

REMAINDER OF THE FARM BUFFELJACHTS NO.357, DIVISION BREDASDORP, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDMENT OF APPROVED SITE DEVELOPMENT PLAN AND DETERMINATION OF ADMINISTRATIVE PENALTY: MESSRS TOWN AND COUNTRY ON BEHALF OF BUFFELJAGS ABALONE FARM (PTY) LTD

Notice is hereby given in terms of Section 48, read with Section 16(2)(l) and 16(2)(q) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received for the amendment of the approved Site Development Plan and determination of an administrative penalty in order to accommodate further additions on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Gansbaai Library, Main Road, Gansbaai. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and be submitted at the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / alida@overstrand.gov.za) on or before **22 October 2021**, quoting your name, address and contact details, interest in the application, as well as the reasons for comment. Telephonic enquiries can be made to **Mr SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

RESTANT VAN DIE PLAAS BUFFELJACHTS NO. 357, AFDELING BREDASDORP, OVERSTRAND MUNISIPALE AREA: AANSOEK OM WYSIGING VAN GOEDGEKEURDE TERREINONTWIKKELINGSPLAN EN VASSTELLING VAN 'N ADMINISTRATIEWE BOETE: MNRE TOWN AND COUNTRY NAMENS BUFFELJAGS ABALONE FARM (PTY) LTD

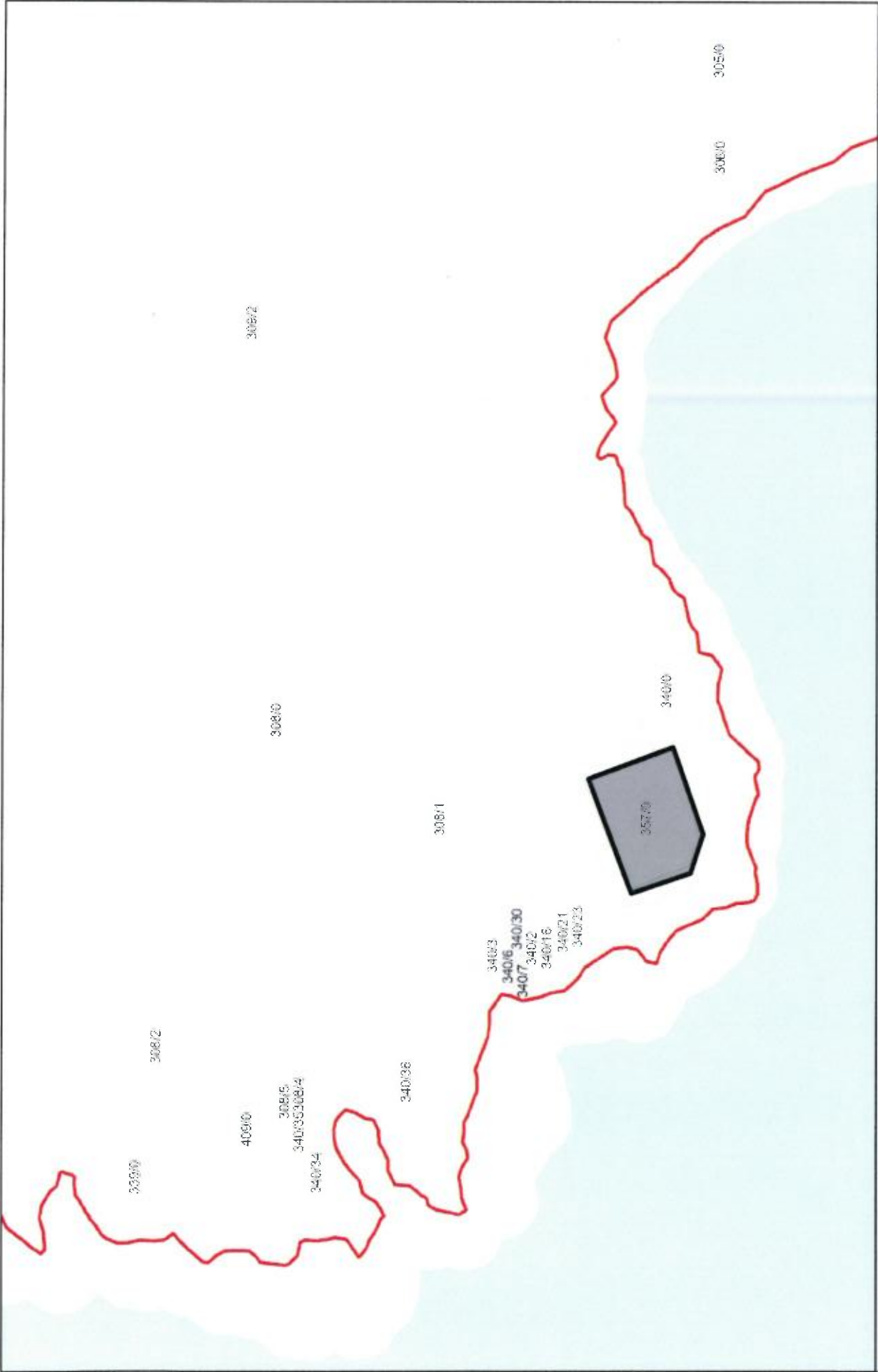
Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(l) en 16(2)(q) van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek ontvang is vir die wysiging van die goedgekeurde terreinontwikkelingsplan en vasstelling van 'n administratiewe boete ten einde verdere aanbouings op die eiendom te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en die Biblioteek, Hoofweg, Gansbaai. Enige skriftelike kommentaar op die voorstel moet ingevolge die bepalings van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / alida@overstrand.gov.za) bereik voor of op **22 Oktober 2021**, met vermelding van u naam, adres, kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr SW van der Merwe** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

INTSALELELA YE FARM BUFFELJACHTS NO.357, ICANDELO LASE BREDASDORP, KWINGINGQI KAMASIPALA WASE OVERSTRAND: ISICELO SOKUFAKWA KWESIHLOMELO KWISICWANGCISO SOPHUHLISO LWAMAZIKO ESIVUNYIWEYO NOKUMISELWA KWESOHLWAYO SOLAWULO: ABAXHASI TOWN AND COUNTRY NELIZWE EGAMENI LE-BUFFELJAGS ABALONE FARM (PTY) LTD

Kukhutshwa isaziso ngokumayela neCandelo 48, ofundwa kunye neCandelo 16(2)(l) kunye 16(2)(q) Lomthetho Otshintshiweyo kaMasipala wasekuhlaleni e-Overstrand malunga Nokucetywa Nokusetyenziswa Komhlaba kaMasipala, uMthetho kaMasipala Wasekuhlaleni ka-2020 (Umthetho kaMasipala Wasekuhlaleni), Ukuba kufunyenwe isicelo sokulungiswa kwesiCwangciso soPhuculo lweSiza kunye nokuzimisela kwesohlwayo solawulo

Iinkcukacha ezipheleleyo mayela noku kucetyiweyo ziyafumaneka ukuze zihlolwe phakathi evekini phakathi ko 08:00 no 16:30 kwiSebe: IokuCeba Idolophu ePaterson Street, Hermanus naseGansbaai Library, Main Road, Gansbaai. Amagqabaza okuhlomla abhaliweyo amele afakwe kuMasipala ngokwezibonelelo zeCandelo 51 neCandelo 52 lalo Mthetho Wasekuhlaleni kaMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngo okanye ngaphambi ko **22 uOktobha 2021** ubhale igama lakho, idilesi, iinkcukacha **zoqhagamshelwano**, kunye nomdla wakho kwisicelo nezizathu zokuhlomla. Imibuzo ngefowni ingabhekiswa ku**Mnu SW van der Merwe** ku 028-313 8900. UMasipala angangavumi ukwamkela amagqabaza okuhlomla afunyenwe emva komhla wokuvala. Nabani na ongakwaziyo kufunda okanye ukubhala angatyelela iSebe lokuCeba Idolophu apho igosa lakwamasipala liya kumnceda afake amagqabaza okuhlomla.





MOTIVATIONAL REPORT
PROPOSED AMENDMENT OF THE SITE DEVELOPMENT PLAN: FARM 357
BREDASDORP DIVISION

Ref. BRE/2527

1. INTRODUCTION

This office was appointed by Buffeljags Abalone Farm Pty Ltd in April 2021, to apply for a number of amendments from their Site Development Plan. An application for a Consent Use and Departure for an abalone farm on Farm 357 was approved by the Overstrand Municipal Council in March 2012. Since then, there has been amendments to the initial approval, due to requirements of the operational abalone farm changing. Further additions to the farm were made and is still required to keep it optimally functional, that requires an amendment to the approved Site Development Plan.

2. APPLICATION

Application is made for:

- An amendment of the applicable Site Development Plan in terms of section 16 (2)(l) of the Overstrand Municipality By-Law on municipal land use planning
- Determination of an Administrative Penalty in terms of Section 16 (2)(q) of the Overstrand Municipality By-Law on municipal land use planning

3. PROPERTY DETAILS

TOTAL AREA	10ha
REGISTERED OWNER	Buffeljags Abalone Farm Pty Ltd
Boundaries: North	Portion 1 of Farm 308
East	Rem of Farm 340 and Portion 1 of Farm 308
South	Rem of Farm 340
West	Rem of Farm 340

Farm 357 is registered under title deed T1210/2010

4. ZONING AND LAND USE RIGHTS

Farm 357 is zoned as Agriculture Zone 1. Approval for a Consent use for Aquaculture and building line departures was granted in 2012. A further consent was granted in July 2019 for two wind turbines, departures and amendment of the Site Development Plan.

The approvals were implemented, and activities are operational.

5. THE PROPOSED AMENDMENT OF THE SITE DEVELOPMENT PLAN

Since the approval issued in July 2019, a few urgent additions were made on site to keep the site operational, that still require the formal consent from Council. Amendment of the Site Development Plan is required to add the following:

5.1 Hatchery Extension (numbered no. 7 on the attached site plans and also the extract below)

The initial underroof hatchery was extended over the already existing concrete floor and tanks. The appearance of the extension looks the same than the existing structure (hatchery 1).

When erected, it was required to immediately get more of the tanks underroof to keep production running - to be able to control the climate and also keep elements outside. There were already tanks standing there and the footprint and floorplan remained the same. The area that was placed underroof (the hatchery extension as indicated), covers an area of ±389,09m². Please refer to the floorplan below.

5.2 Hothouse (numbered no. 8 on the site plan)

A hothouse was added to the layout. It is a wooden lean-to structure with a green Chromadeck roof, against the existing, approved hatchery. The concrete floor was existing and formed part of the original hatchery plan. The lean-to was required to cover a number of tanks, to protect the small animals against rain and wind. Productions was significant hampered in winter, due to the north western wind causing tank temperatures to significantly decline.

