

**PORTFOLIO COMMITTEE :
INFRASTRUCTURE & PLANNING**

Chairperson :

Cllr E Gillion

Committee Members :

**Cllrs D Botha, J Orban,
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :
INFRASTRUKTUUR & BEPLANNING**

Voorsitter :

Rdl E Gillion

Komiteelede :

**Rdle D Botha, J Orban,
S Tebele & V Pungupungu**

INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE
INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE

19 October 2021

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**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

**1.
TOWN & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JULY 2021 – AUGUST
2021**

15/3/11

R Kuchar

Senior Manager : Town & Spatial Planning

23 August 2021

(028) 313 8900

1. Executive Summary

To report on applications disposed of by the Authorised Official and Municipal Planning Tribunal in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 22 July 2021 – 23 August 2021.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

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9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town and Spatial Planning.

RECOMMENDATION:

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 22 July 2021 – 23 August 2021:

1.	Erf 1234, 200 Main Road, Eastcliff, Hermanus	30 July 2021
2.	Remainder Erf 294, Stanford	30 July 2021
3.	Erf 1058, 16 William Avenue, Pringle Bay	30 July 2021
4.	Erf 3241, 16 Marine Drive, Kleinmond	30 July 2021
5.	Erf 4528, corner Third Street and First Avenue, Kleinmond	30 July 2021
6.	Erf 848, 28 High Street, Northcliff, Hermanus	30 July 2021
7.	Erf 1269, 287 Main Road, Eastcliff, Hermanus	19 August 2021
8.	Erf 422, 3 Raaswater Street, DeKelders	19 August 2021
9.	Erf 212, Kleinbaai	19 August 2021
10.	Erf 1210, Woodlands Road, Hawston	23 August 2021
11.	Erf 2969, 16 Disa Street, Onrustrivier	23 August 2021
12.	Erf 2179, 13 Frankolin Close, Vermont	23 August 2021
13.	Erf 1111, 63 Blue Crane Street, Hemel-en-Aarde Estate, Hermanus	23 August 2021
14.	Erf 5259, 21 Cambedo Avenue, Kleinmond	23 August 2021

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

11 NOVEMBER 2021

TARGET DATE TO INFORM APPLICANT :

N/A

TARGET DATE TO INFORM OBJECTOR :

N/A

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19 October 2021
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**1.
TOWN & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: JULY 2021 – AUGUST
2021**

15/3/11

R Kuchar

23 August 2021

Senior Manager : Town & Spatial Planning

(028) 313 8900

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON
19 OCTOBER 2021, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

11 NOVEMBER 2021

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Spatial Land Use Management Act (SPLUMA) Approvals

1. **ERF 1234, 200 MAIN ROAD, EASTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS JANE VISSER ARCHITECTS ON BEHALF OF VENKATESEN CHETTY OF EASTCLIFF PROPERTY HOLDINGS LIMITED**

1234 HEC

P Roux

21 April 2021

(028) 313 8900

Hermanus Administration

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) was received on 17 September 2020, complete application was received on 4 March 2021 from Messrs Jane Visser Architects on behalf of Venkatesen Chetty of Eastcliff Property Holdings Limited on Erf 1234, Hermanus, which departure include the relaxation of the western lateral building line from 2m to 0m to accommodate an existing garage being changed to an outdoor storage room.

RESOLVED :

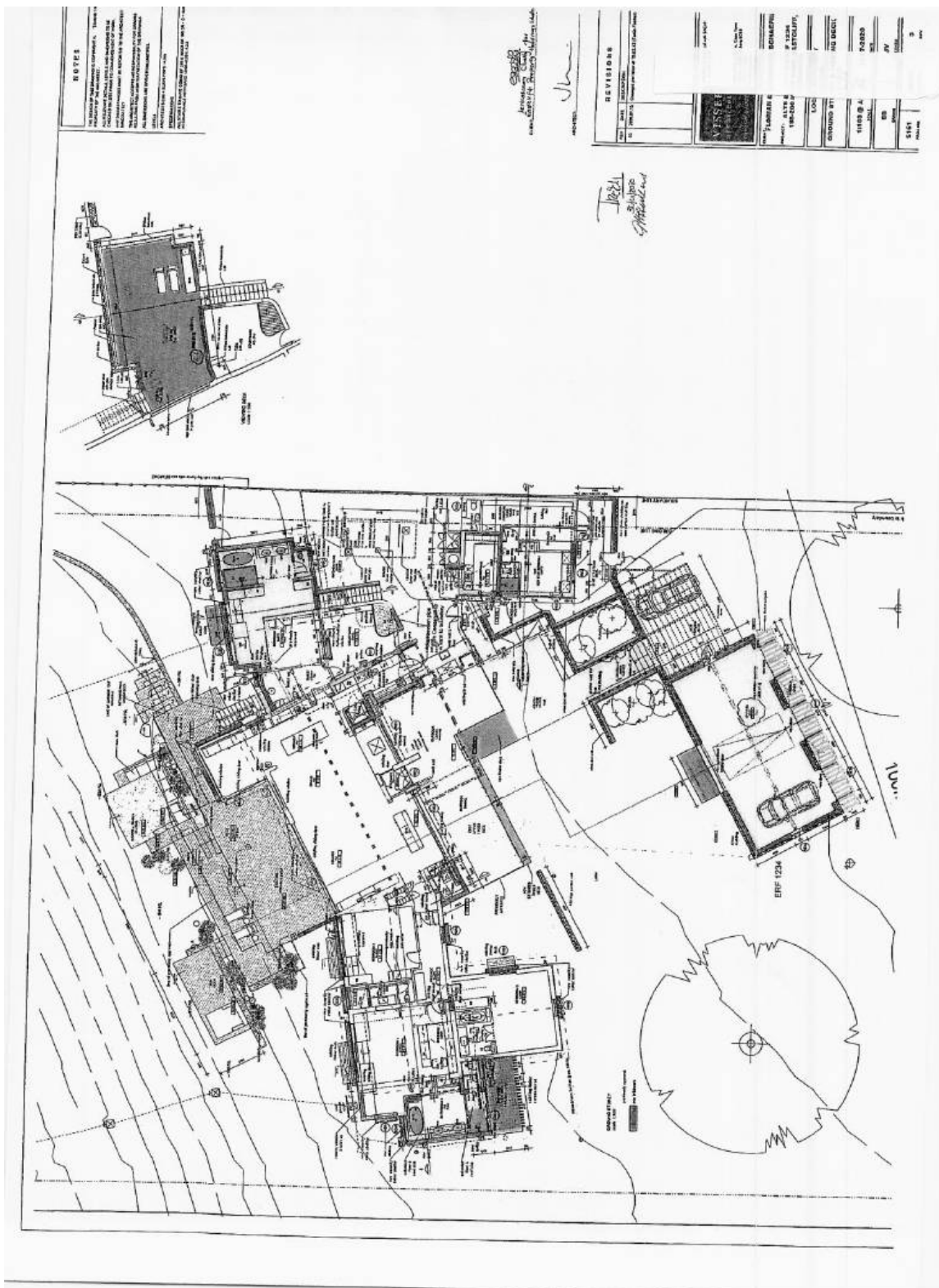
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 1234, Eastcliff in order to relax the eastern lateral building line from 2m to 0m **be approved**, subject to the following conditions:
 - (a) that this approval only relates to a building relaxation as indicated on the Site Plan dated 13-07-2022 as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that the conditions of Fire Services and Engineering Services, be adhered to;
 - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of

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the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above conditions of approval.

REASONS FOR RESOLUTION

- ❖ No objections were received from adjacent property owners.
- ❖ The application has followed due procedure.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ There will be no impact on services.
- ❖ None of the relevant departments have any objection.
- ❖ The proposed balcony will not impact the aesthetics of the surrounding area and will not impact the natural environment.
- ❖ The proposed balcony will not impact the traffic in Marine Drive as the balcony will be situated within the property and will not hang over into the road.
- ❖ On the opposite side of Marine Drive there are no home or property owners as the land belongs to the municipality.



NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.

9. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.

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Architect

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITTING
2	ISSUED FOR CONSTRUCTION
3	ISSUED FOR OCCUPANCY

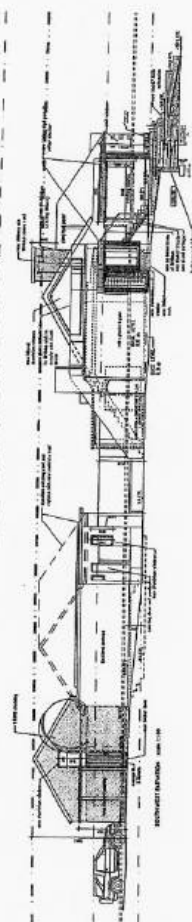
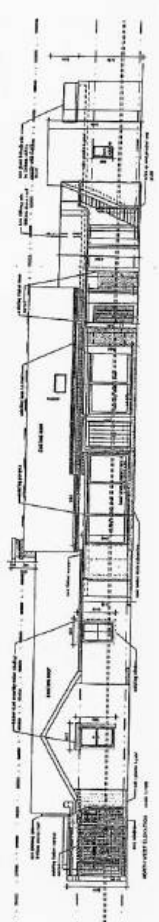
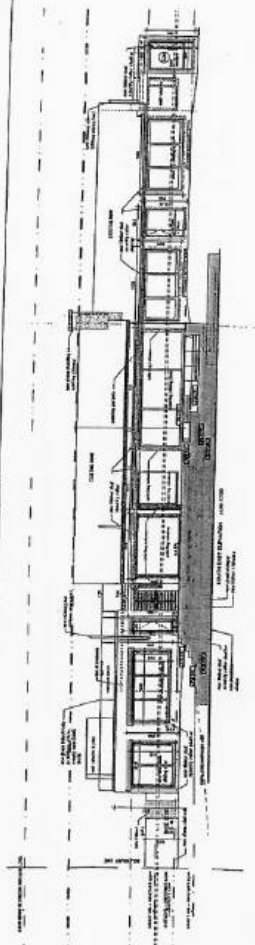
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DRAWN BY	ARCHITECT
CHECKED BY	ARCHITECT
DATE	ARCHITECT

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Architect

NOTES

PROPERTY OF ARCHITECT
 THIS DRAWING IS THE PROPERTY OF ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECT.
 ALL RIGHTS ARE RESERVED.
 ARCHITECT: [Signature]
 DATE: [Date]



REVISIONS
 NO. DATE DESCRIPTION
 1 10/10/2010 [Signature]

NO.	DATE	DESCRIPTION
1	10/10/2010	[Signature]

[Signature]

DATE: 10/10/2010

NOTES

1. ALL WORK TO BE ACCORDING TO THE SPECIFICATIONS AND DETAILS OF THE ARCHITECT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

7. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CHANGES AND REVISIONS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.

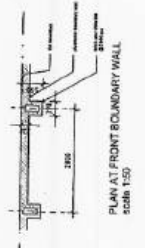
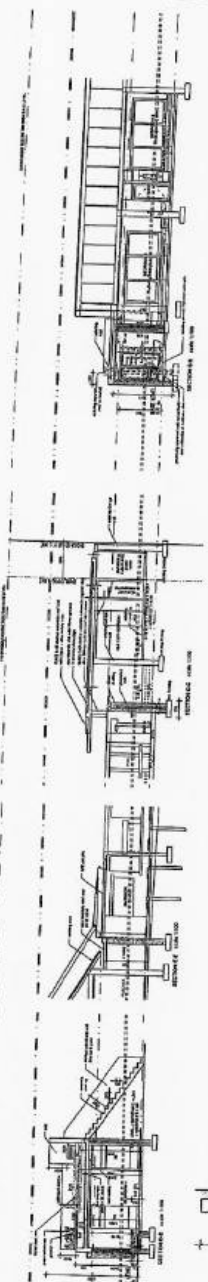
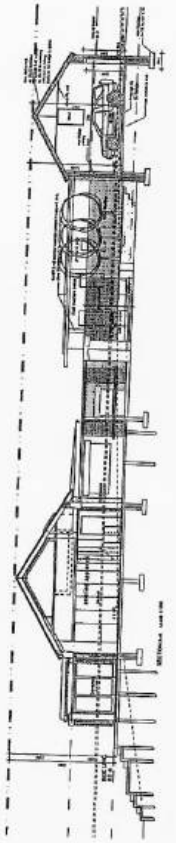
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

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ARCHITECT

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
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9	ISSUED FOR PERMITS
10	ISSUED FOR PERMITS



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10/21/21
S. J. [unclear]

**AGENDA of the
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19 October 2021
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2. REMAINDER OF ERF 294, STANFORD: APPLICATION FOR CONSENT USE: MESSRS WARREN PETTERSON PLANNING ON BEHALF OF OVERSTRAND MUNICIPALITY

Rem Erf 294 SSN

P Roux

(028) 313 8900

Hermanus Administration

22 June 2021

Executive Summary

An application was received on 22 September 2020 from Messrs Warren Petterson Planning on behalf of Overstrand Municipality for a consent use in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) applicable to Erf 294, Stanford for the continued use of an existing 55m Vodacom transmission tower.

