

ERF 1859, 4 SEEMEEU CLOSE, GANSBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: TOWN AND COUNTRY CREATIVE LAND SOLUTIONS ON BEHALF OF FROM A TO Z TRADING 5 CC

Notice is hereby given in terms of Section 48 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) that an application has been received for the following:

- **consent use** (business premises) in terms of Section 16(2)(o) of the By-Law, in order accommodate a hardware shop;
- **determination of an administrative penalty** in terms of Section 16(2)(q) of the By-Law, to accommodate a existing hardware shop.

Full details regarding the proposal are available for inspection during weekdays between 08:00 and 16:30 at the Department: Town Planning, Paterson Street, Hermanus and at the Gansbaai Library, Main Road, Gansbaai. Any written comments must be submitted in accordance with the provisions of Sections 51 and 52 of the said By-Law and reach the Municipality (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) on or before **7 October 2022**, quoting your name, address and contact details, interest in the application and reasons for comment. Telephonic enquiries can be made to **Mr SW van der Merwe** at 028-313 8900. The Municipality may refuse to accept comments received after the closing date. Any person who cannot read or write may visit the Town Planning Department where a municipal official will assist them in order to formalize their comment.

ERF 1859, SEEMEEUSINGEL 4, GANSBAAI, OVERSTRAND MUNISIPALE AREA: AANSOEK OM VERGUNNINGSGEBRUIK EN BEPALING VAN 'N ADMINISTRATIEWE BOETE: TOWN AND COUNTRY CREATIVE LAND SOLUTIONS NAMENS FROM A TO Z TRADING 5 CC

Kennis word hiermee gegee ingevolge Artikel 48 van die Overstrand Munisipaliteit Wysigingsverordening vir Munisipale Grondgebruikbeplanning, 2020 (Verordening) dat 'n aansoek ontvang is vir die volgende:

- **vergunningsgebruik** (besigheidsperseël) ingevolge Artikel 16(2)(o), ten einde 'n hardewarewinkel te akkommodeer;
- **bepaling van 'n administratiewe boete** ingevolge Artikel 16(2)(q), ten einde 'n bestaande hardewarewinkel te akkommodeer.

Volle besonderhede rakende die voorstel is beskikbaar vir inspeksie gedurende weksdae tussen 08:00 en 16:30 by die Departement: Stadsbeplanning, Patersonstraat 16, Hermanus en by die Gansbaai Biblioteek, Hoofweg, Gansbaai. Enige skriftelike kommentaar moet ingevolge die bepaling van Artikels 51 en 52 van die Verordening ingedien word en die Munisipaliteit (Patersonstraat 16, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) bereik voor of op **7 Oktober 2022**, met u naam, adres en kontakbesonderhede, belang in die aansoek, sowel as die redes vir kommentaar. Telefoniese navrae kan gerig word aan **Mnr SW van der Merwe** by 028-313 8900. Die Munisipaliteit mag weier om die kommentaar te aanvaar na die sluitingsdatum. Enige persoon wat nie kan lees of skryf nie kan die Departement Stadsbeplanning besoek waar hul deur 'n munisipale amptenaar bygestaan sal word ten einde hul kommentaar te formaliseer.

ISIZA 1859, 4 SEEMEEU CLOSE, GANSBAAI, KUMMANDLA WOMASIPALA WASE OVERSTRAND: ISICELO SOKUSETYENZISWA KWEMVUME KUNYE NOKUMISELWA KWESOHLWAYO SOLAWULO: TOWN AND COUNTRY CREATIVE LAND SOLUTIONS EGAMENI LE, FROM A TO Z TRADING 5 CC

Esi sisaziso esikhutshwa ngokweSoloty 48 esifundwa kunye neSoloty 16(2)(o) loMthethwana kaMasipala woYilo lokuSetyenziswa koMhlaba kaMasipala, 2020 ukuba isicelo sifunyenwe soku kulandelayo:

- imvume yokusetyenziswa (kwindawo yoshishino) ngokweCandelo le-16(2)(o) loMthetho kaMasipala, ukuze kulungiselelwe ivenkile yehardware;
- ukumiselwa kwesohlwayo solawulo ngokweCandelo le-16(2)(q) loMthetho kaMasipala, ukulungiselela ivenkile esele ikho yehardware.

Linkcukacha ezipheleleyo malunga nesi sindululo ziyafumaneka ngeentsuku zomsebenzi phakathi kweyure-08:00 ne-16:30 kwiSebe: Town Planning, 16 e-Paterson Street, e-Hermanus, kunye neThala lencwadi e-Gansbaai, kwisitalato sase Main Road, e-Gansbaai. Naziphi na izimvo ezibhaliweyo mazingeniswe ngokwezibonelelo zamaCandelo 51 nelama-52 alo Mthethwana zithunyelwe kuMasipala (16 Paterson Street, Hermanus / (f) 0283132093 / (e) alida@overstrand.gov.za) ngomhla okanye ngaphambi komhla wama **7 EyeDwarha (uOktobha) 2022**, unike igama lakho, idilesi neenkukacha zonxibelelwano nawe, umdla wakho kwesi sicelo nezizathu zokunika izimvo. Xa ufuna ukubuzisa into malunga nesi saziso ungafonela **kuMnu SW van der Merwe** ku-028-313-8900. Umasipala angala ukuzamkela izimvo ezifike emva komhla wokuvula. Nabani na ongakwaziyo ukufunda okanye ukubhala makaye kwiSebe loYilo lweDolophu apho igosa likamasipala liya kumncedisa azibhale izimvo zakhe.

