

ERF 3832, 149 THIRD AVENUE, KLEINMOND: APPLICATION FOR DEPARTURE: S SCHUTTE (obo KJ KALTENBRUN)

Notice is hereby given in terms of Section 48, read with Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 that an application has been received for a departure to relax the following:

- Eastern lateral building line from 2m to 1,670m and 1,620m respectively accommodate the existing double garage on ground floor and studio with en-suite bathroom on first floor; and also to relax the same lateral building line from 2m to 1,960m and 1,770m respectively to accommodate the existing carport;
- Western lateral building line from 2m to 1,770m to accommodate the existing bedroom 3 and covered stoep;
- Rear building line from 2m to 1,860 and 1,900m respectively to accommodate the existing double garage on ground floor and studio with open balcony on first floor; and
- to exceed the 9m restriction of a building on one specific boundary to accommodate the existing dwelling on the property.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Kleinmond Library, Fifth Avenue, Kleinmond. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) on or before **11 June 2021**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to **Ms. H van der Stoep** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 3832, DERDELAAN 149, KLEINMOND: AANSOEK OM AFWYKING: S SCHUTTE (nms KJ KALTENBRUN)

Kennis word hiermee gegee ingevolge Artikel 48, saamgelees met Artikel 16(2)(b) van die Overstrand Munisipaliteit Gewysigde Verordening vir Munisipale Grondgebruikbeplanning, 2020 dat 'n aansoek ontvang is vir 'n afwyking om die volgende te verslap:

- Oostelike syboullyn vanaf 2m na onderskeidelik 1,670m en 1,620m om 'n bestaande dubbel motorhuis op grondvloer vlak te akkommodeer en studio met en-suite badkamer op eerstevloer vlak te akkommodeer; en ook dieselfde syboullyn vanaf 2m na onderskeidelik 1,960m en 1,770m te verslap om 'n bestaande motorafdak te akkommodeer;
- Westelike syboullyn vanaf 2m na 1,770m om die bestaande slaapkamer 3 en onderdak stoep te akkommodeer;
- Agterboullyn vanaf 2m na onderskeidelik 1,860 en 1,900m om 'n bestaande dubbel motorhuis op grondvloer vlak te akkommodeer en studio met oop balkon op eerstevloer vlak te akkommodeer; en
- om die 9m beperking van 'n struktuur op een spesifieke grenslyn te oorskry om die bestaande woonhuis op die eiendom te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en by die Kleinmond Biblioteek, Vyfdelaan, Kleinmond. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) voor of op **11 Junie 2021**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan **Me. H van der Stoep** at 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 3832, 149 THIRD AVENUE, EKLEINMOND: ISICELO SOPHAMBUKO: S SCHUTTE (obo KJ KALTENBRUN)

Isaziso sinikwe ngokwemiqathango yeCandelo 48, elifundwa kunye neCandelo 16(2)(b) loMthetho kaMasipala oLungisiweyo woMasipala wase-Overstrand ongoCwangciso lokuSetyenziswa koMhlaba kaMasipala, 2020 sokokuba isicelo sifunyenwe sokuphambuka ukulungiselela ukunyenyiswa kokulandelayo:

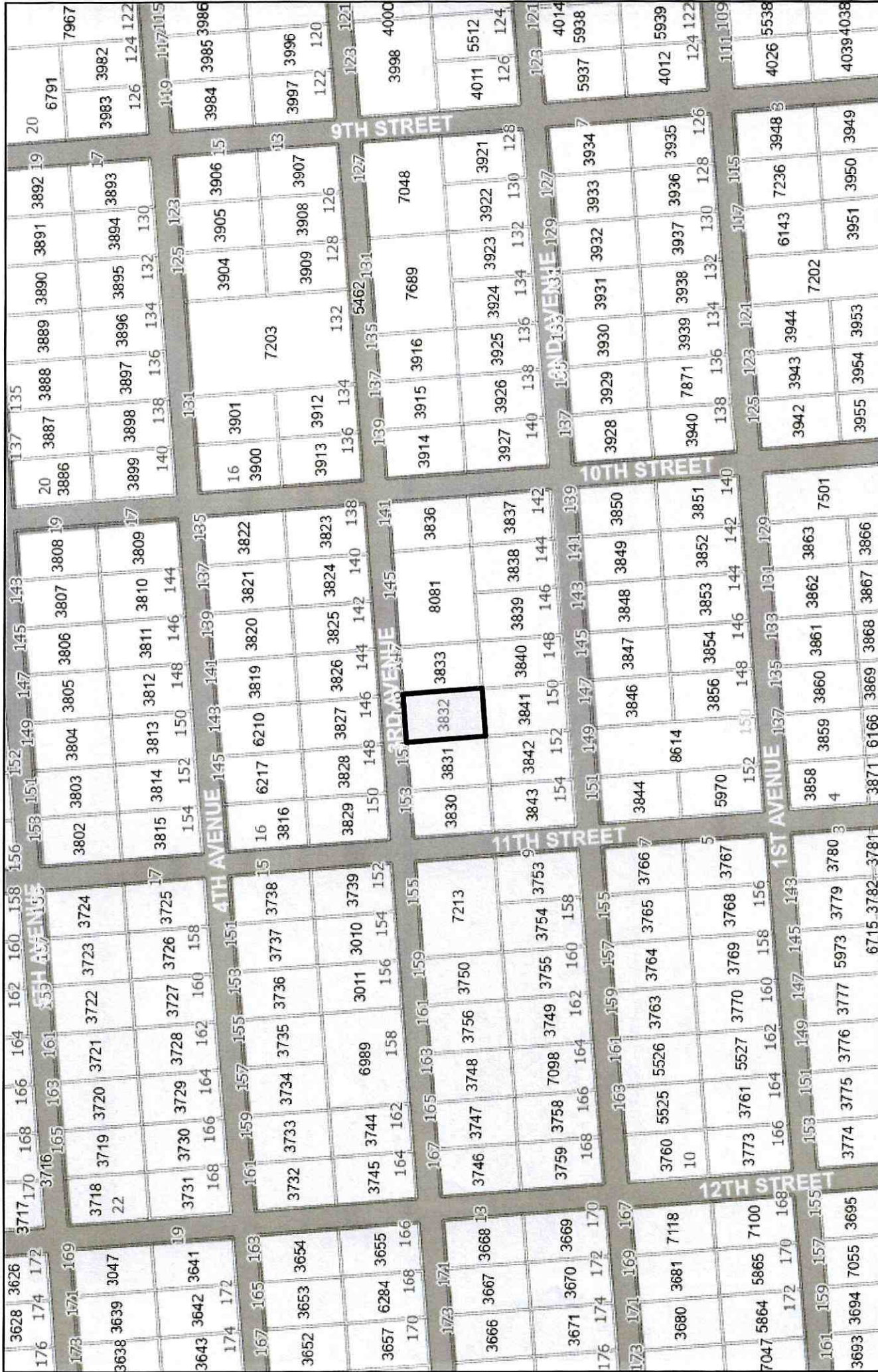
- Umda ongaseMpuma wesakhiwo esisecaleni ukususela kwi-2m ukuya kwi-1,670m ukulungiselela iigaraji ezimbini esele zikho kumgangatho ophantsi kunye negumbi lomsebenzi othile elinegumbi lokuhlambela kumgangatho wokuqala; kunye ngokunjalo ukunyenyiswa komda wesakhiwo esinye esisecaleni ukususela kwi-2m ukuya kwi-1,960m kunye ne-1,770m ukulungiselela ikhapoti esele ikho;
- Umda ongaseNtshona wesakhiwo esisecaleni ukususela kwi-2m ukuya kwi-1,770m ukulungiselela amagumbi okulala ama-3 asele ekho kunye nestuphu esinophahla;
- Umda wesakhiwo esingasemva ukususela kwi-2m ukuya kwi-1,860 ukuya kwi-1,900m ukulungiselela iigaraji ezimbini esele zikho kumgangatho ophantsi kunzi negumbi lokusebenzela umsebenzi owodwa elinebhalkhoni evulekileyo kumgangatho wokuqala; kunye
- nokugqitha kwisithintelo se-9m sesakhiwo komda omnye othile ukulungiselela indawo yokuhlala esele ikho kwipropati.

linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: Town Planning, Paterson Street, Hermanus nakwiThala leeNcwadi laseKleinmond, Fifth Avenue, eKleinmond. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthethwana zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) loretta@overstrand.gov.za) ngolu suku okanye ngaphambi komhla wama-**11 kuJuni 2021**, unike igama lakho, idiiesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuza into malunga nesi saziso ungafonela Nksk. **H van der Stoep** kule nombolo yomnxeba 028-313 8900. UMasipala angala ukuzamkela izimvo ezifike emva komhla wokuqala. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.

Tel: 028 313 8900 | Fax: 028 313 2093 | E-mail: loretta@overstrand.gov.za

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www.overstrand.gov.za



(A) Voorgestelde Ontwikkeling:

Die eienaar is in die proses om hulle huis te verkoop.