RESOLVED :

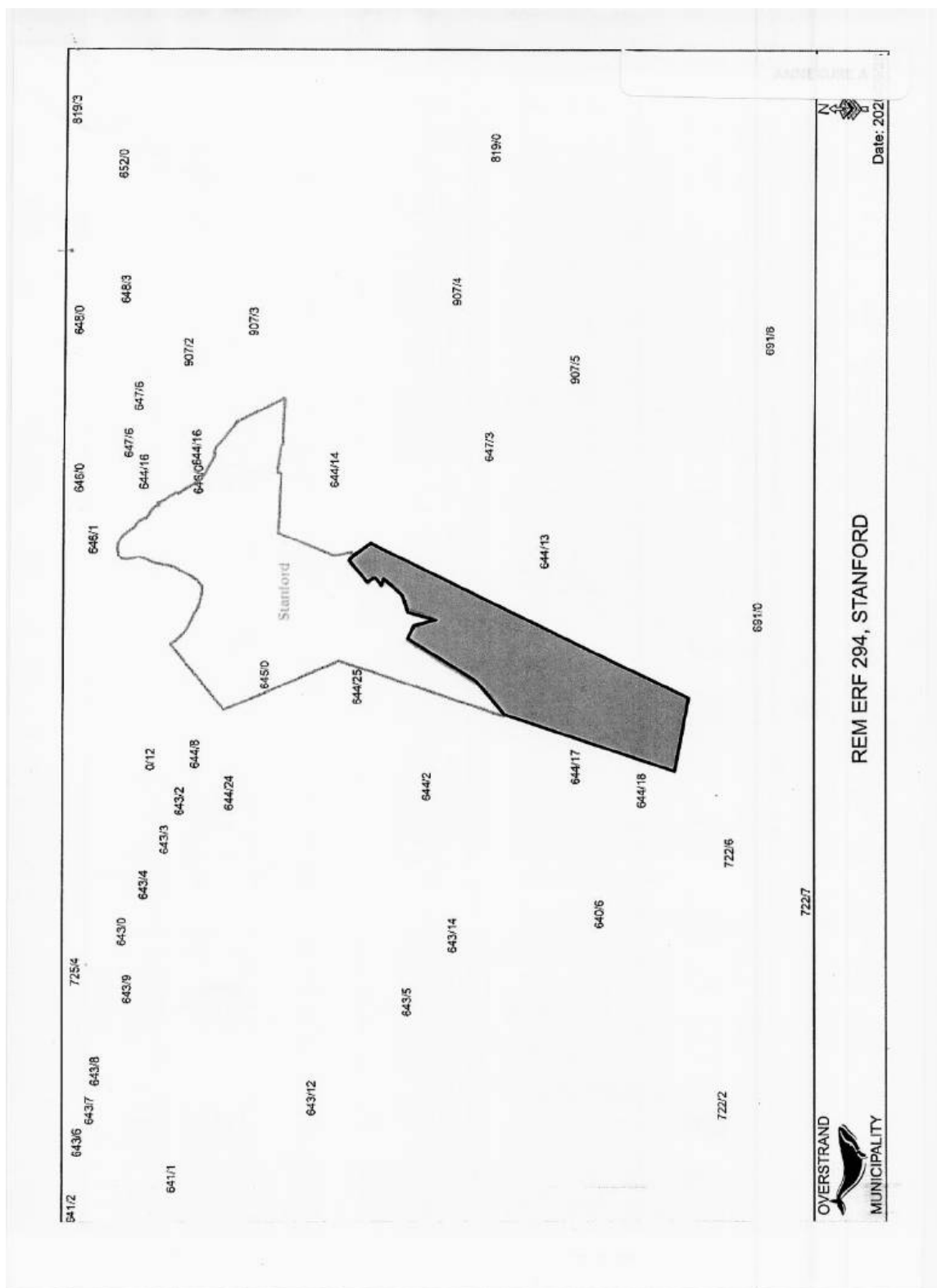
1. that the application for a consent use in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) applicable to Erf 294, Stanford for the continued use of an existing 55m Vodacom transmission tower, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the transmission tower as indicated on the Site Development Plan as submitted with the application;
 - (b) that the height of the cellular tower is restricted to 55m as shown on the approved Drawing No. *4431-D-04/05*;
 - (c) that the conditions contained in the Services Report, Eskom, the Department of Environmental Affairs and Development Planning and Breede-Gouritz Catchment Management Agency, be adhered to;
 - (d) that this approval is only valid for 10 years were after the applicant will have to re-apply to continue with the proposed land use;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

REASONS FOR RESOLUTION

- ❖ The application has followed due procedure.
- ❖ None of the relevant departments have any objection.
- ❖ The proposal will have no impact on services.
- ❖ The proposed transmission tower will not have a negative impact on the character and land values of the surrounding properties.
- ❖ The proposed transmission tower will not negatively impact the natural environment.
- ❖ The transmission tower is situated in an isolated area.
- ❖ There are no objections from the public towards the transmission tower.
- ❖ The site location and history of the transmission apparatus was considered.
- ❖ The technology used with transmission apparatus is changing and progressing at a fast pace which may cause existing infrastructures and technology to become obsolete.



OVERSTRAND
MUNICIPALITY

REM ERF 294, STANFORD

Date: 2021

REVISION	DATE	DESCRIPTION
REV A	12/17/05	ISSUED FOR CONSTRUCTION
REV B	12/20/05	ISSUED FOR CONSTRUCTION
REV C	12/20/05	ISSUED FOR CONSTRUCTION
REV D	12/20/05	ISSUED FOR CONSTRUCTION

DRAWINGS ARE NOT TO BE SCALED. ANY PROPOSED CHANGES TO BE VIEWED ON SITE BEFORE COMMENCEMENT OF WORK.

APPROVALS

Project Representative: _____
 Cell C Roll-out Coordinator: _____
 Cell S RF Power: _____
 Cell C Roll-out Coordinator: _____
 Property near Representative: _____
 CELL C APPROVAL

Name: _____
 Signature: _____
 Date: _____

Contractor:
MERGENT Technologies
 Private Bag x 116
 Centurion 0046
 Tel. +27(12) 665 9070

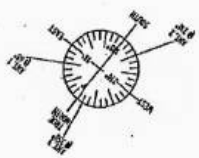


SITE No. 4431
 SITE NAME AND ADDRESS
STANFORD
 #783
 STANFORD

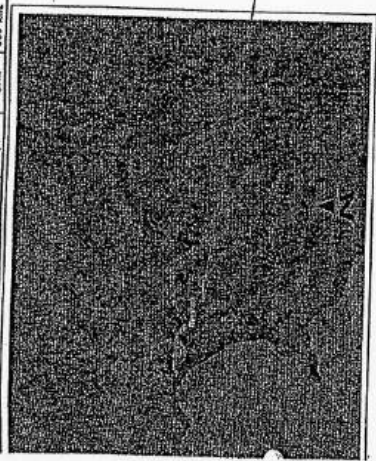
POSITION
 WISSA
 LAT: S 34deg 29min 53.6sec
 LONG: E 09deg 29min 55.3sec

DRAWING
 SITE LOCALITY MAP
 DRAWING No. 4431-D-0/05

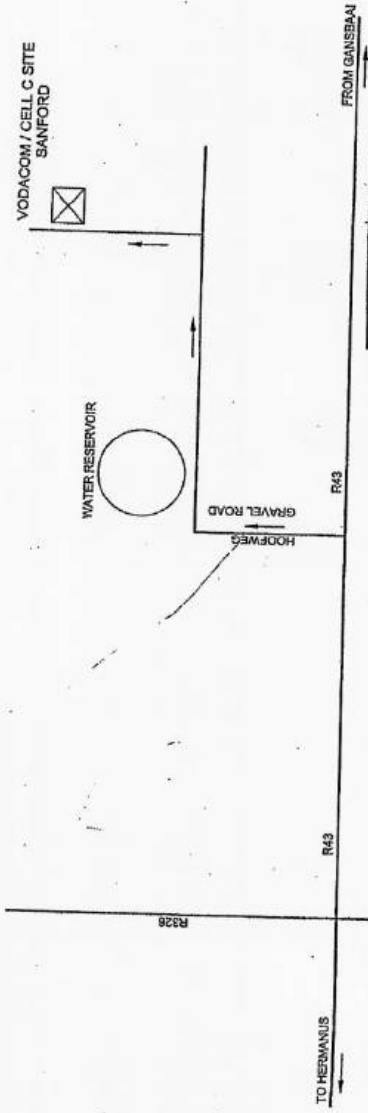
REVISION B



HEIGHT	ANTENNA	ANTENNA Hgt.	TILT	FEEDER #	FEEDER Hgt.	FREQ.
60'	K759524	40m	3'	7/8"	57m	800 MHz
210'	K759524	40m	3'	7/8"	57m	800 MHz
350'	K759530	40m	3'	7/8"	57m	800 MHz



4431



BOLBERENBEMIPTE
 BUILDING CONTROL OFFICER
 2004-11-16
 MUNICIPALITEIT
 STANFORD
 MUNICIPALITY



Strictly Company Confidential

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
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3. ERF 1058, 6 WILLIAM AVENUE, PRINGLE BAY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE AND RELAXATION OF TITLE DEED RESTRICTION: P WASSERMAN ARCHITECT ON BEHALF OF CJ BOTHA & L NEETHLING

1058 KPRB

H van der Stoep

(028) 313 8900

Hermanus Administration

8 July 2021

Executive Summary

An application has been received on 04 February 2021 from P Wasserman Architect on behalf of CJ Botha & L Neethling on Erf 1058, Pringle Bay in terms of Section 16.(2)(b), of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a departure to relax the eastern lateral building line from 2m and 3m respectively to 0m to accommodate a garage.

An application has been received for the relaxation of the Title Deed lateral building lines from 3m to 2m to accommodate a proposed dwelling and the eastern lateral building line from 3m to 0m to accommodate the garage.

