

REMAINDER OF PORTION 366 OF THE FARM ONRUST RIVER NO. 581, DIVISION CALEDON: APPLICATION FOR CONSENT USE, DEPARTURE AND DETERMINATION OF ADMINISTRATIVE PENALTY: MBPLAN ON BEHALF OF OVERBERG HONEY TRUST

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amended By-Law on Municipal Land Use Planning, 2020 (By-Law), that an application has been received applicable to the above-mentioned property, namely:

- **Consent use** in terms of Section 16(2)(o) of the By-Law, to accommodate the existing and to allow for a proposed extension of the agricultural industry to accommodate a honey processing business.
- **Consent use** in terms of Section 16(2)(o) of the By-Law, to allow for an institution to accommodate a home for the indigent in the existing second dwelling.
- **Departure** in terms of Section 16(2)(b) of the By-Law, to relax the western lateral building line from 10m to 4,45m, to accommodate the existing chicken coop and encroachments of the existing barn and stables.
- **Departure** in terms of Section 16(2)(b) of the By-Law, to accommodate the change of use of the existing second barn to allow for storage and production of agricultural processes.
- **Determination of an administrative penalty** in terms of Section 16(2)(q) of the By-Law for the unauthorised land use activities as stipulated above.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus. Any written comments may be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law to the Municipality (16 Paterson Street, Hermanus / (f) 028-313 2093 / (e) loretta@overstrand.gov.za) on or before **17 March 2023**, quoting your name, address and contact details, interest in the application and reasons for comments. Telephonic enquiries can be made to the **Town Planner, Mr. H. Olivier** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

RESTANT VAN GEDEELTE 366 VAN DIE PLAAS ONRUSTRIVIER NR. 581, AFDELING CALEDON: AANSOEK OM VERGUNNINGSGEBRUIK, AFWYKING, EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: MBPLAN NAMENS OVERBERG HONEY TRUST

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening), dat 'n aansoek van toepassing op die bogenoemde eiendom ontvang is vir die volgende:

- **Vergunningsgebruik** ingevolge Artikel 16(2)(o) van die Verordening, om die bestaande en die voorgestelde uitbreiding van die landboubedryf toe te laat om 'n heuningverwerkingsbesigheid te akkommodeer.
- **Vergunningsgebruik** ingevolge Artikel 16(2)(o) van die Verordening, om 'n instansie toe te laat ten einde 'n tehuis vir behoeftiges in die bestaande tweede wooneenheid te akkommodeer.
- **Afwyking** ingevolge Artikel 16(2)(b) van die Verordening, om die westelike syboullyn vanaf 10m tot 4,45m te verslap, om die bestaande hoenderhok en oorskreidings van die bestaande skuur en stalle te akkommodeer.
- **Afwyking** ingevolge Artikel 16(2)(b) van die Verordening, om die gebruiksverandering van die bestaande tweede skuur te akkommodeer om voorsiening te maak vir die stoor en produksie van die landbouprosesse.
- **Bepaling van 'n administratiewe boete** ingevolge Artikel 16(2)(q) van die Verordening vir ongemagtigde grondgebruik aktiwiteite soos hierbo uiteengesit.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus. Enige kommentaar op die voorstel moet skriftelik ingedien word in terme van Artikels 51 en 52 van die voorgeskrewe Verordening na die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 028-313 2093 / (e) loretta@overstrand.gov.za) voor of op **17 March 2023**, met die naam, adres en kontakbesonderhede, belang in die aansoek sowel as redes vir die kommentaar aangedui. Telefoniese navrae kan gerig word aan die **Stadsbeplanner, Mnr. H. Olivier** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

INTSALELA YENXALENYE 366 KWIFAMA ENOMBOLO 581 ONRUST RIVER, ICANDELO LASECALEDON: ISICELO SOKUSEBENZISA, UKUNYENYISWA KUNYE NOKUGQITYWA KWESOHLWAYO: ABAKWA-MBPLAN EGAMENI LE-OVERBERG HONEY TRUST

Kukhutshwa isaziso ngokumayela neCandelo 48 loMthetho Otshintshiweyo woMasipala wase-Overstrand ongokuSetyenziswa nokuCetywa koMhlaba kaMasipala, 2020 (uMthetho kaMasipala), ukuba kufunyenwe isicelo ngokumayela nepropathi engasentla, ngolu hlobo:

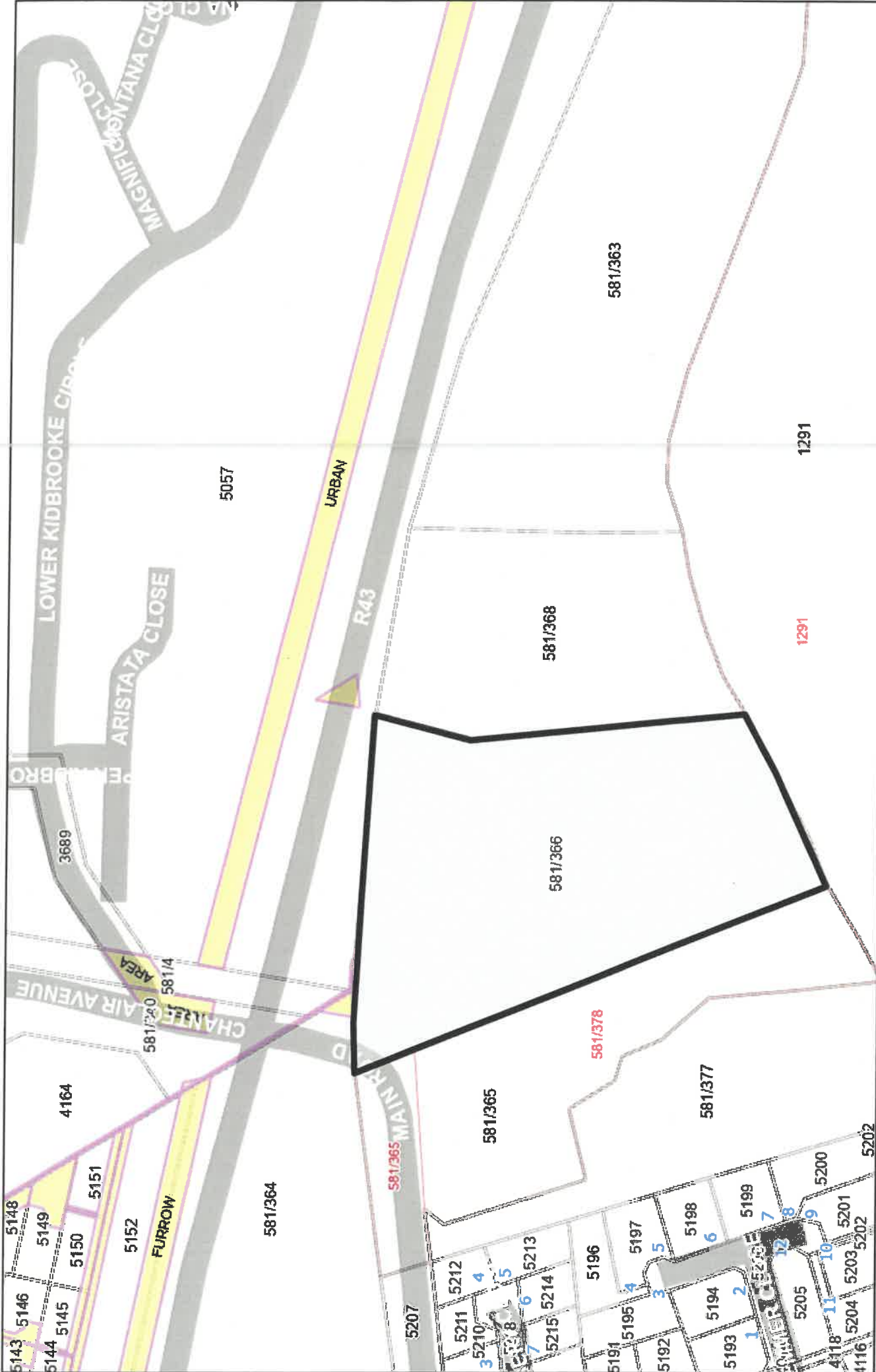
- **Isicelo sokusetyenziswa** ngokumayela neCandelo 16(2)(o) loMthetho kaMasipala ukulungiselela ukwandisa ekusele kwenziwe nokwandisa okucetywayo kwicandelo loshishino lwezolimo ukuze kwenziwe ishishini lokwenza ubusi.
- **Isicelo sokusetyenziswa use** ngokumayela neCandelo 16(2)(o) loMthetho kaMasipala ukuze kuvunyelwe iziko libe nendawo yokuhlala abantu abahluphekayo kwindlu yesibini.
- **Ukunyenyiswa** ngokumayela neCandelo 16(2)(b) loMthetho kaMasipala ukuze kunyenyiswe umgca ongakwicala elisentshona ukusuka ku-10m ukuya ku-4,45m, ukulungiselela indlwana yeenkukhu ekhoyo kunye nokusondela kwizitali nakwindawo yokugcina irhasi.
- **Ukunyenyiswa** ngokumayela neCandelo 16(2)(b) loMthetho kaMasipala ukulungiselela ukutshintshwa kwendlela esetyenziswa ngayo indawo yesibini yokugcina irhasi ukuze kwenziwe indawo yokugcina eyenzelwe iinjongo zezolimo.
- **Ukugqitywa kwesohlwayo emasibhatalwe** ngokweCandelo 16(2)(q) loMthetho kaMasipala ngenxa yokusetyenziswa komhlaba ukwenza izinto ekungavumelekanga ukuzenza njengoko kuchaziwe ngasentla.

linkcukacha ezipheleleyo mayela noku kucetyiweyo ziyafumaneka ukuze kuhlolwe phakathi evekini phakathi ko 08:00 no 16:30 kwiSebe: Town Planning, Paterson Street, Hermanus. Naziphi na izimvo ezibhaliweyo mazingeniswe kuMasipala ngokwezibonelelo zeCandelo 51 neCandelo 52 loMthetho kaMasipala ochaziweyo (16 Paterson Street, Hermanus / (f) 028- 313 2093 / (e) loretta@overstrand.gov.za) ingadlulanga i-17 **Matshi 2023**, ubhale igama lakho, idilesi neenkukacha zohagamshekwano, umdla wakho kwisicelo nezizathu zokubhala izimvo zakho. Imibuzo ngefowuni ingabhekiswa ku**Mcebi Dolophu, Mnu. H Olivier** ku 028-313 8900. UMasipala angangavumi ukwamkela amagqabaza okuhlomla afunyenwe emva komhla wokuvala. Nabani na ongakwazi kufunda okanye ukubhala angatyelela iSebe lokuCeba Idolophu apho igosa lakwamasipala liya kumnceda afake amagqabaza ache.

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REMAINDER OF PORTION 366 OF FARM 581 ONRUST RIVER

**Consent uses, building line departure &
determination of an administrative penalty**



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1. INTRODUCTION

1.1. BRIEF

MBPlan Town Planning was appointed by the Overberg Honey Trust to prepare and submit an application for a consent use for Agricultural Industry and Institution, departure of the western side building line and the determination of an administrative penalty for the Remainder of Portion 366 of Farm 581 Onrus River, in terms of the relevant legislation.

1.2. BACKGROUND

The application area consists of a 1.7299 ha small-holding located at the intersection of Onrus Main Road and the R43 in Onrus. The application area is one of five erven zoned for Agricultural Zone 1, located between the Onrus Main Road and R43 to the north and the Onrus River to the south.

