

ERF 2171, 18 FRANCOLIN CLOSE, VERMONT: APPLICATION FOR PERMISSION IN TERMS OF THE CONDITIONS OF APPROVAL: ENGELBRECHT & SCORGIE (obo DJ & N MAROUN)

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received in terms of Section 16(2)(l) for permission in terms of the conditions of approval to relax the street building line for double storey buildings from 5m to 4,0m as stipulated in the Francolin Heights Architectural Guidelines to accommodate a bedroom on first floor level on top of the garage extension.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) on or before **1 July 2022**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the Town Planner, **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 2171, FRANCOLINSLOT 18, VERMONT: AANSOEK OM TOESTEMMING INGEVOLGE DIE GOEDKEURINGSVOORWAARDES: ENGELBRECHT & SCORGIE (nms DJ & N MAROUN)

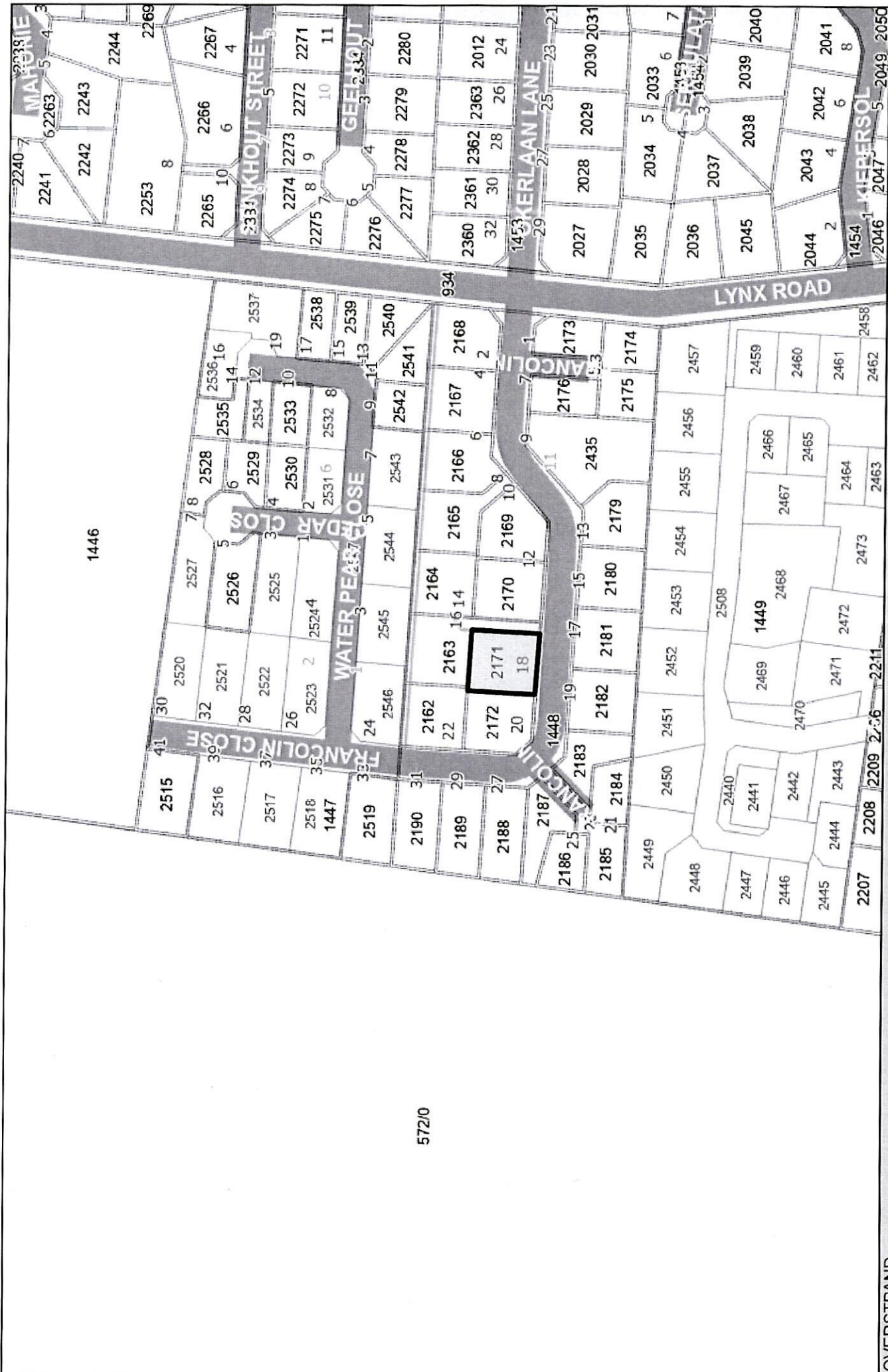
Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ingevolge Artikel 16(2)(l) ontvang is vir toestemming ingevolge die goedkeuringvoorwaardes om die straatboulyn vir dubbelverdiepinggeboue van 5m tot 4,0m te verslap soos bepaal in die Francolin Heights Argitektoniese Riglyne om 'n slaapkamer op die eerste vloervlak bo-op die motorhuisuitbreiding te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) voor of op **1 Julie 2022**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die Stadsbeplanner, **Mnr. H Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 2171, 18 FRANCOLIN CLOSE, VERMONT: ISICELO SEMVUME NGOKUHAMBELANA NEMIQATHANGO YOKUVUNYWA: ENGELBRECHT & SCORGIE (obo DJ & N MAROUN)

Isaziso siyanikezelwa ngokweCandelo lama-48 loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongokuSetyenziswa koMhlaba kaMasipala, 2020 sokokuba isicelo sifunyenwe ngokwemiqathango yeCandelo 16(2)(l) semvume ngokuhambelana nemiqathango yokuvunywa kokunyeniswa komda wesakhiwo ongasesitalatweni kulungiselelwa izakhiwo ezinemigangatho emibini ukususela kwi-5m ukuya kwi-4,0m njengoko kuchaziwe kwiFrancolin Heights Architectural Guidelines ukulungiselela ulwakhiwo lwegumbi lokulala kumgangatho wokuqala wesakhiwo ngaphezulu kwegaraji eyandisiweyo.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: Town Planning, 16 Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 zalo Mthetho oYilwayo mazithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla **wama 1 kuJulayi wama-2022**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **uMnu. H Olivier** kule nombolo 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



1446

5720



OVERSTRAND
MUNICIPALITY

Locality Map
Erf 2171 Vermont

Date: 2022/04/12



1. Introduction:

1.1 Background:

The Owners of the property, Mr. D.J Maroun and Ms. N Maroun has instructed Gerhard Engelbrecht from the firm Engelbrecht & Scorgie Architectural Office to apply for a building line departure from the Francolin Heights Architectural Design Guidelines. Erf 2171, referred to in this document as the application area, measures 615m² and is held by Title Deed no. T3307/2022.

