

ERF 4245, 19 C/O SIXTH STREET AND SEVENTH AVENUE, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS UMSIZA PLANNING ON BEHALF OF MAG WURBACH

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for a departure in terms of Section 16(2)(b) of the By-Law, in order to do the following:

- relax the street building line (17th Avenue) from 4m to ± 0.5 to accommodate a garage on ground floor and two bedrooms on first floor;
- relax the street building line (6th Street) from 4m to 3m to accommodate a shower;
- relax the lateral building line from 2m to 0m to accommodate a lounge and extended garage;
- encroach the permissible coverage from 50% to 50.97%; and
- relax the street building line (17th Avenue) from 3m to 0.15m to accommodate the new pergola and braai.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, 16 Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **31 March 2023**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to the **Town Planner, Mr P Roux** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 4245, H/V SEDESTRAAT EN SEWENDELAAN 19, VOËLKLIP, HERMANUS, OVERSTRAND MUNISIPALE AREA: AANSOEK OM AFWYKING: MNRE UMSIZA PLANNING NAMENS MAG WURBACH

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek ontvang is vir 'n afwyking in terme van Artikel 16(2)(b) van die Verordening, ten einde die volgende te doen:

- straatboulyn (17de Laan) te verslap vanaf 4m na ± 0.5 m om 'n motorhuis op grondvloer en 2 slaapkamers op eerste vloer te akkommodeer;
- straatboulyn te verslap (6de Straat) vanaf 4m na 3m om 'n stort te akkommodeer;
- laterale boulyn vanaf 2m na 0m te verslap om 'n woonkamer en vergrote motorhuis te akkommodeer;
- die toelaatbare dekking vanaf 50% na 50.97% te verslap; en
- die straatboulyn te verslap (17de Straat) vanaf 3m na 0.15m om die nuwe pergola en braai te akkommodeer.

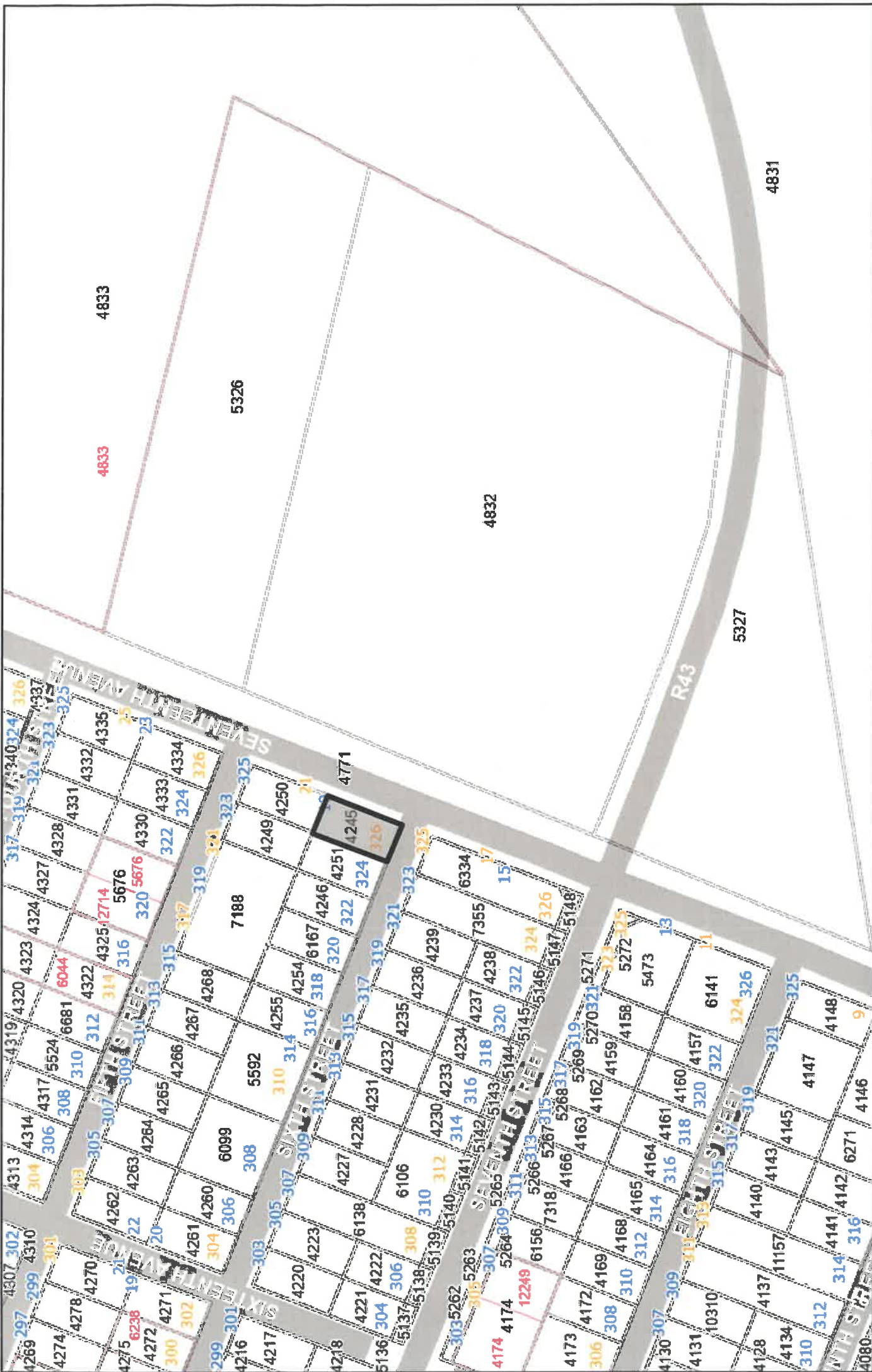
Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weekdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) voor of op **31 Maart 2023**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan Stadsbeplanner, **Mnr P Roux** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 4245, 19 C/O SIXTH STREET AND SEVENTH AVENUE I-AVENUE, VOËLKLIP, HERMANUS, UMMANDLA KAMASIPALA WASE-OVERSTRAND: ISICELO SOKUPHAMBUKA: ABANUMZANA UMSIZA UCWANGCISO EGAMENI LIKA-MAG WURBACH.

Isaziso siyanikezelwa ngokweCandelo lama-48 loMthetho kaMasipala woLungiso loMthetho kaMasipala kuCwangciso lokuSetyenziswa koMhlaba kaMasipala, ka-2020 (uMthetho kaMasipala) sokuba isicelo sifunyenwe sokuhamba ngokwemigaqo yeCandelo le-16(2)(b) le. uMthetho kaMasipala, ukuze wenze oku kulandelayo:

- ukunyenya umgca wesakhiwo sesitrato (17th Avenue) ukusuka kwi-4m ukuya ku- ± 0.5 ukulungiselela igaraji kumgangatho ophantsi kunye namagumbi amabini okulala kumgangatho wokuqala;
- ukunyenya umda wesakhiwo sesitrato (6th Street) ukusuka kwisi-4m ukuya kwi-3m ukulungiselela ishawari;
- ukunyenya umda wesakhiwo osecaleni ukusuka kwi-2m ukuya ku-0m ukulungiselela indawo yokuphumla negaraji eyandisiweyo;
- ugabadelo kukhuseleko oluvumelekileyo ukusuka kuma-50% ukuya kuma-50.97%; kwaye
- ukunyenya umda wesakhiwo sesitrato (17th Avenue) ukusuka kwisi-3m ukuya ku-0.15m ukulungiselela i-pergola entsha kunye ne-braai.

