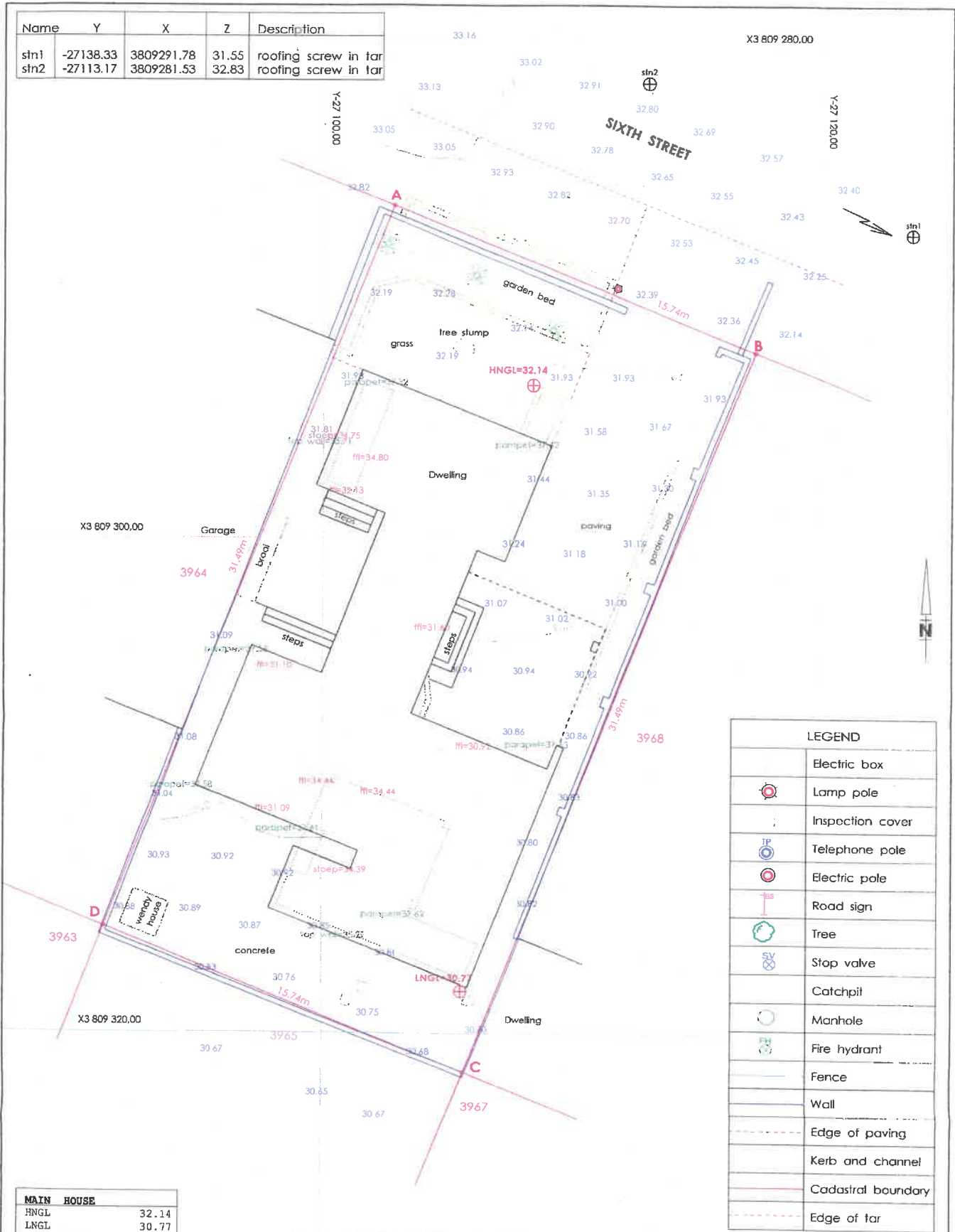
Ground Storey:

- New kitchenette are all within existing footprint, No changes are made to envelope of building (No additional and or changes are to be made to windows and or doors)
- The new proposed carport will have no addition impact on any of the adjoining neighbours /properties as per the previously approved structure. Usage of the area remain as driveway/ covered parking space.

First Storey:

- The proposed sunroom has no windows facing towards the adjoining neighbours (Erf 3968), with new proposed open balcony and planter facing north also not protruding into adjoining neighbours privacy. The proposed new additions are adjacent to Erf 3968 driveway and not overlooking into their private outdoor spaces.
- The proposed additions are inline (on the same plane) with the existing structures and will have negative impact on any possible views from Erf 3987 and/or future views from vacant plot, Erf 3988.
- Aestitically the new proposed aaddtions will fomr part of the building and will not be seen as n add-on rather improved the north faced of the dwelling.

Name	Y	X	Z	Description
stn1	-27138.33	3809291.78	31.55	roofing screw in tar
stn2	-27113.17	3809281.53	32.83	roofing screw in tar



LEGEND	
	Electric box
	Lamp pole
	Inspection cover
	Telephone pole
	Electric pole
	Road sign
	Tree
	Stop valve
	Catchpit
	Manhole
	Fire hydrant
	Fence
	Wall
	Edge of paving
	Kerb and channel
	Cadastral boundary
	Edge of tar

MAIN HOUSE	
HNGL	32.14
LNGL	30.77
BASE LEVEL	31.46
MAXIMUM HEIGHT	39.46

M.L.L.
 NA CLARK (PLS 1072)
 PROFESSIONAL LAND SURVEYOR

Project
TOPOGRAPHIC SURVEY
ERF 3966
HERMANUS

Client
THE OWNER

Architect
SMART SOLUTION ARCHITECTURE

Notes

Constants Y 0.00 X 0.00

Height Datum System
 WGS84

Project No Drawing No
 H3966

Scale 1:150
 Date February 2022

geomatics africa
 LAND SURVEYING CONSULTANTS

PO Box 2245, Hermanus, 7200
 3 College Rd, Hermanus, 7200
 Email: info@geomatics.africa.co.za
 Tel: 028 - 3191246 Fax: 028 - 3191292

1/2 SECTION HEAD IN 7" ST

ERF 3965

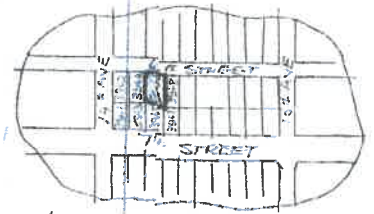
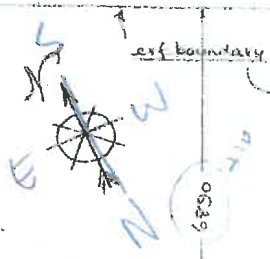
ERF 3968

10,000 & Const. Part etc.