RESOLVED :

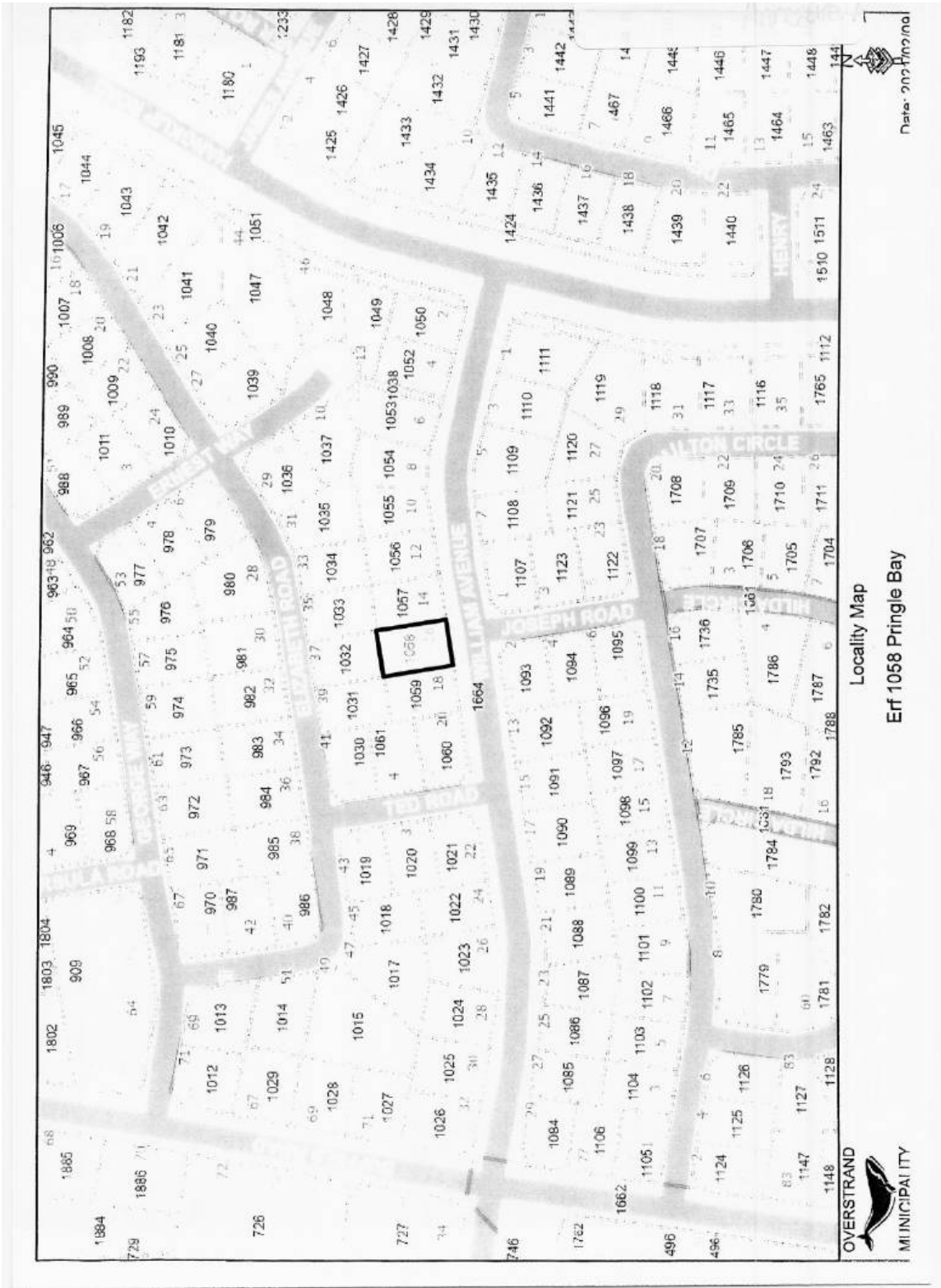
1. that the application in terms of the Overstrand Municipal Amendment By-Law on Municipal Land Use Planning, 2020 for the relaxation of restrictive title deed condition 6.(b) as contained in Title Deed T10965/2013 applicable to Erf 1058, Pringle Bay in order to relax the eastern lateral building line from 3m to 0m and to accommodate a garage and the lateral building lines from 3m to 2m to accommodate a proposed dwelling **be approved** in terms of Section 61 of the By-Law;
2. that the application in terms of Section 16.(2)(b) of the Overstrand Municipal Amendment By-Law on Municipal Land Use Planning, 2020 applicable to Erf 1058, Pringle Bay for a departure to relax the eastern building line from 2m to 0m to accommodate a garage, **be approved**, in terms of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on Site Plan and Ground floor, section AA, BB, North and East Elevations dated 12 and 13 January 2021;
 - (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme and Title Deed T 10965/2013;

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- (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
3. that the applicant be notified of its right of appeal (against Paragraph 2. above) in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

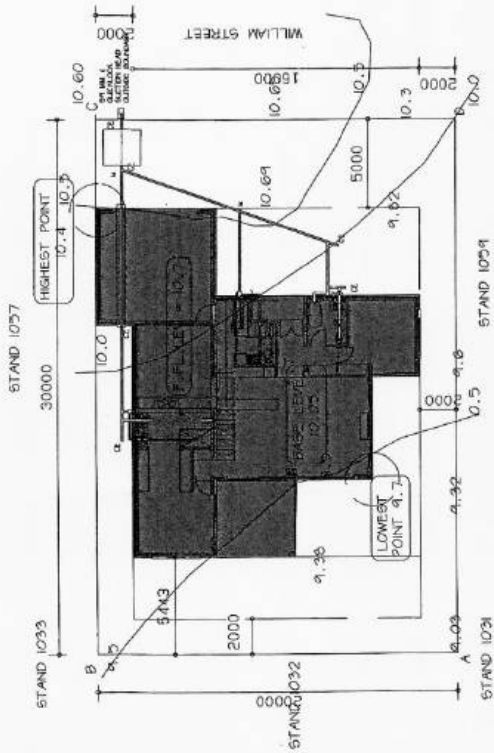
REASONS FOR RESOLUTION

- ❖ The application has followed due procedure.
- ❖ It will not impact on the rights of surrounding property owners or the character of the existing surrounding built environment.
- ❖ The building line encroachment is not regarded as being undesirable from a town planning point of view.
- ❖ The proposed renovations are supported by the adjacent owners, and consents were provided in this regard.
- ❖ The proposed extension will not trigger the restriction of structures over a building line more than 9m.