Inkcukacha ezipheleleyo mayela nesi siphakamiso ziyafumaneka ukuze zihlolwe kwiintsuku eziphakathi evekini ukususela phakathi kwentsimbi ye08:00 neye16:30 kwiSebe: Lezicwangciso ngeDolophu, 16 Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo zingangeniswa ngokwezibonelelo zeSoloty lama-51 nelama-52 Omthethwana kaMasipala ochazwe ngentla (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi **31 EyoKwindla 2023**, uchaze igama lakho, idilesi neenkukacha ofumaneka kuzo, umdla wakho kwesi sicelo nezizathu zokuhlomla. Iimibuzo ngefowuni ingabuzwa ku**Mnu P Roux** kwa028-313 8900. UMasipala angala ukwamkela izimvo ezifunyenwe emva komhla wokuvala. Nabani na ongakwazi ukufunda okanye ukubhala angaya kwiSebe Lezicwangciso ZeDolophu apho igosa liza kumnceda afake izimvo zakhe ngokusemthethweni.



ERF 4245, 19 C/O SIXTH STREET AND SEVENTH AVENUE, VOELKLIP, HERMANUS

MOTIVATIONAL REPORT

ERF 4245 HERMANUS: APPLICATION for DEPARTURES

1. INTRODUCTION / PURPOSE

The owner of any property or his/her agent may apply to the Municipality in terms of Chapter 16(2) of the Overstrand Municipality Amendment By-law on Municipal Land Use Planning, 2020 for permanent departures from the development parameters of the scheme.

The purpose of the application is to obtain approvals for the following house improvements and expansion to the existing dwelling house on Erf 4245 Hermanus:

A. *Departure from 4m street boundaries:*

17th Avenue

- Larger garage with access from 17th Avenue only 0,5m from the street boundary on ground level and two new bedrooms on first level.

6th Street:

- Outside shower with glass roof 3m from 6th Street boundary.

B. *Departure from 2m side boundary applicable on the common boundary with Erf 4250:*

- New pajama lounge (existing garage) and extended garage on boundary (ground floor); and
- New study and two additional en-suite bedrooms on boundary (first floor); and

C. *Departure from 50% coverage to 50,97% coverage.*

(Without the roof structure overhangs of more than 1m that need to be included in the calculation of coverage, the coverage is only 49.69%, i.e. the coverage on the ground.)

6 FEB 2023

2. THE PROPERTY & DEED

Erf 4245 Hermanus is located on the eastern edge of Hermanus in Voëlklip on the corner of Sixth Street and Seventeenth Avenue. The physical address of the property is No 19 Seventeenth Avenue, Voëlklip, Hermanus.

Cape Nature is situated opposite the application site on the eastern side of Seventeenth Avenue with the De Mond Caravan Park along between the R43 and the Klein River's mouth.

The property is 494m² in extent and belongs to Michael Andre Gustav Wurbach according to Deed of Transfer T51108/2016.

Although the Deed and Historic Deed contain the same building line conditions that contravene this application, it is the opinion of STBB Attorneys that these do not have to be removed as the enforcer of the condition no longer exists (i.e. the condition cannot be enforced as there is no legal enforcer for the condition).

The remainder of the conditions contained in the title do not restrict development of this property and do not impact on the application.

3. OVERSTRAND MUNICIPALITY LAND USE SCHEME, 2020 and OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK, 2020

3.1 LAND USE SCHEME

Erf 4245 Hermanus is zoned Residential Zone I: Single Residential (SR1) according to the Overstrand Municipality Land use Scheme of 2020.

Primary uses in this zone include a "**dwelling house**" that means a self-contained, inter-leading group of rooms used for the accommodation and housing of a single family (together with adequate sanitary facilities and a kitchen and such outbuildings as are ordinarily used therewith), provided further that a dwelling house may not have more than two kitchens.

An "**outbuilding**" means a structure, whether attached or separate from the main building, which is ancillary and subservient to the main building on a land unit and includes a building designed to be used for the garaging of motor vehicles, for storage purposes and any normal activities in so far as these are usually and reasonably required in the connection with the main dwelling as well as the accommodation of recreational activities such as a pool room, braai room, lapa and gazebo and the practising of hobbies (which may not cause a nuisance

and/or disturbance and/or noise and/or damage to a neighbouring property or properties or premises).

Development rules applicable on Erf 4245 Hermanus are:

- Max 50% coverage
- Building lines:
Street building lines of 4m
 - 6th Street: depth > 20m
 - 17th Avenue: depth <20m but garage obtains direct accessSide and rear building line = 2m

Structures allowed inside the building lines according to the By-law are:

- Boundary walls, retaining walls, screen walls, fences and gates no exceeding 2,1m in height;
 - Open and uncovered stoep, pools and filling lower than 1m above ground level;
 - Entrance steps, landings and entrance lower than 1m above ground;
 - Covered or uncovered pedestrian entrance/gatehouse on the street boundary with footprint/roof area not exceeding 5m² and roof of 3m high;
 - Eaves, awnings and canopies no more than 1m from any wall of building;
 - Swimming pools (engineering certificate required if closer than 1m from boundary) and pool pumps max 1m high;
 - Built braai up to max of 1m height above ground (with consent of neighbour); and
 - Water tanks and gas bottle storage max 2,1m high behind wall/screen with same height.
- Height: Max height is 8m high.
 - Garage with direct access from street has a 4m building line, but the Council may permit a garage over a street building line if well motivated, the height does not exceed 4,5m high and the garage is not closer than 5m to the road kerb/surface (it is 6m away); and
 - Two parking bays are required for the dwelling house. The proposed extension of the house is interleading with the existing structure. The covered foyer/lobby will be center in giving direct access to the existing house to the one side as well as the proposed extension to the other side. The proposed extension is therefore part of the existing house.

3.2 SPATIAL DEVELOPMENT FRAMEWORK (SDF), 2020

The Spatial Development Framework (SDF) for the Greater Hermanus (East) earmarks the area opposite Seventeenth Avenue as a Special Place where a mixed density housing node is promoted next to the caravan park.

This area between Voëlklip and the Klein River Lagoon is also identified as a sensitive development area, similar to the outer row of residential erven adjacent to the mountain and sea.

Although Erf 4245 Hermanus is one of the outer row of residential erven, the caravan park and proposed development node is located in between the application site and the lagoon/river and therefore outside the sensitive development area (see green dotted line on Location Plan).

An applicable local development and growth management principle of the SDF is to maintain the unique character of Greater Hermanus via, amongst other, adhering to the Heritage Protection Overlay Zone (HPOZ) regulations.

Hermanus East is a low density residential suburban area situated in a pristine natural landscape. There is no heritage protection overlay zone identified for this specific area.

4. EXISTING LAND USE & SERVICES

Erf 4245 Hermanus contains a dwelling house of 147,5m² and a garage (outbuilding) 6,5m from the 17th Avenue street boundary that are linked with a roof to shelter the entrance/foyer to the dwelling.

The house consists of a kitchen with scullery, dining area, lounge, guest toilet along the passage and two en-suite bedrooms on the ground floor.

Access is also obtained from 6th Street to the services courtyard at the south of the dwelling.

Erf 4245 Hermanus is serviced by the municipal services network, i.e. water, sewerage, electricity and solid waste removal.

5. PROPOSED ALTERATIONS

The proposed additions/alterations/improvements will be as follows:

- Covered entrance/foyer that will connect the existing house with the proposed extension, all interleading rooms;
- Swimming pool next to 17th Avenue boundary wall;
- Wood fired hot tub 1m from 6th Street boundary, 0,7m in height;
- Pop-up shower 3m from 6th Street;
- Pergola between the primary house and braai;
- Built braai up to max of 1m height above ground and chimney 3,6m high;

- Three raised ($\pm 0,2\text{m}$ high) timber deck areas:
 - (i) Demarcated area along 6th Street linking the glass roof shower and hot tub $25,6\text{m}^2$ in extent;
 - (ii) Area at swimming pool of $17,8\text{m}^2$; and
 - (iii) Area in the north-western corner of the erf ($17,8\text{m}^2$), including a fire pit.
- New boundary walls $2,1\text{m}$ high on boundary with 6th Street and 17th Avenue;
- Extending heights of existing boundary walls to $2,1\text{m}$ on common boundaries with adjacent two residential erven;
- Screen walls at services courtyard/ water tanks, hot tub, braai area, next to entrance from 17th Avenue, and at the fire pit area.
- Covered walkway from 17th Avenue (less than 5m^2 in extent with roof lower than 3m).
- A new extended double garage $0,5\text{m}$ from 17th Avenue and convert the existing garage to a pajama lounge and stairs on the ground floor; and
- New study and two en-suite bedrooms on top of the old and new garages.

