

**ERVEN 3505 & 4836, 15 & 13 TED WOOD ROAD, ONRUS RIVER: APPLICATION FOR CONSOLIDATION:
BETTESWORTH SCOTT (PTY) LTD (obo BERTIE COETZEE TRUST AND NOLTE COETZEE TRUST)**

Notice is hereby given in terms of Section 48, read with Section 16(2)(e) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for the consolidation of Erven 3505 & 4836, Onrus River to create a consolidated erf of $\pm 938\text{m}^2$ in extent

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **19 November 2021**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. H. Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

**ERWE 3505 & 4836, TED WOODWEG 15 & 13, ONRUSRIVIER: AANSOEK OM KONSOLIDASIE:
BETTESWORTH SCOTT (PTY) LTD (nms BERTIE COETZEE TRUST EN NOLTE COETZEE TRUST)**

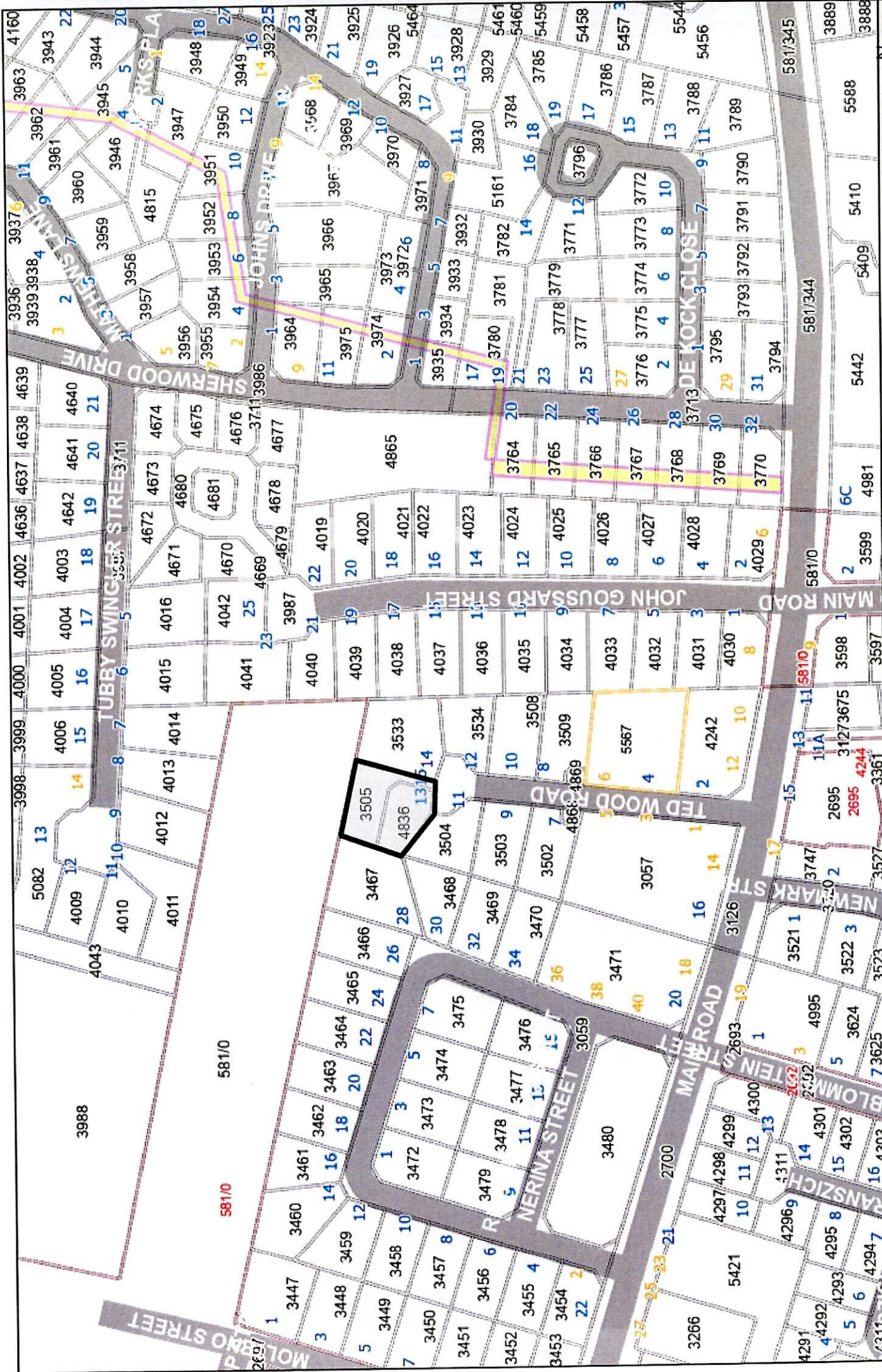
Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(e) van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om konsolidasie van Erwe 3505 & 4836, Onrusrivier om 'n gekonsolideerde erf van $\pm 938\text{m}^2$ te skep.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op **19 November 2021**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mnr. H. Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

