



**MUNISIPALITEIT OVERSTRAND  
ERF 279, MIDDELKUSWEG 7, GANSBAAI:  
AANSOEK OM OPHEFFING VAN  
BEPERKENDE TITELAKTEVOORWAARDE,  
AFWYKING EN ADMINISTRATIEWE BOETE:  
ME PLANNERS NAMENS ML WESSELS**

Kragtens Artikels 47 en 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) word hiermee kennis gegee van die volgende aansoek wat van toepassing is op bogenoemde eiendom, naamlik:

Opheffing van Beperkende Titelaktevoorwaardes

Aansoek ingevolge Artikel 16(2)(f) van die Verordening vir die opheffing van beperkende titelaktevoorwaarde C.(2)(d) soos vervat in Titelakte T23493/85.

Afwyking

Aansoek om afwyking ingevolge Artikel 16(2)(b) van die Verordening vir die volgende:

- verslapping van die oostelike laterale boulyn vanaf 2m na 0.23m; en
- verslapping van die suidelike laterale boulyn vanaf 2m na 0m om die bestaande wendy huis te akkommodeer en te wettig.

Administratiewe boete

Aansoek om bepaling van 'n administratiewe boete ingevolge Artikel 16(2)(q) van die Verordening.

Besonderhede aangaande die voorstel lê ter insae gedurende weksdae tussen 08:00 and 16:30 by die Departement Stadsbeplanning te Patersonstraat 16, Hermanus en by die Gansbaai Biblioteek, Hoofweg, Gansbaai.

Enige kommentare moet skriftelik ingedien word ingevolge die bepalings van Artikels 51 en 52 van die Verordening en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za) bereik voor of op **23 Julie 2021**, met u naam, adres en kontak besonderhede, belang in die aansoek en redes vir kommentaar. Telefoniese navrae kan gerig word aan die **Senior Stadsbeplanner, Mnr SW. Van der Merwe** by 028-3138900. Die Munisipaliteit mag weier om kommentare te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formuleer.

Munisipale Bestuurder, Overstrand Munisipaliteit, Posbus 20, **HERMANUS**, 7200

Munisipale Kennisgewing Nr. 94/2021

**OVERSTRAND MUNICIPALITY  
ERF 279, 7 MIDDELKUS ROAD, GANSBAAI:  
APPLICATION FOR REMOVAL OF  
RESTRICTIVE TITLE DEED CONDITION,  
DEPARTURE AND ADMINISTRATIVE  
PENALTY: ME PLANNERS ON BEHALF OF  
ML WESSELS**

Notice is hereby given in terms of Sections 47 and 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that the following applications applicable to the above-mentioned property have been received, namely:

Removal of Restrictive Title Deed Conditions

Application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed condition C.(2)(d) as contained in the Title Deed T23493/85.

Departures

Application for departure in terms of Section 16(2)(b) of the By-Law for the following:

- relaxation of the eastern lateral building line from 2m to 0.23m, and
- relaxation of the southern lateral building line from 2m to 0m to accommodate and legalize the existing wendy house.

Administrative penalty

Application for the determination of an administrative penalty in terms of Section 16(2)(q) of the By-Law.

Details regarding the proposal is available for inspection during weekdays between 08:00 and 16:30 at the Department Town Planning at 16 Paterson Street, Hermanus and at the Gansbaai Library, Main Road, Gansbaai.

Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za) on or before **23 July 2021**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to the **Senior Town Planner, Mr SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comment received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

Municipal Manager, Overstrand Municipality, P.O. Box 20, **HERMANUS**, 7200

Municipal Notice No. 94/2021

**UMASIPALA WASE OVERSTRAND  
ISIZA 279, 7 MIDDELKUS ROAD, GANSBAAI:  
ISICELO SOKUSUSWA KWEZITHINTELO  
NGOKWEMIGAQO YEEMKO  
NOKUPHAMBUKA: KUNYE NEXOHLWAYO  
ZOLAWULO: ME PLANNER EGAMENI LIKA  
ML WESSELS**

Esi saziso sikhutshwa ngokwemiqathango yeSoloty 47 no 48 loMthethwana kaMasipala waseOverstrand Otshintshiweyo woYilo lokuSetyenziswa koMhlaba (uMthethwana) wowama-2020 kuba ezi zicelo zilandelayo zichaphazela lo mhlaba ukhankanywe apha ngasentla zifunyenwe, ezizezi:

Isicelo sokushenxiswa kwemiqathango yeemeko  
Isicelo ngokweSoloty 16(2)(f) lalo Mthethwana sokususwa kwezithintelo ngokwemigaqo yeemeko ngokwemihlati: C.(2)(d) njengoko kuqulawwe kwiTitle Deed T23493/85.

Ukuphambuka

Isicelo sokuphambuka ngokweSoloty 16(2)(b) lalo Mthethwana ukuvumela okulandelayo:

- Ukuphumba komda wokwakha osecaleni osepuma ukusuka kwi-2m ukuya kwi-0.23m, kunye
- Ukunyenyiswa komda wesakhiwo osecaleni osezantsi ukusuka kwi-2m ukuya kwi-0m ukulungiselela nokugcina ngokusemthethweni indlu esele ikhona.

Umtshwalo wolawulo ezohlwayo

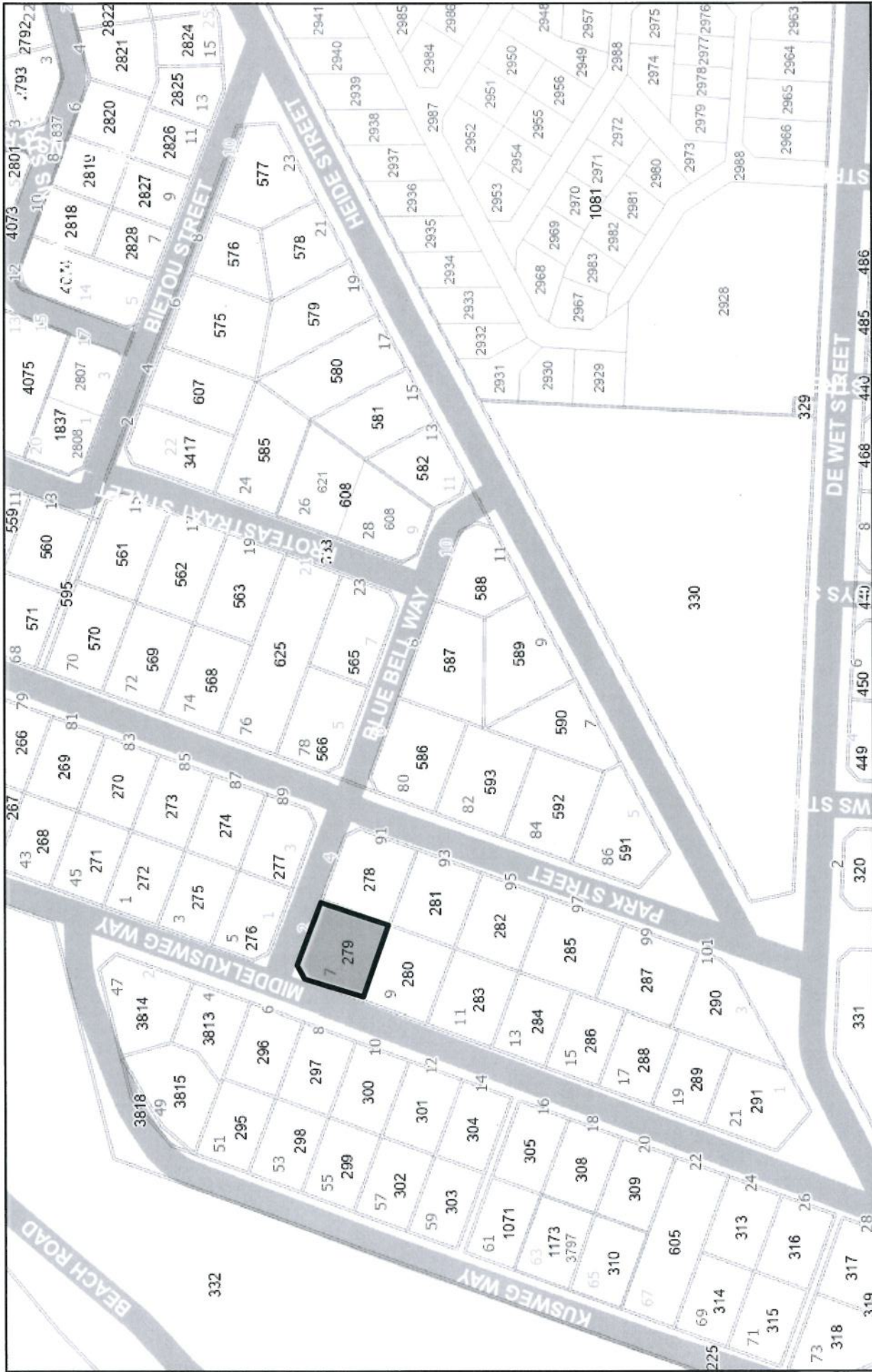
Isicelo sokumiselwa kwomtshwalo wolawulo ezohlwayo ngokweSoloty 16(2)(q) lalo Mthethwana.

