



ERF 1772 - STANFORD

ARCHITECTURAL DESIGN GUIDELINES

COMPILED: JANUARY 2022

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Purpose of the Development and Design Manual

This Development and Design Manual is in essence a set of guidelines to establish the intent for the design and development of the estate and to provide the framework within which site development and building applications can be aesthetically evaluated. The purpose of this manual is to guide the design and architectural aesthetics of all development and building and to set conditions and standards which must be met by the Property Owner. The guidelines as set out in this document are additional to any clause in the Constitution of the Erf 1772 Stanford Home Owners Association (HOA), the regulations or by-laws of the Local Authority. All structures must also comply with the National Building Regulations.

Terms used in this manual such as Home Owners Association (HOA), Owner, Managing Agent and Controlling Architect, all have the meaning as defined in the Constitution of the HOA. The Building Committee (BC) referred to later on is comprised of two Trustees from the HOA and the Controlling Architect.

Philosophy behind the development of Erf 1772, Stanford

With the ever increasing demand for residential housing in the Overstand region it was inevitable that the local authority thought it well to amend the urban edge and to increase the urban development area in the Stanford region. Stanford historically is a small tight knit community. The architectural topology (look & feel) of the town of Stanford is one of established design and implementation.

In saying this, the developers wants to take inspiration of the existing towns architecture and incorporate it into this development. Embracing the existing culture and lifestyle of the immediate surroundings and the town.

The newly upgraded roads infrastructure will allow the residents of this development not to increase the feel of traffic in the area.

This development will serve other communities in close proximity such as Hermanus, Caledon and Gansbaai. The location is ideal for potential residents/ owners to seek work opportunities in these areas.

The layout and design of the development will create cohesiveness and allow, “elbow on the wall neighbourness”. The layout imitates the rustic country style living as found in the backyards of the houses in small towns such as Stanford, by landscaping it with simplistic indigenous open spaces, linked with pathways through the development. These pathways leading off the internal roads, afford all residents to access and walk the whole development within the confines of the outside walled fenced perimeter.

The stately development of Erf 1772 Stanford is necessary to ensure exclusivity of this prime location. The building style should be a reflection of the context it is situated in. The design must show responsiveness to the pedicular landscape and surroundings. A strong modulated type mass should be visible within the design of the house. The design must be softened with the attention to detail in the joining of elements. The image must make full use of the vistas with the use of landscaping, balconies, terraces, view lines and patios.”

This development will be an asset to the current micro economy in the area and will increase trade with the existing local community.

- 1.1 The purpose of these design guidelines is to facilitate a cohesive architectural character with a unity of materials and finishes ensuring that the development harmonizes with the surrounding suburban fabric.
- 1.2 The proposed style constitutes a modern contemporary Character. To achieve this, Architectural Design Guidelines have been drawn up as far as the use of materials and colors, the treatment of boundaries and the landscaping is concerned.
- 1.3 No classical or Mediterranean facade architecture or elements will be permitted. Simple detailing is encouraged with window and door elements to be square or rectangular in shape.
- 1.4 The Homeowners Association reserve the right to alter or amend these guidelines with approval of the Overstrand Municipality as the need arises.
- 1.5 The controlling authority for the Development is the Homeowners Association (HOA) who will be responsible for the scrutiny of all drawings for new dwellings, additions and alterations on behalf of the owners before the drawings may be submitted to Council for approval.
- 1.6 The design of the dwelling unit and the entire stand must show sensitivity to the existing natural features, flora and topography.
- 1.7 The siting of the Buildings and their heights must not unreasonably affect the amenities of adjacent properties. The HOA decision in this regard will be binding and final.

2.1 All consent uses mentioned below requires the approval of the HOA.

2.1.1 General Residential Zone 1: Town Housing (GR1)

Overstrand Municipality Land Use Scheme, 2020 or any amendments thereto and/or any superseding schemes

2.1.1.1 Height of dwelling and out-buildings:

- Erven with building type: A, B & E, are permitted to construct single storey dwellings with a maximum height of 5,5 m.
- Erven with building type: C & D, may construct double storey dwellings with a maximum height of 8,0 m.

2.1.1.2 Parking:

- A minimum of 2 parking bays per erf (Including garage) to be provided and clearly indicated on the drawings.

2.1.1.3 Permitted Land Uses:

- Primary Use – Town Housing.
- Consent Use – Home Occupation, Tourist Accommodation.

2.1.2 Open Space Zone 3: Private Open Space

Overstrand Municipality Land Use Scheme, 2020 or any amendments thereto and/or any superseding schemes

2.1.2.1 Permitted Land Uses:

- Primary Use – Private Open Space.
- Consent Use – Recreational Facilities, Day Care Centre.

2.1.3 TRANSPORT ZONE 2: ROAD AND PARKING (TR2 A)

Overstrand Municipality Land Use Scheme, 2020 or any amendments thereto and/or any superseding schemes

2.1.3.1 Permitted Land Uses:

- Primary Use – Private Parking and Private Road.
- Consent Use – None.

2.2 Planning (1)

2.2.1 Development parameters:

- Soil conditions: A detailed geotechnical survey shall be undertaken by the developers and should be made available when approval is granted on SDP from the local authority.
- Building lines on erven: All structures must be confined within the building lines as per predetermined footprint area in order to conform to general town planning and building regulations and is done to ensure privacy of adjacent sites and to preserve vistas of and from the site.

Building Lines on the perimeter of the development

- The building line on the perimeter of the development is 3,0 m
- The general building line exemptions of 16.1 apply

Building Lines within the development

- The street building lines on internal roads are 1,0 m provided that garages must be set back at least 5,0 m from the kerb.
- Lateral and Rear building line is 1,0 m
- A garage may be constructed at 0 m on one internal side boundary and 0 m on the internal rear boundary, provided that the building does not occupy more than 50% of such internal side or rear boundary
- The general building line exemptions of the Overstrand Municipality Land Use Scheme, 2020 apply
- All relaxations of building lines will be subject to the pre-approval of the Building Committee and on the final approval or revised site development plan (SDP) or building plans with the local authority.
- Approximate building extent and coverage: One dwelling per stand with no loose standing outbuilding permissible with a maximum coverage and bulk percentages will be determined by the local authority.
- Vehicle access points to erven: This must be considered to ensure maximum safety and convenience to road users. The Architect must indicate the point of entry to the site for consideration and approval of the Building Committee. The most important consideration however is the aesthetic impact on the streetscape.
- Back yards/Laundry: Kitchen yards to be screened by walls 2m in height with no washing lines visible from street or adjacent properties.

2.2 Planning (2)

- Traditional sun control: Use of pergolas is encouraged to protect patios, large windows and doors from the sun.
- Outbuildings: Free standing outbuildings will not be allowed/ permitted, but an application to the HOA or BC can be lodged for comments and approval from the appointed architect.

2.2.2 Erven boundaries:

- Maximum site closure: Internal street boundary walls will not be permitted. Walls between the house and the side boundary should be set back as far as possible. These walls should not be higher than 1800mm in order to contain animals, etc. Pre- cast boundary walls will not be permitted.

2.2.3 Estate boundary:

- Treatment of perimeter: A green “living wall” will be constructed by the developer on the boundary of R 326 and on all other perimeters “clearvu” fencing will be erected, to provide adequate security and an aesthetic definition to the estate’s boundaries.

2.2.4 Landscaping:

- Formal planting: The developer will provide landscaping to the entrance gate area, boundary wall and central focus points to match and suit the style of the development. The developer will extend landscaping to other open space areas as building of houses progress. HOA will maintain this. The homeowner must consider these elements in the landscape design of his erf after taking ownership of his/her property.

2.2 Planning (3)

2.2.5 Water features:

- Water features might be provided at certain focal points and will be maintained by the HOA.

2.2.6 Streets:

- All internal roads will be provided by the developer and will have a suitable hardwearing surface to match the style of the development. Entrance to the erven are the responsibility of the homeowner in accordance with the paving specifications.

2.2.7 Storm water drainage:

- Storm water collected on the internal roads will be disposed of as per Local Authority requirements and as per Engineers layout and design.

2.2.8 Water reticulation:

- A pipe network will be provided with the individual municipal stand connections and adequate provision for fire protection. Owner to purchase water meter through HOA.

2.2.9 Sewerage:

- All stands will be connected to a piped sewerage reticulations system at the lowest point of each property.

2.3 Type of Dwellings

Concept Elevations (Street View):



Type A1: Concept Elevation



Type C1: Concept Elevation



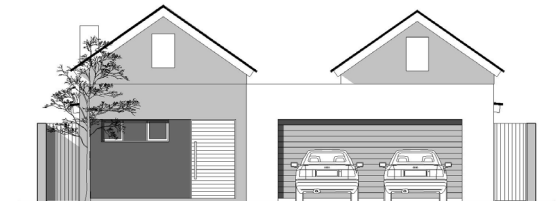
Type D: Concept Elevation



Type A2: Concept Elevation



Type C2: Concept Elevation



Type E1: Concept Elevation



Type B: Concept Elevation



Type E2: Concept Elevation

2.4 Erven Sizes (1):

- Erf/ Portion: **01** – Residential (**210 m²**)
- Erf/ Portion: **02** – Residential (**210 m²**)
- Erf/ Portion: **03** – Residential (**210 m²**)
- Erf/ Portion: **04** – Residential (**210 m²**)
- Erf/ Portion: **05** – Residential (**210 m²**)
- Erf/ Portion: **06** – Residential (**210 m²**)
- Erf/ Portion: **07** – Residential (**210 m²**)
- Erf/ Portion: **08** – Residential (**210 m²**)
- Erf/ Portion: **09** – Residential (**210 m²**)
- Erf/ Portion: **10** – Residential (**210 m²**)
- Erf/ Portion: **11** – Residential (**210 m²**)
- Erf/ Portion: **12** – Residential (**210 m²**)
- Erf/ Portion: **13** – Residential (**210 m²**)
- Erf/ Portion: **14** – Residential (**210m²**)
- Erf/ Portion: **15** – Residential (**220 m²**)
- Erf/ Portion: **16** – Residential (**220 m²**)
- Erf/ Portion: **17** – Residential (**220 m²**)
- Erf/ Portion: **18** – Residential (**220 m²**)
- Erf/ Portion: **19** – Residential (**220 m²**)
- Erf/ Portion: **20** – Residential (**219 m²**)
- Erf/ Portion: **21** – Residential (**219 m²**)
- Erf/ Portion: **22** – Residential (**220 m²**)
- Erf/ Portion: **23** – Residential (**221 m²**)
- Erf/ Portion: **24** – Residential (**263 m²**)
- Erf/ Portion: **25** – Residential (**226 m²**)
- Erf/ Portion: **26** – Residential (**226 m²**)
- Erf/ Portion: **27** – Residential (**226 m²**)
- Erf/ Portion: **28** – Residential (**226 m²**)
- Erf/ Portion: **29** – Residential (**226 m²**)
- Erf/ Portion: **30** – Residential (**226 m²**)