Annexe C119

CB I



SITE PLAN 1:200

NEW HOUSE 223 SQ.M.
 STAND 600 SQ.M.
 37 % COVERAGE



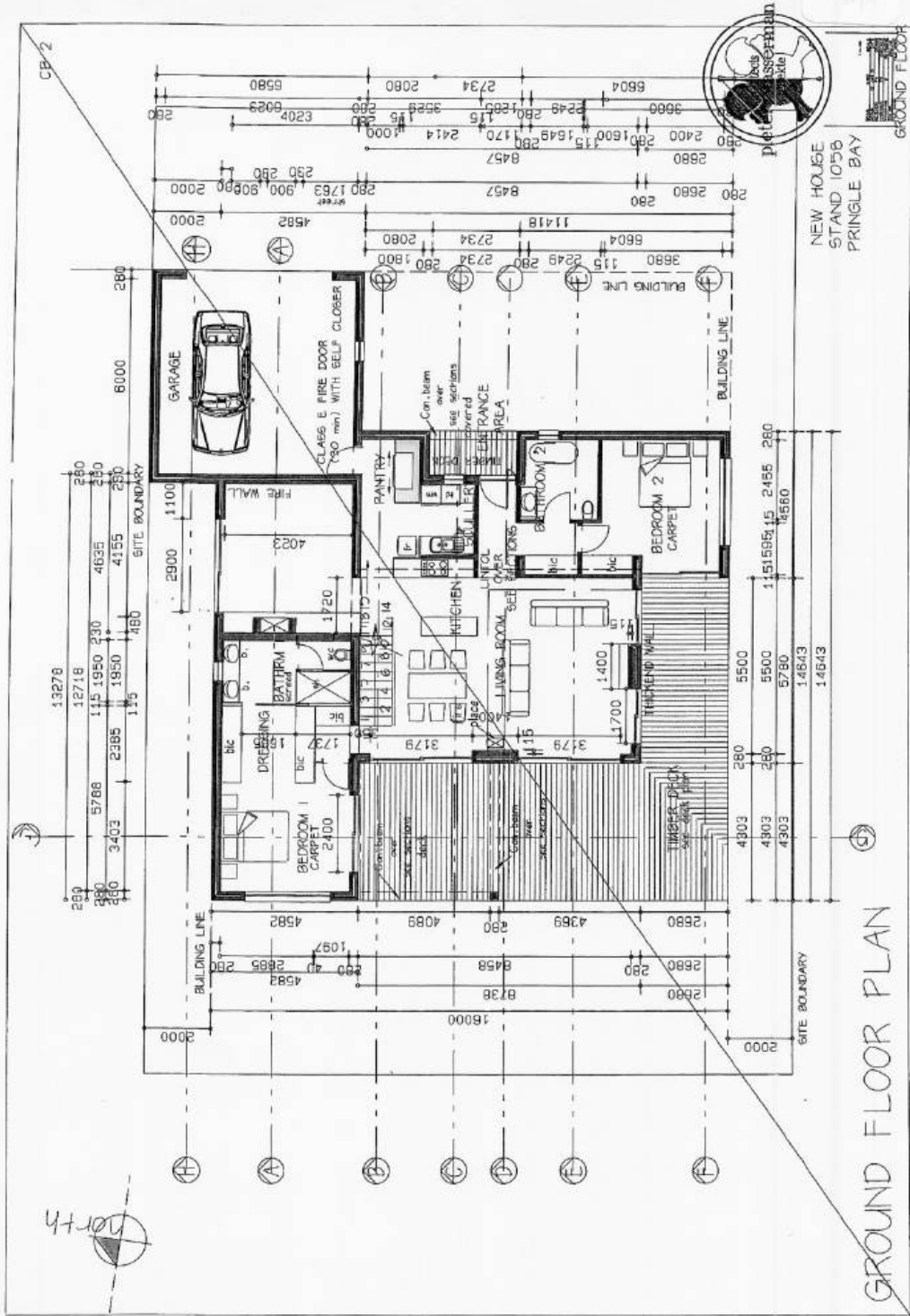
NEW HOUSE
 STAND 1058
 PRINGLE BAY



NEW HOUSE
 STAND 1057
 PRINGLE BAY

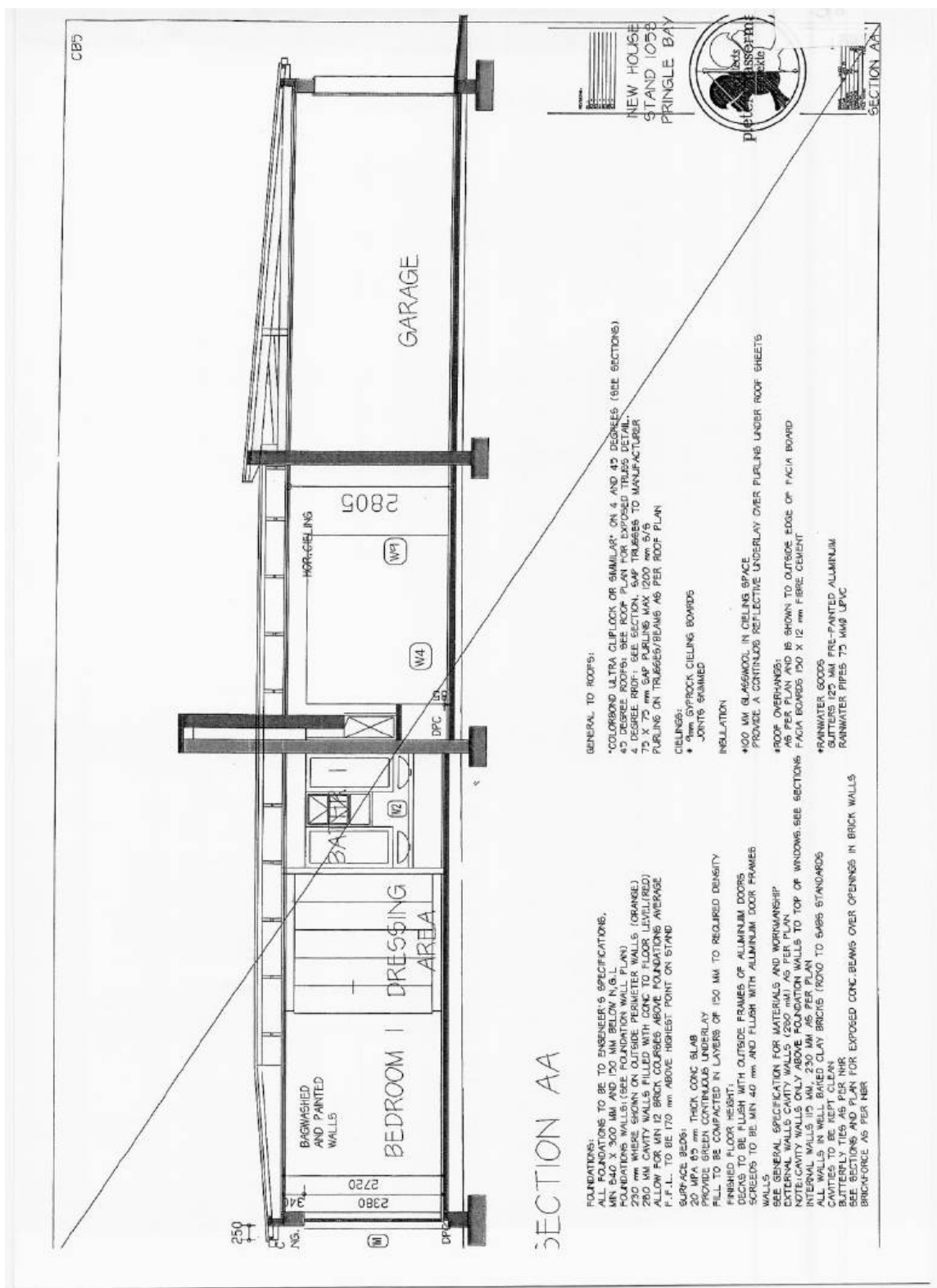


SITE PLAN



GROUND FLOOR PLAN

NEW HOUSE
STAND 105/B
PRINGLE BAY



SECTION AA

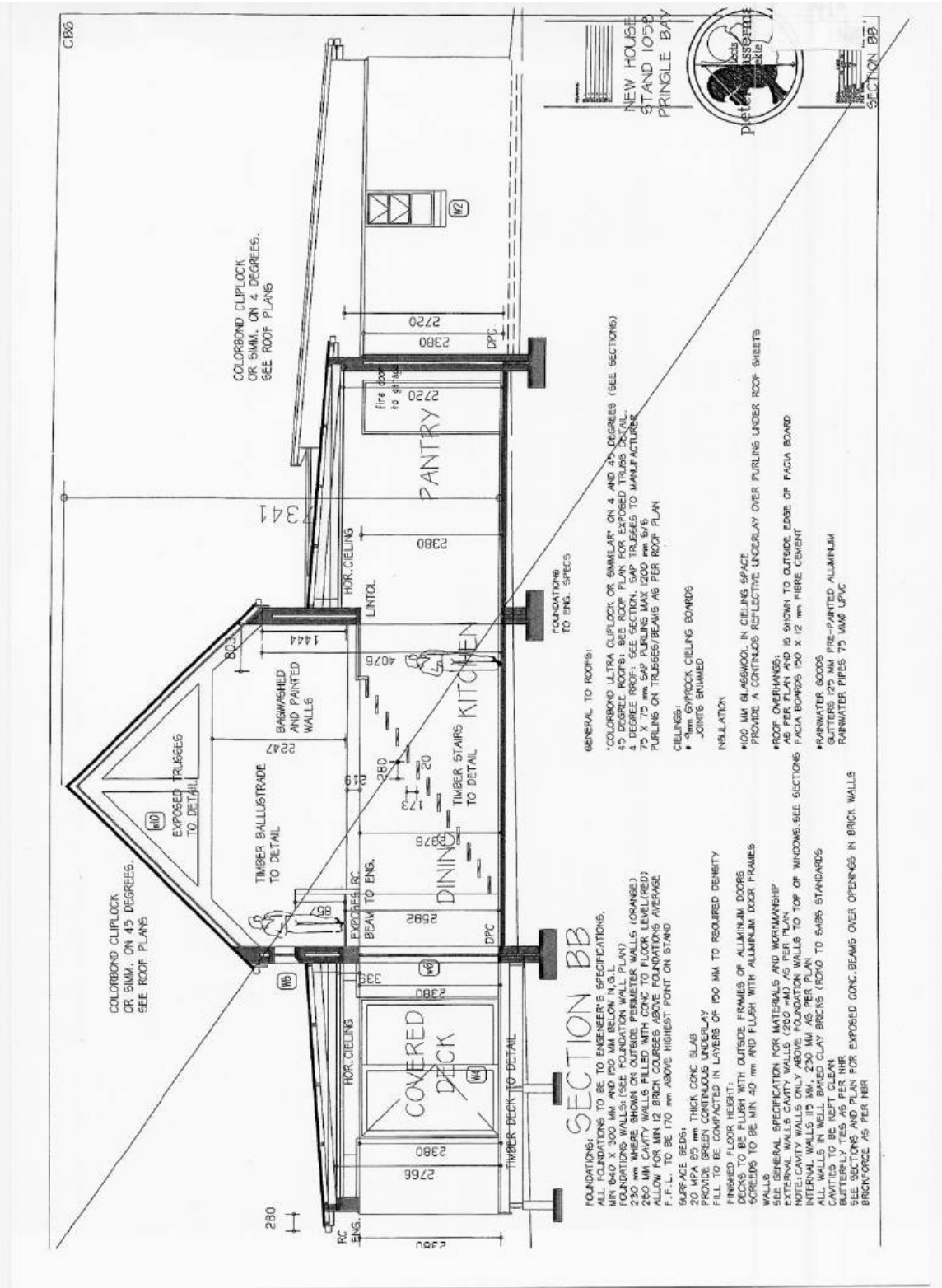
FOUNDATIONS:
 ALL FOUNDATIONS TO BE TO ENGINEER'S SPECIFICATIONS.
 MIN 640 X 300 MM AND 150 MM BELOW N.G.L.
 FOUNDATIONS WALLS: (SEE FOUNDATION WALL PLAN)
 230 MM WHERE SHOWN ON OUTSIDE PERIMETER WALLS (ORANGE)
 280 MM ON WALLS FLESHED WITH CONC (DARK RED)
 ALL FOUNDATIONS TO BE 150 MM ABOVE F.L.L. TO BE 175 MM ABOVE HIGHEST POINT ON STAND SURFACE BEAMS.
 20 MPa 65 mm THICK CONC SLAB
 PROVIDE BRICK CONTINUOUS UNDERLAY
 FILL TO BE COMPACTED IN LAYERS OF 150 MM TO REQUIRED DENSITY
 FINISHED FLOOR HEIGHT.
 DECKS TO BE FLUSH WITH OUTSIDE FRAMES OF ALUMINUM DOORS
 SCREEDS TO BE MIN 40 MM AND FLUSH WITH ALUMINUM DOOR FRAMES WALLS
 SEE GENERAL SPECIFICATION FOR MATERIALS AND WORKMANSHIP
 NOTE: CAVITY WALLS ONLY ABOVE FOUNDATION WALLS TO TOP OF WINDOWS SEE SECTIONS
 INTERVAL WALLS 115 MM, 230 MM AS PER PLAN
 ALL WALLS IN WELL BAVED CLAY BRICKS (R20X TO S985 STANDARDS
 CAVITIES TO BE KEPT CLEAN
 BUTTERFLY TIES AS PER NHR
 BRICKS AND PLAN FOR EXPOSED CONC BEAMS OVER OPENINGS IN BRICK WALLS
 BRICKWORK AS PER NHR

GENERAL TO ROOFS:
 COLORBOND ULTRA CLIFLOCK OR SIMILAR ON 4 AND 45 DEGREES (SEE SECTIONS)
 45 DEGREE ROOFS: SEE ROOF PLAN FOR EXPOSED TRUSS DETAIL.
 4 DEGREE ROOF: SEE SECTION. GAP TRIMMED TO MANUFACTURER
 125 X 75 mm SPACING 1000 mm S/S
 PURLINS ON TRUSSES/BLINDS AS PER ROOF PLAN
CILLINGS:
 * 9mm GYPOCK CILLING BOARDS
 JOINTS SKIMMED
INSULATION:
 *100 MM GLASSWOL IN CEILING SPACE
 PROVIDE A CONTINUOUS REFLECTIVE UNDERLAY OVER PURLIN UNDER ROOF SHEETS
***ROOF OVERHANGS:** IS SHOWN TO OUTSIDE EDGE OF FACIA BOARD
 FACIA BOARDS 100 X 12 mm FIBRE CEMENT
***RAINWATER GOODS:**
 GUTTERS 125 MM PRE-PAINTED ALUMINUM
 RAINWATER PIPES TO 100 UPVC

NEW HOUSE
 STAND 1058
 PRINGLE BAY

Pietel & Bessoff
 ARCHITECTS
 (Pretoria)

SECTION AA



C86

COLORBOND CLIPLOCK OR SIMM. ON 45 DEGREES. SEE ROOF PLANS

COLORBOND CLIPLOCK OR SIMM. ON 4 DEGREES. SEE ROOF PLANS

SECTION BB

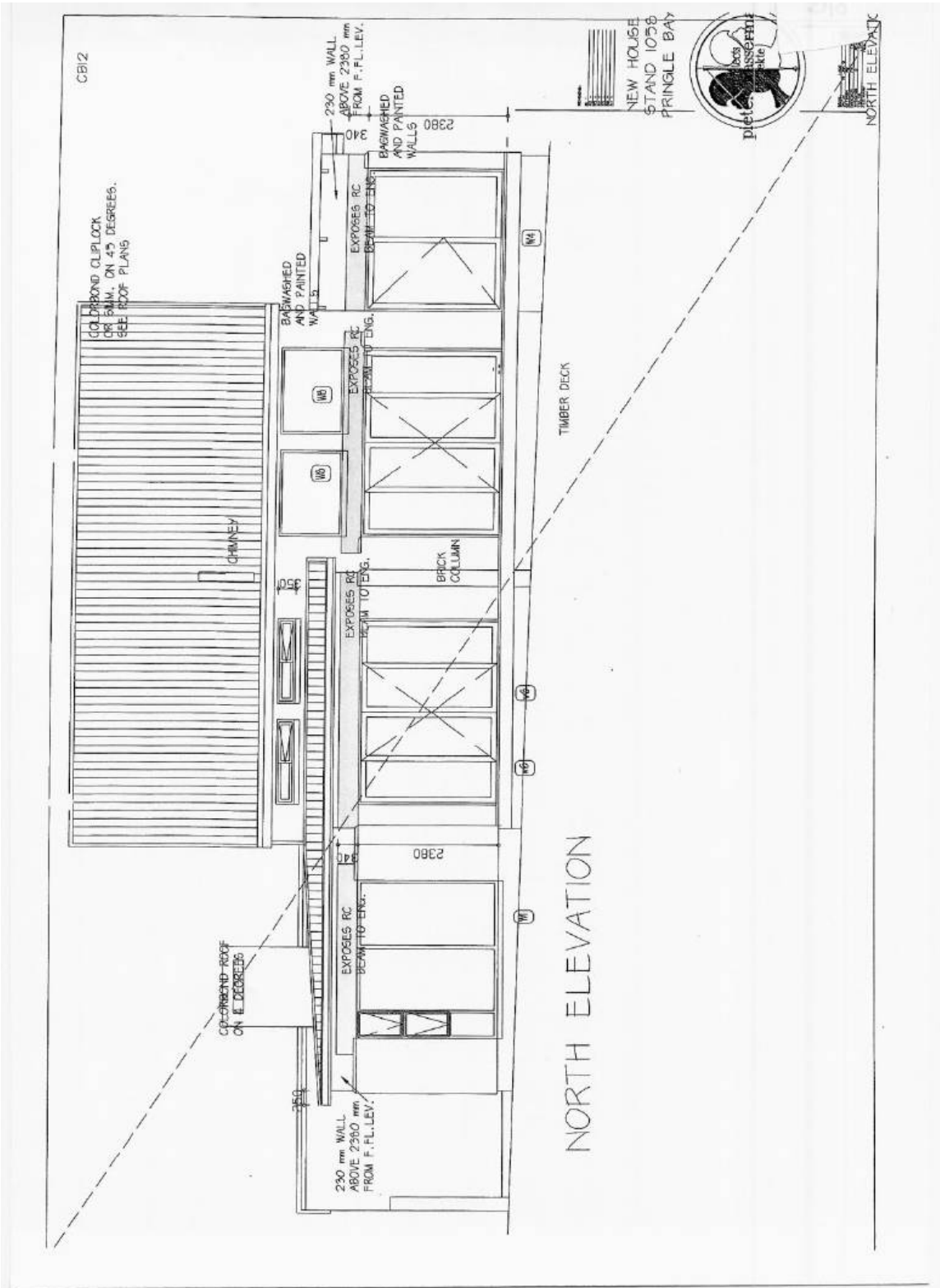
- FOUNDATIONS:** TO BE TO ENGINEER'S SPECIFICATIONS.
 ALL FOUNDATIONS TO BE MIN 840 X 300 MM AND 150 MM BELOW N.G.L.
 FOUNDATIONS WALLS: (SEE FOUNDATION WALL PLAN)
 230 mm WHERE SHOWN ON OUTSIDE PERIMETER WALLS (CONCRETE)
 250 mm CAVITY WALLS FILLED WITH CONCRETE TO TOP OF FOUNDATION.
 ALL CONCRETE TO BE CURED AND COVERED WITH POLYETHYLENE SHEETING.
 FLOORING TO BE 170 mm ABOVE HIGHEST POINT ON SITE
- WALLS:**
 200 MPX 85 mm THICK CONCRETE
 PROVIDE GREEN CONTINUOUS UNDERLAY
 FILL TO BE COMPACTED IN LAYERS OF 100 MM TO REQUIRED DENSITY
 FINISHED FLOOR HEIGHT:
 DECKS TO BE FLUSH WITH OUTSIDE FRAMES OF ALUMINUM DOORS
 SCREEDS TO BE MIN 40 mm AND FLUSH WITH ALUMINUM DOOR FRAMES
 WOODWORK:
 SEE GENERAL SPECIFICATION FOR MATERIALS AND WORKMANSHIP
 INTERIOR WALLS: (SEE WALL FINISH PLAN)
 INTERIOR CAVITY WALLS ONLY ABOVE FOUNDATION WALLS TO TOP OF WINDOWS: SEE SECTIONS
 ALL WALLS IN WELL BAVED CLAY BRICKS (60X90 TO 50X75 STANDARDS)
 CAVITIES TO BE KEPT CLEAN
 BUTTERFLY TIES AS PER NHR
 SEE SECTIONS AND PLAN FOR EXPOSED CONC. BEAMS OVER OPENINGS IN BRICK WALLS
 BRICK-ORICE AS PER NHR