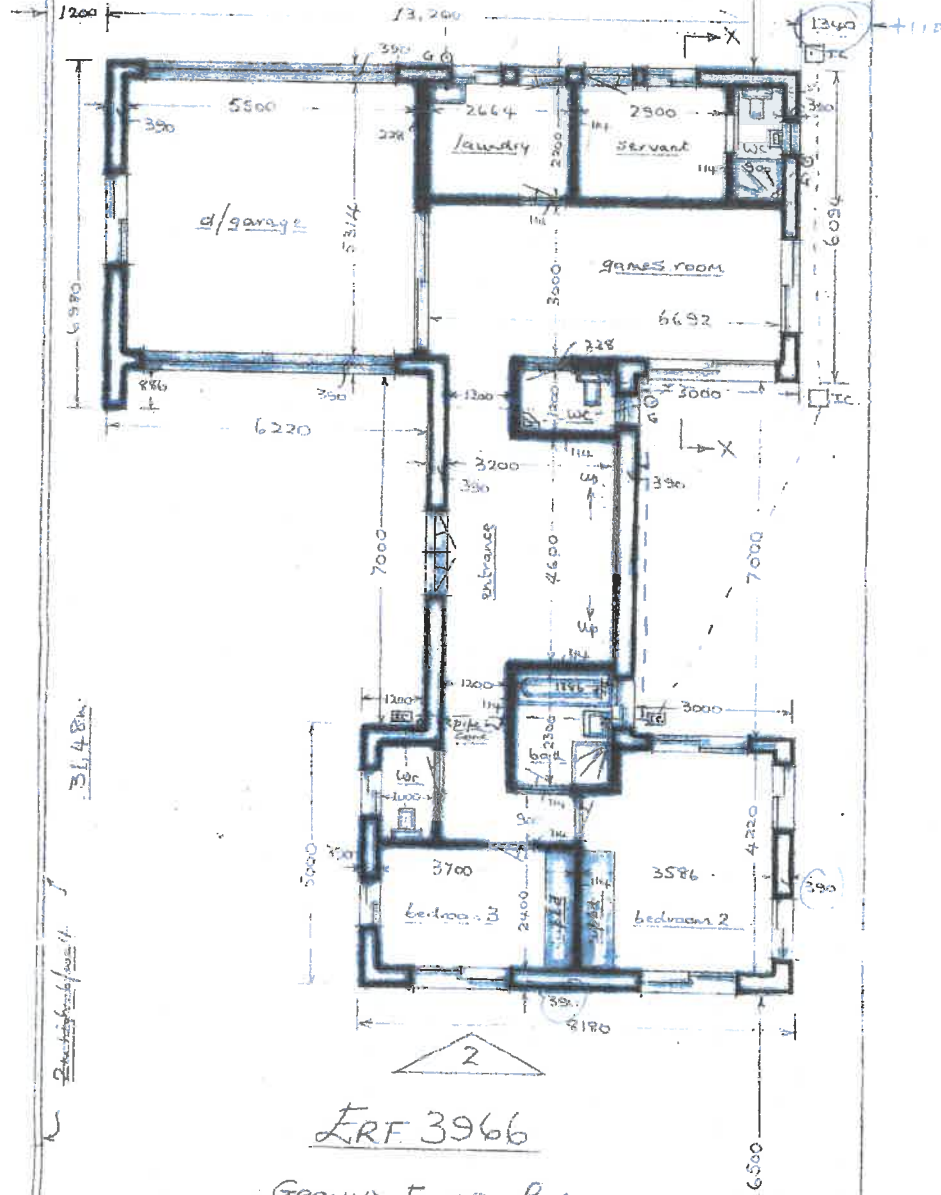
15,74m

erf boundary

ERF 3164

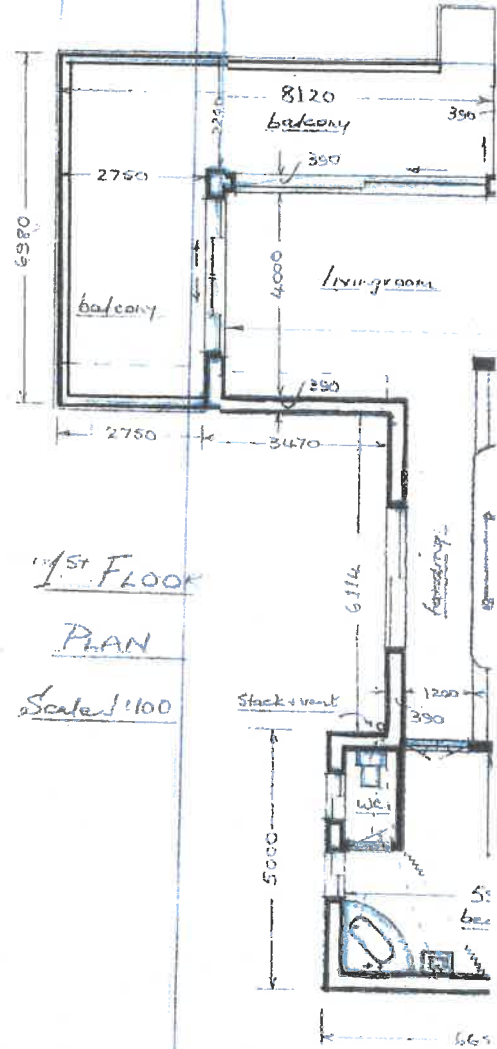


LOCALITY SKETCH



ERF 3966

GROUND FLOOR PLAN



1st FLOOR PLAN

Scale 1/100

AREA OF GROUND FLOOR
AREA OF FIRST FLOOR
TOTAL AREA
LENGTH OF WALLS

PLAN, SIDE PLAN AND DRAINAGE LAYOUT
Scale 1:100

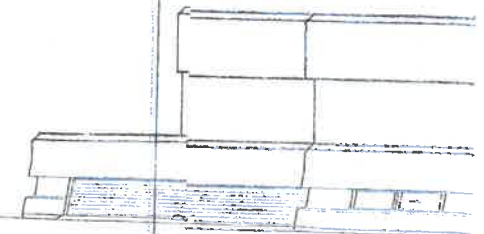
DESIGNER: FRANK M. SWINGLER, B.Sc. (CIVIL ENG)

110, Bor 388, Heermans, 1200 & Phone (0881) 2-1636

Plan No 7/2/29

19/8/80

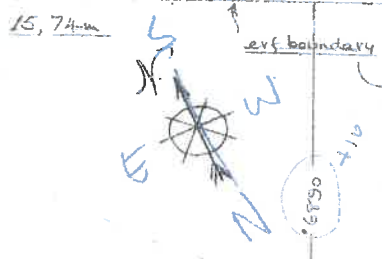
Plan No. 89282



ELEVATION

2

65

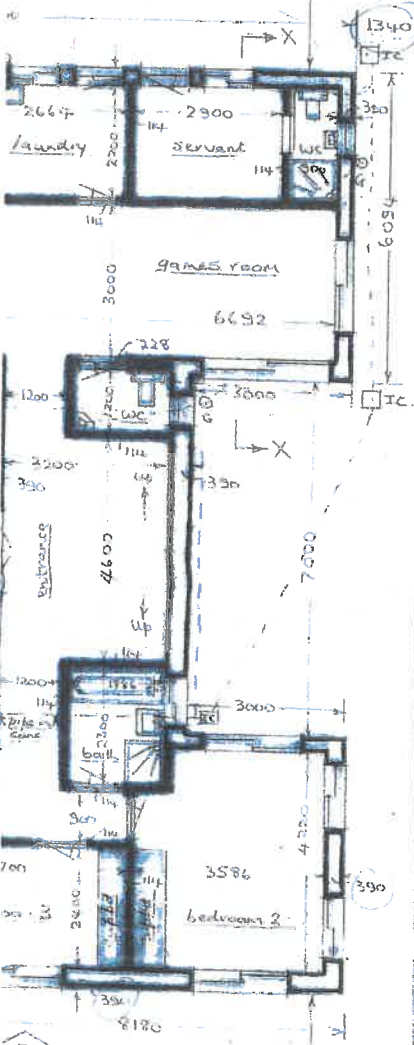


ERF 3:164



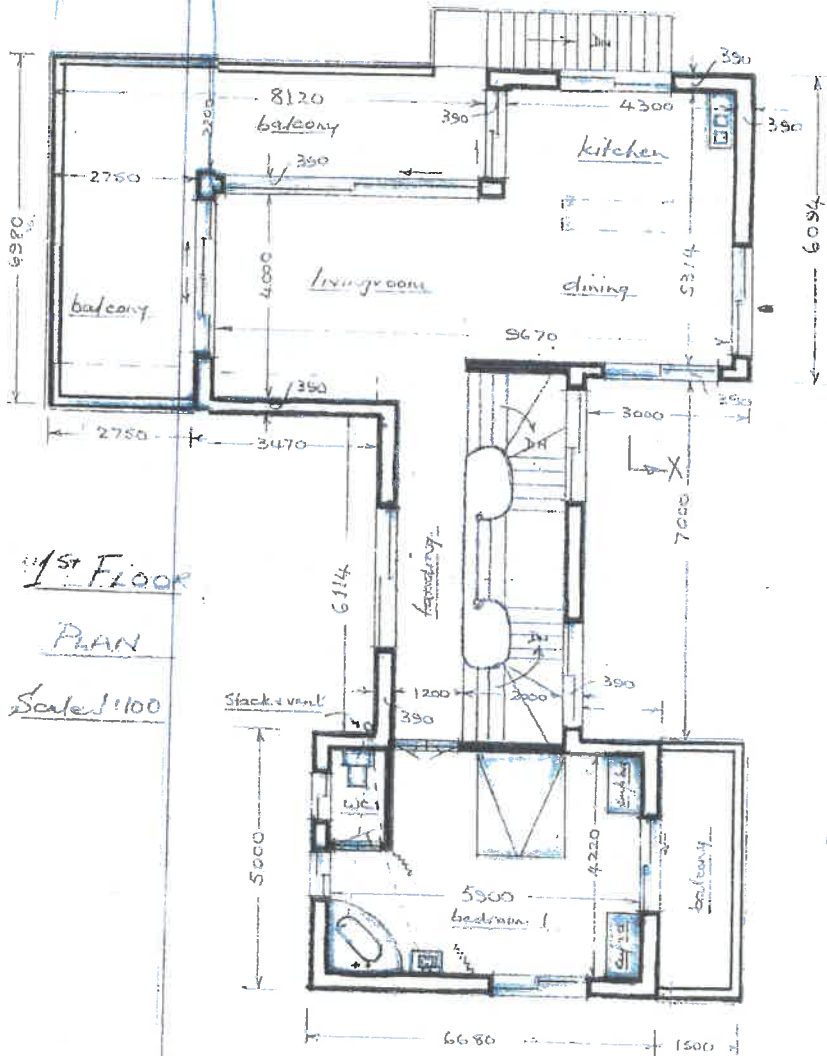
LOCALITY SKETCH

Roof: Asbestos sheets on 75x50 mm
 @ ± 1000 c/c on Gangerail type trusses
 @ ± 750 c/c. Wallplates 114x28 with
 galv. hoopiron ties, cast in ring beam.
 Laminated fascia + 15 m asbestos gutters
 and downpipes.