Except for the (i) building lines pertaining to the:

- shower;
 - new extended garage;
 - conversion of old garage;
 - building on top of old and new garage,
 - new pergola and braai; and
- the (ii) coverage of $50,97\%$,

the alterations adhere to the development parameters: (See also above)

- All roofs will be maximum $7,3\text{m}$ high with the chimney 8m high;
- New extended garage is on ground level;
- New extended garage is 6m away from the road kerb/surface;
- New extended garage is 6m long as part of the rear/lateral boundary of $15,9\text{m}$; and
- Two parking bays are provided in the extended garage.

6. THE PROPOSAL

Application is made in terms of the Overberg Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the following:

In terms of Section 16(2)(b):

- Permanent departure of the side building line from 2m to 0m on the common boundary with Erf 4250 for:
 - new pajama lounge (conversion of existing garage on ground floor);

- extended garage on ground floor;
- new study & two additional en-suite bedrooms on first floor.
- Permanent departure of the street building line from 4m to:
17th Avenue:
 - 0,5m for the new garage on ground level and new bedrooms on first floor;
and
 - 0,15m for the new pergola and braai;
- 6th Street:*
 - 3m for the new shower with glass roof.
- Departure from 50% coverage to 50,97%.

7. MOTIVATION

The impacts of the following changes need to be motivated: (all other are primary rights on this property)

- Shower 3m from 6th Street;
- Extended garage 0,5m from 17th Avenue;
- New pergola and braai between primary house and braai ±0,15m from 17th Avenue;
- Conversion of existing garage to pajama lounge;
- New study and 2 en-suite bedrooms on top of old and new garage on common boundary with Erf 4250; and
- 50,97% coverage.

7.1 ADHERENCE TO DEVELOPMENT PRINCIPLES

Development principles are referred to in Section 42 of the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA) and Chapter VI of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA).

These guiding principles are met by the proposed development:

- Spatial Justice (need for adjustment of building lines and 50,97% coverage)

The new garage will encroach the street building line of the new by-law (4m where the garage obtains direct access). However, the by-law makes provision for certain site-specific circumstances when the building of structures may be considered.

The outside shower within the street building line is needed to wash off the circulated water from the tub.

The extended garage is needed to enlarge the existing, small house (only two bedrooms) / to make space for additional bedrooms, a study and an informal living/recreational area to ensure a more comfortable and sustainable dwelling house.

The only space for a braai inside the building line is next to the entrance foyer between the two dwellings on the property. This is, however, due to the location in relation the remainder of the house not favourable for the owner (as well as for the neighbour on Erf 4251 with associated noise impacts) and will be an unused "white elephant" in contrast with the location of the braai and covering pergola (for shade and atmosphere) in an attractive and spacious outside area between the new pool, hot tub and outside shower.

The location of the braai and pergola in this area will not impact negatively on any neighbour and will not be visible from the street.

The coverage on the ground will be within the development parameters of 50%, i.e. 49,69% without the roof structure overhangs that protrude more than 1m from the building. When the overhangs of more than 1m are included in the calculations, the coverage will be 50,97%.

The proposed encroachment 0,97% will have no negative impact on density or the character of the environment, it will only add to the attraction and value of the house and therefore also the immediate neighbourhood. These overhangs are both functional and decorative by optimising sunlight exposure and protection from moisture, while also accentuating the overall feel of your home.

The proposed alterations will make the house more efficient through its architecture as the roof overhangs will help keeping it warm in the winter and cool during the summer. With the current increasing load shedding volumes, such measures have become essential in minimising any heating or air conditioning systems.

- Spatial Sustainability (desirable location and cost effective development):

The outside shower will form, together with the hot tub, part of the one proposed raised timber deck area next to the braai area. This is an ancillary use attached to the existing house (common wall), therefore cost effective and as far as possible outside the building line.

Although application is made to build the new garage only 0,5m from the boundary, it will be 6m from the kerb where cars can easily pause while waiting for the garage doors to open.

This is also safe and desirable as 17th Avenue is a 25m wide street and located on the eastern boundary of Hermanus with intensive township development only on

the one side as the area opposite the road is zoned for resort use. Transport movements will therefore be low.

Although this area is earmarked for mixed density residential development in the SDF, it remains a sensitive development area where development will be carefully considered.

- Efficiency (Desirability in terms of optimization of use by using existing resources and infrastructure)

The use of the small erf will be optimized by converting and extending an existing structure. No new services will be required, as this is only an enlargement of an existing dwelling house.

- Spatial resilience (impact on environment and ensure sustainable livelihoods)

The outside shower will be invisible inside a 2,1m high wall next to 6th Street, with minimal impact on any neighbours.

The existing garage is built on the common boundary with Erf 4250.

This structure will be extended (2,4m high) up to 0,5m from the street boundary.

The house will be extended to replace the existing garage as well as on top of the existing and enlarged garages with an additional height of 2,1 m.

No doors or windows will be opened to the north. The additional structures will therefore have a similar effect to a wall 4,5m high and be a cost-effective buffer/barrier between two residential properties. It will be a pitched roof with maximum height of 7,3m.

This will have small impact on Erf 4250 as the double garage on this erf is also located on the common boundary.

- Good administration

Good administration will be followed through an integrated approach between land owners, planning consultants and the administered authority (Municipality) guided by policies and legislation with inputs by all role players.

7.2 DESIRABILITY

Overall character of the surrounding area

The application is for the enlargement of the current dwelling structure beyond the prescribed building lines:

- outside shower 1m inside 6th Street building line;

- new braai and pergola between the primary house and 17th Avenue;
- new garage with new pajama lounge/study/two bedrooms on top of existing and new garage on common boundary with Erf 4250.

The zoning, land use and character will remain similar, with small impacts on the immediate neighbours – refer to above.

Location and accessibility of property

The location and accessibility of Erf 4245 mitigate possible impacts of encroaching the building lines:

- on eastern boundary of Hermanus;
- large, open, Cape Nature-owned erf erven opposite road;
- corner location of the property;
- access from a wide 17th Avenue; and
- location adjacent to double garages on adjacent site (Erf 4250).

Physical characteristics of the property & potential of property

The new alterations are small, with the main change the new garage being the double storey addition to the house on the common boundary with Erf 4250.

An existing structure will be converted and expanded forward and upwards for optimal use of the property.

The proposed extension to the front will not impact negatively on 17th Avenue due to the kerb being 6m away, as well as the wide street with development only on the one side.

The proposed new garage and residential expansion on top (double storey) with no doors or windows facing Erf 4250 will be located next to the driveway and double garage of Erf 4250 that will provide more privacy to both owners. As it is located on the northern boundary of Erf 4245, it cannot block Erf 4250's view to the mountain.

The corner erf will ensure low impact due to street barriers on two erf boundaries. The wider street building lines allow for a pool, braai and ancillary facilities on the application erf without negative impact.

Provision of services

No additional services are required as it is only an extension of an existing dwelling house.

Construction process / Phases of proposal

Construction will commence as soon as building plan approval has been obtained – building plans are attached.

7.3 EXAMPLES OF SIMILAR BUILDING LINE ENCROACHMENTS

A precedent has already been set within the extended Voëlklip area relating to the relaxation of building lines and / or the removal of outdated title deed restrictions to allow the construction of garages and / or carports together with “habitable” spaces on Voëlklip property boundaries.