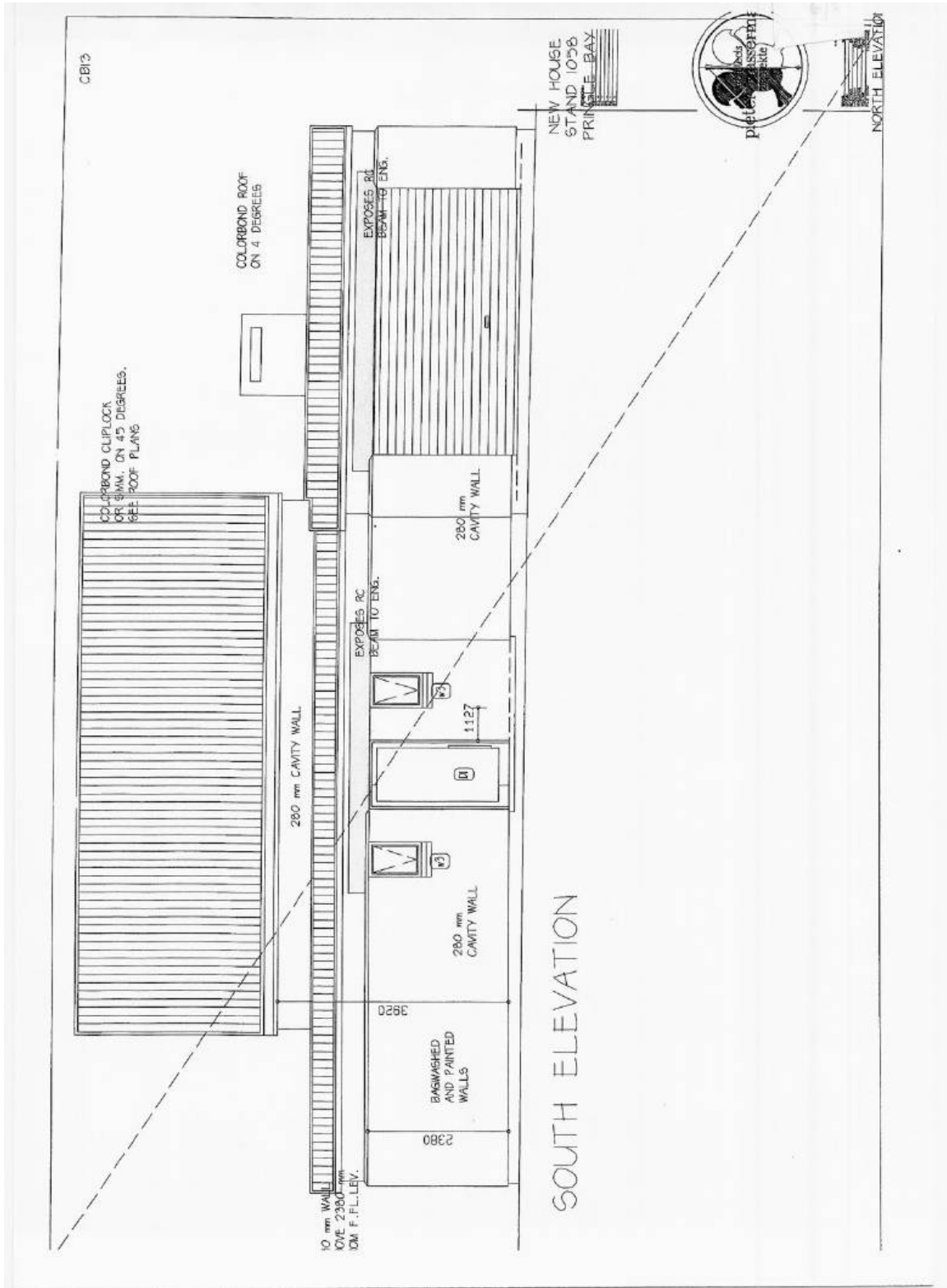
- GENERAL TO ROOFS:**
 COLORBOND ULTRA CLIPLOCK OR SIMILAR ON 4 AND 45 DEGREES (SEE SECTIONS)
 45 DEGREE ROOFS: SEE ROOF PLAN FOR EXPOSED TRUSS DETAIL.
 4 DEGREE ROOF: SEE SECTION. SAP TRUSSES TO MANUFACTURER
 250 mm PURLINS ON TRUSSES/BRIS AS PER ROOF PLAN
- CEILINGS:**
 *100 MM GLASSWOL IN CEILING SPACE
 PROVIDE A CONTINUOUS REFLECTIVE UNDERLAY OVER PURLIN UNDER ROOF SHEETS
- INSULATION:**
 *100 MM GLASSWOL IN CEILING SPACE
 PROVIDE A CONTINUOUS REFLECTIVE UNDERLAY OVER PURLIN UNDER ROOF SHEETS
- ROOF OVERHANGS:**
 ROOF OVERHANGS TO BE SHOWN TO OUTSIDE EDGE OF FASCIA BOARD
 FACIA BOARDS 120 X 12 mm FIBRE CEMENT
 *RAINWATER GOODS:
 GUTTERS 125 MM PRE-PARTED ALUMINUM
 DOWNWATER PIPES 75 MM UPVC

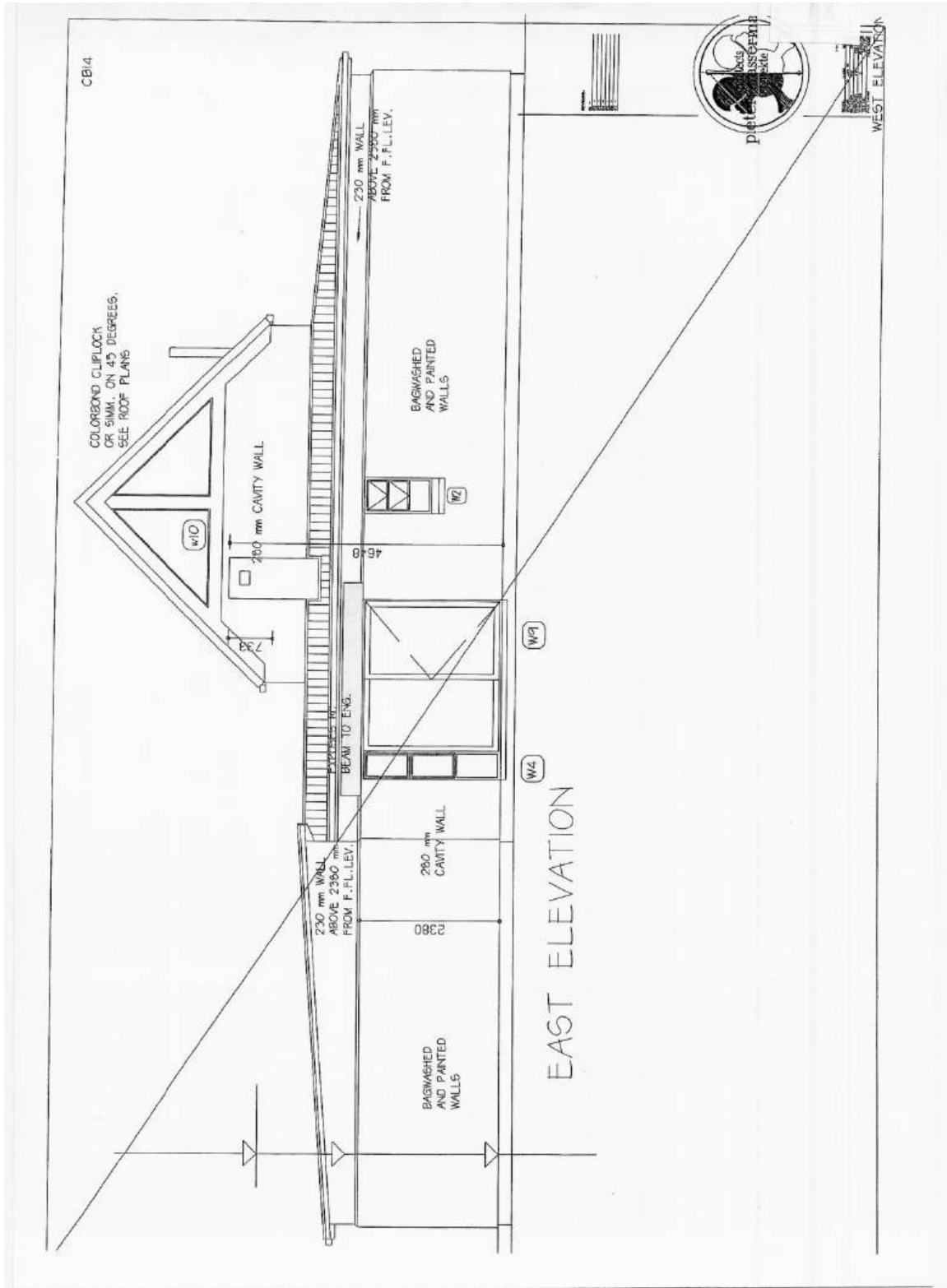


SECTION BB

NEW HOUSE STAND 1058 PRINGLE BAY







**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

4. ERF 3241, 16 MARINE DRIVE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: JJ BADENHORST

3241 KKM

H van der Stoep

(028) 313 8900

Hermanus Administration

6 July 2021

Executive Summary

An application was received on 28 January 2021 from JJ Badenhorst in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2020 for a departure on Erf 3241, Kleinmond to relax the street building line from 4m to 3,5m to accommodate an open balcony on first floor level :

RESOLVED :