1.2 Application detail:

The Overstrand Municipality's Amended By-Laws on Municipal Land Use and Planning 2020, Chapter 4, Section 16 (2)(l) states that an owner of an erf may apply to the Municipality for the permission required in terms of the conditions of approval.

The aforementioned "conditions of approval" applicable to this Departure Application Document is the Francolin Heights Architectural Design Guidelines.

Relevant sections in the Francolin Heights Architectural Design Guidelines applicable to this Departure Application:

- Section 2 (2.8) "Building Lines applicable to double storey dwellings" - All dwellings must be set back to 5.0m from any internal street boundaries.

1.3 Needs and desirability:

1.3.1 Property Description:

The application area of 615m² in extent is situated in the North-Western part of Vermont within the residential development, Francolin Heights at 18 Francolin Close, Vermont. Refer to the enclosed Locality Layout.

The erven in the Francolin Heights Residential development have a slight gradient from North to South due to the topography of the area and most of the surrounding properties have mountain views towards the North and sea views towards the South at first floor.

All surrounding Residential erven within the Francolin Heights Residential Development have similar sizes double or single storey dwelling and are all zoned Single Residential Zone 1 (SR1) erven as well as Group Housing.

The new owners of the property, Mr. D.J Maroun and Ms. N Maroun, recently purchased this property for a fair sum of money with the intention of living there permanently. The existing double storey dwelling, comprising typical family type living accommodation, is not adequately sized for their family and their associated lifestyle and therefore necessitates a few additions and alterations which will be discussed later in the Departure Application Document.

The abovementioned existing dwelling have a footprint of 231.77m² and is characterized by typical residential structures such as a double garage, kitchen with a scullery, living area, dining area, main bedroom with an en-suite bathroom, 2x smaller bedrooms with one shared bathroom and a study / home office.

2. The Application:

2.1 Analysis – Development Criteria

2.1.1 Development criteria as per the Overstrand Municipality

The development parameters for the application area as per the Overstrand Municipality's Land Use Scheme 2020, can be summarized as follows:

Design Parameters:		Overstrand Municipality's Zoning Scheme Regulations:	Proposal:	Comments:
Zoning		Residential Zone 1: Single Residential (SR1)	Residential Zone 1: Single Residential (SR1)	Unchanged
Primary Use		Crèche, dwelling house, guest rooms, home occupation, second dwelling unit and self-catering	Dwelling house	Unchanged
Consent Use		Day care centre, green house, guest house, house shop, institution, place of instruction, place of worship, residential building and intensive horticulture	None	Unchanged
Coverage		50%	40.75%	Unchanged
Height Restriction		8.0m	7.07m to ridge heights	Unchanged
Building lines	Street	4.0m	4.00	Unchanged
	Lateral	2.0m	2.0m	Unchanged
	Rear	2.0m	6.8m	Unchanged
Parking		Dwelling house: 2 bays	Dwelling house: 2 bays	Unchanged

2.1.2 Development criteria as per the Francolin Heights Architectural Design Guidelines

The development Criteria as per the Francolin Heights Architectural Design Guidelines 2010, can be summarized as follows:

Refer to Annexure I for the enclosed Francolin Heights Architectural Design Guidelines.

Design Parameters:		Francolin Heights Architectural Design Guidelines:	Proposal:	Comments:
Maximum dwellings per erf		1 Dwelling	1 Dwelling	Unchanged
Maximum Height		2 Storeys (excluding roof, loft rooms and basements) to a maximum of 8.0m in height	7.07m to ridge height	Unchanged
Maximum coverage of ground floor and first floor		The ground floor coverage of double storey dwellings shall not exceed 50% of the area of the stand, while the first-floor level shall not exceed 80% of the ground floor plan or footprint	31.56% - Ground floor 40.75% - First floor	Unchanged
Coverage		50%	40.75%	Unchanged
Minimum Size		The houses, excluding out-buildings and covered patio's, should not be less than 100m ²	179.48m ² – Ground floor 231.76m ² – First floor	Unchanged
Building lines	Street (Garage)	4.0m	4.00	Unchanged
	Street (Dwelling)	5.0m	4.00	Departure application needed
	Lateral	2.0m	2.0m	Unchanged
	Rear	2.0m	6.8m	Unchanged

2.1.3 Development criteria as per the Title Deed

Refer to Annexure D for the Title Deed for Erf 2171, Vermont.

Title Deed No. T3307/2022 has no restrictive conditions that prohibit the proposed additions and alterations as discussed through out this Departure Application Document.

There is a bond registered against Erf 2171. Refer to Annexure E for the enclosed Bond holder's written consent.

2.2 Application

As stated earlier in this Departure Application document:

The Overstrand Municipality's Amended By-Laws on Municipal Land Use and Planning 2020, Chapter 4, Section 16 (2)(l) states that an owner of an erf may apply to the Municipality for the permission required in terms of the conditions of approval.

The aforementioned "conditions of approval" applicable to this Departure Application Document is the Francolin Heights Architectural Design Guidelines as revised in 2010.

Therefore, application is subsequently made in terms of the Overstrand Municipality's amended By-Laws on Municipal Land Use Planning 2020, to deviate from the Francolin Heights Architectural Design Guidelines.

The proposed additions and alterations, as discussed later in this Departure Application Document, requires a permanent departure to relax the 5.0m dwelling building line to 4.0m to allow for an additional bedroom and en-suite bathroom on first floor.

Refer to Annexure A for the Application form.

3. Contextual site information:

3.1 Property description

Property:	Extent:	Title Deed No:	Registered Owner:
Erf 2171, Vermont	615.0m ²	T3307/2022	Mr. D. J. Maroun & Ms. N. Maroun

Refer to Annexure D for the Title Deed of Erf 2171, Vermont.

Refer to Annexure F for the Municipal Account of Erf 2171, Vermont.

