

ERF 4997, 30 DE VILLIERS STREET, ONRUS RIVER: APPLICATION FOR DEPARTURE: SMART SOLUTION ARCHITECTURE (obo JJM PRINS)

Notice is hereby given in terms of Section 48, read with Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a departure to relax the lateral building line from 2m to 0,417m to accommodate a proposed new carport on lower ground floor level, and to relax the same lateral building line from 2m to 0,805m to accommodate a proposed new enclosed staircase and new covered stoep on ground floor level.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **19 November 2021**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 4997, DE VILLIERSSTRAAT 30, ONRUSRIVIER: AANSOEK OM AFWYKING: SMART SOLUTION ARGITEKTUUR (nms JJM PRINS)

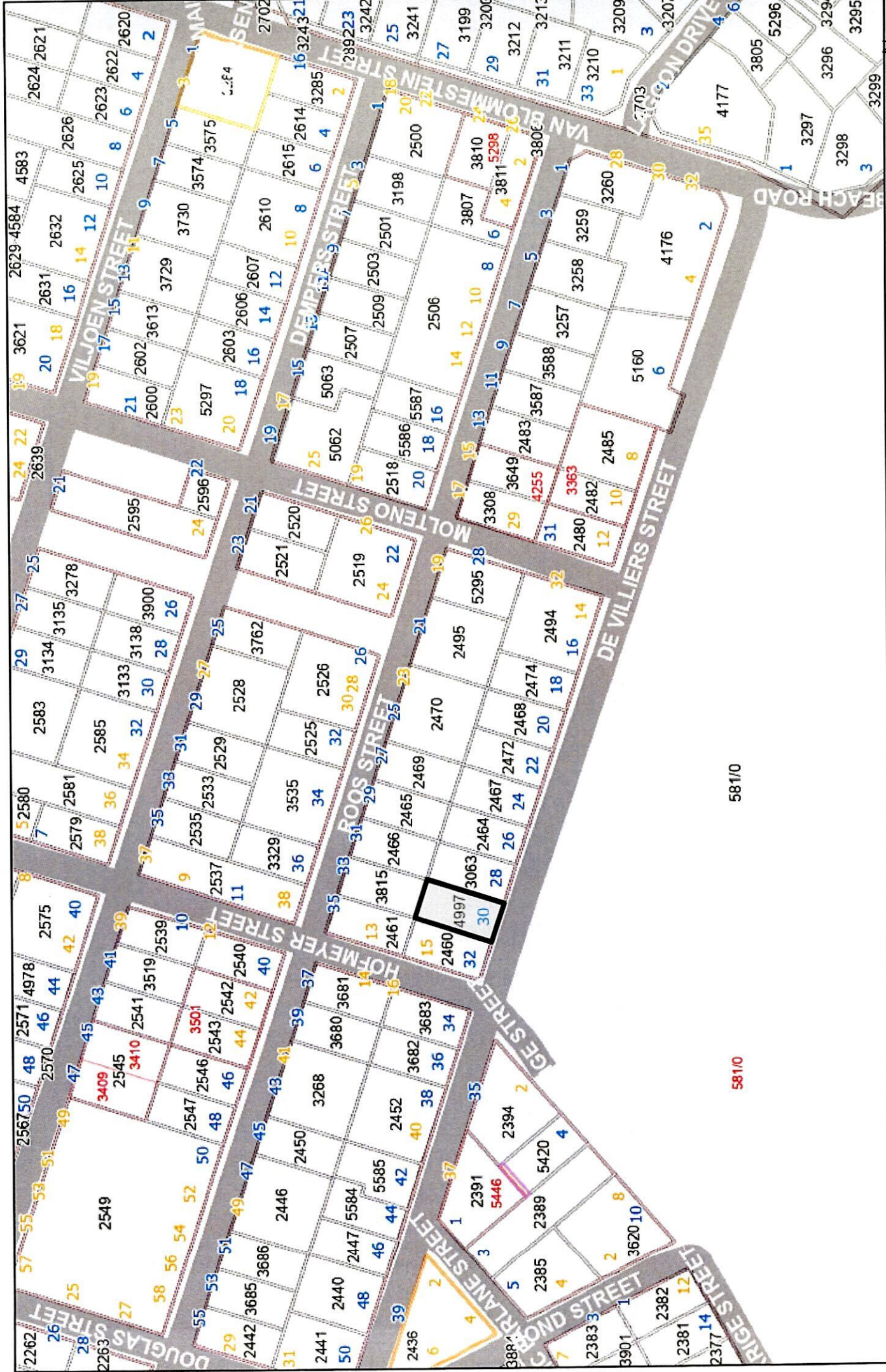
Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(b) van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ontvang is vir 'n afwyking om die syboullyn vanaf 2m na 0,417m te verslap om 'n voorgestelde nuwe motorafdak op laer grondvloer vlak te akkommodeer, en om dieselfde syboullyn vanaf 2m na 0,805m te verslap om voorgestelde nuwe toegeboude trappe en 'n nuwe onderdak stoep op grondvloer vlak te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op **19 November 2021**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Mnr. H Olivier** at 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 4997, 30 DE VILLIERS STREET, ONRUS RIVER: ISICELO SOPHAMBUKO: SMART SOLUTION ARCHITECTURE (obo JJM PRINS)