Examples of garages/carports on common property boundaries and street fronts are:



Examples of existing habitable spaces with doors and windows directly on property / street boundaries are:





8. CONCLUSION

The proposed expansion and house improvements will increase the value of the dwelling house on Erf 4245 Hermanus, with the subsequent increase in value of the surrounding area.

The proposals are small and typical, except for the new garage and development on top of the existing and new garage that will be located on the common boundary with Erf 4250 Hermanus and 0,5m away from 17th Avenue.

However, the need and trend to build on top of garages and close to streets have increased exponentially across Voëlklip and many examples can be listed.

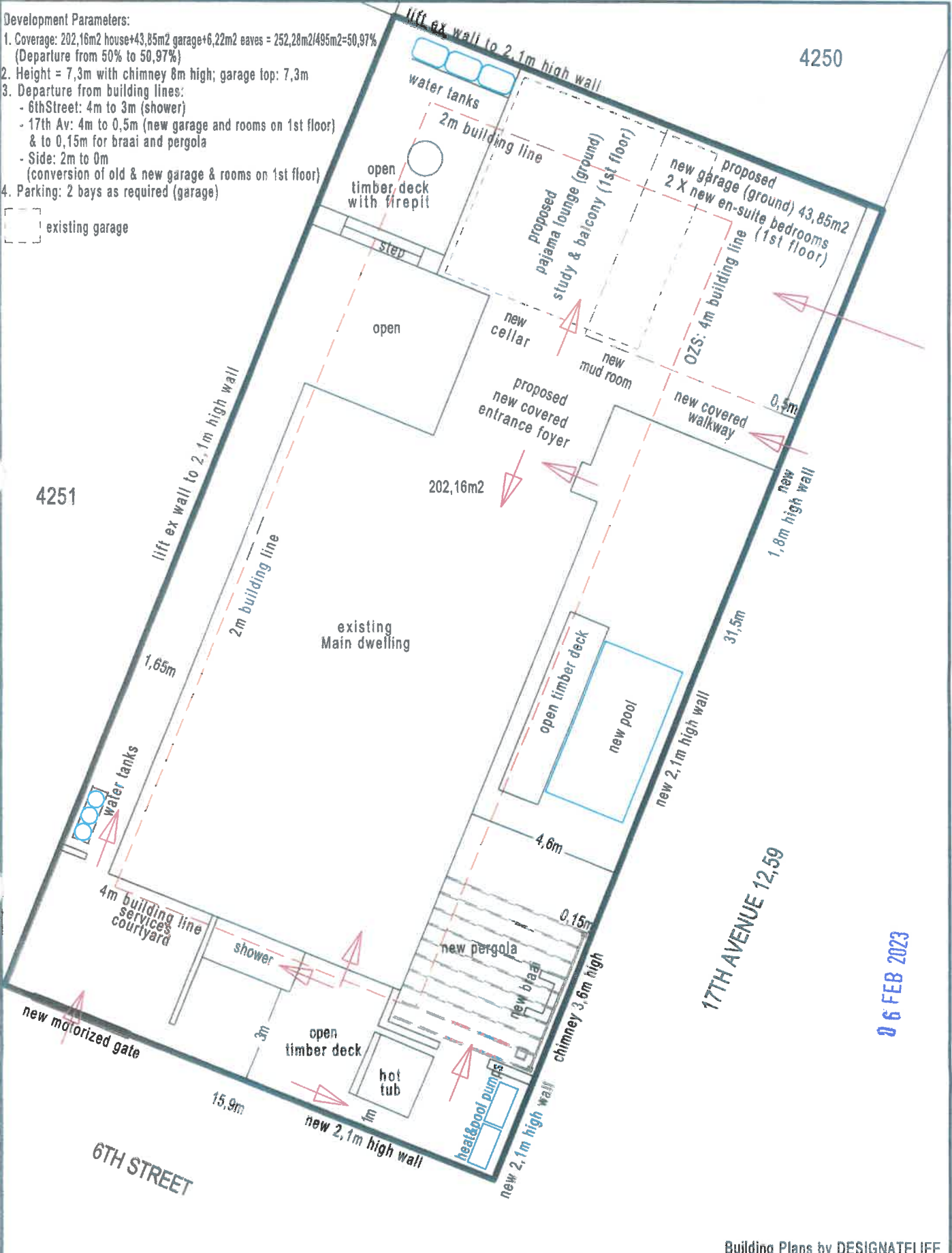
Due to the site-specific circumstances applicable on Erf 4245 Hermanus such as the location of the site in Hermanus-East, the location of the proposed structures on the site, the distance of the structures to the kerb, as well as the double garage on the other side of the common boundary, the impacts of the building line departures will be negligible.

For the above-mentioned reasons, the application is desirable from a land use point of view and should be considered positively.

Development Parameters:

1. Coverage: 202,16m² house+43,85m² garage+6,22m² eaves = 252,28m²/495m²=50,97%
(Departure from 50% to 50,97%)
2. Height = 7,3m with chimney 8m high; garage top: 7,3m
3. Departure from building lines:
 - 6th Street: 4m to 3m (shower)
 - 17th Av: 4m to 0,5m (new garage and rooms on 1st floor) & to 0,15m for braai and pergola
 - Side: 2m to 0m (conversion of old & new garage & rooms on 1st floor)
4. Parking: 2 bays as required (garage)

 existing garage



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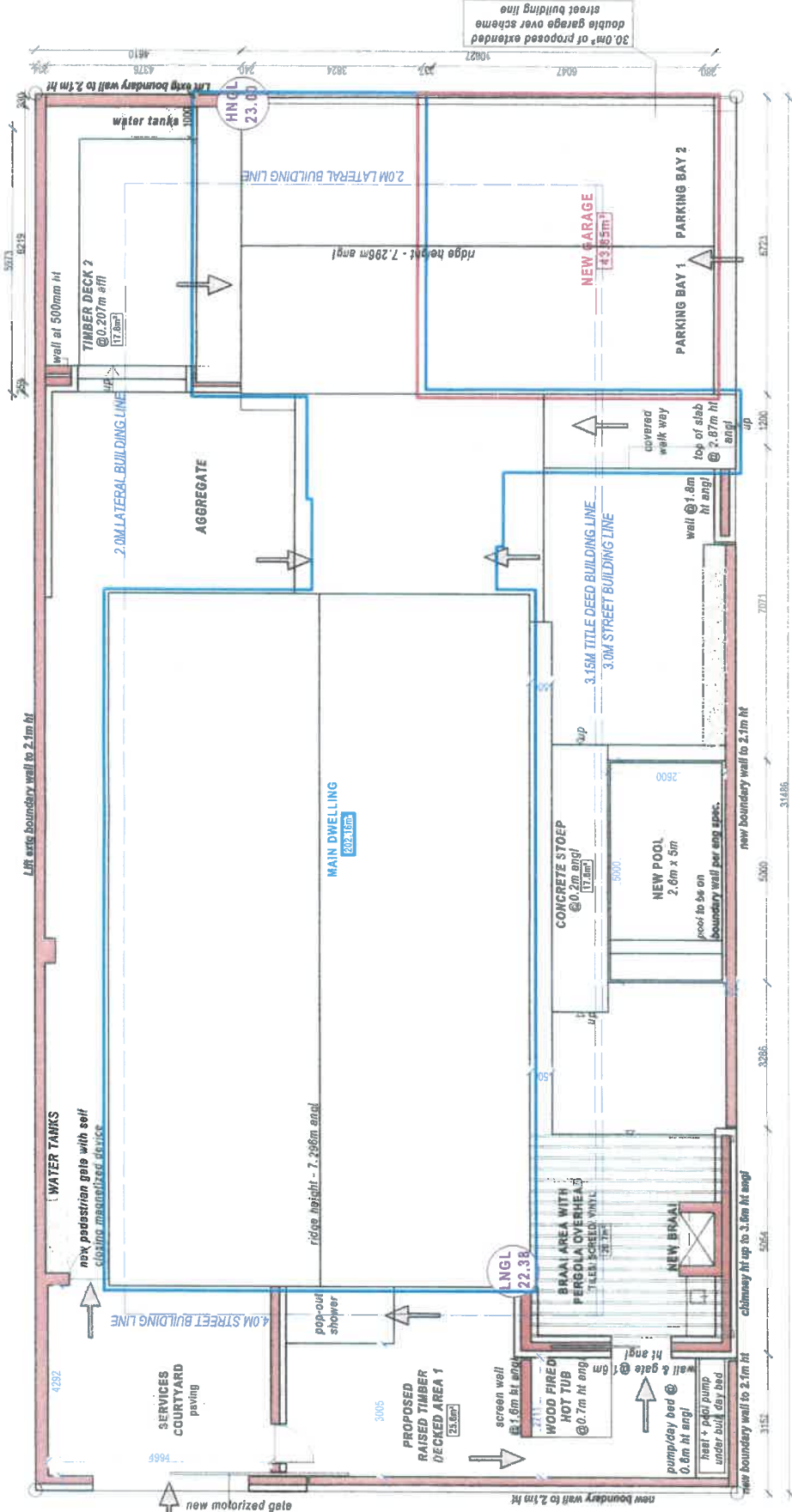
Building Plans by DESIGNATELIEE

