

ERF 895, 82 DE VILLIERS STREET, SANDBAAI: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: HOLLOWAY & DAVEL ARCHITECTS ON BEHALF OF S HAMAN

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that following applications, applicable to Erf 895, Sandbaai, have been received:

- a) departure in terms of Section 16(2)(b) of the By-Law to relax the:
- street building line from 4m to 0m to accommodate the pool pump house;
 - eastern lateral building line from 2m to 0m to accommodate the pool pump house;
 - rear building line from 2m to 1m to accommodate the second dwelling unit;
 - western lateral building line from 2m to 1m to accommodate the second dwelling unit;
 - western lateral building line from 2m to 0.195m to accommodate the store room; and the
 - western lateral building line from 2m to 0.195m to accommodate a pergola; and
- b) the determination of an administrative penalty in terms of the provisions of Section 90 of the By-Law for the illegal building line encroachments of the above pool pump house, second dwelling unit and store room.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any comments must be in writing and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) on or before **25 June 2021**, quoting your name, address and contact details, interest in the application and the reasons for comment. Telephonic enquiries can be made to the Town Planner, **Mr. H Boshoff** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them to formalize their comment.

ERF 895, DE VILLIERSSTRAAT 82, SANDBAAI: AANSOEK OM AFWYKING EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: HOLLOWAY & DAVEL ARGITEKTE NAMENS S HAMAN

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat die volgende aansoeke, van toepassing op Erf 895, Hermanus, ontvang is:

- a) afwyking ingevolge Artikel 16(2)(b) van die Verordening vir die verslapping van die:
- straatboulyn vanaf 4m na 0m om die swembad-pomphuis te akkommodeer;
 - oostelike laterale boulyn vanaf 2m na 0m om die swembad-pomphuis te akkommodeer;
 - agterboulyn vanaf 2m na 1m om die tweede wooneenheid te akkommodeer;
 - westelike laterale boulyn vanaf 2m na 1m om die tweede wooneenheid te akkommodeer;
 - westelike laterale boulyn vanaf 2m na 0.195m om die stoorkamer te akkommodeer ; en die
 - westelike laterale boulyn vanaf 2m na 0.195m om 'n pergola te akkommodeer; en
- b) die bepaling van 'n administratiewe boete ingevolge die bepalings van Artikel 90 van die Verordening vir die onwettige boulyn oorskrydings van die bogenoemde swembad-pomphuis, tweede wooneenheid en stoorkamer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik wees en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / loretta@overstrand.gov.za) bereik voor of op **25 Junie 2021**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as redes vir die kommentaar. Telefoniese navrae kan gerig word aan die Stadsbeplanner, **Mnr. H Boshoff** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 895, 82 DE VILLIERS STREET, SANDBAAI: ISICELO SOPHAMBUKO NOKUMISELWA KWESOHLWAYO SOLAWULO: HOLLOWAY & DAVEL ARCHITECTS EGAMENI LIKA-S HAMAN

Isaziso sinikwe ngokwemiqathango yeCandelo 48 loMthetho oYilwayo kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020, (uMthetho kaMasipala) sokokuba ezi zicelo zilandelayo ziphatelelene neSiza 895, eSandbaai, zifunyenwe:

- a) ukuphambuka ngokwemiqathango yeCandelo 16(2)(b) loMthetho kaMasipala sokunyenyisa:
- umda ongasitalatweni wesakhiwo ukususela kwi-4m ukuya ku-0m ukulungiselela ulwakhiwo lwendlu enomatshini wokumpompa idama lokuqubha;
 - umda wesakhiwo esisecaleni esingasempuma ukususela kwi-2m ukuya kwi-0m ukulungiselela ulwakhiwo lwendlu enomatshini wokumpompa idama lokuqubha;
 - umda ongasemva wesakhiwo ukususela kwi-2m ukuya kwi-1m ukulungiselela iyunithi yesakhiwo sesibini;
 - umda wesakhiwo esisecaleni esingasentshona ukususela kwi-2m ukuya kwi-1m ukulungiselela ulwakhiwo lweyunithi kwindlu yesibini yokuhlala;
 - umda wesakhiwo esisecaleni esingasentshona ukususela kwi-2m ukuya kwi-0.195m ukulungiselela ulwakhiwo lwestora; kunye
 - nomda wesakhiwo esisecaleni esingasentshona ukususela kwi-2m ukuya kwi-0.195m ukulungiselela ulwakhiwo lophahla oluneentatyambo; kunye
- b) ukumiselwa kwesohlwayo solawulo ngokwemiqathango yezibonelelo zeCandelo 90 loMthetho kaMasipala kulungiselelwa ungenelo olungekho mthethweni kumda wesakhiwo kulwakhiwo olungasentla lwendlu enomatshini wokumpompa amanzi edama lokuqubha, ulwakhiwo lweyunithi kwindlu yesibini yokuhlala nolwakhiwo lwestora.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthetho uYilwayo kaMasipala maziithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngomhla okanye ngaphambi komhla **wama-25 kuJuni 2021**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **uMnu H Boshoff** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvalwa. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



9 April 2021

1



HOLLOWAY
+
DAVEL
ARCHITECTS

TP. D. Ahearne
(H. Oliver)

Daleen Holloway & Christiaan Davel
Prof. Snr. Arch. Tech & Prof Arch.

C: 079 502 6645
E: daleen@hollowayanddavel.com
Case ID: 11-2020

19 February 2020

Overstrand Municipality
Hermanus

To whom this may concern,

FILE NO:	895 ✓
	Sandbaai
SCAN NO:	HSB 895
COLLABORATOR NO:	1526115

Motivation Letter for Erf 895, 89 DE VILLIERS STREET, SANDBAAI

We would like to request approval for our client, Mr & Mrs Haman, owners of Erf 895, 89 De Villiers Street, Sandbaai regarding his as built second dwelling as well we relaxation of the South and Western building line. The original application was to approve an as built storeroom and pool room situated on the West and East boundary with a new pergola structure on the Western side of the property.

Proposed development:

We propose to add an uncovered timber pergola and basin to the North Western boundary. The new pergola will be attached to the existing home and extend towards the boundary wall. The neighbour on this boundary has already approved the extension as well as the neighbour on the opposite side of the road.

We further propose an existing store room on the North West boundary as well as a pool store room on the North West boundary will be approved with this set of drawings. These are indicated as "As Built" on the new plans and have been discussed previously with the city planner. The visual impact of these existing structures are low as they are not built higher than 2.1m against the boundary walls, and cannot be seen from the street.

Erf 895 is situated on a level piece of plot. Access to the site is from De Villiers Street, from the left hand side of the north western boundary line. It's an existing single storey, building on its own site of 696 sqm. The proposal will not have an impact on the traffic load or access from De Villiers Street. There is enough space for 3 parking bays for vehicles on the site as indicated on plan.

The previous approved set of plans for a second dwelling was built by the owners, but they had not kept within the approved plan dimensions. Please refer to building plan for the areas that were built over the building lines. Holloway and Davel Architects were not part of the

HOLLOWAY + DAVEL architects [Pty] Ltd 2016/315859/07
ADDRESS Myrtle house unit 4, 2 Church street, Westcliff, Hermanus, RSA
DIRECTORS Daleen Holloway | PrArch. | SACAP REGISTRATION PSAT 20714
Christiaan Davel | PrArch. | SACAP REGISTRATION PrArch: 58855809 | School Holloway
ACCOUNT DETAILS: FNB Business Account, 626 3705 0064

+27 021 444 0561 / +27 82 923 3515
www.hollowayanddavel.com
info@hollowayanddavel.com
daleen@hollowayanddavel.com
christiaan@hollowayanddavel.com

HOLLOWAY + DAVEL



ARCHITECTS

TP
07 APR 2021

previous submitted set or building construction phase and were appointed to correct the application on the owner's part. They were informed that a penalty from council may apply or worst case scenario of breakdown of built structures may be enforced upon them. This said, they are asking for council to be lenient and impose a penalty fee as worst case scenario rather than removing the structure that encroaches the building line. They take full responsibility for their actions and understand that blaming the contractor or any one else will not be accepted as they are the property owners, and should take responsibility for their actions.

- The going rate for construction work in the Overstrand area is currently R 15 000 per square meter.
- This said the amount of square meters that encroach these building lines are = 20.09 sqm
- Thus R 15 000 per square meter x 20.09 square meters = R 301 350.00
- The owner has requested that the penalty fee be either omitted with a warning or willing to pay max 10% of the fee above as penalty.
- They now understand that going forth without building plans or deviating from the approved plans were not allowed and in hindsight they do regret this. They have learnt from their mistakes.