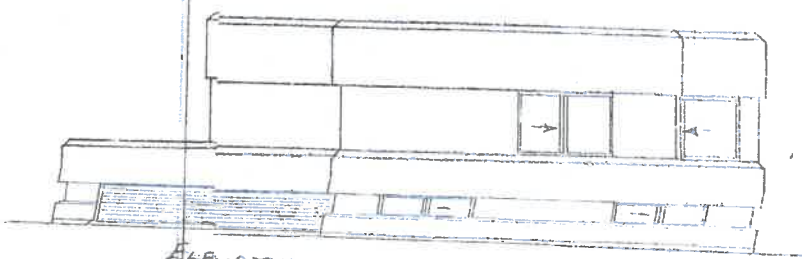
966
 OR PLAN

high bl wall
 DRAINAGE LAYOUT
 Scale 1:100



1st FLOOR
 PLAN
 Scale 1:100

AREA OF GROUND FLOOR = 158,8 m²
 AREA OF FIRST FLOOR = 120,3 m²
 TOTAL AREA = 279,1 m²
 LENGTH OF WALLS = 44,5 m



ELEVATION

2

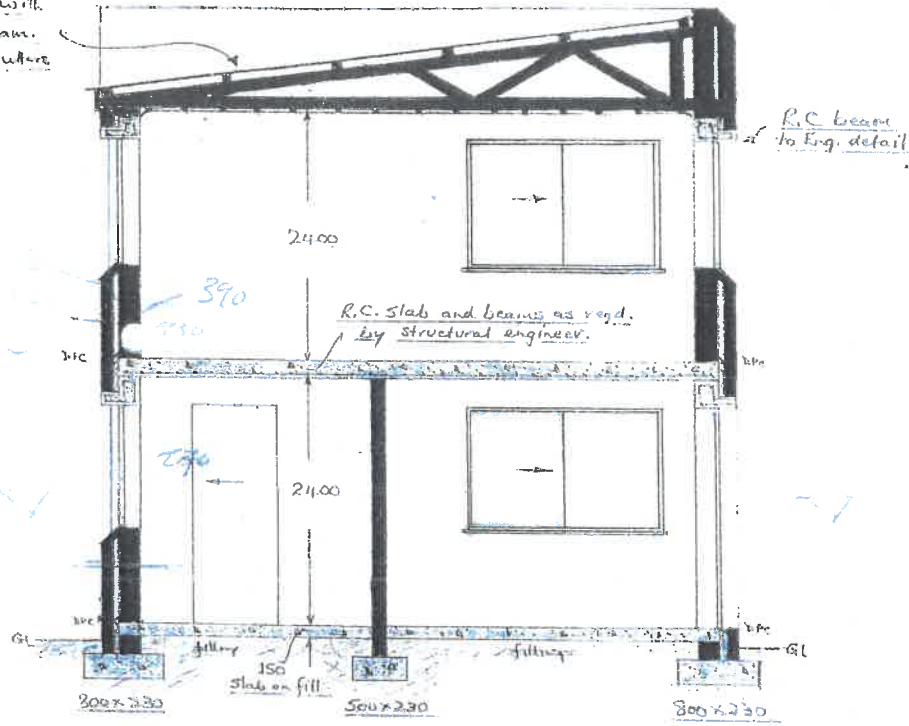
Scale 1:100

B.Sc. (Civil Eng)
 J. Hone (02821) 2-1696

12/39
 14/8/80
 Plan No 89282

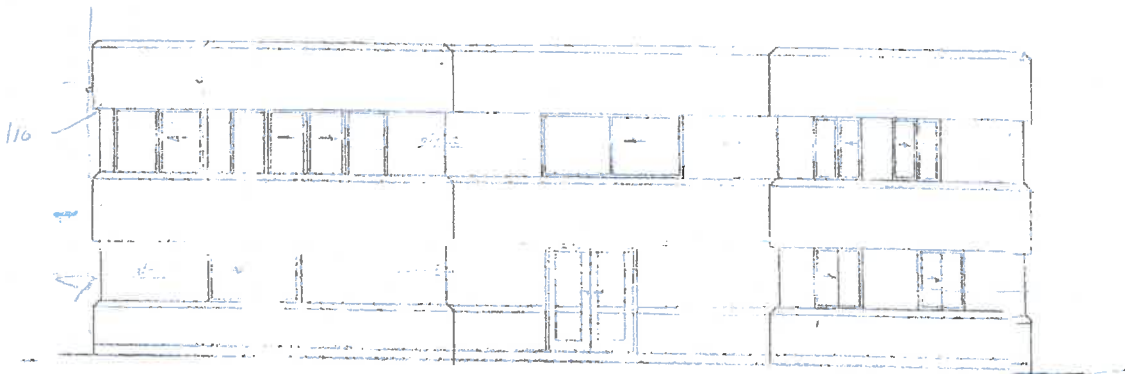
PR
 ON

on 75x50 herring
 gable type trusses
 rafters 114x38 with
 raft in ring beam.
 1/2 red asbestos gable

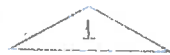


SECTION XX

Scale 1:50



ELEVATION

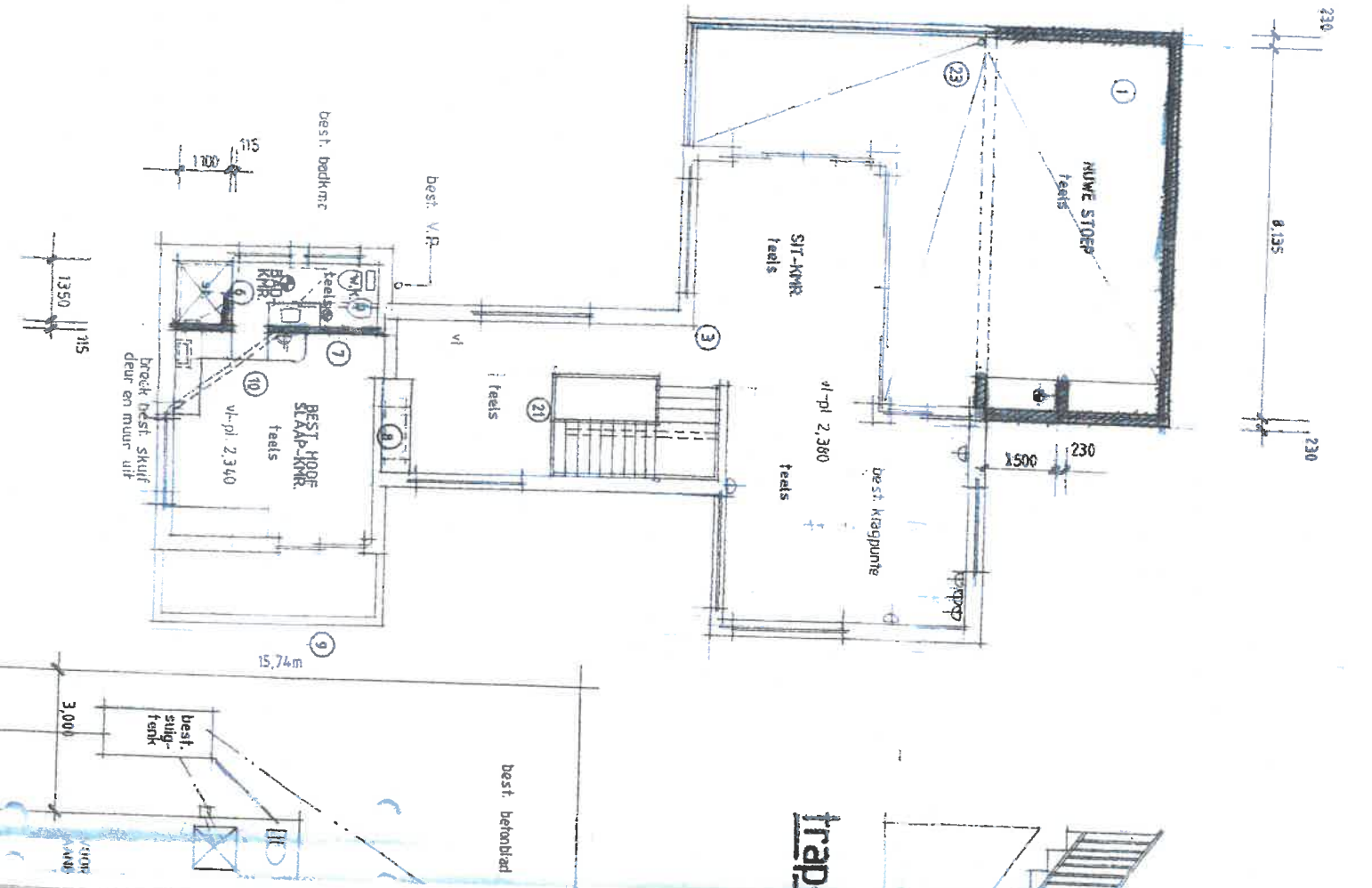
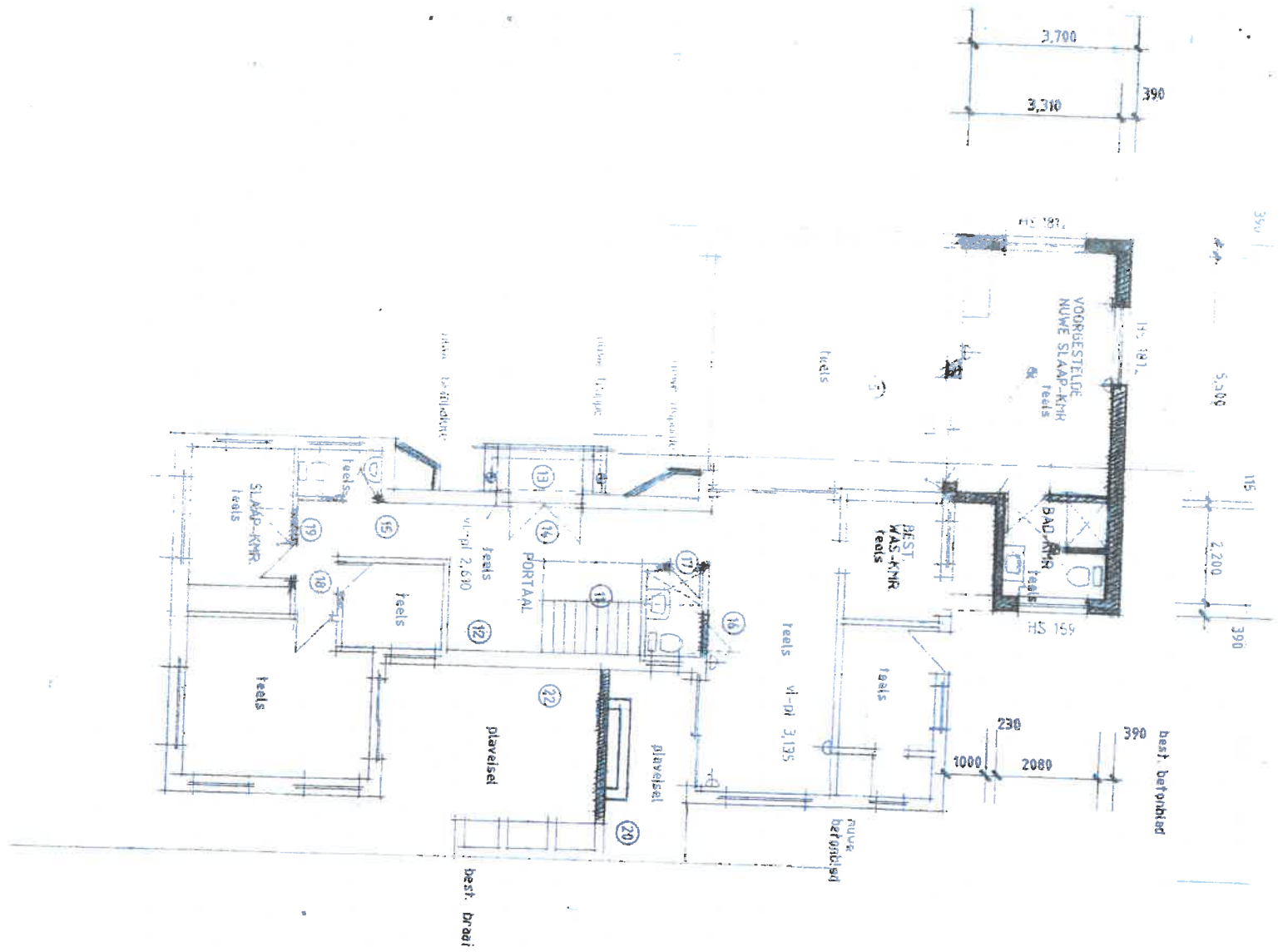