MOTIVATION REPORT
PROPOSED CONSENT USE: ERF 1859 GANSBAAI
OUR REF: GAN/2721

1. INTRODUCTION

This office was appointed by A to Z Trading 5 CC, owner of Erf 1859 Gansbaai to do the necessary town planning application to be able to use a portion of the buildings on Erf 1859, for purposes of a shop. BUCO, a hardware and build ware firm, will be letting the property to open a new BUCO store. A portion of the existing sheds will be used as warehouse space for the BUCO shop. The site is located in the Gansbaai industrial area and is very accessible, being located on a street corner. BUCO already opened the shop and a determination of an administrative penalty is required.

An application for a consent use for a business premises on the current Industrial Zone 1: General Industry (Ind 1) is required to accommodate the shop.

2. PURPOSE

The purpose of this motivation is to apply for:

- **A Consent Use** in terms of Section 15(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, to allow for a business premises on the current Industrial Zone 1 zoning.
- **Determination of an Administrative Penalty** in terms of Section 90(3) of the By-Law) of the Overstrand Municipality By-Law on municipal land use planning.

‘Business premises’ in terms of the Overstrand Zoning Scheme ‘means a property from which business or services are conducted and includes a shop, a supermarket, a restaurant, the sale of alcoholic beverages, a plant nursery, offices, service trade, a financial institution and building for similar uses and the sale of any small and big items but excludes a place of assembly, a place of entertainment, an institution, a service

station, a motor repair garage, an industry, an industrial hive, a noxious trade, a risk activity, an adult entertainment business or a bottle store;'

3. PROPERTY DESCRIPTION

Erf 1859 is located on the corner of Seemeeu Street and Industrial Circle, inside the Gansbaai Industrial area. Please refer to the attached locality plan for further details. The erf is currently already developed with buildings.



Photo of the existing buildings on Erf 1859.

TOTAL AREA	1905m ²
REGISTERED OWNER	A to Z Trading 5 CC
Boundaries: North	Seemeeu Street and Erven 1846 and 1848
East	Industrial Circle
South	Erf 2429
West	Erf 1860

Erf 1859 is registered under title deed T20611/2007.



Extract from a Google Earth Image indicating the location of Erf 1859, Gansbaai.

4. CURRENT ZONING AND SURROUNDING LAND USES

Erf 1859 are located in the Gansbaai Industrial area and is zoned for Industrial Zone 1: General Industry (Ind 1). The buildings were previously used for workshop / industrial purposes.

Primary uses allowed on an Industry Zone include:

'industry, agricultural industry, builder's yard, caretaker's accommodation, factory shop, funeral parlour, heavy vehicle service station, industrial café (subject to the provisions of Chapter 16.10), motor repair garage, service trade, service station, transmission apparatus (subject to the provisions of Chapter 16.10), transport use, utility services, warehouse and workshop.'

Uses immediately surrounding Erf 1859 are mainly of an industrial nature with town commonage towards the east.

Provision is made for 23 on-site parking spaces, of which one is a disabled parking bay. The site plan also makes provision for one (1) loading zone, as required.

6. DETERMINATION OF AN ADMINISTRATIVE PENALTY

A determination of an Administrative Penalty in terms of Section 90(3) of the By-Law) of the Overstrand Municipality By-Law on municipal land use planning is required, due to the shop that already opened its doors on 13 May 2022.

In terms of the By Law the applicant must, to the satisfaction of the Municipality, provide the following information such as-

- (a) the nature, duration, gravity and extent of the contravention;

No additional buildings were erected, but BUCO opened a hardware shop in a portion of the existing buildings, without the consent use application that was lodged at the beginning of April, being finalised. The use is a consent use on an industrial zoning and can therefore be reconciled with existing surrounding land uses. All integrated zoning scheme parameters will be complied with and it is not believed that the uses have a negative impact on surrounding neighbouring properties.

The shop opened on the 13th of May.

- (b) the conduct of the person (allegedly) involved in the contravention;

The owner of the property has been in conversation with the Municipality since last year, but due to building and site plans that had to be amended several times due to specific requirements for the proposed use, we only managed to lodge the application at the beginning of April. His intend was always to comply with municipal regulations and was the whole time in conversation with the municipality to make sure the Site Development Plan will be compliant with Municipal regulations.

The moment that the Site Development Plan was finalised, the application was lodged.

(c) a report by a quantity surveyor in matters of unauthorised building/construction;

As far as we are aware no unauthorised construction took place.

(d) whether the unlawful conduct was stopped;

The unlawful conduct was not stopped, due to the firm employing a large number of personnel and providing a significant number of job opportunities. The losses that the firm will incur by closing now, will make the new venture unsustainable. Taking into consideration what a lengthy process a planning application is, it would not make sense to leave employees without an income for six months or even more, to be able to first finalise the process.

(e) whether the person allegedly involved in the contravention has previously contravened this By-Law or a previous planning law.

We are not aware of previous contraventions.

7. RELEVANT OVERHEAD PLANNING POLICY

Various local, provincial, and national forward planning documents are applicable to the application.

7.1 OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK (SDF)

The 2050 vision for the Greater Gansbaai area as follow:

Key policies directing future management and development:

LO 3 (i) Progressively ensure housing provision for different lifestyle choices, income groups, life stages, household sizes, including adequate provision of affordable housing options and opportunities for the aging.

LO 3 (iii) All housing developments should be planned within the context of creating sustainable human settlements where housing areas are integrated with social and economic facilities.

LO 4 (ii) Buildings that accommodate community activities, as well as education, health and entrepreneurial development and business and skills training, should be located at points of highest access in urban settlements.

LO 4 (iv) Ensure that mixed-use densification of land uses is achieved when managing urban growth.

LO 7 (ii) Encourage the development of natural open space systems within urban and rural settlements.