Character of the environment:

Erf 895 is situated in SR 1. The proposed additions will not influence the privacy of any neighbours nor their views. The street scenes will not be influenced as there are already double storey & single storey residences with double garages, pergolas and other building forms on the street façade. Most properties in the area is fenced with vibracrete, brick or clear-vu.

The house is not situated in a floodplain, near an eco-sensitive habitat or sensitive area. It does not fall in a heritage overlay zone and does not trigger the heritage acts. The property is not older than 60 years.

Desirability of the proposed utilisation:

- Pergola/Braai area – New additions

The encroachment of the western Boundary by the pergola and braai area is considered as desirable as no part of the pergola protrudes over the boundary line, no part protrudes past the inside of the boundary wall. The pergola and braai area are set back from the road and screened by the existing boundary wall so it will not unacceptably detract from the visual amenity of the character of the surrounding area. There is no adverse impact on the aesthetics of the surrounding properties. The structure does not pose any hazard to neighbouring properties.

- Pump room – as built

The encroachment of the eastern and street building line by the pump room for the swimming pool does not protrude above the existing boundary wall. The structure can be considered as desirable as it does not visually impact the surroundings and the neighbours to the East. The structure does not pose any hazard to neighbouring properties. As seen from



the street the pumproom matches the boundary wall and does not have an adverse impact on the aesthetics of the surrounding properties.

- Storeroom – as built

The encroachment of the Western building line by the Storeroom can be considered as desirable as it does not protrude above the boundary wall. It should be noted that the structure will only be used for storage. The structure does not pose any hazard to neighbouring properties. The position does not impact the neighbours visually. There is no adverse impact on the aesthetics of the surrounding properties.

- Second dwelling – as built

Stated on plan and per proposed development section above. The second dwelling is currently 92.85 sqm and within the allowed 120 sqm for a second dwelling. The encroaching sqm area = 20.09 sqm which is over the building lines. No sectional title application will be applicable for the two units sharing this property. The owners elderly father currently occupies this second dwelling full time.

Application for an administrative penalty

Section 90 of By-Law

Subsection 3:

Section 90 (1) of the Municipal planning by-law states that if an applicant wishes to rectify a contravention of the By-Law, an application for the determination of an administrative penalty must be made. The following aspects must at least be considered when determining an appropriate administrative penalty:

a) The nature, duration, gravity and extent of the contravention:

Nature: For reference the latest building plan was approved in August 2016. The original house dates to around 1998. The following structures were built after the completion of the approved alterations of August 2016.

This application is to gain approval for 2 existing minor structures that have been built on the property these structures are:

1. A pool pump storeroom of 1.8m high aligning with the top of the boundary wall.
2. A storeroom 2.1m high aligning with the top of the boundary wall.

To rectify the contravention, and regularize the structures, the administrative penalty process as well as applicable departure applications have been started.

Duration: The duration of the contravention is approximately 12 Months. (i.e from beginning of construction of unlawful structure to date)

Gravity: Although the gravity or magnitude of the contravention might not seem minor. There is no evidence to suggest that the unauthorised building work poses a safety or fire hazard. The height of the structures does not influence the neighbouring properties. The neighbours next to the property have already giving their consent and does not have any objections to the structures.

Extent: Approximately 22.62m² in respect of the unauthorized additions which includes the pool pump storeroom of 10.44m² and the storeroom of 12.18m² to the west of the property.

b) The conduct of the person (allegedly)involved in the contravention:



The owner has commenced with the necessary steps to rectify the contravention by accepting the application process for an administrative penalty. The owner has requested that the minimum penalty fee be applied and not to request a demolition of the illegal building works.

c) A report by a quantity surveyor in matters of unauthorised building/construction:

The breakdown of the costs are as follows:

Room description	Area x R 15 000.00 per sqm	Value in Rand
Storeroom: [Not full height building]	12.18 m ²	R 85 260 - 00
Pool pump store room: [Not full height building]	10.44 m ²	R 73 080 - 00
Second dwelling Sqm encroaching the building line area	20.09 m ²	R 301 350.00
Total	42.71 m ²	R158 340 - 00

d) Whether the unlawful conduct was stopped:

The building work has been completed. Please note that the no steps were taken by the council to stop the unauthorised building work to date this could be because this work is of a minor unobtrusive manner.

The unlawful structures have not been demolished, but the owner has taken steps to rectify the issue by applying for the administrative penalty, as well as to resubmit updated building plans indicating all work built.

e) Whether the person allegedly involved in the contravention has previously contravened this by-law or a previous planning law:

As far as can be ascertained, the owner of the property has not previously contravened this By-Law or any other previous planning law.

Investigations carried out in terms of other laws which are relevant to the consideration of the application:

The house is not situated in a floodplain, near an eco-sensitive habitat or sensitive area. It does not fall in a heritage overlay zone and does not trigger the heritage acts. The property is not older than 60 years. No additional acts are triggered with the proposed additions on Erf 895.

The impact of the proposed land development on municipal engineering services:

The addition to the existing dwelling will not have an impact on the municipal services provided to Erf 895. The site is situated on a level piece of plot and the existing drainage connection is situated in the Southern corner of the property. Access to the site will not be affected.

Consideration of forward planning and land use documents:

HOLLOWAY + DAVEL architects (Pty) Ltd 2016/315859/D7
 ADDRESS Myrtle house unit 4, 2 Church street, Westcliff, Hermanus, RSA
 DIRECTORS Dalseen Holloway | PrsArch. | SACAP REGISTRATION PSAT 20714
 Christiaan Davel | PrArch. | SACAP REGISTRATION PrArch 38855809 | Scholtz Holloway
 ACCOUNT DETAILS FNB Business Account, 626 3705 0064

+27 021 444 0561 / +27 82 923 3515
 www.hollowayanddavel.com
 info@hollowayanddavel.com
 dalseen@hollowayanddavel.com
 christiaan@hollowayanddavel.com



The proposed land use is in line with the relevant zoning scheme regulations and forward planning documentation.

Planning principles:

The policies, principles of planning, development norms and criteria as set out set in Section 42 of the Spatial Planning and Land Use Management Act, 2013 (ACT 16 of 2013) (SPLUMA) and Chapter VI of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) was regarded and the proposed application is in compliance with these requirements or are not affected by these requirements and regulations.

The proposed addition to existing dwelling on ERF 895 does not have an impact on **SPATIAL JUSTICE**. Its situated within a well-established residential area with no limitation to access and equal opportunities for all. The application promotes **SPATIAL SUSTAINABILITY** with an environmentally sensitive approach to the design having no impact on biodiversity rich areas. Services and requirements were addressed with **EFFICIENCY** to minimise its negative financial, social, economic environmental impact. The design does not impact the nature or character of the neighbourhood. The design aims to be **SPATIALLY RESILIENT** by using all social spatial and environmental resources enabling the communities to resist, absorb and accommodate shocks and to recover from these shocks in a timely and efficient manner. This proposal aims to promote **GOOD ADMINISTRATION** with integrated, consultative planning practices in which all spheres of government and other role-players, to ensure that a joint planning approach is pursued.

Advertising:

The clients would like for the Overstrand municipality to advertise to the neighbours, ward councillor and rate payer's association. The neighbour on the North East boundary has already provided his consent as has the neighbour directly across the street. Please see no objection letters attached to this application.

All questions or requests for additional information can be directed to our offices.