Iinkcukacha ngokwemiba yesi sindululo ziyafumaneka ukuze zihlolwe ngamaxesha okusebenza aphakathi kwentsimbi yesi-08:00 ne-16:30 kwiCandelo: Zicwangiso ngeDolophu kwa-16 Paterson Street, Hermanus kwaye nakwiThala leencwadi eGansbaai, Main Road, eGansbaai.

Naziphi na izimvo ezibhaliweyo ngokwemiba yezibonelelo zeCandelo lama-51 nama 52 oMthethwana kufuneka zifike kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) [alida@overstrand.gov.za](mailto:alida@overstrand.gov.za)) ngomhla okanye ngaphambi kwe **23 uJulayi 2021**, ubhale igama lakho, idilesi yakho, iinkcukacha zoqhagamshelwano, umdla kwisicelo nezizathu zokufaka amagqabaza. Imibuzo ngefowni ingabhekiswa ku**Mnu. SW van der Merwe uMchwangcisi weDolophu oPhakamileyo** ku 028-313 8900. Umasipala angangavumi ukwamkela amagqabaza okuhlomla afunyenwe emva komhla wokuvula. Nabani na ongakwazi kufunda okanye ukubhala angatyelela iSebe lokuCeba lDolophu apho igosa lakwamasipala liya afake izimvo zakhe ngokusemthethweni.

UMlawuli kaMasipala, Overstrand Municipality, P.O. Box 20, **HERMANUS**, 7200

Inothisi kaMasipala Nombolo. 94/2021



ERF 279, GANSBAAI



Date: 2021/02/11

**MEMORANDUM**

**APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS AND APPLICATION FOR DEPARTURES  
AS WELL AS AN APPLICATION OF AN ADMINISTRATIVE PENALTY FOR ERF 279 GANSBAAI:  
BLUEBELL WAY: OVERSTRAND MUNICIPALITY: DIVISION CALEDON: PROVINCE OF WESTERN CAPE**

**MOTIVATIONAL REPORT**

**1. INTRODUCTION:**

This introduction serves as a short summary of the application before the necessary proposals and motivations are presented.

- 1.1 Applicant: ME Planners Town and  
Regional Planner  
P.O.Box 552  
Hermanus  
7200
- 1.2 Power of Attorney: Power of Attorney has been rendered to ME Planners Town and Regional Planner to lodge this Application for an Application for the Removal of Restrictive Title Deed Conditions (refer to Section C of the application form) in terms of Section 16(2) (f) of the Overstrand Municipality By-Law on Municipal Land Use Planning (forth worth called 'the By-law'); as well as an Application for Departures in terms of Section 16(2) (b) read with Section 20(1) (a) of the Overstrand Municipality By-law on Municipal Land Use Planning (2020).
- 1.3 Property: Erf 279 Gansbaai (hereafter referred to as "the site of application" or "the property").
- 1.4 Street address: Corner of Middelkus Way and Bluebell Way, Gansbaai.
- 1.5 Locality: Erf 279 Gansbaai is situated on the south eastern corner of Bluebell Way and Middelkus Way, abutting Erf 278 on the eastern side and Erf 280 on the southern side.



## 2. OVERVIEW OF APPLICATIONS:

- 2.1 **Application for the Removal of Restrictive Title Deed Conditions** (refer to Section C of the application form) in terms of Section 16(2) (f) of the Overstrand Municipality By-Law on Municipal Land Use Planning (forth worth called 'the By-law').\*

The Removal being applied for is C. 2. (d) (Amended on 21/11/97):

***"C.2. (d): That no building or structure or any portion thereof, except boundary walls and fences, shall be erected nearer than 4,72 metres of the street line which forms a boundary of this Erf. No such building or structure shall be situated within 1, 57 metres of the lateral boundary common to any adjoining erf."***

**A copy of the Title Deed is attached to the application.**

- 2.2 **Application for Departures** in terms of Section 16(2) (b), read with Section 20(1) (a) of the By-Law (departures as set out below).

- Eastern lateral Side: From: 2,00m To: 0,23m
- Southern lateral Side: From: 2,00m To: 0,00m

**(Refer to the layout plans attached to the application.)**

The property is currently developed with a partially double storeyed Residential Dwelling House, including a garage with entrance from Middelkus Way and a Wendy house on the south-eastern corner of the erf.

The Wendy house has been erected over the applicable Eastern lateral Side 2m zoning scheme building lines and contains a store room and a children's playroom of high quality.

## 3. GENERAL INFORMATION:

- 3.1 Title Deed and Property Description

In terms of its Title Deed, No. T23493/85, the property is described as:

***"Erf 279 Gansbaai geleë in die Munisipaliteit van Gansbaai, Afdeling Caledon.  
GROOT: AGTHONDERD EEN-EN-TAGTIG (881) vierkante meter  
AANVANKLIK oorgedra kragtens Transportakte Nr. 5094/49 met Kaart Nr. 5331/47  
daarby aangeheg en gehou kragtens Transportakte Nr. 54449/1984."***

The property is registered in the name of MARGARETHA LOUISA WESSELS (Identity Number 590611 0102 OO 4);

Married out of community of property, her Heirs, Executors, Administrators or Assigns.



3.2 Bond/s: The property is not encumbered by any bond/s.

3.3 Current Zoning Status:

Erf 279 Gansbaai, (Roeland Street) is zoned as “Residential Zone 1: Single Residential (SR1”); thus for residential purposes only.

**4. BACKGROUND:**

4.1 The property was purchased, as is, without the Wendy house and the braai. It seems as if the owner then erected the Wendy house without approved building plans.

The owner now wishes to legalise everything that has not been legal up to now, to the satisfaction of the Council.

4.2 It is the sole intention of the landowner to legalize the infringement of the building lines as described in paragraph 2 above, and subsequently to submit “as built” building plans of all structures to the Municipality for approval.

The owner erected the Wendy house over the Eastern lateral - and Southern lateral building lines. The approval of the building plans is dependent on the outcome of this application.

**5. MOTIVATION:**

5.1 Need:

5.1.1 This application is submitted to obtain the necessary approval for exceeding the zoning scheme limits in order to have any required building plans to be approved.

5.1.2 The need in this instance centers mainly on the fact that there is no other suitable space available for the erection of the Wendy house.

**(A photo showing the erected Wendy house is attached to the Memorandum)**

5.2 Desirability:

5.2.1 *The existing as well as the future character of the area:*

The area, in which the site is located, is characterized by predominantly single residential uses. It can thus be stated that the planned future character of the area will not be adversely affected should this application be approved.

5.2.2 *Traffic generation and access:*

The approval of the application will not affect the traffic flow patterns in the area.



5.2.3 *The impact on services:*

All services are available and will not be affected adversely through the approval of this application.

5.2.4 *The standards and conditions that apply to such an application:*

The prescribed standards and conditions for the existing zoning of the erf will not be adversely affected through the approval of this application.