LO 8 (ii) & MO 3 (ii) & ECO 1 (i) Ensure that environmentally sensitive areas, significant cultural landscapes and heritage sites are protected and enhanced.

EO 2 (ii) Ensure that development is confined within urban edges and growth is managed based on sustainable densification principles.

EO 3 (i) & MO 2 (ii) Encourage and support the development of networks of open space that sustain and enhance eco-system functioning, connect fragments of vegetation, protect waterways and regenerate the natural environment.

EO 4 (ii) Encourage natural dune processes to occur where appropriate and proactively work towards reducing coastal erosion.

VO 1 (i) Encourage mixed use and high density residential development within and adjacent to urban, suburban and rural centres.

VO 1 (ii) Promote urban, suburban and rural centres as the primary commercial areas within settlements and suppress and limit commercial development outside of these centres.

VO 1 (ix) & AO 4 (v) Neighbourhood nodes and the CBD should become the nucleus of business/commercial and other public infrastructure/services, ultimately becoming focused clusters of facilities and services/multi-purpose centres.

VO 2 (iii) Create a network of well-designed public spaces that support participation in social, recreational and cultural events

ECO 1 (ii) Ensure that tourism destinations are accessible, safe and attractive by means of maintaining and developing new facilities.

The SDF describes Gansbaai as a fishing village and a popular residential, holiday and retirement destination.

The Gansbaai Spatial Development Framework provides guidelines that should steer future development in the Gansbaai area. This include:

- Industrial development should be concentrated within the existing industrial area situated within close proximity to the R43 on the south-eastern edge of the CBD. Provision for smaller scale industrial development has been provided for along the western edge of this settlement, and future development should be confined to these designated areas.

PROPOSED DEVELOPMENT COMPLIANCE

- The development as proposed complies with the general goals and objectives set for the Overstrand Municipal area, seeing that the proposal encourage a mixed-use proposal inside the existing industrial area, to allow for both industrial and commercial use. The proposed use is a result of the steady growth of Gansbaai area.

7.2 OVERSTRAND SECTORAL DENSIFICATION STRATEGY

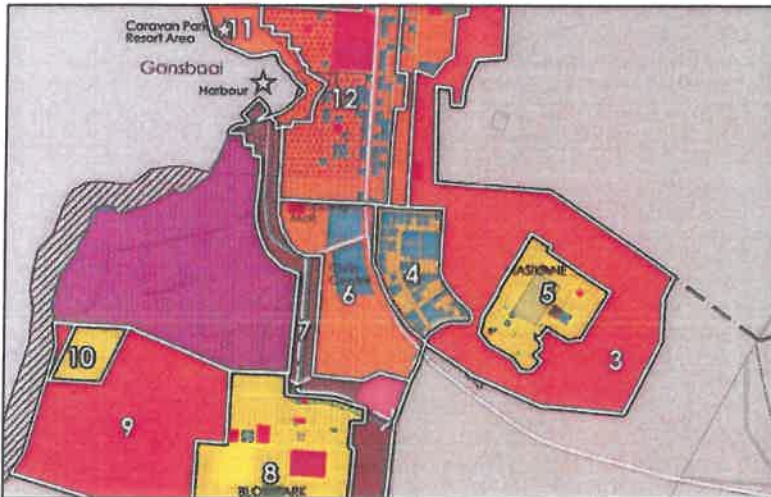
A densification study was completed by Urban Dynamics, for the Overstrand Municipality in 2010. The objective of this study is to:

- Promote a more compact, denser, efficient and environmentally sustainable;
- Protect sensitive environments and resources within and outside the urban edge; and
- Rationalise bulk infrastructure and service capacity to ensure that the bulk capacity is provided in the urban areas where growth and development is considered desirable .

Critical Contextual Informant being used in the study, includes:

- Historical Development Pattern and Heritage Resources of the towns and settlements within the Overstrand Municipal Area,
- Current Land Use and Distribution Patterns (zoning, densities, land ownership, land values, erf sizes)
- Natural elements and setting
- Population growth and Housing demand
- Bulk Service Capacities
- Traffic capacities and circulation

The Growth Management Strategy indicates Erf 1859 for industrial purposes, inside block 4. Please refer to the extract of the growth plan below.



Extract from the Growth Management Strategy: Plan H: Proposal, indicating the location of Erf 1859 inside block 4.

7.3 PROVINCIAL SPATIAL DEVELOPMENT FRAMEWORK (PSDF) 2014

The Western Cape Provincial SDF was approved in 2014 by the Western

Cape Parliament and serves as strategic spatial planning tool that “communicates the provinces spatial planning agenda”.

The recent shift in legislative and policy frameworks have clearly outlined the roles and responsibility of provincial and municipal spatial planning and should be integrated towards the overall spatial structuring plan for the province to create and preserve the resources of the province more effectively through sustainable urban environments for future generations. This shift in spatial planning meant that provincial inputs are in general limited to provincial scale planning. However, it is important to note some of the key policies laid down by the PSDF have a bearing on the application.

The proposed development compliments the SDF spatial goals that aim to take the Western Cape on a path towards:

- (i) Greater productivity, competitiveness and opportunities within the spatial economy;
- (ii) More inclusive development in the urban areas;
- (iii) Strengthening resilience and sustainable development.

Key policies that is supported by this application:

Town & Country

Policy E3: Revitalise and Strengthen Urban Space-Economies as the Engine of Growth

5. Existing economic assets (e.g. CBDs, township centres, modal interchanges, vacant and under-utilised strategically located public land parcels, fishing harbours, public squares and markets, etc.) should be targeted to levers the regeneration and revitalisation of urban economies.

8. Incentives should be put in place to attract economic activities close to dormitory residential areas, facilitate brownfields development.