Die eienaar het in die laaste drie jaar 5 planne vir aanbouings by die Munisipaliteit ingedien.

Die landmeter het bepaal dat die oorspronklike dubbelverdieping huis effens skuins op die erf geplaas was wat veroorsaak het dat die oostegrens die 2m boulyn oorskry.

Die nuwe bouplanne het die oorskryding in ag geneem maar die bouer het die nuwe dubbelmotorhuis ook effens skeef in die suidwestelike hoek gebou. Die motorhuis is ontwerp met 'n betonblad as dak.

Toe die eienaar later besluit om 'n vertrek bo-op die motorhuis te bou is nuwe planne ingedien. Die bouer het egter die nuwe Nutecmure op die randjie van die betonblad gebou wat veroorsaak het dat die nuwe dubbelverdieping ook nou die skema sy- en agterboulyne oorskry.

Daarna het die eienaar weer planne ingedien om 'n motorafdak voor die motorhuise te bou en die huis se dubbelverdieping te vergroot. Die bouer het van die bestaande gebou se mates gewerk en hierdie nuwe bouwerk oorskry die weste syboulyn.

Al hierdie oorskryding is baie moeilik sigbaar met die oog aangesien die erf se grensmure oorspronklik effens skeef gebou is.

Ons doen dus aansoek vir die afwyking van die skemaregulasie boulyne:

1. Afwyking van skemaregulasie boulyn agter van 2m na 1.86m
2. Afwyking van Skemaregulasieboulyn sykant oos van 2m na 1.77m
3. Afwyking van die Skemaregulasieboulyn sykant wes van 2m na 1.62m
4. Afwyking van die Skemaregulasie waar die lengte van die oorskryding langer is as 9m

Vind hierby aangeheg die aansoek met die volgende dokumente:

- Aansoekvorm
- Toestemming aan S Schutte om as aansoeker op te tree
- Bewys van betaling aan die Overstrand Munisipaliteit
- Afskrif van bouplan A3 velle
- Afskrif van die Titelakte
- Landmeterplan
- Motivering

(B) Karakter van die Omgewing

Erf 3832 is geleë aan die suidekant van die Hoofweg in Kleinmond. Dit vorm deel van 'n woonbuurt wat wissel van strandhuise en permanente inwoners en die skaal van geboue tussen enkel- en dubbelverdieping huise.

(C) Wenslikheid van die Voorgestelde Gebruik

Die weetiging van die afwyking van die skemaregulasieboulyne sal die eienaar in staat stel om aansoek te doen vir 'n finale inspeksie waarna die Bouinspekteur 'n okkupasie sertifikaat kan uitreik.

(D) Ondersoek uitgevoer in terme van relevante Regulasies betrekking op die aansoek

Die voorgestelde ontwikkeling stem ooreen met die voorskrifte van die SANS 10400 standaard wat die Nasionale Bouregulasies ondersteun. Die Overstrand Skemaregulasies se soneringskema maak voorsiening binne die Residential Zone 1: Single Residential (SR1) vir 'n afwyking van die Skema regulasieboulyn vir 'n gebruiksverandering. Die aansoek vir Afwyking van Grondgebruik om die bestaande boulynoorskryings van die Skemaregulasieboulyne te wettig word binne die parameters van die Skema uitgevoer.

(E) Impak van die voorgestelde ontwikkeling op die Munisipale Ingenieursdienste

Aangesien die erwe onderkant die Hoofweg in Kleinmond nie aan 'n Munisipale rioolnetwerk gekoppel is nie, word die riool herlei na 'n uitpompstuk van minimum 5500l. Die tenk en uitpompstuk is volgens die voorskrifte van die Overstrand Munisipaliteit. Die erf benodig geen nuwe water of elektriese aansluitings nie en sal dus nie ekstra las op die Munisipale netwerke plaas nie. Die bestaande motorinrit aan die westekant vanuit Dordelaaan word behou en die ontwikkeling sal dus geen invloed op die verkeersvloei in die area veroorsaak nie en sal geen ekstra verkeersvloei vanuit die Hoofweg veroorsaak nie.

(F) Skakeling met toekomstige uitbreidingsplanne

Aangesien die aansoek slegs fokus op die afwyking van skemaregulasieboulyne en nie oor die gebruik van die grond nie, dit ook nie 'n onderverdelingsaansoek, konsolidasie aansoek of hersonering insluit nie sal dit nie bots met enige toekomstige uitbreidingsplanne van die woonbuurt soos vervat in die SPLUMA en LUPA wetgewings nie.