Scale 1:100

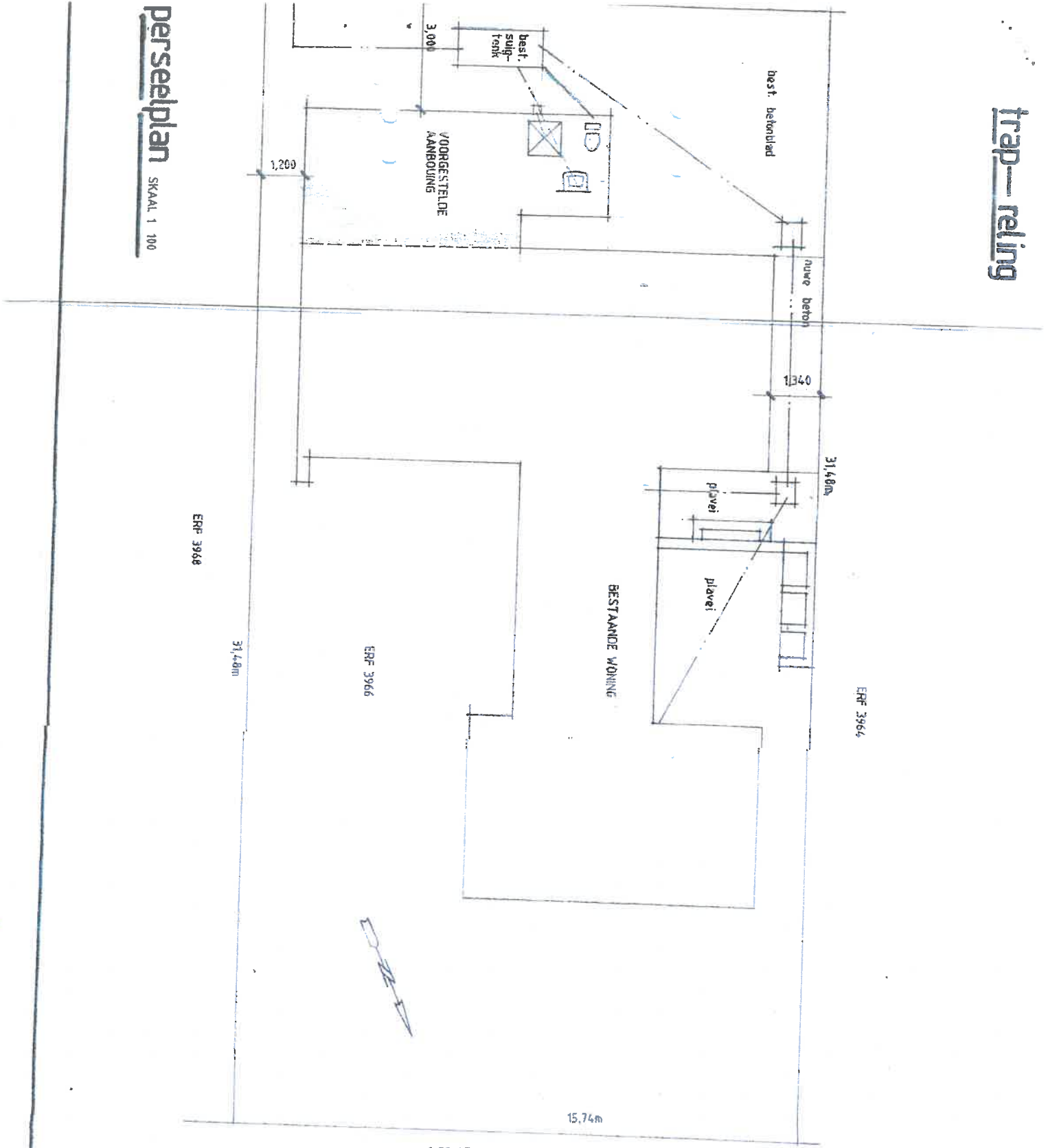
PROPOSED DWELLING FOR W. THERON ESQ.
 ON FRM 3966, 6th STREET, VOELKLIP

HERMANUS, CP

NO LIFTING
 OR GATES TO PREVENT
 ACCESS TO THE LIFE
 BOY



trap



perseelplan SKAAL 1 100

20/11/90
90080
Condition: Koude R.C.I.

NOTA
GESKREWE MATES GENIET VOORKE
GESKAALDE MATES
KONTRAKTEUR MOET ALLE VLAKKE
ALVORENS BOUWERK IN AANVANG
WORD

ANDERSON

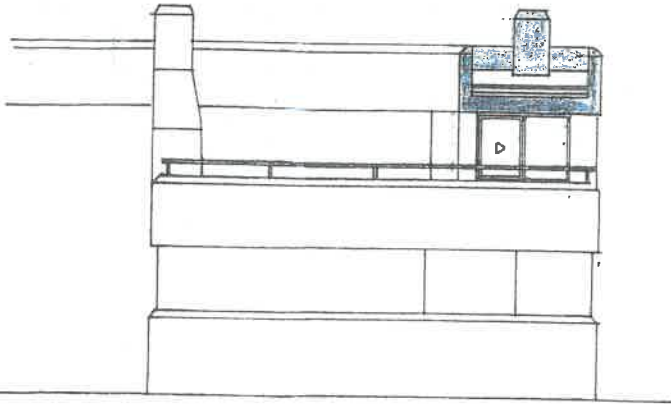
PROJEK
VOORGESTELDE AANBOUWING EN VER-
TE BESTAANDE WONING ERF 3966
6 DE STRAAT VOELKLIP HERMANUS
MEV. L. ANDERSON

SKAAL 1 100	datum 12,
TITEL WERKSTEEKING	TEK. NR. 5

L.S.A.I.T. M.S.

Saaiman & v. Ren
Boutekenaars
26093 tel 2806

INMAAK/RIJGTEWAAKBOU
HV HOOF. EN FAJNESSTRATE
ROEBUS 139
HOOFSTRAT
PAARL 7522



SOUTH WEST ELEVATION 1:100

- A. This drawing is not to be scaled, figured dimensions only to be used.
- B. All levels shown are finished levels, unless indicated otherwise.
- C. Any discrepancy must be reported to the designer before any work is put in hand.
- D. IE's with marked covers at all bends and junctions in drains.
- E. All built work to comply with latest NBR's.
- F. All wastes to be accessible for repairs, and to be fitted with reseal traps as per NBR's.
- G. 2 AB's to all WC compartments.
- H. Structural timber where built in, to be wrapped in Dakseal yellow.
- I. Concrete mixes: Foundations : 1 : 3 : 6
Surface Beds : 1 : 3 : 6
Slabs and columns : 1 : 2 : 4

FINISHES:

Roof: Pitch 1,75. Finish to be IBR Profile Corrugated sheets on 50x38mm battens at max. 600mm c/c on roof trusses 152x38 mm. All on 114x38mm wallplates tied down with 30x1,2mm thick galv. hoop iron built into brickwork 600mm down.

Walls: 230mm Clay brick external walls, plastered and painted on 700x230mm concrete strip foundations, 115mm Clay brick internal walls on 600x230 concrete strip foundations. Garden walls 230mm on 600x230mm foundations.

Floors: Screed to suit floor finish on 100mm concrete surface bed on 250mm DPM with 200mm end and side laps, bonded to DPC, on sand blinding on well compacted fill taken up in max. 250mm layers and watered well. 100x20mm Selected meranti skirtings.

Windows: All windows to be selected meranti from Messrs. WISPECO or equal. Also Safety glazing NBR's.

AIRBRICKS: To all bathrooms.

RAINWATER GOODS: Durapenta "Penthouse" UPVC gutters with round downpipes.

DRAINAGE: UPVC drainage pipes to soil and waste pipes to comply in all respects with NBR's and Municipal requirements.

DAMP PROOF MEMBRANES: DPM's to all surface beds, walls, window and door reveals and cills.

DOORS: Entrance doors to be selected Aluminium by WISPECO or equal.

LIGHT AND VENTILATION: All habitable rooms to have 10% floor area light and 5% floor area ventilation.