Refer to Annexure G for the Surveyor General Diagram of Erf 2171, Vermont

3.2 Location

3.2.1 Regional Context

Within a regional context, the application area is located within Vermont residential suburb

Refer to Annexure H for the enclosed Locality Layout.

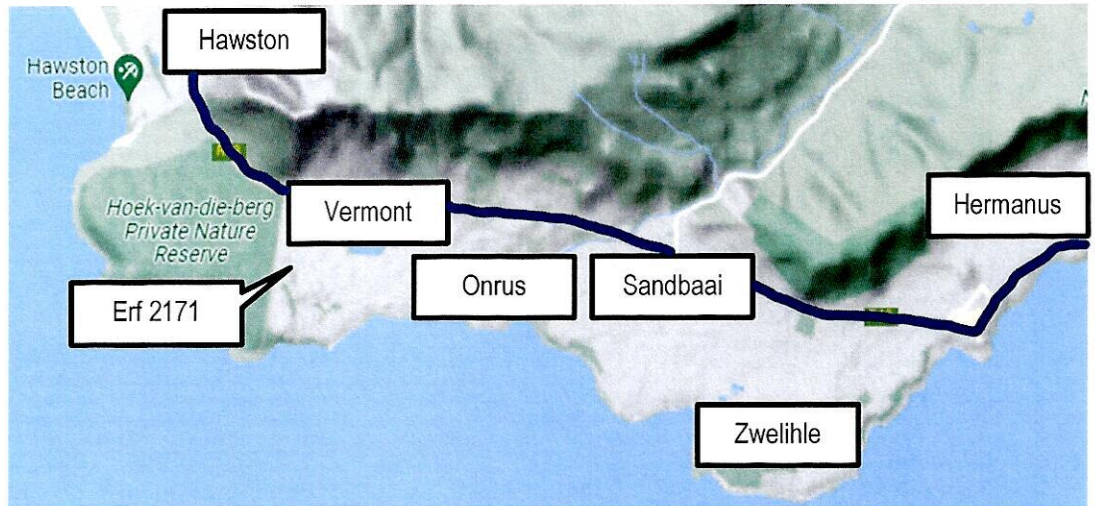


Figure 1: Application area within a regional context, an extract from the Overstrand Public Viewer – NTS

3.2.2 Local Context

Within a local context, the application area consists of a residential erf within Vermont. The application area is located at No. 18 Francolin Close.



3.3 Land use

The area of the dwelling as it stands (including the additions and alterations) comprise the following:

- Ground Storey = 179.48m² (excl. void) & 231.76 m² (incl. void)
- Garage = 72.29 m²
- First floor area = 231.76 m²

Total surface area (including all improvements) = 231.76 m²

Total coverage (including all improvements) = 38.27%

3.4 Zoning

The application area is zone Single Residential Zone 1 (SR1). Surrounding properties are zoned Single Residential Zone 1 (SR1), Ground housing and Open Space Zone 2 (Erf 2183).

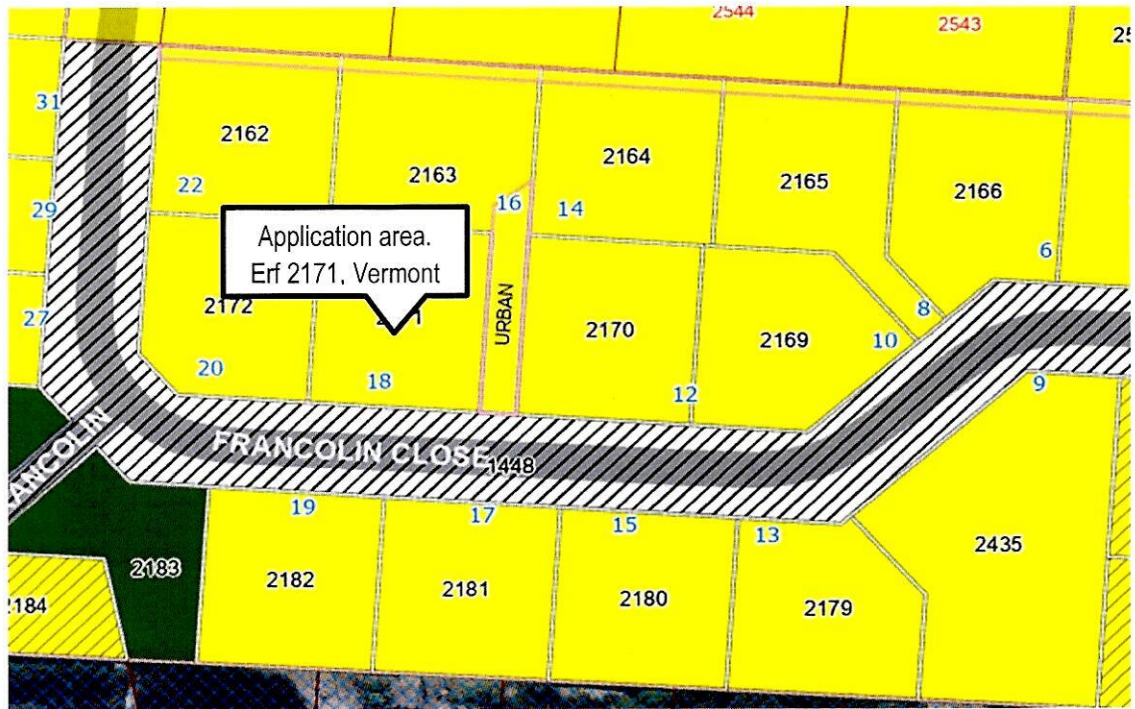





Figure 3: Zoning, an extract from the Overstrand Public Viewer – NOT TO SCALE

-  Residential Zone 1: Single Residential
-  Open Space Zone 2: Public Open Space
-  Transport Zone 2: Road and Parking

4. Proposal:

4.1 Background of the proposal

Our firm, Engelbrecht & Scorgie Architectural Office was appointed in mid-January 2022 by Mr. D.J Maroun and Ms. N Maroun, the new owners of Erf 2171, to prepare drawings for a few internal and external additions and alterations.

Mr. D.J Maroun and Ms. N Maroun purchased this sought property for a fair sum of money with the intention of making it a permanent residence. Being a permanent residence, the property needed a few personal changes to accommodate our client's needs and their associated lifestyle. These changes comprise the following:

- Enclosing part of the existing garage to allow for an additional bedroom with an en-suite bathroom, living room and kitchen on ground floor area (no departure needed).
- Extending the existing double garage to the 4.0m street building line (no departure needed).
- The addition of a new bedroom with an en-suite bathroom on first floor (departure needed).