Policy S3: Ensure Compact, Balanced & Strategically Aligned Activities & Land Uses

This policy reflects the main aim of the policy through targeting economic assets (e.g. Modal Interchanges underutilised strategically located land parcels) should be used as a lever to regenerate and revitalise urban settlements.

Promoting functional integration and mix land use to increase livability of urban areas. Thus the policy specifies the importance to- increase density of settlements and number of units in new housing projects; continue to deliver public investment to meet the needs in settlement developments; integrate packages of land, infrastructure and services as critical to promote densification and efficiency associated with agglomeration.

8. ACCESS & PARKING

Access to the property is proposed from both Seemeeu Street and Industrial Circle and is existing.

According to the Integrated Zoning Scheme Regulations applicable to the Overstrand, 23 onsite parking spaces and a loading zone are required. The site plan complies with these provisions

9. SERVICES

All services are existing, and it is not expected that any upgrades will be required.

Water: Supplied by the Overstrand Municipality
Town & Country

Electricity: Supplied by the Overstrand Municipality

Sewerage: Overstrand Municipality

Rubbish Removal: Overstrand Municipality. Most of the rubbish generated by the shop and warehouse, can be recycled.

10. CRITERIA FOR THE CONSIDERATION OF AN APPLICATION

The Overstrand By-Law on Municipal Land Use Planning list a number of criteria that an application needs to meet. The relevant points to the information that a planning application will have to include are listed below and the application is evaluated in terms of these points.

10.1 The desirability of the proposed utilisation of land and any guidelines issued by the Provincial Minister regarding the desirability of proposed land uses.

The Western Cape Spatial Development framework has a strong emphasis on revitalising urban spaces creating an urban living environment which is more convenient, efficient and aesthetically pleasing to residents. The proposed land use is located in the Gansbaai Activity Road and upon operation of the business premises it will attract new economic activities within the established neighbourhood contributing to a functional and urban integrated living environment which is strategically aligned with the surrounding land uses. Therefore, the proposal complies with strategic objectives as set out by the Western Cape Spatial Development Framework.

10.2 The impact of the proposal on Municipal Engineering Services

The impact on existing municipal services will be minimal since it is located within an already established industrial area. The site is already developed and all services existing.

10.3 Municipal Forward Planning Documents

OVERSTRAND SPATIAL DEVELOPMENT FRAMEWORK

The property is located indicated inside an industrial area, inside the urban edge. The proposed use can be reconciled with the municipal forward planning document and existing uses in this area.

10.4 SPATIAL DEVELOPMENT FRAMEWORK: WESTERN CAPE

WESTERN CAPE PROVINCIAL SDF (2014)

The Western Cape Provincial SDF was approved in 2014 by the Western Cape Parliament and serves as strategic spatial planning tool that “communicates the provinces spatial planning agenda”.

The recent shift in legislative and policy frameworks have clearly outlined the roles and responsibility of provincial and municipal spatial planning and should be integrated towards the overall spatial structuring plan for the province to create and preserve the resources of the province more effectively through sustainable urban environments for future generations. This shift in spatial planning meant that provincial inputs are in general limited to provincial scale planning. However, it is important to note some of the key policies laid down by the PSDF have a bearing on the application.

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- (i) Greater productivity, competitiveness and opportunities within the spatial economy;
- (ii) More inclusive development in the urban areas;
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Key policies that is supported by this application:

Policy E3: Revitalise and Strengthen Urban Space-Economies as the Engine of Growth

5. Existing economic assets (e.g. CBDs, township centres, modal interchanges, vacant and under-utilised strategically located public land parcels, fishing harbours, public squares and markets, etc.) should be targeted to levers the regeneration and revitalisation of urban economies.

- 11. Incentives should be put in place to attract economic activities close to dormitory residential areas, facilitate brownfields development.

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This policy reflects the main aim of the policy through targeting economic assists (e.g. Modal Interchanges underutilised strategically located land parcels) should be used as a lever to regenerate and revitalise urban settlements.

Promoting functional integration and mix land use to increase liability of urban areas. Thus the policy specifies the importance to- increase density of settlements and number of units in new housing projects; continue to deliver public investment to meet the needs in settlement developments; integrate packages of land, infrastructure and services as critical to promote densification and efficiency associated with agglomeration.

10.5 Complies with Section 42 of the SPLUMA and Chapter 6 of LUPA:

The Spatial Planning and Land Use Management Act (SPLUMA) and Land Use Planning Act (LUPA) came into effect in 2016 in the Overstrand Municipality. One of the main objectives of this act is to provide a framework for spatial planning and land use management to address past spatial and regulatory imbalances.

Section 42 of SPLUMA and Chapter 6 of LUPA prescribe certain aspects that have to be taken into consideration when deciding on an application. These are:

- development principles set out in Chapter 2 of SPLUMA
- protect and promote the sustainable use of agricultural land
- national and provincial government policies
- the municipal spatial development framework; and take into account—
 - (i) the public interest;
 - (ii) the constitutional transformation imperatives and the related duties of the State;
 - (iii) the facts and circumstances relevant to the application;
 - (iv) the respective rights and obligations of all those affected;
 - (v) the state and impact of engineering services, social infrastructure and open space requirements; and
 - (vi) any factors that may be prescribed, including timeframes for making decisions.

SPLUMA and LUPA sets out the following 5 main development principles applicable to spatial planning, land use management and land development:

1. Spatial justice
2. Spatial sustainability
3. Efficiency (optimising the use of existing resources and infrastructure)
4. Spatial resilience (allow for flexibility in spatial plans)
5. Good administration

Compliance with SPLUMA & LUPA Principles:

As discussed in this report, this development proposal is consistent with the approved statutory spatial policy framework for the area, as well as the Provincial Spatial Development Framework. The table below indicates how the proposed development will be consistent with the SPLUMA principles.