5.2.5 In the light of what has been mentioned as far, the following is relevant and of interest.

5.3 Impact of the departures:

5.3.1 **Primary Dwelling Unit**

- a) It should be mentioned that the building in question, which is now in dispute, was erected as an ordinary 'wendy house' to serve as storage room. It was already set up in 1986 (35 years ago) and no complaints have been received or brought to the attention of law enforcement. To serve as a 'children's playroom' the same 'wendy' was upgraded. On the plans, it is clear that the building will be provided with a new roof and 'Nutec Cladding' on the outside. All of these improvements enhance the look of the building and add value to the property.
- b) Ample space is available between the present buildings on the erf and any future buildings on the sides of the common boundaries with any of the adjoining residential erven to ensure that no views in various directions are spoilt. The 2 doors and the windows all point to the north side which guarantees the privacy of the adjoining plots. Hence the opinion is formed that the encroachments have in the past and will in future have no mentionable impact on adjoining or surrounding property owners. Further, no complaints by adjacent or surrounding landowners had been received in this regard in the past. (It is believed that the surrounding landowners had not even been aware of the existing encroachments.)
- c) Taking any possible "darkening" of surrounding properties into consideration, the same points of motivation as above are seen as noteworthy and relevant.
- d) In view of the above the existing positions of the existing dwelling house and the Wendy house are not regarded as being undesirable and will not have any detrimental impact on the rights of surrounding property owners nor the existing built environment in future. The building line encroachments are of no consequence to the owners of any of the properties next door or to motorists.

***The foregoing necessitated a departure in terms of the zoning scheme restrictions.***



**5.3.2 Administrative Penalty:**

Application for Administrative Penalty in terms of Section 16(2) (q) of the Overstrand Municipality read together with Section 90 of the Bylaw Municipal Land Use Planning (November 2020).

It is stated in Section 90 (1) of the said Bylaw that the applicant may rectify any contravention on a property by applying to the Municipality to pay an Administrative Penalty. In this case, no formal application is made for the payment of such an administrative penalty.

The reasons are dealt with by discussing them in accordance with Section 90 (3) of the same Bylaw.

- a) Section 90 (3) (a) refers to the nature, duration, gravity and extent of the contravention. In order to address this, it is important to motivate that the owner does not violate any regulation.
  - i. The nature of the development on the erf does not impose on the privacy of any of the surrounding owners and has no negative effect on the surrounding built environment. There has never been any complaint about the existence of the building (Section 87 of the Amendment Bylaw on Municipal land Use Planning, 2020)
  - b) Section 90 (3) (b): The application and the submission of the 'as built' plans, proves that the owner is not deliberately involved in any contravention. The owner is prepared to submit plans in order to legalise the proposed 'children's playroom.
  - c) Section 90 (3) (c): In this case the proposed 'children's playroom is merely an upgrade of an existing wendy house.
  - d) Section 90 (3) (d): There is no sign of any unlawful conduct. The use of the erf is primarily for residential purposes and such outbuildings ordinarily used therewith, as is the case with this application.
  - e) Section 90 (3) (e): The registered owner has never deliberately contravened this By-Law or any previous planning law.

**6. FORWARD PLANNING & OTHER LAND USE DOCUMENTS:**

**6.1 OVERSTRAND MUNICIPALITY SPATIAL DEVELOPMENT FRAMEWORK (May 2020)**

The Overstrand Municipality Spatial Development Framework (2020) earmarks the area where Erf 279 Gansbaai is situated, for residential purposes. The current Residential



Zone 1 zoning will be retained and the current access from Blue Bell Way will also remain as is. The proposal will, therefore, be in line with spatial planning guidelines for the area.

6.2 OVERSTRAND MUNICIPAL GROWTH MANAGEMENT STRATEGY (2010)

With reference to the Overstrand Growth Management Strategy the subject erf falls within Planning Unit 1 that consists mainly of Gansbaai's single residential erven. No densification of the planning unit is proposed.

7. THE RELEVANT LEGISLATION FOR CONSIDERATION OF THE APPLICATION:

7.1 HERITAGE VALUE AND IMPACT

Erf 279 Gansbaai is not situated within the Heritage Overlay Zone as determined by the Overstrand Municipality Growth Management Strategy (2010). The existing dwelling situated on erf 279 Gansbaai, is not earmarked for heritage conservation purposes in terms of the Overstrand Heritage Survey Report (2009).

The subject property is not associated with any important persons or groups or important events and activities. The subject property has no association with the history of slavery and is not used for living heritage.

In the light of the above mentioned it is evident that the proposed departure will not have a negative impact on the heritage value of the subject property or the Greater area of Gansbaai.

7.2 ENVIRONMENTAL IMPACT

The proposed departure for erf 279 Gansbaai does not trigger any listed activities in terms of the National Environmental Management Act (NEMA), 1998 (Act no. 107 of 1998).

8. PLANNING PRINCIPLES:

8.1 SPATIAL JUSTICE

The right of owners to develop land in accordance with current use rights must be recognized as is the case with this application.

8.2 SPATIAL SUSTAINABILITY

The existing development and associated parking is accommodated in an established residential area. The application has no impact on the conservation worthy areas of Gansbaai. Spatially the land uses on the property is in keeping with the residential character of the area.



The development on the property in question is designed towards sustainability and limiting urban sprawl.

**8.3 EFFICIENCY**

The development on the property optimizes the use of existing resources and infrastructure. The development is conveniently located close to the beach, walkways and the business areas in Gansbaai.

**8.4 SPATIAL RESILIENCE**

Not applicable to this application.

**8.5 GOOD ADMINISTRATION**

The applicant is committed to the principle of good administration and will cooperate with the Overstrand Municipality to ensure a time efficient and will ensure that timeframes are adhered to.

**9. FORWARD PLANNING DOCUMENTS:**

**9.1 Services Infrastructure and Municipal Engineering Services**

Not applicable, since the property has for years already been fully serviced, and no upgrading is necessary.

**9.2 Other Legislation**

As this is not an application for development, no reason was found to refer to the proposals for development in the Provincial Spatial Development Framework 2014 (PSDF), the Overstrand Spatial Development Framework 2006 (SDF 2006) or the Overstrand Municipality: Growth Management Strategy and/or SPLUMA.

**10. CONCLUSION**

- 10.1 Land uses in the area and on the site of application are being regulated and controlled by the Overstrand Municipality Land Use Scheme, 2020.
- 10.2 The application is made for the purpose of helping to ensure that orderly planning as far as the Town Planning and building regulations are concerned will be in place for future reference.
- 10.3 The owner of the property states that he is not aware of complaints by surrounding landowners or even the Overstrand Municipality, about the exceeding of the building lines described above.



10.4 From the contents of this report it is apparent that the existing building line encroachment of the building on Erf 279, Gansbaai will have no negative impacts in general, and it is thus requested that the Municipality favour the application as set out in this motivation report.