Areas :

NEW ADDITION = 24.900 m²

ALTERATIONS AND ADDITIONS TO EXISTING

ON ERF No. **3966**
HERMANUS

FOR
Mr & Mrs. L. ANDERSON

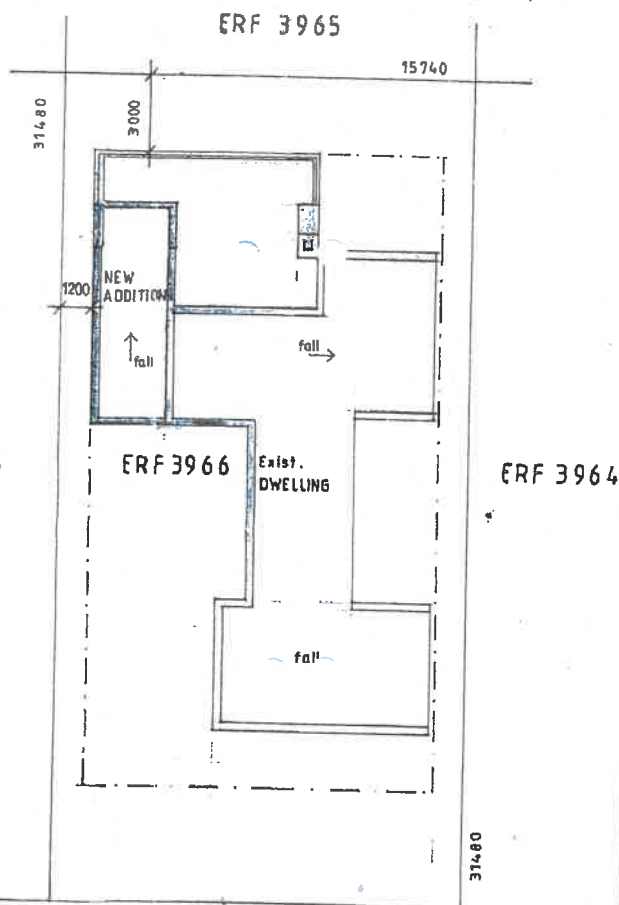


WERNER G. FOURIE
NAS. DIP. ARCHITECTURE
CAPE TECHNIKON
SAJAT 30685

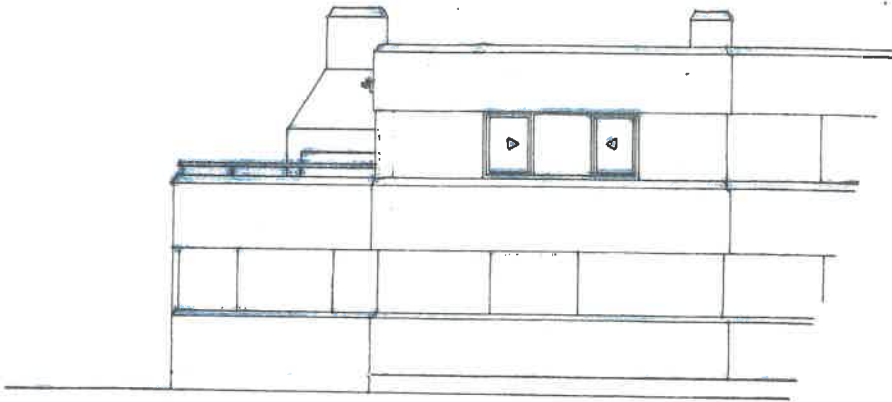
P.O. BOX 1107
HERMANUS
TEL. 02 83 - 22046

FILE No	166
DATE	03-11-1997
SCALE	AS SHOWN
DRAWN	WGF
ISSUED	03-11-1997

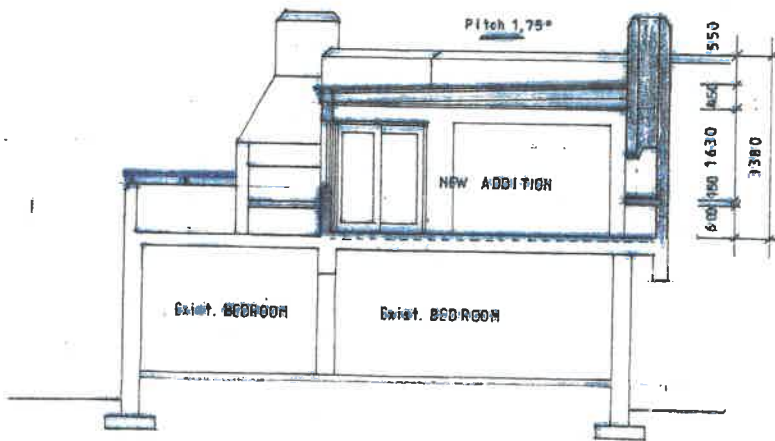
DRAWING No 166/01



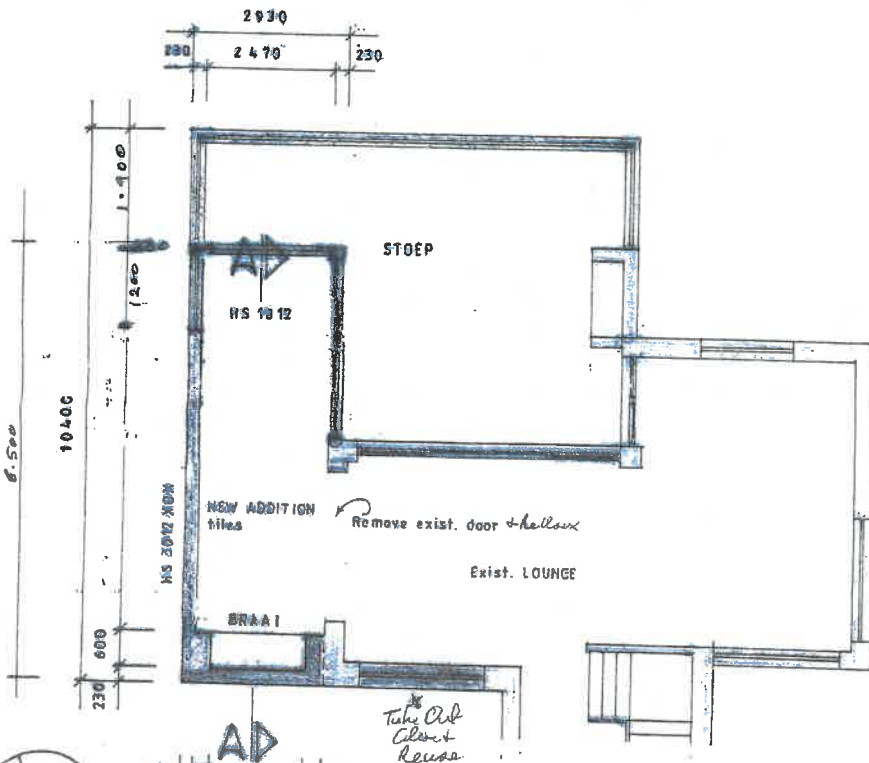
SITE PLAN
6TH STREET 1:200



SOUTH EAST ELEVATION 1:100



SECTION A-A 1:100



PLAN 1:100

6/4/98
 Plan No 89095

MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO. CONTRACTORS AND SUB-CONTRACTORS ARE TO CHECK ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE BEFORE COMMENCING WORK. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS SUPERSEDE SMALL SCALE DRAWINGS. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF SMART SOLUTION ARCHITECTURE AND ARCHITECTURAL CONSULTANTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

REV NO:	00	DESCRIPTION:	XXXXXXXXXXXXXXXXXX
DATE:	XX-XX-XXXX		

DRAWING STAGE:	
COUNCIL SUBMISSION	
DEPARTURE APPLICATION	
SKETCH PROPOSAL	
TENDER DRAWING	
WORKING DRAWING	
SITE RESTRICTIONS:	
STREET BUILDING LINE	4.000m
LATERAL BUILDING LINE	4.000m
REAR BUILDING LINE	4.000m
HEIGHT RESTRICTION	4.000m
TITLE DEED BUILDING LINES (see drawings)	8.000m
ZONE APPLICABLE:	
SINGLE RESIDENTIAL (SR1)	
TOWN HOUSING - ZONE 1 (GR1)	
TOWN HOUSING - ZONE 2 (GR2)	
FLATS - ZONE 3 (GR3 and DR4)	
LESS FORMAL DEVELOPMENT (LFD)	