The application area consists of the following **existing approved** buildings/land uses namely:

- Main Dwelling
- Outbuilding
- Second Dwelling
- Carport
- Two Barns
- Stables

Existing unapproved buildings include a Storage/Office building and a Chicken Coop, to be indicated on updated building plans.

The western side building line is exceeded by the two barns, the stables and the chicken coop.

The following land-uses are **proposed** on the property namely:

- Institution: Home for the Indigent for which the second dwelling will be converted.
- Workroom to form part of a potential future extension of the existing Agricultural Industry for which a portion of the first barn will be converted and which will exceed the building line.
- Garage for which a portion of the first barn will be converted.
- Garden Store and Wash Closet for which a portion of the stables will be converted and which will exceed the building line.

The following existing land-use on the property is proposed to be **legalised** namely:

- Agricultural Industry for a honey processing business for which the second barn has been converted and a Storage/Office building was erected, without prior approval.

The honey business consists of the bottling of raw edible honey and the processing, production and packaging of honey-based cosmetics and beauty products. The agricultural industry operates on the scale of a home industry/small agricultural related business.

Overberg Honey Co is a family-owned beekeeping business specialising in the pollination of fruit and vegetables and the production of honey and bee products.

The beekeeping business/factory operates from a farm in Stanford, where the honey is extracted, processed and packaged in large containers.

From here it is transported to the application area where the honey and other bee products are processed to produce the HoneySuckle range of natural hand-made cosmetics and beauty products and where the raw edible honey is bottled.

The raw edible honey and honey based cosmetics and beauty products are offered for sale online and through the stores in Stanford, Hermanus & Grabouw.

2. CONTEXTUAL INFORMATION

2.1. PROPERTY DESCRIPTION & OWNERSHIP

Property Description: Remainder of Portion 366 of Farm 581 Onrust River

Owner: Overberg Honey Trust (Registration number IT16/2013(K))

Title Deed: 44386/2020

Bond: SB Guarantee Company (RF) (PTY) LTD (Bond number: B25044/2020)

Area: 1.7299 ha

2.1.1. TITLE DEED

The Conveyancer Louis Rudolph Le Roux from Fairbridges Wertheim Becker issued a certificate confirming that no restrictive title deed conditions exist against the proposal for a consent use for Agricultural industry, a consent use for Institution and a departure to relax the western side building line on the Remainder of Portion 366 of Farm 581 Onrus River.

2.2. LOCALITY

2.2.1. REGIONAL CONTEXT

From a regional perspective, the application area is within Onrus, a suburb located approximately 5km west of the Hermanus CBD. Onrus is primarily residential in nature.

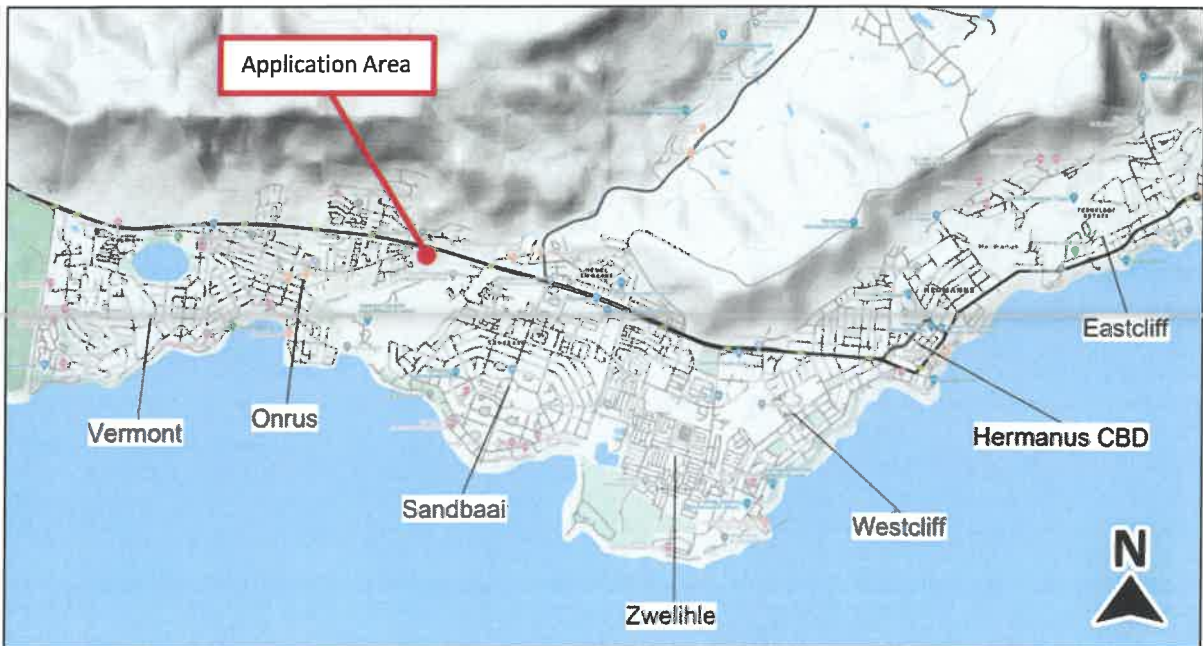


Figure 3: Regional Context

2.2.2. LOCAL CONTEXT

From a local perspective, the application area is a smallholding at the intersection of Onrus Main Road and the R43.



Figure 4: Local Context

Refer to Annexure E for the locality plans.

2.3. ZONING

2.3.1. ZONING PLAN

The application area is zoned Agriculture Zone 1: Agriculture. The surrounding erven are zoned Agriculture Zone 1, General Residential Zone 1, Resort Zone and Open Space Zone 2. The application area is consistent with the zoning of the area.



Figure 5: Zoning Plan

Refer to Annexure F for the zoning plan.

2.3.2. ZONING CRITERIA

Criteria	Existing Zoning	Proposal	Comments
Zoning	Agriculture Zone 1: Agriculture	Agriculture Zone 1: Agriculture	Consistent
Primary Uses	Agriculture, crèche, dwelling house, guest rooms and home occupation	Agriculture, dwelling house	Consistent
Consent Uses	Additional dwelling units, agricultural industry, animal care centre, aquaculture, day care centre, farm shop/stall, fertiliser plant, guest house, hotel, institution, intensive animal farming, intensive horticulture, lodge, mining, place of assembly, place of entertainment, place of instruction, plant nursery, riding stables, service trade, tourist accommodation, tourist facilities, transmission apparatus, utility services, wellness centre and 4x4 trail.	Additional dwelling (already approved) <u>Agricultural Industry, Institution</u> (proposed)	Application includes consent uses
Floor Space	5000m ²	827m ²	Consistent
Height	Agricultural buildings: 12m Dwellings: 8m	<8m	Consistent
Building lines	Street, side & rear: 10m	10m <u>4.45m west side building line</u>	Application includes a departure
Parking	Dwelling house: 2 bays Second dwellings: 1 bay Offices: 4 bays per 100m ² Industry, warehouse & storage: 2 bays per 100m ² GLA up to 500m ² , thereafter one per 100m ² GLA.	8 bays required & 8 bays provided	Consistent

2.3.3. ZONING SCHEME DEFINITIONS

“agriculture” means the cultivation of land for crops and plants, including plantations, the keeping and breeding of animals, beekeeping, bird farming or the operation of a game farm, may comprise natural veld and includes only such activities and buildings as are reasonably connected to the main farming activities such as residential accommodation for the farmer, farm manager and farm labourers and the packing of agricultural produce grown on the property but excludes intensive horticulture, intensive animal farming, agricultural industry, and a farm shop;

“agricultural industry” means an enterprise for the processing of agricultural related products on or close to the land unit where these agricultural products, whether land or marine-based (such as aquaculture), are grown, harvested and raised where processing in such proximity is necessary due to the nature, perishability and fragility of such agricultural products or promotion of tourism related activities, and includes, inter alia, dairies, wineries, distilleries, olive processing facilities, breweries and other facilities required for the processing of agricultural products where produce packed is not produced on the land unit but does not include service trades;

“institution” means a property used as a social, health or welfare facility or for the administration thereof and includes a hospital; special needs school; clinic; homes for the aged, indigent or handicapped; and a reformatory or place of detention, whether of commercial or charitable nature, but does not include a jail;

2.4. LAWS AND POLICIES APPLICABLE TO THE APPLICATION

2.4.1. OVERSTRAND MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK, 2020

“3.7 AN OVERSTRAND THAT ENABLES A PROSPEROUS AND DIVERSE ECONOMY

Where we want to be in 2050

Although agriculture and tourism remain important sectors of the local economy, the expansion of existing and the introduction of additional sectors transform the Overstrand economy into one that is prosperous, diverse and resilient. Overstrand values and preserves its rural and natural environments and maintains a thriving rural sector that contributes to local and export markets.

A diversity of agricultural, tourism, commercial and industrial activities occur in strategic locations throughout the Overstrand’s rural and urban settlements, providing a range of local employment opportunities.

OBJECTIVE	POLICIES
<i>ECO 2. Overstrand maintains and grows a strong rural economy based on its agricultural sector.</i>	<i>ii. Provide appropriately located land for industries producing value-adding products.</i> <i>iii. Encourage and facilitate the introduction of new agri-industries in areas with locational advantages.</i>
<i>ECO 8. Support the expansion and retention of the Overstrand’s existing local businesses and generating new local economic / business opportunities.</i>	<i>ii. Making local markets work well by creating places and opportunities to match supply and demand.”</i>

Conclusion

The agriculture and manufacturing, with specific mention of agri-industries are important sectors within the Overstrand Municipal area economy and is therefore promoted and supported.

2.4.2. 5 YEAR INTEGRATED DEVELOPMENT PLAN 2ND REVIEW 2019

“3.4 LOCAL ECONOMIC DEVELOPMENT

The main economic drivers in the Municipal area are:

- *Tourism*
- *Aquaculture / Agriculture*
- *Manufacturing*
- *Finance, real estate and business services*
- *Secondary service industry*

Key Economic Activities	Description
<u>Aquaculture / Agriculture</u>	<u>The thriving agriculture sector includes the ever growing wine industry and with the decline in the sector, the sector shed a significant number of jobs over the years.</u>
<u>Manufacturing</u>	<u>Manufacturing activities have grown moderately in the past year, given the sector's ability to contribute to employment creation in the area. The Overstrand has a thriving (light) manufacturing industry which bodes well with its ability to create jobs. Potential exist in the beneficiation of commodities for export and alignment of sectors to ensure product offering.</u>

KPA 5 – SOCIAL UPLIFTMENT AND ECONOMIC DEVELOPMENT

KPA OS 5 (c)

Local Economic Development (LED) and Tourism

Refer to the LED Chapter 9 in this document. (see extracts below)

KPA OS 5 (d)

Social Development in a municipal context

Social development can be defined as a planned process, and an approach to the transformation of society that allows holistic development processes to take place towards the reduction or eradication of poverty, inequality and uneven or under development. Social development is thus a multidimensional process to achieve positive social change.

Social development is therefore necessarily a holistic and integrated approach to social and economic development that involves many different sectors. Local economic development, infrastructure development, health, environmental development housing, access to basic services, social relief, disaster management, public works and employment creation, skills development, improved livelihoods and community services for vulnerable groups are integral to the eradication of poverty.

The municipality has a key social development role to play through designing an integrated and holistic approach that recognizes the special needs of vulnerable groups, i.e.: children, youth, women, people with disabilities, the elderly and people infected and affected by HIV/AIDS. Ensuring that these vulnerable groups have access to services and opportunities are particularly important from a social development perspective.

