

ERF 91, 29 CHURCH STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: CG BOTHA

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amended By-Law on Municipal Land Use Planning, 2020 (By-law) that an application has been received for a departure in terms of Section 16(2)(b) in order to relax the boundary line from 2m to 1m to convert the existing garage into a studio apartment.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Stanford Library, Queen Victoria Street, Stanford.

Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **4 March 2022**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Mr P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 91, KERKSTRAAT 29, STANFORD, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: CG BOTHA

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigings Verordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek om afwyking ingevolge Artikel 16(2)(b) ontvang is ten einde die grenslyn te verslap vanaf 2m na 1m om die bestaande motorhuis om te skakel in 'n ateljee woonstel.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en by die Stanford Biblioteek, Queen Victoria Straat, Stanford.

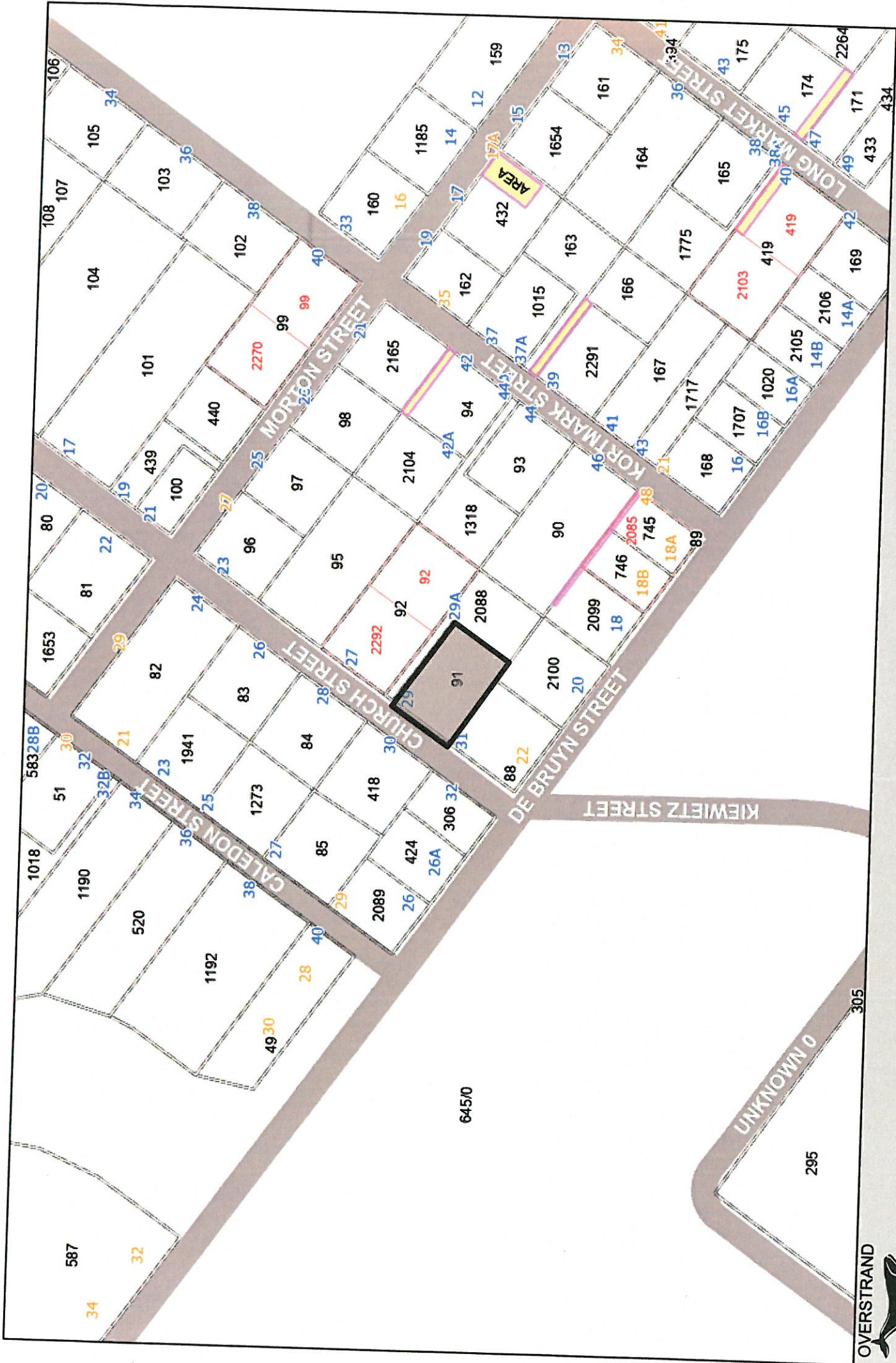
Enige skriftelike kommentaar moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) bereik voor of op **4 Maart 2022**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 91, 29 CHURCH STREET, STANFORD, UMMANDLA KAMASIPALA WASE-OVERSTRAND: ISICELO SOPHAMBUKO: MNU. CG BOTHA