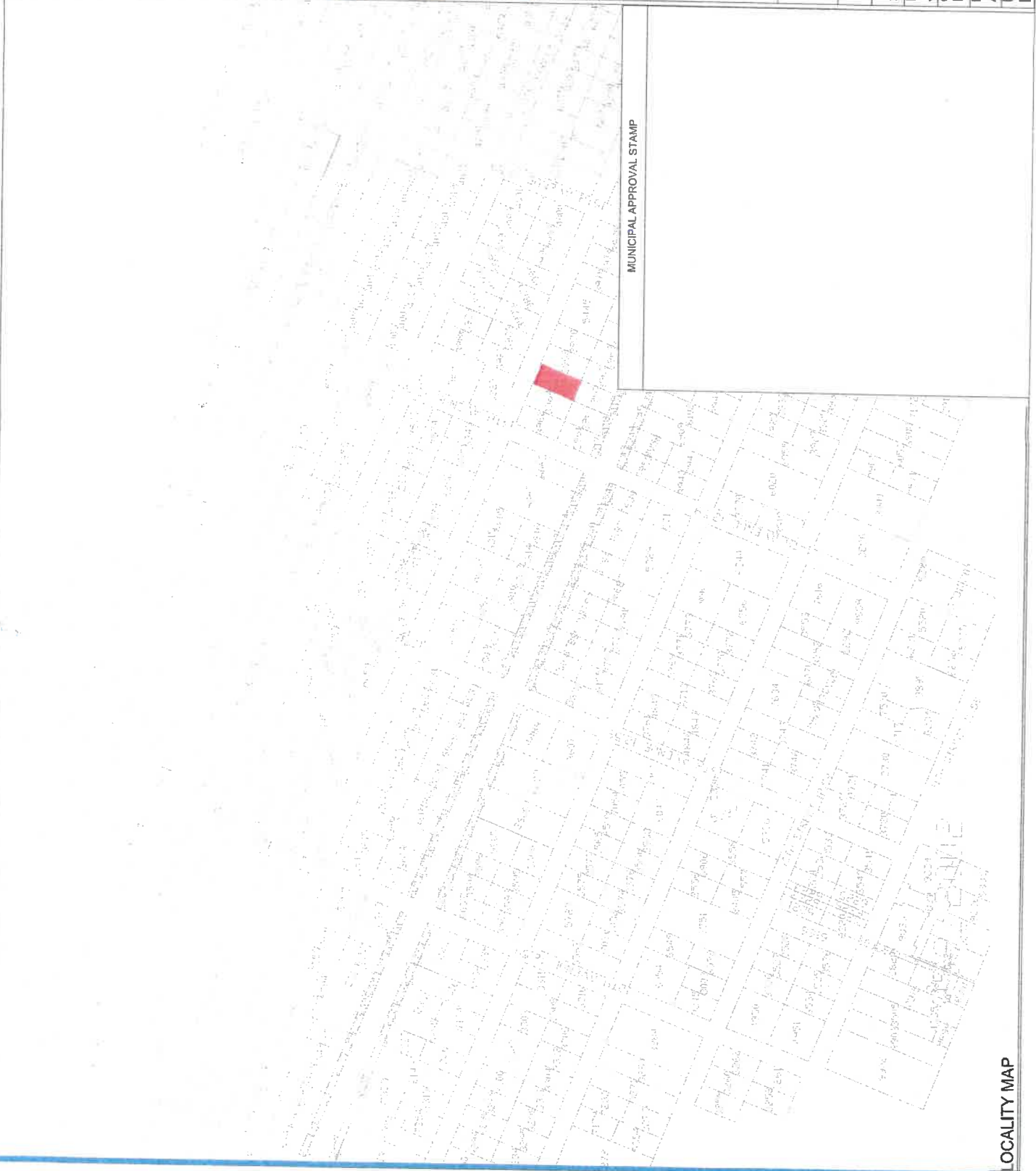


SMART SOLUTION ARCHITECTURE

and Architectural Consultants
 Members of SACAP / CIA / and SAIAI
 PRINCIPAL: Ian Smit 1/3 Smart Solution Architecture
 Office 028 125 0019 admin@ssarc.co.za
 I Smit 082 879 6749 ian@ssarc.co.za
 D Swart 079 694 1728 dian@ssarc.co.za
 Mail Collection 104, Hemel & Aarde Estate, Hermanus. 7200

PROJECT NAME:	HL & L DU TOIT, ERF 3966, 267 SIXTH, STREET, VOËLKLIP, HERMANUS, 7200
DWG TITLE:	LOCALITY MAP
DATE:	2022/05/17
DRAWN BY:	JEANNE NEL
CHECKED BY:	DIAN SWART
DRAWING SCALE AS SHOWN	SACAP REG PSAT 24749037
DRAWING NO.	PRINT A3 LANDSCAPE
REV NO.	REV NO. 00

MUNICIPAL APPROVAL STAMP



LOCALITY MAP

MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO. CONTRACTORS AND SUB-CONTRACTORS ARE TO CHECK ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE BEFORE COMMENCING WORK. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS SUPERSEDE SMALL SCALE DRAWINGS. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF SMART SOLUTION ARCHITECTURE AND ARCHITECTURAL CONSULTANTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

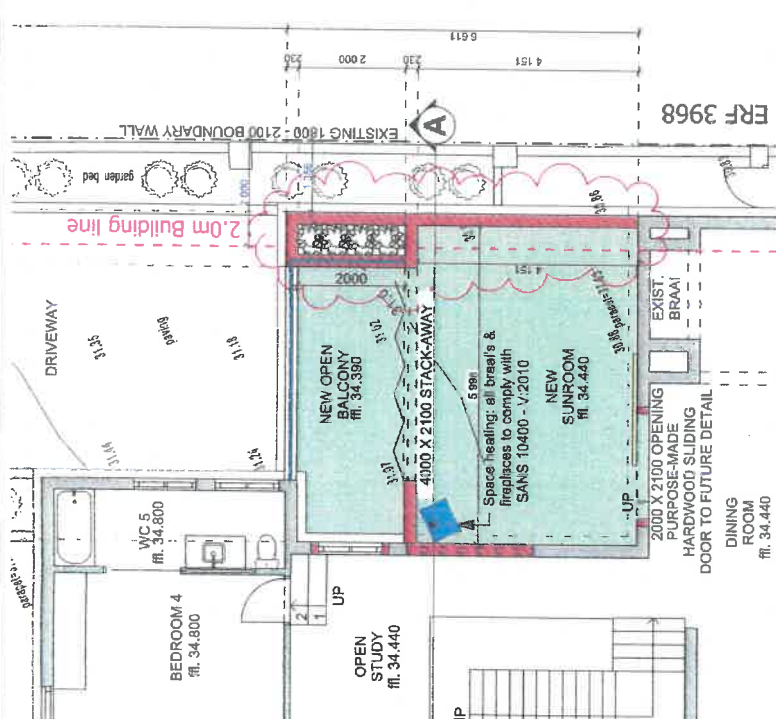
VARIATIONS:	DESCRIPTION:
REV NO: 00	DATE: XX-XX-XXXX
	XXXXXXXXXXXXXXX

DRAWING STAGE:	COUNCIL SUBMISSION
	DEPARTURE APPLICATION
	SKETCH PROPOSAL
	TENDER DRAWING
	WORKING DRAWING
SITE RESTRICTIONS:	STREET BUILDING LINE 4.000m
	LATERAL BUILDING LINE 4.000m
	REAR BUILDING LINE 4.000m
	HEIGHT RESTRICTION 5.000m
TITLE DEED BUILDING LINES (see drawings)	1m
ZONE APPLICABLE:	SINGLE RESIDENTIAL (SR1)
	TOWN HOUSING - ZONE 1 (GR1)
	TOWN HOUSING - ZONE 2 (GR2)
	FLATS - ZONE 3 (GR3 and DR4)
	LESS FORMAL DEVELOPMENT (LFD)

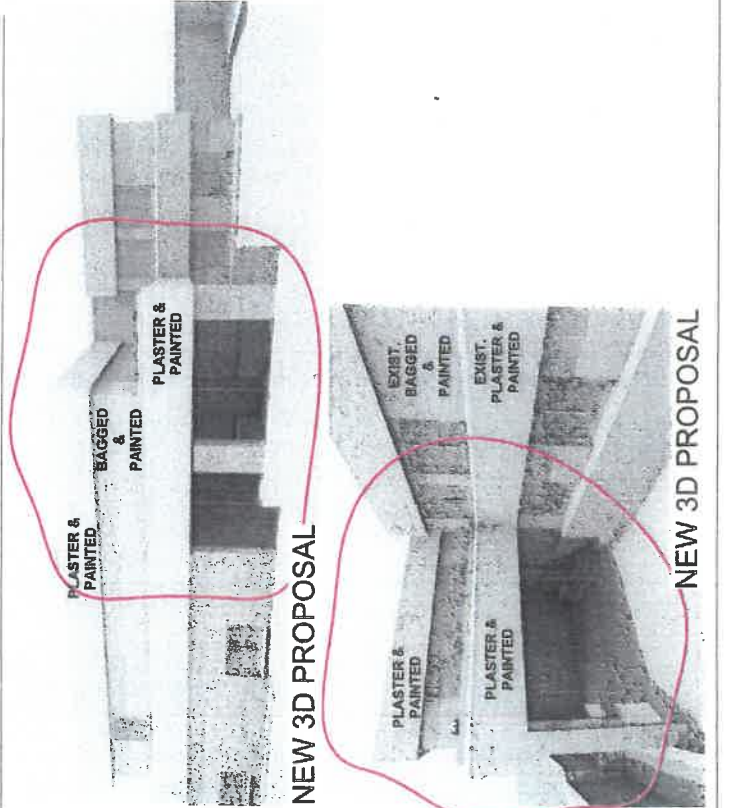
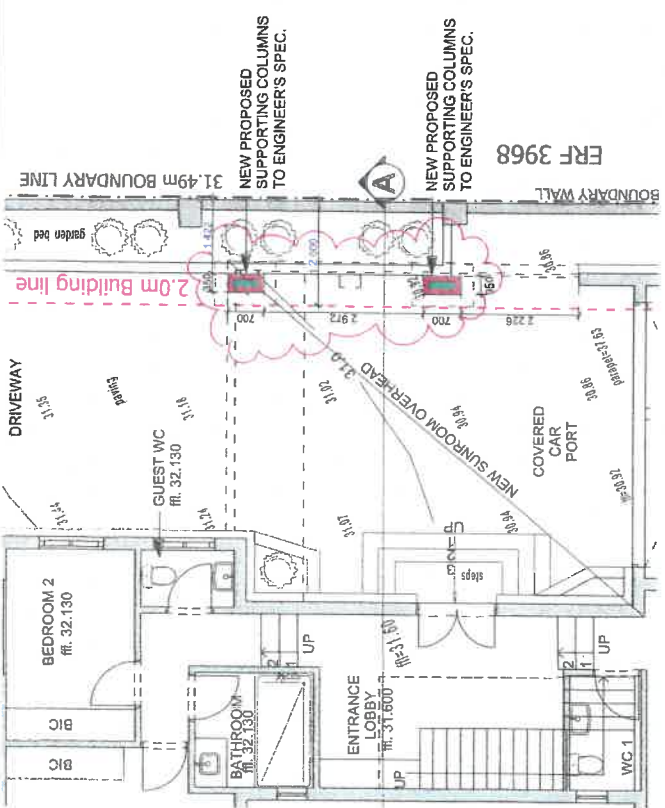