2.4 Erven Sizes (2):

Erf/ Portion: **31** – Residential (**226 m²**)
 Erf/ Portion: **32** – Residential (**224 m²**)
 Erf/ Portion: **33** – Residential (**216 m²**)
 Erf/ Portion: **34** – Residential (**220 m²**)
 Erf/ Portion: **35** – Residential (**220 m²**)
 Erf/ Portion: **36** – Residential (**221 m²**)
 Erf/ Portion: **37** – Residential (**234 m²**)
 Erf/ Portion: **38** – Residential (**224 m²**)
 Erf/ Portion: **39** – Residential (**221 m²**)
 Erf/ Portion: **40** – Residential (**221 m²**)
 Erf/ Portion: **41** – Residential (**215 m²**)
 Erf/ Portion: **42** – Residential (**232 m²**)
 Erf/ Portion: **43** – Residential (**232 m²**)
 Erf/ Portion: **44** – Residential (**229 m²**)
 Erf/ Portion: **45** – Residential (**226 m²**)
 Erf/ Portion: **46** – Residential (**224 m²**)
 Erf/ Portion: **47** – Residential (**219 m²**)
 Erf/ Portion: **48** – Residential (**218 m²**)
 Erf/ Portion: **49** – Residential (**215 m²**)
 Erf/ Portion: **50** – Residential (**212 m²**)
 Erf/ Portion: **51** – Residential (**261 m²**)
 Erf/ Portion: **52** – Residential (**251 m²**)
 Erf/ Portion: **53** – Residential (**216 m²**)
 Erf/ Portion: **54** – Residential (**218 m²**)
 Erf/ Portion: **55** – Residential (**220 m²**)
 Erf/ Portion: **56** – Residential (**222 m²**)
 Erf/ Portion: **57** – Residential (**224 m²**)
 Erf/ Portion: **58** – Residential (**226 m²**)
 Erf/ Portion: **59** – Residential (**228 m²**)
 Erf/ Portion: **60** – Residential (**230 m²**)

Erf/ Portion: **61** – Residential (**232 m²**)
 Erf/ Portion: **62** – Residential (**229 m²**)
 Erf/ Portion: **63** – Residential (**211 m²**)
 Erf/ Portion: **64** – Residential (**213 m²**)
 Erf/ Portion: **65** – Residential (**215 m²**)
 Erf/ Portion: **66** – Residential (**212 m²**)
 Erf/ Portion: **67** – Residential (**212 m²**)
 Erf/ Portion: **68** – Residential (**212 m²**)
 Erf/ Portion: **69** – Residential (**212 m²**)
 Erf/ Portion: **70** – Residential (**211 m²**)
 Erf/ Portion: **71** – Residential (**212 m²**)
 Erf/ Portion: **72** – Residential (**211 m²**)
 Erf/ Portion: **73** – Residential (**212 m²**)
 Erf/ Portion: **74** – Residential (**212 m²**)
 Erf/ Portion: **75** – Residential (**212 m²**)
 Erf/ Portion: **76** – Residential (**266 m²**)
 Erf/ Portion: **77** – Residential (**376 m²**)
 Erf/ Portion: **78** – Residential (**352 m²**)
 Erf/ Portion: **79** – Residential (**313 m²**)
 Erf/ Portion: **80** – Residential (**313 m²**)
 Erf/ Portion: **81** – Residential (**313 m²**)
 Erf/ Portion: **82** – Residential (**313 m²**)
 Erf/ Portion: **83** – Residential (**315 m²**)
 Erf/ Portion: **84** – Residential (**314 m²**)
 Erf/ Portion: **85** – Residential (**314 m²**)
 Erf/ Portion: **86** – Residential (**315 m²**)
 Erf/ Portion: **87** – Residential (**315 m²**)
 Erf/ Portion: **88** – Residential (**315 m²**)
 Erf/ Portion: **89** – Residential (**315 m²**)
 Erf/ Portion: **90** – Residential (**315 m²**)



Erf/ Portion: **91** – Residential (**313 m²**)

Erf/ Portion: **92** – Open Space (**3734 m²**)
 Erf/ Portion: **93** – Open Space (**892 m²**)
 Erf/ Portion: **94** – Open Space (**1091 m²**)
 Erf/ Portion: **95** – Open Space (**207 m²**)
 Erf/ Portion: **96** – Open Space (**182 m²**)

Erf/ Portion: **97** – Road (**3284 m²**)
 Erf/ Portion: **98** – Road (**2945 m²**)
 Erf/ Portion: **99** – Road (**1222 m²**)

2.5 Building Lines (1):

Five concept layout types on the property relevant to certain erven (Type A – E) are proposed:

Type A1 & A2:

Erf/ Portion: **01 – 14**

Street: 1,0m

Common Lateral Boundary: 1m

Common : 1m – 3m

Garage: 3.5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m

Type A1 & A2:

Erf/ Portion: **15 – 23**

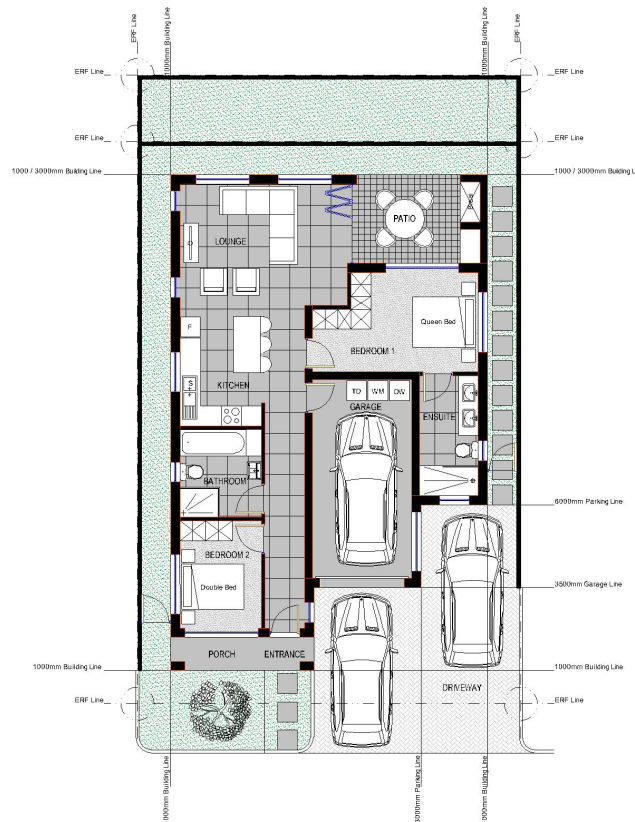
Street: 1,1m

Common Sides: 1m

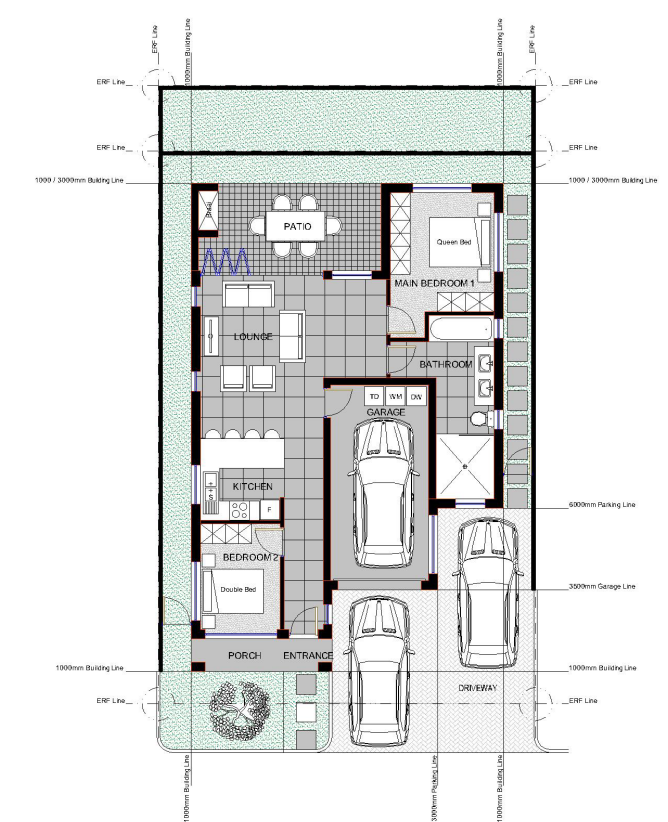
Common Back (Boundary): 3m

Garage: 3.5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m



TYPE: A1 - Ground Floor Layout



TYPE: A2 - Ground Floor Layout

2.5 Building Lines (2):

Type B:

Erf/ Portion: **24 – 32**

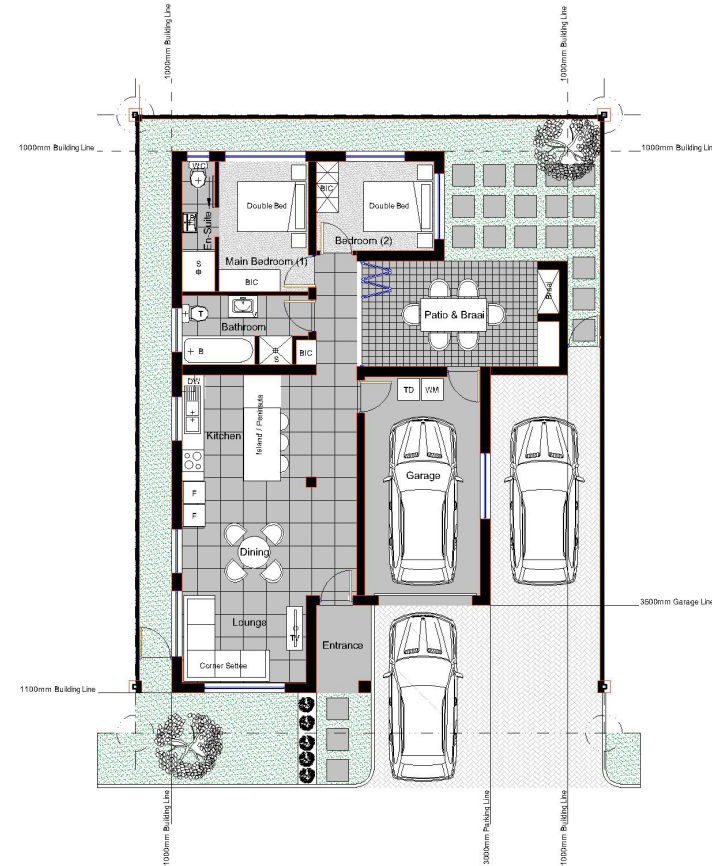
Street: 1,0m

Common Sides: 1m

Common Back: 1m

Garage: 3,5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m



TYPE: B - Ground Floor Layout

2.5 Building Lines (3):

Type C:

Erf/ Portion: 33 – 64

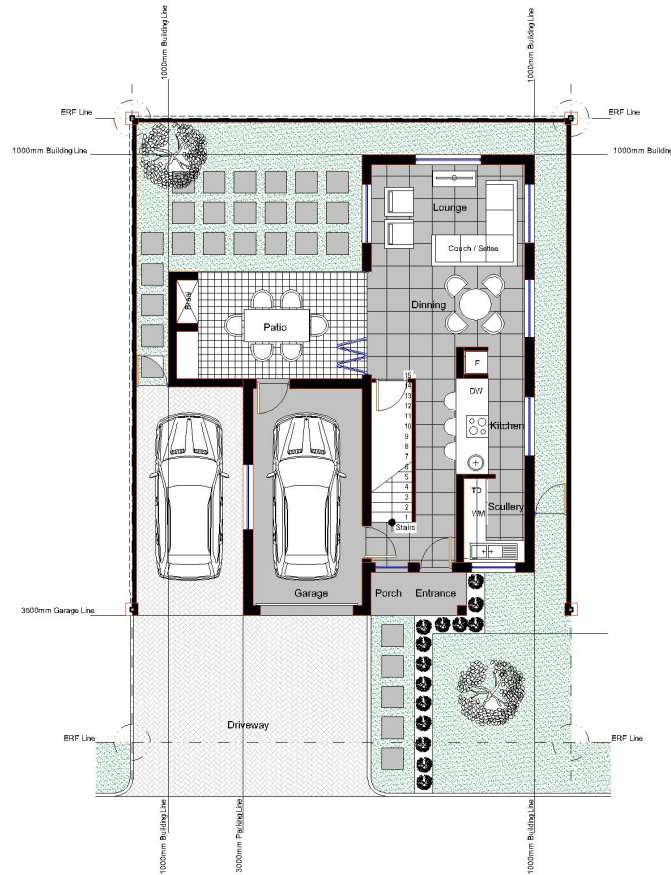
Street: 3,5m

Common Sides: 1m

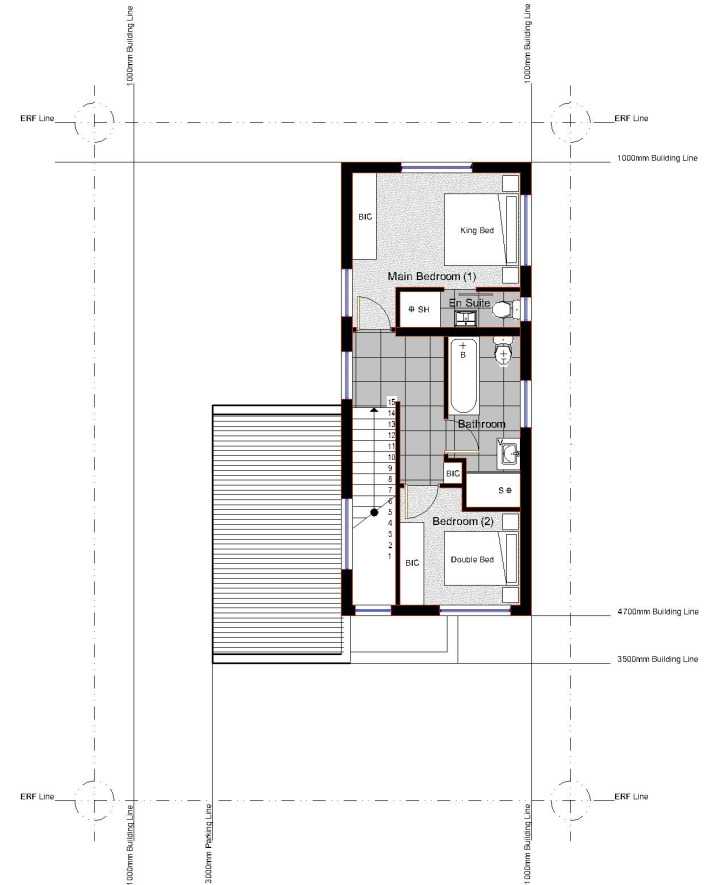
Common Back: 1m

Garage: 3,5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m



TYPE: C - Ground Floor Layout



TYPE: C - First Floor Layout

2.5 Building Lines (4):

Type D:

Erf/ Portion: **65 – 76**

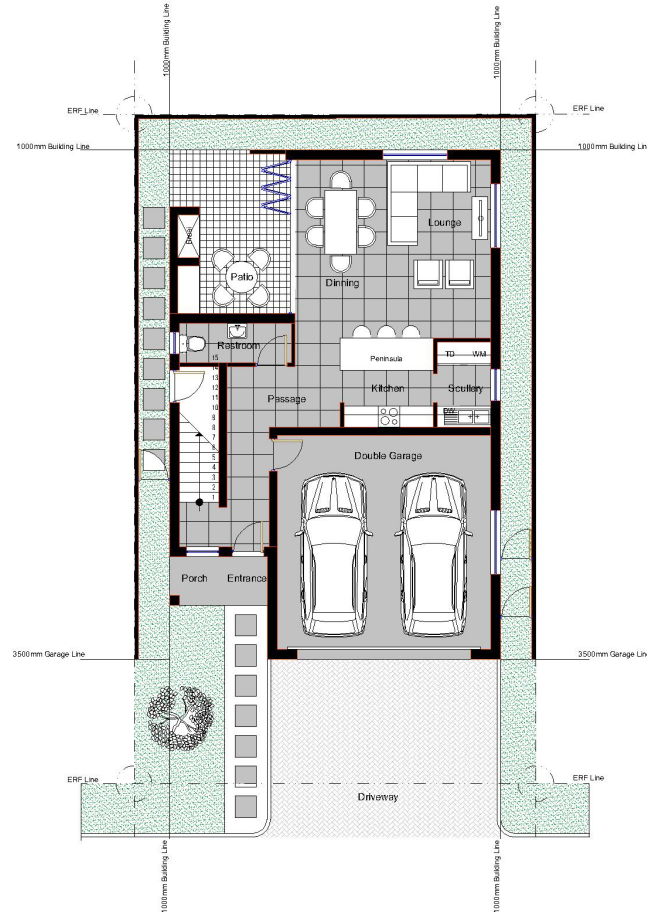
Street: 3,5m

Common Sides: 1m

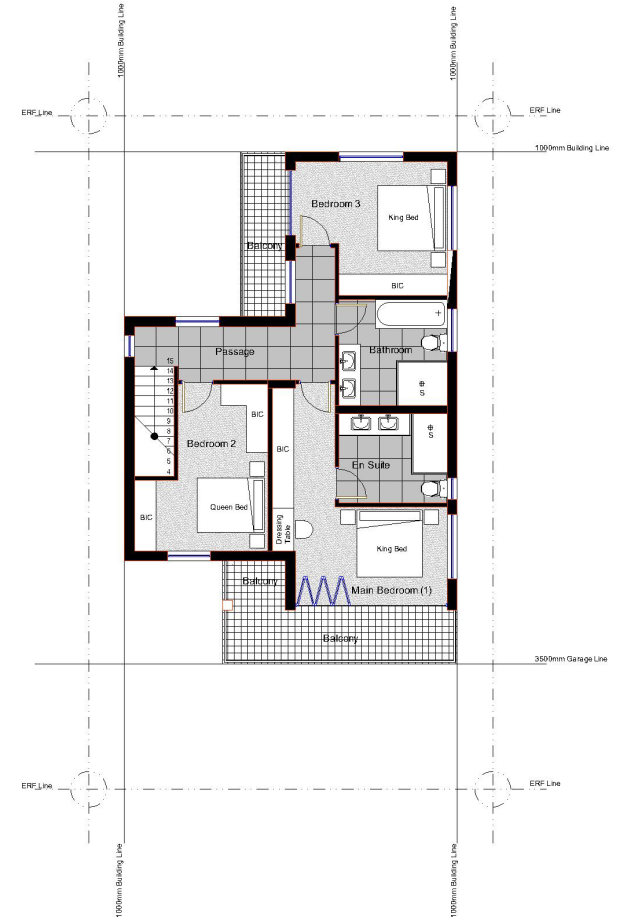
Common Back: 1m

Garage: 3,5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m



TYPE: D - Ground Floor Layout



TYPE: D - First Floor Layout

2.6 Building Lines (5):

Type E:

Erf/ Portion: 77 – 91

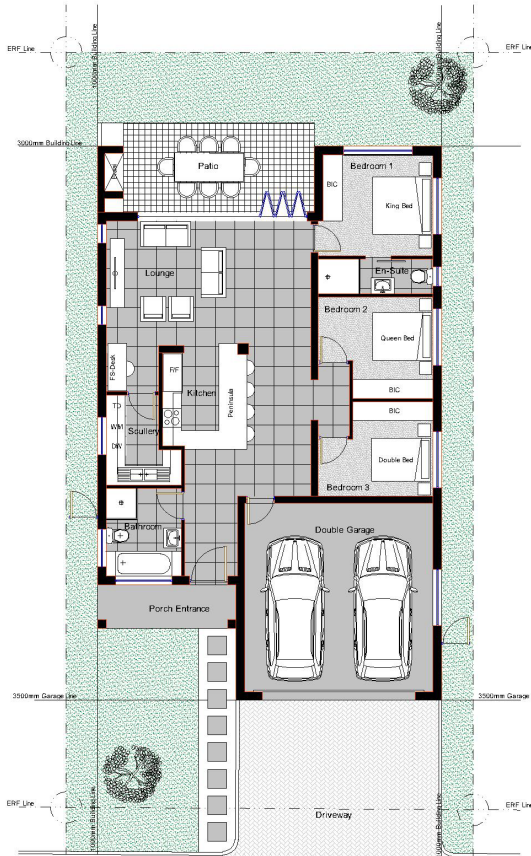
Street: 3,5m

Common Sides: 1m

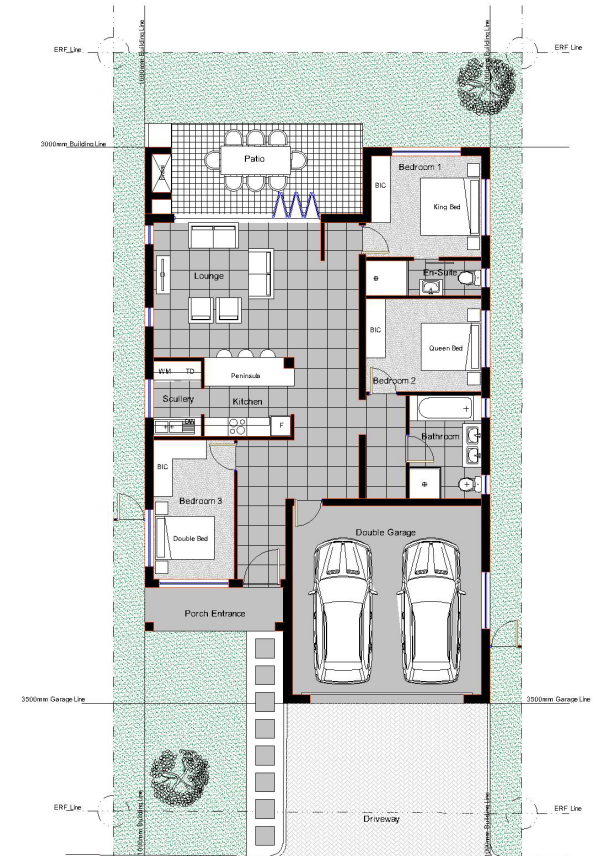
Common Back: 3m

Garage: 3,5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m



TYPE: E1 - Ground Floor Layout



TYPE: E2 - Ground Floor Layout

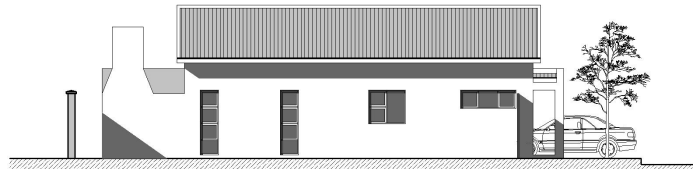
3.1 Concept Design - Elevations (1):