**ERVEN 3505 & 4836, 15 & 13 TED WOOD ROAD, ONRUS RIVER: APPLICATION FOR CONSOLIDATION:
BETTESWORTH SCOTT (PTY) LTD (obo BERTIE COETZEE TRUST AND NOLTE COETZEE TRUST)**

Isaziso sikhutshwe ngokwemiqathango yeCandelo 48, elifundwa kunye neCandelo 16(2)(e) loMthetho kaMasipala oLungisiweyo wokuSetyenziswa koMhlaba woMasipala wase-Overstrand 2020 sokokuba isicelo sifunyenwe sokuhlanganiswa kweZiza 3505 & 4836, e-Onrus River ukulungiselela ukuyila isiza esihlanganisiweyo $\pm 938\text{m}^2$ ubukhulu.

linkcukacha ezipheleleyo ephathelelene nesindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho kaMasipala mazithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngomhla okanye ngaphambi **komhla, wama-19 kuNovemba 2021**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **uMnu H. Olivier** kule nombolo 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.





BETTESWORTH SCOTT

URBAN & ENVIRONMENTAL PLANNERS

Our Ref No. 3505ONRS/rev1
Date 6 September 2021

MOTIVATIONAL REPORT AS SET OUT IN THE OVERSTRAND MUNICIPALITY BY-LAW ON MUNICIPAL LAND USE PLANNING (2015):



AS PART OF AN APPLICATION FOR THE CONSOLIDATION OF REMAINDER ERF 3505 AND ERF 4836, TED WOOD CLOSE, ONRUSTRIVIER

Client : Mr Hennie Coetzee

Owners : Bertie Coetzee Trust and Nolte Coetzee Trust

Application To : Overstrand Municipality, Town and Spatial Planning Department, Hermanus

Applicant : Bettesworth Scott

REVISION 1

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LIST OF ANNEXURES

Documents	:	Power of Attorney
	:	Title Deeds
	:	Bondholder's Consent
	:	Motivational Report
	:	Rust & Zee Design Guidelines
	:	Proposed Additions – Concept Building Plan (Francois Malan Architects)
	:	Homeowners Association Written Consent
	:	Overstrand Municipality Application Form
	:	Application Fee (proof of payment)
Plans	:	Locality Plan
	:	SG Diagrams
	:	Consolidation Plan

1. BACKGROUND

1.1 Applicant

Bettesworth Scott was appointed by the Bertie Coetzee Trust and the Nolte Coetzee Trust, the owners of the Remainder Erf 3505, Onrustrivier and Erf 4836, Onrustrivier [**"THE SUBJECT PROPERTIES"**], to make application for the consolidation of the 2 properties. The respective Trusts own a 50% share each in the 2 subject properties, which are adjacent to each other.

(Refer to the attached **Power of Attorney**).

1.2 Terms of Reference

The subject properties were created with the subdivision of Erf 3505 into 2 portions in 2004/5. The original Erf 3505 was 938m² in extent and zoned Residential Zone 1: Single Residential, but the owners then wanted smaller and separate erven to develop houses on. They however ended up only building a house on Erf 4836 - Remainder Erf 3505 is still vacant.

The owners now want to consolidate the subject properties to restore the 938m² property, which will allow them to extend the existing dwelling house. (The proposed consolidation is therefore merely a reversal of the 2004/5 subdivision approval).