<i>SPLUMA & LUPA Principle</i>	<i>Compliance</i>
<i>Spatial Justice</i>	The development allows for a higher order, multi-functional use, ensuring the optimal use of a well-located industrial site. New job opportunities are created.
<i>Spatial Sustainability</i>	The proposal is in line with existing overhead planning document. With more permanent residents moving to the area, the need for a larger variety of products and also storage space become viable and is also required to satisfy the needs of visitors and residents.
<i>Spatial Efficiency</i>	Development will make use of existing resources in terms of infrastructure, providing in a higher density development in an existing industrial area.
<i>Spatial Resilience</i>	The proposal is in line with overhead planning documents recommending densification inside the Urban Edge.
<i>Good Administration</i>	This principle has no direct bearing on the application, however, the Overstrand municipality is obligated to consider the application fairly and within the timeframes provided in terms of the municipal planning bylaw.

11. DESIRABILITY

PHYSICAL CHARACTERISTICS OF THE PROPERTY

- The erf is already developed and no natural vegetation will be removed.
- The erf is flat.
- Being a corner property, the site is very accessible.
- The size of the erf makes it suitable for the proposed use, since the provision of enough parking spaces is possible.

CHARACTER OF THE SURROUNDING AREA

Erf 1859 is located in Industria road that forms part of the Gansbaai Industrial area. The proposed use will be in line with the existing appearance and use of the surrounding area.

No change in scale is proposed. There are already other properties in the industrial area also used as hardware stores.

SAFETY AND WELLBEING OF THE COMMUNITY

The erven are located inside an existing industrial area. The consent use should not have an impact on the safety of the community.

12. CONSTRAINTS AND OPPORTUNITIES

- According to the title deeds there are no conditions that have an impact on the proposal.
- The property is very accessible and included inside an existing industrial area.
- The proposed facilities will provide permanent residents and holiday makers with additional facilities in the Overstrand Municipal area and contributes to them returning more often.
- The proposal is in line with forward planning documents, in terms of the creation of job opportunities. New job opportunities are created through the establishment of the new facility.
- Availability of more and better retail facilities.

13. CONCLUSION

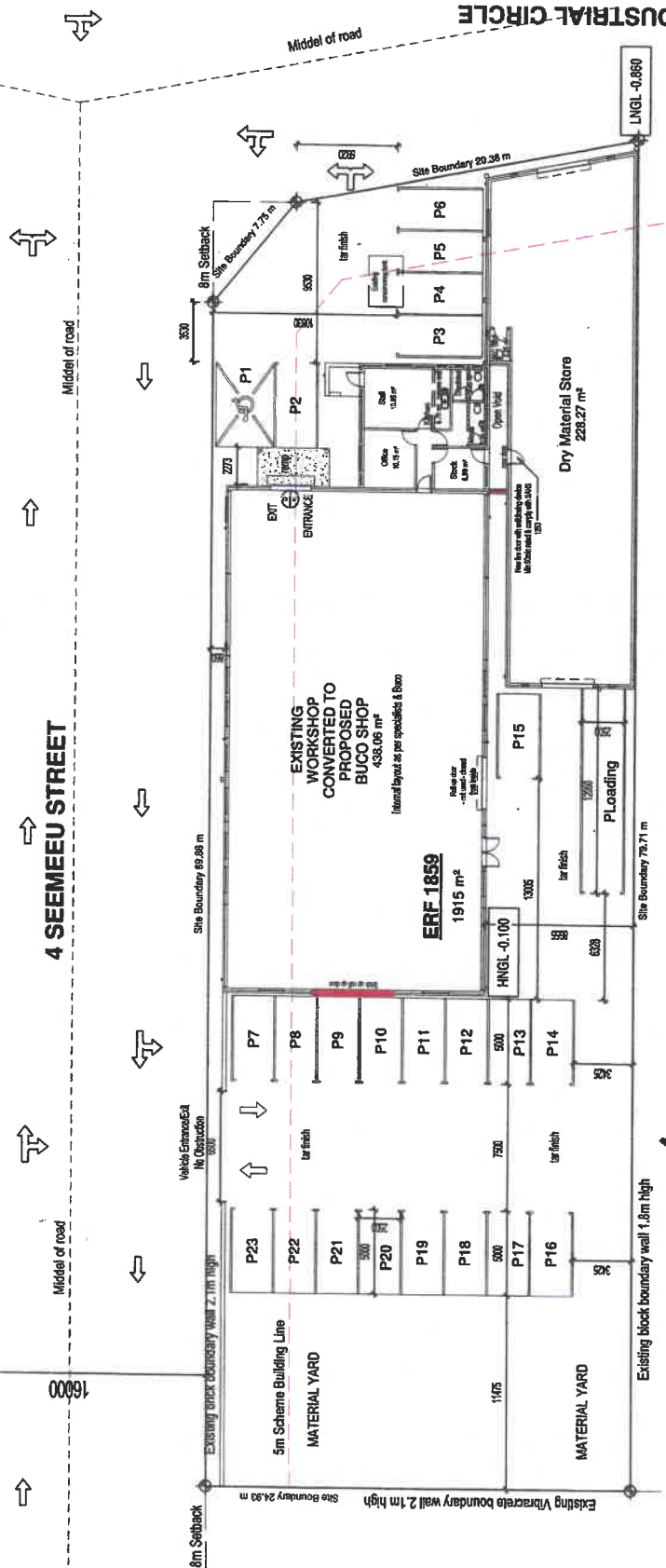
Gansbaai is seeing a gradual increase in permanent residents and with that comes the need for more and more diverse shops and services. The provision of a larger variety of industrial and business premises in the industrial area, is addressing a fast growing need.