SDP: ERF 4245 HERMANUS



SCALE 1:150
 PLAN: E4245HERMANUS
 FEBRUARY 2023

UMSIZA
 PLANNING
 Town and Regional Planner



DESIGNATELIE

REGISTERED ARCHITECT, ENGINEER, PLANNING & DESIGN CONSULTANTS
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PROJECT
 HOUSE WURBACH - ERF 4245
 19 seventeenth avenue | voelklip 1700

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 site development plan
 see labels - do not scale when printing (A3)

DATE
 25 Jan 2023

DRAWN
 ee + jp + mvj

DWG No
 1810

CHECKED
 hc

REV
 15

06 FEB 2023

SITE DEVELOPMENT PLAN | scale 1:100

AREA	ERF 02E	ERF 4245
SURFACE AREA	61.6m²	484.5m²
GROUND FLOOR	202.10m²	
GARAGE	43.35m²	
FIRST FLOOR (NA)	7.50m²	
BALCONY	6.22m²	
TIMBER DECK 1 (NA)	11.10m²	
TIMBER DECK 2	25.00m²	
PERGOLA (NA)	10.49m²	
CONCRETE STOEP	20.71m²	
TOTAL SURFACE AREA	387.27m²	

PERCENTAGE	TOTAL ADDITIONS
GROUND FLOOR	40.85%
GARAGE	6.86%
FIRST FLOOR (NA)	14.33%
BALCONY	1.28%
TIMBER DECK 1 (NA)	5.17%
TIMBER DECK 2	2.11%
PERGOLA (NA)	4.11%
CONCRETE STOEP	5.37%
TOTAL ADDITIONS	135.57m²



PROJECT
 HOUSE WURBACH - ERF 4245
 19 seventeenth avenue | voelklip | 7200

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COVERAGE

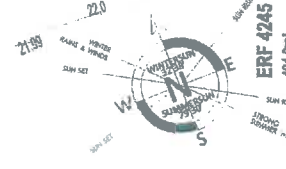
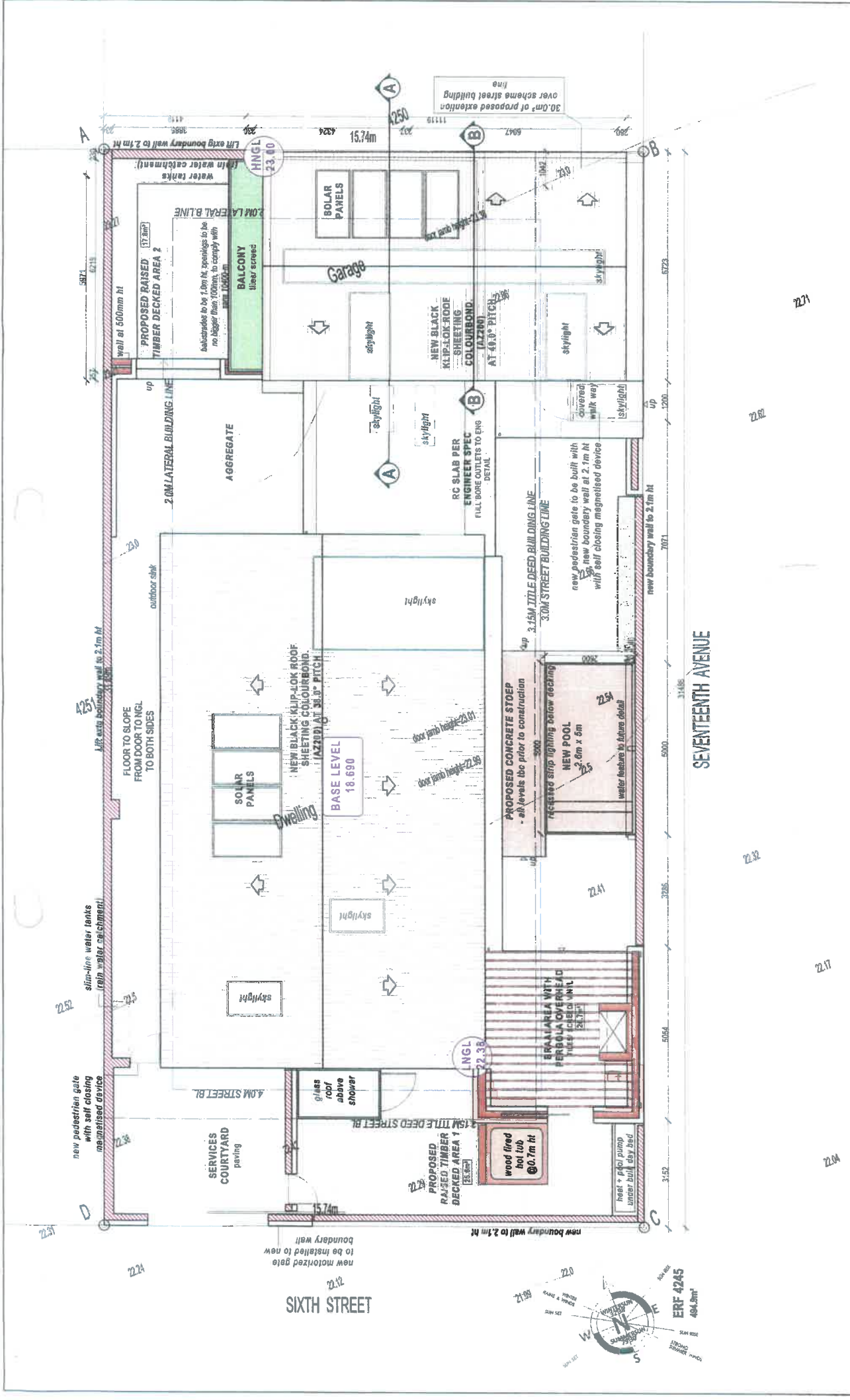
GROUND FLOOR	= 40.8%
FIRST FLOOR (NA)	= 14.3%
BALCONY	= 1.2%
TIMBER DECK 1 (NA)	= 5.1%
TIMBER DECK 2 (NA)	= 3.6%
CONCRETE STOEP (NA)	= 2.1%
TOTAL COVERAGE	= 67.1%
TOTAL ADDITIONS	= 138.8m²

CONCRETE

CONCRETE	= 494.3m³
CONCRETE	= 201.1m³
CONCRETE	= 7.8m³
CONCRETE	= 6.2m³
CONCRETE	= 32.1m³
CONCRETE	= 28.6m³
CONCRETE	= 20.15m³
CONCRETE	= 397.7m³