Isaziso sinikwe ngokwemiqathango yeCandelo 48 loMthetho oYilwayo kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 (uMthetho kaMasipala) ukuba kufunyenwe isicelo sokunduluka ngokweCandelo le-16(2)(b) ukuze kucuthwe umda womda ukusuka kwi-2m ukuya kwi-1m ukuguqula igaraji ekhoyo ibe yindawo yokuhlala yesitudiyo.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, Hermanus, kunye neThala lencwadi, Stanford, Queen Victoria Street, Stanford.

Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kaMasipala zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi komhla wama-**4 uMatshi 2022**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela, u**Mnu P Roux** kule nombolo 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



ERF 91, 29 CHURCH STREET, STANFORD

Date: 2021/09/22



MOTIVATION FOR DEPARTURE

ERF 91 of Stanford
 Proposed subdivision of Erf 91 .. 2005
 Property of C.G.Botha
 15 Sept 2021

Attached documents:

Title deed: Erf 91
 Site plan: SPRONK 2005
 3x drawings: AKIMBO .. 2019
 2x pictures of the garage

(A) PROPOSED DEVELOPMENT

This departure applies to the proximity of the existing garage from the boundary, being only 1.05m instead of 2m, and the desirability of converting it to a studio apartment. The garage was built by the municipality in the 70s I believe, when the property was owned by them. As can be seen in the reference documents, the placement is at the rear of the house, about as far as possible from the driveway, which is common to both properties. There is no way that it was ever, or can be used in the future due to the impact on the garden. There is no plan for the garage as far as I know. The garage includes a toilet, now connected to the municipal sewer, and a shower and hand basin. See attached pictures.

As the erf division allows for the sharing of a drive way, I want to keep this. I will apply for a servitude in my favour in the future. The single woman occupying the property on the panhandle is very in favour of this idea as it means we share the gate and the responsibility thereof, which makes for a more secure arrangement for herself.

(B) CHARACTER OF ENVIRONMENT

The character of the village, particularly the core village, is such that these boundary violations are prevalent on just about every property, and indeed add to the character of the village.

The creation of a studio apartment will have no impact whatsoever on either of the adjoining properties, and I have written permission from both owners to that effect. It is situated far from their dwellings, and has no windows on the boundary in question here.

(C) DESIRABILITY OF PROPOSED UTILISATION

As can be seen in the pictures, the existing timber rafters are way undersized and show signs of severe sagging. I have placed steel poles at strategic positions to ensure a degree of safety, but this is clearly undesirable. The proposed building changes intend to replace the roof with new trusses and a pitched corrugated steel roof.

I wish to use the proposed studio apartment for the accommodation of my 35 year old son. At present he has poor prospects for a meaningful income, and has thus become dependent on my wife and I for his board and lodging. We survive on a very small pension and have no other option to provide for him or ourselves. Thus far we all live in the same house, but it is becoming more and more undesirable and untenable.