Isaziso sinikwa ngokwemiqathango yeCandelo 48, elifundwa kunye neCandelo 16(2)(b) loMthetho kaMasipala oLungisiweyo woMasipala waseOverstrand ongokuSetyenziswa koMhlaba, 2020 sokokuba isicelo sifunyenwe sokunyenysiswa komda osecaleni kwisakhiwo ukususela kwi-2m ukuya kwi-0,417m ukulungiselela ulwakhiwo olucetywayo lwekhopoti entsha kumgangatho phantsi wesakhiwo, nokunyenysiswa komda osecaleni wesakhiwo esinye ukususela kwi-2m ukuya kwi-0,805 ukulungiselela ulwakhiwo kwamanqwanqwa okunyka avalelekileyo kunye nestuphu esitsha esigqunyiweyo kumgangatho osezantsi wesakhiwo.

linkcukacha ezipheleleyo ngokuphathelene nesi sindululo ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo zingangeniswa ngokwezibonelelo zeCandelo lama-51 nelama-52 loMthetho kaMasipala ochazwe ngasentla (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla **wama-19 uNovemba 2021**, uchaze igama lakho, idilesi neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zokuhlomla kwesi siphakamiso. Imibuzo ngomnxeba ingathunyelwa kuMwangcisi weDolophu, u**Mnu. H Olivier** kule nombolo 028-313 8900. UMasipala angala ukwamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda nokubhala angandwendwela kwiSebe loCwangciso lweDolophu apho igosa likaMasipala liya kumnceda ukubhala izimvo zakhe zifakwe ngokusemthethweni.





OVERSTRAND MUNICIPALITY
16 PATERSON STREET
PO BOX 20
HERMANUS
7200

TO WHOM IT MAY CONCERN:

MOTIVATIONAL LETTER

Property location:	Erf 4997 30 De Villiers Street Onrus Hermanus 7200
Property size:	496.00m ²
Coverage permitted:	50.00%
Proposed coverage:	29.71%
Property zoning:	Single Residential (SR1)
Title Deed number & date:	T 000069095/2003

A) PROPOSED DEVELOPMENT:

With reference to drawings (dd: 14-07-2021, Rev 03) attached to this application:

- I 0363/A3/01 - Locality Plan
- I 0363/A3/02 - Locality Plan
- I 0363/A2/03 - Site info
- I 0363/A2/04 - Site and Ground Storey layout
- I 0363/A2/05 - Site and Roof Plan layout
- I 0363/A2/06 - Sections and Elevations
- I 0363/A2/07 - Proposed New Carport
- I 0363/A2/08 - Proposed New Covered Stoep

Background:

Our clients Mr & Mrs Prins purchase the property in 2003 as a holiday home, thus it was used mainly during holidays and over long weekend since date of purchase until June 2020.

Due to various reason, they have decided to move to Onrus (Erf 4997) on a more permanent basis. The dwelling home has a local Heritage Grading of 3C for the sole purpose of being older than 60 years.