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D Swart 079 694 1728 dian@ssarc.co.za
Mail Collection 104, Hemel & Aerde Estate, Hermanus, 7200

PROJECT NAME:	HL & L DU TOIT, ERF 3966, 267 SIXTH, STREET, VOËLKIP, HERMANUS, 7200
DWG TITLE:	NEW PROPOSED ADDITION
DATE:	2022/05/17
DRAWN BY:	JEANNE NEL
CHECKED BY:	DIAN SWART
DRAWING SCALE:	SACAP REG. PSAT 24749037
AS SHOWN:	PRINT A3 LANDSCAPE
DRAWING NO.:	1 0432/A3/05
REV NO.:	00



MUNICIPAL APPROVAL STAMP



MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO. CONTRACTORS AND SUB-CONTRACTORS ARE TO CHECK ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE BEFORE COMMENCING WORK. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS SUPERSEDE SMALL SCALE DRAWINGS. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF SMART SOLUTION ARCHITECTURE AND ARCHITECTURAL CONSULTANTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

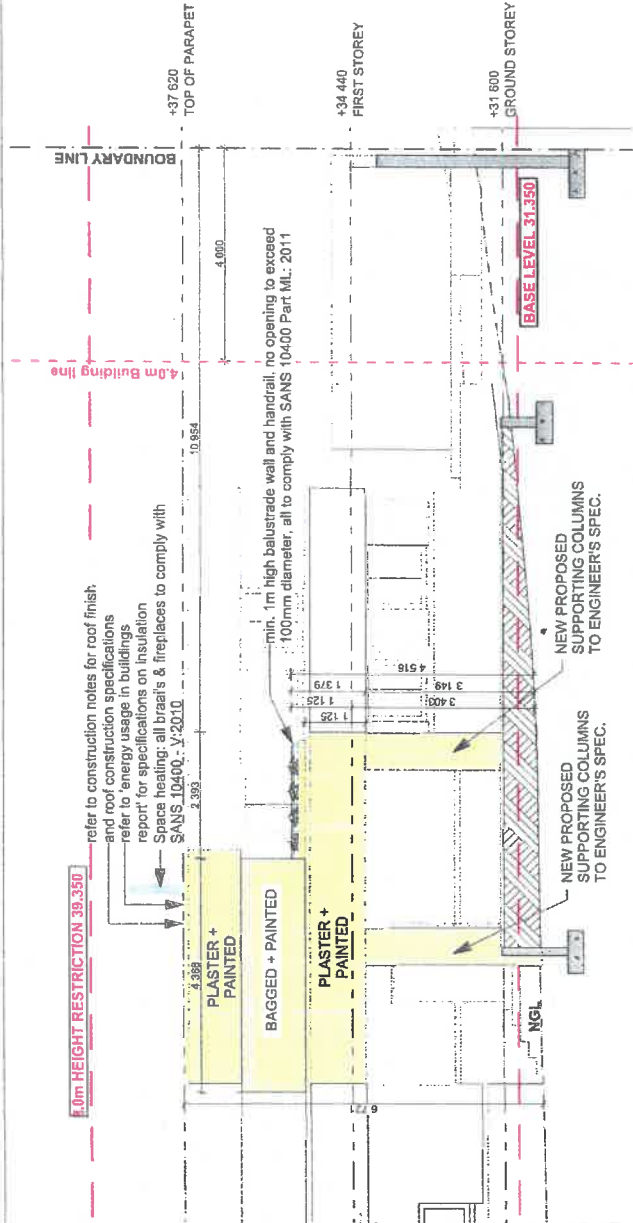
VARIATIONS:	DESCRIPTION:
REV NO DATE:	XXXXXXXXXXXXXX
00 XX-XX-XXXX	

DRAWING STAGE:	
COUNCIL SUBMISSION	
DEPARTURE APPLICATION	
SKETCH PROPOSAL	
TENDER DRAWING	
WORKING DRAWING	
SITE RESTRICTIONS:	
STREET BUILDING LINE	4.000m
LATERAL BUILDING LINE	2.000m
REAR BUILDING LINE	4.000m
HEIGHT RESTRICTION	8.000m
TITLE DEED BUILDING LINES (see drawings)	DATE
ZONE APPLICABLE:	
SINGLE RESIDENTIAL (SRT)	
TOWN HOUSING - ZONE 1 (GR1)	
TOWN HOUSING - ZONE 2 (GR2)	
FLATS - ZONE 3 (GR3 and GR4)	
LESS FORMAL DEVELOPMENT (LFD)	



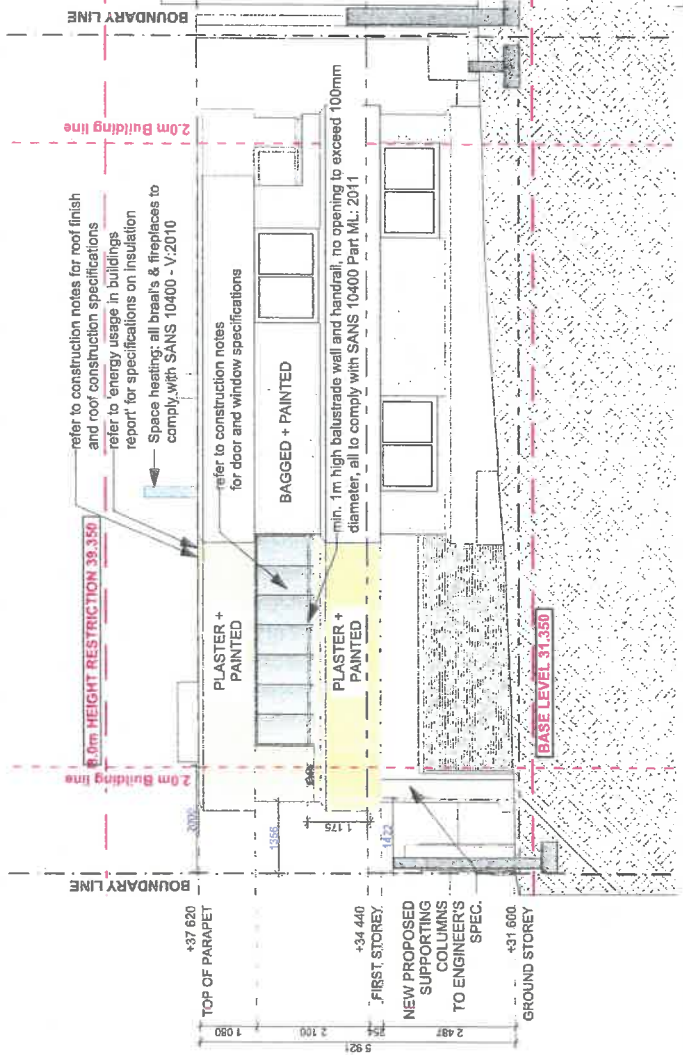
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PROJECT NAME:	HL & L DU TOIT ERF 3966, 267 SIXTH, STREET, VOËLKLIP, HERMANUS, 7200
DWG TITLE:	ELEVATIONS
DATE:	2022/05/17
DRAWN BY:	JEANNE NEL
CHECKED BY:	DIAN SWART
DRAWING SCALE:	SACAP REG. PSAT 24749037
AS SHOWN	PRINT A3 LANDSCAPE
DRAWING NO.	I 0432/A3/06
REV NO.	00