Concept elevations of the design style relevant to the types of dwellings in mind (Type A – D)
Street scape concept elevation has been provided earlier in this document

3.1.1 Type A1 & A2 (Different cable roof options):



TYPE: A1 – Concept Back Elevation



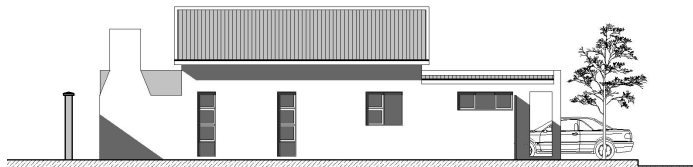
TYPE: A1 – Concept Side Elevation



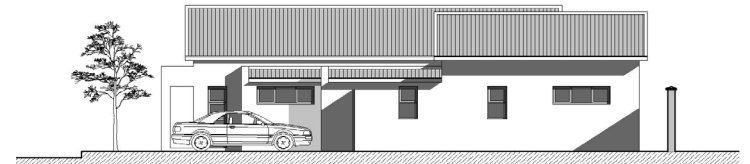
TYPE: A1 – Concept Side Elevation



TYPE: A2 – Concept Back Elevation



TYPE: A2 – Concept Side Elevation



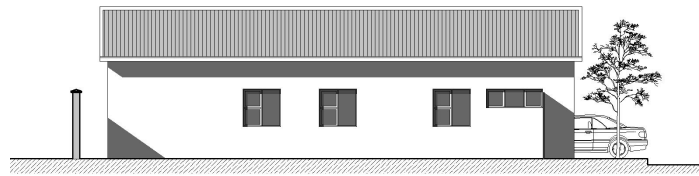
TYPE: A2 – Concept Side Elevation

3.1 Concept Design - Elevations (2):

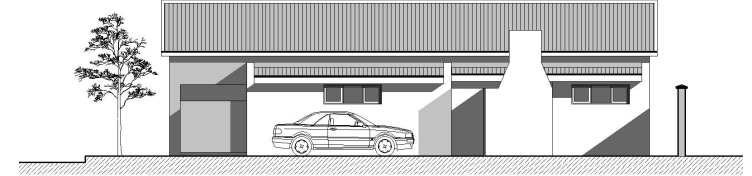
3.1.2 Type B:



TYPE: B – Concept Back Elevation



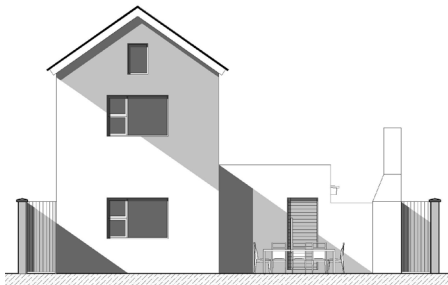
TYPE: B – Concept Side Elevation



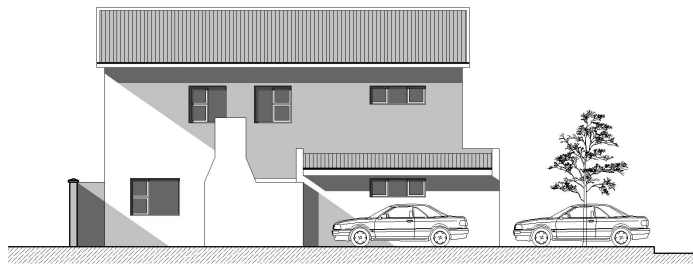
TYPE: B – Concept Side Elevation

3.1 Concept Design - Elevations (3):

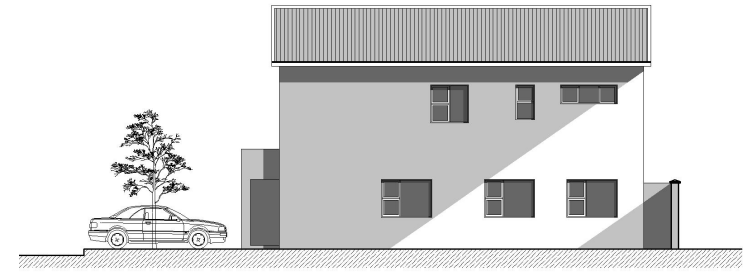
3.1.3 Type C1 & C2 (Different Layouts with different cable and hip roof options):



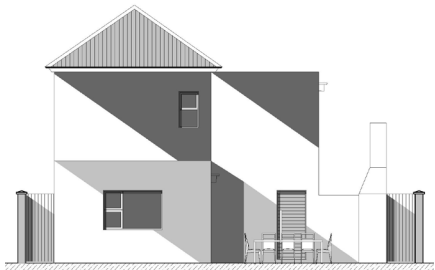
TYPE: C1 – Concept Back Elevation



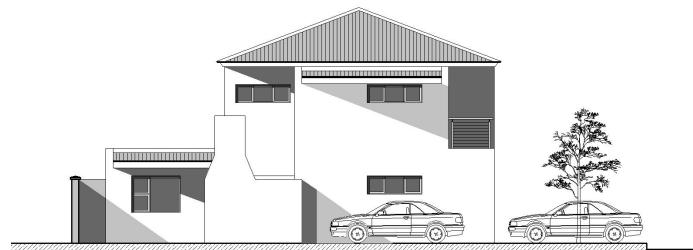
TYPE: C1 – Concept Side Elevation



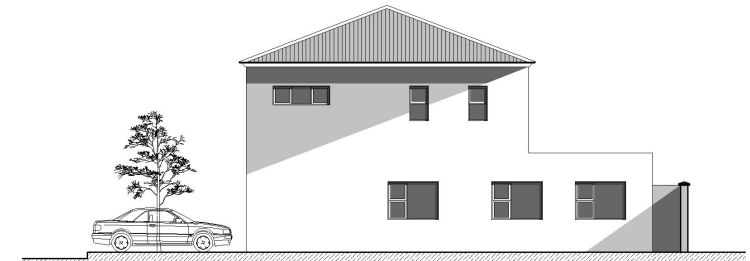
TYPE: C1 – Concept Side Elevation



TYPE: C2 – Concept Back Elevation



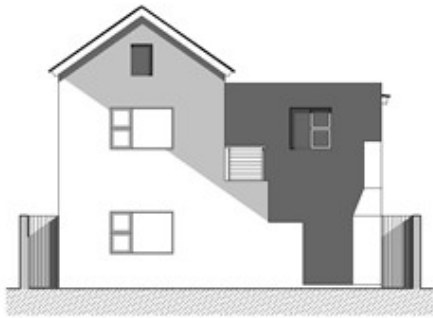
TYPE: C2 – Concept Side Elevation



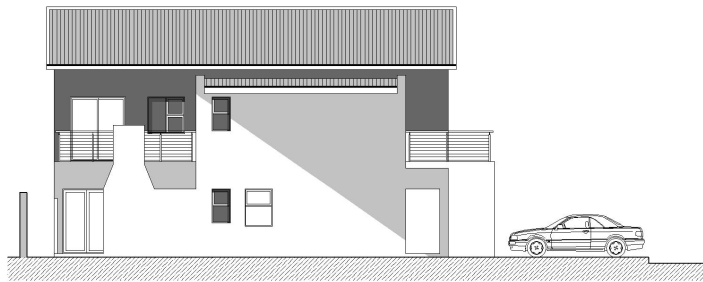
TYPE: C2 – Concept Side Elevation

3.1 Concept Design - Elevations (4):

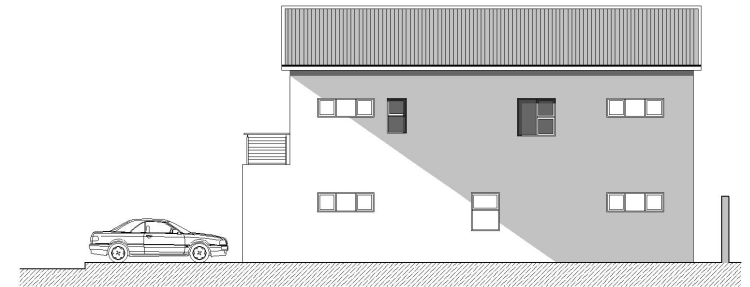
3.1.4 Type D:



TYPE: D – Concept Back Elevation



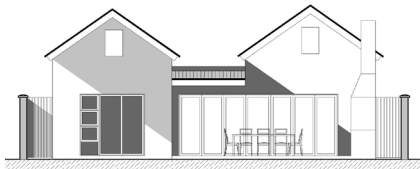
TYPE: D – Concept Side Elevation



TYPE: D – Concept Side Elevation

3.1 Concept Design - Elevations (5):

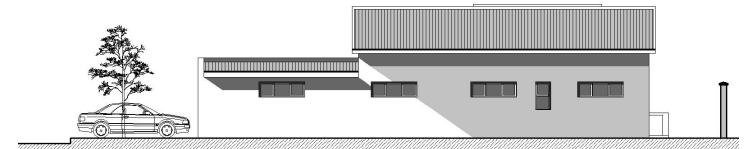
3.1.5 Type E1 & E2 (Different cable roof options):