My wife and I are 69 and 73 years of age, and are relatively healthy. However, at some point in the not too distant future, I envision we will retire to that apartment, and any one of our 3 children with their families will occupy the house and be in a position to help us in our dotage.

(D) INVESTIGATIONS, ETC.

Although my house is not within the core Stanford village, the plans have been scrutinised, and found acceptable by local, Overstrand, and Western Cape heritage committees.

(E) IMPACT OF DEVELOPMENT, ETC.

The only potential impact, in my opinion, is on the privacy of the neighbour's garden on the boundary in question. The neighbour's house is set way back .. in fact it is **on the boundary line** on de Bruyn street. Additionally there is a huge hedge between our properties and the garage is not visible .. see picture below .. the fascia board of the garage is 2.7m high (which is the lowest part of the flat sloping Everite Big6 roof). That will have to increase by a metre, and even then I doubt whether the fascia for the new roof will become visible .. all that will be visible is the new 30° corrugated roof. There will be no windows at all in that wall.

I have discussed this with all 5 of my neighbours, who are all single women, and none of them has the least concern for this development. They have all signed the attached pages stating their acceptance of the planned alterations.

(F) CONSIDERATION OF FORWARD PLANNING, ETC.

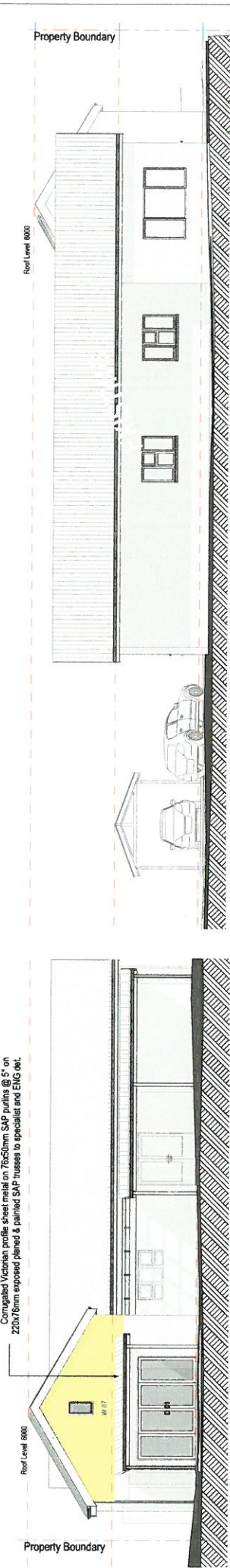
Discussed in previous paragraphs.

Photo of the boundary fence from erf 88, my neighbour on de Bruyn street, across the lawn from the rear of the house. As you can (or can't see) the house and existing garage are completely hidden behind trees and a tall hedge. The telephone pole is on the boundary in the centre of the garage elevation.