This report is submitted to serve as motivation and to meet the necessary statutory requirements for the consolidation of the subject properties.

1.3 Property Detail

The table below describes the property details:

Erf No.	Title Deed	Owner	Extent	Zoning	Land Use
Remainder Erf 3505	T80519/2004	Bertie Coetzee Trust (50% share) Nolte Coetzee Trust (50% share)	515m ²	Residential Zone 1: Single Residential	Vacant
Erf 4836	T86456/2005	Bertie Coetzee Trust (50% share) Nolte Coetzee Trust (50% share)	423m ²	Residential Zone 1: Single Residential	Dwelling House

According to the SG Diagrams, the subject properties are not hampered by any servitudes. There is a bond registered with First National Bank (FNB), who provided the necessary written consent for the proposed consolidation. There are no evident restrictive conditions in the respective Title Deeds that prohibit subdivision. [A Conveyancer Certificate was not obtained as this consolidation application is a reversal of a previous subdivision approval].

(Refer to the attached **Title Deed**, **SG Diagrams** and **Bondholder's Consent**).

1.6 Proposed Application

Application is hereby made for the following:

The consolidation of the Remainder Erf 3505 and Erf 4836, Onrustrivier (as shown on the attached Consolidation Plan) in terms of Section 16(2)(e) of the Overstrand Municipal Planning By-Law (2015).

In terms Section D of the Overstrand Municipality Application Form, an application fee R3340 was paid (i.e. for consolidation of even larger than 400m²).

(Refer to the attached Overstrand Municipality **Application Form, Proof of Payment** of the application fee and **Consolidation Plan**).

2. PHYSICAL CHARACTERISTICS

2.1 Location & Access

The subject properties are located at the northern end of Ted Wood Close in Onrustrivier, which is about 240m south of the R43 (the main access route in the area) and about 130m north of Onrustrivier Main Road.

(Refer to the attached **Locality Plan**).

2.2 Existing & Surrounding Zonings/Land Uses

According to the Overstrand Municipality's Zoning Map, the subject properties are zoned Residential Zone 1: Single Residential. The adjacent properties are dwelling houses, except for the vacant land (zoned Utility Zone) on the northern boundary. At the southern end of Ted Wood Close (along Main Road) are commercial properties.

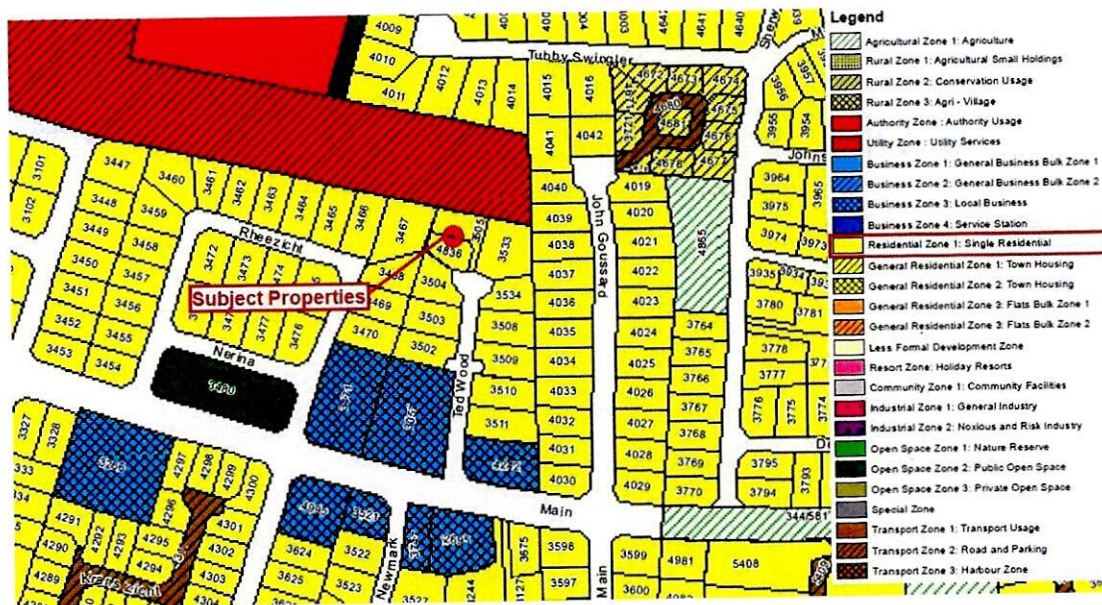


Figure 1 - Zoning Map Extract (Source: Overstrand Municipality Zoning Map)

2.3 Existing Building

Remainder Erf 3505 is vacant, but Erf 4836 has a dwelling house on it. The dwelling house will not be affected by the proposed consolidation.