(G) Beplanningsbeginsels:

Ruimtelike Geregtigheid – Aangesien die erf deel vorm van 'n gevestigde woonbuurt in Kleinmond sal dit nie die toekomstige integrasie van histories benadeelde gemeenskappe beïnvloed nie.

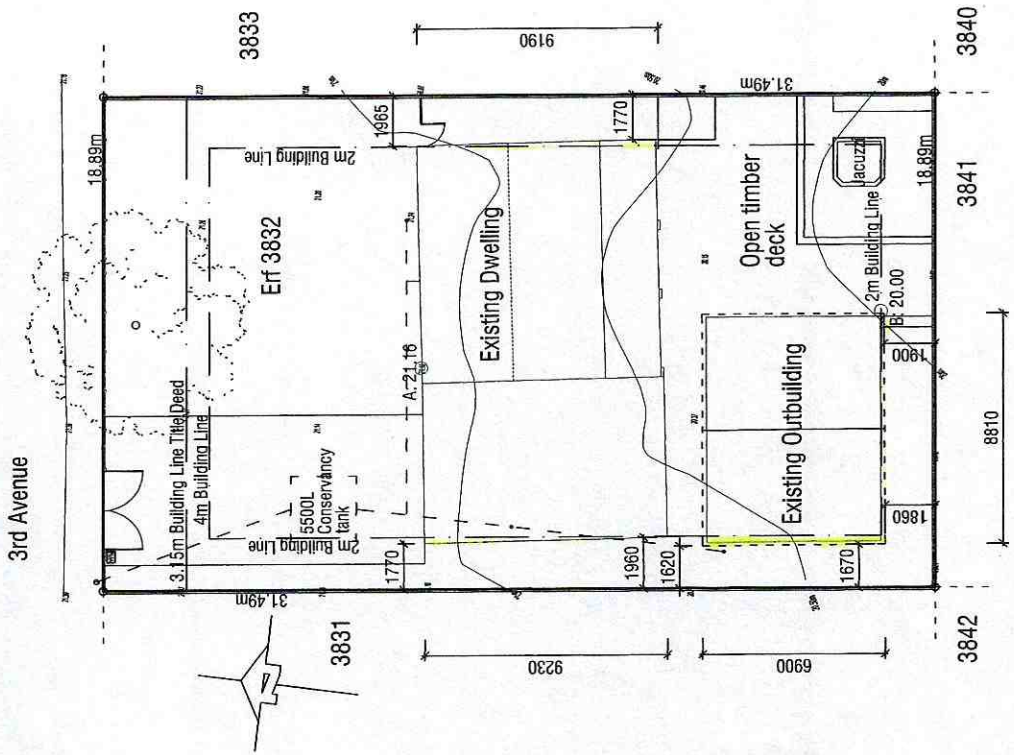
Ruimtelike Ondersteuning – Aangesien die erf deel vorm van 'n gevestigde woonbuurt sal dit inskakel by die karakter van die dorp waar permanente inwoners en vakansiehuise mekaar afwissel.

Doeltreffendheid – Aangesien die bestaande woonhuis benut en opgeknop word, word energie hulpbronne maksimaal benut.

Ruimtelike Veerkragtigheid – Aangesien die woonbuurt reeds amper 90 jaar gelede beplan is as 'n vakansiedorp skakel die beplande ontwikkeling op die erf by die oorspronklike funksiegebruik in.

Goeie Administrasie – Die eienaar van die perseel wil graag die nodige dokumentasie inhandig en die prosesse volg soos voorgeskryf deur die Overstrand Munisipaliteit se Stadsbeplannings en Bouafdeling om te verseker dat die administratiewe proses soos voorgeskryf gevolg word.

All deviations from plan, however minor, must be reported to and approved by the Architect in writing. Failure to do so will absolve the Architect of ANY further responsibility relating directly or indirectly to the deviations.



Site Plan
Scale 1:200

General Specifications
 All building work in accordance with the National Building Regulations and the South African Standard Code of Practice SANS 10400.
 Sewer work in accordance with the National Building Regulations and Municipal by-laws.
 All structural concrete work to Engineer's design and specification.
 All changes in level, the design of ramps and driveways in accordance with the detailed requirements of SANS 10400-D.
 Builders toilet and site operations to be in accordance with SANS 10400-F.
 Fire safety to comply with SANS 10400-T and the Overstrand Fire Safety By-law PN 6454 - 2007.
 All materials and fittings used to be SABS approved. It is the responsibility of the Owner to appoint a Land Surveyor to confirm erf boundaries.
 It is the responsibility of the Owner to appoint a Health and Safety Agent to comply with the Construction Regulations 2014 and the Occupational Health and Safety Act.
 All concrete work to comply with SANS 2001-CC1 & CC2.
 Gas installation plan to be submitted by installer if required.