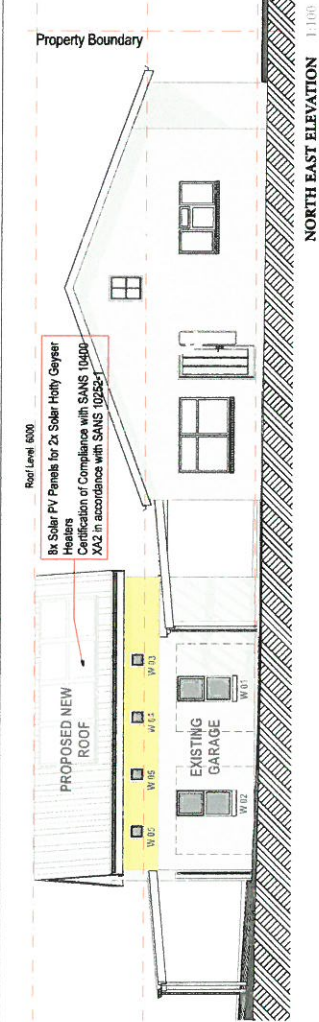




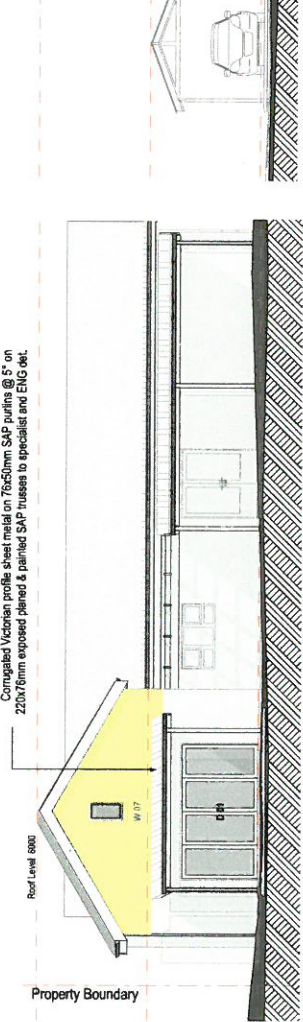
SOUTH WEST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

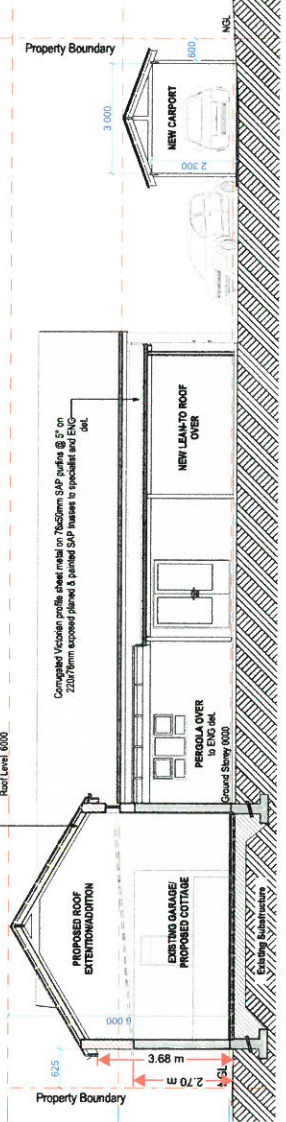


SOUTH EAST ELEVATION 1:100

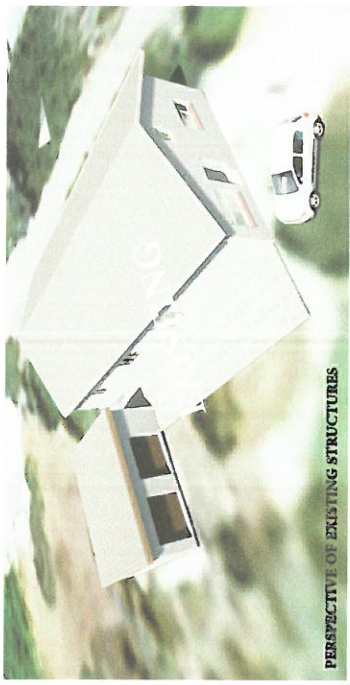
8x Solar PV Panels for 2x Solar Holly Geyser Heaters
 Certification of Compliance with SANS 10400 XA2 in accordance with SANS 10252-1

Compagled Victorian profile sheet metal on 76x50mm SAP rafters @ 5° on 220x76mm exposed pained & painted SAP trusses to specialist and ENG skt.