SURFACE AREA

GROUND FLOOR	= 494.3m²
FIRST FLOOR	= 201.1m²
BALCONY	= 7.8m²
TIMBER DECK 1	= 52.1m²
TIMBER DECK 2	= 45.6m²
CONCRETE STOEP	= 20.15m²
TOTAL SURFACE AREA	= 837.7m²



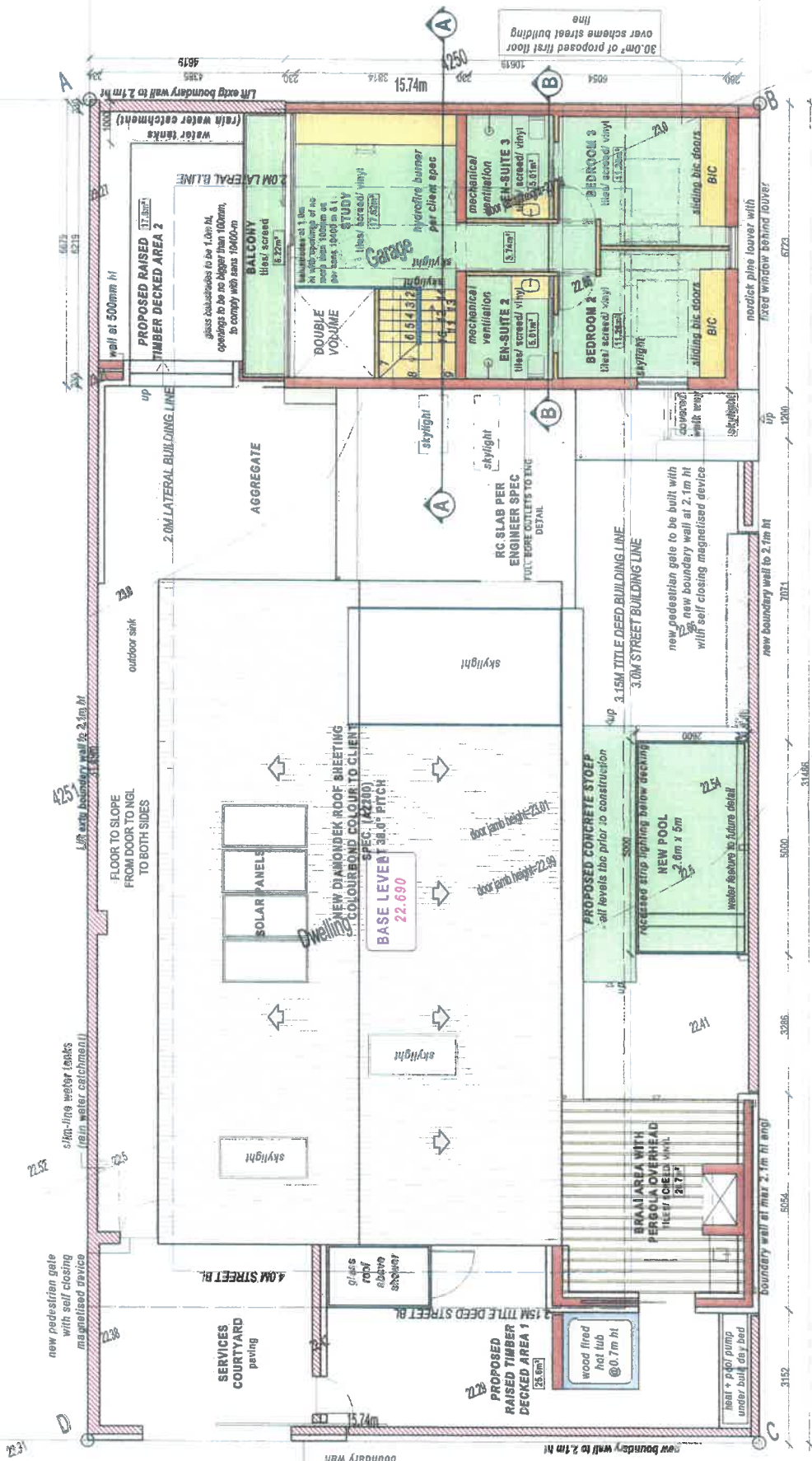
SEVENTEENTH AVENUE

SIXTH STREET

ERF 4245
 464.3m²

SITE PLAN | scale 1:100

4249



DESIGNATELIEE

11/15/2023 10:41 AM
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PROJECT
 HOUSE WURBACH - ERF 4245
 19 seventeenth avenue | voelklip 17200

ADDITIONS/ALTERATIONS

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DRAWING
 first floor plan
 see labels, do not scale when printing (A3)

DATE
 25 Feb 2023

DRAWN
 ss + jp + mvw

DMG No
 1910

REV
 15

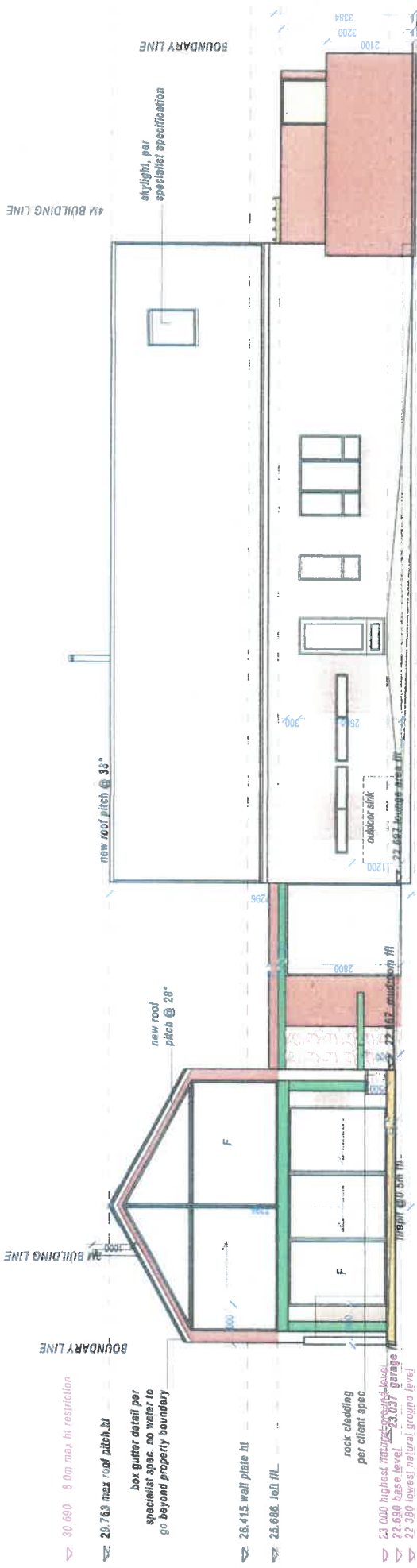
hc

06 FEB 2023

COVERED AREA	40.86%
FLOOR	8.88%
GARAGE	14.33%
FIRST FLOOR (NA)	1.26%
BALCONY	5.17%
TIMBER DECK (NA)	2.11%
PERGOLA (NA)	4.18%
CONCRETE STOEP (NA)	30.07%
TOTAL COVERAGE	135.57%
TOTAL ADDITIONS	135.57%