Areas:	
New covered area	1.50m ²
Footprint	202.16m ²
Erf	595m ²
Coverage	34%
Class of occupancy of building	H4
Occupancy	Dwelling House
Population	6
Orientation	North
Climatic Zone	4 - Temperate Coastal

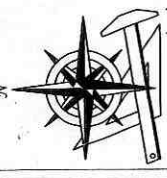
Engineer's Signature

Architect's Signature

Owner's Signature

Scaled dimensions invalid. All measurements have to be checked on site before work can commence. Copyright reserved. Any discrepancies or errors must be reported to the Architect.

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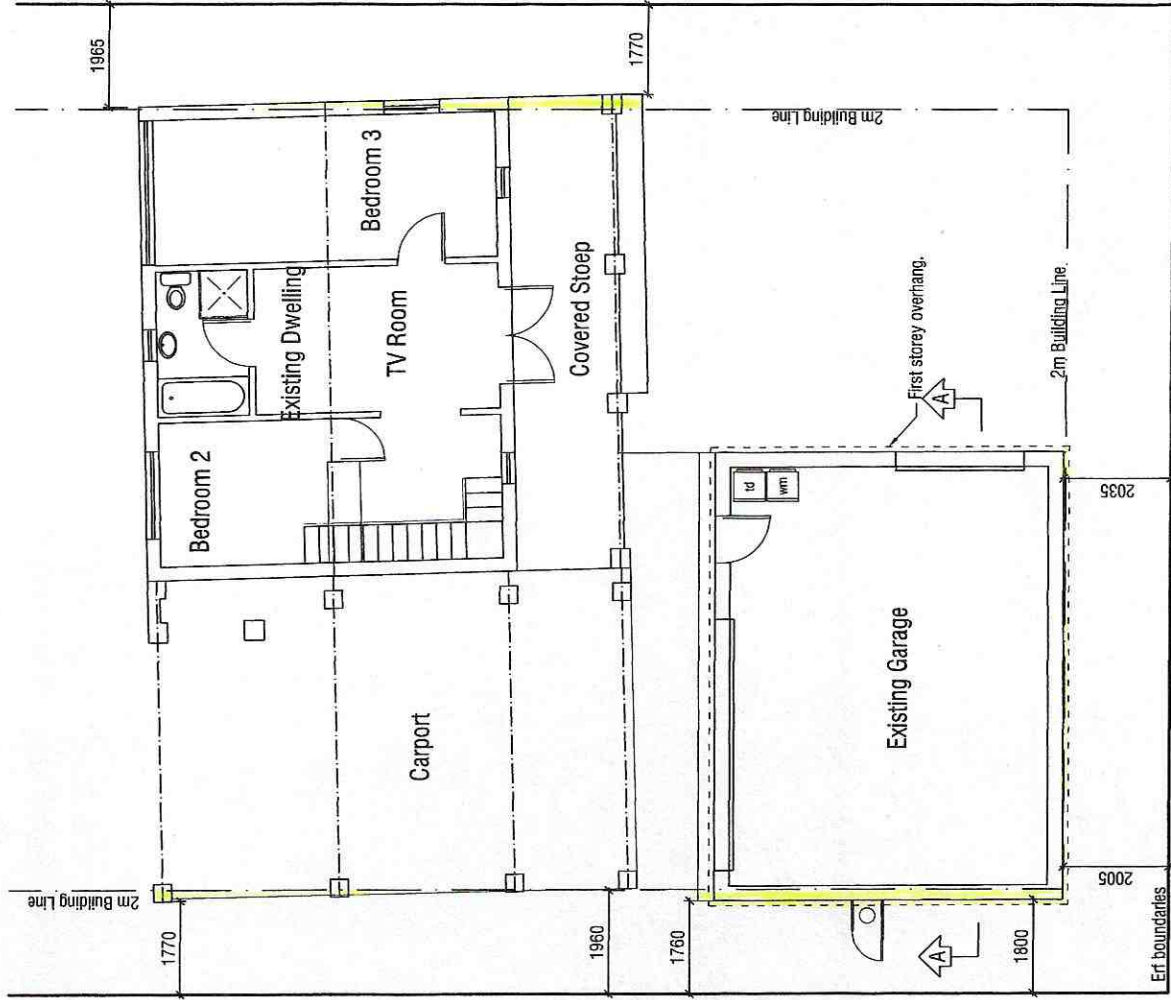
SACAP Reg No: Pr. Arch 21077
Kaltenbrun
1565

Project
Building Plans for Municipal Approval
Documentation of existing dwelling
Erf No. 3832
149 3rd Avenue
Kleinmond

Drawing
Site Plan
 Scale 1:200

Drawn	LS	Checked	SS
Project No	Revision	Date	2020/12/14
D.1233.K	1	Sheet No	1 of 6

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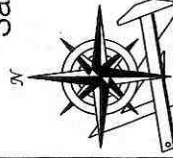
Ground Storey Plan
Scale 1:100

Scaled dimensions invalid. All measurements have to be checked on site before work can commence. Copyright reserved. Any discrepancies or errors must be reported to the Architect.