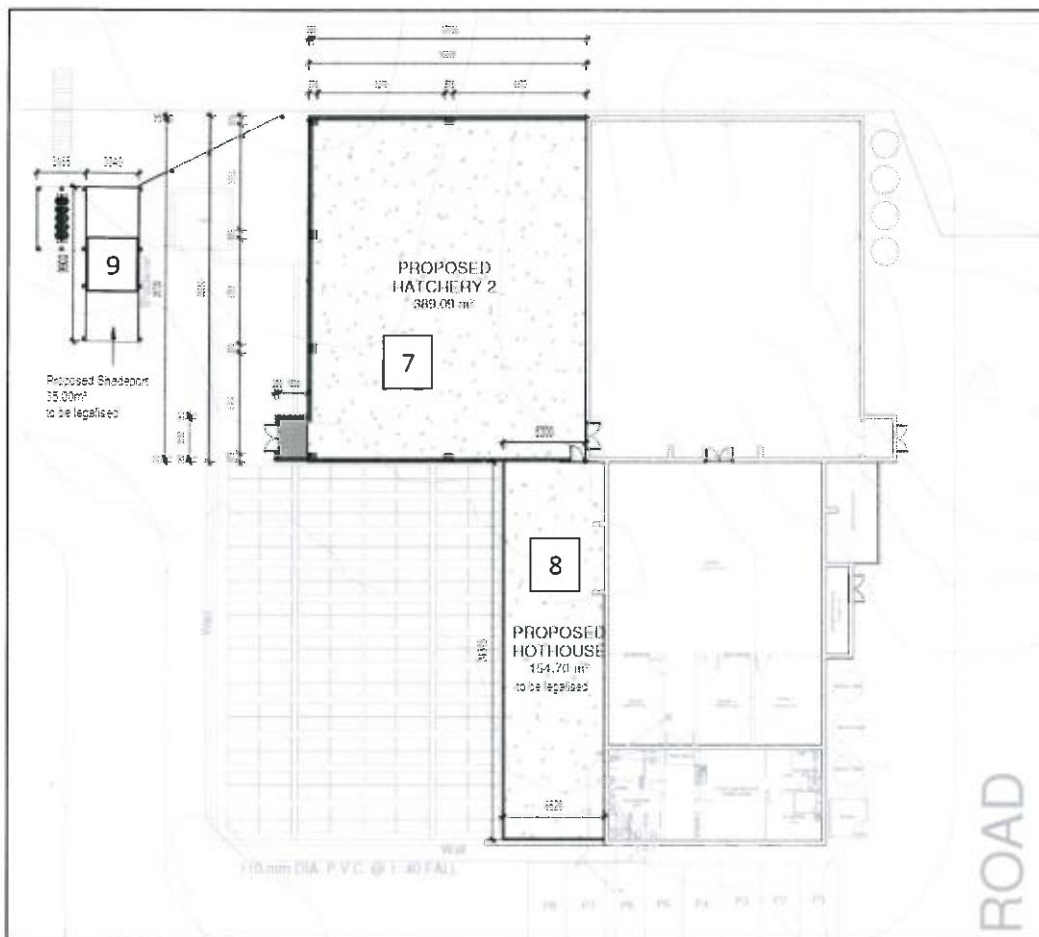
The area covered by the hothouse is 154,7m². Please refer to the floorplan below.

5.3 Boat Shade port (numbered no. 9 on the site plan)

A 35m² boat shade port was erected to allow for a protected area for the boat used to harvest kelp. The shade port is made of wooden poles and covered with a green Chromadeck roof and the sides are covered with shading net. No permanent floor area is provided.

The boat is used to harvest kelp for use in their abalone production on site. Too much damaged due to sun and wind occurred to the boat while standing unprotected outside.

Locals of the community are used when they go out to sea to help with the kelp cutting. People are picked up before going to sea and then again delivered home, before taking the boat back to the farm. Additional job opportunities are created for the local community, but no additional people enter the site.



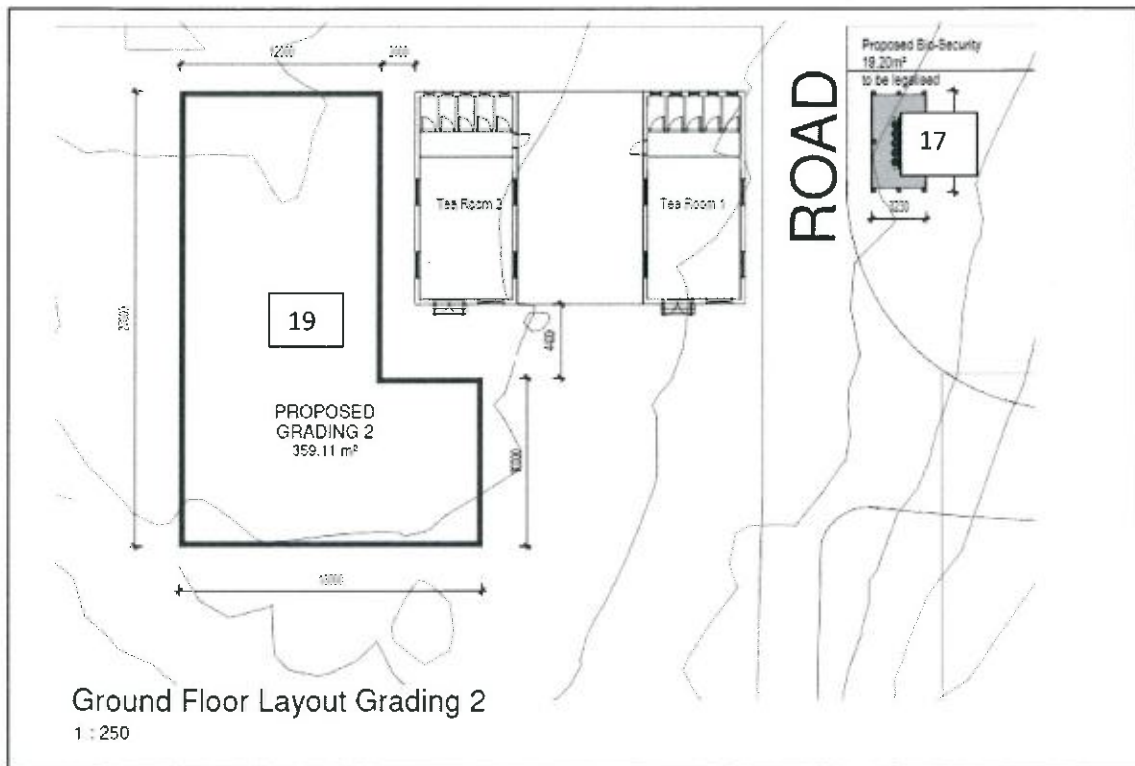
Extract from the site plan, indicating the layout of the new hatchery, hothouse and boat shade port.
5.4 Bio Security Hut 2 (numbered no. 17 on the site plan)

An additional Bio Security hut of ±19,2m² was erected as an additional measure to prevent disease from potentially spreading between different departments in the abalone facility. This bio security area consists of a concrete slab, wooden poles and a green Chromadeck roof. The sides are covered with Handy Planks and at the front and back there are gates to regulate

entrance. This additional bio security hut was required to allow employees to sanitise their hands and feet before entering the production area.

5.5 Grading Building 2 (numbered no. 19 on the site plan)

This grading building was approved as part of the 2012 plan, but the position, size and shape changed. The building will be used for grading and packing of the animals (still alive) into containers, before leaving the site to its destination. The area of the proposed building is 359,11m².



Extract from the site plan, indicating the location of the new bio security and grading building.

The grading and packing building is a new building. It will have a concrete floor, brick walls and a green Chromadeck roof.

The need for this building originated due to a larger area being required than was originally anticipated for grading and packing the abalone. Initially abalone was going to be packed in Hermanus, but due to the hi-jacking risk of transporting the unpacked abalone to Hermanus and the quality of the product being influenced, it was decided to pack the product on site and to transport it directly to the airport. No processing of the animal however takes place and is therefore still inline with the initial conditions

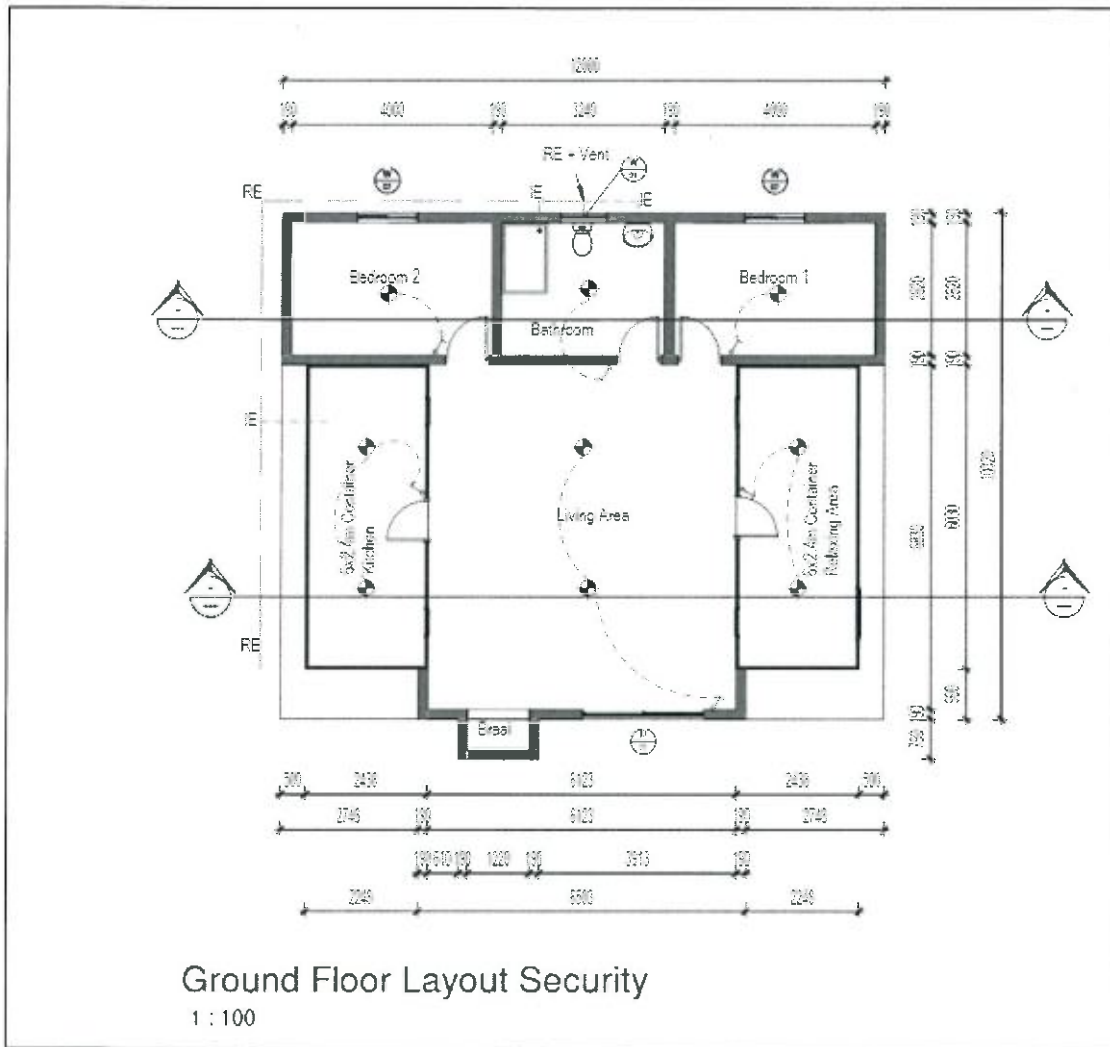
of approval. The same grading team will be used in this structure and now additional employment opportunities arise.