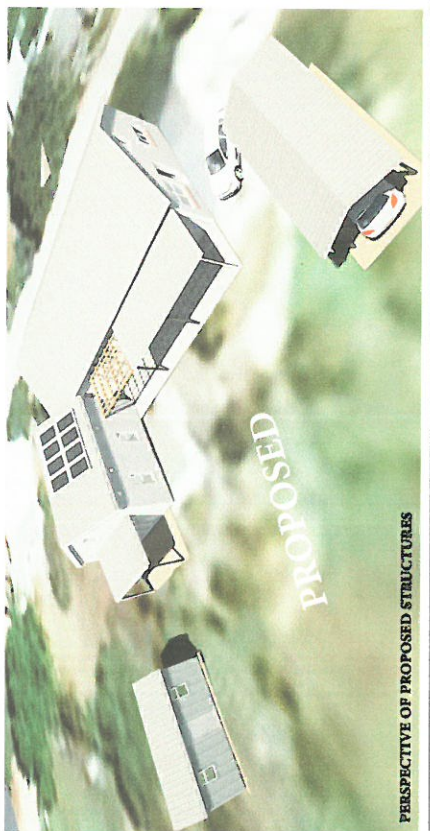
Quarantined compagled profile sheet metal on 72 x 50mm timber rafters @ 5° on 220x76mm exposed pained & painted SAP trusses to specialist and ENG skt. Ceiling: 18mm acoustically with 135mm bottom layer on top.



SECTION A-B 1:100



PERSPECTIVE OF EXISTING STRUCTURES



PERSPECTIVE OF PROPOSED STRUCTURES

GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE CODES AND SPECIFICATIONS OF THE ARCHITECTURAL PROFESSION AND THE NATIONAL BUILDING REGULATIONS FOR TRADES (1998 ASAB) AND TO BE IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS
- ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS
- THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF DRAWINGS
- DIMENSIONS MUST NOT BE SCALED AND DIMENSIONS ARE GIVEN IN MILLIMETRES
- THE DESIGN OF THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT
- THE ARCHITECT'S DRAWINGS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY

ARCHITECT
 LEWIS WOLF
 PRACTICE 245 0970

CLIENT
 MR & MRS BOTHA

www.akimbo.co.za
 LEWIS WOLF
 082 074 0008 071 583 8872
 lewis@akimbo.co.za / lewis@akimbo.co.za