Kind regards,
Daleen Holloway
For **DIRECTOR: HOLLOWAY & DAVEL ARCHITECTS**

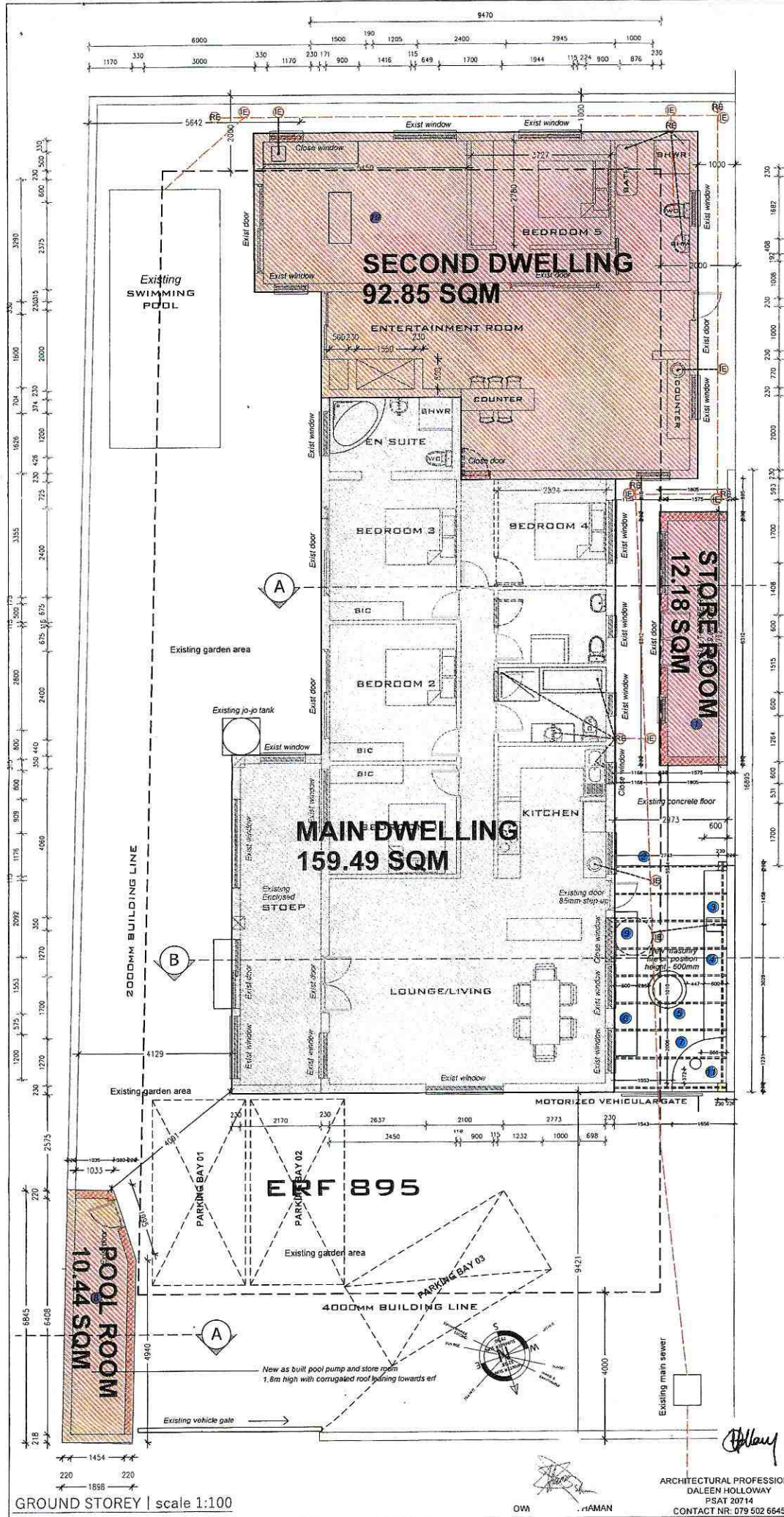
HOLLOWAY + DAVEL architects (Pty) Ltd 2016/315859/07
ADDRESS Myrtle house unit 4, 2 Church street, Westcliff, Hermanus, RSA
DIRECTORS Daleen Holloway | PrArchT. | SACAP REGISTRATION PSAT 20714
Christiaan Davel | PrArch. | SACAP REGISTRATION PrArch 38855809 | Schalk Holloway
ACCOUNT DETAILS FNB Business Account. 626 3705 0064

+27 021 444 0561 / +27 82 923 3515
www.hollowayanddavel.com
info@hollowayanddavel.com
daleen@hollowayanddavel.com
christiaan@hollowayanddavel.com

HOLLOWAY + DAVEL



A R C H I T E C T S



BUILDING WORK:
All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authorities' regulations. Figured dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before building work commences. Contractors shall be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions: The building are to be laid out and erected in the position and to the levels as indicated on the plan & site layout plan.

The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work. Land surveyor to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall be treated against termite and wood borer attack and fungal decay in accordance with the requirements of SANS 10005 and shall bear the product certification mark of a body certified by the south african national accrediting system.

FINISH FLOOR LEVEL: Finished floor level of dwelling to be min. of 25mm above back of footway level at sewer connection. It is recommended that garage floor level min of 170mm above back of footway level at driver entrance if any.

OTHER: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal must comply with sans 10400 J. Any combustible material to be 200mm away from chimney flue. The requirements of the national by-laws and any other applicable authority must be complied with. The builders must comply with the NHBCB by-laws. All reinforced concrete slabs and stairs are to be cast strictly to structural engineer's specifications and details.

PAINT: All painted colours to external side of dwelling must be white as per estate design guidelines. Internal colours to be approved by client before applying to wall.

HOT WATER: Hot water heating requirement: at least 50% of the annual average hot water heating requirement shall be provided by HEAT PUMP, in accordance with SAN 10400 PART XA

HOT WATER PIPING INSULATION: Provided and install Armaflex piping insulation on all hot water services pipes in accordance with SANS 10400 Part XA. Install Armaflex pipe insulation of 25mm thickness for Nominal ID of 15mm with a R-Value of 1.32 (A min R-Value of 1.00 is required for internal dia = 80mm)

ROOF INSULATION: All roofs shall achieve a minimum R-Value of 3.7 in accordance with SANS 10400 PART XA Table 7 and SANS 204:2011 for typical R-Values as for roof and ceiling construction. Direction of heat flow for Climatic zone 4 = Up. Add 1 x layer of 75mm Isotherm with a R-Value of 2.2 between trusses above ceiling. Add 1 x layer of Sisaaloon 405 with a R-Value of 1.26 between cladding & battens.

SURFACE AREA	
ERF SIZE	696.00 sqm
EXIST. MAIN DWELLING	159.49 sqm
EXIST. SECOND DWELLING	92.85 sqm
EXIST. LAUNDRY STORE ROOM	12.18 sqm
EXISTING POOL PUMP STORE ROOM	10.44 sqm
EXISTING POOL	20.46 sqm
TOTAL SURFACE AREA	= 295.42 m²

COVERAGE - 50%	
EXIST. MAIN DWELLING	= 22.91 %
EXIST. SECOND DWELLING	= 13.34 %
EXIST. LAUNDRY STORE ROOM	= 1.7 %
EXISTING POOL PUMP STORE ROOM	= 1.5 %
EXISTING POOL	= 2.93 %
TOTAL COVERAGE	= 42.38 %

DRAWING
SECOND DWELLING AND MAIN DWELLING - SITE PLAN
scale: see labels - do not scale when printing (A3)

DATE 13 November 2019
DRAWN D Holloway
DWG No 100-100-01
CHECKED D Holloway
REV 0

- Scope of Work**
- As-built Store room / Laundry room, 1.8m high
 - New timber pergola with timber posts
 - New built in basin surrounded by concrete cast top
 - New masonry cupboard with concrete cast top
 - New 600mm high fire pit built on existing concrete slab floor
 - New built in masonry bench - storage below seats to specialist
 - New built in workstation.
 - As built pool pump room / storage room, 1.8m high
 - Remove jo-jo tank from existing position and relocate
 - Existing second dwelling
 - New home Pizza oven installed by manufacturer