The proposed application to accommodate the future use hold economic benefits to the owner, and also the whole of the Overstrand Municipality and its residents. It will contribute towards maintaining the character of the town as a feasible permanent destination with more and better options available. It will also provide in a large number of job opportunities and the opportunity for a transfer of knowledge to take place.

The proposed consent use should not have a negative impact on the character of Gansbaai and also not an undue negative impact on surrounding property owners.

Erf 1848

4 SEEMEEU STREET



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GENERAL:

1. All work to comply with NATIONAL BUILDING REGULATIONS.
2. All dimensions and levels to be checked on site before any work commences.
3. This drawing is not to be scaled and only figured dimensions are to be used.
4. All work to be carried out in accordance with local authority requirements.
5. All levels unless otherwise indicated are finished floor levels.
6. All floor levels are to be reported to the office of the Architect.
7. All drawings are to comply with the relevant S.A.B.S. codes.
8. The Architect is to comply with all relevant building regulations.
9. Structural work to comply with all relevant S.A.B.S. codes & details.

ERF 210



PROJECTED NEW LAYOUT & ADDITIONS FOR BUCO GANSBAAI ON ERF 1859, GANSBAAI INDUSTRIAL OVERSTRAND.

DESCRIPTION: SITE PLAN

SHEET FORMAT: AZ OCCUPATION: F1 & J2

SCALE: As Indicated DRAWING #: 04/BG/21

PAGE #: 1

DRAWING DATE: 26 NOV 2021 PLOT DATE: 30-Mar-22 2:17:02 PM

DRAWN: Johan Gercoe SIGNATURE: [Signature]

www.gercoe-architecture.co.za
 info@gercoe-architecture.co.za
 SACAP : 08663 Prof Act On design

SCHEDULE OF RIGHTS

ERF Number: 1859	Site Area: GANSBAAI INDUSTRIAL
ERF Size: 1958m²	
ZONING INFORMATION	
Zone Planning Scheme: OVERSTRAND	
Use Zone: INDUSTRIAL ZONE 1: GENERAL INDUSTRY	
DEVELOPMENT CONTROL MEASURES	
TOTAL AREA:	
Existing Main Building	: 516.50m²
Existing Store Building	: 250.50m²
TOTAL	: 767.00m²
Coverage	40.07%

The information provided above is hereby certified to be correct & precise

Name: JUS GERCOE Signature: [Signature]
 Date: 03 FEB 2021 Plan No: 046/022

LEGEND:

SITE PLAN VIEW:
 All New Work

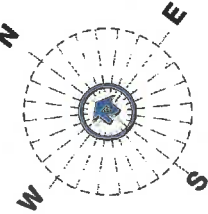
PLAN VIEW:
 New Brickwork
 New Timberwork
 New Steel Elements
 New Foundations/Concrete work
 Existing building/galvanne
 Demolished work

ELEVATIONS:
 New Brickwork
 New Plasterwork
 New Timberwork
 Existing building/galvanne

SECTIONS:
 New Timberwork
 New Plasterwork
 Existing structure
 Elements structure

PARKING CALCULATIONS

BUILDING USAGE:	GENERAL BUSINESS
Shop Area: 485.50m²	253.25m²
Store & Stock: 253.25m²	
Provisioned for 2 bays Substrate Industry - 2 bays per 100m²	= 4.70
Shops - 4 bays per 100m²	= 18.84
RECOMMENDED MINIMUM NEW CAPACITY:	= 23.54
PARKINGS PROVIDED:	23 x Parking bays
On site	1 x Loading bay