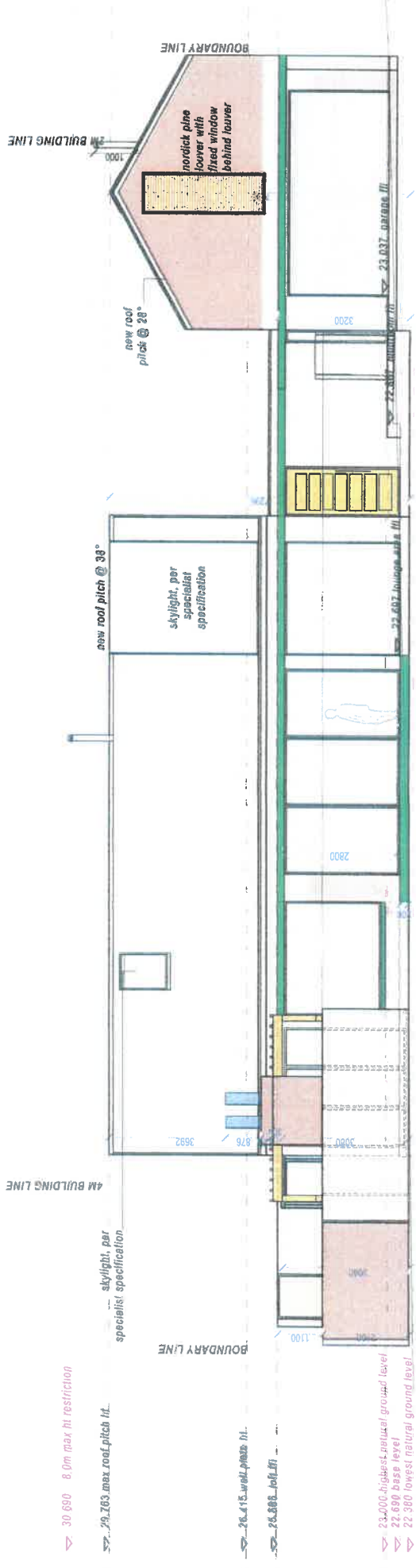
FIRST FLOOR PLAN | scale 1:100

ERF SIZE	464.9m²
BUILDING AREA	43.15m²
FLOOR	7.52m²
GARAGE	6.22m²
FIRST FLOOR (NA)	331.16m²
BALCONY	11.86m²
TIMBER DECK (NA)	10.45m²
PERGOLA (NA)	25.77m²
CONCRETE STOEP (NA)	307.22m²
TOTAL SURFACE AREA	502.77m²



- ▷ 30 690 8.0m max ht restriction
- ▷ 28 763 max roof pitch ht
- ▷ box gutter detail per specialist spec. no water to go beyond property boundary
- ▷ 28.415 wall plate ht
- ▷ 25.646. 1st fl.
- ▷ 23 000 highest natural ground level
- ▷ 22 690 base level
- ▷ 22 307 garage level
- ▷ 22 300 lowest natural ground level

NORTH WEST ELEVATION | scale :1:100



- ▷ 30 690 8.0m max ht restriction
- ▷ 27 293 max roof pitch ht
- ▷ 26.415 wall plate ht
- ▷ 25.646. 1st fl.
- ▷ 23 000 highest natural ground level
- ▷ 22 690 base level
- ▷ 22 380 lowest natural ground level

SOUTH EAST ELEVATION | scale :1:100

DESIGNATELIE

1230 0th St SW, JANIS ARCHITECTURAL & DESIGN
 4100 12th St SW, VANCOUVER, BC V6Z 2G6
 TEL: 604.273.1234 FAX: 604.273.1235
 WWW.DESIGNATELIE.COM

PROJECT
 HOUSE WURBACH - ERF 4245
 19 seventeenth avenue | vancouver | 7200

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 elevations 1/3
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DATE
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 se + jb + mvg

CHKD
 1910

REV
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CONCRETE	CONCRETE AREA	ERF SIZE
GROUND FLOOR	494.5m²	202.18m²
FIRST FLOOR (N/A)	54.33m²	7.28m²
BALCONY	1.26m²	6.22m²
TIMBER DECK 1 (N/A)	33.10m²	33.10m²
TIMBER DECK 2 (N/A)	25.62m²	25.62m²
CONCRETE ST/OP (N/A)	17.80m²	17.80m²
TOTAL CONCRETE	137.51m²	302.22m²
TOTAL ADDITIONS	138.87m²	

PROJECT
 HOUSE WURBACH - ERF 4245
 19 SEVENTEENTH AVENUE | VOCALHIP | 7200

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DRAWING
 elevations 2/3
 see labels . do not scale when printing (A3)

DATE
 25 Jan 2023

DRAWN
 se + jb + mgv

DWG No
 1910

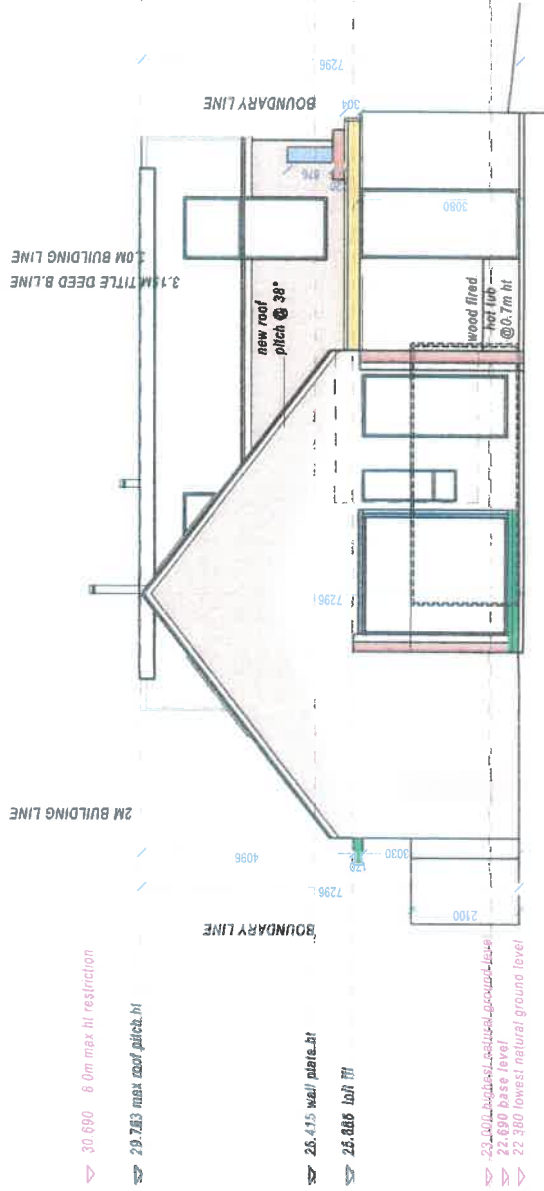
REV 15
 CHECKED hc

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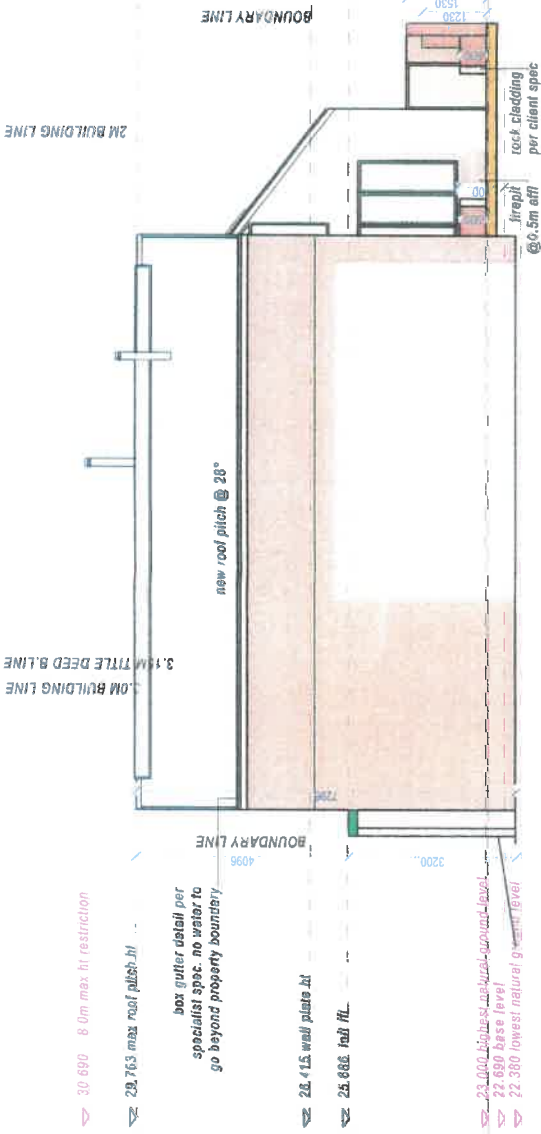
SURFACE AREA	ERF SIZE
ERF TOTAL	1431.0m ²
GARAGE	202.15m ²
FIRST FLOOR	43.85m ²
BALCONY	7.93m ²
TIMBER DECK 1 (WA)	6.22m ²
TIMBER DECK 2	33.10m ²
PERGOLA	25.95m ²
CONCRETE STYOP	14.46m ²
TOTAL SURFACE AREA	207.71m²