Government, the private sector and civil society are invited to work with the municipality in an open and coordinated approach to alleviate and improve the conditions of the marginalised groups. Efforts to improve their lives must be complemented through collaboration between stakeholders to ensure lasting change.

In general, where possible, we will assist organisations delivering services to the most vulnerable groups in our communities.

Chapter 9: Local Economic Development

Local Government as the closest sphere to the people has a constitutional mandate to undertake a developmental approach when implementing policies. Therefore through LED local government can meet the basic needs of the people by establishing an environment (whether directly or indirectly) that will create jobs and alleviate poverty in a sustainable manner.

3.1 Local Economic Development (LED) Strategy

- Grow the local economy to contribute to development and improvement of lives;
- Develop entrepreneurial communities both within the formal and informal sectors;
- The creation of a conducive environment for the economy to thrive;
- Create an attractive investment environment that enables jobs, skills and resources opportunities; and
- Maintain and support critical sectors and advance competitive advantage."

Conclusion

One of the municipal key planning areas is local economic development. The main economic drivers in the municipality include agriculture and manufacturing (industry). The municipality has a constitutional mandate to undertake a developmental approach when implementing policies and this is done through local economic development. Economic development and job creation is therefore supported.

Another municipal key planning area is social development. Social development refers to the upliftment and improvement of circumstances and well-being of vulnerable groups, especially in relation to poverty. The municipality supports social development and will assist organisations delivering services to the most vulnerable groups where possible.

2.4.3. OVERSTRAND MUNICIPALITY AMENDMENT BY-LAW ON MUNICIPAL LAND USE PLANNING, 2020

“90. Application for administrative penalty

- (1) A person who is in contravention of this By-Law, and submits an application to rectify the contravention, must apply to the Municipality for the determination of an administrative penalty, provided that the Municipality has not obtained and issued a demolition directive in terms of Section 85 in respect of the land or building or part thereof concerned.*
- (2) A person making an application contemplated in Subsection (1) must –*
 - (a) submit an application;*
 - (b) pay the prescribed fee;*
 - (c) provide the information contemplated in Subsections (3); and*
 - (d) comply with the duties of an applicant in Section 84.*
- (3) The applicant must, to the satisfaction of the Municipality, provide the following information such as-*
 - (a) the nature, duration, gravity and extent of the contravention;*
 - (b) the conduct of the person (allegedly) involved in the contravention;*
 - (c) a report by a quantity surveyor in matters of unauthorised building/construction;*
 - (d) whether the unlawful conduct was stopped; and*
 - (e) whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law.”*

3. MOTIVATION

3.1. PROPOSAL

3.1.1. DEVELOPMENT OBJECTIVE

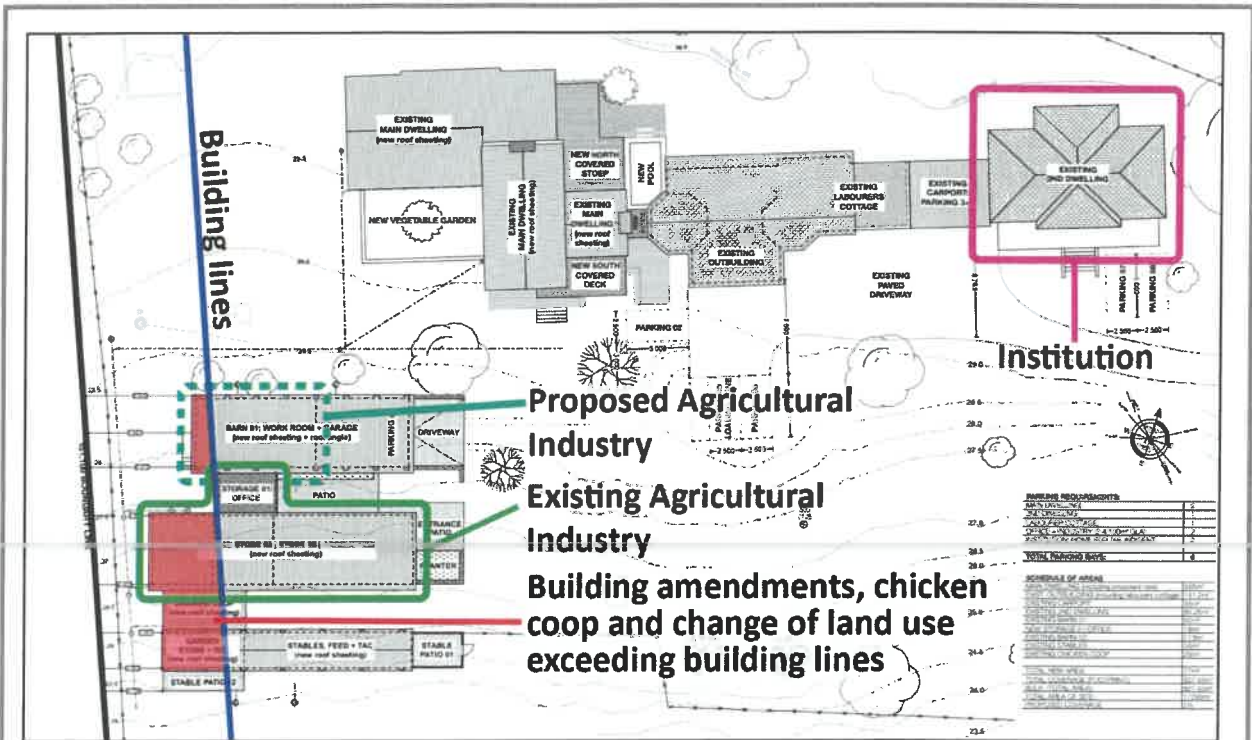
The development objective therefore, is to legalise the existing contraventions and for a proposed extension, building line departure and change of land-use on the application area as follows:

- Legalise
 - Existing Agricultural Industry consisting of the bottling of raw edible honey and the processing, production and packaging of honey-based cosmetics and beauty products for which the second barn has been converted and an office has been constructed
 - Existing encroachment of the western 10m side building line up to 4.4m by the chicken coop as well as by minor alterations and a change of land-use to the second barn converted for the Agricultural Industry
- Proposed
 - Extension of the Agricultural Industry by converting a portion of the first barn into a “workroom”
 - Minor alterations to the first barn (workroom) and the stables (bathroom and garden storage) both of which a portion will exceed the 10m western side building line up to 4.7m
 - Use of the approved second dwelling for Institutional use, a Home for the Indigent consisting of a Children’s Home which would provide care to a maximum of 4 children at a time

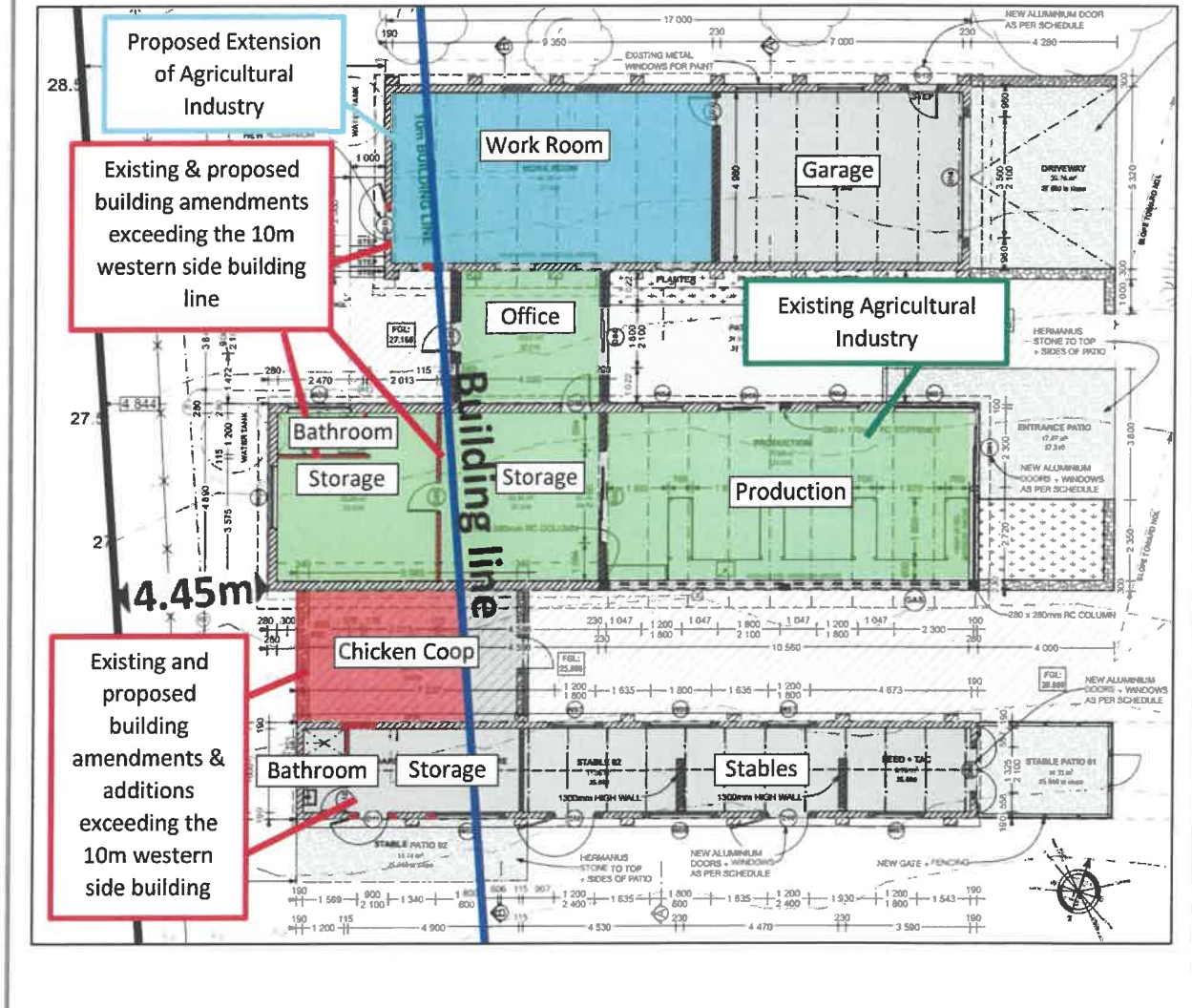
3.1.2. THE APPLICATION

Application is subsequently made in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the following:

- Consent Use in terms of Chapter IV, Section (16)(2)(o) for the following land uses:
 - Honey processing Agricultural Industry for which the second barn with an extent of 96.8m² has been converted into a production area, two storage areas and a bathroom and for which a 15.57m² storage area/office has been constructed
 - Proposed extension of the Agricultural Industry for which a portion of the first barn is to be converted into a workshop with an extent of 46.38m²
 - “Institution” to accommodate a proposed Home for the Indigent consisting of a Children’s Home which provides care to a maximum of 4 children at a time for which the second dwelling with an extent of 80.25m² will be utilised
- Building Line Departure in terms of Chapter IV, Section (16)(2)(b) for the following:
 - Building Line relaxation of the 10m western side building line to 4.4m to accommodate an existing chicken coop, an existing change of land-use to the second barn for the agricultural industry as well as existing and proposed minor alterations to the barns and stables which exceed this building line
- Waiving of the Administrative Penalty in terms of Chapter IV, Section 16(2)(q) for the existing Agricultural Industry and existing Building Line Encroachments.