PROJECT HOUSE HAMAN | ERF 895
89 DE VILLIERS STREET
SANDBAAI | 7200
HERMANUS

ADDITIONS/ ALTERATIONS

THIS DOCUMENT SHOULD NOT BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH PREPARED FOR AND WHICH COMMISSIONED FOR

HOLLOWAY + DAVEL ARCHITECTS

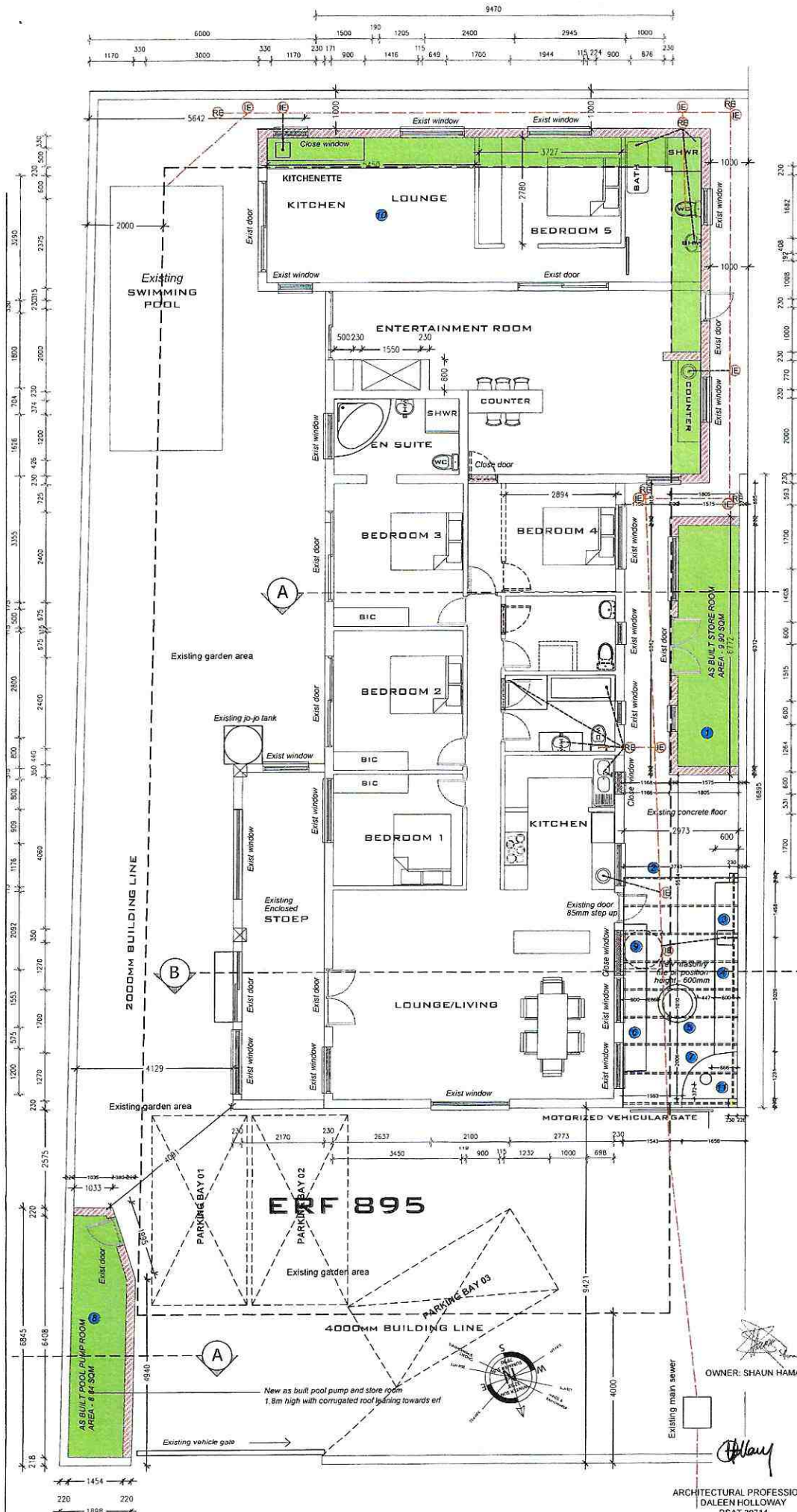
02 Church Street
Merlie House Unit 4
Hermanus, 7200
www.hollowayanddavel.com

Daleen Holloway - PIS/Arch T
SACAP Registration - PISAT 20714
dleholl@hollowayanddavel.com
079 502 6645

Christian Davel - P/Arch
SACAP Registration - P/Arch 38853829
chrisd@hollowayanddavel.com
082 923 3515

GROUND STOREY | scale 1:100

ARCHITECTURAL PROFESSIONAL
DALEEN HOLLOWAY
PISAT 20714
CONTACT NR: 079 502 6645



BUILDING WORK:
All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authorities' regulations. Figured dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before building work commences. Contractors shall be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions: The building are to be laid out and erected in the position and to the levels as indicated on the plan & site layout plan.

The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work. Land surveyor to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall be treated against termite and wood borer attack and fungal decay in accordance with the requirements of SANS 10005 and shall bear the product certification mark of a body certified by the south african national accrediting system.

FINISH FLOOR LEVEL: Finished floor level of dwelling to be min. of 25mm above back of footway level at sewer connection. It is recommended that garage floor level min of 170mm above back of footway level at driver entrance if any.

OTHER: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal must comply with sans 10400.1. Any combustible material to be 200mm away from chimney flue. The requirements of the national by-laws and any other applicable authority must be complied with. The builders must comply with the NHBRC by-laws. All reinforced concrete slabs and stairs are to be cast strictly to structural engineer's specifications and details.

PAINT: All painted colours to external side of dwelling must be white as per estate design guidelines. Internal colours to be approved by client before applying to wall.

HOT WATER: Hot water heating requirement: at least 50% of the annual average hot water heating requirement shall be provided by HEAT PUMP, in accordance with SAN 10400. PART XA

HOT WATER PIPING INSULATION: Provided and install Armaflex piping insulation on all hot water services pipes in accordance with SANS 10400. Part XA. Install Armaflex pipe insulation of 25mm thickness for Nominal ID of 15mm with a R-Value of 1.32 (A min R-Value of 1.00 is required for internal dia = 80mm)

ROOF INSULATION: All roofs shall achieve a minimum R-Value of 3.7 in accordance with SANS 10400. PART XA Table 7 and SANS 204.2011 for typical R-Values for roof and ceiling construction. Direction of heat flow for Climatic zone 4 = Up. Add 1 x layer of 75mm Isotherm with a R-Value of 2.2 between trusses above ceiling. Add 1 x layer of Stalation 405 with a R-Value of 1.26 between cladding & battens.

SURFACE AREA	
ERF SIZE	696.00 sqm
EXIST. MAIN DWELLING	159.49 sqm
EXIST. SECOND DWELLING	92.85 sqm
EXIST. LAUNDRY STORE ROOM	12.18 sqm
EXISTING POOL PUMP STORE ROOM	10.44 sqm
EXISTING POOL	20.46 sqm
TOTAL SURFACE AREA	= 295.42 m²

COVERAGE	
ALLOWABLE - 50%	
EXIST. MAIN DWELLING	= 22.91 %
EXIST. SECOND DWELLING	= 13.34 %
EXIST. LAUNDRY STORE ROOM	= 1.7 %
EXISTING POOL PUMP STORE ROOM	= 1.5 %
EXISTING POOL	= 2.93 %
TOTAL COVERAGE	= 42.38 %

DRAWING
site plan
scale: see labels . do not scale when printing (A3)

DATE 13 November 2019
DRAWN D Holloway
DWG No 100-100-01
CHECKED D Holloway
REV 0

- Scope of Work**
1. As-built Store room / Laundry room. 1.8m high
 2. New timber pergola with timber posts
 3. New built in basin surrounded by concrete cast top
 4. New masonry cupboard with concrete cast top
 5. New 600mm high fire pit built on existing concrete slab floor
 6. New built in masonry bench - storage below seats to special
 7. New built in worktop.
 8. As built pool pump room / storage room. 1.8m high
 9. Remove jo-jo tank from existing position and relocate
 10. Existing second dwelling
 11. New home Pizza oven installed by manufacturer

PROJECT HOUSE HAMAN | ERF 895
89 DE VILLIERS STREET
SANDBAAI | 7200
HERMANUS

ADDITIONS/ ALTERATIONS

THIS DOCUMENT SHOULD NOT BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH PREPARED FOR AND WHICH COMMISSIONED FOR

HOLLOWAY + DAVEL ARCHITECTS

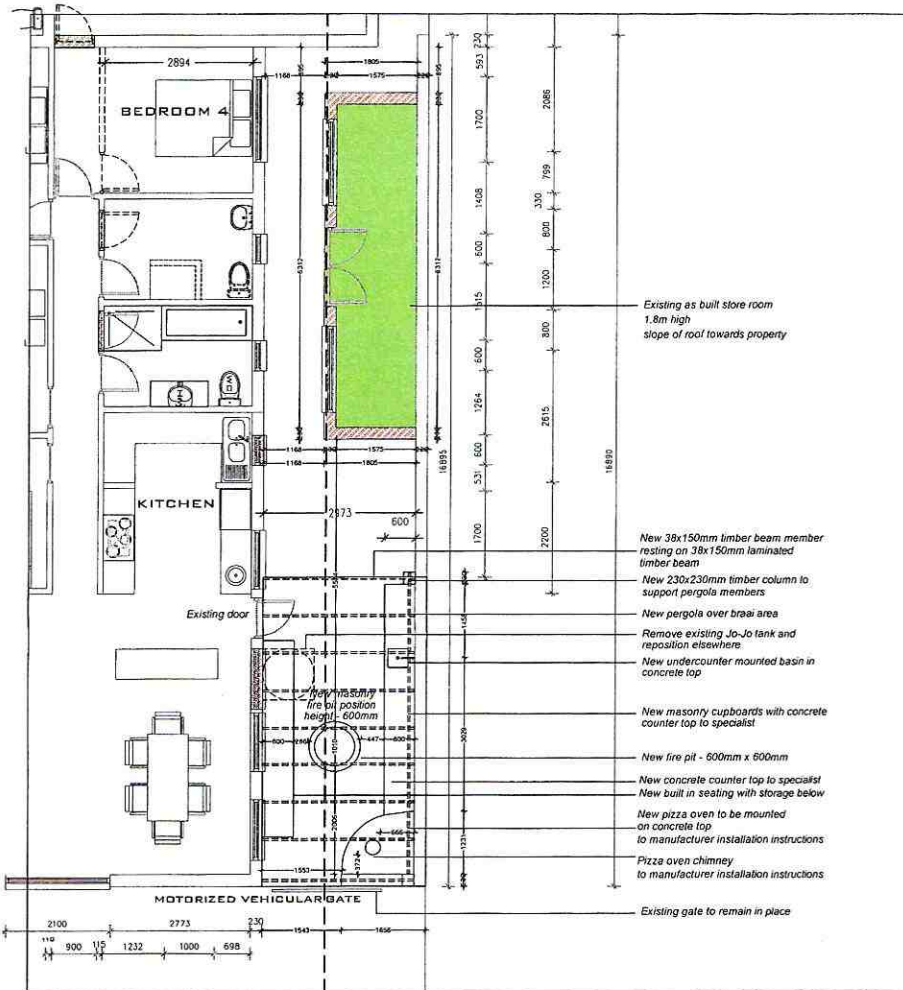
02 Church Street
Meyersbosch 0164
Hermanus, 7200
www.hollowayanddavel.com