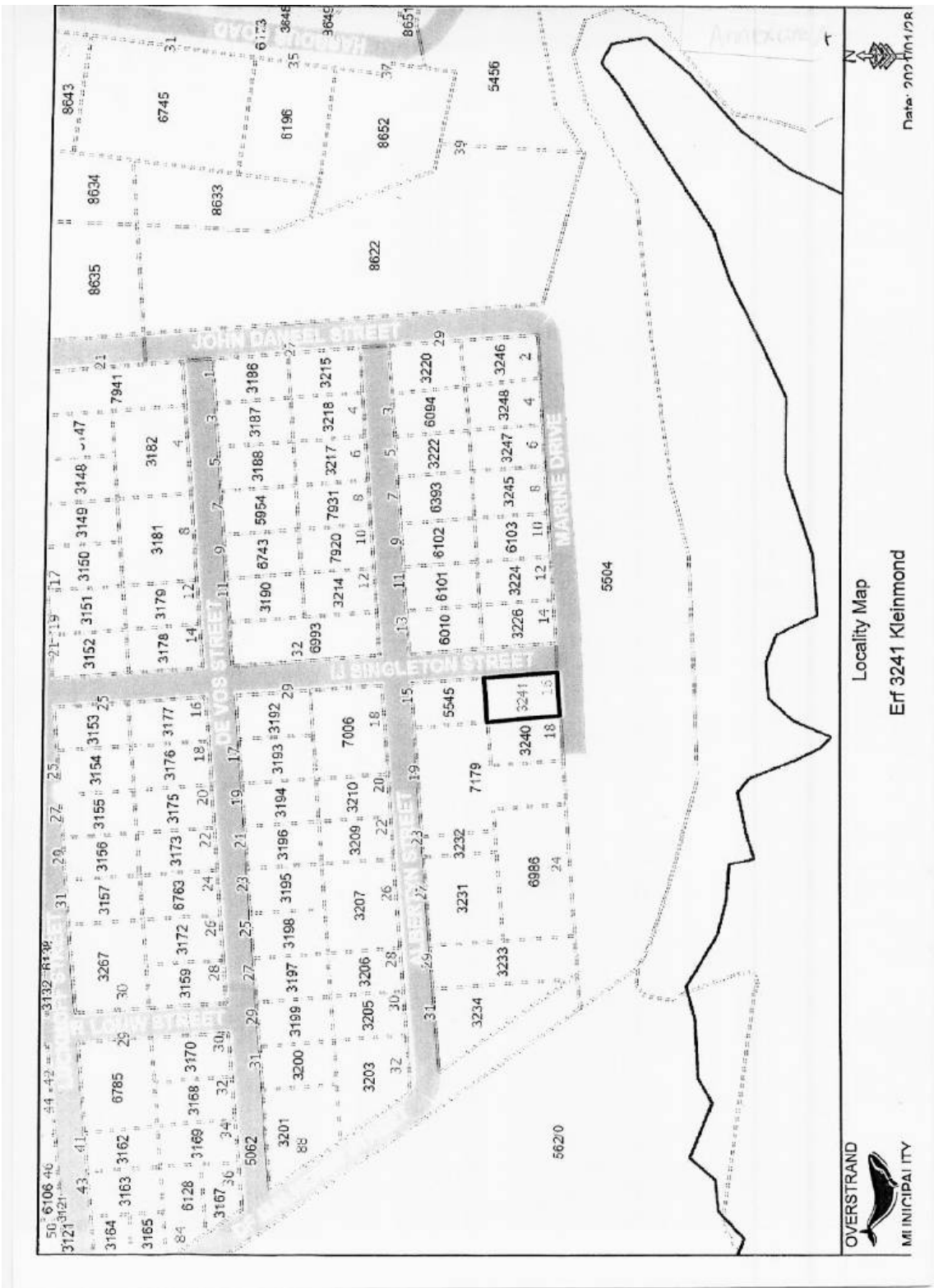
1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2020 on Erf 3241, Kleinmond in order to relax the southern street building line from 4m to 3,5m, **be approved** in terms of Section 61 of the By-Law subject to the following conditions:
 - (a) that this approval is only for the development as indicated on Plan Numbers 001 - 006 dated 8 January 2021, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that the conditions of Engineering Services, be adhered to;
 - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above conditions of approval.

REASONS FOR RESOLUTION

- ❖ No objections were received from adjacent property owners.
- ❖ The application has followed due procedure.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

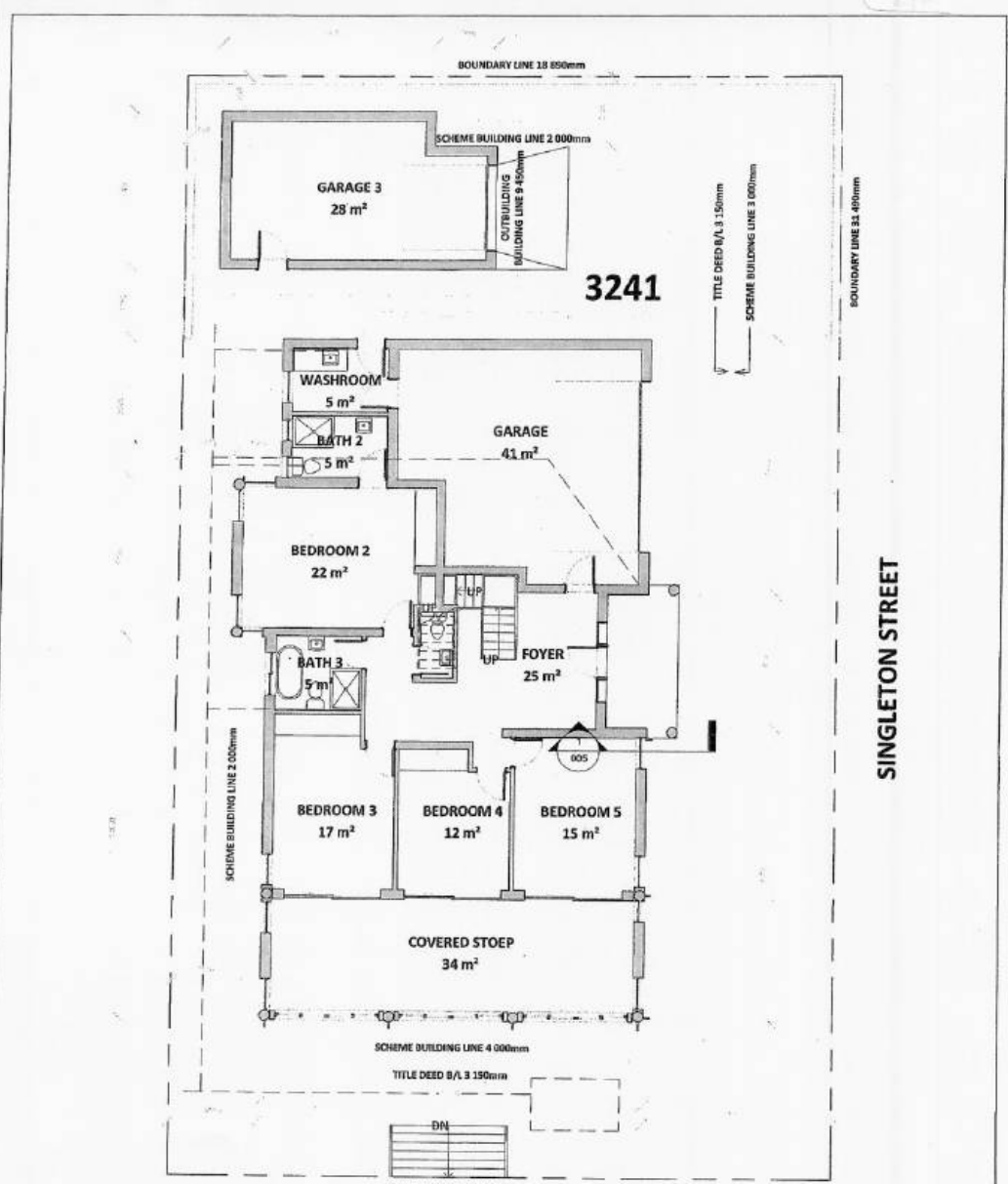
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ There will be no impact on services.
- ❖ None of the relevant departments have any objection.
- ❖ The proposed balcony will not impact the aesthetics of the surrounding area and will not impact the natural environment.
- ❖ The proposed balcony will not impact the traffic in Marine Drive as the balcony will be situated within the property and will not hang over into the road.
- ❖ On the opposite side of Marine Drive there are no home or property owners as the land belongs to the municipality.



OVERSTRAND
MUNICIPALITY

Locality Map
Erf 3241 Kleinmond

Date: 2021/10/12



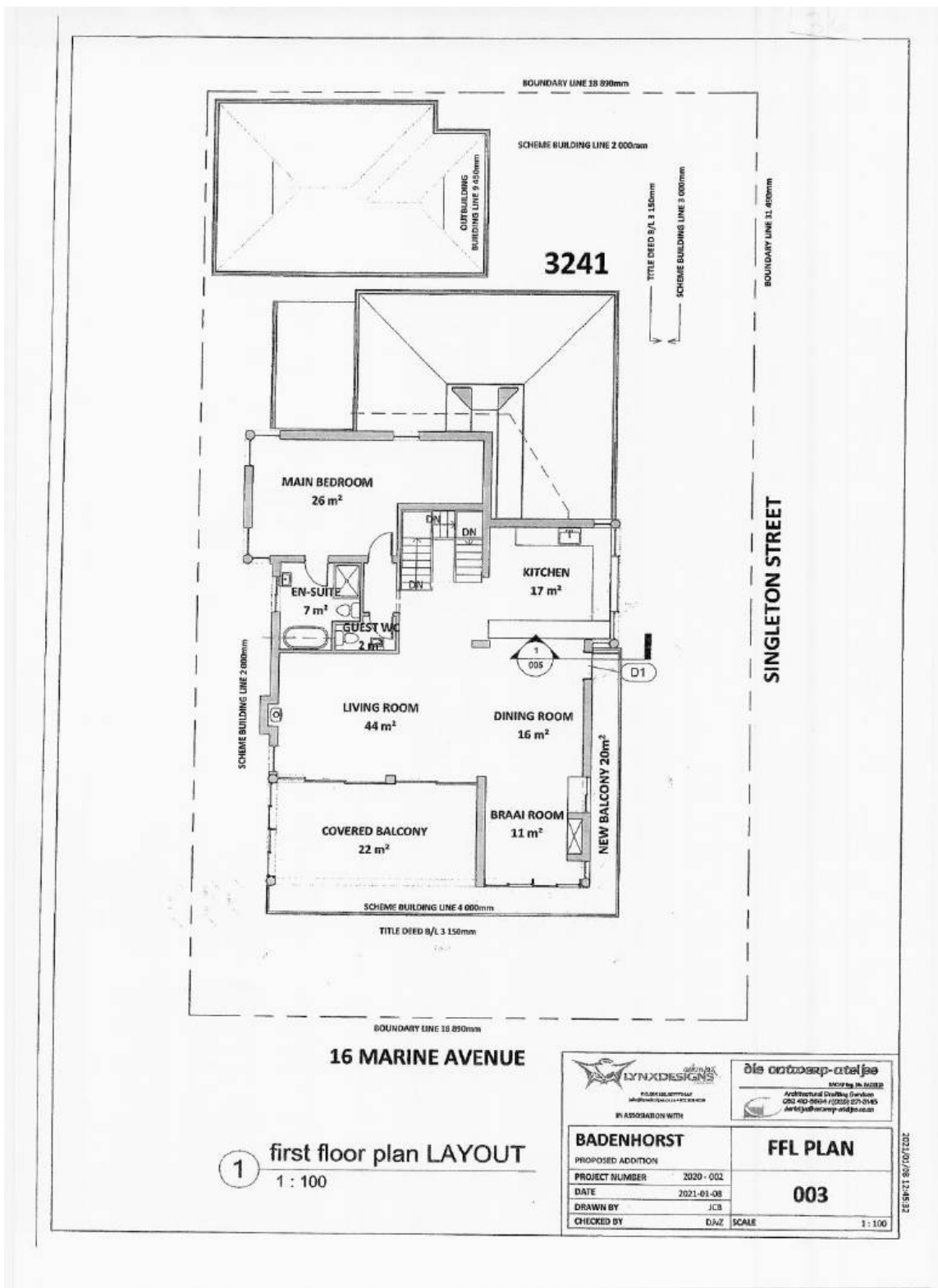
TOTAL SITE AREA	595m ²
EXISTING GFL	247m ²
EXISTING FFL	167m ²
TOTAL AREA	414m²
COVERAGE	41.5%