The existing dwelling home was construction off-center on the property, more towards the eastern boundary. Although the building had complied with previous building lines applicable, the dwelling home now protrudes over the current 2.0m Overstrand Zoning scheme side building line. This also

applies to the existing and previously approved pergola structure. All as shown on drawings and land surveyors survey.

Existing dwelling home consist of; (See copies of previously approved drawings attached to application.)

1. **Lower ground storey**, which is a tool shed, can't be used as a garage for storage of motor vehicles due to the internal size / dimensions and pergola structure as current parking area.
2. **Ground Storey**, Living spaces, kitchen, and bathroom, open south stoep and outbuilding. Private north courtyard.
3. **First Storey**, Two bedrooms, private lounge, and bathroom.

The current layout does not cater for covered and secured access from parking area (Lower Ground Storey) to the dwelling (Ground Storey). With security being the main reason, our clients wish to convert the pergola structure into a covered carport, as specified on drawings with a covered staircase with access to new covered stoep on Ground Storey. The carport will be enclosed on all sides with timber slats to match that of existing fencing, purposed made lockable tip-up door.

As mentioned above, the existing position of the dwelling home is already protruding over the side building line, thus with the new proposed additions we unfortunately will also protrude over the 2.0m side building line. We have investigated numerous options and the proposed option will achieve our clients requirements with as less impact as possible on the aesthetics and architecture of the existing dwelling home.

The impact on adjoining neighbour Erf 2463 is minimum, as the stairs will only be used as circulation space, the new covered stoep area falls within the 2.0m side building line.

Proposed alterations and additions:

1. Existing pergola converted into new carport;

The existing carport structure to be used as far as possible, but to be extended / increased in size to allow for ample space to securely park a motor vehicle. New staircase with access to new covered stoep on Ground Storey.

2. New Covered stoep

Portion of existing open stoep to be enclosed, covered with new structure over. West end of covered patio to remain open as the area will be used as a covered stoep and not enclosed room area. New stairs with access to new carport on Lower Ground Storey.

B) CHARACTER OF THE ENVIRONMENT:

Erf 4997 falls within a residential area with most of the properties registered as Single Residential 1 (SR1). Current Zoning scheming restrictions imposed on Erf 997 with property are as follows:

Street building line	4.0m
Side building lines	2.0m
Rear building lines	2.0m
Height restriction	8.0m from base level
Coverage	50%
Title Deed restrictions	n/a

Adjoining and surrounding dwellings are single and double storey dwellings some with architectural and heritage significance with most erf sizes being 496m².

With the imposed 50% coverage permitted on most of the properties, the area is seen a low-density area.

C) DESIRABILITY OF THE PROPOSED UTILISATION

The alterations made to the existing dwelling have no negative impact on any of the adjoining and surrounding properties.

D) INVESTIGATIONS CARRIED OUT IN TERMS OF OTHER LAWS WHICH ARE RELEVANT TO THE CONSIDERATION OF THE APPLICANT.

N/A - No laws/regulations other than the current Overstrand Zoning scheme, National building regulations and SANS 10400 regulations are applicable to the current application.

E) THE IMPACT OF THE PROPOSED LAND DEVELOPMENT ON MUNICIPAL ENGINEERING SERVICES.

- No additional services will be required.
- No alterations to existing services supplied by municipality to the dwelling are required.
- Proposed Alterations/additions have no impact on existing municipal services or future planning services.

F) CONSIDERATION OF FORWARD PLANNING AND LAND USE DOCUMENTS

Current application has no influence on forward planning for the property and/or surrounding properties.

G) PLANNING PRINCIPLES

Not applicable to current application.

I / we would like to obtain approval and permission as required from Overstrand Town Planning Department to proceed with submission to Building Control Department for building plan approval for the building work as per drawings attached.

REFER TO NEXT PAGE

BOUNDARY WALLS & STRUCTURES
NOTE: NO WALL, FOUNDATION OR BUILDING WORK WILL PRELUDE OVER ERF BOUNDARY LINE.

PLEASE NOTE
 Under all stormwater overflows, a stormwater gully must be provided and connected with underground stormwater pipes to be connected to municipal stormwater system or to drain to road or lower part of property.