5.6 Security House (numbered no. 20 on the site plan)

Approval is required for a new 120m² security house that was erected, for security guards to be able to reside on the farm. With the initial application and approval of the Site Development Plan, guards were not going to reside on the property. The security situation has however significantly changed in Buffeljags, and abalone poaching is out of control and much more sophisticated than before. Various break-ins occurred on site since the start of the project and with Buffeljags falling outside the Jurisdiction of Gansbaai, police have to drive from Bredasdorp to assist on the farm. With insufficient internet and telephone signals it is not even always possible to alert the police of a situation.

The guard house generally consists of a combination of two containers and brickwork and allows for two bedrooms, a living area, kitchen and a bathroom. Please refer to the extract of the floorplan below.

The original SDP made provision for a maximum of two staff houses of 60m² each. Only one staff accommodation unit was however provided for as part of the admin building (indicated as number 3 on the current SDP). Application is made to allow the security house, to be seen as the second staff house and to allow for an area of 120m², in stead of the 60m² that was indicated on the original SDP.



Extract from the security house ground floor plan.

5.7 Sewerage Plant

An additional sewerage plant was erected, to be able to deal with the sewer generated by the plant.

6. APPLICATION FOR AN ADMINISTRATIVE PENALTY

Most of the amendments applied for have already been implemented, due to unforeseen needs and emergencies that occurred and that had to be addressed immediately. The applied for amendments were erected as follow:

1. Hatchery Extension: 2018
2. Hothouse: 2018
3. Boat shade: 2016
4. Bio Security Hut: 2017
5. 2nd Grading Building: Not yet erected. The building was approved as part of the 2012 SDP, but the size, shape and position changed.
6. Security House 2017
7. Sewerage Plant 2016

7. ACCESS & PARKING

Access and parking remain as were previously approved, since no additional job opportunities are created with the amendment.

8. SERVICES

The provision of services basically remains as were previously approved, except that the amendment allows for an additional 10m² sewerage plant.

9. RELEVANT OVERHEAD PLANNING POLICY

Various local, provincial and national forward planning documents are applicable to the application.

9.1 OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK (SDF)

The vision of the Overstrand SDF is based on the vision of the Overstrand IDP and is as follows:

'Overstrand Municipality is striving to be the most desirable destination to visit, stay and do business.'

In order to achieve this, the document identifies various principles:

Development Principles:

- Efficient and integrated planning – Promote efficient and integrated planning and development through:
 - Integrated development and planning in rural and urban areas with a view to mutual support
 - Optimal utilisation of existing developed resources including bulk infrastructure
 - Promotion of compaction and densification as opposed to low-density sprawl
 - Protection of the agricultural resource base
 - Spatially co-ordinating sectoral activities
 - Addressing historically distorted spatial patterns

RELEVANT GOALS & OBJECTIVES FORMULATED BY THE DOCUMENT INCLUDE AMONG OTHER THE FOLLOWING:

Goal	Objective
To provide an environmentally and economically sustainable bulk service infrastructure and road transport network.	<ul style="list-style-type: none"> • To ascertain the overall carrying capacity of existing bulk services related to existing and future growth, and where appropriate, determine flood lines; • To identify critical problem areas relating to bulk water supply, groundwater abstraction and quality; • To improve and maintain the standard of bulk services with particular reference to bulk water supply, sewerage and solid waste and sewage management; and • To create an efficient, well defined hierarchy of roads.
To address the social needs and expectation of all sections of the community.	<ul style="list-style-type: none"> • To provide access to a full spectrum of social services and facilities; • To ensure the provision of basic housing and services; • To encourage public participation in all issues of public concern; and • To co-ordinate the joint management of certain functions on a sub-regional level, e.g. sporting facilities, education and health facilities.
To promote the conservation and sustainable use of the natural resources in the Overstrand municipal area.	<ul style="list-style-type: none"> • To protect, conserve, and restore where appropriate, all areas deemed to be conservation worthy; • To ensure that the impact of existing and proposed development is adequately evaluated from a holistic environmental perspective, taking current and future generations into account; • To promote the sound management of natural areas to ensure their sustainability; • Rehabilitate and/or restore degraded and disturbed environments where necessary to meet conservation

	<p>or environmental management objectives;</p> <ul style="list-style-type: none"> • To limit and control development and activities within environmentally sensitive and/or conservation worthy areas so as to ensure their sustainability taking into account affects on biodiversity; • To promote efficient use of water and energy resources; and • To implement water conservation and demand management objectives within municipal areas in order to promote savings and decrease the demand for costly bulk water supply systems.
<p>To ensure that ongoing development pressure and its spatial implications are managed in a sustainable manner that protects the unique character of the existing cultural landscape and the place-specific character and form of the existing settlement pattern.</p>	<ul style="list-style-type: none"> • To promote a spatial development pattern that contains urban sprawl/urban development and promotes compact well-defined settlements; • To retain and strengthen the unique identity of the municipal areas and its districts; • To determine clear limits to urban development and define the urban edge/limits of existing settlements; • To conserve and improve the visual quality of the landscape and the scenic route experience of the primary movement corridors; and • To improve the aesthetic quality of the built environment.

In terms of the SDF specifically for the Buffeljags area:

‘Buffeljags is a small residential community associated with abalone farming along the easternmost coastal border of the Overstrand.’

Buffeljags is surrounded by CBA and protected areas. These areas should be preserved and maintained. This is re-iterated in the proposed EMOZ regulations.

In terms of Local Spatial Development and and Growth Management Principles:

- i) Promote: - Buffeljags as a fishing settlement and investigate its potential for the area’s further development as a specialist mari-culture area.
- ii) Restrict: - further residential development must be restricted until a local development framework has been compiled for the area.

PROPOSED DEVELOPMENT COMPLIANCE

The amended Site Development Plan is not in contravention of these overhead planning principles for Buffeljags. The enhancements that are apply for, does ensure that the facility remains optimally functional and sustainable.

8.2 OVERSTRAND SECTORAL DENSIFICATION STRATEGY

A densification study was completed by Urban Dynamics, for the Overstrand Municipality in 2010. The objective of this study is to:

- Promote a more compact, denser, efficient and environmentally sustainable;
- Protect sensitive environments and resources within and outside the urban edge; and
- Rationalise bulk infrastructure and service capacity to ensure that the bulk capacity is provided in the urban areas where growth and development is considered desirable

Critical Contextual Informant being used in the study, includes:

- Historical Development Pattern and Heritage Resources of the towns and settlements within the Overstrand Municipal Area,
- Current Land Use and Distribution Patterns (zoning, densities, land ownership, land values, erf sizes)
- Natural elements and setting
- Population growth and Housing demand
- Bulk Service Capacities
- Traffic capacities and circulation

The Overstrand Sectoral Densification strategy is not relevant to the amendments applied for.

8.3 PROVINCIAL SPATIAL DEVELOPMENT FRAMEWORK (PSDF) 2014

The Western Cape Provincial SDF was approved in 2014 by the Western Cape Parliament and serves as strategic spatial planning tool that “communicates the provinces spatial planning agenda”.

The recent shift in legislative and policy frameworks have clearly outlined the roles and responsibility of provincial and municipal spatial planning and should be integrated towards the overall spatial structuring plan for the province to create and preserve the resources of the province more effectively through sustainable urban environments for future generations. This shift in spatial planning meant that provincial inputs are in general limited to provincial scale planning. However, it is important to note some of the key policies laid down by the PSDF have a bearing on the application.

The proposed development compliments the SDF spatial goals that aim to take the Western Cape on a path towards:

- (i) Greater productivity, competitiveness and opportunities within the spatial economy;
- (ii) More inclusive development in the urban areas;
- (iii) Strengthening resilience and sustainable development.

Key policies that is supported by this application:

Policy E3: Revitalise and Strengthen Urban Space-Economies as the Engine of Growth

5. Existing economic assets (e.g. CBDs, township centres, modal interchanges, vacant and under-utilised strategically located public land parcels, fishing harbours, public squares and markets, etc.) should be targeted to levers the regeneration and revitalisation of urban economies.

10. Incentives should be put in place to attract economic activities close to dormitory residential areas, facilitate brownfields development.

Policy S3: Ensure Compact, Balanced & Strategically Aligned Activities & Land Uses

This policy reflects the main aim of the policy through targeting economic assets (e.g. Modal Interchanges underutilised strategically located land parcels) should be used as a lever to regenerate and revitalise urban settlements.

Promoting functional integration and mix land use to increase liability of urban areas. Thus the policy specifies the importance to- increase density of settlements and number of units in new housing projects; continue to deliver public investment to meet the needs in settlement developments; integrate packages of land, infrastructure and services as critical to promote densification and efficiency associated with agglomeration.

9. CRITERIA FOR CONSIDERATION OF APPLICATION

The Overstrand Municipal By-Law on Municipal Land Use Planning list a number of criteria that an application needs to meet. The relevant points to the information that a planning application will have to include are listed below and the application is evaluated in terms of these points.

9.1 The desirability of the proposed utilisation of land and any guidelines issued by the Provincial Minister regarding the desirability of proposed land uses.

The Western Cape Spatial Development framework has a strong emphasis on revitalising urban spaces creating an urban living environment which is more convenient, efficient and aesthetically pleasing to residents. The proposed amendments are not directly impacted on by the Western Cape SDF. The amendments do however assist in making the abalone plant economically more viable.

9.2 The impact of the proposal on Municipal Engineering Services

The amendments do not impact on the Municipal Engineering Services.

9.3 District and Municipal Forward Planning Documents

The proposal complies with overhead planning documents.

9.4 Complies with Section 42 of the SPLUMA and Chapter 6 of LUPA:

The Spatial Planning and Land Use Management Act (SPLUMA) and Land Use Planning Act (LUPA) came into effect in the Overstrand Municipality. One of the main objectives of this act is to provide a framework for spatial planning and land use management to address past spatial and regulatory imbalances.