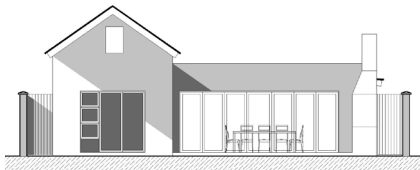
TYPE: E1 – Concept Back Elevation



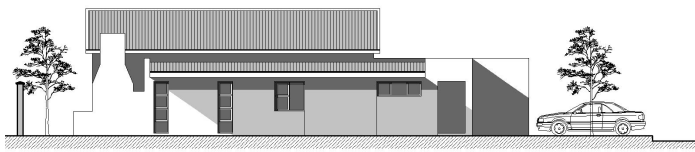
TYPE: E1 – Concept Side Elevation



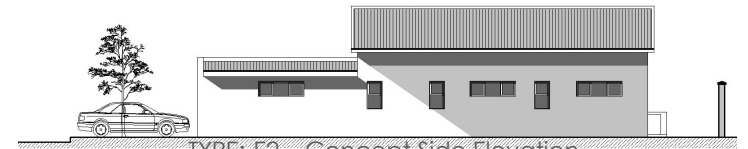
TYPE: E1 – Concept Side Elevation



TYPE: E2 – Concept Back Elevation



TYPE: E2 – Concept Side Elevation



TYPE: E2 – Concept Side Elevation

3.2 Design Manual (1):

Statement of architectural principles and style

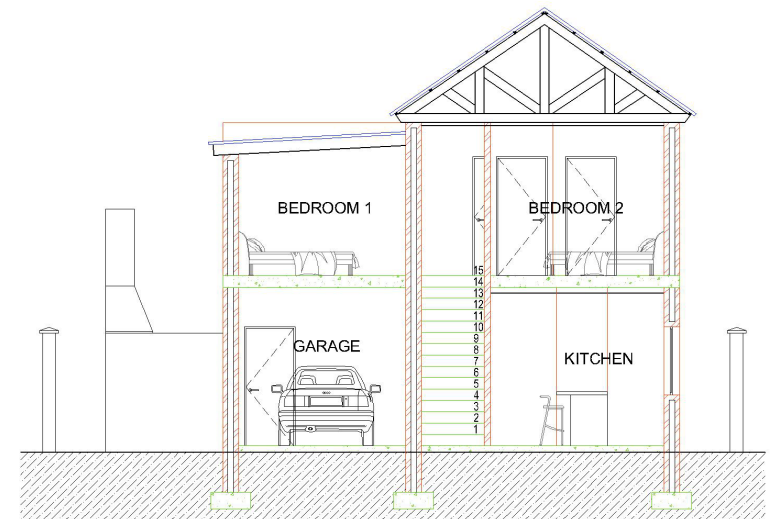
3.2.1: Typical elements:

- The purpose of this manual is to serve as a guideline in identifying certain elements.
- Smooth plastered walls painted as per approved spec/ sample with style bound relevant copings and plaster details, anodized/powder coated aluminium framed (colour as per approved spec/ sample) windows and doors, hard wood pergola structures are typical characteristics of the style.
- Foot paths and landscaping are provided by the developer on open space areas.

General design principles- major elements

3.2.2: Roofs:

- Roofs shall be double pitched and coincide with major plan elements. The roof pitch shall be symmetrical about the ridges and have a slope between 15 and 45 degrees. Roofs less than 15 degrees shall be behind Parapets, which are extensions of main walls (lean too). Flat roofs are permitted only when parapet walls become the main decorative feature. No concrete roofs and other flat roofs will be permitted. If there are roofs not concealed behind parapets it shall be corrugated sheet metal roof covering colour charcoal or approved spec/ sample.



3.2 Design Manual (2):

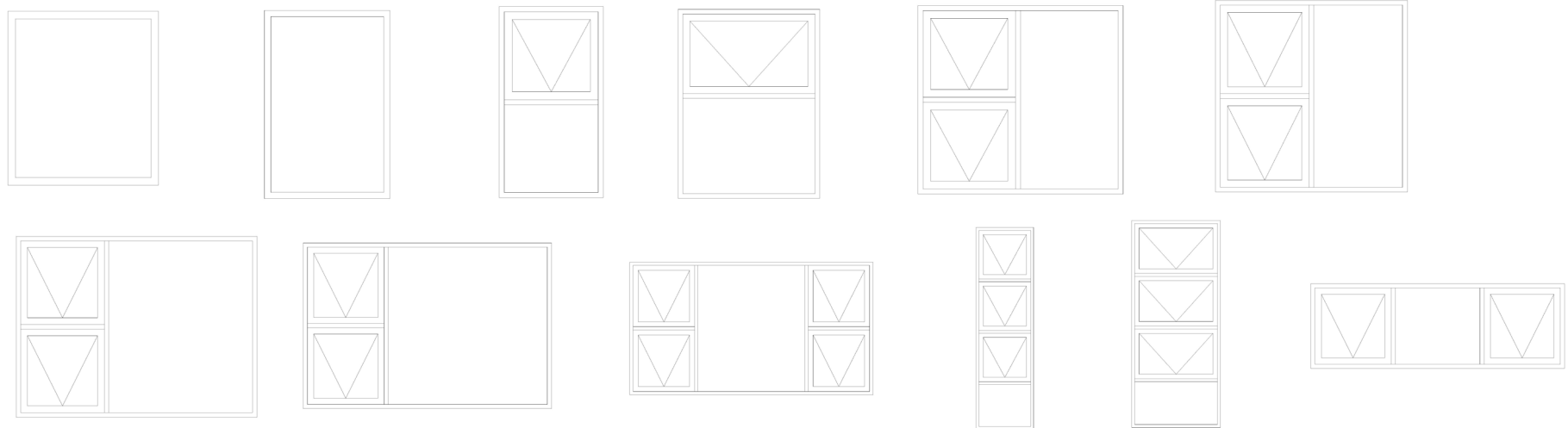
3.2.3: Walls:

- All houses will be constructed in brick and no roughcast concrete, concrete blocks and so-called innovative building concepts will be allowed.
- Walls shall be:
 - Flushed joined brick work with smooth or approved plaster colour white.
 - Style bound smooth plastered copings and plaster details. Bagged plaster to stone walls, colour as per approved spec/ sample.
 - Limited natural stone cladding will be allowed but not necessarily a standard feature.

3.2 Design Manual (3):

3.2.3: Windows:

- Position and proportions of the windows are important and careful consideration to the application should be given. Windows shall at least be square or have vertical/ horizontal proportion as per relevant style as indicated on sketches in this manual. (see below). The use of sash windows will be encouraged. Hard wood louvers to form part of an additional option to be considered. The use of winblocks, free from styles, mirror glazed and coloured glass will not be permitted.
- Windows will be made of anodized/powder coated aluminium framed (colour as per approved spec/ sample) . Steel and other materials such as concrete and PVC will not be permitted.
- External burglar bars are not permitted.

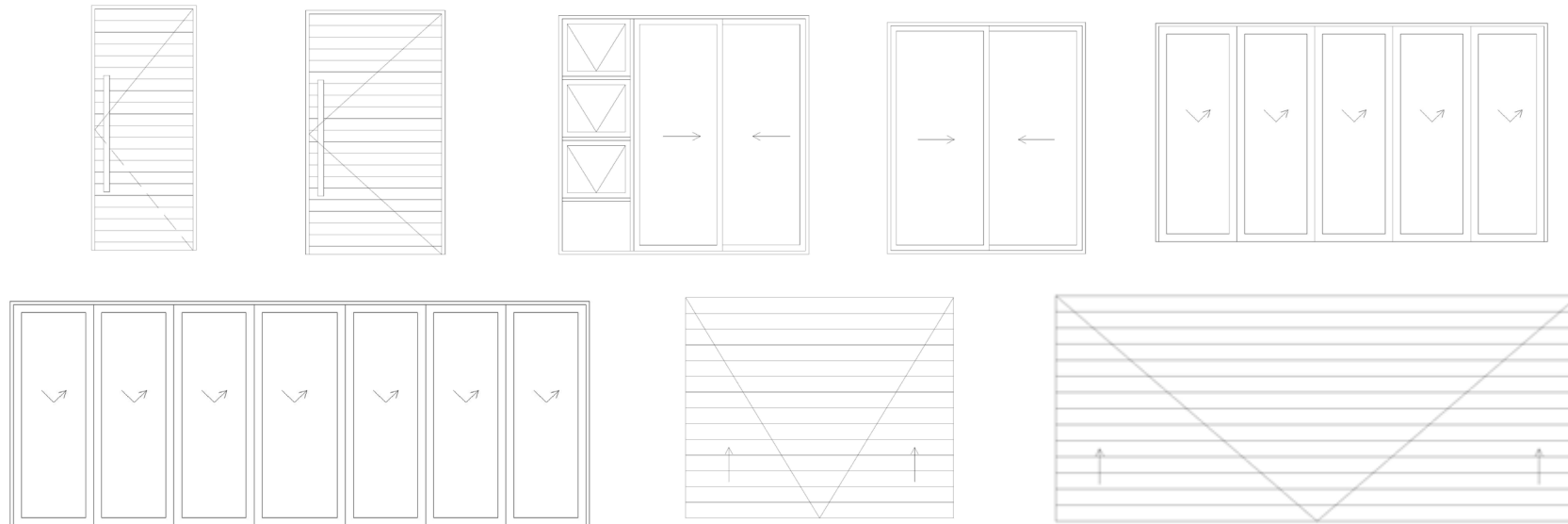


If aluminium windows are to be used it must have a full pane configuration. (see figure 11)

3.2 Design Manual (4):

3.2.4: Doors: Doors:

- Will be constructed of anodized/powder coated aluminium framed (colour as per approved spec/ sample) or similar approved with glazing as per relevant styles. In the case of glazed doors, the vertical styles will not be less than 100mm wide. Sliding and stacking doors to be the same as glazed doors. Refer to attached elevation perspectives and sketches in this manual.
- Garage doors will be constructed in the same material as windows with the horizontal slatted pattern.
- No trellidor type expanding security doors will be permitted externally.



If aluminium doors are to be used it must have a full pane configuration. (see figure 13 above)

3.2 Design Manual (5):

3.2.5: External balustrades:

- A combination of steel with hard wood grab rails will be permitted. Solid panelling in glass, metal or other sheet products will not be permitted. The design of all entrance balustrading and hand railing to be approved by the Building Committee. (see figure below)



Typical Balustrade Elevation

3.2.6: Paving:

- Only cobble pavers will be used and must match and compliment surrounding paving on sidewalks and internal roads by the developer. No concrete interlocking pavers will be permitted in public sight but will be considered inside/ back of the property.

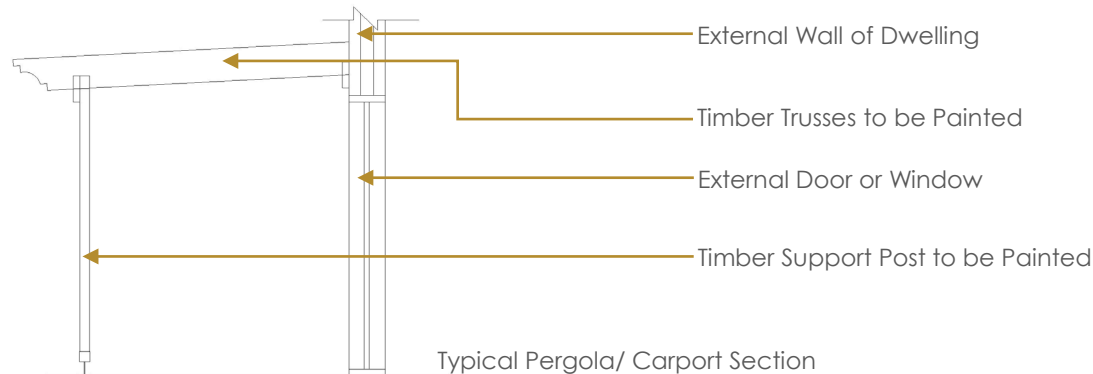
3.2.7: Porches, verandas and pergolas:

- Porches and pergolas to be constructed of hard wood and must form part and match style of house. Porches to open out on and face street façade. Not polycarbonate sheeting or similar lean-to structures will be permitted.