Daleen Holloway - PPS/Arch. I
SACAP Registration - PSAT 20714
daleen@hollowayanddavel.com
079 502 6645

Christiaan Davel - PPS/Arch
SACAP Registration - PPSAT 38855809
chrisc@hollowayanddavel.com
082 923 3515

GROUND STOREY | scale 1:100

ARCHITECTURAL PROFESSIONAL
DALEEN HOLLOWAY
PSAT 20714
CONTACT NR: 079 502 6645



GROUND STOREY | NEW PERGOLA AREA | scale 1:100

BUILDING WORK:

All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authorities' regulations. Figured dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before building work commences. Contractors shall be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions: The building are to be laid out and erected in the position and to the levels as indicated on the plan & site layout plan.

The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work. Land surveyor to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall be treated against termite and wood borer attack and fungal decay in accordance with the requirements of SANS 10005 and shall bear the product certification mark of a body certified by the south african national accrediting system.

FINISH FLOOR LEVEL: Finished floor level of dwelling to be min. of 25mm above back of footway level at sewer connection. It is recommended that garage floor level min of 170mm above back of footway level at driver entrance if any.

OTHER: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal must comply with sans 10400 J. Any combustible material to be 200mm away from chimney flue. The requirements of the national by-laws and any other applicable authority must be complied with. The builders must comply with the NHBC by-laws. All reinforced concrete slabs and stairs are to be cast strictly to structural engineer's specifications and details.

PAINT: All painted colours to external side of dwelling must be white as per estate design guidelines. Internal colours to be approved by client before applying to wall.

HOT WATER: Hot water heating requirement. at least 50% of the annual average hot water heating requirement shall be provided by HEAT PUMP, in accordance with SAN 10400: PART XA

HOT WATER PIPING INSULATION: Provided and install Armaflex piping insulation on all hot water services pipes in accordance with SANS 10400 Part XA. Install Armaflex pipe insulation of 25mm thickness for Nominal ID of 15mm with a R-Value of 1.32 (A min R-Value of 1.00 is required for internal da = 80mm)

ROOF INSULATION: All roofs shall achieve a minimum R-Value of 3.7 in accordance with SANS 10400: PART XA Table 7 and SANS 204:2011 for typical R-Values for roof and ceiling construction. Direction of heat flow for Climatic zone 4 = Up. Add 1 x layer of 75mm Isotherm with a R-Value of 2.2 between trusses above ceiling. Add 1 x layer of Sicalation 405 with a R-Value of 1.26 between cladding & battens.

SURFACE AREA

ERF SIZE	696.00 sqm
EXIST. MAIN DWELLING	159.49 sqm
EXIST. SECOND DWELLING	92.85 sqm
EXIST. LAUNDRY STORE ROOM	12.18 sqm
EXISTING POOL PUMP STORE ROOM	10.44 sqm
EXISTING POOL	20.46 sqm

TOTAL SURFACE AREA = 295.42 m²

COVERAGE

ALLOWABLE - 50%	
EXIST. MAIN DWELLING	= 22.91 %
EXIST. SECOND DWELLING	= 13.34 %
EXIST. LAUNDRY STORE ROOM	= 1.7 %
EXISTING POOL PUMP STORE ROOM	= 1.5 %
EXISTING POOL	= 2.93 %
TOTAL COVERAGE	= 42.38 %

DRAWING

site plan	
scale: see labels. do not scale when printing (A3)	
DATE	13 November 2019
DRAWN	D Holloway
DWG No	100-100-01
CHECKED	D Holloway
REV	0

Scope of Work

- As-built Store room / Laundry room. 1.8m high
- New timber pergola with timber posts
- New built in basin surrounded by concrete cast top
- New masonry cupboard with concrete cast top
- New 600mm high fire pit built on existing concrete slab floor
- New built in masonry bench - storage below seats to specialists
- New built in workstation.
- As built pool pump room / storage room. 1.8m high
- Remove jo-jo tank from existing position and relocate
- Existing second dwelling
- New home Pizza oven installed by manufacturer

PROJECT HOUSE HAMAN | ERF 895

89 DE VILLIERS STREET
SANDBAAI | 7200
HERMANUS

ADDITIONS/ ALTERATIONS

THIS DOCUMENT SHOULD NOT BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH PREPARED FOR AND WHICH COMMISSIONED FOR

Shaun Haman
OWNER: SHAUN HAMAN

D Holloway

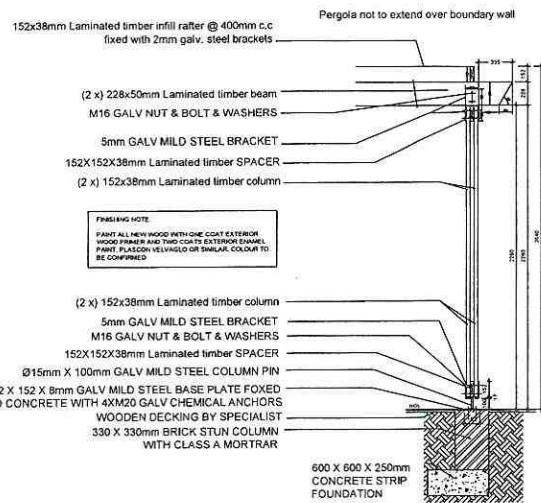
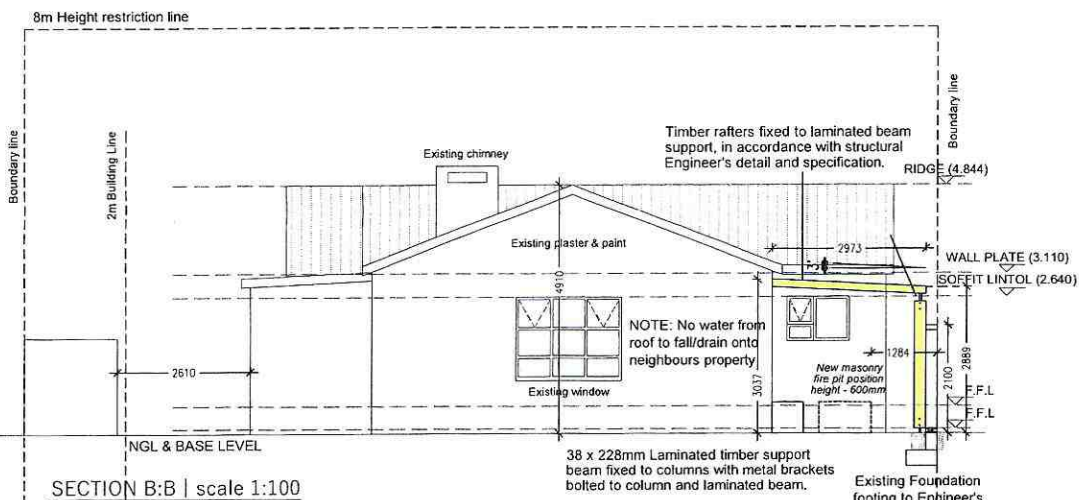
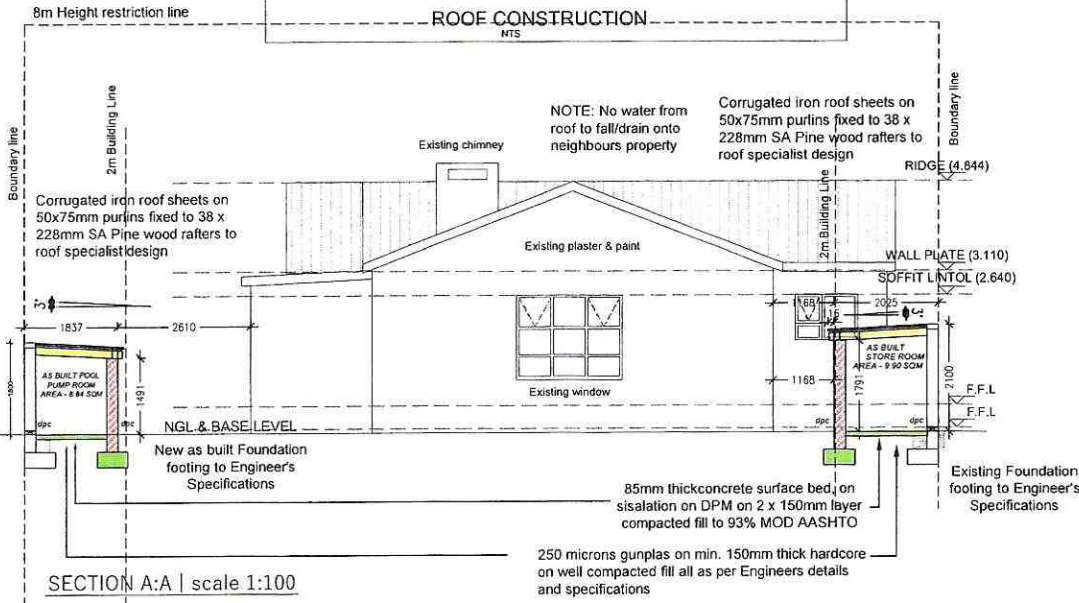
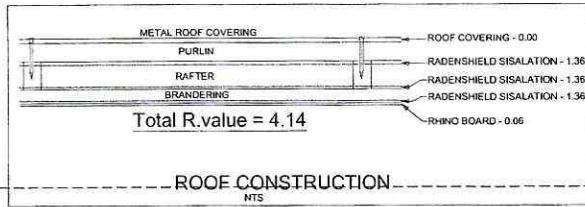
ARCHITECTURAL PROFESSIONAL
DALEEN HOLLOWAY
PSAT 20714
CONTACT NR: 079 502 6645