Scale 1:100

EAST ELEVATION



Scale 1:100

NORTH ELEVATION

MUNICIPAL APPROVAL STAMP

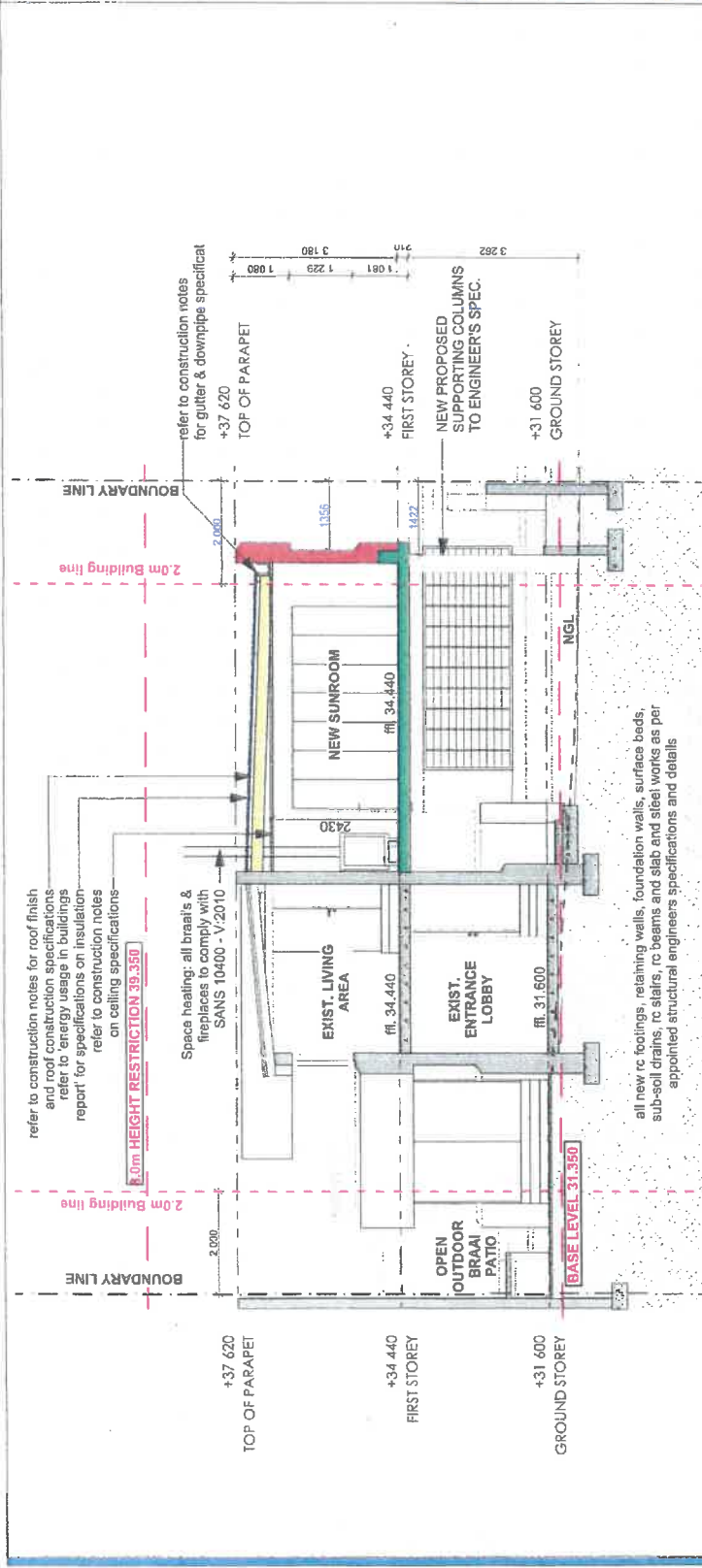
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REV/NO.	DATE	DESCRIPTION
00	XX-XX-XXXX	XXXXXXXXXXXXXXXXXX

DRAWING STAGE:	
COUNCIL SUBMISSION	
DEPARTMENT APPLICATION	
SKETCH PROPOSAL	
TENDER DRAWING	
WORKING DRAWING	
SITE RESTRICTIONS:	
STREET BUILDING LINE	1.000m
LATERAL BUILDING LINE	2.000m
REAR BUILDING LINE	2.000m
HEIGHT RESTRICTION	8.000m
TITLE DEED BUILDING LINES (see drawings)	N/A
ZONE APPLICABLE:	
SINGLE RESIDENTIAL (SR1)	
TOWN HOUSING - ZONE 1 (GR1)	
TOWN HOUSING - ZONE 2 (GR2)	
FLATS - ZONE 3 (GR3 REF LDR4)	
LESS FORMAL DEVELOPMENT (LFD)	

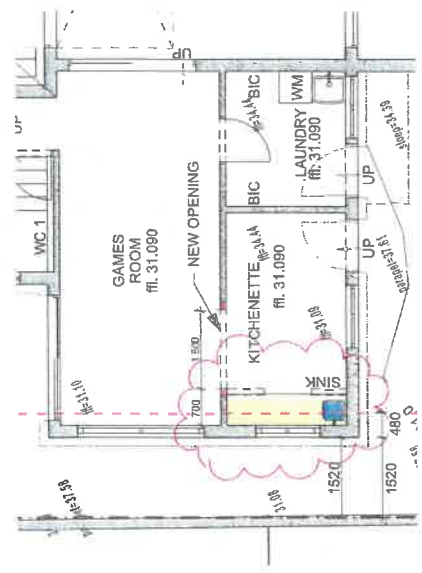
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PROJECT NAME:	HL & L DU TOIT, ERF 3966, 267 SIXTH, STREET, VOËLKLIP, HERMANUS, 7200
DWG TITLE:	SECTION AND FLOOR PLAN
DATE:	2022/05/17
DRAWN BY:	JEANNE NEL
CHECKED BY:	D'IAN SWART
DRAWING SCALE AS SHOWN	SACAP REG. PSAT 24749037
DRAWING NO.	PRINT A3 LANDSCAPE
REV NO.	REV NO. 00



Scale 1:100

SECTION A-A



Scale 1:100

MUNICIPAL APPROVAL STAMP

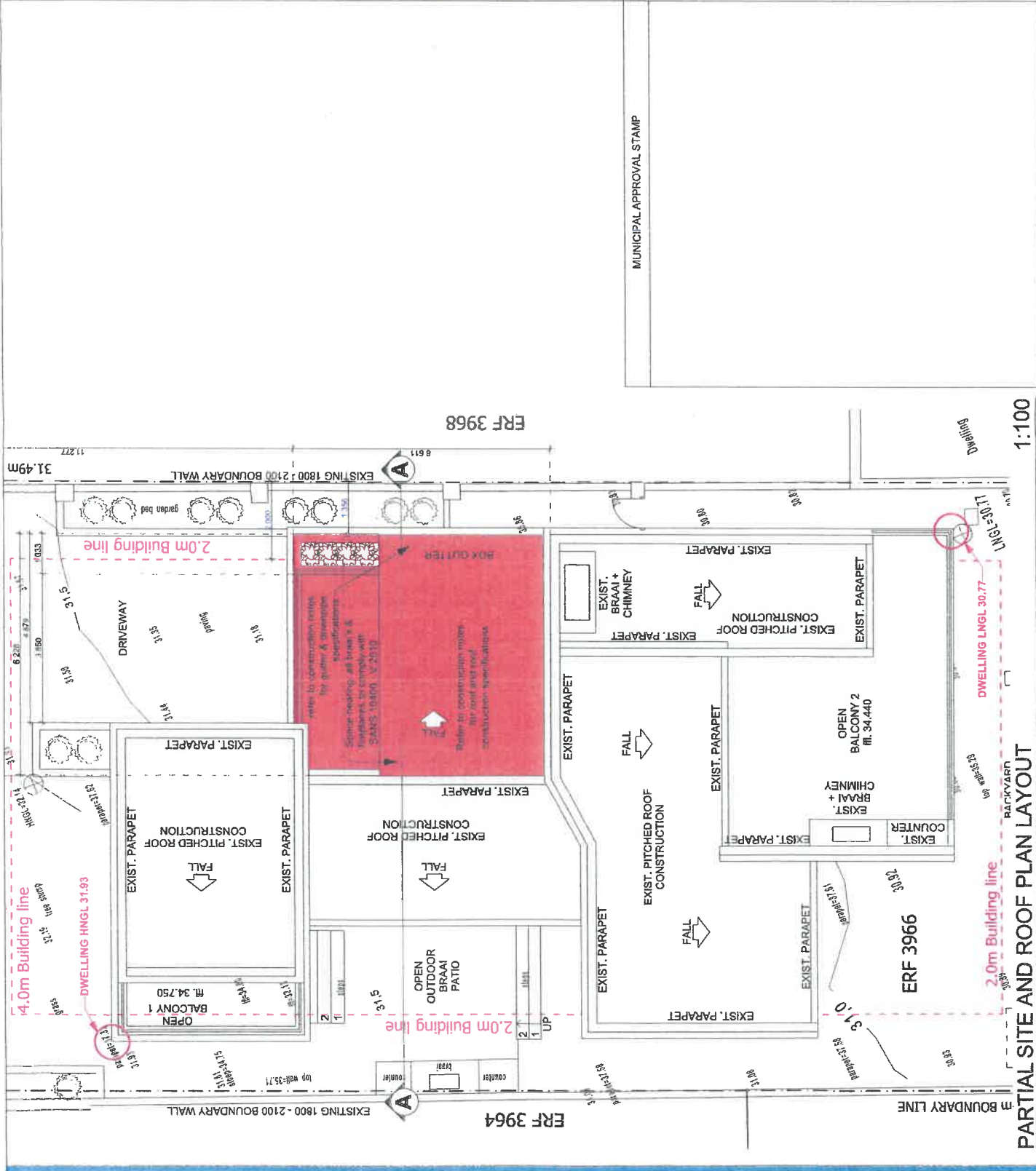
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VARIATIONS:	DESCRIPTION:
REV NO DATE:	XXXXXXXXXXXXXX
00 XX-XX-XXXX	

DRAWING STAGE:	
COUNCIL SUBMISSION	
DEPARTURE APPLICATION	
SKETCH PROPOSAL	
TENDER DRAWING	
WORKING DRAWING	
SITE RESTRICTIONS:	
STREET BUILDING LINE	4.000m
LATERAL BUILDING LINE	2.000m
REAR BUILDING LINE	3.000m
HEIGHT RESTRICTION	3.000m
TITLE DEED BUILDING LINES (see drawings)	REA
ZONE APPLICABLE:	
SINGLE RESIDENTIAL (SRT)	
TOWN HOUSING - ZONE 1 (GR1)	
TOWN HOUSING - ZONE 2 (GR2)	
FLATS - ZONE 3 (GR3 and DR4)	
LESS FORMAL DEVELOPMENT (LFD)	

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 D Swart 079 694 1728 dlan@ssarc.co.za
 Mail Collection 104, Hemel & Aarde Estate, Hermanus, 7200

PROJECT NAME:	HL & L DU TOIT, ERF 3966, 267 SIXTH, STREET, VOËKLIP, HERMANUS, 7200
DWG TITLE:	PARTIAL SITE AND ROOF PLAN
DATE:	2022/05/17
DRAWN BY:	JEANNE NEL
CHECKED BY:	DIAN SWART
DRAWING SCALE AS SHOWN	SACAP REG. PSAT 24749037
DRAWING NO.	PRINT A3 LANDSCAPE
REV NO.	REV NO. 00



MUNICIPAL APPROVAL STAMP

PARTIAL SITE AND ROOF PLAN LAYOUT

1:100