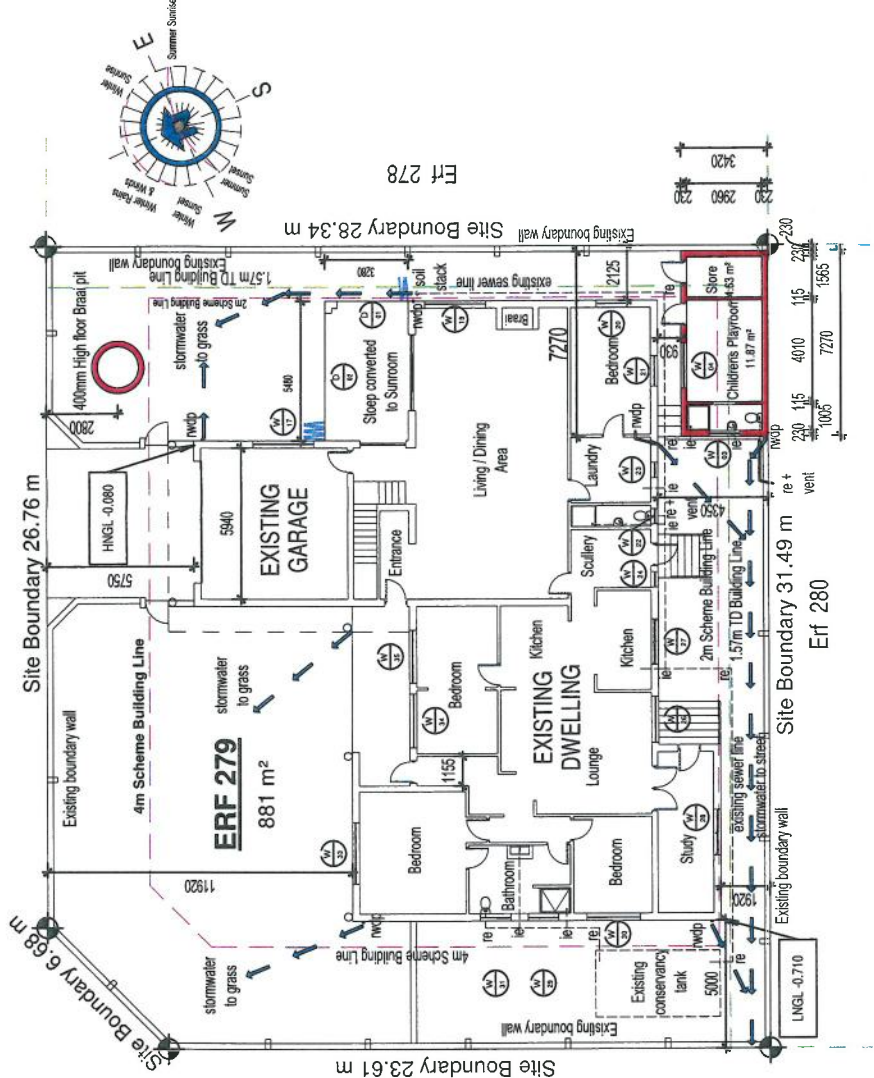
**END OF MOTIVATION**

**MAY 2021**



**GENERAL:**

- ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.
1. All dimensions and levels to be checked on site before any work commences.
  2. This drawing is not to be scaled and only figured dimensions are to be used.
  3. All work is to be carried out in accordance with local authority requirements.
  4. All levels unless otherwise indicated are finished floor levels.
  5. Finished floor levels are to be min. 150mm above N.G.L.
  6. Any discrepancies are to be reported to the offices of the Architects.
  7. All glazing is to comply with part N of the NBR.
  8. Building to comply with National Building Regulations.
  9. Structural work to comply strictly with accordance to Eng's specs & details.



**Site Plan**  
1 : 200

<b>SCHEDULE OF RIGHTS</b>	
<b>PROPERTY DESCRIPTION</b>	Site Area: GANSBAAI
Erf Number: 279	Erf size: 881m <sup>2</sup>
<b>ZONING INFORMATION</b>	
Town planning Scheme:	OVERSTRAND
Use Zone:	GENERAL RESIDENTIAL ZONE 1: RESIDENTIAL HOUSE
<b>DEVELOPMENT CONTROL MEASURES</b>	
TOTAL AREA:	: 318.00m <sup>2</sup>
Existing dwelling Ground Floor	: 44.69m <sup>2</sup>
Existing dwelling First Floor	: 17.31m <sup>2</sup>
New En Suite - Existing	: 25.00m <sup>2</sup>
New Outbuilding	: 38.93%
Coverage	
The information provided above is hereby certified to be correct & precise	
Name:	JLS GERICKE
Signature:	[Signature]
Date:	08 October 2020
Plan No:	03/MMW/201

**GERICKE ARCHITECTURE!**

www.gericke-architecture.co.za  
info@gericke-architecture.co.za  
Tel: 028 984 1659 Sat: 082 459 8554  
SACAP : DE869 Prof Arch Draught

**DRAWING #:** 03/MMW/20  
**PAGE #:** 1  
**PLOT DATE:** 11-May-21 2:40:06 PM

**SCALE:** As indicated  
**DRAWING DATE:** 02 Nov 2020

**PROJECT:** PROPOSED ADDITIONS FOR B. WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.

**DESCRIPTION:** SITE PLAN

**SIGNATURE:** [Signature]  
**DRAWN:** Johan Gericke

**IMPORTANT NOTE:**  
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

**OWNERS APPROVAL**

ERF NUMBER: 279  
OWNER: M WESSELS  
DATE: 08 OCTOBER 2020  
SIGNATURE: [Signature]

**LEGEND:**

**PLAN VIEW:**

- New Brickwork
- New Timberwork
- New Steel Elements
- New Foundation/ Concrete work
- Existing buildings/structures
- Demolished work

**ELEVATIONS:**

- New Brickwork
- New Plasterwork
- New Nutec Fibre Cement
- Existing buildings/structures

**SECTIONS:**

- New Nutec Fibre Cement
- New Fire Protection Elements
- Existing buildings/structures

**LINES/PIPES:**

- New Sewerage line - 110mm PVC
- New Waste line - 50mm PVC
- New Stormwater Line
- Existing sewer line

**Revision Schedule**

No.	Date	Description	By

**OCCUPATION:** SHEET FORMAT: H4 A3



**IMPORTANT NOTE:**

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROJECT PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAL, OVERSTRAND.

**DESCRIPTION:**

DWELLING GROUND FLOOR PLAN

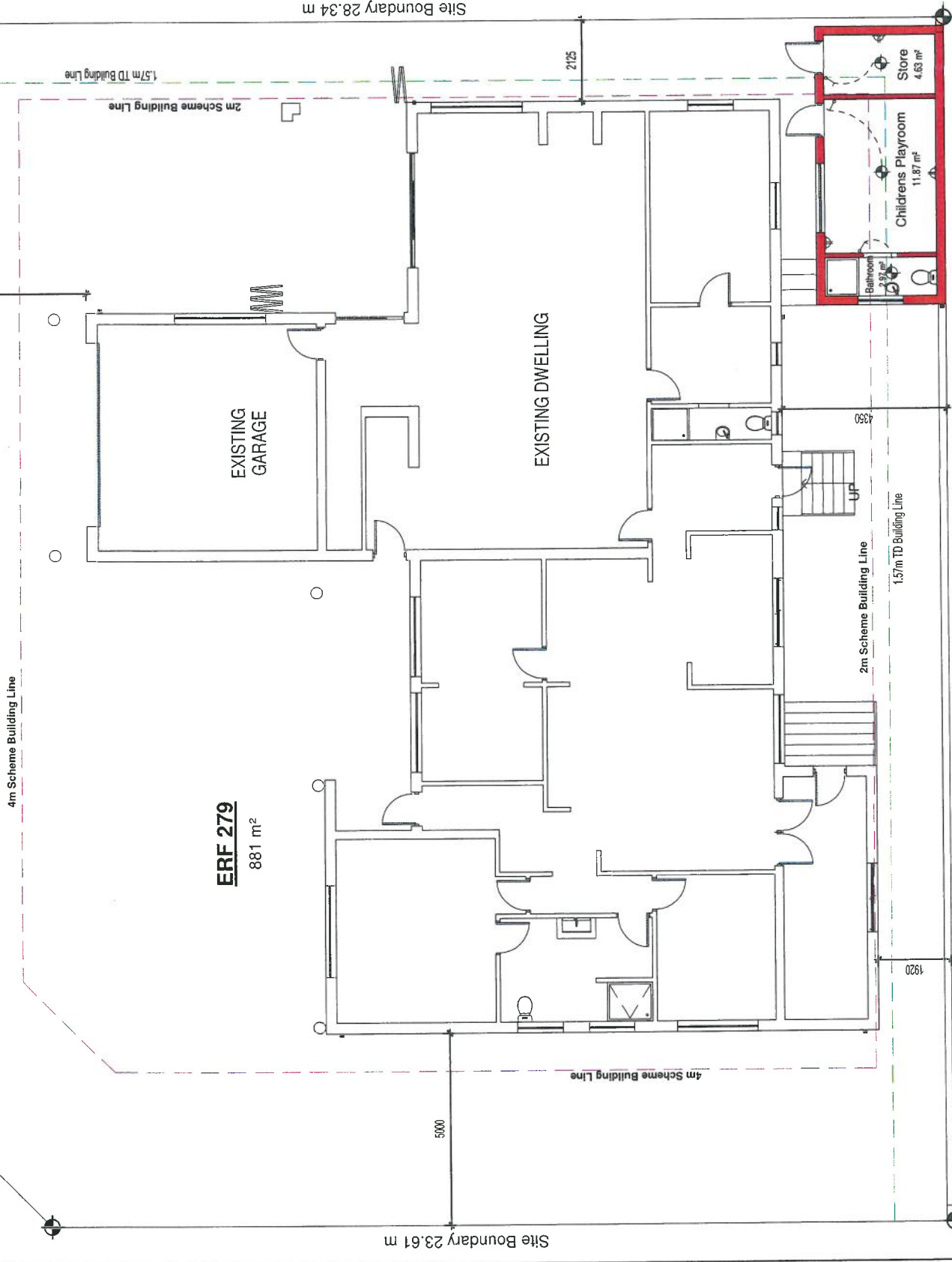
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DRAWN:  
Johan Gericke