Figure 2 - Aerial Map (Source: Google Earth)

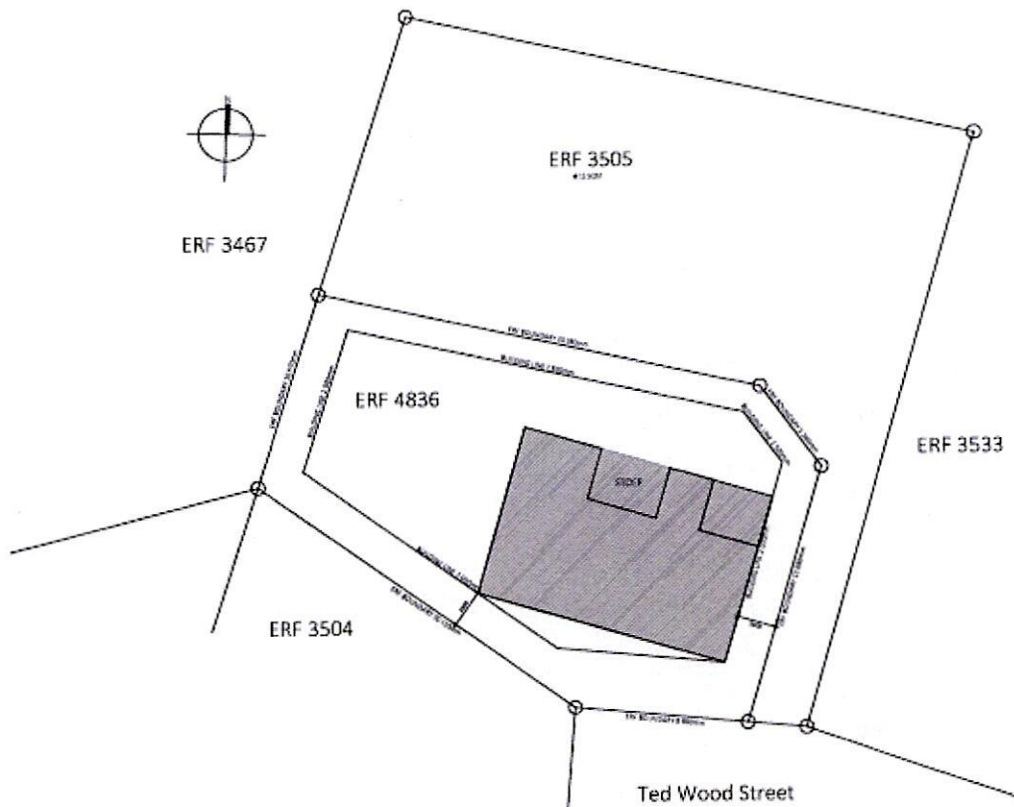


Figure 3 - Site Plan (Source: Francois Malan Architects)