Section 42 of SPLUMA and Chapter 6 of LUPA prescribe certain aspects that have to be taken into consideration when deciding on an application. These are:

- development principles set out in Chapter 2 of SPLUMA
- protect and promote the sustainable use of agricultural land
- national and provincial government policies
- the municipal spatial development framework; and take into account—
 - (i) the public interest;
 - (ii) the constitutional transformation imperatives and the related duties of the State;
 - (iii) the facts and circumstances relevant to the application;
 - (iv) the respective rights and obligations of all those affected;
 - (v) the state and impact of engineering services, social infrastructure and open space requirements; and
 - (vi) any factors that may be prescribed, including timeframes for making decisions.

SPLUMA and LUPA sets out the following 5 main development principles applicable to spatial planning, land use management and land development:

1. Spatial justice
2. Spatial sustainability
3. Efficiency (optimising the use of existing resources and infrastructure)
4. Spatial resilience (allow for flexibility in spatial plans)
5. Good administration

Compliance with SPLUMA & LUPA Principles:

As discussed in this report, this development proposal is consistent with the approved statutory spatial policy framework for the area, as well as the Provincial Spatial Development Framework. The table below indicates how the proposed development will be consistent with the SPLUMA principles.

<i>SPLUMA & LUPA Principle</i>	<i>Compliance</i>
<i>Spatial Justice</i>	The development allows for a multi-functional use, ensuring the optimal use of a well-located property.
<i>Spatial Sustainability</i>	The proposal is in line with existing overhead planning document, that support the provision of tourist facilities.
<i>Spatial Efficiency</i>	The guesthouse, will be accommodated a single residential house, allowing the owner to make an income from his residence.
<i>Spatial Resilience</i>	The proposal is in line with overhead planning documents recommending intensification inside the Urban Edge.
<i>Good Administration</i>	This principle has no direct bearing on the application, however, the Overstrand municipality is obligated to consider the application fairly and within the timeframes provided in terms of the municipal planning bylaw.

10. DESIRABILITY

10.1 Title Deed

- There are no restrictions in the deed that requires a removal of restrictions.

10.2 Physical Characteristics of the Property

- The structures applied for as part of the amendment blend in with existing buildings and structures on site.

10.3 Overhead Planning

- The existing abalone farm is in line with overhead planning for the Overstrand area. The amendments contribute towards making the area economically and socially more competitive.

10.4 Visual Impact

No visual impact is anticipated, with all buildings being similar in design and forming part of the already operation abalone farm.

10.5 Overhead Planning

The project complies with the overhead planning for the area:

- The proposal is line with the Spatial Development Framework for this area.

10.6 Compliance with SPLUMA & LUPA

The proposal follows the principles of SPLUMA & LUPA.

10.7 Economic Benefit to the Overstrand Municipality and local community

Improvements that were made and is still underway, will ensure economic benefit to the Overstrand Municipality and also the local Buffeljags community due to it keeping the existing abalone farm productive. The most significant benefits from the amendments to the Abalone Farm will be the contribution towards sustainable employment and the local economic income. Even though no new job opportunities are created, the changes make the operation more productive and sustainable.

11. CONCLUSION

The proposed amendment of the site development plan is not asking for any additional land use rights. The current SDF had to be however amendment to allow for a number of structures, that makes the existing facility more functional and productive.

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GENERAL:

1. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.
2. All dimensions and levels to be checked on site before any work commences.
3. The drawing is not to be scaled and only given dimensions are to be used.
4. All work to be carried out in accordance with local safety requirements.
5. All levels unless otherwise indicated are finished floor levels.
6. Proposed floor levels are to be shown from datum RL 0.0.
7. All drawings to be carried out in accordance with the Architect's instructions.
8. All drawings to be carried out in accordance with the Architect's instructions.
9. Structural work to comply with International Building Regulations.

LEGEND:

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/Concrete
- New Soil pipe
- New Waste Pipe
- New Stormwater Line

No	Date	Description	By
1		Revision Schedule	

IMPORTANT NOTE:

1. THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSERS AS SETTER

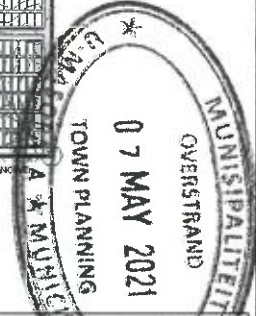
PROJECT:
PROPOSED NEW SDP & BUILDINGS FOR BUFFELLAGS ABALONE FARM ON ERF 357 BUFFELLAGSBAAI, OVERSTRAND.

DESCRIPTION:
SITE PLAN

SCALE	DRAWING #
As indicated	357/BAF/20/
DRAWING DATE:	05 AUG 2020
DRAWN:	JLSG
CHECKED:	JLSG
REVISION #:	
REVISION DATE:	01-Feb-21 4:23:19 PM

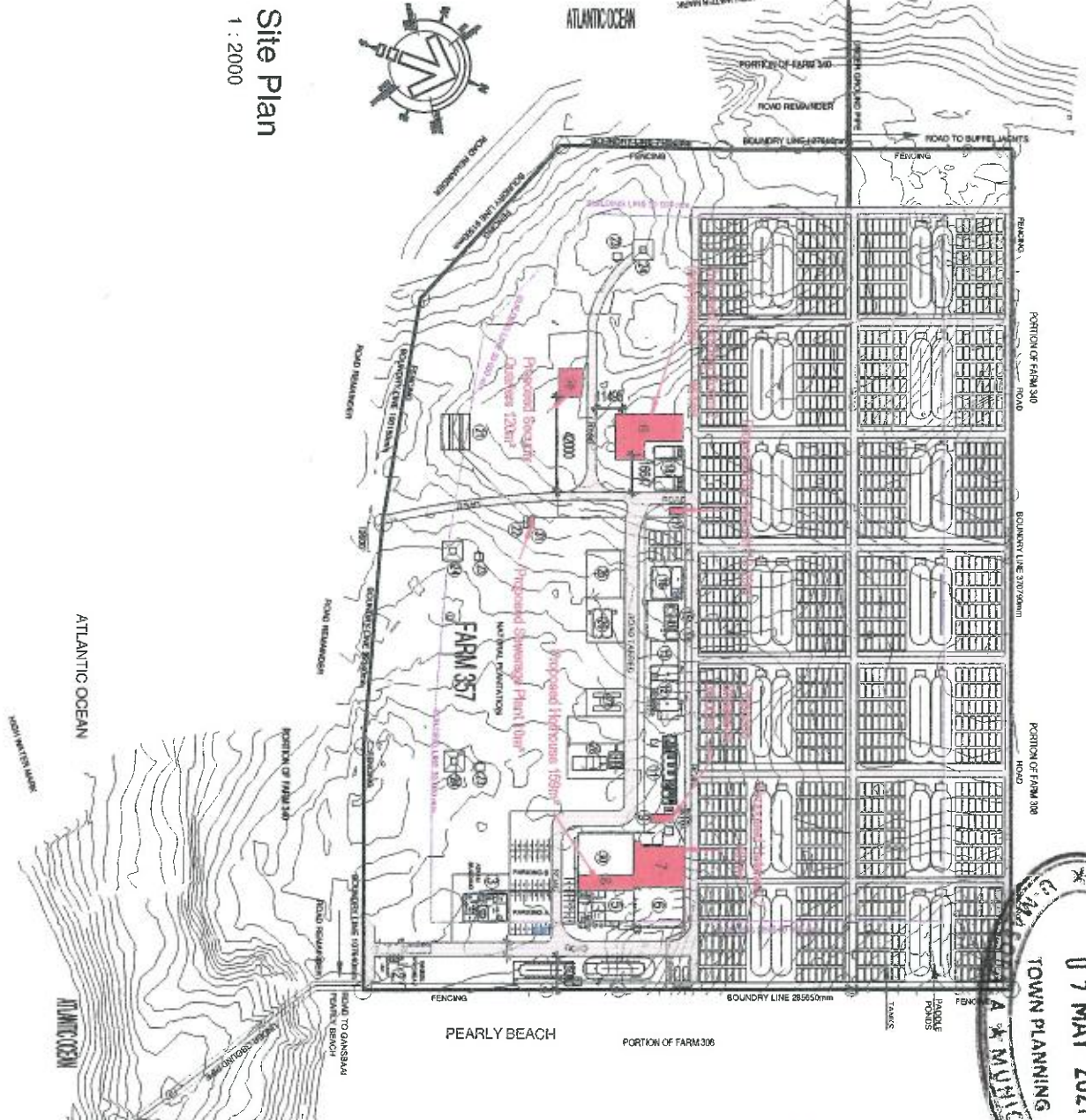
GERICKE ARCHITECTURE

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 SACAP - D2869 Prof Arch Draught