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Drawing:
Ground Storey Plan

Scale 1:100

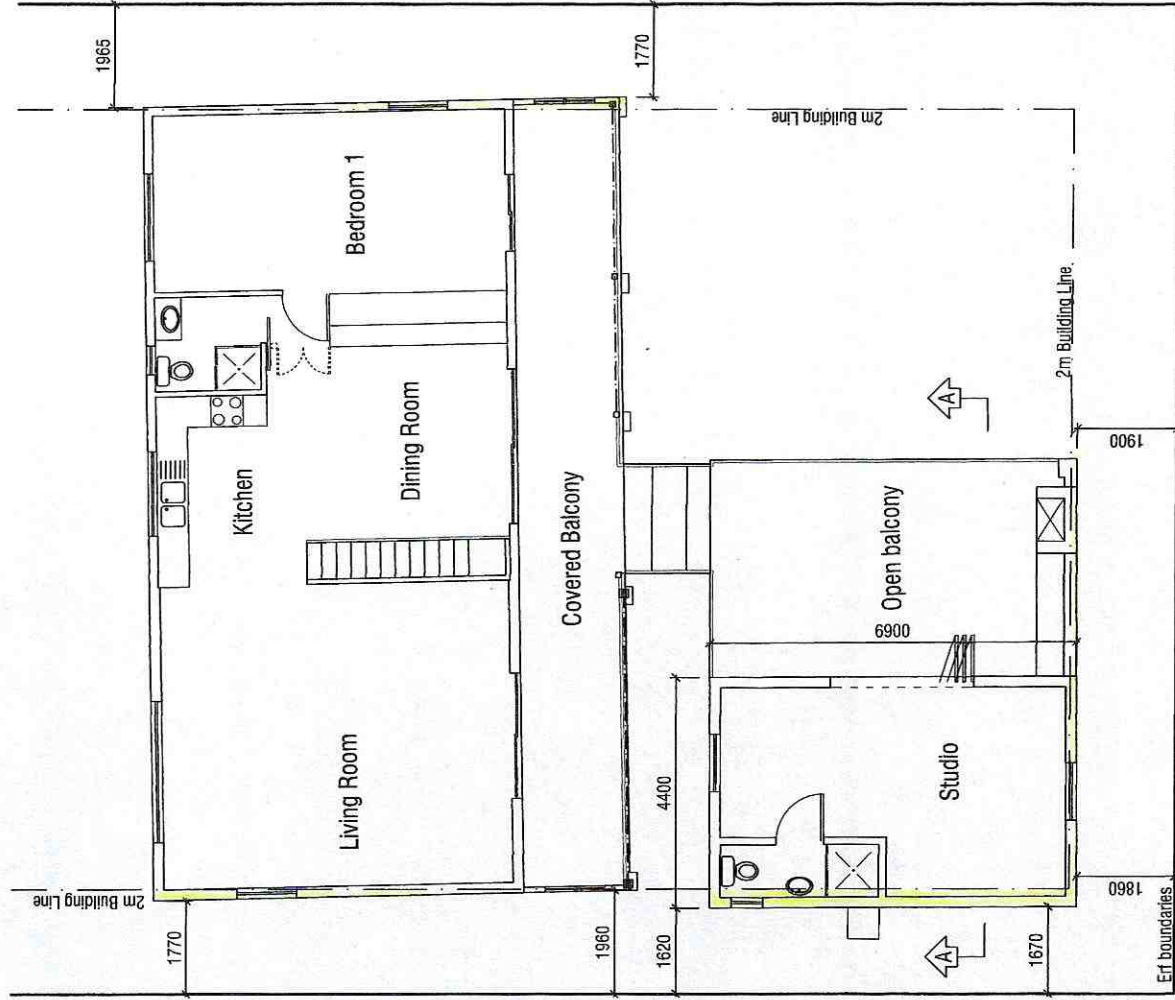
Drawn	LS	Checked	SS
Project No	Revision	Date	2020/12/14
D.1233.K	1	Sheet No	2 of 6