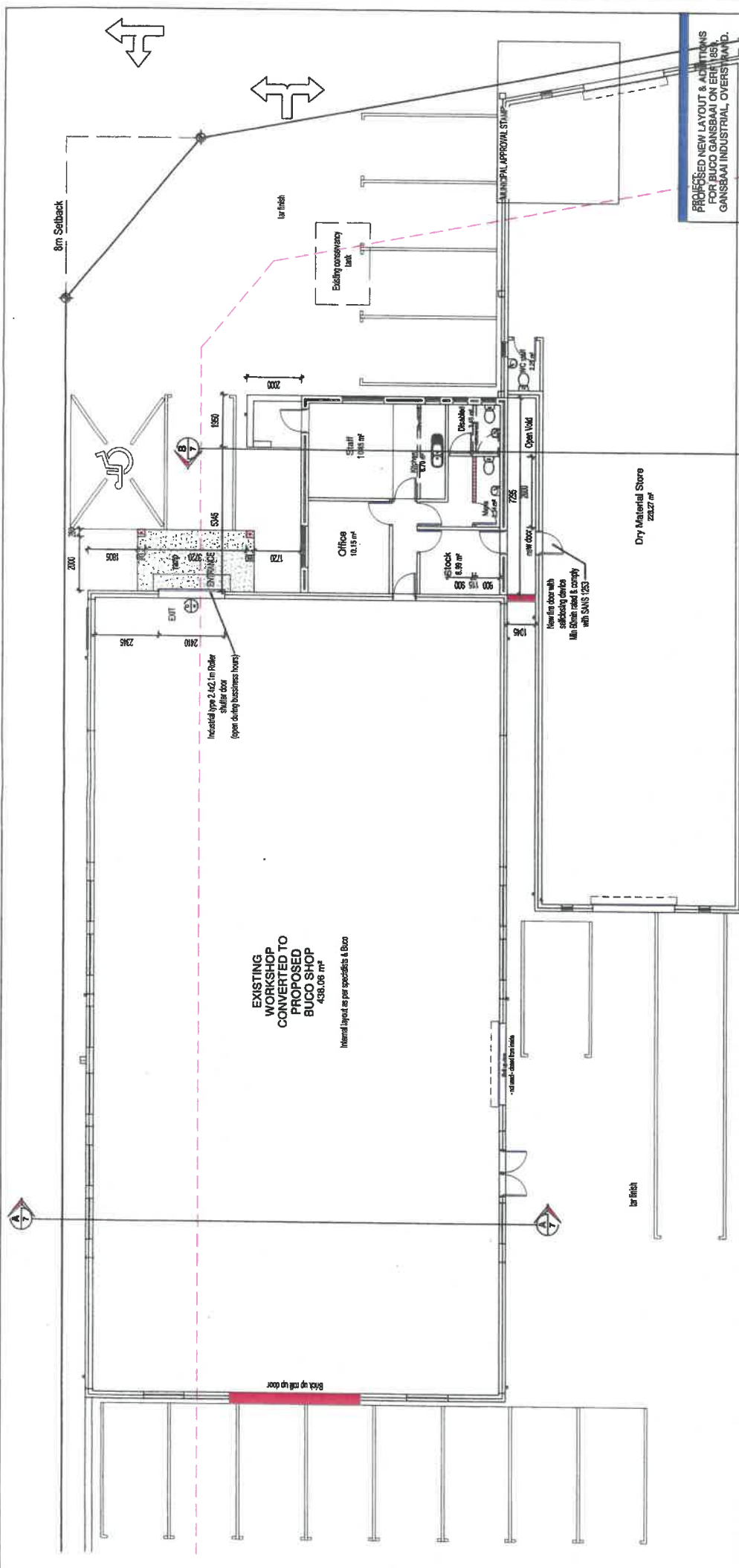


SITE PLAN

1 : 200

ERF 1860

ERF 2429

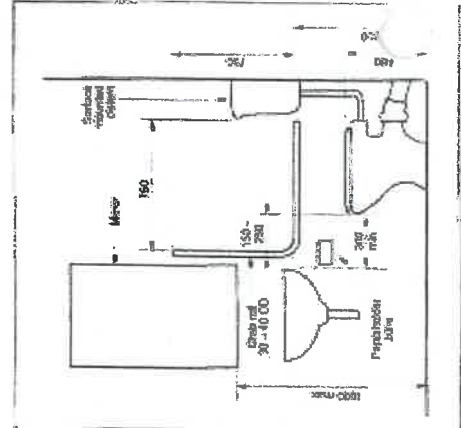
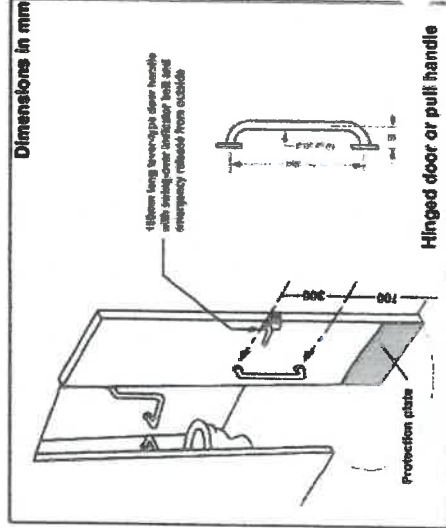
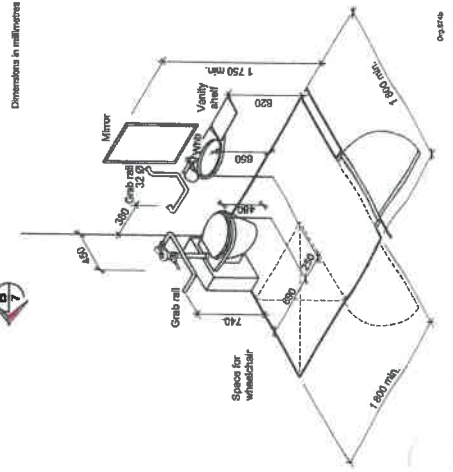


PROJECT: PROPOSED NEW LAYOUT & ADAPTATIONS FOR BUCO GANSEBAAI ON ERF 1657, GANSEBAAI INDUSTRIAL OVERSTRAND.

DESCRIPTION: FLOOR LAYOUT

SHEET FORMAT:	A2	OCCUPATION:	F1 & J2
SCALE:	As indicated	DRAWING #:	04/16G/21
PAGE #:	2	PLOT DATE:	30-MAR-22 2:17:03 PM
DRAWING DATE:	26 NOV 2021	DRAWN:	John Gericke
SIGNATURE:			

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 SACPO: 08669 Prof Arch Draught