HOLLOWAY
+
DAVEL
ARCHITECTS

02 Church Street,
Mylie House Unit 4,
Hermanus, 7200. www.hollowayanddavel.com

Daleen Holloway - PSNArchT
SACAP Registration - PSAT 20714
daleen@hollowayanddavel.com
079 502 6645

Christiaan Davel - PRArch
SACAP Registration - PRArch 38855809
christiaan@hollowayanddavel.com
082 923 3515



BUILDING WORK:
All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authorities' regulations. Figured dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before building work commences. Contractors shall be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions. The building are to be laid out and erected in the position and to the levels as indicated on the plan & site layout plan.

The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work. Land surveyor to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall be treated against termite and wood borer attack and fungal decay in accordance with the requirements of SANS 10005 and shall bear the product certification mark of a body certified by the south african national accrediting system.

FINISH FLOOR LEVEL: Finished floor level of dwelling to be min. of 255mm above back of footway level at sewer connection. It is recommended that garage floor level min of 170mm above back of footway level at driver entrance if any.

OTHER: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal must comply with sans 10400 J. Any combustible material to be 200mm away from chimney flue. The requirements of the national by-laws and any other applicable authority must be complied with. The builders must comply with the NHBCRC by-laws. All reinforced concrete slabs and stairs are to be cast strictly to structural engineer's specifications and details.

PAINT: All painted colours to external side of dwelling must be white as per estate design guidelines. Internal colours to be approved by client before applying to wall.

HOT WATER: Hot water heating requirement: at least 50% of the annual average hot water heating requirement shall be provided by HEAT PUMP, in accordance with SAN 10400. PART 2A

HOT WATER PIPING INSULATION: Provided and install Armaflex piping insulation on all hot water services pipes in accordance with SANS 10400 Part 2A. Install Armaflex pipe insulation of 25mm thickness for Nominal ID of 15mm with a R-Value of 1.32 (A min R-Value of 1.00 is required for internal dia = 80mm)

ROOF INSULATION: All roofs shall achieve a minimum R-Value of 3.7 in accordance with SANS 10400: PART 2A Table 7 and SANS 204:2011 for typical R-Values for roof and ceiling construction. Direction of heat flow for Climatic zone 4 = Up. Add 1 x layer of 75mm Isotherm with a R-Value of 2.2 between trusses above ceiling. Add 1 x layer of Sisalation 405 with a R-Value of 1.28 between cladding & battens.

SURFACE AREA	
ERF SIZE	696.00 sqm
EXIST. MAIN DWELLING	159.43 sqm
EXIST. SECOND DWELLING	82.85 sqm
EXIST. LAUNDRY STORE ROOM	12.18 sqm
EXISTING POOL PUMP STORE ROOM	10.44 sqm
EXISTING POOL	20.46 sqm
TOTAL SURFACE AREA	= 295.42 m²

COVERAGE	
ALLOWABLE - 50%	
EXIST. MAIN DWELLING	= 22.91 %
EXIST. SECOND DWELLING	= 13.34 %
EXIST. LAUNDRY STORE ROOM	= 1.7 %
EXISTING POOL PUMP STORE ROOM	= 1.5 %
EXISTING POOL	= 2.93 %
TOTAL COVERAGE	= 42.38 %

DRAWING
site plan
scale: see labels - do not scale when printing (A3)

13 November 2019
DRAWN D Holloway
DWG No 100-100-01
CHECKED D Holloway
REV 0

- Scope of Work**
- As-built Store room / Laundry room. 1.8m high
 - New timber pergola with timber posts
 - New built in basin surrounded by concrete cast top
 - New masonry cupboard with concrete cast top
 - New 600mm high fire pit built on existing concrete slab floor
 - New built in masonry bench - storage below seats to specialist
 - New built in workstation.
 - As built pool pump room / storage room. 1.8m high
 - Remove jo-jo tank from existing position and relocate
 - Existing second dwelling
 - New home Pizza oven installed by manufacturer