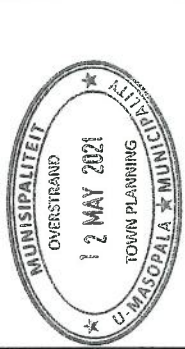
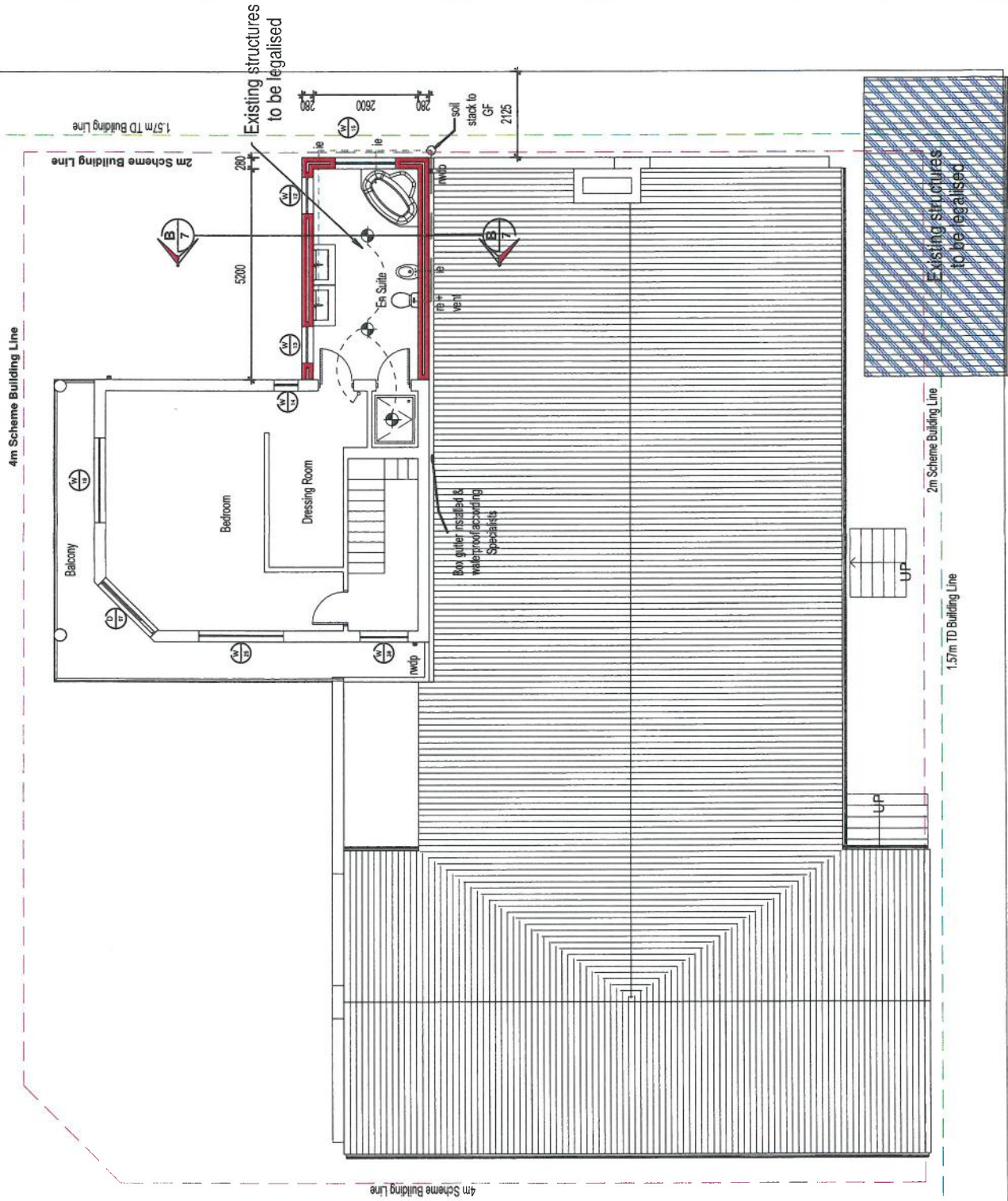
**GERICKE ARCHITECTURE**  
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 Tel: 082 984 1659 Set: 082 453 8554  
 SACAP : D2869 Prof Arch Draught



No.	Date	Description	By



No.	Date	Revision Schedule Description	By



**IMPORTANT NOTE:**  
 THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.

**DESCRIPTION:**  
 DWELLING FIRST FLOOR PLAN

**SHEET FORMAT:** A3  
**OCCUPATION:** H4

**SCALE:** 1 : 100  
**DRAWING DATE:** 02 Nov 2020

**DRAWING #:** 03/MMW/20  
**PAGE #:** 3

**PLOT DATE:** 11-May-21 2:40:09 PM

**DRAWN:** Jolien Gericke  
**SIGNATURE:** *Jolien Gericke*

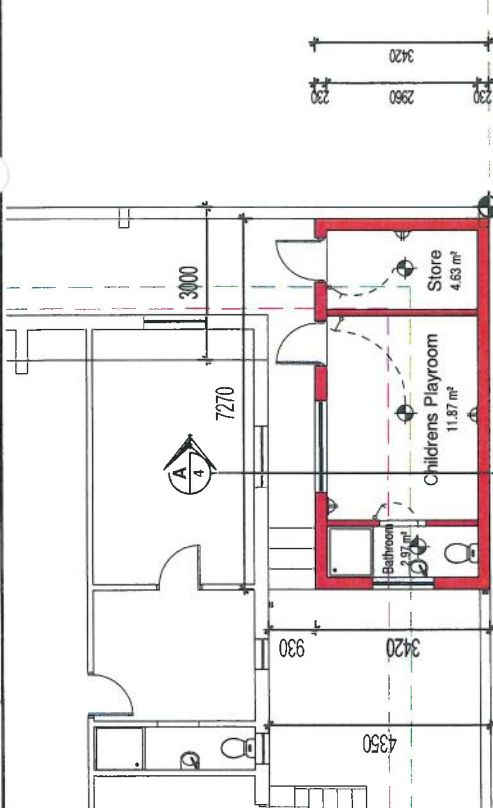
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 Tel : 028 384 1659 Sel : 082 453 8554  
 SACAP : D2869 Prof Arch Draught