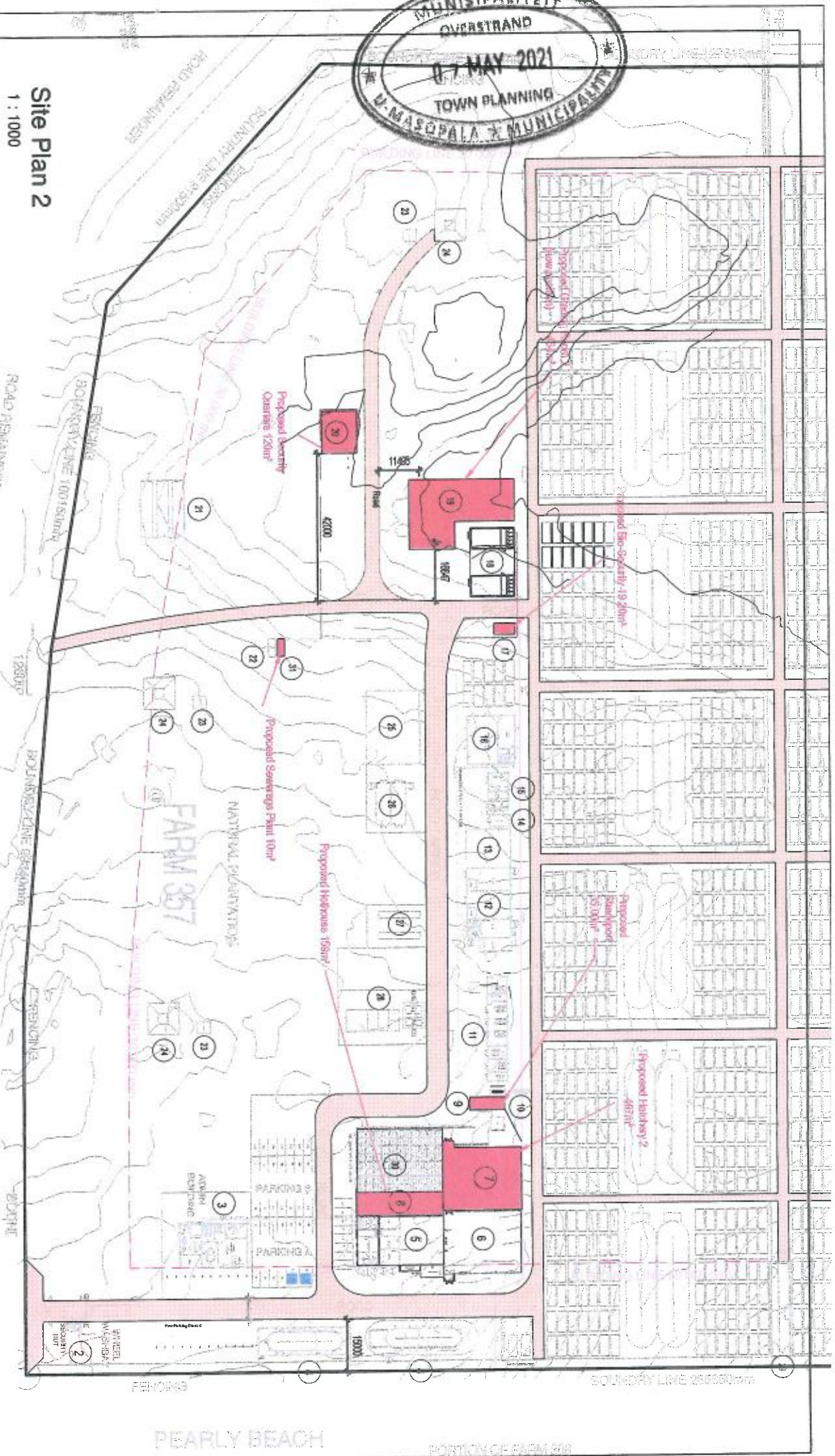
AREAS	PROPERTY DESCRIPTION	DEVELOPMENT CONTROL MEASURES
1.	Pump Room	- 54,00m ²
2.	Security Hut	- 16,00m ²
3.	Admin Building	- 245,00m ²
4.	Paddle Ponds	- 510,00m ²
5.	Store/Reception	- 368,00m ²
6.	Hatchery 1	- 356,00m ²
7.	Hatchery 2	- 467,00m ²
8.	Hatchery	- 139,00m ²
9.	Big Security Hut 1	- 13,00m ²
10.	Generator 1	- 175,00m ²
11.	Workshop & Tea Room	- 288,00m ²
12.	Shed	- 139,00m ²
13.	Control Room	- 22,00m ²
14.	Generator 2	- 66,00m ²
15.	Grading Building 1	- 197,00m ²
16.	Shed Security Hut 2	- 18,00m ²
17.	Shed Security Hut 2	- 152,00m ²
18.	Shed Security Hut 2	- 18,00m ²
19.	Shed Security Hut 2	- 152,00m ²
20.	Shed Security Hut 2	- 18,00m ²
21.	Maturation Plant	- 120,00m ² No area
22.	Sewerage Plant	- 17,38m ²
23.	Generator rooms x 3	- 36,00m ²
24.	WTG Base x 3	- 27,00m ²
25.	Basket Cleaning	- 324,00m ²
26.	Advised Store	- 105,00m ²
27.	Storage Containers	- 48,00m ²
28.	Diesel Tanks & Storage walls	- 165,00m ²
29.	Spilt area	- 29
30.	Covered Shednet & tanks	- 446,00m ²
31.	Shed Security Hut 2	- 18,00m ²

Tank Platforms	Total Floor Area
- 45,00m ²	- 4997,00m ²
Coverage - Floor Area	- 5,00%
Coverage - Tanks	- 45%
Coverage - Total	- 50,90%



Site Plan
1 : 2000





Site Plan 2
1 : 1000

LEGEND:

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/ Concrete
- Existing buildings/structures
- New Sewerage line - 110mm PVC
- New Stormwater Line

No.	Date	Revision Schedule	Description	By

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GENERAL:
1. All sections to comply with NATIONAL BUILDING REGULATIONS.
2. All dimensions and levels to be indicated on this drawing are in meters unless otherwise stated.
3. This drawing is not to be used for any other purpose than that for which it was prepared.
4. All work to be done and materials to be used are to be indicated on this drawing.
5. All work to be done and materials to be used are to be indicated on this drawing.
6. All work to be done and materials to be used are to be indicated on this drawing.
7. All work to be done and materials to be used are to be indicated on this drawing.
8. All work to be done and materials to be used are to be indicated on this drawing.
9. All work to be done and materials to be used are to be indicated on this drawing.
10. All work to be done and materials to be used are to be indicated on this drawing.

PROJECT DESCRIPTION:
PROPOSED NEW SPP & BUILDINGS FOR BUEFFELING'S AVALON FARM ON ERF 357 BUEFFELING'SBAAL OVERSTRAND.

SITE PLAN LARGER

SCALE: 1 : 1000
DRAWING DATE: 05 AUG 2020
DRAWING #: 357/BAF/20/2

DRAWN: Author
CHECKED: Checker
REVISION #: 01-Feb-21 4:23:22 PM
PLOT DATE:

ARCHITECTURE

www.george-architecture.co.za
george@george-architecture.co.za
Tel : 028 384 1555 Sat : 022 453 8554
SACAP : 02865 Prof. Brian Draught

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GENERAL:

1. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS
2. All dimensions and levels to be checked on site before any work is to be undertaken
3. All work shall be carried out in accordance with local authority requirements.
4. All pipes unless otherwise indicated are finished floor levels.
5. Finished floor levels are to be min. 150mm above N.G.L.
6. Any discrepancies are to be reported to the client in the office of the Architects.
7. All glazing to comply with National Building Regulations.
8. Building to comply with National Building Regulations.
9. Structure work to comply strictly with accordance to the architect's details.

LEGEND:

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/Concrete
- New Soil pipe
- New Waste Pipe
- New Stormwater Line

No.	Date	Description	By
1		Revision Schedule	1/8/

IMPORTANT NOTE:

- THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!
1. ALL GLAZING ACCORDING TO ENERGY CALCULATIONS
 2. ISOTHERMAL INSULATION IN ROOF VOID
 3. SOLAR CEILING/SUN SCREEN

PROJECT:
PROPOSED NEW SDP & BUILDINGS FOR
BUFFELLAGSABALONE FARM ON ERH-357
BUFFELLAGSBAAL, OVERSTRAND.

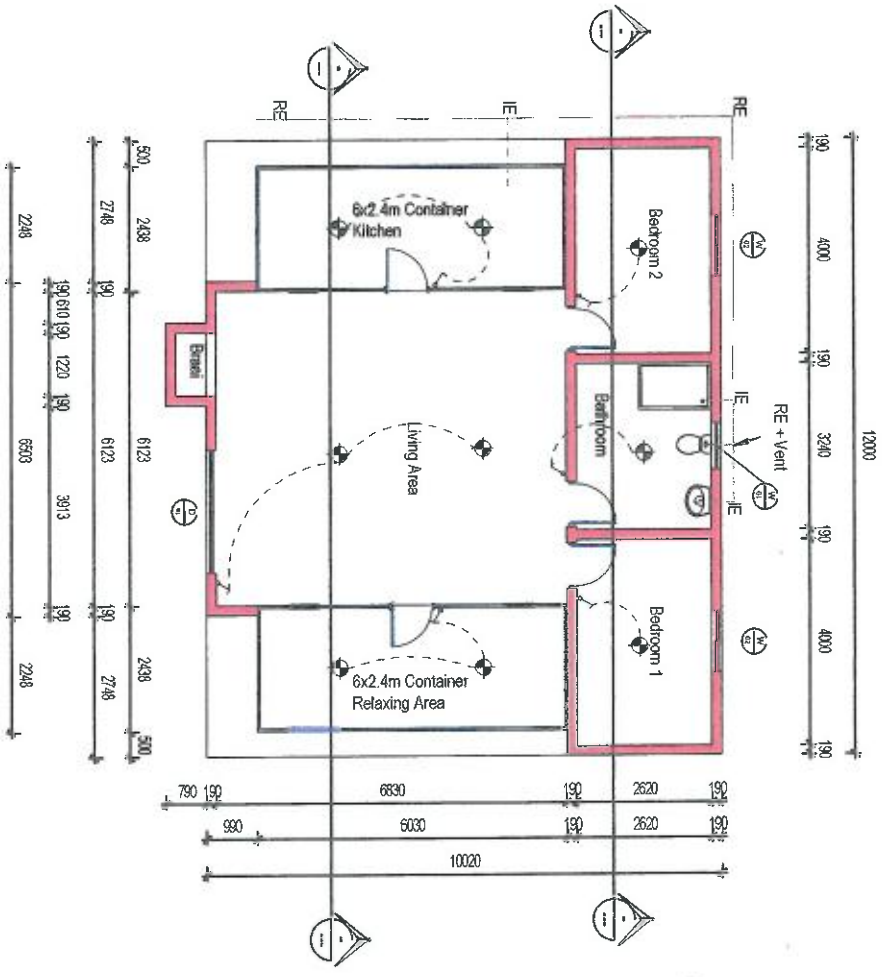
DESCRIPTION:
GROUND FLOOR SECURITY

SCALE:	DRAWING #:
1 : 100	857/BAF/20/3
DRAWING DATE:	05 AUG 2020

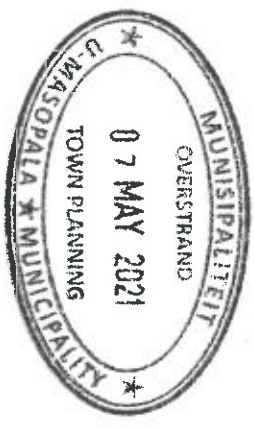
DRAWN:	REVISION #:
Author	
CHECKED:	PLOT DATE:
Checker	01-Feb-21 4:23:23 PM



www.gercke-architecture.co.za
gerckearchitecture@gmail.com
Tel : 028 384 1659 Sel : 082 453 8554
SACAP : D2869 Prof Arch Draught



Ground Floor Layout Security
1 : 100



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2. All dimensions and levels to be checked on site before any work commences.
3. The drawing is not to be scaled and only figured dimensions are to be used.
4. All work is to be carried out in accordance with the relevant specifications.
5. All levels unless otherwise indicated are finished and true.
6. Proposed work reference to be shown 150mm above K.F.S.L.
7. All drawings to be made up with year in the title block.
8. Structural work to comply with national building regulations.
9. Structural work to comply strictly with accordance to Eiric's service & details.

LEGEND:

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/ Concrete
- New Soil pipe
- New Waste Pipe
- New Stormwater Line

No.	Date	Revision Schedule Description	By
1			

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADOPTED TO AVOID INSTALLED BEFORE SIGN OFF OF DWELLING:

1. ALL GRADING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSERS/GEYSER

PROJECT:
 PROPOSED NEW SDP & BUILDINGS FOR
 BUIFELLAGS ABALONE FARM ON ERF 957
 BUIFELLAGSBAAI, OVERSTRAND.