PROJECT HOUSE HAMAN | ERF 895
89 DE VILLIERS STREET
SANDBAAI | 7200
HERMANUS

ADDITIONS/ ALTERATIONS

THIS DOCUMENT SHOULD NOT BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH PREPARED FOR AND WHICH COMMISSIONED FOR

HOLLOWAY + DAVEL ARCHITECTS

02 Church Street
Myrtle House Unit 4
Hermonia, 7200

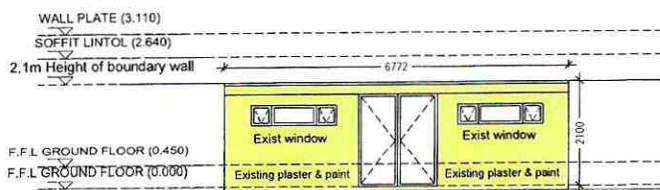
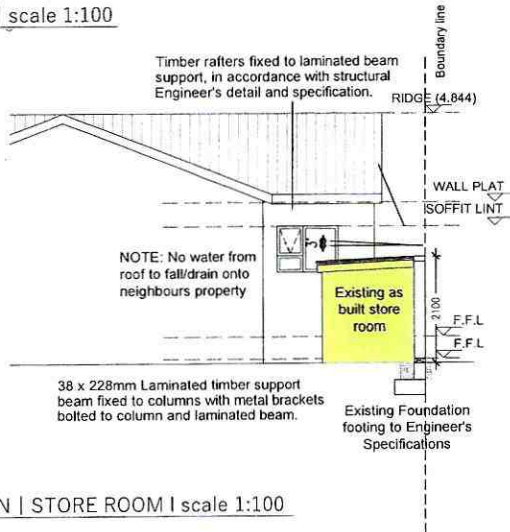
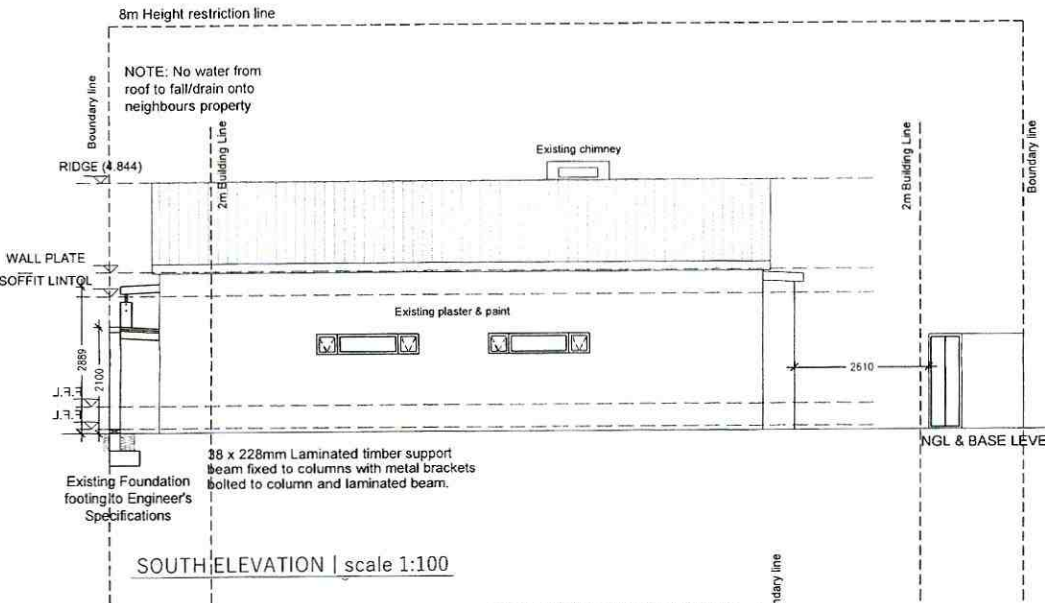
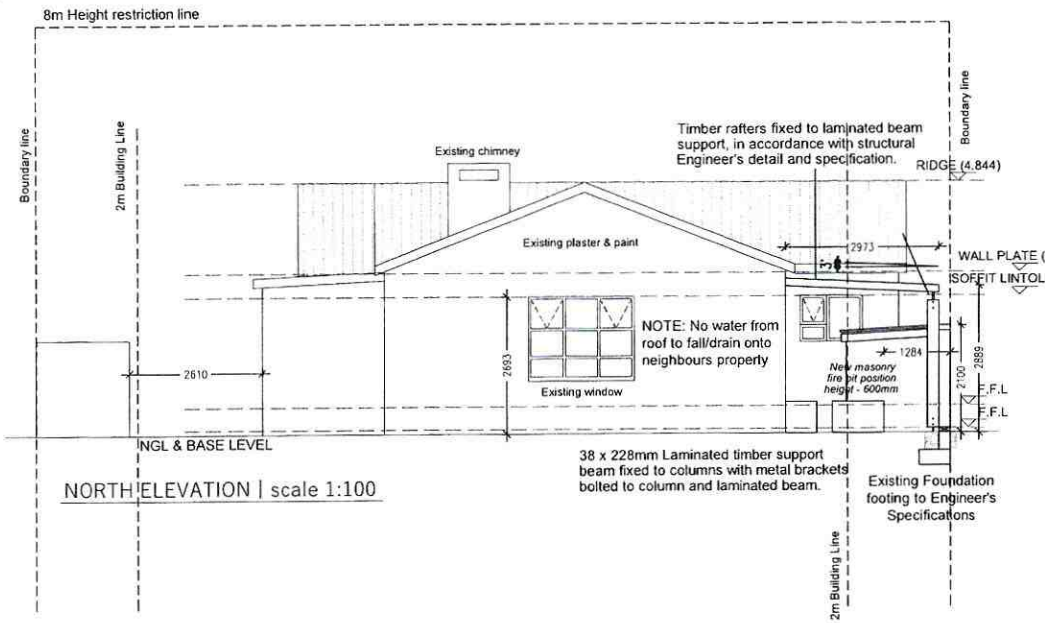
Christiaan Davel - P/Arch
SACAP Registration - PSAT 20714
davelen@hollowaydavel.com
079 924 6645

Christiaan Davel - P/Arch
SACAP Registration - P/Arch 3885800
christiaan@hollowaydavel.com
085 923 3131

www.hollowayanddavel.com

OWNER: SHAUN HAMAN

ARCHITECTURAL PROFESSIONAL
DALEEN HOLLOWAY
PSAT 20714
CONTACT NR: 079 502 6645



BUILDING WORK:
All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authorities' regulations. Figured dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before building work commences. Contractors shall be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions. The building are to be laid out and erected in the position and to the levels as indicated on the plan & site layout plan.

The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work. Land surveyor to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall be treated against termites and wood borer attack and fungal decay in accordance with the requirements of SANS 10005 and shall bear the product certification mark of a body certified by the south african national accrediting system.

FINISH FLOOR LEVEL: Finished floor level of dwelling to be min. of 255mm above back of footway level at sewer connection. It is recommended that garage floor level min of 170mm above back of footway level at driver entrance if any.

OTHER: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal must comply with sans 10400 J. Any combustible material to be 200mm away from chimney flue. The requirements of the national by-laws and any other applicable authority must be complied with. The builders must comply with the NHBC by-laws. All reinforced concrete slabs and stairs are to be cast strictly to structural engineer's specifications and details.

PAINT: All painted colours to external side of dwelling must be white as per estate design guidelines. Internal colours to be approved by client before applying to wall.

HOT WATER: Hot water heating requirement: at least 50% of the annual average hot water heating requirement shall be provided by HEAT PUMP, in accordance with SAN 10400: PART XA

HOT WATER PIPING INSULATION: Provided and install Armaflex piping insulation on all hot water services pipes in accordance with SANS 10400: PART XA. Install Armaflex pipe insulation of 25mm thickness for Nominal ID of 15mm with a R-Value of 1.32 (a min R-Value of 1.00 is required for internal dia = 80mm)

ROOF INSULATION: All roofs shall achieve a minimum R-Value of 3.7 in accordance with SANS 10400: PART XA Table 7 and SANS 204:2011 for typical R-Values for roof and ceiling construction. Direction of heat flow for Climatic zone 4 = Up. Add 1 x layer of 75mm Isotherm with a R-Value of 2.2 between trusses above ceiling. Add 1 x layer of Sisalation 405 with a R-Value of 1.26 between cladding & battens.

SURFACE AREA	
ERF SIZE	696.00 sqm
EXIST. MAIN DWELLING	159.49 sqm
EXIST. SECOND DWELLING	92.85 sqm
EXIST. LAUNDRY STORE ROOM	12.18 sqm
EXISTING POOL PUMP STORE ROOM	10.44 sqm
EXISTING POOL	20.46 sqm
TOTAL SURFACE AREA	= 295.42 m²
COVERAGE	
ALLOWABLE - 50%	
EXIST. MAIN DWELLING	= 22.81 %
EXIST. SECOND DWELLING	= 13.34 %
EXIST. LAUNDRY STORE ROOM	= 1.7 %
EXISTING POOL PUMP STORE ROOM	= 1.5 %
EXISTING POOL	= 2.93 %
TOTAL COVERAGE	= 42.38 %

DRAWING
site plan
scale: see labels , do not scale when printing (A3)

13 November 2019
DRAWN D Holloway
DWG No 100-100-01
CHECKED D Holloway
REV 0

- Scope of Work**
- As-built Store room / Laundry room. 1.8m high
 - New timber pergola with timber posts
 - New built in basin surrounded by concrete cast top
 - New masonry cupboard with concrete cast top
 - New 600mm high fire pit built on existing concrete slab floor
 - New built in masonry bench - storage below seats to specialist
 - New built in workstation.
 - As built pool pump room / storage room. 1.8m high
 - Remove jo-jo tank from existing position and relocate
 - Existing second dwelling
 - New home Pizza oven installed by manufacturer.

PROJECT HOUSE HAMAN | ERF 895
89 DE VILLIERS STREET
SANDBAAI | 7200
HERMANUS

ADDITIONS/ ALTERATIONS

THIS DOCUMENT SHOULD NOT BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH PREPARED FOR AND WHICH COMMISSIONED FOR

HOLLOWAY + DAVEL ARCHITECTS

02 Church Street
Myrtleburg 7201
Hermanus, 7200
www.hollowayanddavel.com

OWNER: SHAUN HAMAN

ARCHITECTURAL PROFESSIONAL
DALEEN HOLLOWAY
PSAT 20714
CONTACT NR: 079 502 6645

Daleen Holloway - PSAT 20714
SACAP Registration - PSAT 20714
daleen@hollowayanddavel.com
079 502 6645

Christiaan Davel - #1406
SACAP Registration - #1406
christiaan@hollowayanddavel.com
021 913 3313

ELECTRICAL LEGEND			
	DOUBLE PLUG POINT EXTERNAL 300mm HIGH		EXTERNAL BIB TAP & GULLEY
	DOUBLE PLUG POINT INTERNAL 1100mm HIGH		HEATED TOWEL RAIL
	DOUBLE PLUG POINT EXTERNAL 1200mm HIGH		SHAVER PLUG
	TV POINT		INTERCOM
	EXTERNAL WALL LIGHT ON DAY / NIGHT SWITCH		ALARM KEYPAD
	EXTERNAL BRICK LIGHT ON DAY / NIGHT SWITCH		GEYSER
	EXTERNAL WALKWAY LIGHT ON DAY / NIGHT SWITCH		LED DOWN LIGHTER
	DB		PENDANT LIGHT
	EXTRACTOR FAN		1.5 DOUBLE TUBE FLUORESCENT LIGHT
	HEAT RESISTANT FIREPLACE LIGHT		LIGHT SWITCH
	DOUBLE PLUG POINT IN CEILING		STOVE / OVEN ISOLATOR
	CEILING LIGHT		LED STRIP

BUILDING WORK: All work to comply with SANS 10400 and Building regulations. All works to be in accordance with local municipal authorities' regulations. Figured dimensions to be taken in preference to scaled dimensions. All levels and dimensions to be checked on site before building work commences. Contractors shall be deemed to have acquainted themselves with site conditions prior to commencement of work.