SURFACE AREA	ERF SIZE
ERF TOTAL	1431.0m ²
GARAGE	202.15m ²
FIRST FLOOR	43.85m ²
BALCONY	7.93m ²
TIMBER DECK 1 (WA)	6.22m ²
TIMBER DECK 2	33.10m ²
PERGOLA	25.95m ²
CONCRETE STYOP	14.46m ²
TOTAL SURFACE AREA	207.71m²

NORTH EAST ELEVATION | scale 1:100



SOUTH WEST ELEVATION | scale 1:100



30.690 8.0m max ht restriction

29.763 max roof pitch ht

box gutter detail per specialist spec. no water to go beyond property boundary.

28.415 wall plate ht

25.868. min ht

23.000 highest natural ground level

22.690 base level

22.380 lowest natural ground level

30.690 8.0m max ht restriction

29.763 max roof pitch ht

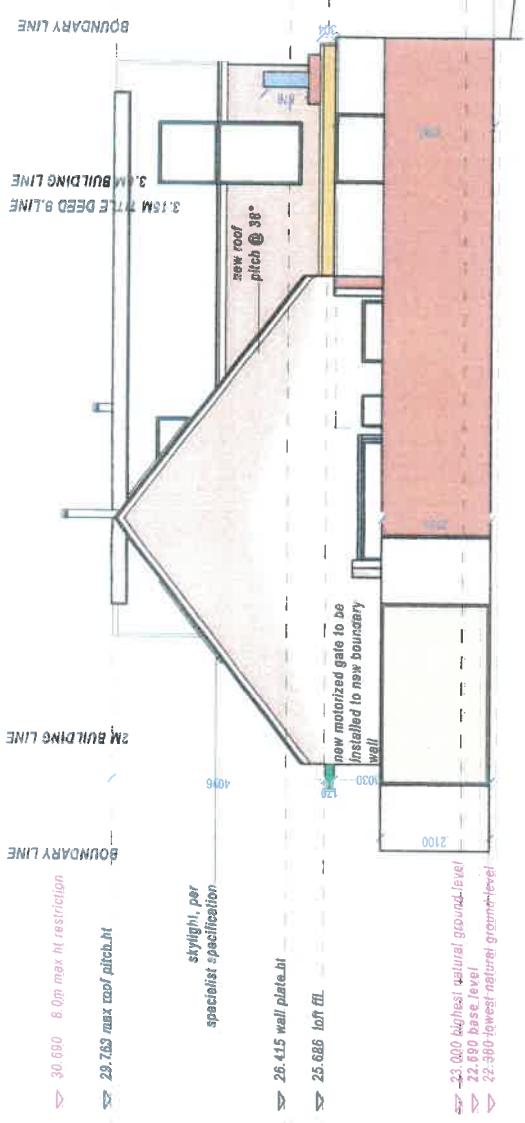
25.415 wall plate ht

25.868 min ht

23.000 highest natural ground level

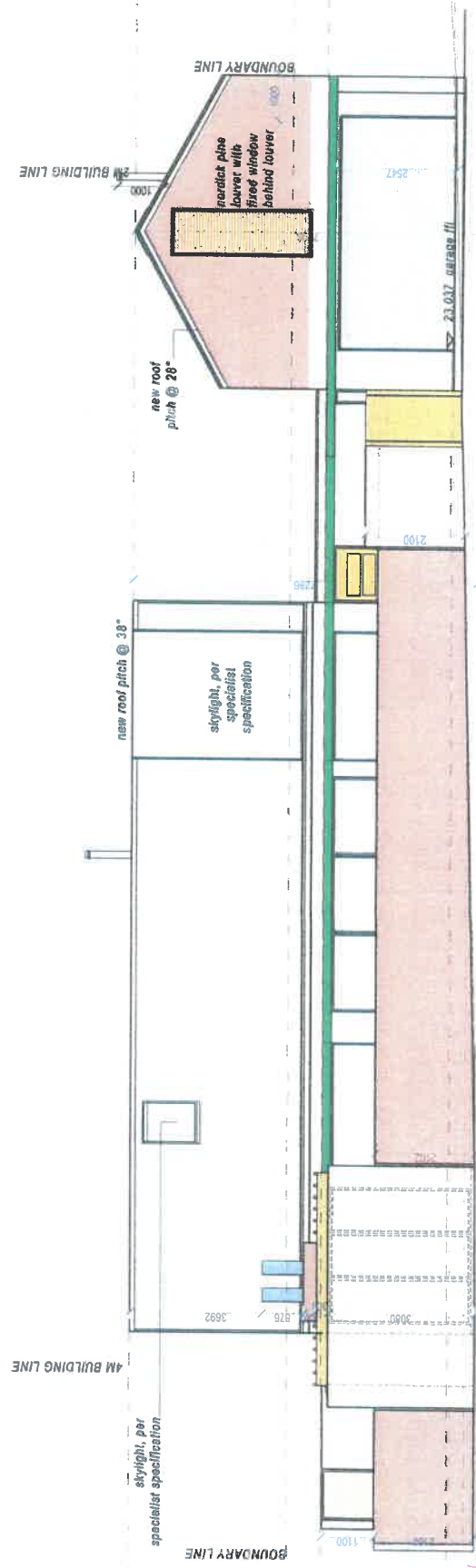
22.690 base level

22.380 lowest natural ground level



NORTH EAST ELEVATION WITH BOUNDARY WALL | scale 1:100

- ▽ 30.690 8.0m max ht restriction
- ▽ 29.763 max roof pitch ht
- ▽ 26.415 wall plate ht
- ▽ 25.686 loft fl
- ▽ 23.000 highest natural ground level
- ▽ 22.690 base level
- ▽ 22.360 lowest natural ground level



SOUTH EAST ELEVATION WITH BOUNDARY WALL | scale 1:100

- ▽ 30.690 8.0m max ht restriction
- ▽ 29.763 max roof pitch ht
- ▽ 26.415 wall plate ht
- ▽ 25.686 loft fl
- ▽ 22.650 base level
- ▽ 22.360 lowest natural ground level

SURFACE AREA	EIF SIZE
FIRST FLOOR	= 494.8m ²
GARAGE	= 43.36m ²
FIRST FLOOR (NA)	= 7.63m ²
BALCONY	= 6.22m ²
TIMBER DECK 1 (NA)	= 525.16m ²
TIMBER DECK 2 (NA)	= 25.00m ²
CONCRETE STEEP (NA)	= 10.45m ²
PERGOLA AREA	= 20.31m ²
TOTAL SURFACE AREA	= 871.75m²

COVERAGE	PERCENTAGE
FIRST FLOOR	= 40.85%
GARAGE	= 4.97%
FIRST FLOOR (NA)	= 0.87%
BALCONY	= 0.71%
TIMBER DECK 1 (NA)	= 60.12%
TIMBER DECK 2 (NA)	= 2.87%
CONCRETE STEEP (NA)	= 1.20%
PERGOLA AREA	= 2.33%
TOTAL COVERAGE	= 113.81%

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DRAWING
elevations 3/3
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DATE 25 Jan 2023

DRAWN se + jb + myg

DWG No 1910

REV 15

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