HEALTH & SAFETY
 Principal contractor to make adequate provision for health & safety measures for the duration of the construction process. Principal contractor to comply with the Health & Safety Act (No. 95 of 1993) and Construction Regulations G.O.B. 1018 of Feb 2014. Principal contractor to provide all health & safety plan before construction work begins.

NOTE
 ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER. NOTE ALL LINES SHOWING EXISTING DRAWINGS MAY VARY ACCORDING TO SITE CONDITIONS.

ALL DRAWING TO BE READ IN CONJUNCTION WITH 'ENERGY USE' ASSESSMENT / REPORT'

VARIATIONS:

REV NO.	DATE	DESCRIPTION:
01	10-06-2021	changes made as per client request
02	14-07-2021	minor specification changes
03	02-08-2021	revised lowest and highest NGL, showing new 8.0m height restriction line

MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO. CONTRACTORS AND SUB-CONTRACTORS ARE TO CHECK ALL DIMENSIONS AND LEVELS ON THE BUILDING AND TO TAKE IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS. SURETY SHALL SCALE DRAWINGS AND THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE INFORMATION THEREON IS RESERVED BY THEM.

DRAWING STAGE:

COUNCIL SUBMISSION
DEPARTURE APPLICATION
SKETCH PROPOSAL
TENDER DRAWING
WORKING DRAWING

SITE RESTRICTIONS:

STREET BUILDING LINE	4.00m
LATERAL BUILDING LINE	2.00m
REAR BUILDING LINE	2.00m
HEIGHT RESTRICTION	8.00m
TITLE DEED BUILDING LINES (see drawings)	(1/0)

ZONE APPLICABLE:

SINGLE RESIDENTIAL (SR1)
TOWN HOUSING - ZONE 1 (GR1)
TOWN HOUSING - ZONE 2 (GR2)
FLATS - ZONE 3 (GR3 and DR4)
LESS FORMAL DEVELOPMENT (LFD)

SMART SOLUTION ARCHITECTURE
 and architectural consultants
 Members of SACAP / CA / and SAAT
 150th Street, 882 875 8749
 D Swart 079 694 1728
 Mail Collection Unit, Hemel & Aarde Estate, Hemelens, 7200

PROJECT NAME:
 ALTERATIONS AND ADDITIONS
 HOUSE PRINS
 ERF 4997
 30 DE VILLIERS STREET
 ONRUS
 7201

DWG TITLE: PROPOSED NEW CARPORT

DATE: 14-07-2021

DRAWN BY: D SWART

CHECKED BY: D SWART

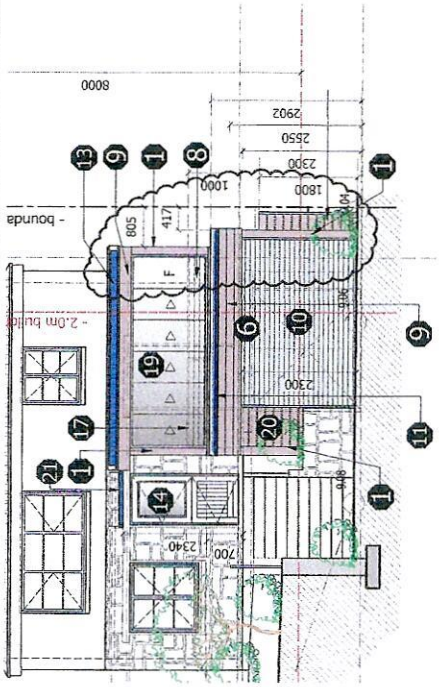
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DRAWING NO.: 1 0363/A3/07