PROFESSIONAL ARCHITECTURAL DRAWING FENESTRATION  
 JOHAN LOUWVOIC ARCHITECTURAL OFFICE



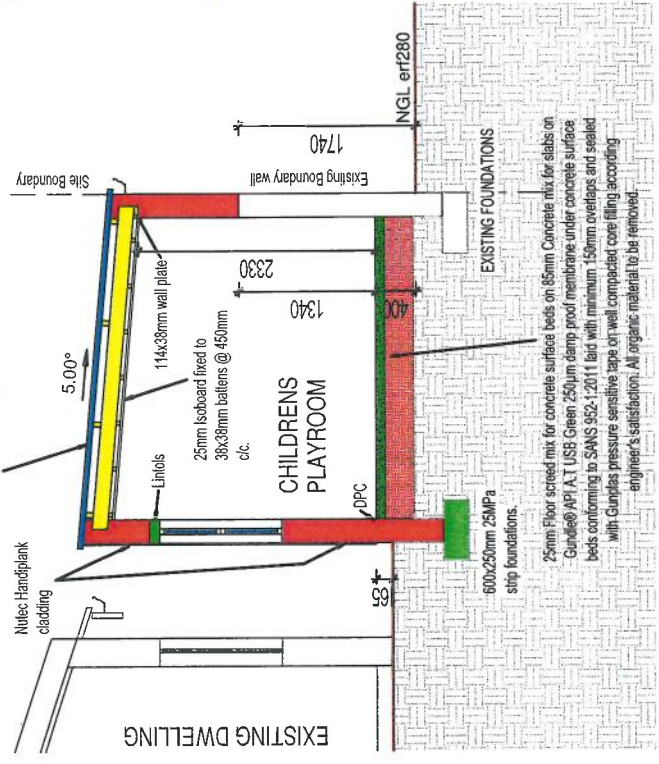
No.	Date	Description	By



**Ground Floor Plan - Outbuilding**

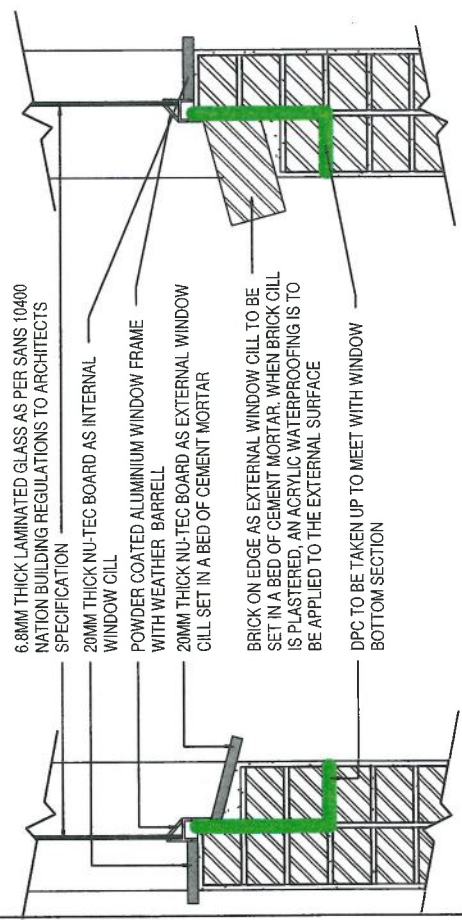
1 : 100

Charcoal Compegated 0.53mm thick roof steeling, fixed to timber intermediate purlins at MAX 1000mm centres with Coveland double-sided Radenshield reflective barrier on roof rafters constructed from 50 x 152mm. Rafters to be at max. 1000mm CTS & to be laid on 38 x 114mm SAP approved wallplate. Rafters to be tied down with galv. wire wall ties to be built into walls min 600mm.  
As per SANS 10400 Part L (SABS codes 563, 1245, 1460, New SANS1563, SANS11245, SANS11460).  
All in accordance with the manufacturer's specifications.



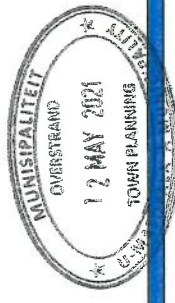
**Section A-A**

1 : 50



**TYPICAL EXTERNAL WIND CILL DETAILS**

**OWNERS APPROVAL**  
ERF NUMBER: Z79  
OWNER: M WESSELS  
DATE: 08 OCTOBER 2020  
SIGNATURE:



**IMPORTANT NOTE:**

THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!

1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS
2. ISOTHERM INSULATION IN ROOF VOID
3. SOLAR GEYSER/GAS GEYSER

**PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.**

**DESCRIPTION:**

OUTBUILDING LAYOUT

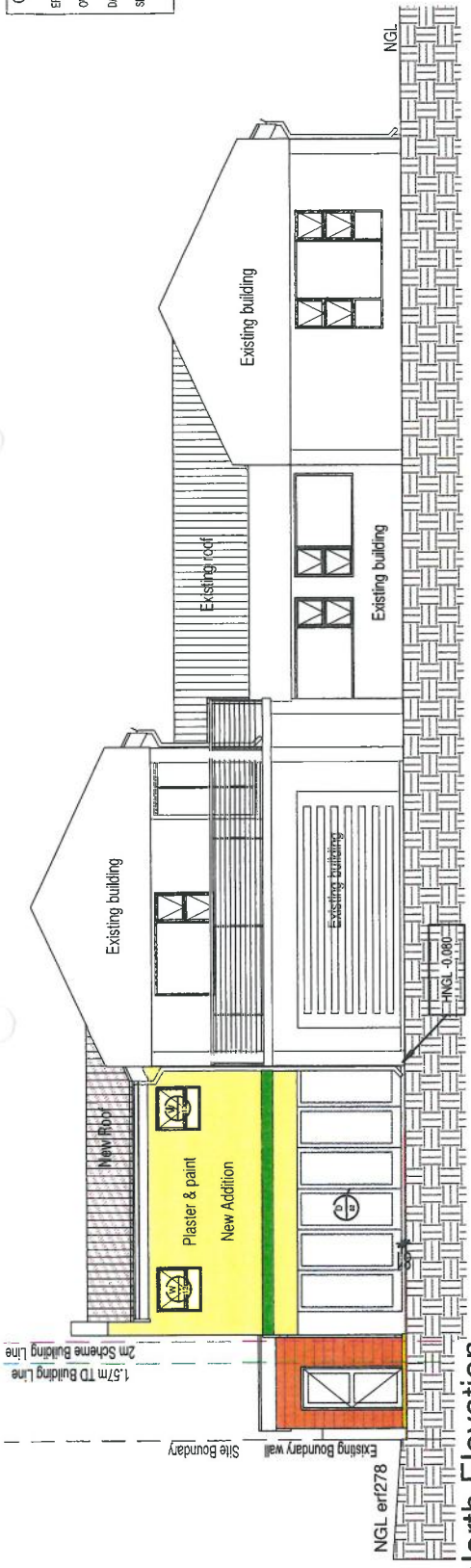
<b>SHEET FORMAT:</b> A3	<b>OCCUPATION:</b> H4
<b>SCALE:</b> As indicated	<b>DRAWING #:</b> 03/MW/20
<b>PAGE #:</b> 4	<b>PLOT DATE:</b> 11-May-21 2:40:10 PM
<b>DRAWING DATE:</b> 02 Nov 2020	<b>SIGNATURE:</b> <i>Johan Gericke</i>