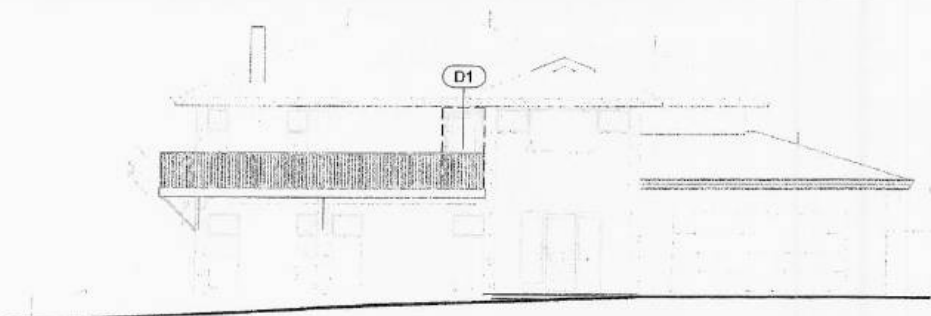
16 MARINE AVENUE

1 ground floor plan LAYOUT
1 : 100

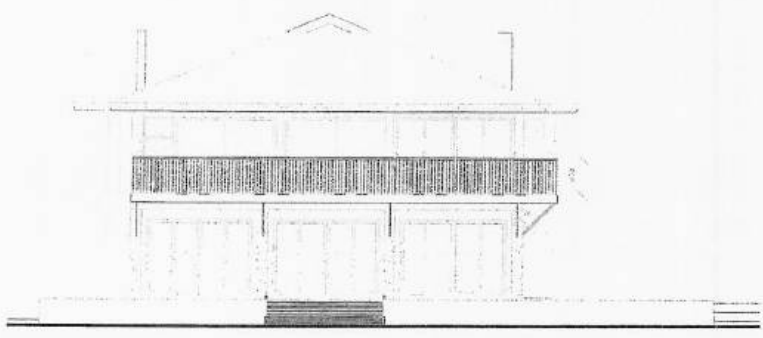
			
IN ASSOCIATION WITH		002	
BADENHORST PROPOSED ADDITION		GFL PLAN	
PROJECT NUMBER	2020-002	002	
DATE	2021-01-08		
DRAWN BY	ICB		
CHECKED BY	DAZ	SCALE	1 : 100

2021/01/08 12:45:33

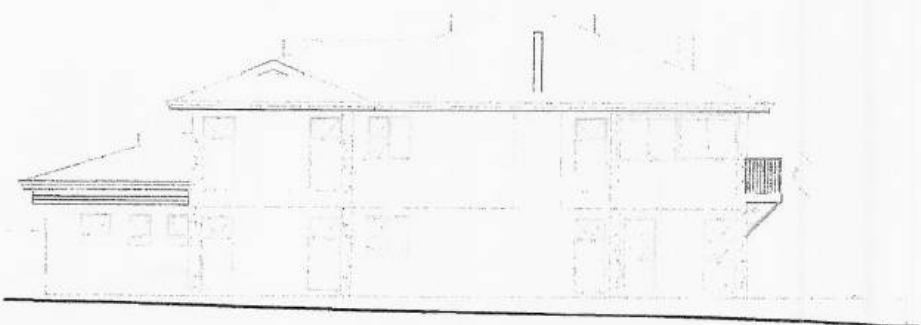






1 east ELEVATION
1 : 100



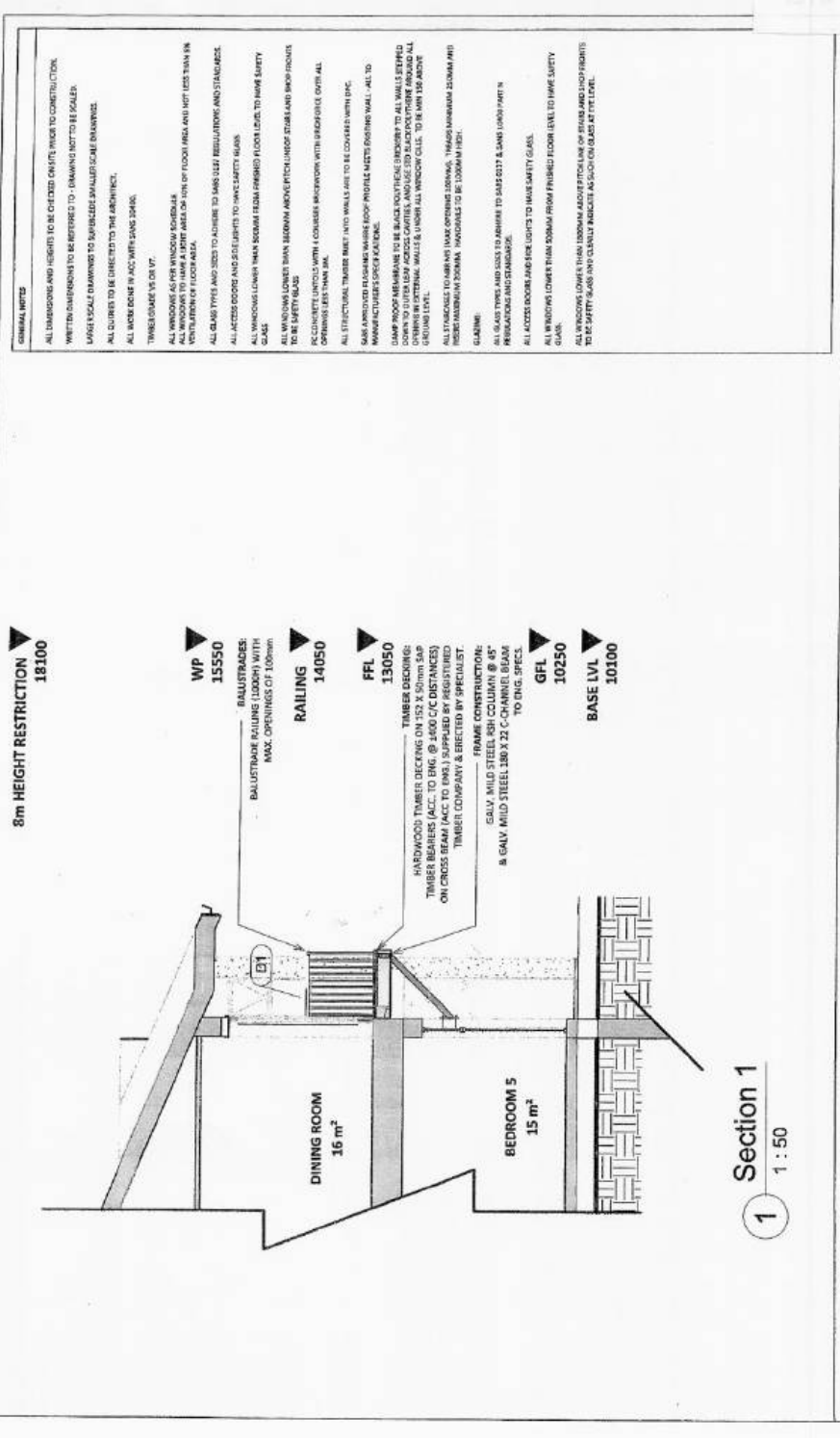
2 south ELEVATION
1 : 100



3 west ELEVATION
1 : 100

			
IN ASSOCIATION WITH		004	
BADENHORST		ELEVATION	
PROPOSED ADDITION		004	
PROJECT NUMBER	2020 - 002		
DATE	2021-01-08		
DRAWN BY	JCB		
CHECKED BY	DJVZ	SCALE	1 : 100

2021/01/08 13:45:37



Section 1
1 : 50

GENERAL NOTES

ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS TO BE REFERRED TO - DRAWING NOT TO BE SCALED.

UNLESS SCALE DIMENSIONS TO SURVEILED SMALLER SCALE DRAWINGS.

ALL CURVES TO BE CHECKED TO THE ARCHITECT.

ALL WORK DONE IN ACC. WITH SANS 2046.

TIMBER GRADES IS ON V7.

ALL WINDOWS AS PER WINDOW SCHEDULE.

ALL WINDOWS TO HAVE A SIGHT AREA OF 10% OF FLOOR AREA AND NOT LESS THAN 10% SURFACE OF FLOOR AREA.

ALL GLASS TYPES AND SIZES TO ADHERE TO SANS 1055 REGULATIONS AND STANDARDS.

ALL ACCESS DOORS AND DOORLIGHTS TO HAVE SAFETY GLASS.

ALL WINDOWS LOWER THAN ROOM FLOOR TO HAVE SAFETY GLASS.

ALL WINDOWS LOWER THAN ROOM AND EXTERIOR OF STUDY AND SHOP FRONT TO BE SAFETY GLASS.

ALL ACCESS DOORS AND DOORLIGHTS TO HAVE SAFETY GLASS.

ALL STRUCTURAL TIMBER MEET AND WALLS ARE TO BE COVERED WITH EPIC.

SANS APPROVED FLASHINGS WHERE ROOF PROFILE MEETS PARALLEL WALL - ALL TO MANUFACTURER'S SPECIFICATION.

DAMP PROOF MEMBRANE TO BE BLACK POLYURETHANE BACKED TO ALL WALLS EXCEPT EXTERIOR WALLS AND FLOOR JOINTS AND TO BE APPLIED TO ALL EXTERIOR WALLS UNDER ALL WINDOWS TO BE ON THE EXISTING GROUND LEVEL.

ALL STRUCTURES TO ADHERE TO SANS 1055 REGULATIONS AND STANDARDS.

ROOFING MEMBRANE TO BE BLACK POLYURETHANE BACKED TO ALL WALLS EXCEPT EXTERIOR WALLS AND FLOOR JOINTS AND TO BE APPLIED TO ALL EXTERIOR WALLS UNDER ALL WINDOWS TO BE ON THE EXISTING GROUND LEVEL.

ALL STRUCTURES TO ADHERE TO SANS 1055 REGULATIONS AND STANDARDS.

ROOFING MEMBRANE TO BE BLACK POLYURETHANE BACKED TO ALL WALLS EXCEPT EXTERIOR WALLS AND FLOOR JOINTS AND TO BE APPLIED TO ALL EXTERIOR WALLS UNDER ALL WINDOWS TO BE ON THE EXISTING GROUND LEVEL.

ALL STRUCTURES TO ADHERE TO SANS 1055 REGULATIONS AND STANDARDS.

ROOFING MEMBRANE TO BE BLACK POLYURETHANE BACKED TO ALL WALLS EXCEPT EXTERIOR WALLS AND FLOOR JOINTS AND TO BE APPLIED TO ALL EXTERIOR WALLS UNDER ALL WINDOWS TO BE ON THE EXISTING GROUND LEVEL.