Signature

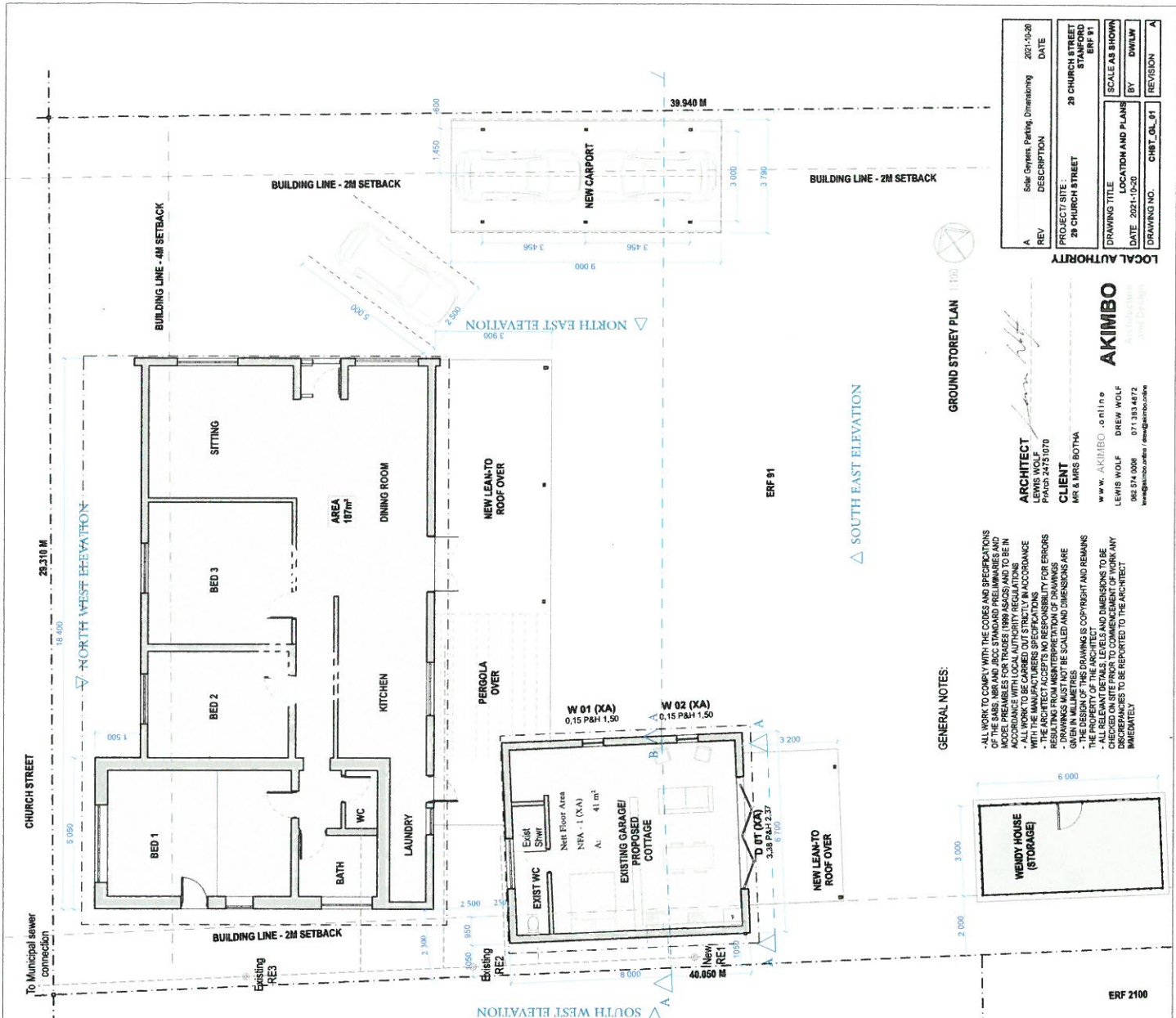
AKIMBO
 ARCHITECTS

PROJECT SITE:	28 CHURCH STREET STANFORD ERF 81
DRAWING TITLE:	ELEVATIONS SECTIONS, PERSPECTIVES
DATE:	2021-10-20
DRAWING NO.:	CHRT_GL_02
REVISION:	A
REV:	A
DESCRIPTION:	Solar Geyser, Parking, Dimensioning
DATE:	2021-10-20
SCALE AS SHOWN:	SCALE AS SHOWN
DRAWN BY:	DWLW



SITE INFO:

- ERF 147 m²
- EXISTING BUILDING 187 m²
- EXISTING GARAGE 54 m²
- FLOOR SPACE 241m²
- NEW ROOF OVER EXISTING GARAGE 59 m²
- NEW LEAN-TO OVER PROPOSED COTTAGE STOREP 15 m²
- NEW LEAN-TO OVER EXISTING DWELLING STOREP 28 m²
- NEW CARPORT 34 m²
- TOTAL NEW UNDERCOVER AREA 136 m²