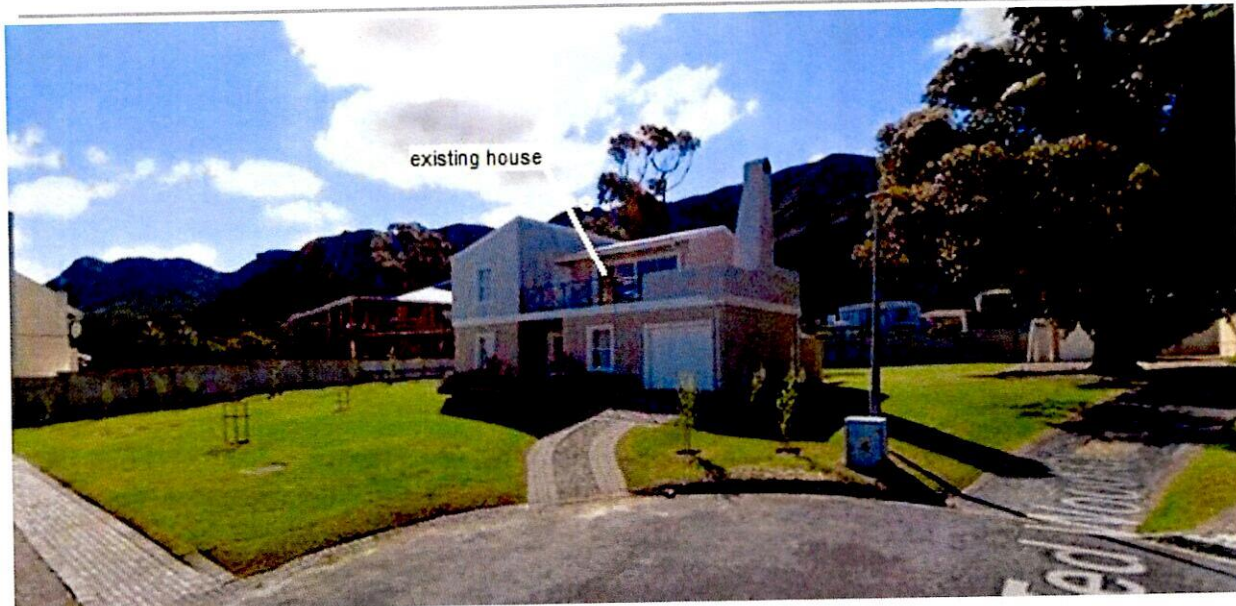


Figure 4 - Street View from Ted Wood Close (Source: Google Maps)

3. DEVELOPMENT PROPOSAL

The purpose of this application is to facilitate proposed additions and alterations to the existing dwelling house on a larger (consolidated) property, i.e. as per the development rules of the Residential Zone 1 (Single Residential) zoning. The zoning of the consolidated property could therefore remain unchanged.

The existing dwelling with existing municipal services connections will be retained - no new services connections are required. The municipal connections to the vacant Remainder Erf 3505 could (where necessary) be removed.

The proposed additions and alterations are shown on the attached concept Building Plan prepared by Francois Malan Architects. It entails closing the existing front entrance, closing the existing single garage with a new entrance, a new staircase together with internal alterations on both 1st (ground floor) and 2nd storeys to reconfigure the internal floor layout. This include converting the 2nd storey balcony into a lounge and covered braai stoep. There is also a new driveway leading to a new double-garage behind the existing dwelling house.

The intension is to create a primary living area on the 2nd storey for retirement, and a separate area on the 1st storey for the rest of the family when they visit over holidays. The floor layout together with the new kitchenette on the 1st storey is therefore not intended to be a second dwelling unit.

The proposed double-garage encroach the existing cadastral boundary between the subject properties, which must be removed by means of this consolidation application.

(Refer to the attached concept **Building Plan** prepared by Francois Malan Architects).

4. DESIRABILITY

4.1 Overstrand Municipal Spatial Development Framework (2020)

The Overstrand Spatial Development Framework is a long-term urban growth management plan that guides the overall spatial distribution of current and future land use to give effect to the vision, goals and objectives of the Integrated Development Plan (IDP) of the Municipality.

The policy document puts the subject properties inside the urban edge, on land designated for urban development and away from critical biodiversity and protected environmental or heritage areas (refer to Figure 5 below). The proposed consolidation is therefore not inconsistent with the Overstrand Spatial Development Framework.



Figure 5 - Extract from Spatial Proposal Hermanus West – red arrow points towards the estimated position of the subject properties (Source: Overstrand Municipal Spatial Development Framework, 2020)

4.2 Overstrand Municipality Zoning Scheme (2013)

According to the Overstrand Municipality's Zoning Map (refer to Figure 1 above), the subject properties are zoned Residential Zone 1: Single Residential and the consolidated property should retain this zoning.

In terms of the development rules of the Overstrand Municipality Zoning Scheme Regulations, 50% of the consolidated property could be developed, with 4.0m street and 2.0m common boundary building lines, up to a height of 8.0m (to top of the roof). These are the same development rules applicable to the current subject properties. The impact of development on the consolidated property (as opposed to development on 2 smaller erven) should therefore be negligible.