DESCRIPTION:
 GROUND FLOOR LAYOUT GRADING 2

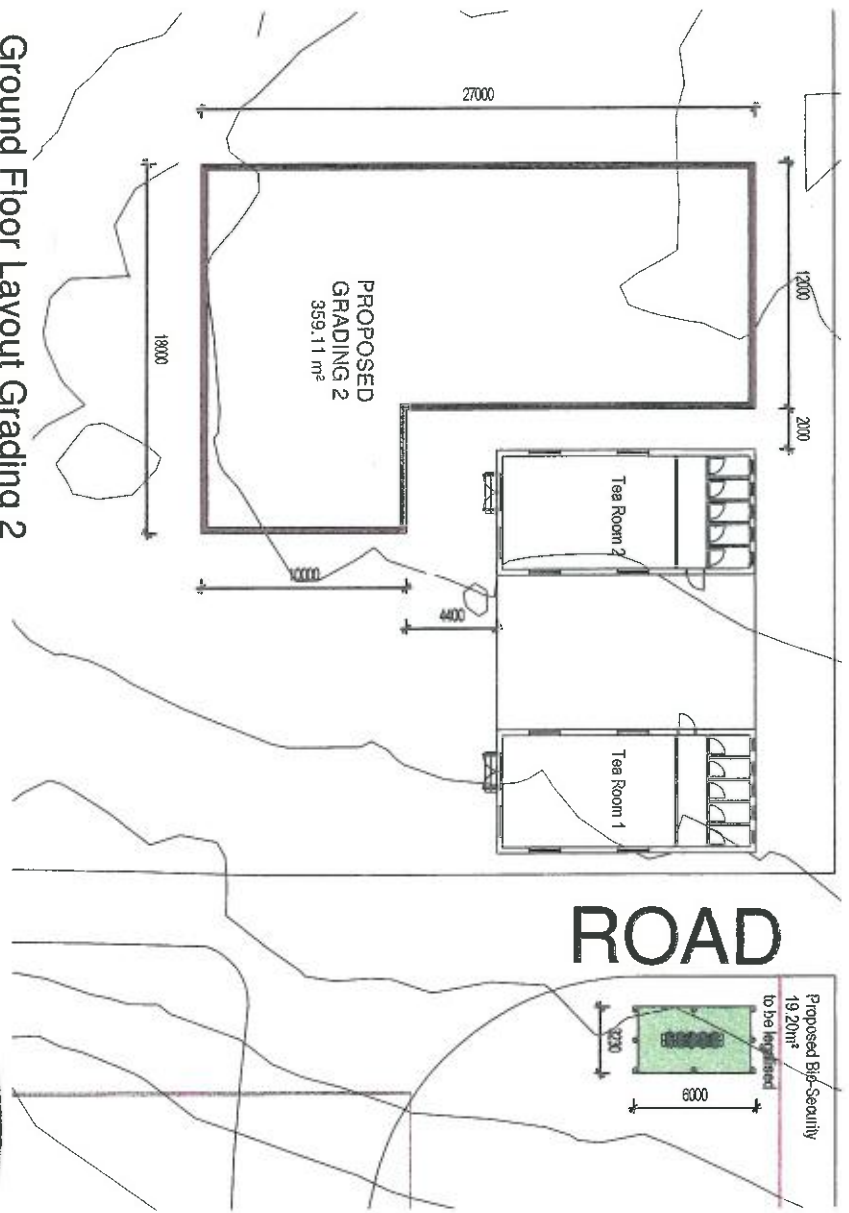
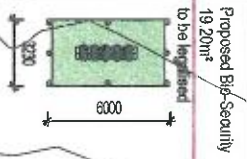
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1 : 250	357/BAF/20/3.1
DRAWING DATE:	DATE:
05 AUG 2020	

DRAWN/	REVISION #:
Author	
CHECKED:	PLOT DATE:
Checker	01-Feb-21 4:23:24 PM



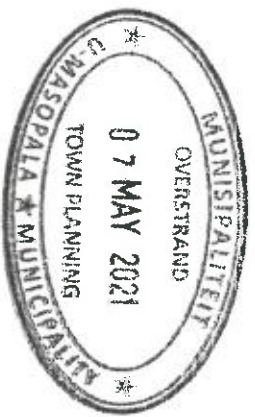
www.gerlücke-architecture.co.za
 gerd@gerlücke.co.za
 Tel: 028 384 1659 SdI: 082 453 8554
 SACAP: 02869 Prof Arch Draught

ROAD



Ground Floor Layout Grading 2

1 : 250



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GENERAL:

- ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.**
1. All dimensions and levels to be checked on site before any work commences.
 2. This drawing is not to be scaled and any given dimension are to be used.
 3. All work is to be carried out in accordance with local authority requirements.
 4. All lines unless otherwise indicated are finished floor levels.
 5. All dimensions are to be measured to the centre of the structure.
 6. All drawings to comply with part 11 of the BQB.
 7. All drawings to comply with National Building Regulations.
 8. Structures to be constructed in accordance with the Engineer's specifications.
 9. Structures to be constructed in accordance with the Engineer's specifications.

LEGEND:

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/ Concrete
- New Soil pipe
- New Waste Pipe
- New Stormwater Line

No.	Date	Description	By
1		Revision Schedule	

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSERS OFF-PEAK

PROJECT:
PROPOSED NEW SDP & BUILDINGS FOR BUFFELLAGS ABALONE FARM ON ERF 357 BUFFELLAGSBAAI, OVERSTRAND.

DESCRIPTION:
GROUND FLOOR LAYOUT HATCHERY 2

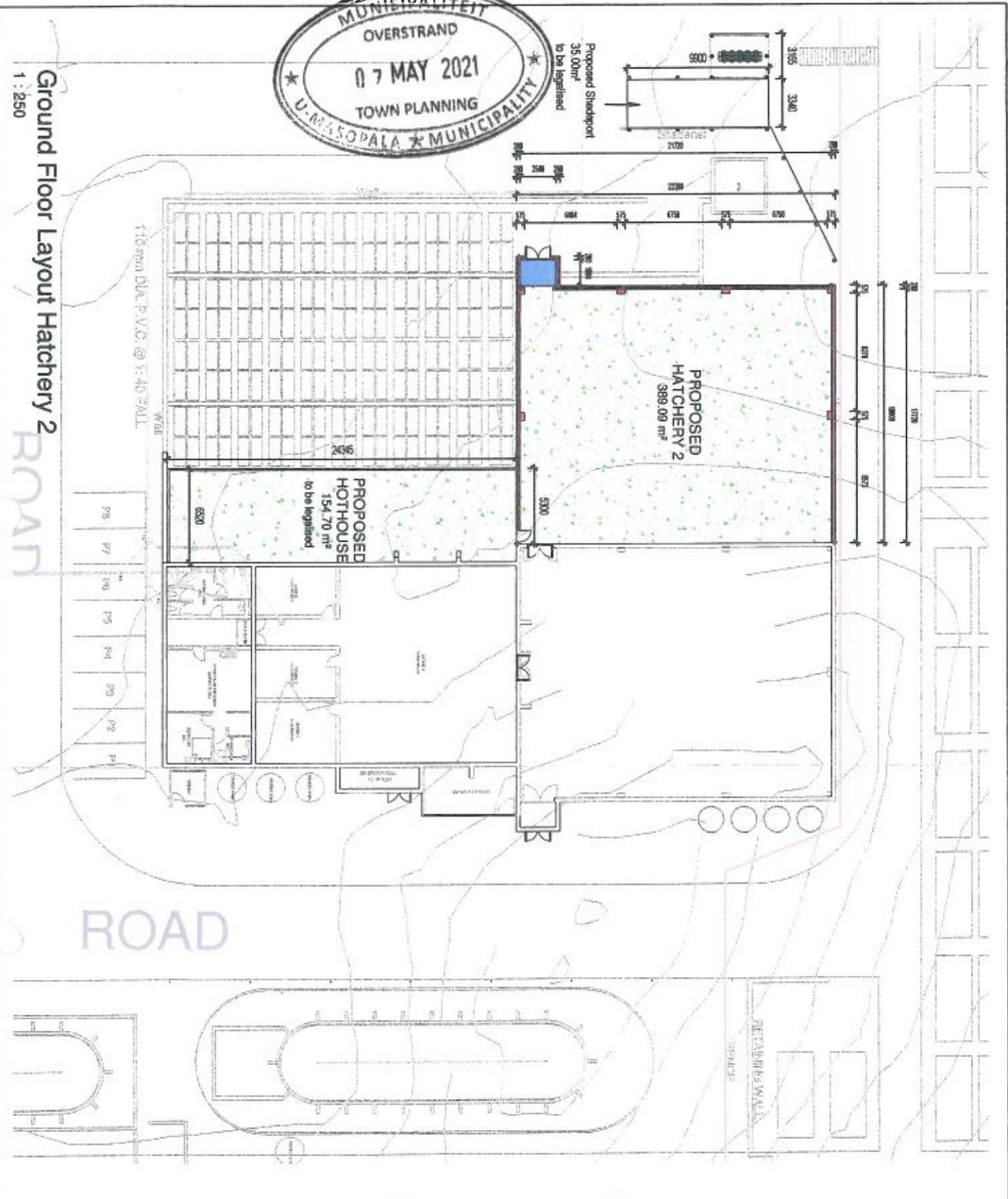
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DRAWING DATE:	357/BAF/20/32
05 AUG 2020	

DRAWN:	REVISION #:
J.L.S.G	

CHECKED:	PLOT DATE:
J.L.S.G	01-Feb-21 4:23:25 PM



www.geritckearchitecture.co.za
 gerald.geritckeu@gmail.com
 Tel: 028 304 1559 Sdl : 082 453 8554
 SACAP : D2869 Prof Arch Draught



Ground Floor Layout Hatchery 2

1 : 250








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GENERAL:

1. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.
2. All dimensions and levels to be checked on site before any work commences.
3. The drawing is not to be scaled and any specific dimensions are to be used.
4. All work to be carried out in accordance with local building requirements.
5. All work to be carried out in accordance with local building requirements.
6. Finished floor levels are to be 100 mm. 100 mm above N.G.L.
7. Any discrepancies are to be reported to the office of the Architect.
8. All lighting to comply with part N of the NBC.
9. Building to comply with National Building Regulations.
10. Structural work to comply strictly with accordance to Euro 2 specs & details.

LEGEND:

-  New Brickwork
-  New Timberwork
-  New Steel
-  New Foundation/Concrete
-  New Soil pipe
-  New Waste Pipe
-  New Stormwater Line

No.	Date	Description	By
1		Revision Schedule	1 BY

IMPORTANT NOTE:

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING TO REVISION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSERS/SERVICES

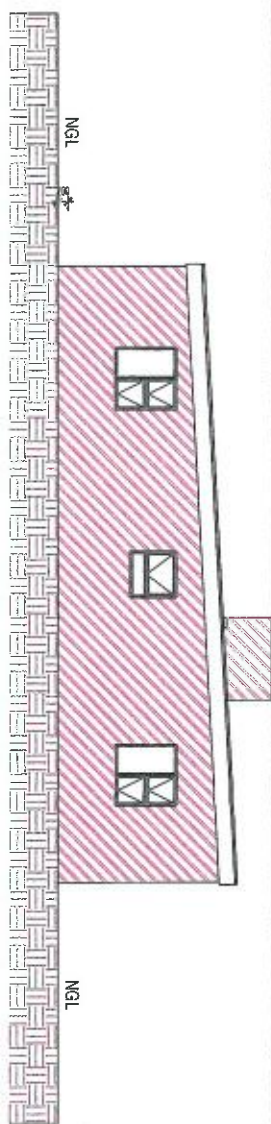
PROJECT:
 PROPOSED NEW SDP & BUILDINGS FOR
 BUFFELLAGS ABALONE FARM ON ERF 357
 BUFFELLAGSBAAL, OVERSTRAND.