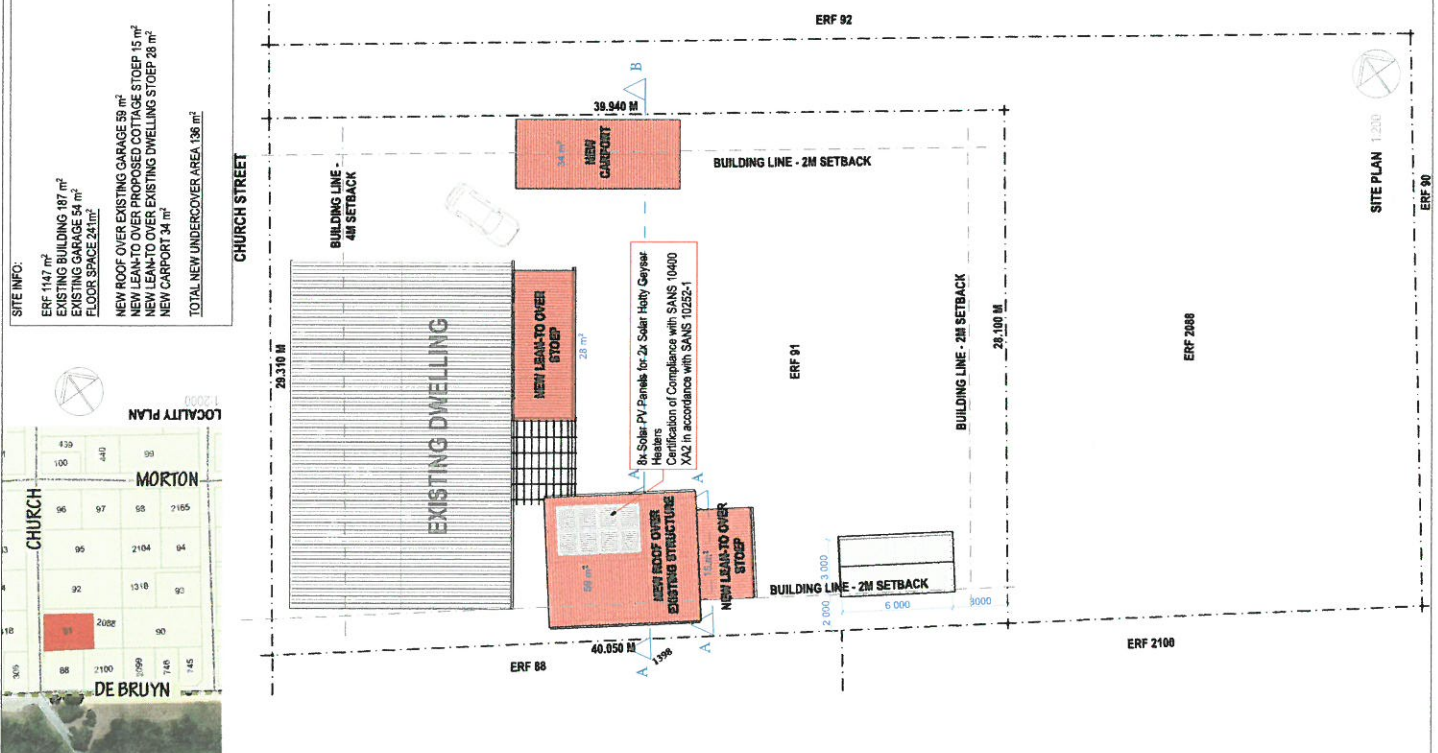
GENERAL NOTES:

- ALL WORK TO COMPLY WITH THE CODES AND SPECIFICATIONS OF THE SOUTH AFRICAN BUREAU OF STANDARDS (SABS) AND ANY OTHER APPLICABLE REGULATIONS AND TO BE IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS.
- ALL WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR ERRORS RESULTING FROM MISINTERPRETATION OF DRAWINGS.
- DRAWINGS MUST NOT BE SCALED AND DIMENSIONS ARE TO BE TAKEN FROM THE DRAWINGS.
- THE DESIGN OF THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.
- ALL RELEVANT DETAILS, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

PROJECT SITE:	28 CHURCH STREET STANFORD ERF 91
ARCHITECT:	AKIMBO ARCHITECTS
ARCHITECT:	LEWIS WOLF
ARCHITECT:	MR & MRS BOTHA
ARCHITECT:	DATE: 2021-05-20
ARCHITECT:	SCALE AS SHOWN
ARCHITECT:	BY: DW/MLW
ARCHITECT:	DATE: 2021-05-20
ARCHITECT:	DRAWING NO.: CHBT_Gr_01
ARCHITECT:	REVISION: A

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WEEDY HOUSE (STORAGE)



GROUND STOREY PLAN 1:100

SITE PLAN 1:200

ERF 2088

ERF 2100

ERF 90