The proposed additions and alterations were designed to comply with the Overstrand Municipality Zoning Scheme regulations in terms height, coverage, building lines, parking and use – no regulation departures are herewith applied for.

4.3 Rust & Zee Design Guidelines

The original developer of the “Rust & Zee” development (which includes the subject properties) wanted all dwelling houses to adhere to design guidelines to ensure a harmonious design. A Homeowners Association (HOA) was established to assess and approve all plans prior to submission to the Municipality to assist with this. However, according to Mr Hennie Coetzee, since the developer established the HOA there have only been 3 members (of which he is one) and the enforcement of the guidelines never really caught on. He explained that *“all the other houses in Rust & Zee were developed without applying the guidelines”*.

The set building areas for the respective subject properties in the guidelines are also not practical for the proposed consolidated property. This should nevertheless have no impact on the original intent, which was to ensure view corridors and privacy, as the subject properties are at the back of the development. The proposed double-garage is for practical purpose connected to the existing dwelling house on the consolidated property – but it is outside the guideline building area. The Rust & Zee HOA nevertheless gave written consent for the proposed additions and alterations.

(Refer to the attached **Rust & Zee Design Guidelines** and **HOA Written Consent**).

4.4 Desirability Considerations

Consideration	Comment Relating to this Application
The land's suitability for the proposed consolidation in terms of location, accessibility and physical characteristics.	The proposed consolidation is a reversal of a previously approved subdivision. It will merely restore the original single residential erf that was created together with all the other surrounding single residential erven in the area. The development potential of the consolidated property is therefore similar to that of the surrounding properties in terms of scale, nature and use.
Conformity with the municipal spatial development framework.	The Municipal Spatial Development Framework is generally not intended to prohibit small-scale consolidations in established residential areas. As explained above, the subject properties are also not located in an area designated for conservation, heritage protection, etc. The loss of potential residential density due to the consolidation could be made up by the extension of the existing dwelling house or the development of a second dwelling unit, which is permitted as of right in the Residential Zone 1 (Single Residential) zoning.
Impact on the external engineering services.	Additions to a dwelling house typically would not necessitate additional bulk services capacity. The difference between 2 smaller dwelling houses and 1 larger house (potentially with a second dwelling) in terms of impact on engineering services should be negligible in our opinion. Nevertheless, the surrounding municipal services were originally planned/designed for the consolidated site.

Impact on safety, health and wellbeing of the surrounding community.	There should be no impact as the consolidated site was part of the original township urban structure. The consolidation will also not change the zoning or applicable Zoning Scheme development rules. The development rules will be the same as what applies to surrounding residential erven.
Impact on heritage.	There is no heritage overlay zone in the area and the proposed consolidation does not require the demolition of the existing dwelling house. The area is also a mixture of dwelling houses with no specific heritage theme or character that needs protection against development (or the extension of the existing dwelling house) in our opinion.
Impact on the biophysical environment.	The subject properties are already developed, serviced and/or cleared – the potential additions to the existing dwelling house are therefore unlikely to have any impact on the natural, built and social environments of the surrounding area.
Traffic impacts, parking, access and other transport related considerations.	The proposed additions are unlikely to have any impact as on-site parking will not be affected with ample space for new on-site parking. The existing CWC off Ted Wood Close will be retained. If any, the proposed consolidation will slightly lower density, which could reduce potential traffic impact.

5. RECOMMENDATION

Section 66 of the Overstrand Municipality By-Law on Municipal Land Use Planning states that when deciding on an application consideration must among others be given to the Overstrand Spatial Development Framework, Zoning Scheme, the extent of desirability and the impact on existing rights. In light of the above, it is recommended that the proposed consolidation application be considered favourably.



Martin Scott Pr. Pln A1471/2011

BETTESWORTH SCOTT (PTY) LTD

NOTES

- Figure A B C D J H G denotes Remainder Erf 3505, Onrustsvier (515m² in extent).
- Figure G H J D E F denotes Erf 4836, Onrustsvier (423m² in extent).
- Figure A B C E F denotes the consolidation of Remainder Erf 3505 and Erf 4836, Onrustsvier (938m² in extent).