DESCRIPTION:
 ELEVATIONS SECURITY

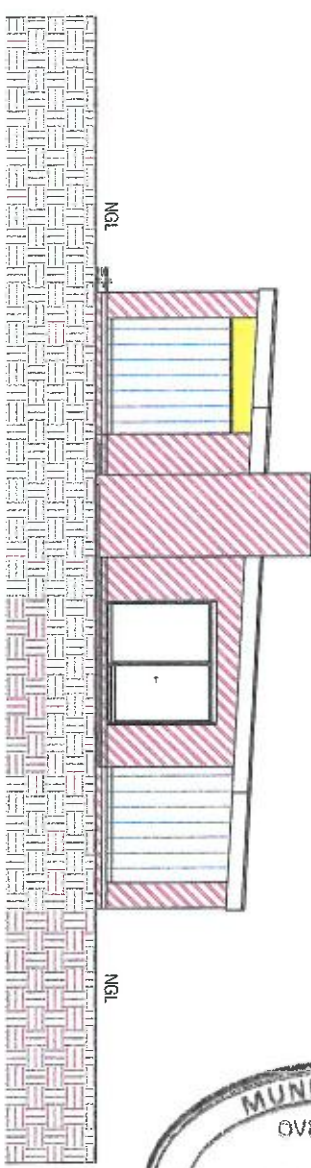
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DRAWING DATE:	05 AUG 2020
DRAWN:	REVISION #
AUTHOR:	
CHECKED:	PLOT DATE:
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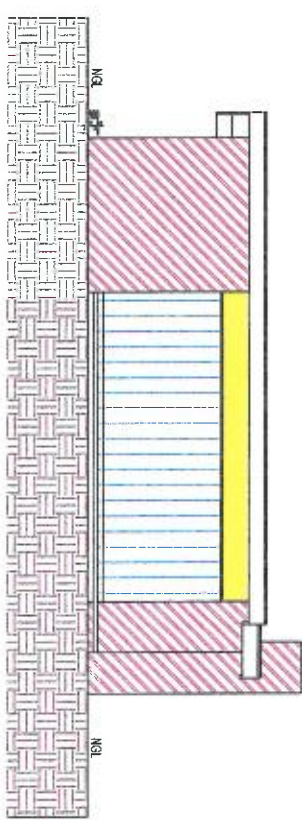
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 geritjke@geritjke.com
 Tel: 028 384 1559 Sef: 082 453 8554
 SACAP: D2869 Prof Arch Draught



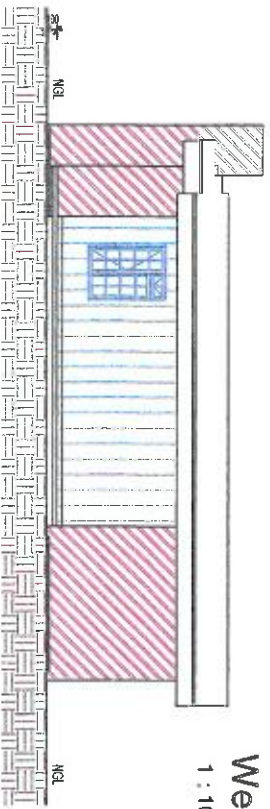
North Elevation Security
1 : 100



South Elevation Security
1 : 100



West Elevation Security
1 : 100



East Elevation Security
1 : 100

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 2. This drawing is not to be scaled and only figured dimensions are to be used.
 3. All work is to be carried out in accordance with local authority requirements.
 4. All work unless otherwise indicated, are British New York.
 5. Material quantities are to be taken from above N.S.I.
 6. All work is to be carried out in accordance with the Architect's instructions.
 7. All drawings to comply with National Building Regulations.
 8. Structural work to comply with National Building Regulations.

LEGEND:

-  New Brickwork
-  New Timberwork
-  New Steel
-  New Foundation/ Concrete
-  New Soil pipe
-  New Waste Pipe
-  New Stormwater Line

No.	Date	Description	By
1		Revision Schedule	

IMPORTANT NOTE:

- THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!
1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
 2. ISOTHERM INSULATION IN ROOF VOID
 3. SOLAR GEOTHERMS DEVICES

PROJECT:
 PROPOSED NEW SDP & BUILDINGS FOR
 BUPELJAGS ABALONE FARM ON ERF 957
 BUPELJAGSBAAI, OVERSTRAND.

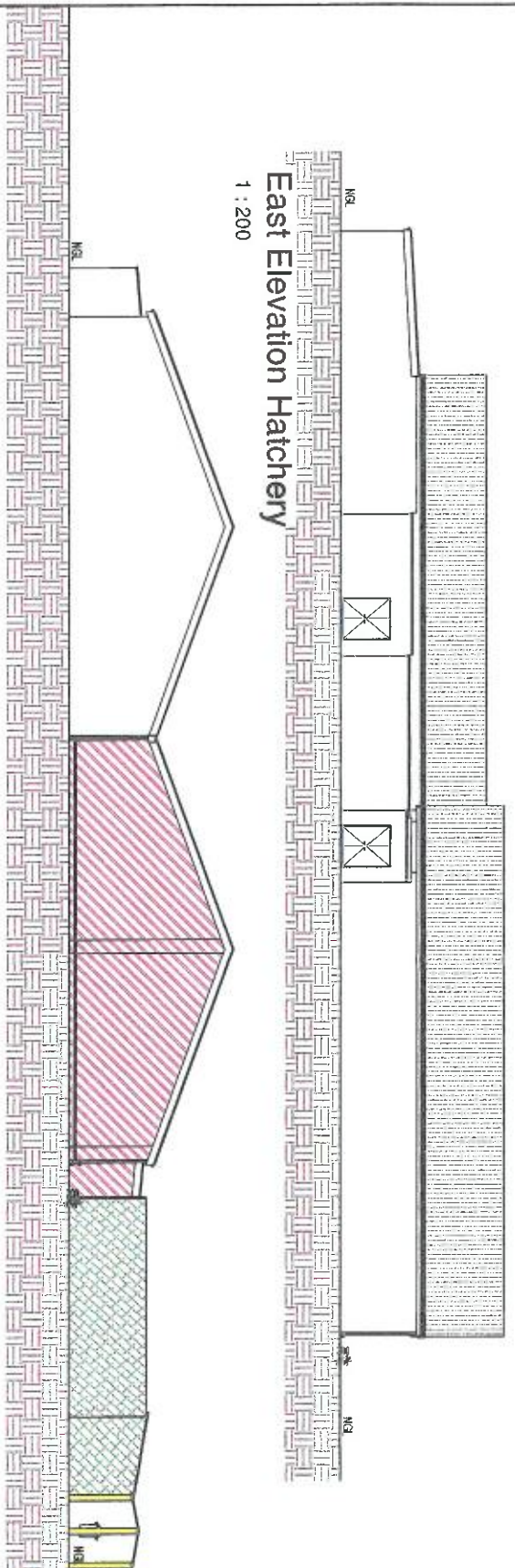
DESCRIPTION:
 ELEVATIONS HATCHERY 2

SCALE:	DRAWING #:
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DRAWING DATE:	
05 AUG 2020	

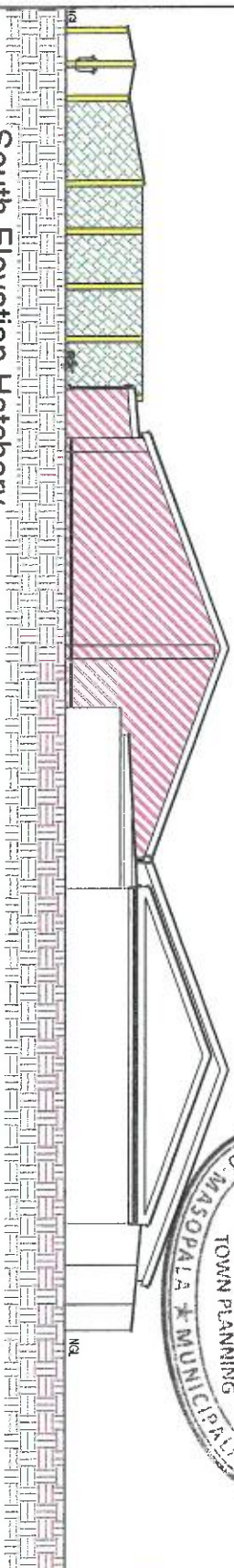
DRAWN:	REVISION #:
Author	
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GERTRUDE ARCHITECTURE
 www.gertrude-architecture.co.za
 277 THE BAYVIEW DRIVE, SANDHURST
 TEL: 028 384 1659, 581 - 082 453 8554
 SACAP - 02869 Prof Aitch Draught