As there are no other reasonable position for the new proposed bedroom with an en-suite bathroom, the only other reasonably position for this addition is above the new proposed extended garage encroaching the 5.0m Francolin Heights Dwelling Street Building Line.

After consultation with the Controlling Architect of the Francolin Heights Residential Development, it was agreed that HOA will approve the new proposed bedroom with an en-suite bathroom being built on the 4.0m building line.

When the proposed additions and alterations were submitted to the Overstrand Building Control Department for Municipal approval, our firm received a decision letter stating that the building plans reflecting all the proposed additions and alterations was **not approved**.

Reasons for the above mentioned was that the proposed additions and alterations does not comply with the Francolin Heights Architectural Design Guidelines building lines that all dwellings must be set back 5.0m from any internal street. A Building Line departure will be needed in order for the new proposed additions and alterations to be approved as the Francolin Heights Architectural Design Guidelines is a legal document submitted to the Overstrand Municipality's Town Planning Department.

Our services were then further expanded by preparing and submitting a Departure Application to apply for a building line relaxation on behalf of our client.

4.2 Proposal and its details

In order to achieve our mandate to fulfill our client's requirements and achieve the Architectural vision for the project, the following departure from the Francolin Heights Architectural Design Guidelines Street building lines is required:

- Relaxation of the 5.0m dwelling street building line to 4.0m to allow for an additional bedroom and en-suite bathroom on first floor.

4.3 Character of the environment

- The property is situated in the North-Western part of Vermont within the residential development, Francolin Heights at 18 Francolin Close, Vermont.
- Francolin Heights is known for its cohesive and harmonious Architectural design style
- The erf size is typical for the area with adjoining properties having erf sizes in the same range
- The erven in Francolin Close have a slight gradient from North to South due to the topography of the area and most of the surrounding properties have mountain views with ocean views at first floor.

4.4 Effects on nature / environment, streetscape and surrounding properties

- As shown on the attached drawings, the proposed additions and alterations are relatively minor in nature and do not impact negatively on the environment, streetscape and surrounding properties.
- The elevation treatment with the new additions and alterations conforms with the current Architectural Style of the development and does not interfere with or detract from the general appearance of the neighborhood.
- The proposed bedroom with an en-suite on first floor are reasonably sited on the property.
- The surrounding properties which have references to the proposed additions and alterations mentioned throughout this Departure Application Document are the following:

4.4.1 Erf 2172, 20 Francolin Close, Vermont.

Erf 2172 lies West of the application area. The proposed additions and alterations are visible from Erf 2172 but is not in stark contrast with the existing dwelling on erf 2171. On the contrary, as mentioned above, the proposed additions and alterations are relatively minor in nature and conforms with the current Architectural Style of the existing dwelling as well as surrounding properties in the Francolin Heights Residential Development.

The existing dwelling constructed on Erf 2172 enjoys views of the sea toward the South, and views of the mountain toward the North, hence no sea or mountain views will be compromised by the proposed additions and alterations.

The effect the new proposed additions and alterations will have on their privacy is also negligible as there are no new windows or openings to the West of the new proposed bedroom and en-suite bathroom.



Figure 4: surrounding properties which have references, an extract from the Overstrand Public Viewer - NTS

4.4.2 Erf 2163, 16 Francolin Close, Vermont

Erf 2163 lies North of the application area. The proposed additions and alterations are only visible from the registered Right of Way Servitude on the East of the application area. The existing dwelling on Erf 2163 enjoys views of the mountain towards the North. Any views of the sea towards a Southern direction are already obscured by the existing double storey dwelling on the application area.

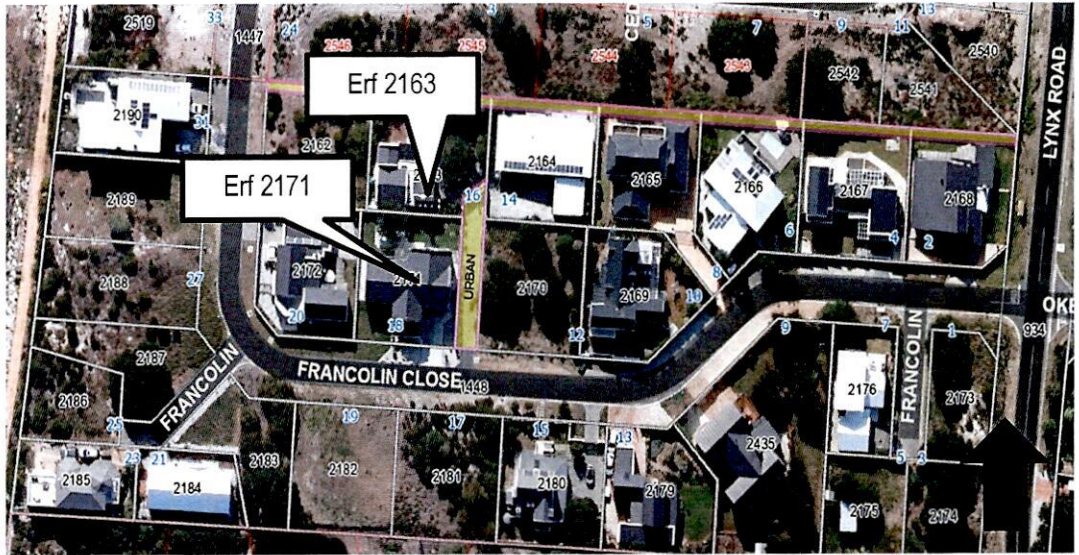


Figure 5: surrounding properties which have references, an extract from the Overstrand Public Viewer - NTS

4.4.3 Erf 2164, 14 Francolin Close, Vermont

Erf 2164 lies North-East of the application area. The proposed additions and alterations are only visible from the registered Right of Way Servitude on the East of the application area. The existing dwelling on Erf 2164 enjoys views of the mountain towards the North and views to the sea towards to South hence no views will be compromised by the proposed additions and alteration.