**DRAWN:** Johan Gericke

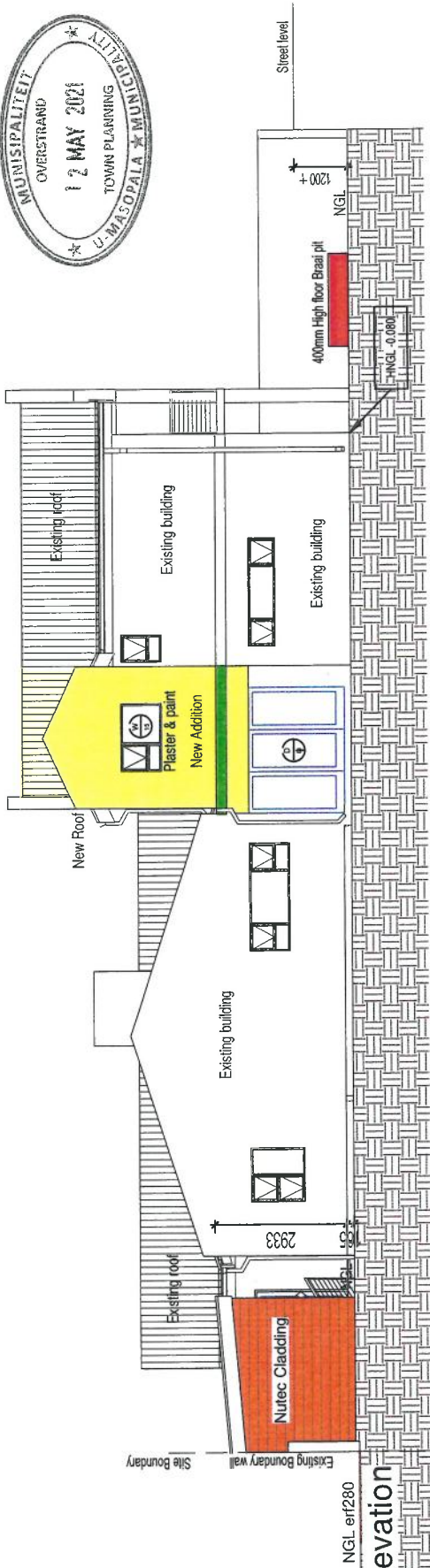
**ARCHITECTURE | GERICKE**  
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SACAP : D2669 Prof Arch Draught



**OWNERS APPROVAL**  
 ERF NUMBER: Z79  
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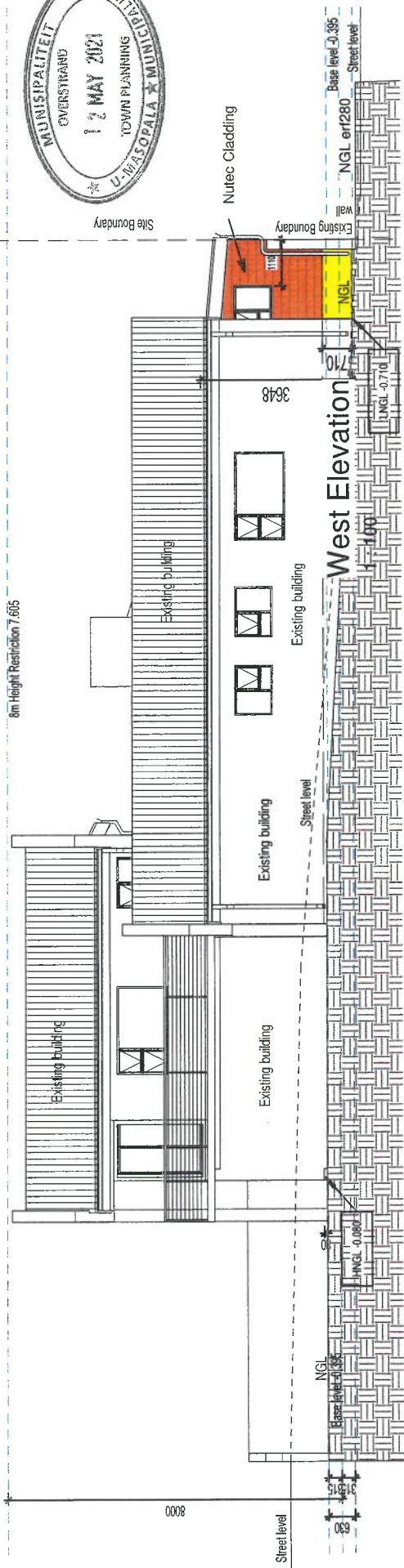
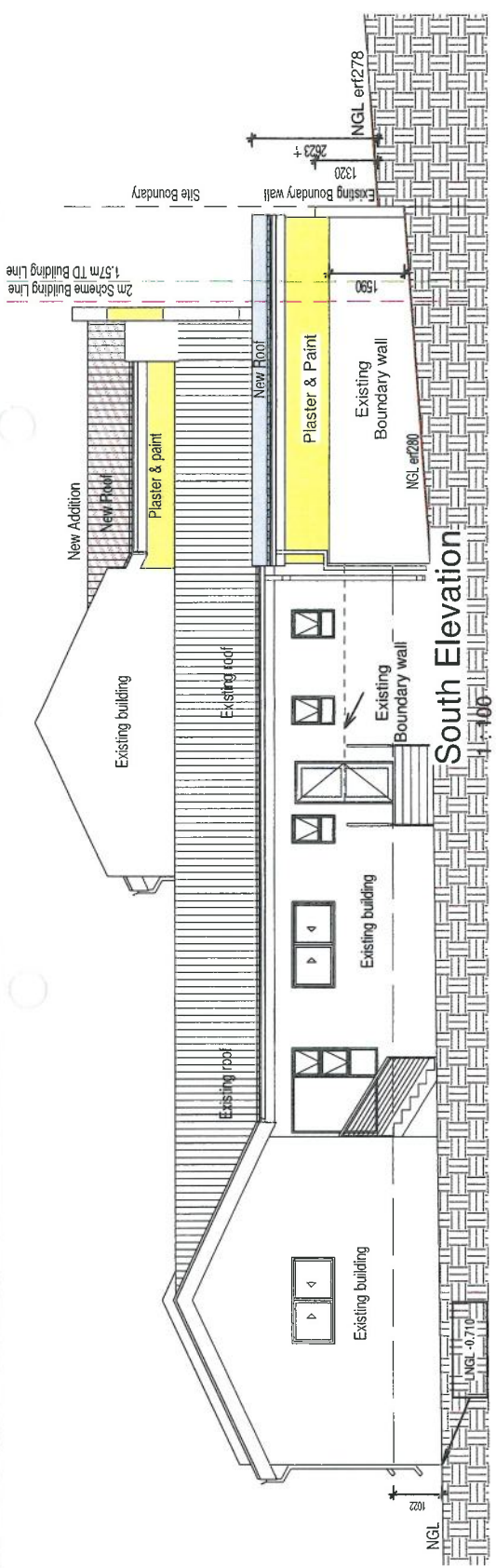
**North Elevation**  
 1 : 100



**East Elevation**  
 1 : 100

<p><b>IMPORTANT NOTE:</b>          THE FOLLOWING MUST BE STRICTLY ADHERED TO AND INSTALLED BEFORE SIGN OFF OF DWELLING!</p> <ol style="list-style-type: none"> <li>1. ALL GLAZING ACCORDING FENESTRATION CALCULATIONS</li> <li>2. ISOTHERM INSULATION IN ROOF VOID</li> <li>3. SOLAR GEYSER/GAS GEYSER</li> </ol>		<p><b>PROJECT:</b>          PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.</p> <p><b>DESCRIPTION:</b>          ELEVATIONS</p>		<p><b>SCALE:</b>          1 : 100</p> <p><b>DRAWING DATE:</b>          02 Nov 2020</p> <p><b>DRAWN:</b>          Johan Gericke</p>		<p><b>DRAWING #:</b>          03/MW/20</p> <p><b>PAGE #:</b>          5</p> <p><b>PLOT DATE:</b>          11-May-21 2:40:11 PM</p> <p><b>SIGNATURE:</b>  </p>		<p><b>www.gericke-architecture.co.za</b>  <b>info@gericke-architecture.co.za</b>          Tel: 028 384 1659. Sgl: 082 453 6554          SACAP: D2659 Prof Arch Draught</p>											
<p>Revision Schedule</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>By</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		No.	Date	Description	By					<p><b>OCCUPATION:</b>          H4</p> <p><b>SHEET FORMAT:</b>          A3</p>		<p><b>PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.</b></p>		<p><b>SCALE:</b>          1 : 100</p> <p><b>DRAWING DATE:</b>          02 Nov 2020</p> <p><b>DRAWN:</b>          Johan Gericke</p>		<p><b>DRAWING #:</b>          03/MW/20</p> <p><b>PAGE #:</b>          5</p> <p><b>PLOT DATE:</b>          11-May-21 2:40:11 PM</p> <p><b>SIGNATURE:</b>  </p>		<p><b>www.gericke-architecture.co.za</b>  <b>info@gericke-architecture.co.za</b>          Tel: 028 384 1659. Sgl: 082 453 6554          SACAP: D2659 Prof Arch Draught</p>	
No.	Date	Description	By																