3.1.3.2. BUILDINGS EXCEEDING WESTERN SIDE BUILDING LINE AND AGRICULTURAL INDUSTRY



3.1.3.3. INSTITUTION / CHILDREN'S HOME

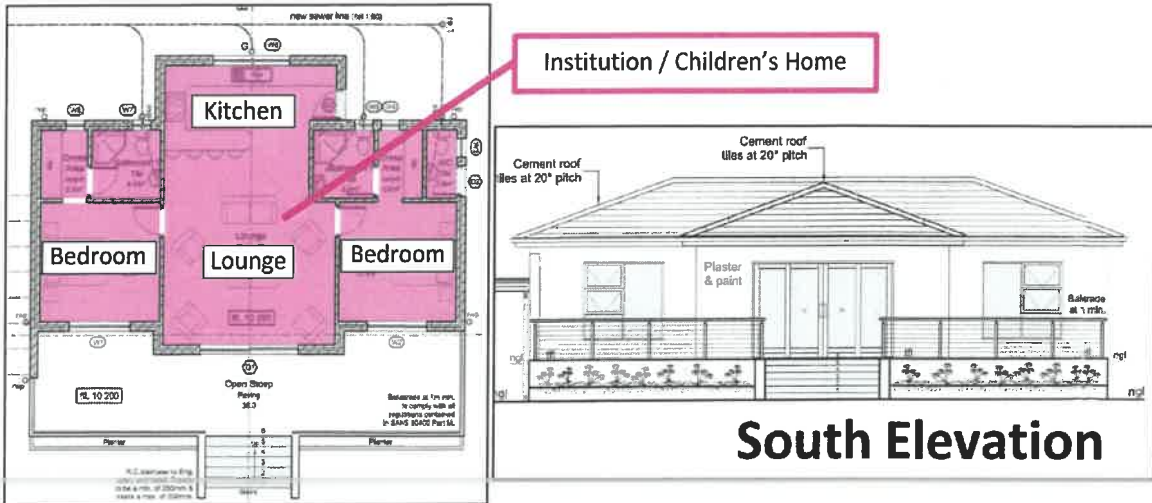


Figure 6: Building Plan extract overlays

Refer to Annexure H for the proposed building plans.

3.1.4. PHOTOS

3.1.4.1. BARNS & STABLES EAST ELEVATION



3.1.4.2. BARNS & STABLES SOUTH ELEVATION



3.1.4.3. BARN & STABLES NORTH ELEVATION

Garage & Work Room



3.1.4.4. BARN & STABLES WEST ELEVATION

Work Room



Office



Storage & Bathroom



Chicken Coop



Bathroom



3.1.4.5. AGRICULTURAL INDUSTRY

Production



Storage





3.1.4.6. CHILDREN'S HOME



Figure 7: Photographs of the property

3.1.5. CONSENT USES

3.1.5.1. AGRICULTURAL INDUSTRY

Consent Use in terms of Chapter IV, Section (16)(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the existing and proposed extension of the Agricultural Industry.

The existing agricultural industry consists of the bottling of raw edible honey and the processing, production and packaging of honey-based cosmetics and beauty products. The existing approved second barn was converted into a production area with an extent of 51.84m², a first storage area with an extent of 22.48m² and a second storage area with an extent of 22.48m². The first storage area provides storage space for products to be supplied to retail outlets while the second storage area accommodates the containers of honey and packaging material used for products. In addition an office with an extent of 15.57m² was erected between the two barns, where administrative duties concerning the agricultural industry are performed.

The agricultural industry may be extended in future for which purpose a portion of the first barn may be converted into a workroom with an extent of 46.38m².

The processing and production process consists of following different recipes for mixing together the main ingredients of bees wax, propolis and honey to produce the wide range of cosmetics and beauty products on offer.

Three machines are used in the processing and production process namely a mixer, a tube sealer and a bottling machine. Final products are packaged in tubes as well as in glass and plastic containers.

The agricultural industry operates on a small/home industry scale as is evident from the total 112,37m² extent used for production, storage, bathroom and office space. The number of products produced per month are 1000 to 1500 which means on average 50 to 75 products are produced within the 51,64m² production area on a daily basis. Operating hours are from Monday to Friday 8:00 till 15:00.

The only transport involved in the agricultural industry is the small truck which delivers the honey from the honey factory in Stanford and the Fastway courier van which once a day fetches the products to be delivered to the specific retail outlets, of which there are 20 (3 belonging to the owner) located across the Overberg. In Hermanus the honey shop located in Mitchell Street is one of the shops belonging to the owner which sells these products. Two parking bays/loading zones are provided on the application area for the vehicles servicing the agricultural industry.

The municipal engineering services capacity currently available on the application area is sufficient for the existing agricultural industry and no services upgrades were required in this regard. The current engineering services capacity is considered sufficient for the proposed extension as well.

The new municipal road proposed to run along the northern boundary of the application area is not foreseen to impact on the application proposal. The municipal engineering department has been notified regarding the application proposal and comments by this department will be provided when the application is circulated during public participation.

The Provincial Department of Transport and Public Works has been notified of the application proposal as well and comments with regards to the impact of the proposed upgrade of the R43 on the proposal, is still awaited. Any municipal and provincial conditions stated with regards to the application proposal, will be adhered to.

All relevant health and other related regulations will be adhered to.

3.1.5.2. INSTITUTION

Consent Use in terms of Chapter IV, Section (16)(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for Institution.

The proposed institution consists of a home for the indigent (poor and needy) in the form of a small-scale children's home to be operated by an NGO and for which the approved second dwelling will be utilised. The proposed institution will therefore serve and protect certain of the most vulnerable members of the Greater Hermanus Society.

The second dwelling consists of two bedrooms, two bathrooms, a kitchen and a lounge and will be fenced off for safety reasons, providing sufficient space for outdoor activities for children. All proper precautions and measures will be taken to ensure the safety and well-being of these children.

The children's home will accommodate a maximum of 4 babies at a time and will provide them with a safe haven up to the age of 5 years. This proposed facility will offer a temporary safe haven to abandoned babies, with the aim of finding suitable adoptive parents who will provide a safe, caring and nurturing environment in which to raise these children.

If any of the children have not yet been adopted by the age of five, they will be transferred to a suitable alternative foster care facility.

Three house mothers will provide the required care for these children with two of them present during the day and one house mother present during the night.

The house mothers will provide their own daily transport to the children's home, for which purpose two parking bays are provided in front of the second dwelling.

The municipal engineering services capacity currently available on the application area is considered sufficient for the proposed Children's Home.

The new municipal road proposed to run along the northern boundary of the application area is not foreseen to impact on the application proposal. The municipal engineering department has been notified regarding the application proposal and comments by this department will be provided when the application is circulated during public participation.

The Provincial Department of Transport and Public Works has been notified of the application proposal as well and comments with regards to the impact of the proposed upgrade of the R43 on the proposal, is still awaited. Any municipal and provincial conditions stated with regards to the application proposal, will be adhered to.

All relevant regulations with regards to "Children's Homes" will be adhered to.

3.1.6. BUILDING LINE DEPARTURES

Departure to relax the western side building line from 10m to 4.4m to allow for the existing buildings in terms of Chapter IV, Section (16)(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.

The 10m western side building line is exceeded by the existing and proposed agricultural industry, by a portion of the existing chicken coop and by the proposed stable bathroom and portion of proposed garden store area up to a distance of 4.4m from the western erf boundary.

3.1.7. DETERMINATION OF AN ADMINISTRATIVE PENALTY

Determination/waiving of administrative Penalty in terms of Chapter IV, Section 16(2)(q) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.

The following information with regards to the administrative penalty is provided as required according to Chapter X, Section 90(3) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020:

3.1.7.1. THE NATURE, DURATION, GRAVITY AND EXTENT OF THE CONTRAVENTION

The nature, duration, gravity and extent of the contravention has been described in detail in this motivation report and includes the following contraventions;

- Existing 96.8m² agricultural industry consisting of the bottling of raw edible honey and the processing, production and packaging of honey-based cosmetics and beauty products for which the second barn was converted. A 15.57m² office which was constructed between the two barns where administrative duties concerning the agricultural industry are performed. The agricultural industry, including the office, has been in existence for just over one year.
- Existing encroachment of the western 10m side building line up to 4.4m by the chicken coop as well as by minor alterations and a change of land-use to the second barn converted for the Agricultural Industry

3.1.7.2. THE CONDUCT OF THE PERSON (ALLEGEDLY) INVOLVED IN THE CONTRAVENTION

The existing barns and stables on the property were erected by a previous owner. The current owner established the agricultural industry without first acquiring consent from the municipality. The owner was under the impression that the agricultural related industry was permitted as a primary land-use on the property. Furthermore, only internal alterations were made to the existing approved second barn to accommodate the agricultural industry.

Office space was required and therefore the area between the first and second barns was enclosed for this purpose but unfortunately without approval.

It is evident from this application that the owner is co-operative and willing to rectify the existing contraventions and to follow the correct statutory procedure to apply to legally accommodate the existing buildings and land-use, not yet approved.

3.1.7.3. REPORT BY A QUANTITY SURVEYOR IN MATTERS OF UNAUTHORISED BUILDING/CONSTRUCTION

Due to the nature, scale, and immaterial impact of the contraventions as well as the application to waive/minimize the administrative penalty, a report by a quantity surveyor is considered non-applicable.

3.1.7.4. WHETHER THE UNLAWFUL CONDUCT WAS STOPPED

The Agricultural Industry is currently still operating.

The Agricultural Industry is considered to produce high quality, environmentally friendly and healthy products consisting of raw edible honey and honey based cosmetics and beauty products without the production process resulting in a material impact on the surroundings. Not only does this provide a service which benefits the surrounding communities, but furthermore allows the owner to apply her entrepreneurial skills to generate an income from the small holding, while also creating employment opportunities to improve the lives of others. The application proposal is thus consistent with one of the municipal key planning areas, which is local economic development with the main economic drivers in the municipality including agriculture and manufacturing (industry).

Therefore, the most policy consistent, reasonable and cost-efficient approach considered to deal with the unlawful conduct is by legalising the contraventions.

3.1.7.5. WHETHER THE PERSON ALLEGEDLY INVOLVED IN THE CONTRAVENTION HAS PREVIOUSLY CONTRAVENED THIS BY-LAW OR A PREVIOUS PLANNING LAW

The current owner is not aware of any previous contraventions of this By-Law or a previous planning law.

3.2. DESIRABILITY

3.2.1 AGRICULTURAL INDUSTRY

The agricultural industry is considered **desirable** for the following reasons:

- Generates a direct employment opportunity, by providing employment to one person other than the owner. Indirect employment opportunities are generated at the honey factory in Stanford which extracts and supplies raw honey to the agricultural industry and at the 20 retail outlets across the Overberg which sells the edible raw honey and honey based products manufactured at the agricultural industry.
- Naturally high quality, healthy and environmentally friendly products are manufactured.
- No noise, hindrance or any kind of pollution is created thus the industry is considered green, clean and eco-friendly, not impacting on the environment or on the surrounding properties.
- Considered compatible with the land-use of the adjacent properties
- Very little traffic is generated by the agricultural industry
- No wastage of bee products occurs as all ingredients are used in manufacturing the products.
- No complaints from neighbours on the eastern and western side which implies land-use compatibility with adjacent properties
- Provides an income on a small holding not large enough for commercially viable agriculture
- Consistent with municipal policies which supports economic development and job creation
- Manufacturing is considered a main economic driver in the municipality
- Contributes to alleviating poverty, stimulating economic development and creating entrepreneurial communities
- The proposal contributes to managed pollination by bees which is essential to our livelihood as a third of the world's food production depends on bees. Honey bees have been voted the most important living being on the planet.