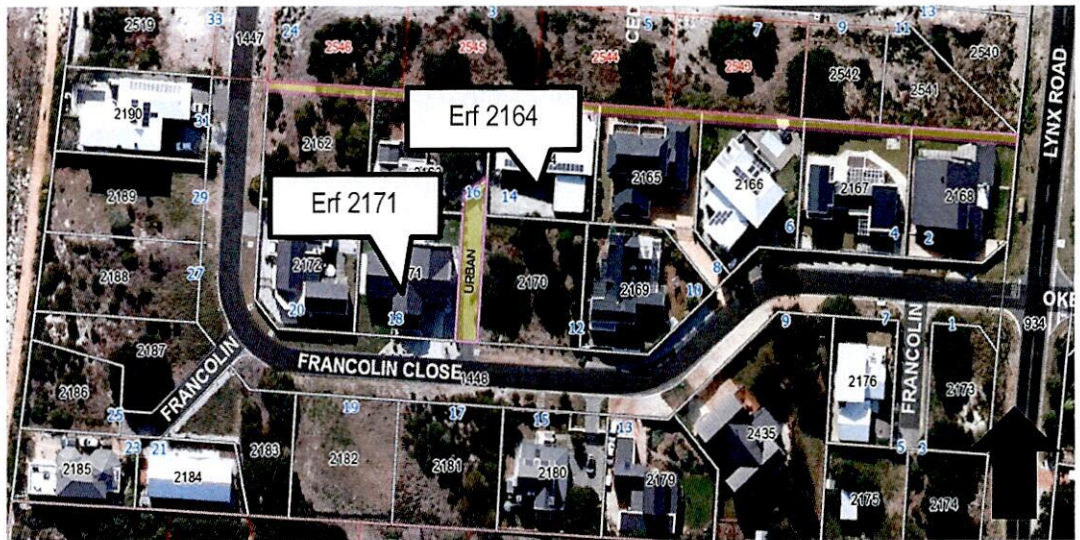


Figure 6: surrounding properties which have references, an extract from the Overstrand Public Viewer – NTS

4.4.4 Erf 2170, 12 Francolin Close, Vermont

Erf 2170 lies East of the application area. Erf 2170 is a vacant erf with no dwelling constructed. Even though the erf can be developed at a later stage, the proposed additions and alterations is not in stark contrast with the existing dwelling on Erf 2171. On the contrary, as mentioned above, the proposed additions and alterations are relatively minor in nature and conforms with the current Architectural Style of the existing dwelling as well as surrounding properties in the Francolin Heights Residential Development.

When Erf 2170 is developed, the dwelling on Erf 2170 will enjoy views of the sea towards the South and views of the mountain towards the North, hence no views will be compromised by the proposed additions and alterations.



Figure 7: surrounding properties which have references, an extract from the Overstrand Public Viewer – NTS

4.4.5 Erf 2182, 19 Francolin Close, Vermont

Erf 2182 lies South-West of the application area across Francolin Close. Erf 2182 is a vacant erf with no dwelling constructed. Even though the erf can be development at a later stage, the proposed additions and alterations is not in stark contrast with the existing dwelling on Erf 2171. On the contrary, as mentioned above, the proposed additions and alterations are relatively minor in nature and conforms with the current Architectural Style of the existing dwelling as well as surrounding properties in the Francolin Heights Residential Development.

When Erf 2182 is developed, the dwelling on Erf 2182 will enjoy views of the sea towards the and views towards the mountain towards the North, hence no views will be compromised by the proposed additions and alterations.

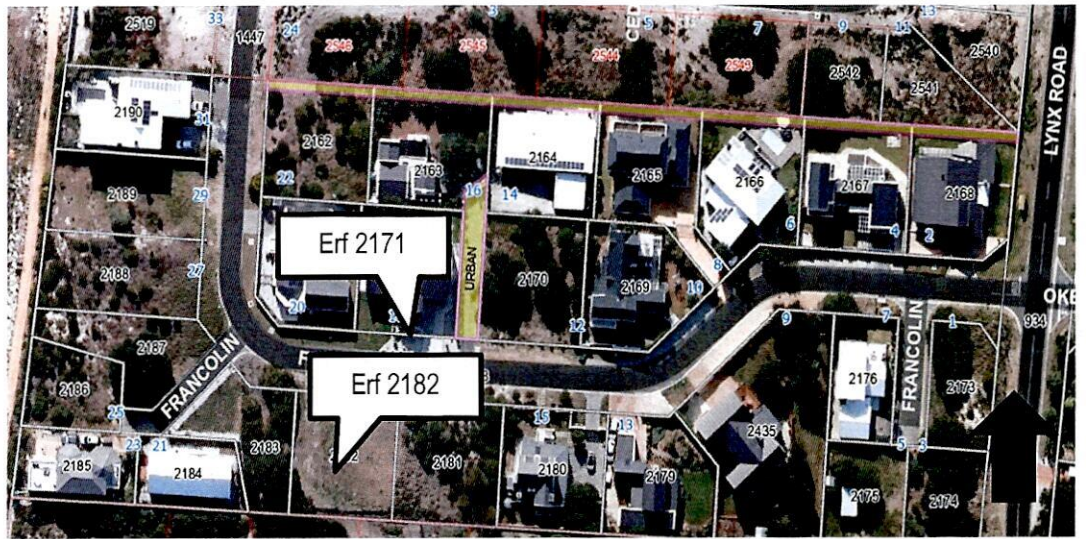


Figure 8: surrounding properties which have references, an extract from the Overstrand Public Viewer – NTS

4.4.6 Erf 2181, 21 Francolin Close, Vermont

Erf 2181 lies South East of the application area across Francolin Close. Erf 2183 is a vacant erf with no dwelling constructed. Even though the erf can be developed at a later stage, the proposed additions and alterations is not in stark contrast with the existing dwelling on Erf 2171. On the contrary, as mentioned above, the proposed additions and alterations are relatively minor in nature and conforms with the current Architectural Style of the existing dwelling as well as surrounding properties in the Francolin Heights Residential Development.

When Erf 2181 is developed, the dwelling on Erf 2181 will enjoy views of the sea towards the and views towards the mountain towards the North, hence no views will be compromised by the proposed additions and alterations.



Figure 9: surrounding properties which have references, an extract from the Overstrand Public Viewer – NTS

4.4.7 Erf 2180, 23 Francolin Close, Vermont

Erf 2180 lies South East of the application area across Francolin Close. The proposed additions and alterations are hardly visibly from Erf 2180, hence no change to current sea or mountain views. The proposed additions and alterations will not impact on their privacy in any way.