OWNERS APPROVAL  
 ERF NUMBER: 279  
 OWNER: W WESSELS  
 DATE: 08 OCTOBER 2020  
 SIGNATURE:



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SCALE: 1 : 100  
 DRAWING #: 03/MW/20  
 DRAWING DATE: 02 Nov 2020  
 PAGE #: 6  
 PLOT DATE: 11-May-21 2:40:13 PM  
 DRAWN: Johan Gericke  
 SIGNATURE: *Johan Gericke*

PROJECT: PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.  
 DESCRIPTION: ELEVATIONS 2

IMPORTANT NOTE:  
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No.	Date	Description	By

OCCUPATION: H4  
 SHEET FORMAT: A3



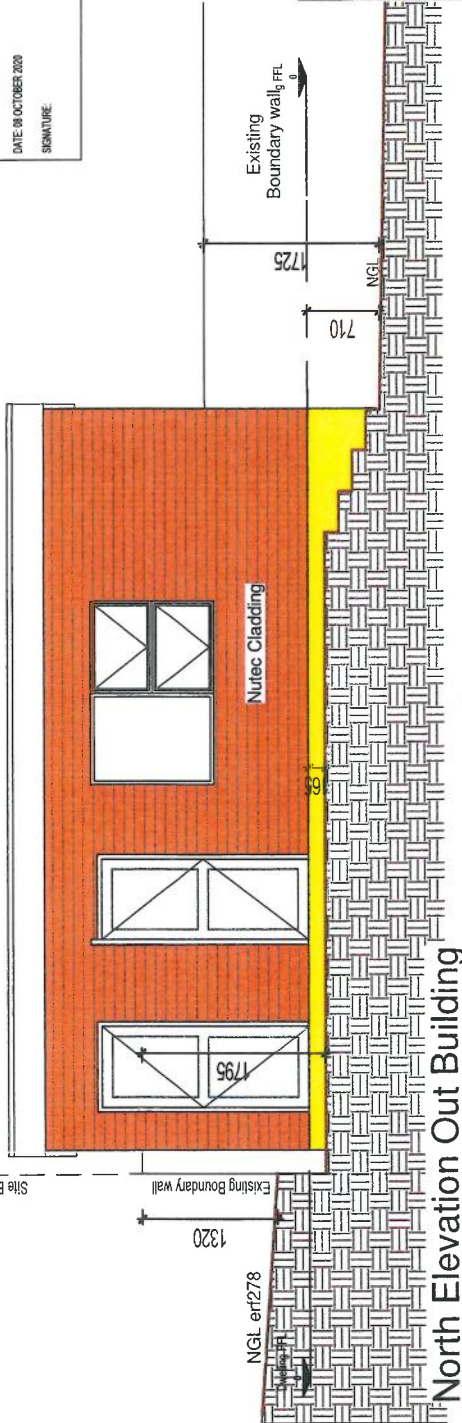
**GENERAL:**

1. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.
1. All dimensions and levels to be checked on site before any work commences.
2. This drawing is not to be scaled and only figured dimensions are to be used.
3. All work is to be carried out in accordance with local authority requirements.
4. All levels unless otherwise indicated are finished floor levels.
5. Finished floor levels are to be min. 150mm above N.G.L.
6. Any discrepancies are to be reported to the offices of the Architects.
7. All glazing is to comply with part N of the NBR.
8. Building to comply with National Building Regulations.
9. Structural work to comply strictly with accordance to Eng's specs & details.

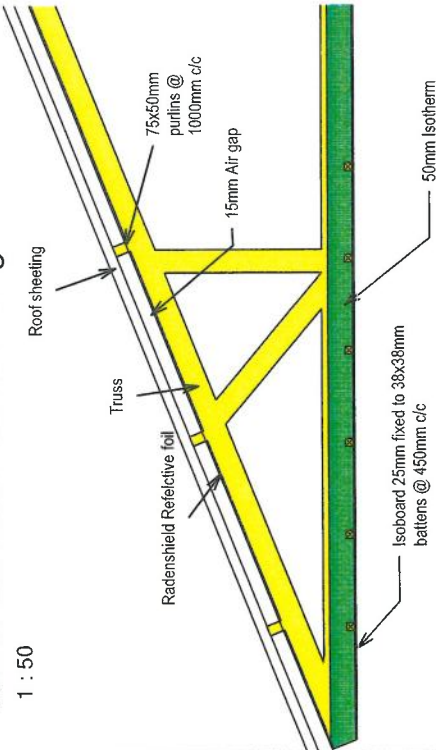


**OWNERS APPROVAL**

EFF NUMBER: 279  
 OWNER: M WESSELS  
 DATE: 08 OCTOBER 2020  
 SIGNATURE: \_\_\_\_\_



**North Elevation Out Building**  
1 : 50



**Roof Detail**  
1 : 25

**Roof Insulation :**

Roof 12° to 30° pitch with horizontal ceiling and roof sheathing	Outdoor air film (fms)
Roof sheathing	0,03
Roof air space (non-reflective)	0,18
Isoboard (25mm)	0,89
Indoor air film (still air)	0,11
Total R-value	1,21

Direction of flow of heat for Zone 4 : Up  
 Min R-Value Needed : 3,7  
 Roof as above R-Value = 1,21  
 Radershield reflective foil laminates: R-Value = 1,36  
 3,7 - 1,21 = 1,36 = 1,13 (Isolation Needed)  
 R-Value of insulation = 1,13 x 0,046W/m.K (SANS204 Table 10)  
 R = 0,052  
 Therefore 50mm Isotherm insulation required.

ELECTRICAL LEGEND	
⊖	WALL MOUNTED DSTV & TV, AERIAL POINT @ 350mm AUFL.
⊖	DISTRIBUTION BOARD @ 1400mm AUFL.
⊖	WALL MOUNTED LIGHT SWITCH @ 1200mm AUFL.
⊖	WALL MOUNTED DIMMER LIGHT SWITCH @ 1200mm AUFL.
⊖	SINGLE 16 AMP CEILING MOUNTED SOCKET OUTLET
⊖	SINGLE 16 AMP SOCKET OUTLET @ 350mm AUFL OR AS INDICATED.
⊖	DOUBLE 16 AMP SOCKET OUTLET @ 350mm AUFL OR AS INDICATED.
⊖	TOTAL UNITS
⊖	SINGLE 16 AMP SOCKET OUTLET @ 1200mm AUFL OR AS INDICATED.
⊖	DOUBLE 16 AMP SOCKET OUTLET @ 1200mm AUFL OR AS INDICATED.
⊖	TOTAL UNITS
⊖	WALL MOUNTED STOVE ISOLATOR SWITCH @ 1500 AFEL
⊖	WALL MOUNTED DATA & TELEPHONE POINT @ 350mm AUFL.

**GENERAL NOTES:**

- ALL MEASUREMENTS ARE TO BE FROM TOC OR ABOVE UFFL UNLESS OTHERWISE SPECIFIED.
- ALL LIGHT SWITCHES ARE TO BE 150mm AWAY FROM EDGE, DOOR FRAME OR CORNER OF BRICKWORK / UNPLASTERED WALL.
- ALL CONDUITS IN WALLS TO BE Ø32mm WITH SLEEVES AT ALL 45° & 90° BENDS

Revision Schedule	Date	Description	By

OCCUPATION: **H4**

SHEET FORMAT: **A3**

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**PROJECT:**  
PROPOSED ADDITIONS FOR B WESSELS ON ERF 279, GANSBAAI, OVERSTRAND.

**SCALE:**  
As indicated

**DRAWING DATE:**  
02 Nov 2020

**DESCRIPTION:**  
SECTION

**DRAWN:**  
Johan Gericke

**DRAWING #:**  
03/MW/20

**PAGE #:**  
8

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11-May-21 2:40:16 PM

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*Johan Gericke*

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