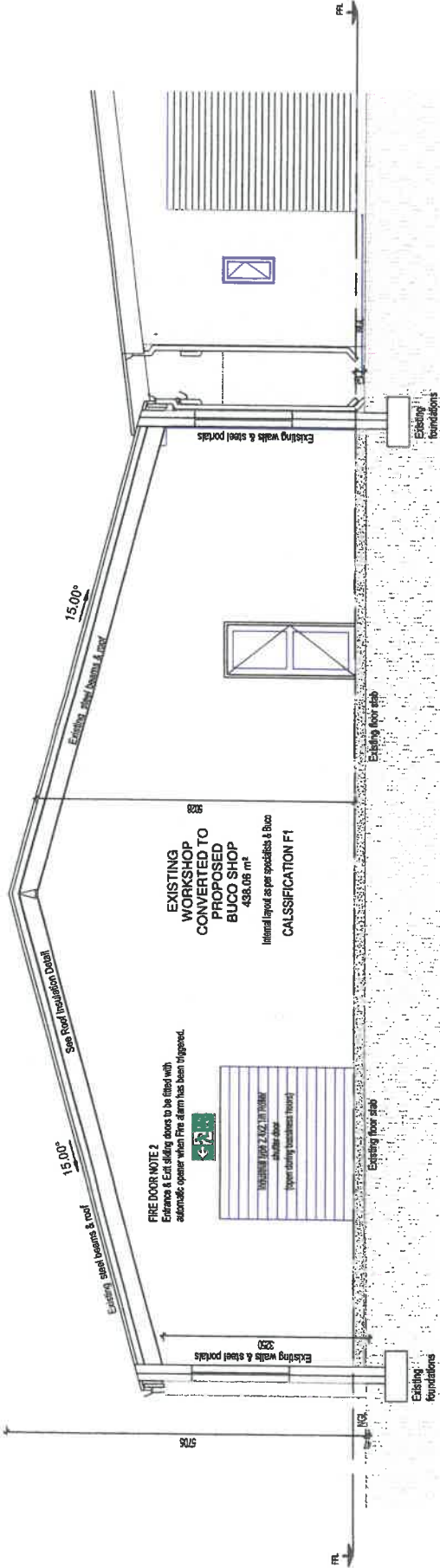


LARGER SITE PLAN
1 : 100

SCHEDULE OF RIGHTS	
PROPERTY DESCRIPTION	OVERSTRAND
Erf Number: 1657	Site Area: GANSEBAI INDUSTRIAL
Erf Size: 9152m²	
ZONING INFORMATION	
Planning Scheme:	OVERSTRAND
Use Zone:	INDUSTRIAL ZONE 1: GENERAL INDUSTRY
DEVELOPMENT CONTROL MEASURES	
TOTAL AREA	: 916,33m²
Existing Main Building	: 290,59m²
Existing Store Building	: 797,29m²
TOTAL Coverage	: 60,77%

The information provided above is hereby certified to be correct & genuine

Name: U.S. GERICKE
 Date: 03 FEB 2021
 Signature:
 Plan No: 1468/22

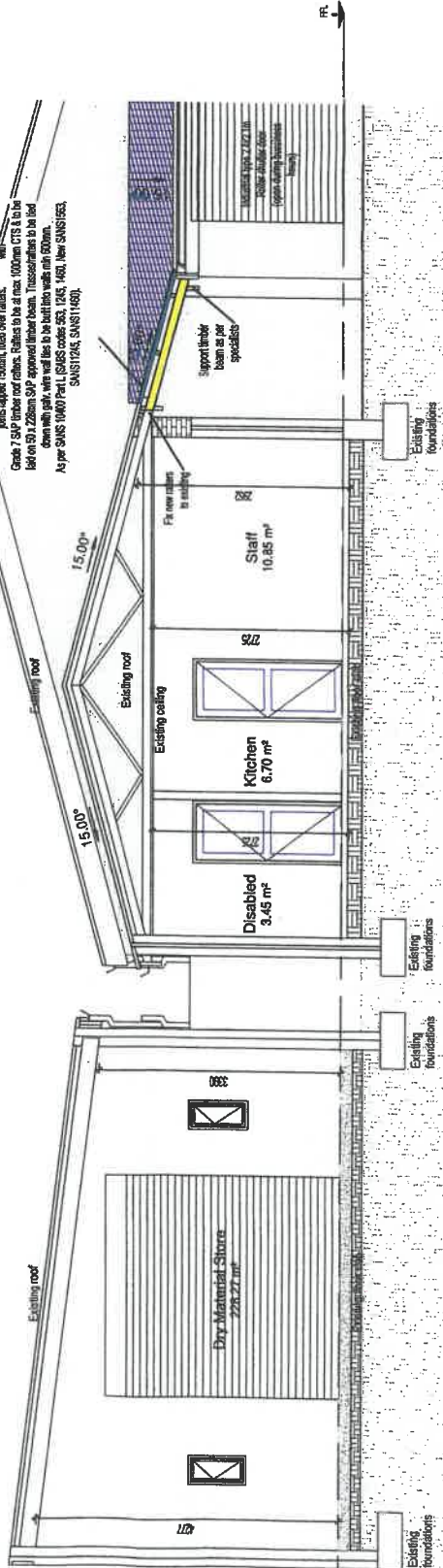


Section A-A
1 : 50

MUNICIPAL APPROVAL STAMP



Fix 5x5 Meter roof sheeting fixed to timber intermediate purlins at max 1000mm centres with 100mm span. Coped and double-sided Raasbeek® reflective barrier (Color: GR5020) with joints lapped 150mm, fixed over rafters. Grade 7 S&P timber roof rafters, battens to be at max 1000mm GTS & to be 88x on 50 x 228mm S&P approved timber beam. Truss rafters to be tied down with oak, wire wall ties to be built into walls min 600mm. As per SANS 1040 Part L, SANS codes 563, 1245, 1462, New SANS1563, SANS1914, SANS1460.



Section B-B
1 : 50

PROJECT: NEW LAYOUT & ADDITIONS FOR BUCO GANSBAAI ON ERF 1889, GANSBAAI INDUSTRIAL, OVERSTRAND.

DESCRIPTION:

SECTIONS

SHEET FORMAT:	AZ	OCCUPATION:	F1 & JZ
SCALE:	As indicated	DRAWING #:	04/BG/21
PAGE #:	7	DRAWING DATE:	28 NOV 2021
DRAWING DATE:	28 NOV 2021	PLOT DATE:	30-Mar-22 2:17:11 PM
DRAWN:	Johari Geldita	SIGNATURE:	<i>[Signature]</i>

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