3.2.2 INSTITUTION

The institution which consists of a home for the indigent is considered **desirable** for the following reasons:

- Consistent with municipal policy, which clearly states that one of the municipal key planning areas is social development.
- The proposal which delivers a service to one of the most vulnerable groups, is supported by municipal policy which states that the municipality will assist where possible
- Foreseen to result in the upliftment and improvement of the circumstances and well-being of abandoned babies, especially in relation to poverty
- Proposed location provides a healthy farm environment with sufficient space for children to play and learn
- Growing need in the Greater Hermanus area for Children's Homes which offer proper quality foster care as a result of the economic impact on families caused by the Covid pandemic and the economic recession
- Generation of employment opportunities for three house mothers
- Traffic generation is minimal with only two vehicles at a time accessing the premises

3.2.3 BUILDING LINE DEPARTURE

The building line departure to relax the western 10m building line is considered **desirable** for the following reasons:

- Land-uses exceeding the building line do not result in any material impact such as noise, air pollution or odours on the adjacent property to the west
- No additional impact will occur as barns and stables have been in existence on the property for many years
- The boundary wall between the application area and the neighbouring property to the west is lined with tall trees creating a buffer which prevents any visual impact or privacy intrusion on the western neighbouring property
- As structures are limited to the ground floor, there is no impact on privacy or views
- The 4.4m distance between the closest building and the western erf boundary, allows for emergency access to these buildings, if required
- Consistent with the character of the area, as the surrounding agricultural properties all have buildings closer to 10m from the boundary

3.3. PLANNING PRINCIPLES

In terms of Chapter VI of the Spatial Planning and Land Use Management Act, 2013 the following Planning Principles have been applied to the application site:

3.3.1. SPATIAL JUSTICE

Spatial Justice which refers to the need for redressing the past apartheid spatial development imbalances and aims for equity in the provision of access opportunities, facilities, services and land.

POSSIBLE RESULTS OF THE DEVELOPMENT

The existing agricultural industry creates direct and indirect employment opportunities which improves the lives of others, including the previously disadvantaged members of society. The proposed institution will contribute to protecting and empowering the most vulnerable members of society, hereby improving the lives of abandoned babies from poor and needy families.

The application proposal is **consistent** with spatial justice.

3.3.2. SPATIAL SUSTAINABILITY

Spatial Sustainability which refers to the fact that a spatially sustainable settlement will be one which has an equitable land market, while ensuring the protection of valuable agricultural land, environmentally sensitive and biodiversity rich areas, as well as scenic and cultural landscapes and ultimately limits urban sprawl.

POSSIBLE RESULTS OF THE DEVELOPMENT

Although the proposal is located on agricultural land, the application proposal both for the agricultural industry and for the institution utilizes existing buildings that originated before the current owners settled on the application area. This implies that no additional agricultural land has been occupied for the proposal.

Furthermore, due to the relatively small extent of the farm, it is not considered large enough for commercially viable agriculture.

The proposed Agricultural Industry is considered sustainable due to the environmentally friendly, healthy and high quality products which are in demand as is evident from the number of retail outlets currently offering these products. Online reviews regarding these products are very favourable.

The proposed Children's Home is considered sustainable due to the ever increasing need for this type of institution. The recent Covid pandemic and the economic recession has sadly resulted in a loss of income for many families.

The application proposal is **consistent** with spatial sustainability.

3.3.3. EFFICIENCY

Efficiency which refers to the manner in which settlements themselves are designed to function in such a way that there will be a minimum need to travel long distances to access services, facilities and opportunities.

POSSIBLE RESULTS OF THE DEVELOPMENT

The location of the application area where production occurs is considered central both to the factory in Stanford supplying the raw honey as well as to the retail outlets offering the products to customers. The property is optimized in an efficient manner by using existing buildings to create an income, generate employment opportunities and improve the lives of others without any material impact on the surrounding area foreseen in terms of traffic generation, noise, hindrance, privacy intrusion or pollution. The utilization of existing structures in a more effective way is considered most efficient.

The application proposal is **consistent** with the efficiency principle.

3.3.4. SPATIAL RESILIENCE

Spatial Resilience which, in the context of land use planning, refers to spatial plans, policies and land use management systems which should enable communities to be able to resist, absorb and accommodate any economic and environmental shocks which might occur in a timely and efficient manner.

Possible results of the development

The proposal is not foreseen to create any economic or environmental shocks as both the existing agricultural industry and the proposed institution create an income for the owner, generate direct and indirect employment opportunities and improve the lives of others which include the previously disadvantaged and vulnerable members of society.

The application proposal is consistent with the principle of spatial resilience.

3.3.5. GOOD ADMINISTRATION

Good Administration which, in the context of land use planning refers to the promotion of integrated, consultative planning practices in which all spheres of government and other role players ensure that a joint planning approach is pursued.

POSSIBLE RESULTS OF THE DEVELOPMENT

Consultative practices are being followed in this application as it is done in consultation with the Planning Department of the Municipality who will also advertise the application in such a manner as to enable the Government and the general public to participate in the eventual decision-making process.

The application proposal is consistent with the principle of good administration.

3.3.6. PLANNING PRINCIPLES CONCLUSION

The application proposal is therefore fully **consistent** with the planning principles of spatial justice, spatial sustainability, efficiency, spatial resilience and good administration.

4. CONCLUSION

The application is considered **desirable** within its local context and well-integrated within the existing community land-use activities. Furthermore, the application proposal is considered to represent the optimal use of the application area for manufacturing high quality agricultural related products and for establishing a satisfactory temporary residential environment for the most vulnerable members of society. The proposal contributes to creating employment, alleviating poverty, generating an income for the owner, and improving the lives of the less fortunate. No material impact on the surrounding environment is foreseen due to the approval of the application proposal.

It is therefore recommended that the application be approved as follows:

- Consent use for Agricultural Industry on the Remainder of Portion 366 of Farm 581 Onrust River in terms of Chapter IV, Section (16)(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.
- Consent Use for Proposed Extension of the Agricultural Industry on the Remainder of Portion 366 of Farm 581 Onrust River in terms of Chapter IV, Section (16)(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.
- Consent use for Institution on the Remainder of Portion 366 of Farm 581 Onrust River in terms of Chapter IV, Section (16)(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.
- Departure to relax the western side building line from 10m to 4.4m to allow for existing buildings in terms of Chapter IV, Section (16)(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020.
- Waiving of the administrative penalty in terms of Chapter IV, Section 16(2)(q) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning 2020.



MB Plan Town Planning

Email: mb.plan@yahoo.com

Contact number: 071 347 4844

Date: 13 January 2023

Reference: RE 366/581 Onrust River

Remainder of Portion 366 of Farm 581 Onrust River: Consent uses, building line departure & determination of an administrative penalty: Additional Document and Information

Kindly find attached hereto the following additional information as requested in your letter with reference RCAL 366/581, dated the 19th of December 2022.

- Information with regards to number of staff, traffic generation and parking requirements for the Agricultural Industry and Children's Home.
- More detail regarding the anticipated utilisation of extra water, electricity, sewerage and creation of waste material due to the Agricultural Industry, and what capacity exists or will be created.

We trust that the above-mentioned additional information herewith provided as well as the additional documents previously provided are in order.

Kindly advise whether any further additional information or documents are still required.

Kind Regards,

A handwritten signature in black ink, appearing to read "Melissa Buys".

Melissa Buys

13 JAN 2023

1. **Provide an indication of how many staff will be required for the Agricultural Industry, how many traffic will they generate and the parking requirements.**

Only one employee other than the owner is involved in the agricultural industry and operating hours are from Monday to Friday 8:00 till 15:00.

As summarized in Table 1 below, the only traffic generated by the agricultural industry are two vehicles. One vehicle belongs to the employee who works in the agricultural industry and who also picks up the honey from the honey factory in Stanford once a week. The other vehicle belongs to the Fastway courier van which once a day fetches the products to be delivered to the specific retail outlets.

One loading zone and one parking bay are provided on the application area for the vehicles related to the agricultural industry, numbered bay 5 and 6 respectively on the site plan on the next page.

Table 1: Summary of Traffic Generated and Parking required & Provided for Children’s Home

Consent Use	Traffic Generated			Parking Required	Parking Provided
	Type & Number of Vehicles	Frequency of Traffic	Time of Traffic		
Agricultural Industry (A.I.)	1 Courier vehicle fetching the honey products from the A.I.	Once a day	Monday – Friday During Operating Hours	1 Loading Zone Bay	Parking Bay Nr 5
	1 Employee’s vehicle	Every Day	Monday to Friday 8:00 – 15:00	1 Parking Bay	Parking Bay Nr 6

As summarized in Table 2 below, the only traffic generated by the children’s home are two vehicles. Three house mothers will provide the required care for these children with two of them present during the day and one house mother present during the night. For this purpose two parking bays are provided in front of the second dwelling, numbered 7 and 8 on the site plan on the next page.

Table 2: Summary of Traffic Generated and Parking required & Provided for Children’s Home

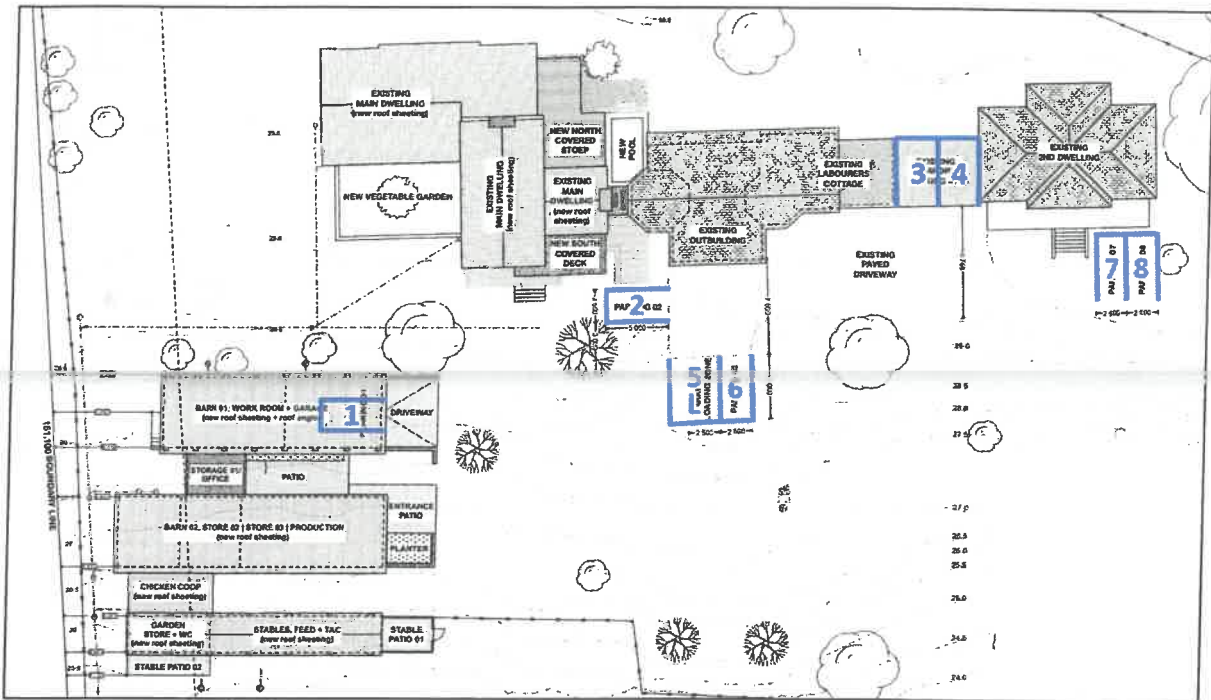
Consent Use	Traffic Generated			Parking Required	Parking Provided
	Type & Number of Vehicles	Frequency of Traffic	Time of Traffic		
Children’s Home	2 House mother’s vehicles	Every Day	Monday to Sunday - 12 hours during day	2 Parking Bays	Parking Bay Nr 7 & 8
	1 House mother’s vehicle	Every Night	Monday to Sunday - 12 hours during night	1 Parking Bay	Parking Bay Nr 7

SITE PLAN: PARKING PROVIDED

Standard bays: Bays no 1-4 & 6-8

Loading bay: No 5

Overflow parking on grass



2. Provide more detail about the anticipated utilisation of extra water, electricity, sewerage and creation of waste material due to the agricultural industry, and what capacity exists or will be created.

a. Electricity

The agricultural industry exclusively uses solar power. A part of the main dwelling also uses solar power. It is planned to have the entire property run off solar in approximately two years. The application proposal will therefore not have any impact on electricity usage. The electricity usage of the agricultural industry which is exclusively from solar power is estimated to be up to 260kWh per month.

b. Water

The existing water usage including the agricultural industry was an average of 154 units per month for the year 2022 with a basic monthly fee of R179 per month and an average additional fee R14 per month based on usage.