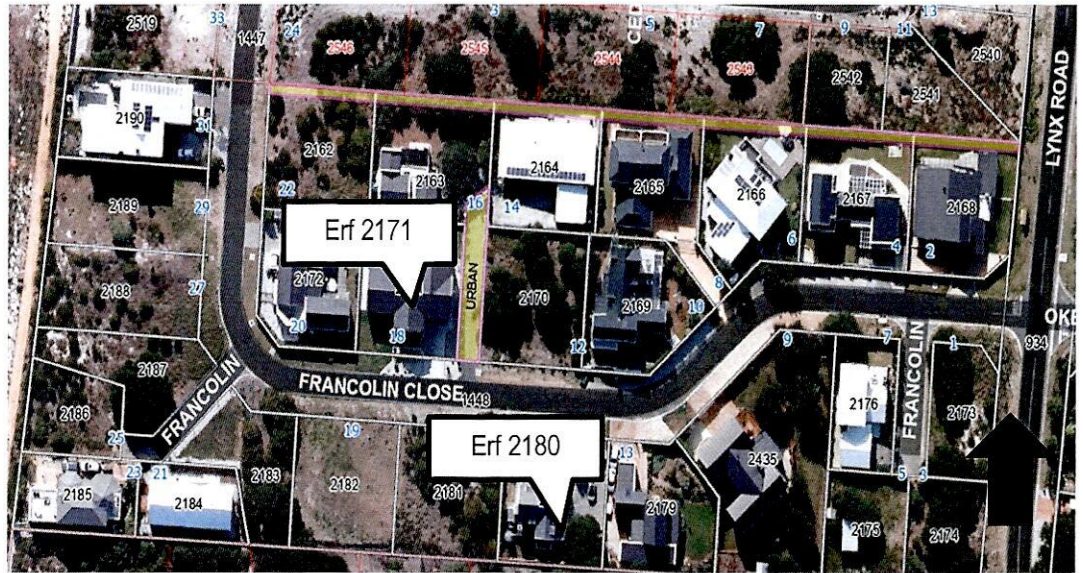


Figure 10: surrounding properties which have references, an extract from the Overstrand Public Viewer – NTS

5. Conclusion:

5.1 Heritage value

The property is not situated within a heritage overlay zone and has no grading or any heritage value.

5.2 Impact on Municipal Engineering Services

No additional electrical, water or sewerage will be required. The current Municipal provisions is adequate to supply the dwelling.


5.3 Forward planning

The Overstrand Spatial Development Framework (SDF) 2006 earmarks the area where Erf 2171 is situated for residential purposes. The proposed additions and alterations for which the departure is required, form part of any typical residential component and the Zoning Scheme Regulations make provision for departure procedures to incorporate structures within the building line zone. The character and zoning of the property will remain unchanged and therefore the property falls within the existing planning for the Vermont area.

It is therefore recommended that the application be approved in terms of the Overstrand Amended By-Law of Municipal Land-use Planning 2020.

I appeal to our experienced consideration for this Departure Application. I look forward to your correspondence.

Your sincerely



GERHARD ENGELBRECHT
for Engelbrecht & Scorgie Architectural office

NOTES:



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Construction

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DRAWN BY: Kagan Frenser
CHECKED BY: Gariberto Engelbrecht ST 1938
Date: 18 February 2022
PROJECT: Ground storey plan with electrical layout
DESCRIPTION: and window schedule

PAGE CONTENT: Sketch Plans

CLIENT: Mroun, Naitaha
ADDRESS: 18 Francoise close

DATE: 28 February, 2022
SCALE: 1:100
PAGE SIZE: A3

PROJECT NUMBER & PAGE No.: [1080 - 01]

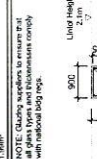
ELECTRICAL LEGEND

WALL MOUNTED LIGHT - 2300mm HIGH
CERAMIC LIGHT
LOW VOLT PULL DOWN LIGHT
FLUORESCENT TUBE LIGHT - DOUBLE 1500mm
PENDANT LIGHT
GARDEN LIGHT
FOOT LIGHT
LIGHT SWITCH - 1000mm HIG
TWO-WAY LIGHT SWITCH - 1000mm HIG
SWITCH LIGHT SWITCH - 1300mm HIG
STOVE POINT
DOUBLE PULL DOWN - 1000mm HIG
SINGLE PULL DOWN - 1300mm HIG
DOUBLE PULL DOWN 1100mm HIG
SINGLE PULL DOWN 1000mm HIG
INTERMEDIATE SWITCH PROCESSED POINT
TELEPHONE POINT
TV POINT
DISTRIBUTION BOARD
PRE-PAID METER
20A GFI/RCB ON LARGER
SPEAKER POINT

WINDOW SCHEDULE	
WINDOW POSITION No.	DESCRIPTION / CAT No.
W1	2000 x 1000mm Aluminum frame slider window with national lldg top
QUANTITY	1
GLAZING	From clear float glass
IRONMONGERY	powder coated color to match existing
AREA	According to window manufacturer specification



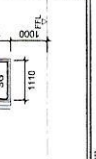
WINDOW SCHEDULE	
WINDOW POSITION No.	DESCRIPTION / CAT No.
W2	3000 x 1100mm Aluminum frame slider window with national lldg top
QUANTITY	1
GLAZING	From clear float glass
IRONMONGERY	powder coated color to match existing
AREA	According to window manufacturer specification