Owner's Signature

Architect's Signature

Engineer's Signatures

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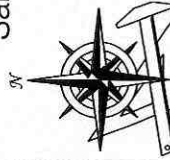
First Storey Plan
Scale 1:100

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Client **Kaltenbrun** 1565

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Drawing
First Storey Plan

Scale 1:100

Drawn	LS	Checked	SS
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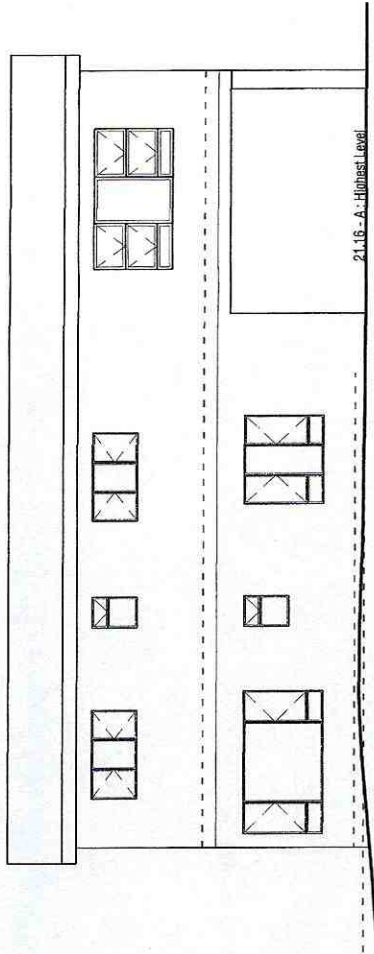
Owner's Signature

Architect's Signature

Engineer's Signature

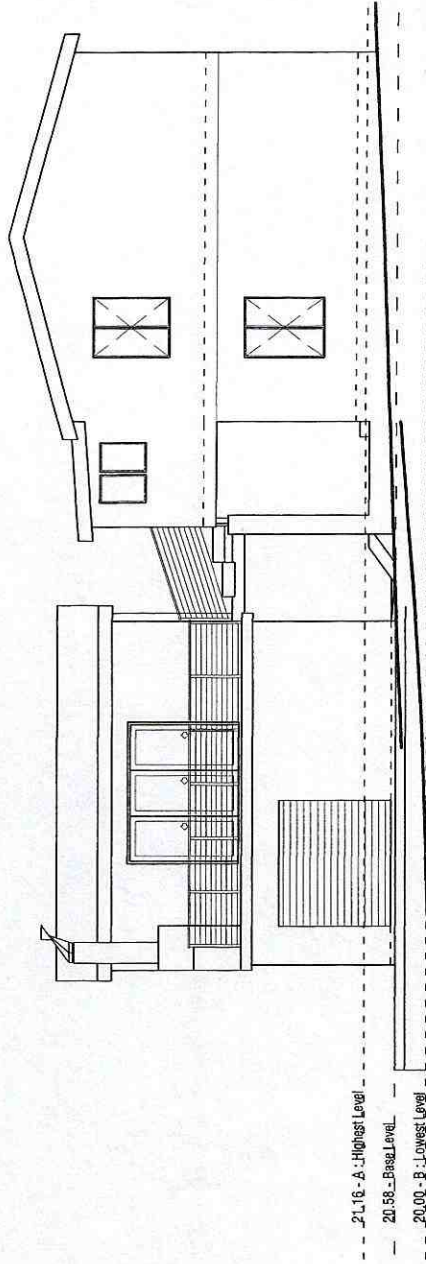
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28.58 - 8m Height Elevation



North Elevation

28.58 - 8m Height Elevation



East Elevation

Owner's Signature

Architect's Signature

Engineer's Signature

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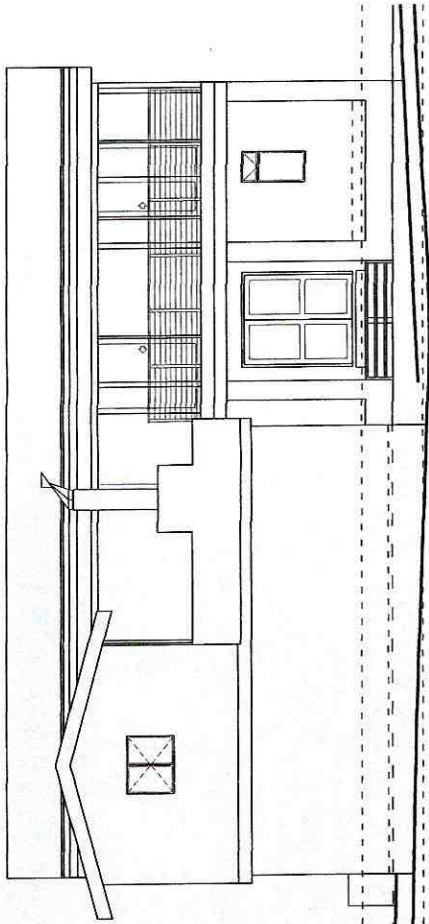
Drawing
Elevations