LEVELS: Levels and dimensions. The building are to be laid out and erected in the position and to the levels as indicated on the plan & site layout plan.

The contractor, sub-contractors and suppliers must verify all dimensions and levels on-site before commencing any work. Land surveyor to confirm all boundary pegs and to check all levels before construction commences. Top soil shall be removed from the area to be built upon, all grading leveling to be done by contractor.

MATERIALS: Material used in the erection of a building shall be suitable for the purpose for which it is to be used.

TIMBER: All timber used in the erection of a building shall be treated against termite and wood borer attack and fungal decay in accordance with the requirements of SANS 10005 and shall bear the product certification mark of a body certified by the south african national accrediting system.

FINISH FLOOR LEVEL: Finished floor level of dwelling to be min. of 255mm above back of footway level at sewer connection. It is recommended that garage floor level min of 170mm above back of footway level at driver entrance if any.

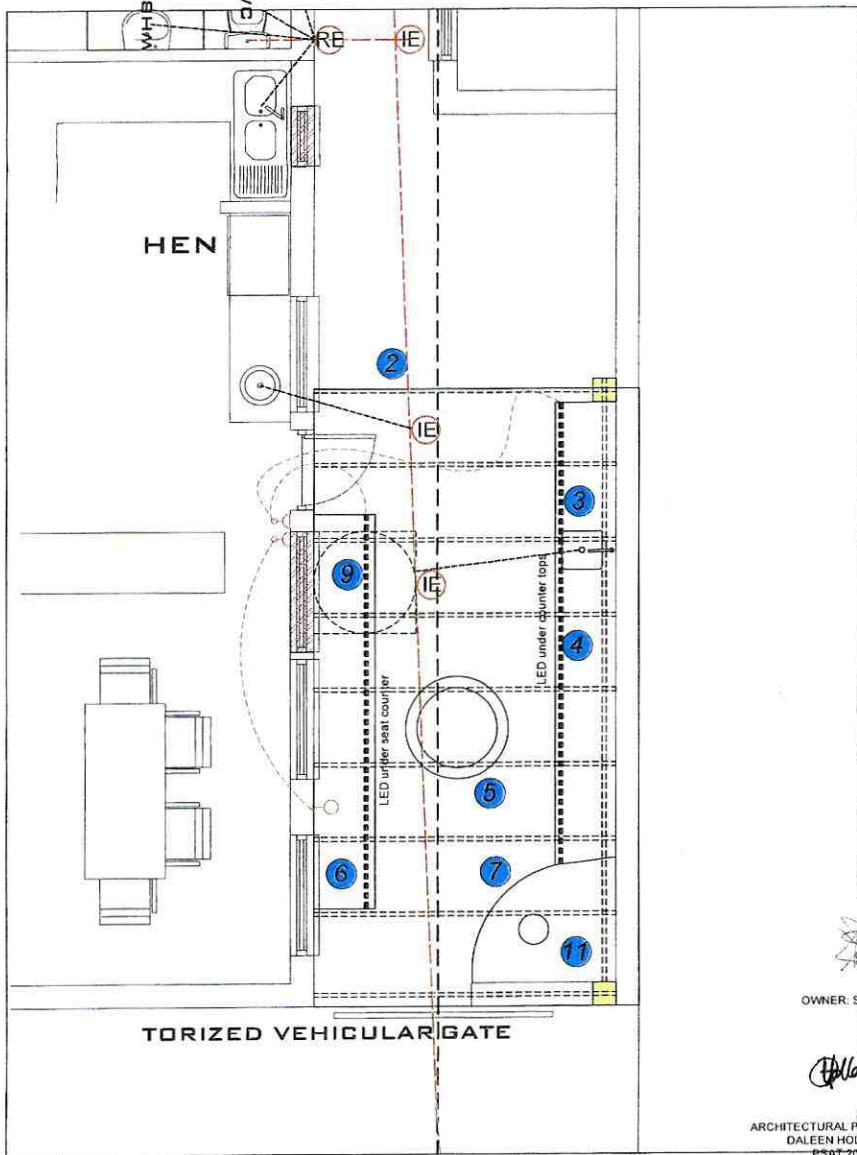
OTHER: Floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or unnaul must comply with sans 10400 J. Any combustible material to be 200mm away from chimney flue. The requirements of the national by-laws and any other applicable authority must be complied with. The builders must comply with the NHBC by-laws. All reinforced concrete slabs and stairs are to be cast strictly to structural engineer's specifications and details.

PAINT: All painted colours to external side of dwelling must be white as per estate design guidelines. Internal colours to be approved by client before applying to wall.

HOT WATER: Hot water heating requirement: at least 50% of the annual average hot water heating requirement shall be provided by HEAT PUMP, in accordance with SAN 10400 PART XA

HOT WATER PIPING INSULATION: Provided and install Armaflex piping insulation on all hot water services pipes in accordance with SANS 10400 PART XA. Install Armaflex pipe insulation of 25mm thickness for Nominal ID of 15mm with a R-Value of 1.32 (A min R-Value of 1.00 is required for internal dia = 80mm)

ROOF INSULATION: All roofs shall achieve a minimum R-Value of 3.7 in accordance with SANS 10400 PART XA Table 7 and SANS 204:2011 for typical R-Values for roof and ceiling construction. Direction of heat flow for Climatic zone 4 = Up. Add 1 x layer of 75mm Isotherm with a R-Value of 2.2 between trusses above ceiling. Add 1 x layer of Sisolation 405 with a R-Value of 1.26 between cladding & battens.



SURFACE AREA	
ERF SIZE	696.00 sqm
EXIST. MAIN DWELLING	159.49 sqm
EXIST. SECOND DWELLING	92.85 sqm
EXIST. LAUNDRY STORE ROOM	12.18 sqm
EXISTING POOL PUMP STORE ROOM	10.44 sqm
EXISTING POOL	20.46 sqm
TOTAL SURFACE AREA	= 295.42 m²
COVERAGE	
ALLOWABLE - 50%	
EXIST. MAIN DWELLING	= 22.91 %
EXIST. SECOND DWELLING	= 13.34 %
EXIST. LAUNDRY STORE ROOM	= 1.7 %
EXISTING POOL PUMP STORE ROOM	= 1.5 %
EXISTING POOL	= 2.93 %
TOTAL COVERAGE	= 42.38 %

DRAWING
site plan
scale: see labels . do not scale when printing (A3)

13 November 2019
DRAWN D Holloway
DWG No 100-100-01
CHECKED D Holloway
REV 0

- Scope of Work**
- As-built Store room / Laundry room. 1.8m high
 - New timber pergola with timber posts
 - New built in basin surrounded by concrete cast top
 - New masonry cupboard with concrete cast top
 - New 600mm high fire pit built on existing concrete slab floor
 - New built in masonry bench - storage below seats to specials
 - New built in workstation.
 - As built pool pump room / storage room. 1.8m high
 - Remove jo-jo tank from existing position and relocate
 - Existing second dwelling

PROJECT HOUSE HAMAN | ERF 895
 89 DE VILLIERS STREET
 SANDBAAI | 7200
 HERMANUS

ADDITIONS/ ALTERATIONS

THIS DOCUMENT SHOULD NOT BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH PREPARED FOR AND WHICH COMMISSIONED FOR

OWNER: SHAUN HAMAN

Holloway

ARCHITECTURAL PROFESSIONAL
 DALEEN HOLLOWAY
 PSAT 2014
 CONTACT NR: 079 502 6645

HOLLOWAY + DAVEL ARCHITECTS

02 Church Street
 Myrtle House Unit 4
 Hermanus, 7200
 www.hollowayanddavel.com

Daleen Holloway - PPSArchT
 SACAP Registration - PSAT 2014
 daleen@hollowayanddavel.com
 079 502 6645

Christiaan Davel - PPSArchT
 SACAP Registration - PPSAT 2014
 christiaan@hollowayanddavel.com
 082 913 9111