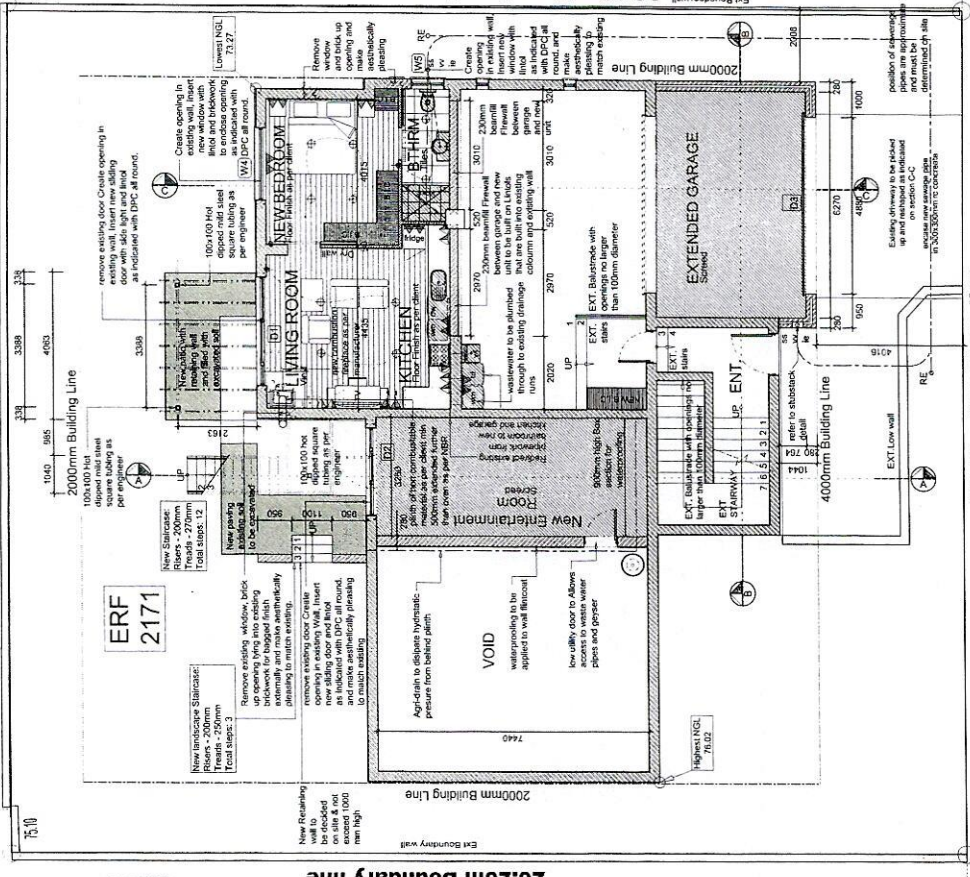
WINDOW SCHEDULE	
WINDOW POSITION No.	DESCRIPTION / CAT No.
W3	1200 x 1000mm Aluminum frame window with national lldg top
QUANTITY	1
GLAZING	From clear float glass
IRONMONGERY	powder coated color to match existing
AREA	According to window manufacturer specification



WINDOW SCHEDULE	
WINDOW POSITION No.	DESCRIPTION / CAT No.
W5	800 x 1100mm Aluminum frame window with national lldg top
QUANTITY	1
GLAZING	From clear float glass
IRONMONGERY	powder coated color to match existing
AREA	According to window manufacturer specification



26.20m Boundary line
23.47m Boundary line
23.47m Boundary line
26.20m Boundary line



FRANCOISIN CLOSE
GROUND STOREY PLAN
Scale 1:100

ERF 2163

ERF 2171

ERF 2162

ERF 2172

NOTES:

ELECTRICAL LEGEND

WALL MOUNTED LIGHT - 300mm x 60mm
CERAMIC LIGHT
LOW VOLT PASE DOWN LIGHT
FLUORESCENT TUBE LIGHT - DOUBLE 1500mm
PENDANT LIGHT
GARDEN LIGHT
FOOT LIGHT
LIGHT SWITCH - 100mm x 60mm
POWEROXY LIGHT SWITCH - 100mm x 60mm
SMART LIGHT SWITCH - 100mm x 60mm
DOUBLE PLUS POINT - 300mm x 60mm
SINGLE PLUS POINT - 150mm x 60mm
DOUBLE PLUS POINT - 150mm x 60mm
SINGLE PLUS POINT - 150mm x 60mm
INTERNET SERVICE PROXODICAL POINT
TELEPHONE POINT
TV POINT
DISTRIBUTION BOARD
PRE-PAID METER
20A, 60/150V OR LARGER
SPEAKER POINT

ENGELBRECHT & SCORGIE
ARCHITECTURAL OFFICE

1401/150th Street, Suite 101, Unit 101
1401/150th Street, Suite 101, Unit 101
1401/150th Street, Suite 101, Unit 101

Members: C. Engelbrecht & Scorgie
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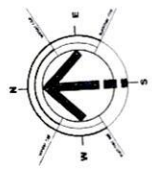
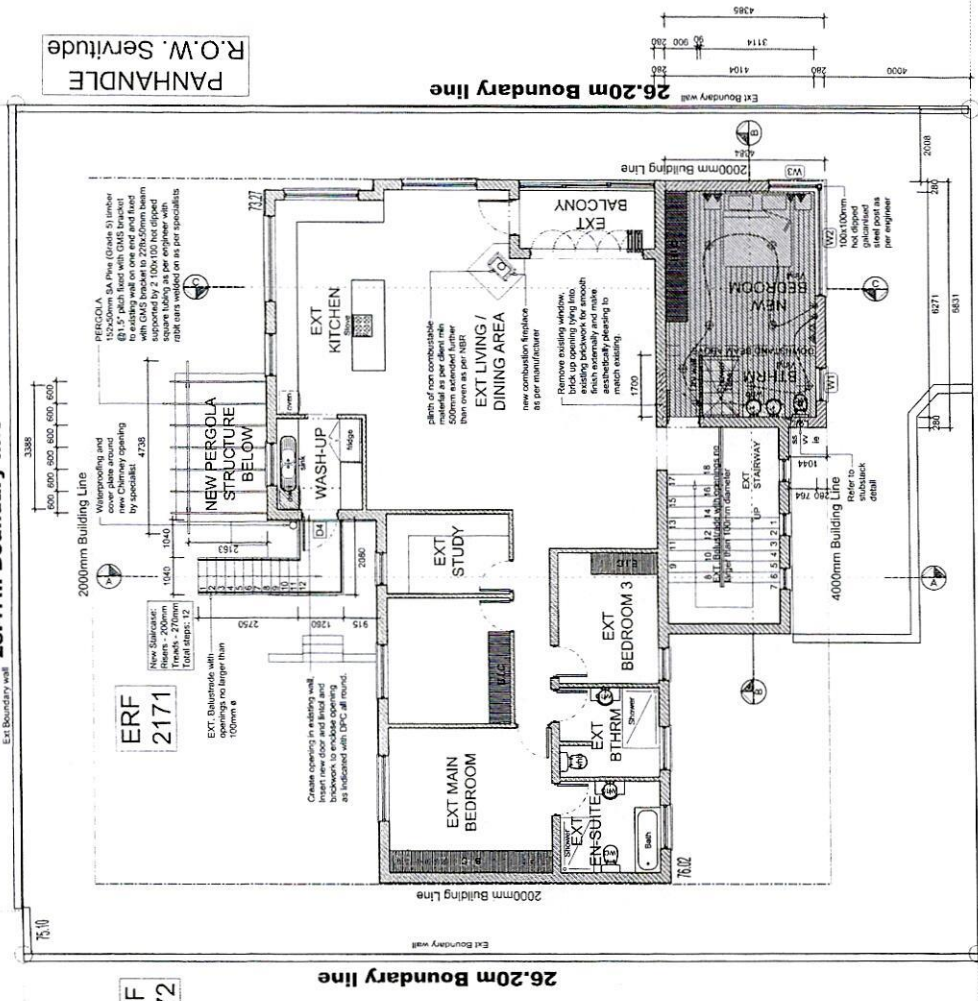
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DRAWN BY: Kagan Fener
CHECKED BY: Gokhan Engin, Gokhan ST 1038, Brandon Scorgie ST 1038
PROJECT DESCRIPTION: Addition and Alteration