Scale 1:100

Drawn	LS	Checked	SS
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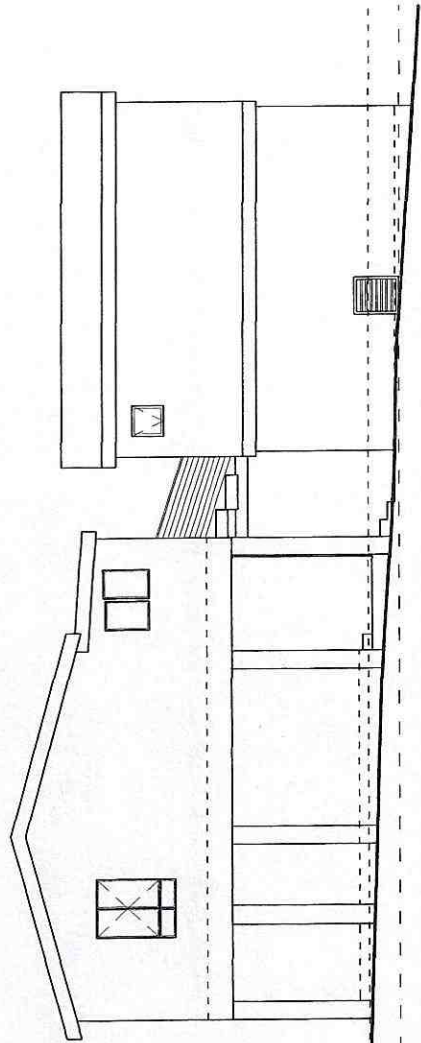
--- 28.58 - 8m Height Restriction ---



--- 21.16 = A: Highest Level
 --- 20.58 = Base Level
 --- 20.00 = B: Lowest Level

South Elevation

--- 28.58 - 8m Height Restriction ---



--- 21.16 = A: Highest Level
 --- 20.58 = Base Level
 --- 20.00 = B: Lowest Level

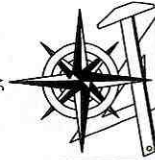
West Elevation

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Drawing
Elevations

Scale 1:100

Drawn	LS	Checked	SS
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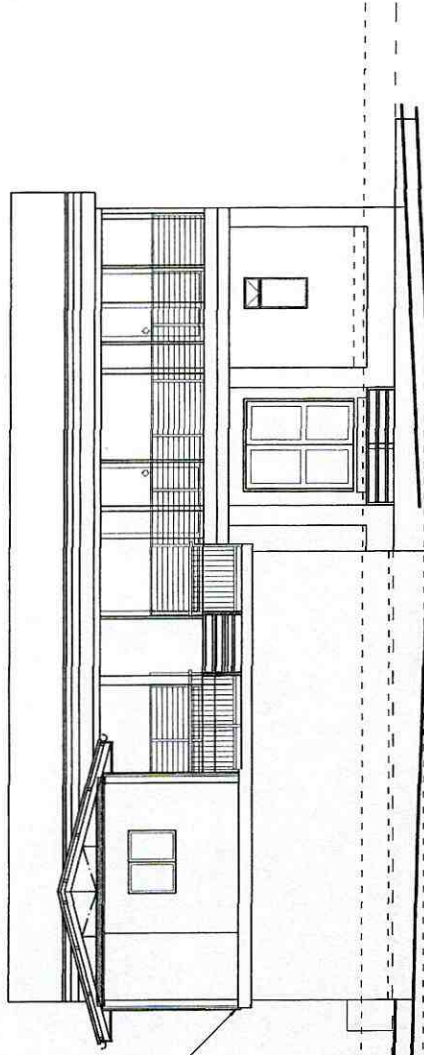
Owners Signature

Architect's Signature

Engineer's Signature

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--- 26.58 - 8m Height Registration ---



Timber frame walls built to the edge of the concrete slab to ensure proper waterproofing.

21.16 - A - Highest Level
 --- 20.58 - Base Level
 --- 20.00 - B - Lowest Level

Section A-A
 Scale 1:100

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Section

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Owner's Signature

Architect's Signature

Engineer's Signature