The agricultural industry uses very little water. The agricultural industry has a new bathroom which uses some additional water. The bathroom is used by three people of which two live on the property. The agricultural industry requires cleaning, but the agricultural industry was previously a barn which required cleaning as well. The additional water usage of the agricultural industry is therefore negligible. Kindly refer to the municipal statement on the following page.

c. Sewerage

The agricultural industry bathroom gets used by three people. Two of the three people live on the property and therefore the additional impact on sewerage is negligible.

d. Solid waste

The agricultural industry generates 4 additional bags of solid waste per month which is collected by the municipality together with the normal refuse removal.

e. Potential future expansion

Based on the impact of the existing agricultural industry, potential future expansion of the agricultural industry will have no or negligible impact on services.

DEEMED-TO-SATISFY REQUIREMENTS:

ALL DEEMED-TO-SATISFY REQUIREMENTS APPLY TO ALL DRAWINGS, DETAILS, SPECIFICATIONS & ANY SUPPLEMENTARY INFORMATION. ALL CONTRACTUAL DOCUMENTATION.

THE STRUCTURAL SYSTEM OF THE BUILDING TO COMPLY WITH THE DETAILED REQUIREMENTS OF H, J, K, L, M + N OF SANS 10400. ALL TO COMPETENT PERSON (ENGINEER)

THE DIMENSIONS OF ANY ROOM OR SPACE ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-C

A CHANGE IN LEVEL, THE DESIGN OF RAMPS AND STAIRWAYS, RAILINGS AND BALUSTRADES ARE TO BE IN ACCORDANCE WITH SANS 10400-B, SANS 10000-T AND SANS 10400-K AND WITH THE DETAILED REQUIREMENTS OF SANS 10400-D

SAFETY FACILITIES SHALL BE PROVIDED DURING CONSTRUCTION IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF 4.2 OF 10400-F

ALL EXCAVATIONS RELATING TO BUILDING WORKS SHALL BE LESS THAN 9M DEEP AND BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-G

FOUNDATIONS TO BE IN ACCORDANCE WITH SANS 10400-H AND WITH THE DETAILED REQUIREMENTS OF SANS 10400-I, ALL TO ALL TO ENGINEER'S SPECIFICATIONS

FLOORS TO COMPLY WITH SANS 10400-J ALL CONCRETE SLABS SUPPORTED ON THE GROUND TO BE IN ACCORDANCE WITH THE SANS 10400-B + H AND DETAILED REQUIREMENTS OF SANS 10400-J, ALL TO COMPETENT PERSON (ENGINEER)

STRUCTURAL STRENGTH + STABILITY OF WALL TO BE IN ACCORDANCE WITH SANS 10400-B + T AND THE DETAILED REQUIREMENTS OF PART K

ALL NEW EXTERNAL BRICKWORK WALLS ARE TO BE 200MM CAVITY, TIES, BRICKFORCE AND REINFORCEMENT AROUND OPENINGS ALL TO BE ACCORDING TO STRUCTURAL ENGINEER'S DETAIL AND SPECIFICATION. WEEDHOLE TO BE IN PLACE AT FLOOR AND ABOVE. DPC + LINTEL LEVEL WATERPROOFING IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-K

ROOF FIXING IN ACCORDANCE WITH SANS 10000-B AND DETAILED REQUIREMENTS OF SANS 10400-K

ROOF COVERINGS AND WATERPROOFING STRIPS MUST BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-L

FLAT ROOFS OR RELATED GUTTERS TO BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-L, ALL TO COMPETENT PERSON (ENGINEER)

THE ROOF AND CEILING ASSEMBLY, IN ADDITION TO COMPLYING WITH SANS 10400-C, MUST BE IN ACCORDANCE WITH SANS 10400-L AND

SANS 10400-B AND FIRE RESISTANCE IN ACCORDANCE WITH SANS 10400-T + SANS 10400-T

GUTTERS AND DOWNPIPS TO BE EXTRUDED ALUMINIUM AND ARE TO BE SIZED IN ACCORDANCE WITH THE REQUIREMENTS OF SANS 10400-R

THE FIRE RESISTANCE AND COMBUSTIBILITY OF THE ROOF AND CEILING ASSEMBLY ARE TO BE IN ACCORDANCE WITH SANS 10400-T

STAIRWAYS, RAILINGS AND BALUSTRADES ARE TO BE IN ACCORDANCE WITH SANS 10400-B, SANS 10000-T AND SANS 10400-K AND WITH THE DETAILED REQUIREMENTS OF SANS 10400-D

ALL GLAZING TO BE SAFETY GLASS. GLAZING TYPE + FIXING TO BE IN ACCORDANCE WITH SANS 10400-B AND THE DETAILED REQUIREMENTS OF SANS 10400-N

GLAZING TYPE + FIXING TO BE IN ACCORDANCE WITH SANS 10400-B AND THE DETAILED REQUIREMENTS OF SANS 10400-N

THE LIGHTING IN A HABITABLE ROOM, BATHROOM, SHOWER ROOM AND ROOM CONTAINING A TOILET PAN COMPLIES WITH THE DETAILED REQUIREMENTS OF SANS 10400-O

VENTILATION TO BE IN ACCORDANCE WITH SANS 10400-T AND SANS 10400-C

THE DESIGN AND INSTALLATION OF DRAINAGE + PLUMBING TO BE DONE BY A CERTIFIED COMPETENT PERSON AND PLUMBING IS TO COMPLY WITH THE DETAILED REQUIREMENTS OF SANS 10400-P AND ANY REQUIREMENTS OF THE LOCAL AUTHORITY

THE MEANS OF SEWAGE DISPOSAL, WHERE AVAILABLE IS IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-Q, TO BE DONE BY A CERTIFIED COMPETENT PERSON AND TO ANY THE LOCAL AUTHORITY REQUIREMENTS

THE MEANS FOR THE CONTROL AND DISPOSAL OF STORMWATER IS IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-R

THE MEANS FOR PROVIDING FACILITIES FOR PERSONS WITH DISABILITIES IS IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-S.

FIREPLACES AND THE PROVISION OF SPACE HEATING ARE TO BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-V

WATER SUPPLY TO BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-W

ENERGY EFFICIENCY, BUILDING ENVELOPE (SHADING, EXTERNAL WALLS, FENESTRATION, ROOF, FLOORS) AND SERVICES TO BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 2000. THE RATIONAL DESIGN DONE BY A COMPETENT PERSON.

PROJECT NAME:

CLIENT:

ERF NO.:

DESCRIPTION:

DRAWING NO.:

VORSTER SHEDS

NADIA VORSTER

581/386 | Main Road | Orkus

FULL SITE PLAN / A3

581/386, 1

ARCHITECT STUDIO

10000 The Promenade | Durbanville | Cape Town

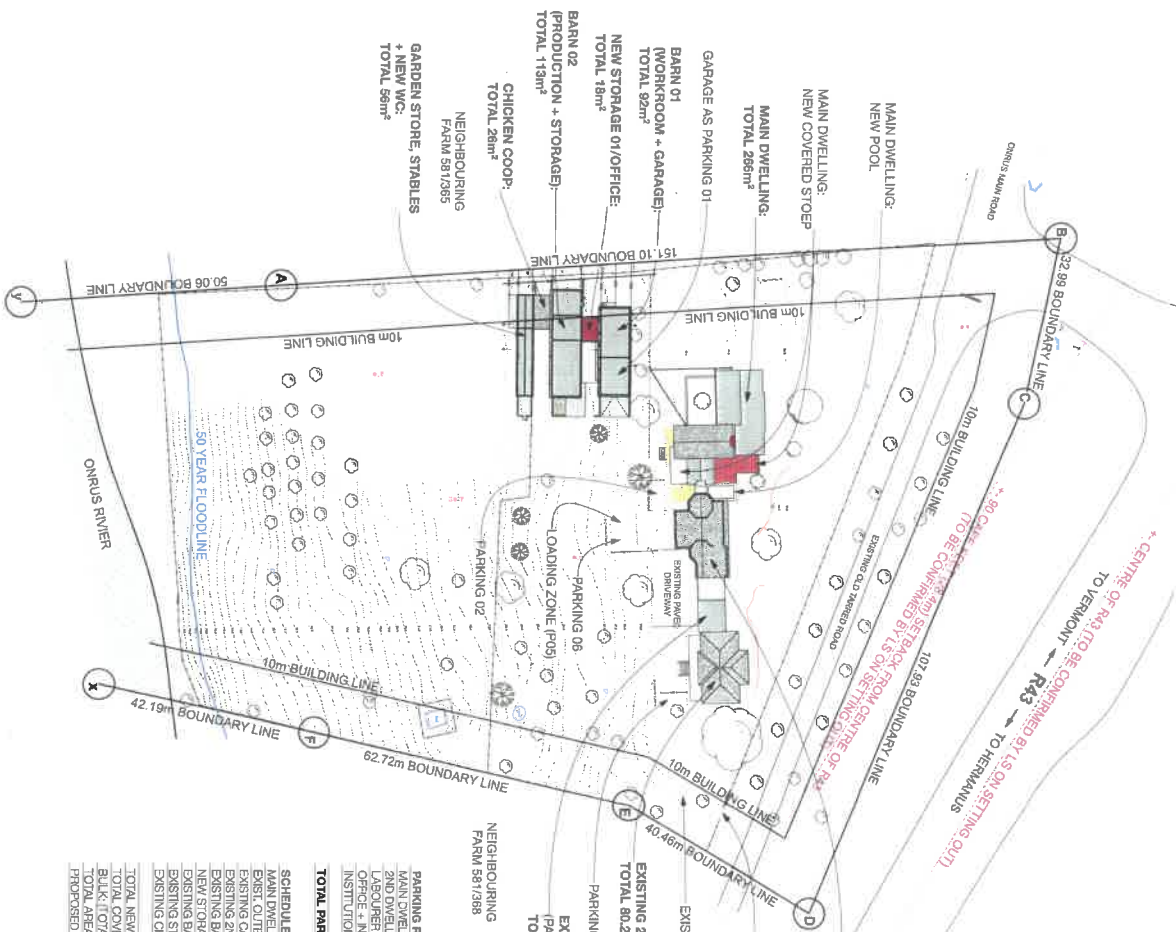
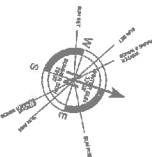
021 462 1111