SCAP REG.: PSA T24749037

PRINT AS: LANDSCAPE

REV NO.: 3

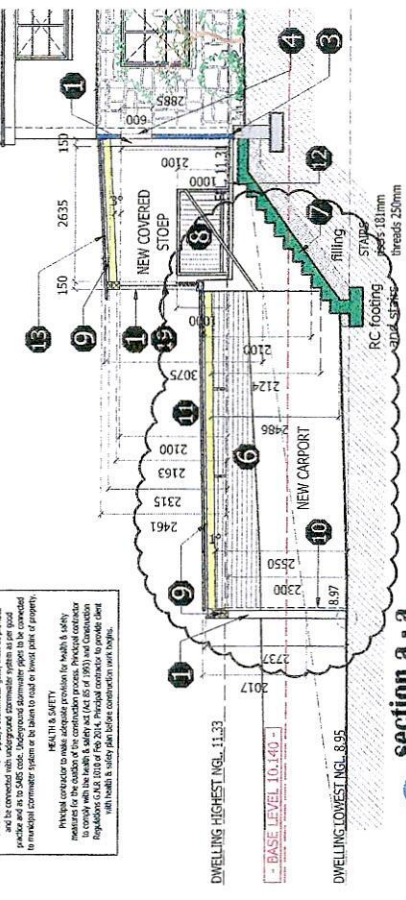


BASE LEVEL CALCULATIONS

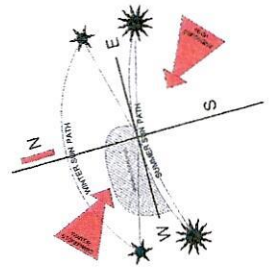
LOWEST LEVEL	8.95
HIGHEST LEVEL	11.33
BASE LEVEL	10.140
8.0m HEIGHT RESTRICTION	18.140

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MUNICIPAL APPROVAL STAMP



UNLESS SPECIFIC NOTED OTHERWISE, ALL DIMENSIONS AND LEVELS ON THIS DRAWING MUST BE CHECKED BY CONTRACTORS AND SUBCONTRACTORS TO BE ACCURATE. ALL DIMENSIONS AND LEVELS ON THIS DRAWING MUST BE CHECKED BY CONTRACTORS AND SUBCONTRACTORS TO BE ACCURATE. ALL DIMENSIONS AND LEVELS ON THIS DRAWING MUST BE CHECKED BY CONTRACTORS AND SUBCONTRACTORS TO BE ACCURATE.

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 PLEASE NOTE: Under all circumstances, a firm safety must be provided and be connected with underground drainage system in per good practice and as to SANS 1040. Underground drainage system to be connected to municipal drainage system or to lake to avoid any risk of property damage.
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FLATS - ZONE 3 (GR3 and DR4)
LESS FORMAL DEVELOPMENT (LFD)

SMART SOLUTION ARCHITECTURE
 and architectural consultants
 Members of SACAP / CA and SAAT
 Office: 028 125 6019
 Cell: 082 982 1111
 P Swart: 079 884 1728
 Email: info@smart-solution.co.za
 Aerial Collection: 104, Harebell & Avonds Estate, Hembans, 7200

PROJECT NAME:
 ALTERATIONS AND ADDITIONS
 HOUSE PRINS
 ERF 4997
 30 DE VILJERS STREET
 ONRUS
 7201

DWG TITLE:
 PROPOSED NEW
 COVERED STOEP

DATE:
 14-07-2021

DRAWN BY:
 D SWART

CHECKED BY:	SACAP REG.
D SWART	PSAT24749037
DRAWING SCALE	PRINT A3
AS SHOWN	LANDSCAPE
DRAWING NO.	REV NO.
I 0363/A3/08	3

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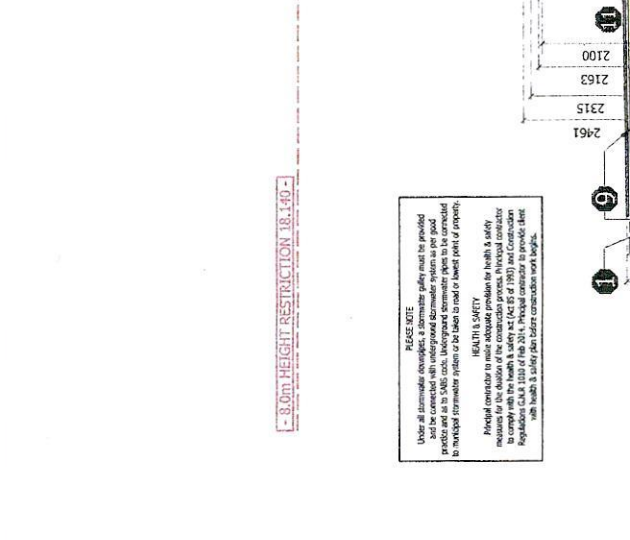
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DWG TITLE:
 PROPOSED NEW
 COVERED STOEP