PAGE CONTENT: First storey plan with electrical layout and door schedule

CLIENT: Marouf, Nazaha
ADDRESS: 18 Francolin close
ERP: 2171
DRAWING NO.: J1880 - A191, Current Revision
DATE: 28 February, 2022
SCALE: 1:100
PAGE SIZE: A3
PROJECT NUMBER & PAGE NO.: J1880 - 02
REV:

DOOR SCHEDULE	DOOR POSITION No.	DESCRIPTION / CAT No.	QUANTITY
<p>NOTE: Sliding supplies to ensure they operate smoothly with natural light rays.</p>	D4	800 x 2100mm solid core timber door, powder coated color to match existing aluminium frame. Note: window content color to match existing. To be specified by client.	1
<p>NOTE: Sliding supplies to ensure they operate smoothly with natural light rays.</p>	D5	800 x 2100mm solid core timber door, powder coated color to match existing aluminium frame. Note: window content color to match existing. To be specified by client.	1
<p>NOTE: Sliding supplies to ensure they operate smoothly with natural light rays.</p>	D6	800 x 2100mm solid core timber door, powder coated color to match existing aluminium frame. Note: window content color to match existing. To be specified by client.	1



FRANCOLIN CLOSE
FIRST STOREY PLAN
Scale 1:100

ERF 2163

ERF 2162

ERF 2171

ERF 2172

PANHANDLE
R.O.W. Servitude

NOTES:

GENERAL: Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. All work to be done in accordance with the relevant building codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

LEVELS AND DIMENSIONS: The building to be constructed is to be in accordance with the levels and dimensions shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

FOUNDATIONS: Foundations shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

FLOOR CONSTRUCTION: Floors shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

WALL CONSTRUCTION: Walls shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

WINDOWS, DOORS AND OPENINGS: Windows, doors and openings shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

ROOF CONSTRUCTION: Roofs shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

CONCRETE ROOF CONSTRUCTION: Concrete roofs shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

CEILING: Ceilings shall be constructed in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

RAINFALL: Rainfall shall be collected and disposed of in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

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RAINFALL: Rainfall shall be collected and disposed of in accordance with the specifications shown on the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

HEIGHT RESTRICTION: 82.65

Ridge Cap Height: 81.72

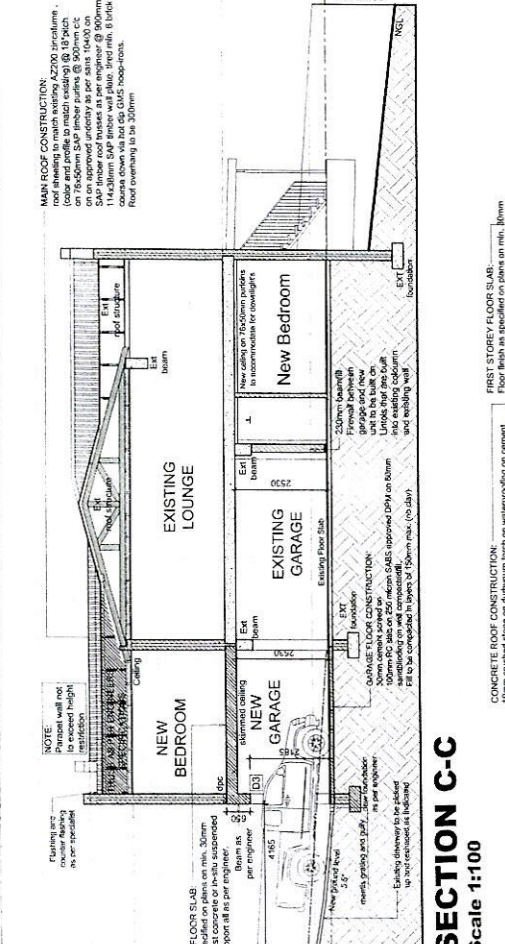
Wall Plate Height: 80.245

First Storey FFL: 77.235

Ceiling Height: 77.21

Upper Ground Storey Height: 75.11

Lower Ground Storey Height: 74.66



SECTION C-C
Scale 1:100

HEIGHT RESTRICTION: 82.65

Ridge Cap Height: 81.72

Wall Plate Height: 80.245

First Storey FFL: 77.235

Ceiling Height: 77.21

Upper Ground Storey Height: 75.11

Lower Ground Storey Height: 74.66



SECTION B-B
Scale 1:100

HEIGHT RESTRICTION: 82.65

Ridge Cap Height: 81.72

Wall Plate Height: 80.245

First Storey FFL: 77.235

Ceiling Height: 77.21

Upper Ground Storey Height: 75.11

Lower Ground Storey Height: 74.66

SECTION A-A
Scale 1:100

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DRAWN BY: Kagan Foster
CHECKED BY: Graham Engelbrecht BT 1539
Urbanism 027 614 8171
PROJECT: Addition and Alteration
DESCRIPTION:
PAGE COUNTRY: Sections and notes

CLIENT: Moshiri, Moshiri
ADDRESS: 18 Francolin Close
REF: 2171
DRAWING NO.: J1882-A101; Current Revision
DATE: 28 February, 2022
SCALE: 1:100
PAGE SIZE: A3
PROJECT NUMBER & PAGE NO.: J1882-04
REV.:

