

ERF 11918, 8 AMYRILLIS STREET, MOUNT PLEASANT, HERMANUS : OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: RJ JACOBS

Notice is hereby given in terms of Section 48, read with Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for a departure applicable to the above property to relax the eastern lateral building line from 1,0m to 0,0m to accommodate an additional bedroom and a carport.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments must reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **11 June 2021**, quoting your name, address and contact details, interest in the application and the reasons for comments. Telephonic enquiries can be made to **Mr. H Boshoff** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them to formalize their comment.

ERF 11918, AMYRILLISSTRAAT 8, HERMANUS, MOUNT PLEASANT : OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: RJ JACOBS

Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(b) van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek om afwyking van toepassing op bogenoemde erf ontvang is om die oostelike lateral boulyn te verslap vanaf 1m na 0m ten einde 'n addisionele slaapkamer en motorafdak te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) bereik voor of op **11 Junie 2021**, met u naam, adres en kontakbesonderhede, belang in die aansoek sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr. H Boshoff** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 11918, 8 AMYRILLIS STREET, MOUNT PLEASANT, EHERMANUS: UMMANDLA KAMASIPALA WASE-OVERSTRAND: ISICELO SOPHAMBUKO: RJ JACOBS

Isaziso sinikwe ngokwemiqathango yeCandelo 48, elifundwa kunye neCandelo 16(2)(b) loMthetho oYilwayo kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 (uMthetho kaMasipala) sokokuba isicelo sifunyenwe sophambuko olusebenza kwipropati engasentla sokunyeniswa komda ngasempuma wesakhiwo esisecaleni ukususela kwi-1,0m ukuya kwi-0,0m ukulungiselela ulwakiwo lwegumbi lokulala elangezelelweyo kunye nekhapoti.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: loCwangciso lweDolophu, Paterson Street, eHermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthethwana zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngolu suku okanye ngaphambi kwalo mhla, **11 uJuni 2021**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungatsalela umnxeba **kuMnu. H Boshoff** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuvala. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.



Ms R.J.Jacobs

Plotno 11918

Amyrillis 8 Street

Mount Pleasant

Cell: 071 645 5308

PE 902 630 159 3A

TP. D. Abord
(M. Olivier)

8 March 2021

The Municipal Manager
Town Planning Department
Box 20
Hermanus

FILE NO:	11918
	Mount Pleasant
SCAN NO:	HMP 11918
COLLABORATOR NO:	516055

Motivation : Application for departure : Plot no 11918 Mount Pleasant

This is a two bedroom RDP house situated in Amyrillis street Mount Pleasant whereby Ms Jacobs is applying for a departure to allow her to construct additional structures to her existing dwelling to comply with Section 16(2)(b) of the Overstrand Municipal 's Bylaw on the Municipal Land Use 2020.

Zoning ; Residential Zone 1

The property is zoned as **Residential Zone 1** : Single Residential and well as all the surrounding properties and are utilized as such -- meaning for residential purposes.

A : Proposed development :

The property (existing) development consists of the application for the following structures mentioned below to be considered for the approval for a departure by Town Planning Department: namely

- 1 Extend bedroom on the eastern boundary – from 1,0 m to 0,0m ;
2. Proposed carport on the eastern (lateral boundary – from 1,0m to 0,0m

TP 10 MAR 2021

Vertical line of text on the right margin.

B : Character of the environment :

The character of the environment will not be impacted in terms of the allowed structures to be built . The residential character will not be affected by approving this application. The proposed structures will be well constructed and maintained .

C: Desirability of the proposed utilization :

The property in question's zoning and landuse will remain unchanged . The location of the said property within a single residential area allows development for a low impact land use only . The application for a departure from the prescribe building lines on this property and general provisions will not hamper any future land use application on this property . Furthermore the primary land use and zoning of the property will remain the same , meaning that the impact on the surrounding property will be kept to the minimum. This departure application will have no negative impact on the property value of the surrounding properties , but will increase the property value of the neighborhood and create a more desirable environment for people to settle in and to improve their own living conditions .

D: Investigations carried out in terms of other laws which are relevant to the consideration of the application :

This proposed application does not influenced any other laws such as the National Heritage Resources Act Environmental Management Air Quality , National Environmental Integrated Coastal Management Act, Nema, Subdivision of Agricultural Land Act, Occupational Health and Safety Act, Waste and the National Water Act .

E : The impact of the land development on municipal services :

This property is located in a well serviced area which includes the availability of electricity , sewerage ,water and other services. Currently no service are required in this regard.

The site is accessible to all the existing road networks – R43 . This area have a very low bearing in terms of the traffic flow and therefore stay unchanged as the proposed application for a departure is in line with spatial planning policies.

F: Consideration of forward planning and landuse documents :

This does not apply to the current application .

Spatial sustainability – This area does have any heritage value and is not registered / zoned as such .The proposed structures / development are on an improved erf and will improve the surrounding erven value and will have no negative impact on the immediate environment. To approve the said application will enhance the surrounding area and will encourage landowners to do sustainable improvements on their sites.

Spatial Justice – Although spatial justice cannot redress all the unjust and imbalances of the past , this settlement still falls within the separate immunities act whereby housing developments falls within the urban borders of towns and cities. In order to re dress some of the past retrocities mayor steps have been made to provide services , such as water , sewer and electricity to the poorest or the poor and marginalized citizens of Overstrand.

Efficiency – This property is located between Westcliff to the east and Sandbaai to the west and is accessible from both area. The approving of this application can be seen as a benchmark in curbing densification , influxing and erecting of illegal structures .This will enhance responsible use and monitoring of resources and infrastructure .

Spatial Resilience – The approval of this application will show the flexibility in spatial plans , policies and land use management systems that will ensure the sustainable livelihoods of communities in the more disadvantaged areas.

Good administration – The applicant are committed to good administration practice and principle and will co-operate fully with local government in this regard. The applicant will ensure that all processes as stipulated by the Overstrand Municipal's Bylaws on Municipal Land Use Planning 2020 adhered to.

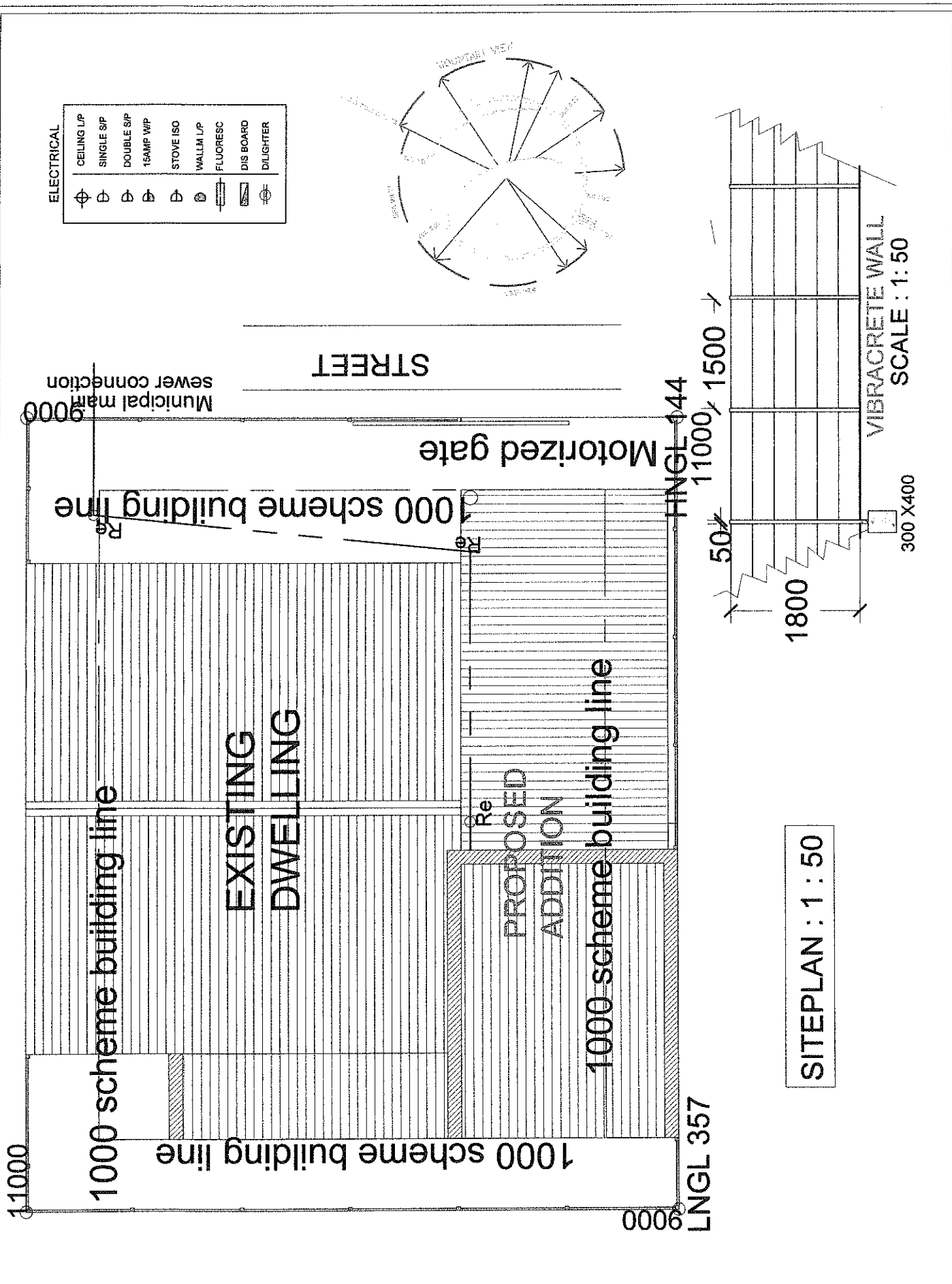
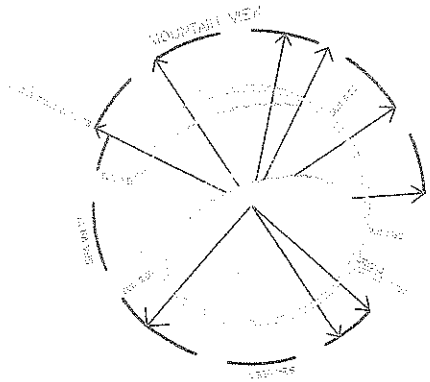
G : Photos

See layout plan for details .

Signed by owner : 

Date : 9/3/2021

ELECTRICAL	
	CEILING L/P
	SINGLE S/P
	DOUBLE S/P
	15AMP W/P
	STOVE ISO
	WALL/L L/P
	FLUORESC
	DIS BOARD
	D/LIGHTER



SITEPLAN : 1 : 50

2020/09/48 PROPOSED ALTERNATIONS ADDITIONS SEP 25 CA 1:50	HOUSE R.J.JACOBS PLOTNO 11918 MOUNT PLEASANT	6 LOBELIA ST BERGHOF ONRUS 7201 1094 906 1055 e-mail: cadoganr77@gnml.com D 0883	P.A.D CAP-LON DESIGNS
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PROPOSED
 12/03/09
 SFP 25 CA 1:100

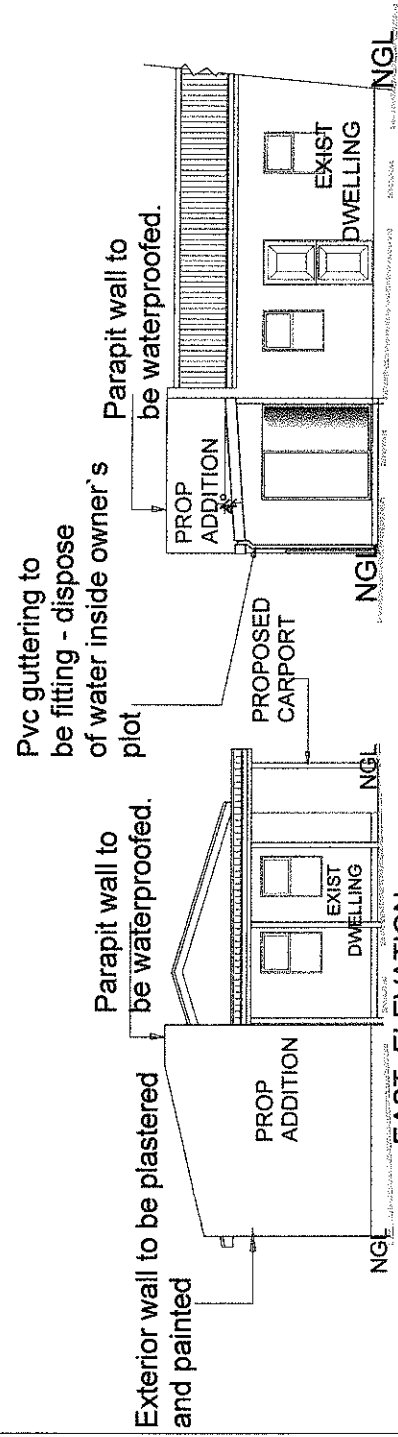
PROPOSED
 ALTERNATIONS
 ADDITIONS

HOUSE R.J. JACOBS
 PLOTNO 11916
 MOUNT PLATAN
 12/03/09

6 LOBELA ST
 BERKHOFF ORKUS
 7201
 (04) 906 1005
 e-mail: carol@rjaj.com
 reg. no.: D 08923

0000 MAXIMUM HEIGHT LEVEL

0000 MAXIMUM HEIGHT LEVEL



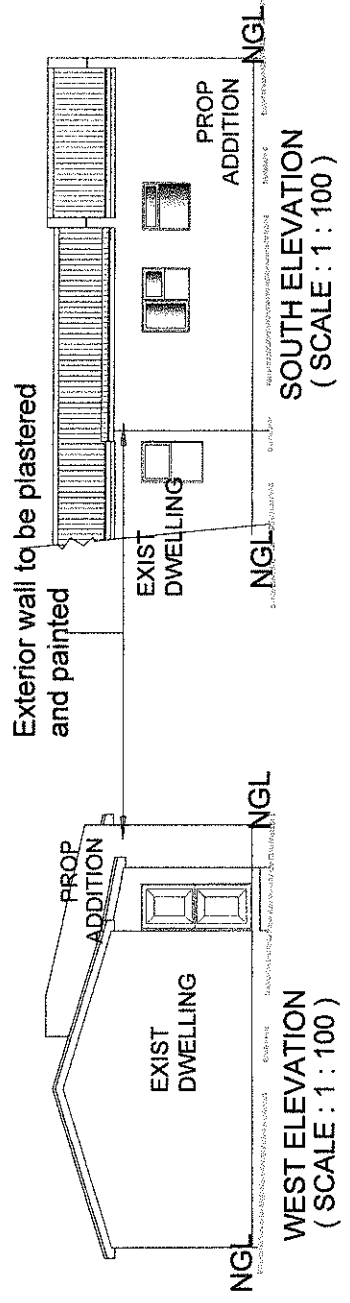
EAST ELEVATION
 (SCALE : 1 : 100)

NORTH ELEVATION
 (SCALE : 1 : 100)

ROOF COVERAGE	
exist dwelling	: 40,8m ²
prop addition	: 17m ²
prop carport	: 15m ²
total	: 72,8m ²
Footprint	: 72,8m ²
eff size	: 98m ²
coverage	: 73,54 %

0000 MAXIMUM HEIGHT LEVEL

0000 MAXIMUM HEIGHT LEVEL



WEST ELEVATION
 (SCALE : 1 : 100)

SOUTH ELEVATION
 (SCALE : 1 : 100)

ROOF: Addition & Carport
 Metal color bond sheeting on 50mm x 76 mm purlins @ 1050 mm cc on 150mm x 50mm rafters at 1000mm securely fixed to wall and wallplates with hoop iron straps Rhinoboard ceilings 6,4mm with coved cornice to be fitted.

WINDOWS
 Aluminium framed as shown on plan

WALLS
 2190mm sement blocks to be used and fully plastered & painted

FLOORS
 20 mm screed on 120mm concrete slab on 250 micron pvc on well compacted soil.

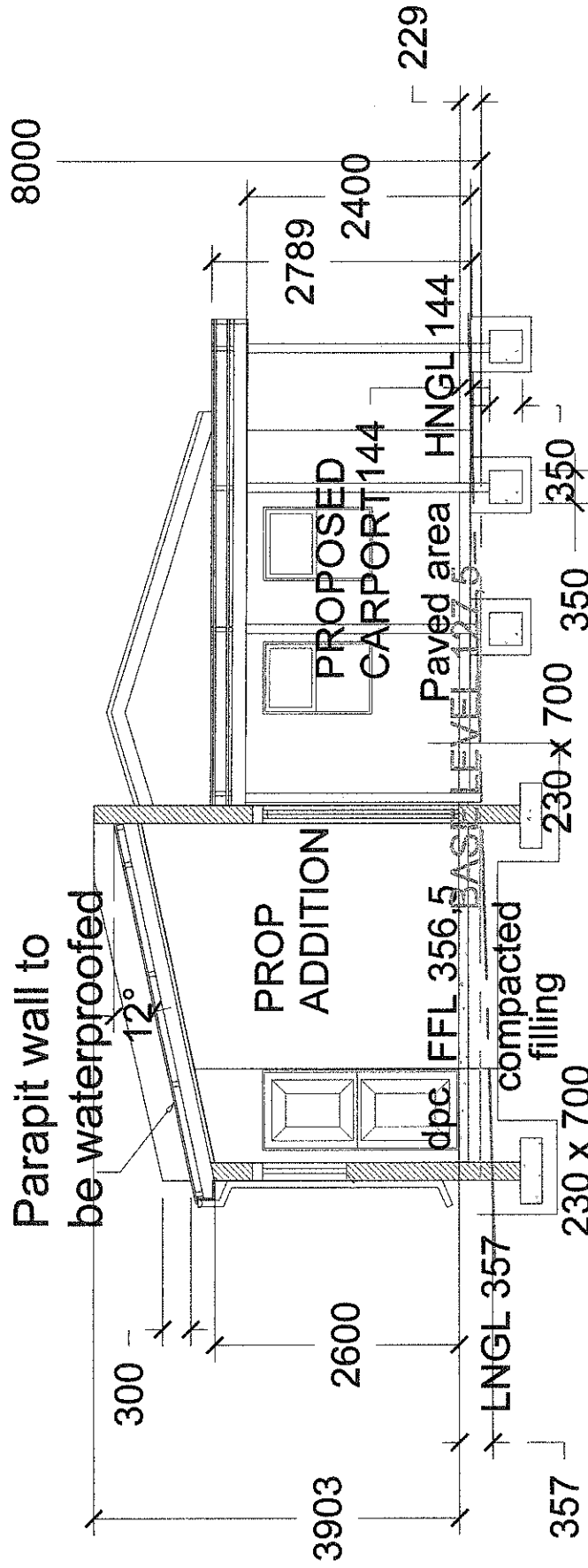
DPC
 Damp proof course or membranes are required
 Below the floor slab and window sills.

LINTOLS
 Precast prestressed lintols over all doors & windows To be minimum of 200mm on both sides of opening with a minimum of 400mm of blockwork (2 courses) or brickwork (5 courses) above lintols.

RAINWATERGOODS
 All to be pvc
 Down pipes : 75mm
 Gutters : 100 mm halfround

8000 MAXIMUM HEIGHT LEVEL

8127,5



SECTION: A: A
(SCALE: 1:50)

PROPOSED
2020/09/48

PROPOSED
ALTERATIONS
ADDITIONS

HOUSE R.J. JACOBS
PLOTNO 11918
MOUNT PLEASANT

CAP-LON DESIGNS
6 LORELA ST
BERKHOFF CUNYUS 7201
e-mail: caldwinrj7@gmail.com
(684) 906 1055
reg. no.: D 0920

P.A.D

METAL SHEETING - VENTILATED ROOF ASSEMBLIES		SANS 204 (4.3.6 Pg 17)	
ROOF MATERIAL	METAL SHEETING		0,36
CEILING	6.4mm GYPSUM / RHINO BOARD		0,05
INSULATION 1	REFLECTIVE FOIL SISALATION/WATERPROOFING UNDERSIDE ROOF TILES TIMBER BATONS		1,88
INSULATION 2	110mm THICK ISOTHERM FLEXIBLE POLYESTER BLANKET		2,29
(MINIMUM REQUIREMENTS - SANS 204 Pg 17 Table 8)		3,7	4,58
TOTAL R VALUE (m² K/W)			