3.2 Design Manual (6):

3.2.8: Carports:

- Carports will be of similar material and construction as per pergolas and must blend in with the specific style of the house. Columns to be smooth plaster colour white ditto house wall finish.
- No curved carports made of shade netting or other screen cloth and no lean-to structures will be permitted.



3.2.9: Boundary walls and fences:

All boundary walls will be constructed in brick and or concrete blocks and no so-called innovative building concepts will be allowed.

Boundary walls shall be:

- Flush jointed brick work with smooth plaster or approved bagging colour white.
- Smooth plastered copings and plaster details colour white.
- Pre-cast boundary walls will not be permitted.

3.2 Design Manual (7):

3.2.10: Swimming pools:

- Any swimming pool to be constructed to the specifications of the Building Committee which include the following:
- Composition of the construction material thoroughly tested and accepted by the industry for such construction.
- Fencing of a pool area on the street frontage must be in harmony with the architectural design of the dwelling. No typical sparrred steel swimming fencing will be permitted.
- Any pool area accessible from public areas must be provided with a childproof gate.

3.2.11: Gutters and waterspouts:

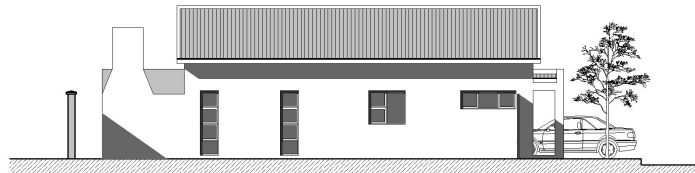
- PVC and aluminium will be permitted no fibre cement gutters, down pipes or waterspouts will be allowed.

3.2 Design Layouts (8):

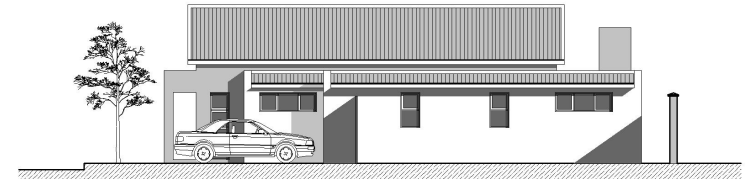
Type A1 & A2 (Different cable roof options):



TYPE: A1 – Concept Back Elevation



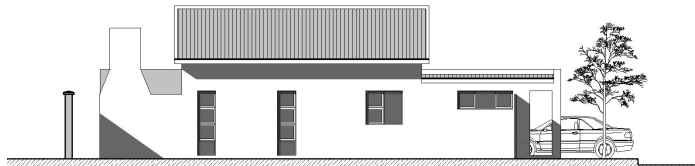
TYPE: A1 – Concept Side Elevation



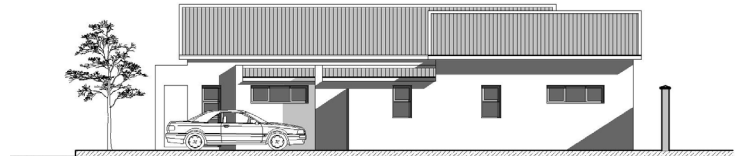
TYPE: A1 – Concept Side Elevation



TYPE: A2 – Concept Back Elevation



TYPE: A2 – Concept Side Elevation



TYPE: A2 – Concept Side Elevation

Type B:

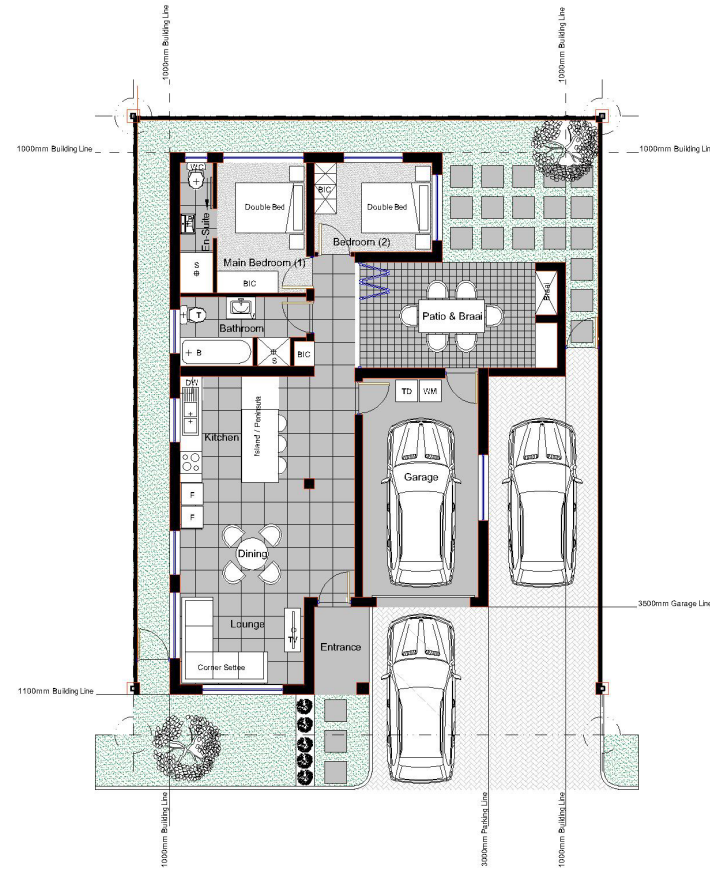
Street: 1,0m

Common Sides: 1m

Common Back: 1m

Garage: 3.5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m

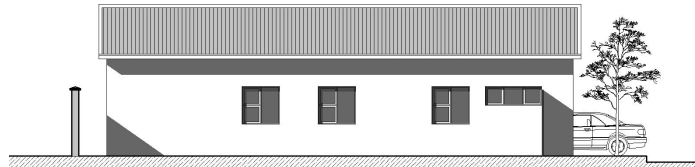


TYPE: B - Ground Floor Layout

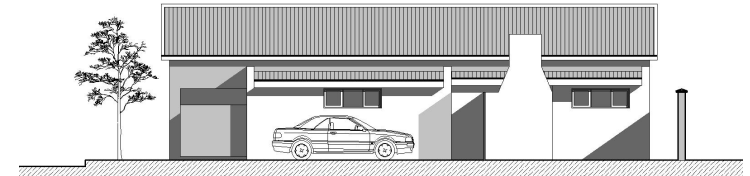
Type B:



TYPE: B – Concept Back Elevation



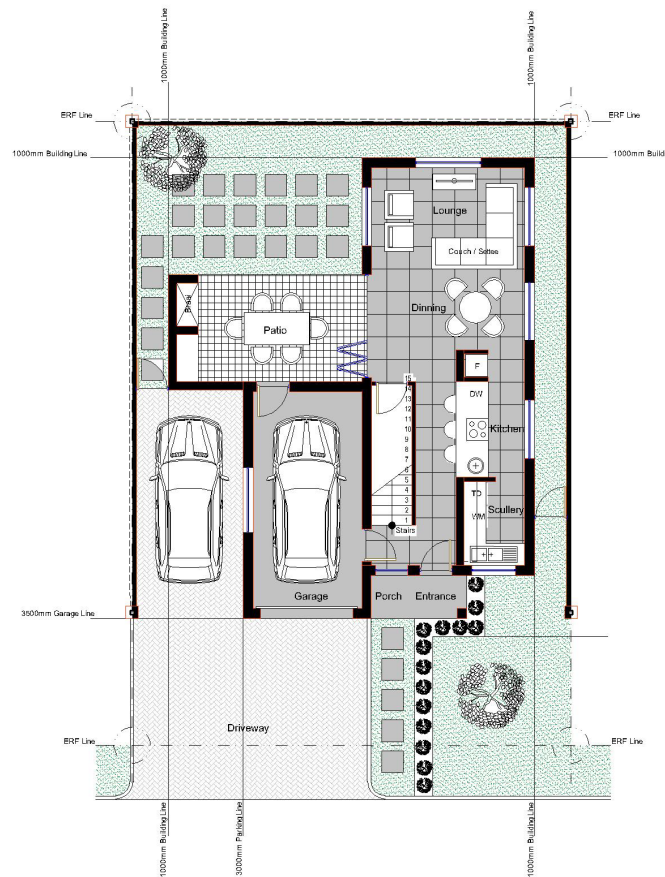
TYPE: B – Concept Side Elevation



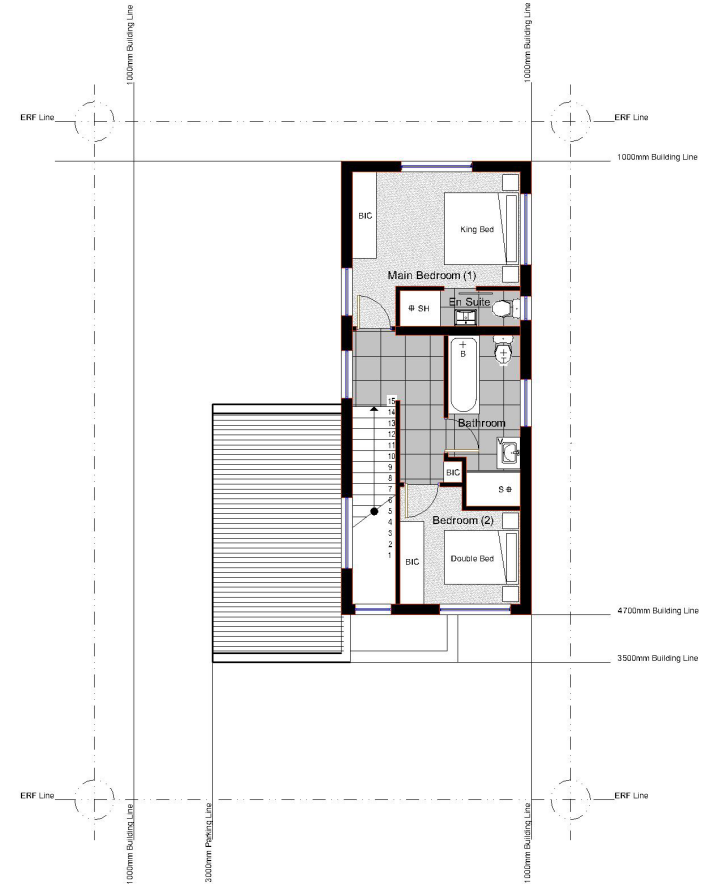
TYPE: B – Concept Side Elevation

Type C:

Street: 1m
 Common Sides: 1m
 Common Back: 1m
 Garage: 3.5m
 Parking: 1.5m (Public) + 3.5m (Garage Line) = 5m



