

ERF 3794, 31 SHERWOOD DRIVE, ONRUSTRIVIER: APPLICATION FOR DEPARTURE: H BREWER

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a departure in terms of Section 16(2)(b) to relax the eastern lateral building line from 2m to 1,175m to accommodate a new double garage.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) on or before **19 November 2021**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the Town Planner, **Mr. H Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 3794, SHERWOODRYLAAN 31, ONRUSTRIVIER: AANSOEK OM AFWYKING: H BREWER

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek om afwyking ontvang is ingevolge Artikel 16(2)(b) om die oostelike syboullyn vanaf 2m na 1,175m te verslap om 'n nuwe dubbel motorhuis te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) voor of op **19 November 2021**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die Stadsbeplanner, **Mnr. H Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 3794, 31 SHERWOOD DRIVE, ONRUSTRIVIER: ISICELO SOPHAMBUKO: H BREWER

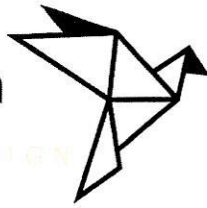
Isaziso sikhutshwa ngokuphathelene neCandelo 48, loMthetho kaMasipala oLungisiweyo waseOverstrand ongokuSetyenziswa koMhlaba kaMasipala, 2020 sokokuba isicelo sifunyenwe sophambuko ngokweCandelo 16(2)(b) sokunyeniswa komda wesakhiwo kwicala elingasempuma ukususela kwi-2m ukuya kwi-1.175m kulungiselelwa ulwakhiwo lwegaraji ekugcinwa iimoto ezimbini.

linkcukacha ezipheleleyo ngesi sindululo ziyafumaneka ukuze zihlolwe kwiintsuku zaphakathi evekini phakathi kwentsimbi yesi-08:00 neye-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo zingangeniswa ngokwezibonelelo zeCandelo lama-51 nelama-52 loMthetho kaMasipala ochaziweyo ngasentla (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla **wama-19 kuNovemba 2021**, uchaze igama lakho, idilesi neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zokuhlomla kwesi siphakamiso. Imibuzo ngemfono-mfono ingathunyelwa kuMwangcisi weDolophu, u**Mnu. H Olivier** kule nombolo 028-313 8900. UMasipala angala ukwamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda nokubhala angandwendwela kwiSebe loCwangciso lweDolophu apho igosa likaMasipala liya kumnceda ukubhala izimvo zakhe zifakwe ngokusemthethweni.

s u z a a n

(PAT 39790550 – Prof Arch T)

ARCHITECTURE & INTERIOR DESIGN



The Towers Shopping Centre | 1 Koppie Road
Langenhovenpark | Bloemfontein | 9301
P.O. Box 26086 | Langenhovenpark | 9330

suzaan@edesigns.co.za | 072 193 6832

13 August 2021

The Municipal Manager
Town Planning Department
Box 20
Hermanus

Motivational Report for consideration : Application for departure : Plot no 3794 - Onrus

A : Proposed development :

The existing property is situated in Sherwood street Onrus river, Hermanus. It is a residential dwelling that consists of three bedrooms, living room, kitchen and a single garage. Ms Brewer is applying for the approval for a departure by Town Planning Department to allow her to construct an additional double garage to her existing dwelling to comply with Section 16(2)(b) of the Overstrand Municipal 's Bylaw on the Municipal Land Use 2020.

The property is single Residential as well as all the surrounding properties. (Residential Zone 1)

The proposed double garage on the eastern lateral boundary exceeds the 2.0m building line by 0,825m. Therefor we apply for departure – from a 2,0m building line to 1,175m.

B : Character of the environment ;

The proposed double garage is positioned on the eastern lateral boundary of the erf and will have no change to its surrounding area regarding vehicular flow in the area, as the entrance of the existing erf will remain the same.

The new garage will not change the residential character nor the character of the environment as we are using the same external approach as the existing house, that will also be well constructed and maintained.

C: Desirability of the proposed utilization :

The property is within a single residential area and has a low impact on the land use. This departure application will have no negative impact on the property value of the surrounding properties , but will increase the property value of the neighborhood and create a more desirable environment for people to settle in and to improve their own living conditions.

The new double garage will help with the number of vehicles parked outside the erf, as we are creating more space for vehicles inside the erf.

D: Investigations carried out in terms of other laws which are relevant to the consideration of the application :

This proposed application will not influence any other laws such as the National Heritage Resources Act Environmental Management Air Quality , National Environmental Integrated Coastal Management Act, Nema, Subdivision of Agricultural Land Act, Occupational Health and Safety Act, Waste and the National Water Act .

E : The impact of the land development on municipal services :

No provision of services will be necessary for this proposed addition as this property is located in a well serviced area which includes the availability of electricity , sewerage ,water and other services.

F: Consideration of forward planning and landuse documents :

This proposed addition to existing property is in line with the relevant zoning scheme regulations and therefor consideration of forward planning does not apply to the current application .

G: Planning principles :

Spatial Justice – The proposed garage will improve the surrounding areas value and will have no negative impact on the immediate environment.

As mentioned before, the new double garage will help with the number of vehicles parked outside the erf, as we are creating more space for vehicles inside the erf.

This will improve the areas risk of safety and will enhance security.

Spatial sustainability – The proposed double garage is positioned on the eastern lateral boundary of the erf and will have no change to its surrounding area regarding vehicular flow in the area, as the entrance of the existing erf will remain the same.

In this we we enhance the spatial sustainability by upgrading the property.

Efficiency – By adding this double garage to the existing property we try to create optimise use of space and resource of land as this property is situated in a peaceful residential area in Sherwood street Onrus river, Hermanus.