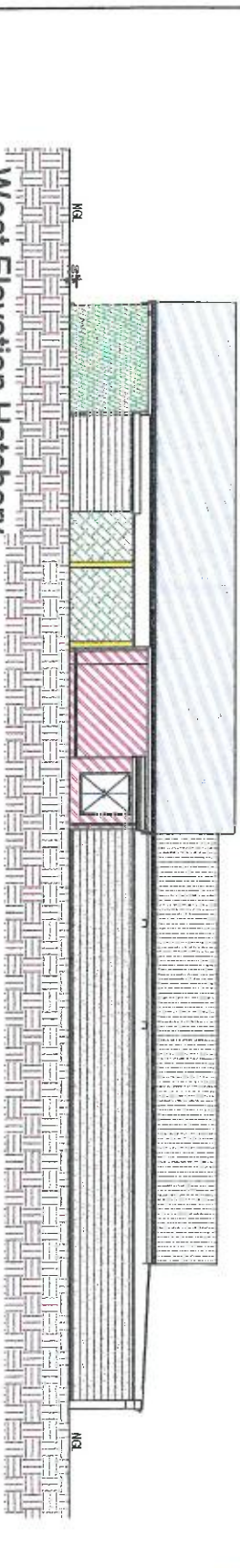
East Elevation Hatchery
 1 : 200



North Elevation Hatchery
 1 : 200



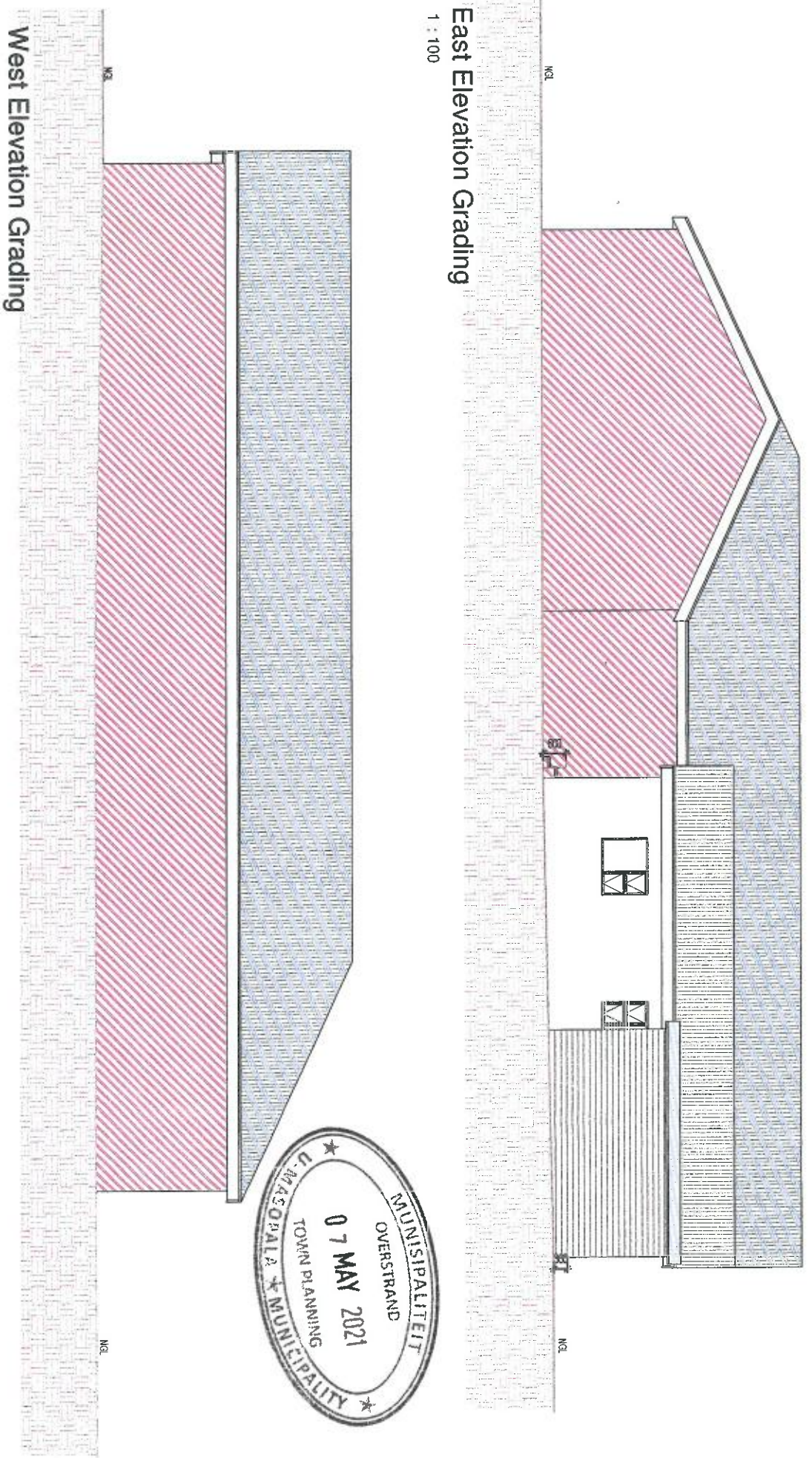
South Elevation Hatchery
 1 : 200



West Elevation Hatchery
 1 : 200

East Elevation Grading

1 : 100



West Elevation Grading

1 : 100

No.	Date	Revision Schedule	Description	By

LEGEND:

- New Backwork
- New Timberwork
- New Steel
- New Foundation/ Concrete
- Existing buildings/structures
- New Sewerage line - 110mm PVC
- New Stormwater Line

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- Work to be done in accordance with the drawings and specifications.
- All work to be done in accordance with the drawings and specifications.
- Any discrepancies are to be reported to the architect immediately.
- Work to be done in accordance with the drawings and specifications.

PROJECT:
PROPOSED NEW SDP & BUILDINGS FOR
BUPFELJAGS ABALONE FARM ON ERF 357
BUPFELJAGSBAAL, OVERSTRAND.

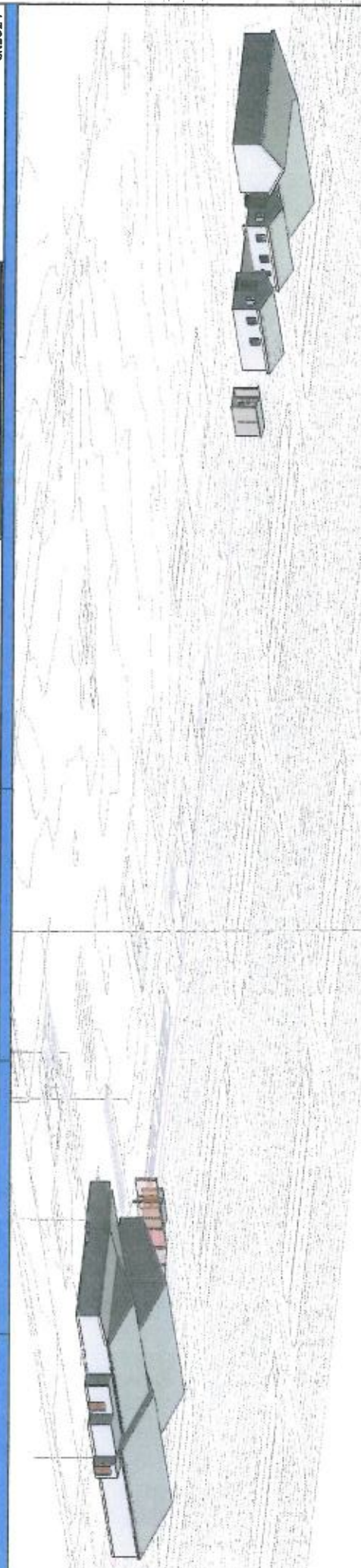
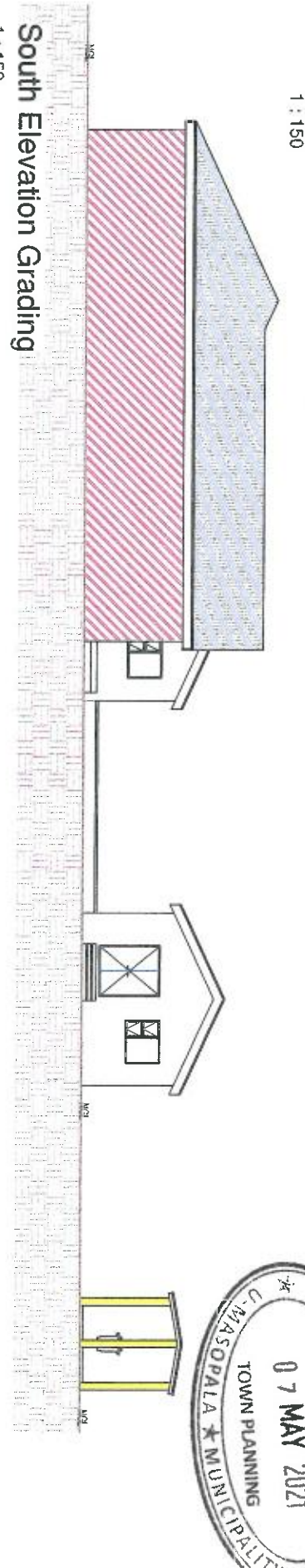
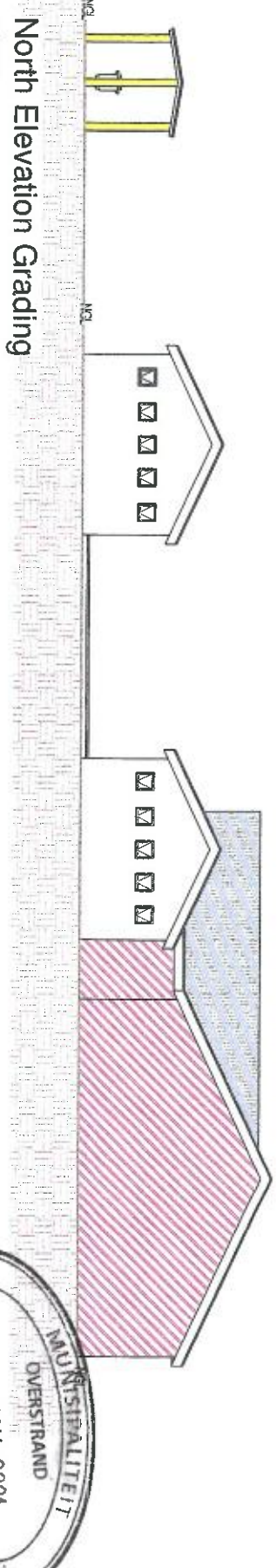
DESCRIPTION:
ELEVATIONS GRADING 2

SCALE: 1 : 100
DRAWING DATE: 05 AUG 2020
DRAWING #: 357/BAF/2016

DRAWN: Author
CHECKED: Checker
REVISION #:
PLOT DATE: 01-Feb-21 4:23:27 PM

ARCHITECTURE
www.gerricke-architecture.co.za
gerricke@architecture.co.za
Tel: 028 304 1659 Fax: 028 453 8554
SACAP: D2869 Prof Arch Draught





LEGEND:

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/ Concrete
- Existing buildings/structures
- New Sewerage line - 110mm PVC
- New Stormwater Line

No.	Date	Description	BY

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 2. All work to be carried out in accordance with local authority requirements.
 3. Any discrepancies between drawings shall be resolved in favour of the drawings.
 4. Any discrepancies shall be reported to the office of the Architect.
 5. This drawing is to comply with all of the above.
 6. The Architect is not responsible for any errors or omissions in this drawing.
 7. The Architect is not responsible for any errors or omissions in this drawing.
 8. The Architect is not responsible for any errors or omissions in this drawing.
 9. The Architect is not responsible for any errors or omissions in this drawing.
 10. The Architect is not responsible for any errors or omissions in this drawing.

PROJECT:
 PROPOSED NEW SDP & BUILDINGS FOR
 BUFFELLAGS ARAALONE FARM ON ERF 357
 BUFFELLAGSARAAL OORERSTRAND.

DESCRIPTION:
 ELEVATIONS GRADING 2

SCALE: 1 : 150
DRAWING DATE: 05 AUG 2020
DRAWING #: 357/BAF/2017

DRAWN: Author
CHECKED: Author
CHECKER: Author

REVISION #:
PLOT DATE: 01-Feb-21 4:23:31 PM

ARCHITECTURE:
 gert@gertrik-architecture.co.za
 gert@gertrik-architecture.co.za
 Tel : 028 984 1859 Sat : 082 159 8554
 Saccap : D2869 Prof Arch Draught