Zoning

- Remainder Erf 3505 : Residential Zone 1: Single Residential
- Erf 4836 : Residential Zone 1: Single Residential
- Consolidated Erf : Residential Zone 1: Single Residential

KEY MAP

CONSOLIDATION PLAN

SCALE

DRAWING NO

NTS

dwg3505/ONR/1b

DATE

REVISION NO

09/07/2021

0

PROJECT

CONSOLIDATION OF ERF 3505 & ERF 4836, ONRUSTSVIER



NOTE: ALL AREAS AND DIMENSIONS TO BE CONFIRMED BY SURVEY.

DISCLAIMER:
ALL STATUTORY REQUIREMENTS (NATIONAL, BUILDING REGULATIONS, AND MUNICIPAL BYLAWS) MUST BE ADHERED TO AT ALL TIMES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE LEVELS ON THE BUILDING SITE BEFORE ANY WORK COMMENCES. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE FIGURED DIMENSIONS AND VOLUMES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE ARCHITECT AND OTHER RESPONSIBLE CONSULTANTS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID TO THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID TO THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID TO THE ARCHITECT.

REVISION LIST:
REVISION: DATE: NOTES:

DRAWING LIST:

CLIENT NAME:
Mr & Mrs Coetzee

PROJECT NAME:
Alterations and
extensions to existing
House

ADDRESS:
ERF 3505 Ted wood Street,
Onrus River

Concept

DRAWING DESCRIPTION:

LAYOUT PLANS
SCALE 1:100

DATE: 05/05/2021 DRAWN BY: FM

DRAWING NO:

0118-a-100

REVISION:
A

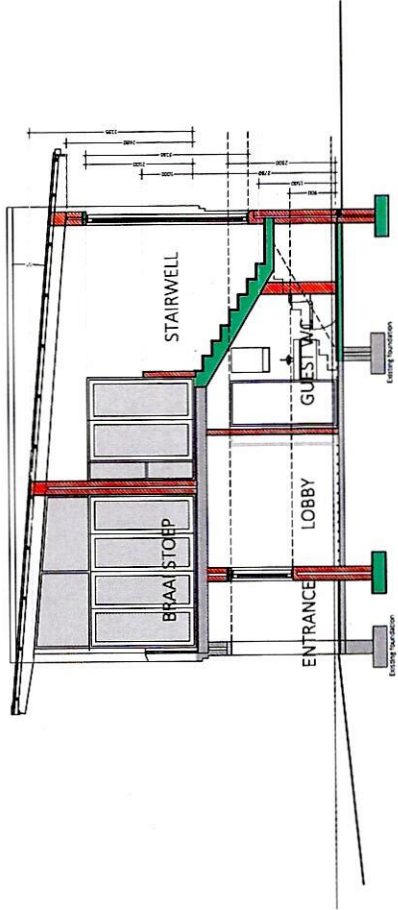


FIRST FLOOR LAYOUT
SCALE 1:100

DISCLAIMER: THESE DOCUMENTS, RATINGS, BUILDING REGULATIONS AND MUNICIPAL BY-LAWS) MUST BE REFERRED TO CONTRACTORS ARE TO CHECK AND VERIFY ALL DIMENSIONS AND REQUIRED DIMENSIONS AND LARGE SCALE DETAILS, PREFERENCES OVER-SEALED DIMENSIONS. REFER ALL CONSULTING INFORMATION DESIGN AND DETAIL ON THE DRAWING IS THE PROPERTY OF FRANCIS MALAN ARCHITECTS PTY LTD. AND COPYRIGHT IS RESERVED.

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REVISION: DATE: NOTES: _____

DRAWING LIST: _____



SECTION A-A
SCALE 1:50



3D VISUALIZATIONS

CLIENT NAME: Mr & Mrs Coetzee

PROJECT NAME: Alterations and extensions to existing House

ADDRESS: ERF 3505 Ted wood Street, Onrus River

Concept

DRAWING DESCRIPTION:

SECTION A - A & VISUALIZATIONS
SCALE 1:50

DATE: 05/05/2021 DRAWN BY: FM

DRAWING NO: 0118-a-101

REVISION: A