DEFAULT WINDOW CONDUCTIVITY & SIZE			
	Sqm	U	Total
WEST	0		
NORTH	5,6	5,73	32,1
SOUTH	2,7	5,73	15,5
EAST	1,9	5,73	10,3
TOTAL	10,1		
50 x 1,4	70	Target acceptable	57,9

Air Infiltration and Permissible Air -Leakage as per SANS204

The air infiltration and leakage requirement of SANS204 stipulates that in climatic zone 4 the ceiling voids and attics shall be designed so as to minimize air infiltration. Accordingly, wall plate and roof junctions shall be sealed. All tiled roofs in these climatic zone shall have a tile underlay or radiant barrier and the joints shall be sealed. The joints in sheeted roofs shall be sealed.

REQUIREMENTS FOR CHIMNEYS

The chimney or flue of an open solid - fuel burning appliances shall be provided with a damper or flap that can be closed to seal the chimney or flue, when it is not in use. This does not apply to gas and liquid fuel burning devices.

REQUIREMENTS FOR EXTERNAL DOORS

External doors are required to be sealed as per SANS204. It should be noted that solid doors are not regulated in terms of SANS10400XA

Minimum R-value of pipe insulation	2
Internal diameter of pipe	Minimum R-value
< 80mm	1,00
> 80mm	1,50
determined with a hot surface temp of 60°C and an temp of 15°C	

PANELS VERSUS SHADING DESCRIPTION			
PANEL	FACING DIRECTION	AREA qsm	SHADING DESCRIPTION
1	WEST	0	Unshaded
2	NORTH	5,6	Shaded
3	SOUTH	2,7	Unshaded
4	EAST	1,9	Shaded
TOTAL		10,1	

HOT WATER		SANS 10400 (4.3.6 Pg 17)	
NO. OF FRESH WATER SERVICES	4	NO. OF FRESH WATER SERVICES	4
NO. OF HOT WATER SERVICES	0	NO. OF HOT WATER SERVICES	0
TOTAL HOT WATER CONSUMPTION PER DAY (litres)	0	TOTAL HOT WATER CONSUMPTION PER DAY (litres)	0
TOTAL HOT WATER CONSUMPTION PER YEAR (litres)	0	TOTAL HOT WATER CONSUMPTION PER YEAR (litres)	0
TOTAL HOT WATER CONSUMPTION PER DAY (litres)	0	TOTAL HOT WATER CONSUMPTION PER DAY (litres)	0
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TOTAL HOT WATER CONSUMPTION PER YEAR (litres)	0	TOTAL HOT WATER CONSUMPTION PER YEAR (litres)	0

NET FLOOR AREA : 50m²
 15% OF NET FLOOR AREA :
 55 x 100 x 15 = 8,25m²
 GLAZING AREA TO NET FLOOR AREA:
 Glazing area : 24,4m²
 net floor area : 8,25m²
 glazing area < net floor area

SPECIFICATION

NOTES:

1. General:

- 1.1 All dimensions and levels to be checked
- 1.3 on site.
- 1.4 All waterproofing
- 1.5 details to be in accordance with specifications

2. Concrete:

(per engineers specifications)

- 2.1 Concrete characteristic 28-day strengths
 - all precast panels 35Mpa
 - footings 25Mpa
 - insitu slabs, screed, beams 25Mpa

2.2 Mix design for all 25Mpa concrete by builder:

- 50kg cement
- wheelbarrows stone
- 1.5 wheelbarrow sand
- min water

2.3 Nominal concrete aggregate size:

- Screed - 9mm
- Footings, columns, beams - 19mm

2.4 All slabs to be leveled and caulked tight by the builder a semi - dry sand / cement mix before joint filling concrete is placed.

3. Re-inforcement:

- 3.1 Minimum concrete cover to re-inforcement:
 - slabs, soffits and tops 30mm
 - slab edges / brick walls 40mm
 - stairs 50mm

PROPOSED 2020/09/48

PROPOSED ALTERATIONS ADDITIONS

HOUSE R.J.JACOBS PLOTNO 11918 MOUNT PLEASANT

CAP-LON DESIGNS 2201 BERNHOFF ONRUS 1 LOBELIA ST

PAD