Spatial Resilience – The flexibility in spatial plans, policies and land use management systems that will ensure the sustainable livelihoods of communities in the more disadvantaged areas will be showed in the approval of this application.

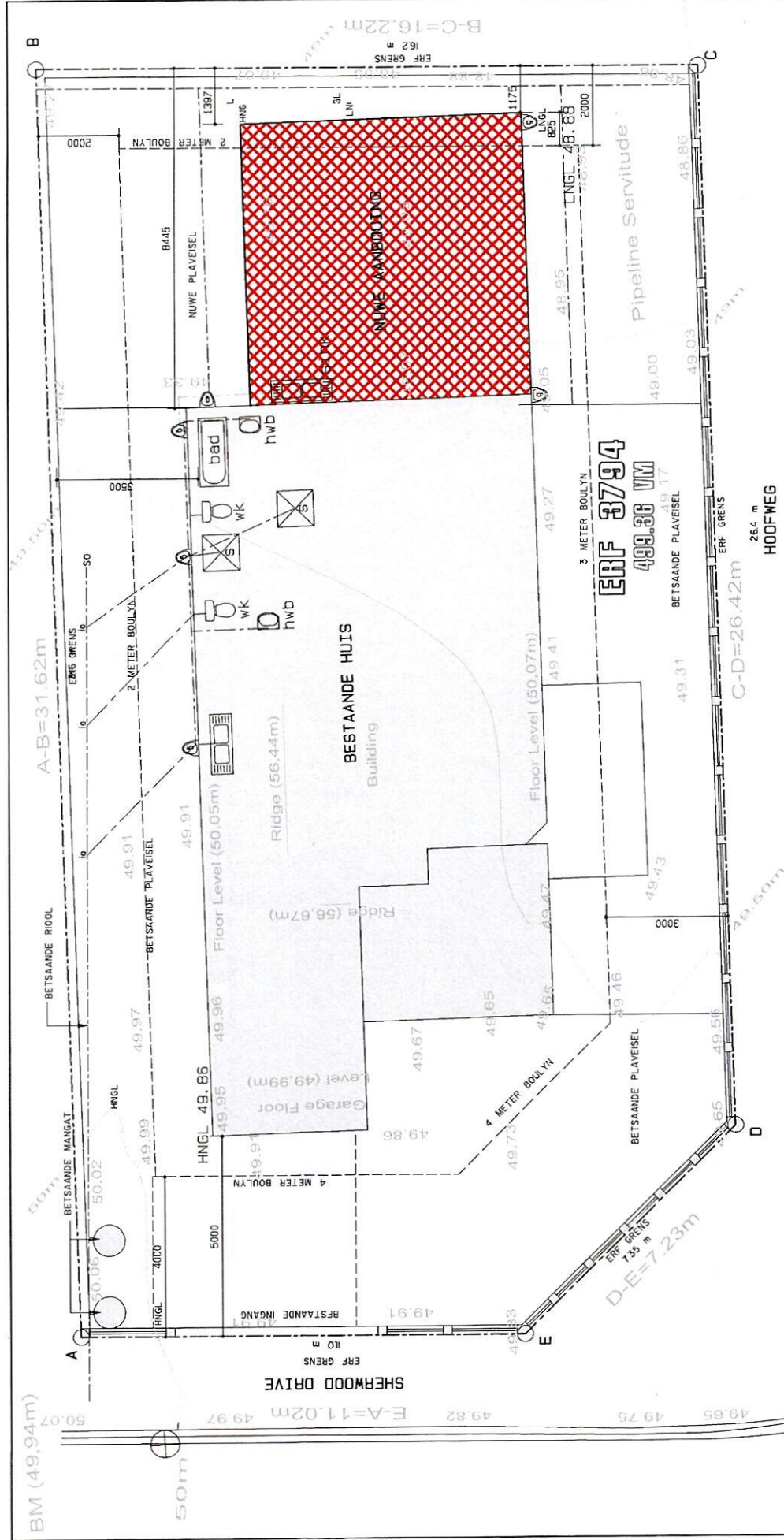
Good administration – The applicant are seeking to minimise the negative financial, social, economic and environmental impact of this proposed addition by committing to good administration practice and principle and will co-operate fully with local government in this regard. The applicant will ensure that all processes as stipulated by the Overstrand Municipal's Bylaws on Municipal Land Use Planning 2020 adhered to.

G : Photos



See layout plan for details.

Signed by owner : *Bewer*
Date :13 - 08 - 2021.....



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|-------------------------------------|---------------------------|-----------|-----------------|
| suzaan | | client | |
| DRAWING TITLE TERREINPLAN | | | |
| Scale | Date | Drawn | DESTONED |
| AANGEDUI | 24/09/2020 | S WESSELS | N/A |
| Skaal | Datum | Geteken | DITNERP |
| Project No. | Drawing No. | Revision | Paper Size. |
| PO09 | W-01 | R-01 | A3 |
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|---|------------------------|
| PROJIEK TITEL | KLIENT |
| NUWE AANBOING AAN BESTAANDE HUIS | HANNETTE BREWER |
| ERF 3794, SHERWOOD DRIVE, HERMANUS | 083 262 2527 |

S u z a a n
 Architectural DESIGN
 THE TOWERS SHOPPING CENTRE - 1 KOPPE ROAD
 LANGENHEIM - BLOEMFONTEIN - 1ST FLOOR
 PO BOX 28006, LANGENHEIMPARK 9320
 suzaan@suzaan.co.za
 072 103 8032

Stamp

TERREINPLAN
 SCALE 1:100

Stamp

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