TYPE: C - Ground Floor Layout

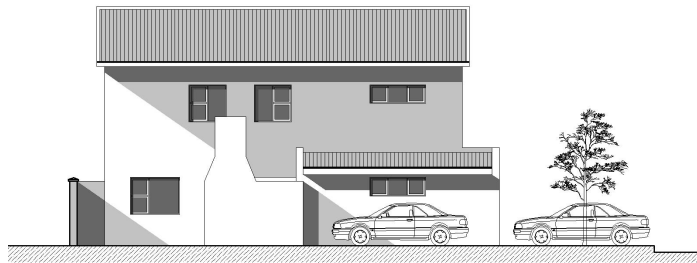


TYPE: C - First Floor Layout

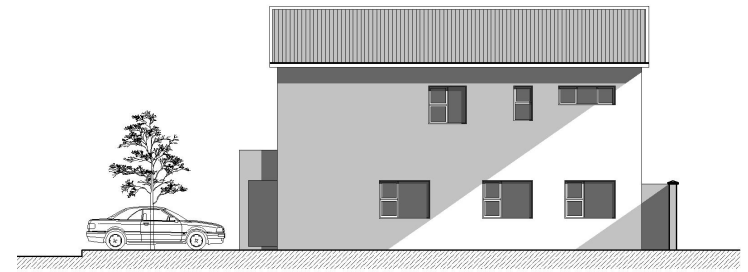
Type C1 & C2 (Different Layouts with different cable and hip roof options):



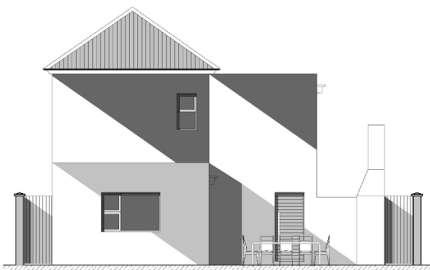
TYPE: C1 – Concept Back Elevation



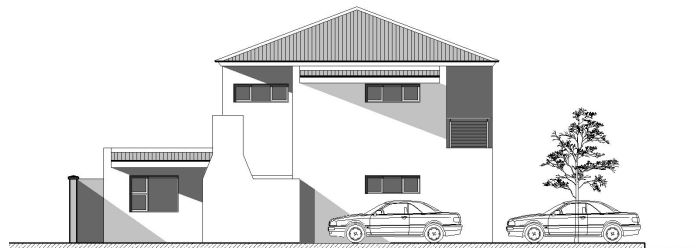
TYPE: C1 – Concept Side Elevation



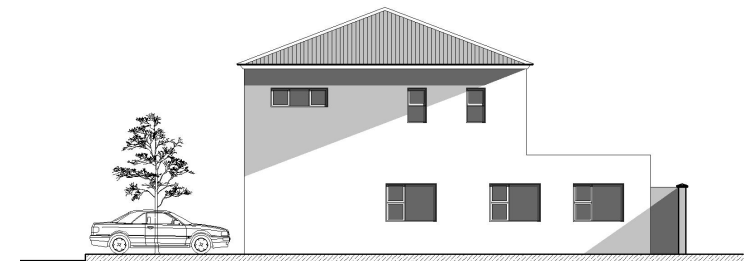
TYPE: C1 – Concept Side Elevation



TYPE: C2 – Concept Back Elevation



TYPE: C2 – Concept Side Elevation



TYPE: C2 – Concept Side Elevation

Type D:

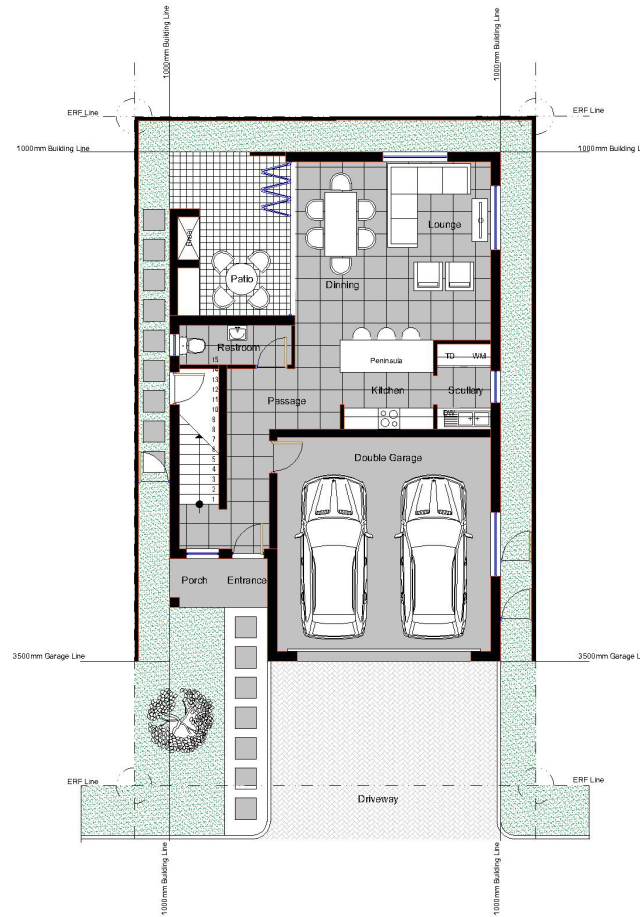
Street: 3,5m

Common Sides: 1m

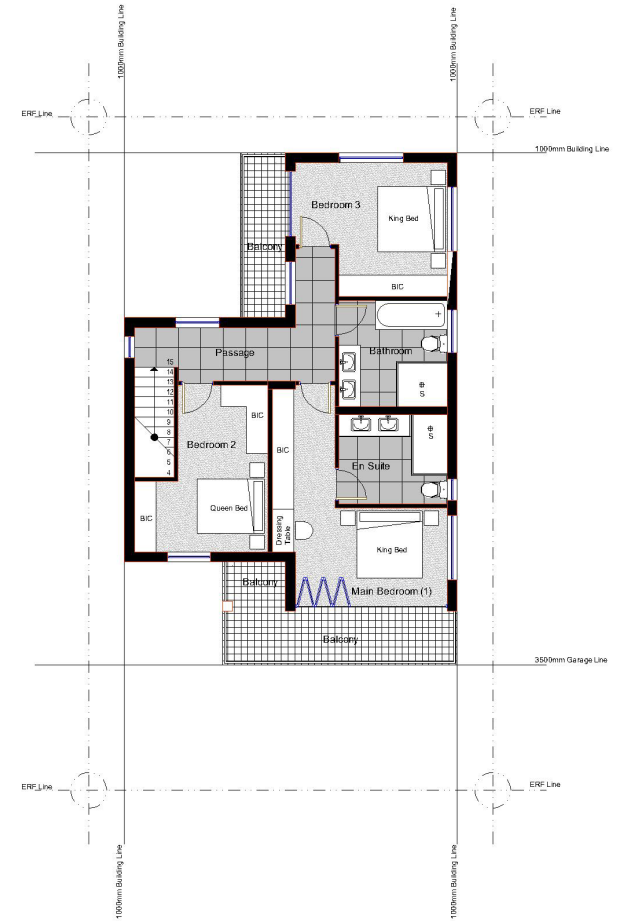
Common Back: 1m

Garage: 3,5m

Parking: 1,5m (Public) + 3,5m (Garage Line) = 5m



TYPE: D - Ground Floor Layout

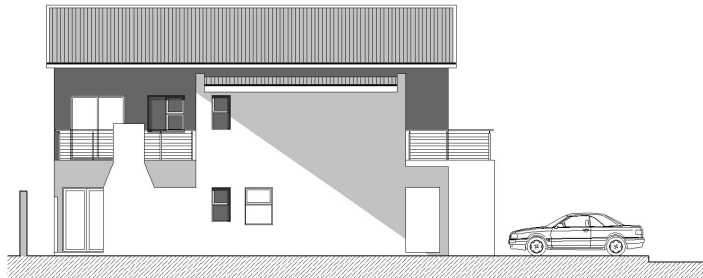


TYPE: D - First Floor Layout

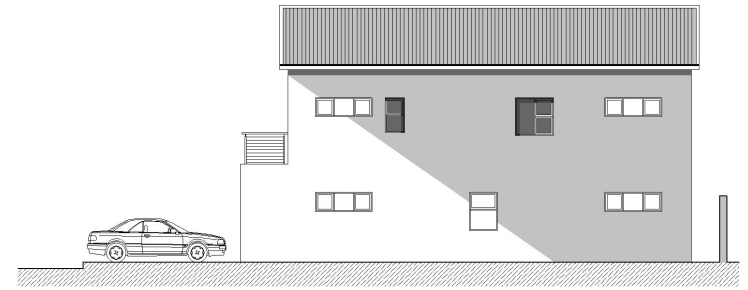
Type D:



TYPE: D – Concept Back Elevation



TYPE: D – Concept Side Elevation



TYPE: D – Concept Side Elevation

Type E:

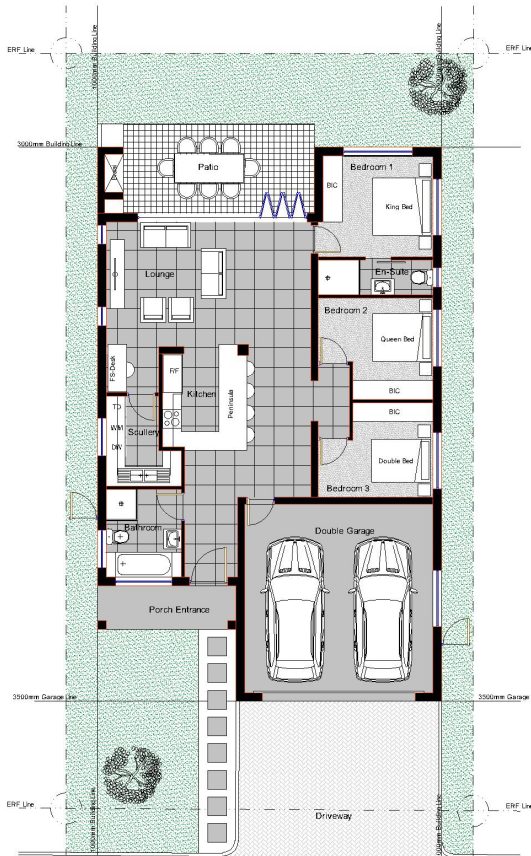
Street: 3,5m

Common Sides: 1m

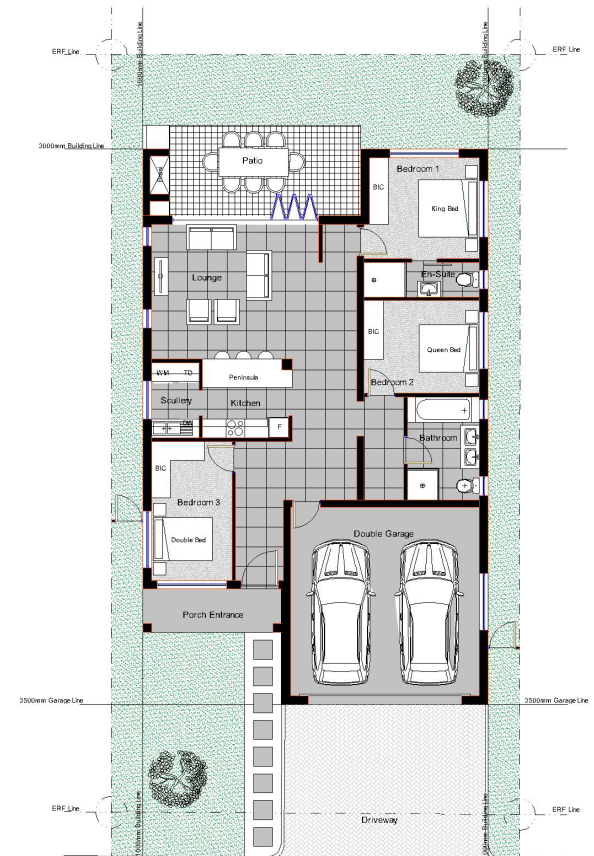
Common Back: 3m

Garage: 3.5m

Parking: 1.5m (Public) + 3,5m (Garage Line) = 5m

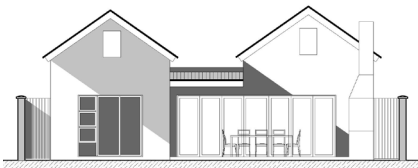


TYPE: E1 - Ground Floor Layout



TYPE: E2 - Ground Floor Layout

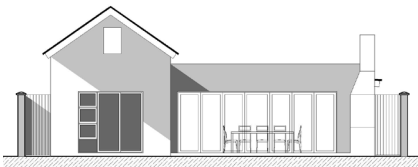
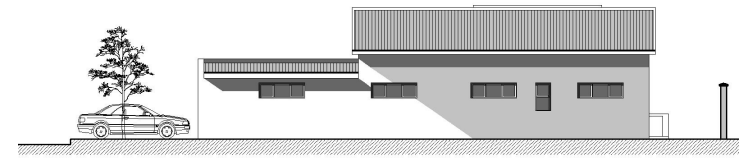
Type E1 & E2 (Different cable roof options):



TYPE: E1 – Concept Back Elevation



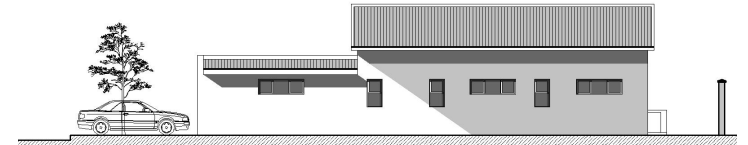
TYPE: E1 – Concept Side Elevation



TYPE: E2 – Concept Back Elevation



TYPE: E2 – Concept Side Elevation



TYPE: E2 – Concept Side Elevation

Prior and post Submission: (1)

The following must be adhered to before building plans will be considered for inspection:

4.1: Scrutiny Fees:

A plan scrutiny fee is payable on submission of plans to the appointed consulting architectural firm.

4.2: Performance Deposit:

A building performance deposit to the value of 1% (one percent) of the value of the building contract must be paid to the HOA and before construction commences and it will be held in trust (interest free) by the HOA.

4.3: Making Good:

The deposit amount will be used in the event of a breach of non-performance to remove rubble or make good any damage caused by the contractor or his sub-contractors or suppliers, including kerbing, landscaping, community services, roads, irrigation etc. and for any outstanding spot fines.

4.4: Occupancy:

The building performance deposit shall be released by the HOA subject to the submission to the architect and Local Authority's Certificate of Completion and Occupancy and shall only be refunded within 14 days once all of the above documents are correctly completed and submitted. The HOA is not to release the deposit without the approval stamp and signature of the HOA Architectural Consultant.

4.5: Record Keeping:

All plans necessary for Council approval must be submitted together with an extra rendered paper copy to be kept for record purposed by the HOA. Plan approval fees, is for the owners own account.

Prior and post Submission: (2)

4.6: The following items must be clearly shown on the plans:

- A fully coloured in site plan, plans and elevations.
- Area of dwelling including patios and outbuildings.
- Coverage (%).
- Correct building lines.
- All external finishes including colour specifications.
If colours and material/finished are not available for submission, a full colour palette to be submitted to the HOA prior to ordering of any relevant materials or finishes.
- Boundary wall/fence details including elevations.
- Drainage layout and how it will be concealed where visible to the roads.
- Position of the driveway and all paving on street facing sides of the property.

During Submission: (1)

The procedure is for both new plans and plans for the amendment or alterations to existing houses and structures. The Building Committee is comprised of two Trustees from the H.O.A. and the Controlling Architect who is responsible for the approval and signing-off of the plans. The Managing Agent to ensure fluent communication and an orderly system of documentation.

4.7: Notification:

A written notification must be submitted to the Managing Agent in order to register the intent. A short description and accompanying sketch to be included for initial evaluation.

4.8: Managing Agent:

The Managing Agent to acknowledge receipt and convene a meeting with the Building Committee within a period of 14 days in order to discuss and evaluate the proposal. The Controlling Architect to issue and document recommendations if necessary. The Managing Agent to notify the Home Owner/Applicant.

4.9: Home Owner:

The Home Owner/Applicant to submit complete drawings together with the prescribed Evaluation Fee to the Managing Agent for consideration by The Building Committee. Written notification of approval or revision will be issued by the Managing Agent to the Home Owner/Applicant within 14 days of receipt of the plans.

4.10: Revisions:

Any revision to be submitted together with a prescribed Revision Fee. The same procedure to be followed as with point 4.9 above.

During Submission: (2)

4.11: Approval:

On approval the Home Owner/Applicant will submit the Municipal Submission Plans to the Managing Agent. The Controlling Architect must sign all copies within 7 days. On collection by the Home Owner/Applicant or Representative, the Managing Agent to retain one copy on file.

4.12: Copies:

The Home Owner/Applicant to ensure that the Managing Agent receive a copy of the approved Municipal Plans for record keeping and future reference.

4.13: Changes:

Any changes or revisions of the approved plans are subjected to the submission procedure as detailed above. This will be for both cases during and after construction or completion.

4.14: Building Committee:

Should the Home Owner wish to erect, add or place any structure or item not required by the Municipal By-Laws as prerequisite for a building plan approval, an application must be submitted for approval by the Building Committee. This pertains to the following:

TV Antennas.

Air Conditioning units.

Garden structures and pergolas visible from the common area.

Security gates and garden fencing.

Security lighting and other items that might cause a disturbance to neighbours and other owners.

5.1 Intention of building rules:

- The objective of erf 1772, Stanford is the provision of a high quality lifestyle for residents, and the intention of these rules is for the protection of this lifestyle. The rules have been established in terms of the Constitution of erf 1772, Stanford HOA and are binding upon all Owners and Occupants of the Estate, as is any decision taken by the Trustees in interpreting these rules.
- The Registered Owners of the properties are responsible for ensuring that members of their families, tenants, friends, visitors, employees and contractors abide by these rules. These rules, as outlined below, must form part of the contractor's agreement.

5.2: Building Rules

5.2.1: No construction will be allowed without approved municipal plans.

5.2.2: Prior to construction, a builder's deposit (defined in the Constitution) is payable to the Managing Agent. This deposit is calculated at one percent (1,0%) of the contract value. The builders deposit will be released after final building completion and on final inspection of the pavement, roads, kerbs and structures adjacent to the stand.

5.2.3: Repair of any broken kerbs and changes as a result of the construction of driveways is the responsibility of the Home Owner and must be done to the satisfaction of the Building Committee.

5.2.4: Both the Home Owner and the Contractor are to sign this Development and Design Manual as well as the Estate Rules which will form part of the Contractors Agreement as referred to in the Constitution.

5.2.5: The Contractor will provide the Security Co-ordinator with a list of all sub-contractors and their employees who will need access authorization during the construction period.

5.2.6: All existing foundations and structures to be protected.

5.2.7: A temporary shed or container for materials and supplies may be used during the construction period, provided that it is immediately removed from the property on completion of the house. The placing and position of the structure to be approved by the Building Committee. The said store must also be approved by the Building Committee.

5.2.8: The Contractor to ensure at all times that reasonable measures are taken to prevent dust, noise effluent or waste pollution that may affect the adjacent properties.

5.2.9: A site toilet for the contractors must be provided for the building site and a service agreement must be provided to the Managing Agent. Under no circumstances will this toilet be linked to the internal sewer system.

5.2.10: Each Owner to ensure that all reasonable measures are taken to prevent damage to roads or pavements through any act or omission of the contractor on site. The size of trucks is to be limited as far as possible. Special arrangements to be made with the delivery of bulk concrete so that access and movement can be monitored in order to record damages. Any damages will be recovered directly from the owner and the Building Deposit will be retained for the purpose as set out above.

5.2.11: The Owner will also be responsible for any damages to plants on the sidewalks and other common areas, also including damage to Estate or other private property.

5.2.12: Construction activity is only allowed during the following hours:

08h00 to 17h00 on normal weekdays

No work on Saturdays

No work on Sundays and Public Holidays

5.2.13: Any overtime or work to be done outside the working hours need to be approved by the Building Committee.

5.2.14: Construction should not be interrupted for periods exceeding 10 (Ten) working days except for the prescribed statutory builder's holidays.

5.2.15: The construction period should not exceed 12 months and will be regulated as set out in the Constitution.

5.2.16: All Construction Signs must be removed from the stand within one week of completion of building activities.

5.2.17: All rubble and excess building materials must be removed from the stand within 2 weeks of completion of building activities. Failure to do so will result in having the HOA to do so for costs to the Home Owner.

6.1: This document is to be read in conjunction with:

- The Constitution of erf 1772, Stanford, Homeowners Association.
- The Regulations and Code of Conduct Governing "Building Contractor Activity".

6.2: This document is considered supplementary and does not take precedence over:

- Any claims in the sales agreement.
- Any statutory requirements.

6.3: The HOA:

- in evaluating the aesthetics of submissions will not take responsibility for technical, structural, health and safety standards or for non-compliance with any statutory requirements.

6.4: Final: Any decision by the HOA shall be final and binding on all parties.

6.5: Construction: The above document must be fully understood, and the contractor and owner undertake to comply with the above points, in addition to any further controls which may be instituted by the HOA of the developer from time to time in the form of a written notification and to ensure compliance by any subcontractors employed by the contractor, and any suppliers to wither contractors, subcontractors or owners.

6.6: Rental/ Renting: In the case where the property is sold or leased, the seller or lessor must ensure that the buyer or lessee receives a copy of these guidelines and that is binding on the buyer or lessee.

6.7 Compliance: These guidelines do not absolve the house owner from complying with the National Building Regulations and the requirements of the Local Authority. Approval of the drawings by the HOA does not absolve the owner from complying with the standards set by the Architectural Guidelines.

This architectural guidelines, or any part thereof, as contained herein, shall not be repealed or amended, and no new guidelines shall be made, save by a special resolution adopted at an Annual General Meeting or Special Meeting of the Members. Where any amendment or repealing affects the Council's interest, the Council needs to approve such an alteration to be effective and binding.