DESIGN DRAWINGS

Subject to COPYRIGHT and USAGE CLAUSE

DATE: 2022/10/24

REVISION: 01



SCHEDULE OF AREAS	
EXIST. OUTBUILDING (Including existing cottages)	141.25m²
EXISTING CARPORT	50.25m²
EXISTING 2ND DWELLING	92m²
NEW STORAGE 01/OFFICE	18m²
EXISTING BARN 01	113m²
EXISTING STABLES	56m²
EXISTING CHICKEN COOP	26m²
TOTAL NEW AREA	177m²
TOTAL COVERAGE (COMPONENT):	827.45m²
BULK TOTAL AREA:	827.45m²
TOTAL AREA OF SITE:	17299m²
PROPOSED COVERAGE:	6%

PARKING REQUIREMENTS:

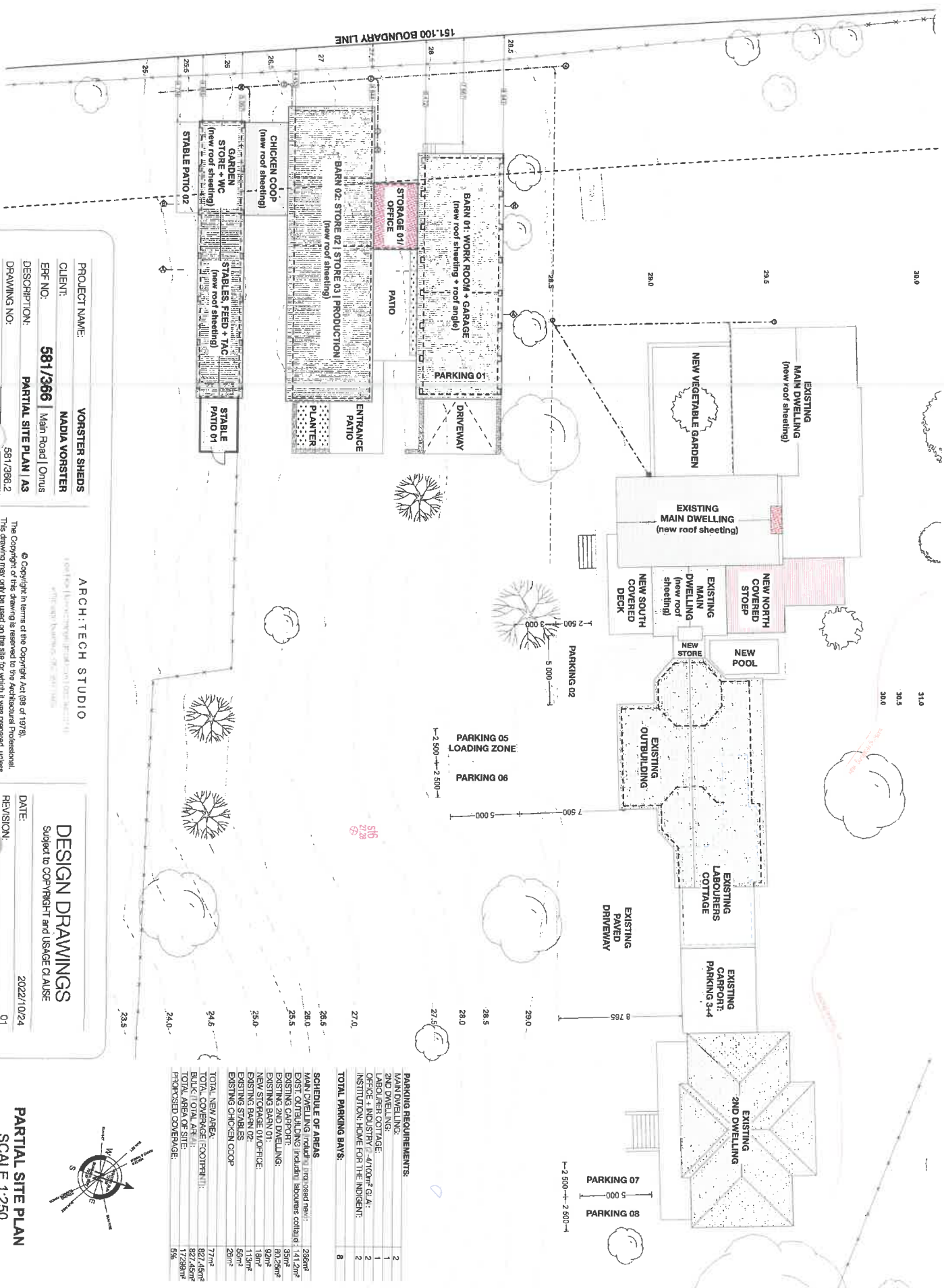
MAIN DWELLING:	2
2ND DWELLING:	1
LABOURER COTTAGE:	1
OFFICE + INDUSTRY (2-4/100m² GLA):	2
INSTALLATION HOME FOR THE INDIGENT:	2
TOTAL PARKING BAYS:	8

NEIGHBOURING FARM 581/385

EXISTING 2ND DWELLING:	141.25m²
EXISTING PARKED DRIVEWAY:	80.25m²
EXISTING CARPORT (PARKING 03 + 04):	35m²
TOTAL 191.25m²	

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SITE PLAN
SCALE 1:1000



PROJECT NAME: **VORSTER SHEDS**
 CLIENT: **MADIA VORSTER**
 ERF NO: **581/386** | Main Road | Orms
 DESCRIPTION: **PARTIAL SITE PLAN | A3**
 DRAWING NO: **581/386.2**

ARCH: TECH STUDIO

1001 Fox | Cape Town | 021 447 1111
 41 The Square | Durbanville | 021 959 1111

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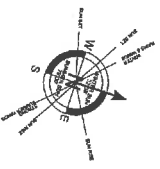
DATE: 2022/10/24
 REVISION: 01

PARKING REQUIREMENTS:

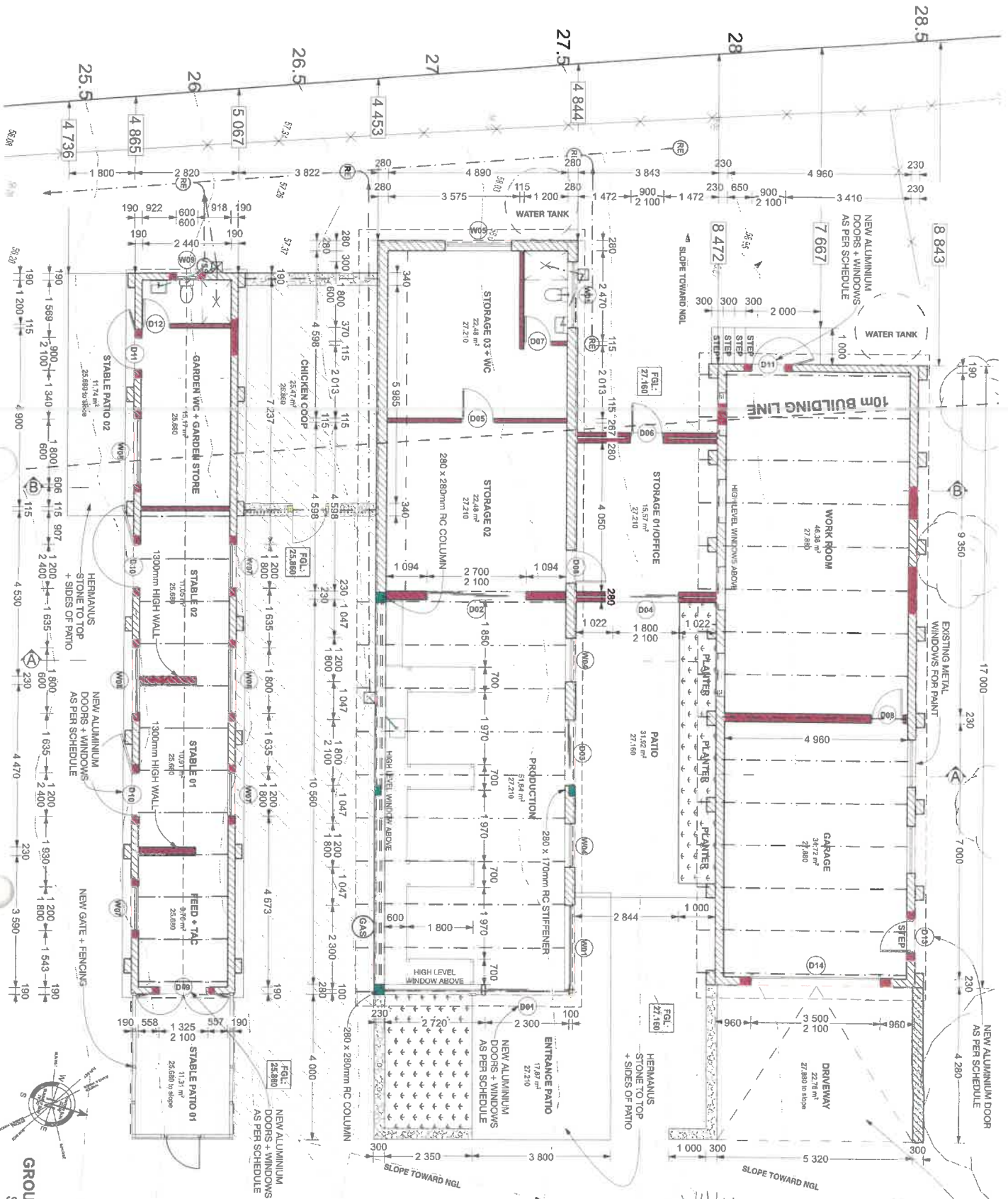
MAIN DWELLING:	2
LABOURER COTTAGE:	1
OFFICE + INDUSTRY / A/DOM/ G.A.:	2
INDUSTRIAL / HOME FOR THE INDUSTRY:	2
TOTAL PARKING BAYS:	8

SCHEDULE OF AREAS

MAIN DWELLING (including front yard)	966m²
EXIST. OUTBUILDING (including labourers cottage)	1412m²
EXISTING CARPORT:	35m²
EXISTING 2ND DWELLING:	80,25m²
EXISTING BARN 01:	92m²
NEW STORAGE 01/OFFICE:	18m²
EXISTING BARN 02:	113m²
EXISTING STABLES:	65m²
EXISTING CHICKEN COOP:	28m²
TOTAL NEW AREA:	177m²
TOTAL COVERAGE (FOOTPRINT):	827,45m²
BULK TOTAL AT SITE:	827,45m²
TOTAL AREA OF SITE:	17289m²
PROPOSED COVERAGE:	5%