DATE:
 14-07-2021

DRAWN BY:
 D SWART

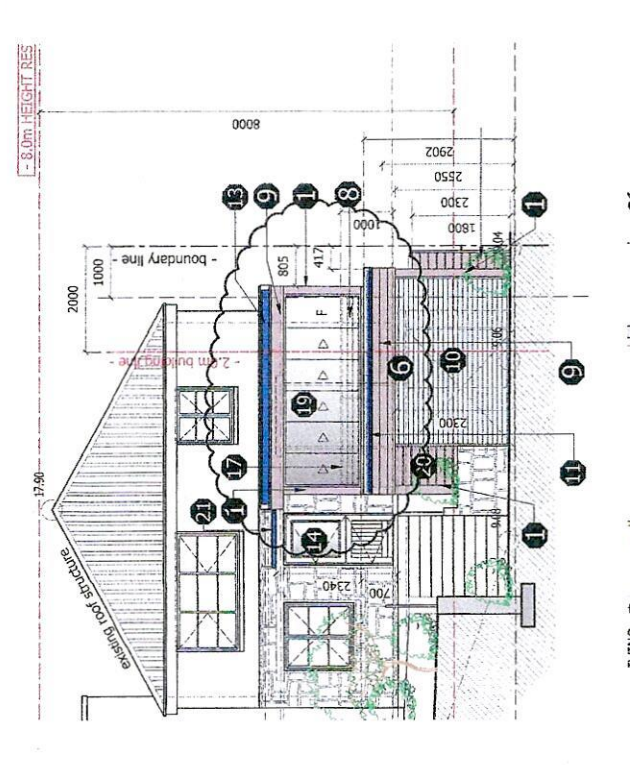
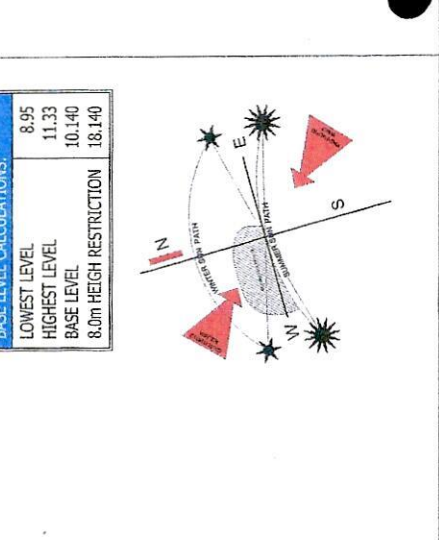
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D SWART	PSAT24749037
DRAWING SCALE	PRINT A3
AS SHOWN	LANDSCAPE
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section a - a
 scale 1:100

BASE LEVEL CALCULATIONS:

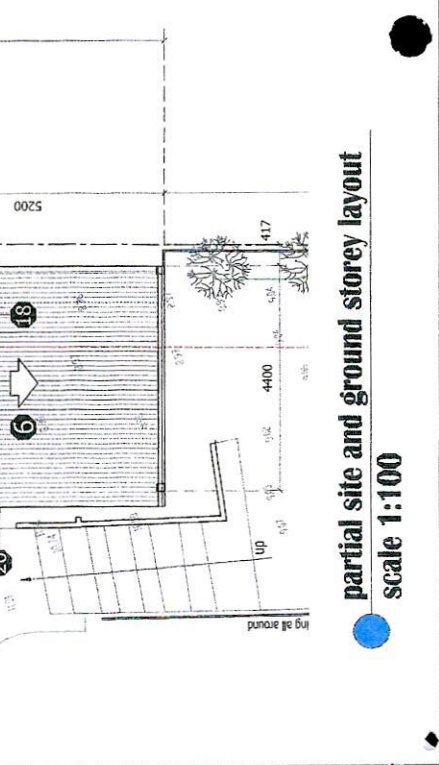
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partial site and ground storey layout
 scale 1:100