PARTIAL SITE PLAN
 SCALE 1:250

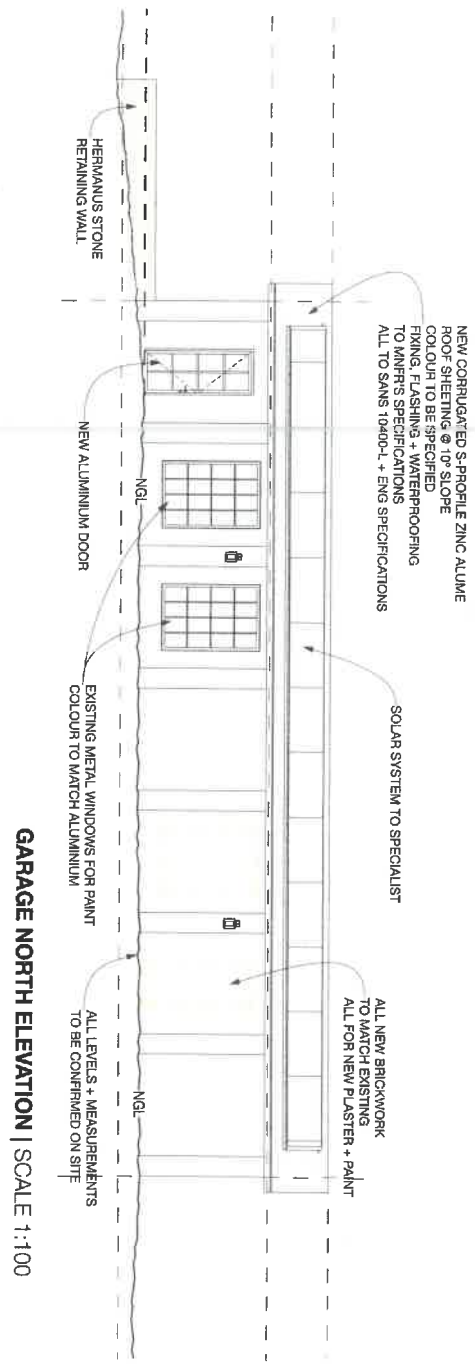
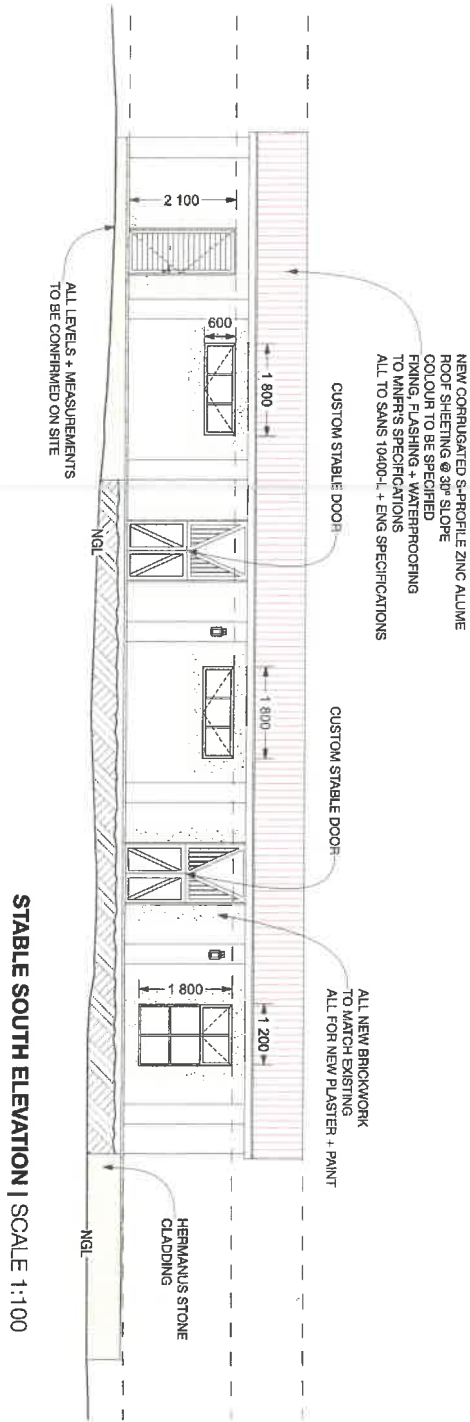


GROUND FLOOR PLAN
SCALE 1:100

PROJECT NAME:	VORSTER SHEDS
CLIENT:	NADIA VORSTER
ERF NO:	581/366 Main Road Onrus
DESCRIPTION:	BARN 1 + 2 + 3 GF A3
DRAWING NO:	581/366.3

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DATE:	2022/10/24
REVISION:	01



PROJECT NAME: **VORSTER SHEDS**
 CLIENT: **NADIA VORSTER**
 ERF NO: **581/366** | Main Road | Onrus
 DESCRIPTION: **BARN ELEVATIONS 02 | A3**
 DRAWING NO: **581/366.6**

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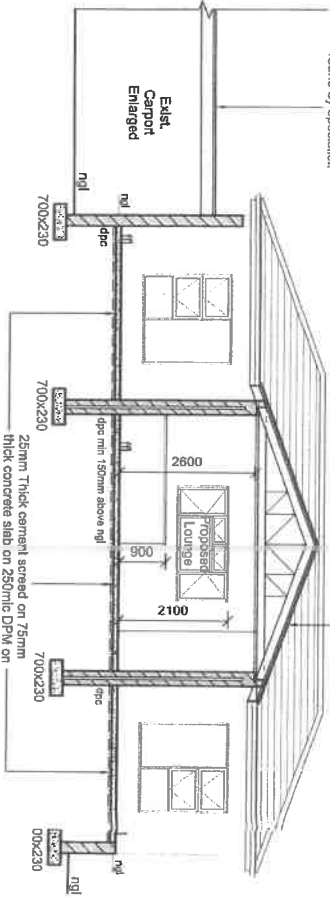
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DATE: **2022/10/24**
 REVISION: **01**

8.0m Height Restriction

Carport roof:
BR sheeting at 3° pitch, on 50x228mm
purlin-battens at 0.75m o/c, (gr.5), as per Table 5
Part L of SANS 10400. Battens fixed to wall
with SABS approved brackets. Flashing all
round by specialist.

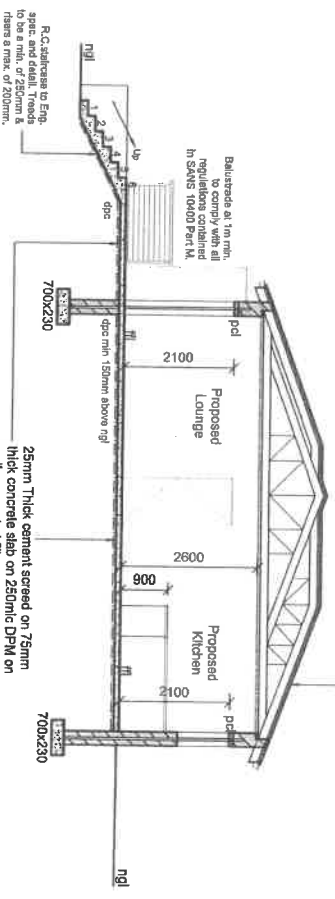
Cement roof tiles to match existing at 20.0°
pitch on 38x38mm battens at 320mm o/c
max. on RFL underlay on prefab. roof
trusses (by specialist) at 760mm c/c
anchored to 114x38mm wallplates by GHI
straps built min. 600mm into brickwork.
Provide adequate wind bracing.



Section A-A
1:100

8.0m Height Restriction

Cement roof tiles to match existing at 20.0°
pitch on 38x38mm battens at 320mm o/c
max. on RFL underlay on prefab. roof
trusses (by specialist) at 760mm c/c
anchored to 114x38mm wallplates by GHI
straps built min. 600mm into brickwork.
Provide adequate wind bracing.



Section B-B
1:100

PROJECT NAME: **VORSTER SHEDS**

CLIENT: **NADIA VORSTER**

ERF NO: **581/366** | Main Road | Citrus

DESCRIPTION: **2ND DWELLING SECTIONS | AS**

DRAWING NO: **581/366, B**

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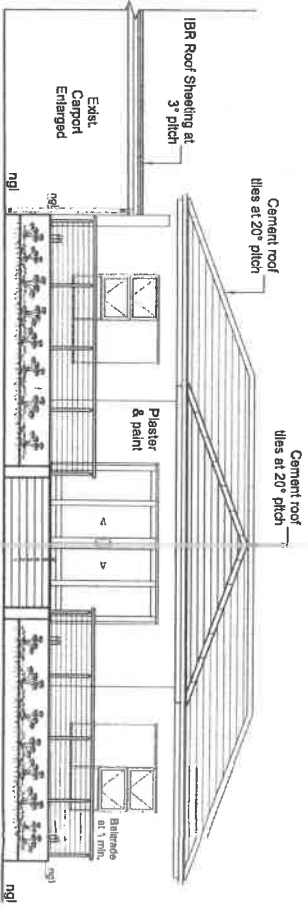
EXISTING APPROVED

2ND DWELLING

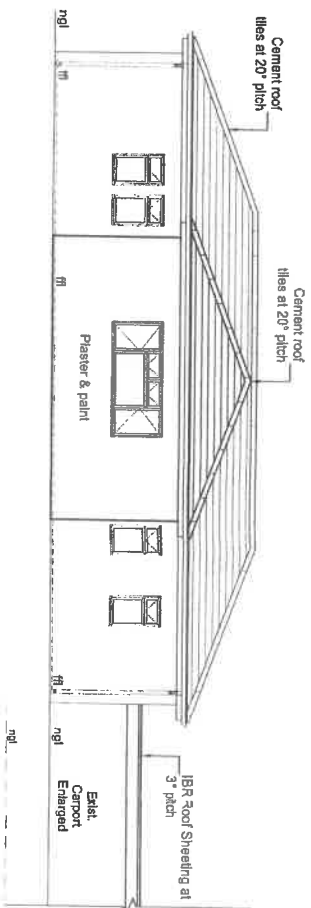
SCALE 1:100

as per Gerhard Engelbrecht

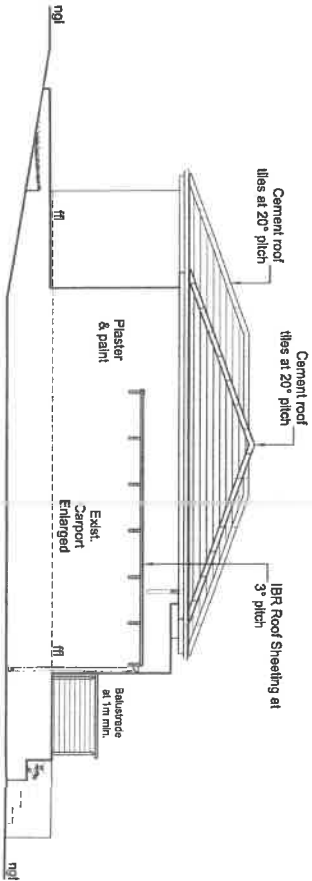
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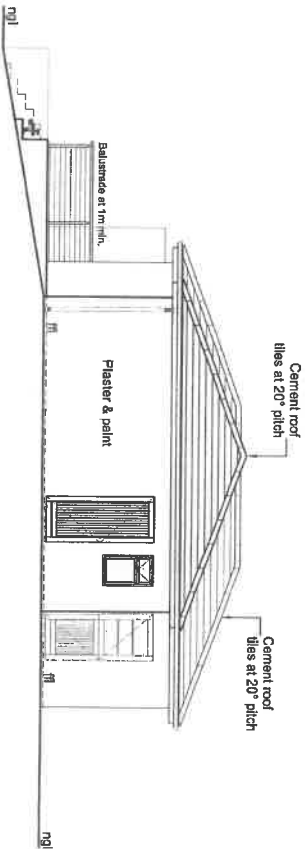
South East Elevation
1:100



North West Elevation
1:100



South West Elevation
1:100



North East Elevation
1:100

PROJECT NAME: **VORSTER SHEDS**
 CLIENT: **NADIA VORSTER**
 ERF NO.: **581/366** | Main Road | Orkus
 DESCRIPTION: **2ND DWELLING ELEVATIONS | AS**
 DRAWING NO.: **581/366.9**

ARCH:TECH STUDIO

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EXISTING APPROVED
2ND DWELLING
 SCALE 1:100
 as per Gerhard Engbrecht