SECTION	PROJECT NUMBER	2023-002	005
	DATE	2023-01-08	
	DRAWN BY	JCB	
	CHECKED BY		
		DATE	SCALE
			1 : 50

BADENHORST PROPOSED ADDITION

BP 2341
28 WHARF AVENUE
REDFORD

die ontwerp-architect
SACAP Reg. No. 7400220
Architectural Drafting Services
082 410-2664 / (026) 271-5143
die@ontwerp-architect.co.za

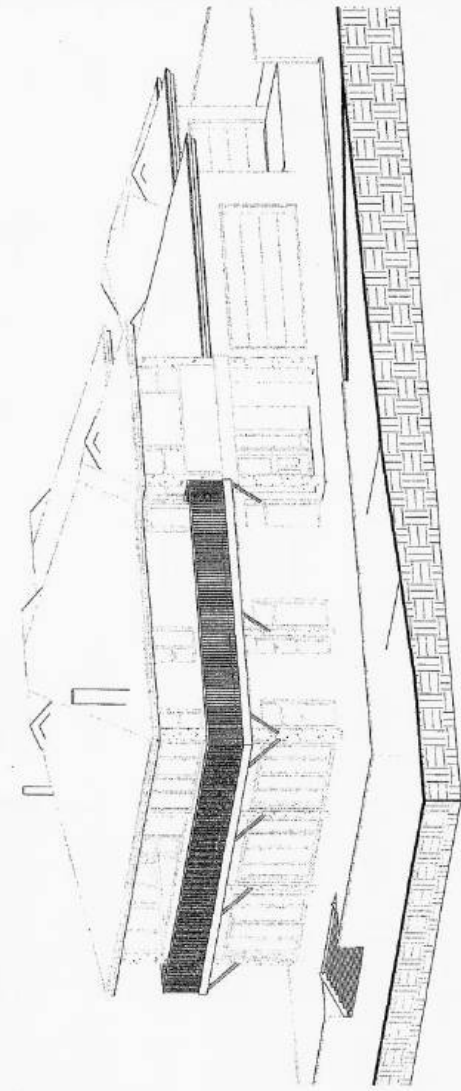
LYNXDESIGNS
P.O. BOX 136, BETTY'S BAY
jane@lynxdesigns.co.za • 022 262 4816

2023/01/08 12:47:17

2023/01/08 12:43:22

GENERAL NOTES

- ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS TO BE REFERRED TO - DRAWING NOT TO BE SCALED.
- LARGER SCALE DRAWINGS TO SUPERSEDE SMALLER SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED TO THE ARCHITECT.
- ALL WORK DONE IN ACC. WITH SAME CODE.
- TRIMMER BRACKETS OR VZ.
- ALL WINDOWS AS PER WINDOW SCHEDULE.
- ALL WINDOWS TO HAVE A LIGHT AREA OF 10% OF FLOOR AREA AND NOT LESS THAN 10% VENTILATION OF FLOOR AREA.
- ALL GLAZED DOORS AND WINDOWS TO HAVE GLASS BY REGULATIONS AND STANDARDS.
- ALL ACCESS DOORS AND NEW LIGHTS TO HAVE SAFETY GLASS.
- ALL WINDOWS LOWER THAN 200MM FROM FINISHED FLOOR LEVEL TO HAVE SAFETY GLASS.
- ALL WINDOWS LOWER THAN 200MM FROM FINISHED FLOOR LEVEL TO HAVE SAFETY GLASS TO ALL EXTERIOR GLAZING.
- ALL EXTERIOR TYPED DOORS WITH 4 COURSES SHOWDOWN WITH BACKSHEET OVER ALL CORNERS LESS THAN 90°.
- ALL STRUCTURAL TIMBER SELECT INTO WALLS ARE TO BE COVERED WITH EPIC.
- STAIR APPROVED FLASHING WHERE MOISTURE MEETS VERTICAL WALL - ALL TO MANUFACTURER'S SPECIFICATIONS.
- RAINFALL PROOF MEMBRANE TO BE JACKED OUTSIDE ROOF TO ALL WALLS STEPPED DOWNWARDS TO EXTERIOR WALLS & VERTICAL ROOFING. TO BE SET 100MM FROM EXTERIOR LAP.
- ALL STAIRWAYS TO MEET MAIN OPENING 200MM H. TRIMMER APPROX 150MM AND PRESS 100MM X 200MM. HAND RAILS TO BE 200MM HIGH.
- GLAZING.
- ALL GLAZING TO BE 100% TO MEET TO AND LIST 2. AND LAMP PART IN REGULATIONS AND STANDARDS.
- ALL ACCESS DOORS AND NEW LIGHTS TO HAVE SAFETY GLASS.
- ALL WINDOWS LOWER THAN 200MM FROM FINISHED FLOOR LEVEL TO HAVE SAFETY GLASS.
- ALL WINDOWS LOWER THAN 200MM ABOVE FINISH LINE OF STAIRS AND JOOP FLOORS TO BE SAFETY GLASS AND CLEARLY INDICATE AS SUCH ON GLASS AT FIN LEVEL.



1 SE VIEW

3D VIEW	PROJECT NUMBER	2020 - 002
	DATE	2020-01-06
	DRAWN BY	KJR
	REVISION	SCALE
		006

BADENHORST
PROPOSED ADDITION

die ontwerp - atelier
 SACAP Reg. No. 1402830
 Architectural Drafting Service
 082 412-8664 / (025) 271-3145
 david.yoshon@wep-steel.co.za

IN ASSOCIATION WITH
LYNXDESIGNS
 customer first
 P.O. BOX 136, BETTY'S BAY
 jules@lynxdesigns.co.za • 082 202 4816

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3241, KLEINMOND

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 3241, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

p.p. A. Cordes
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

11/03/2021
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

5. ERF 4528, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: FVS TOWN AND REGIONAL PLANNERS ON BEHALF OF THE DUTCH REFORM CHURCH

4528 KKM

H van der Stoep

(028) 313 8900

Hermanus Administration

7 July 2021

Executive Summary

An application has been received on 8 January 2021 from FVS Town and Regional Planners on behalf of the Dutch Reform Church on Erf 4528, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2020 in order to relax the rear building line from 5m to 1,43m to accommodate the existing ablution facilities.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2020 on Erf 4528, Kleinmond for a departure in order to relax the rear building line from 5m to 1,43m to accommodate the existing outbuilding (ablution facility), **be approved** subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plans as submitted with the application;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

REASONS FOR RESOLUTION

- ❖ The structure has approved building plans with the exception of the outbuilding.
- ❖ The surrounding owners did not object.
- ❖ The change of use will have no impact on the surrounding area, since it was done years back and no complaints have been received.

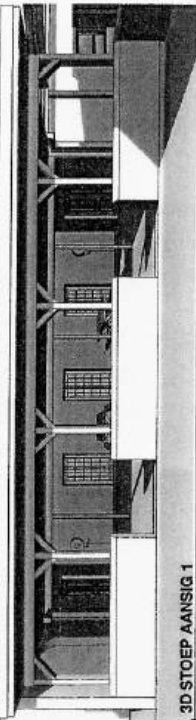


Locality Map
Erf 4528 Kleinmond

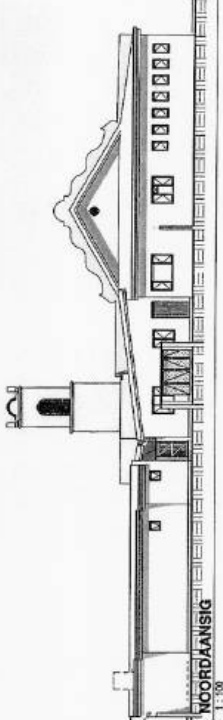
Date 2010/11/15

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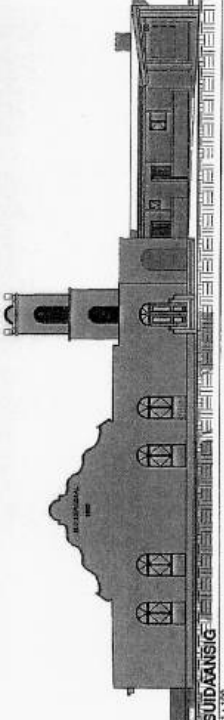
<p style="font-size: 8px;">WET 1974 (NO. 103) EN WET 1977 (NO. 92) VAN DIE REPUBLIEK VAN OORANJE-ORANJE OORANJE-ORANJE 100 DIE OORANJE-ORANJE REGERING 100 DIE OORANJE-ORANJE REGERING 100 DIE OORANJE-ORANJE REGERING 100</p>	<p style="font-size: 8px;">WET 1974 (NO. 103) EN WET 1977 (NO. 92) VAN DIE REPUBLIEK VAN OORANJE-ORANJE OORANJE-ORANJE 100 DIE OORANJE-ORANJE REGERING 100 DIE OORANJE-ORANJE REGERING 100 DIE OORANJE-ORANJE REGERING 100</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">AANSIGTE</td> </tr> <tr> <td>PRESENTERER</td> <td>BB012</td> </tr> <tr> <td>DATUM</td> <td>2018.04.29</td> </tr> <tr> <td>GETUIEN</td> <td>JHB</td> </tr> <tr> <td>INGESAAK</td> <td>JHB</td> </tr> <tr> <td style="text-align: right;">02</td> <td></td> </tr> <tr> <td style="text-align: right;">SKALA</td> <td>1 : 100</td> </tr> </table>	AANSIGTE		PRESENTERER	BB012	DATUM	2018.04.29	GETUIEN	JHB	INGESAAK	JHB	02		SKALA	1 : 100
AANSIGTE																
PRESENTERER	BB012															
DATUM	2018.04.29															
GETUIEN	JHB															
INGESAAK	JHB															
02																
SKALA	1 : 100															



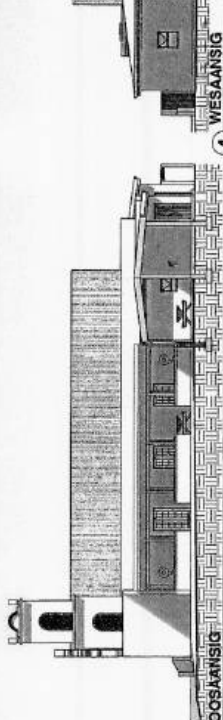
6 3D STOEP AANSIG 1



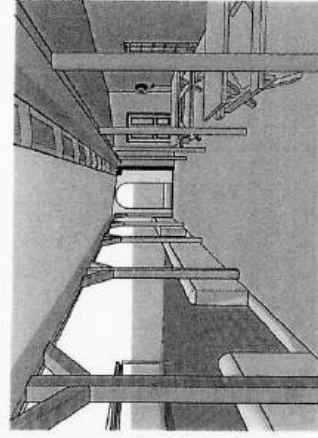
1 NOORDAANSIG
1 : 100



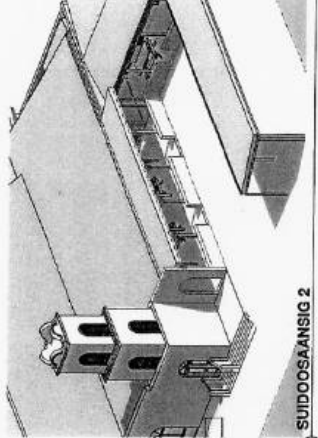
2 SUIDAANSIG
1 : 100



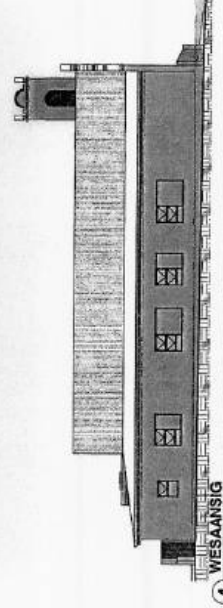
3 OOSAANSIG
1 : 100



7 3D STOEP AANSIG 3



5 SUIDOOSAANSIG 2



4 WESAANSIG
1 : 100

Annexure D

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4528, KLEINMOND**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4528, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

11/02/2021
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

6. ERF 848, 28 HIGH STREET, NORTHCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS PLANACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF AB BOOYSEN FOR KEE PROP INV (PTY) LTD

848 HNC

H van der Stoep

(028) 313 8900

Hermanus Administration

26 June 2021

Executive Summary

An application has been received on 3 December 2020 from Plan Active Town and Regional Planning on behalf of AB Booyesen for Kee Prop Inv (Pty) Ltd on Erf 848, Hermanus in terms of terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a consent use in order to establish a pool club within Shop 1. An application was received in terms of Section 16(2)(d) of the Overstrand

RESOLVED :

1. that the application for that the application in terms Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a consent use (place of entertainment) in order to establish a pool club within Shop 1, **be approved**, in terms of Section 61 of the By-Law subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan Que Inn 01, as submitted with the application;
 - (b) that the consent for a Place of Entertainment be restricted to only a sports Pool Club as applied for;
 - (c) that the operating hours be restricted as follows:
 - Monday to Friday from 12h00 to 23h00;
 - Saturdays from 10h00 to 23h00, and
 - Sundays from 10h00 to 23h00;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant

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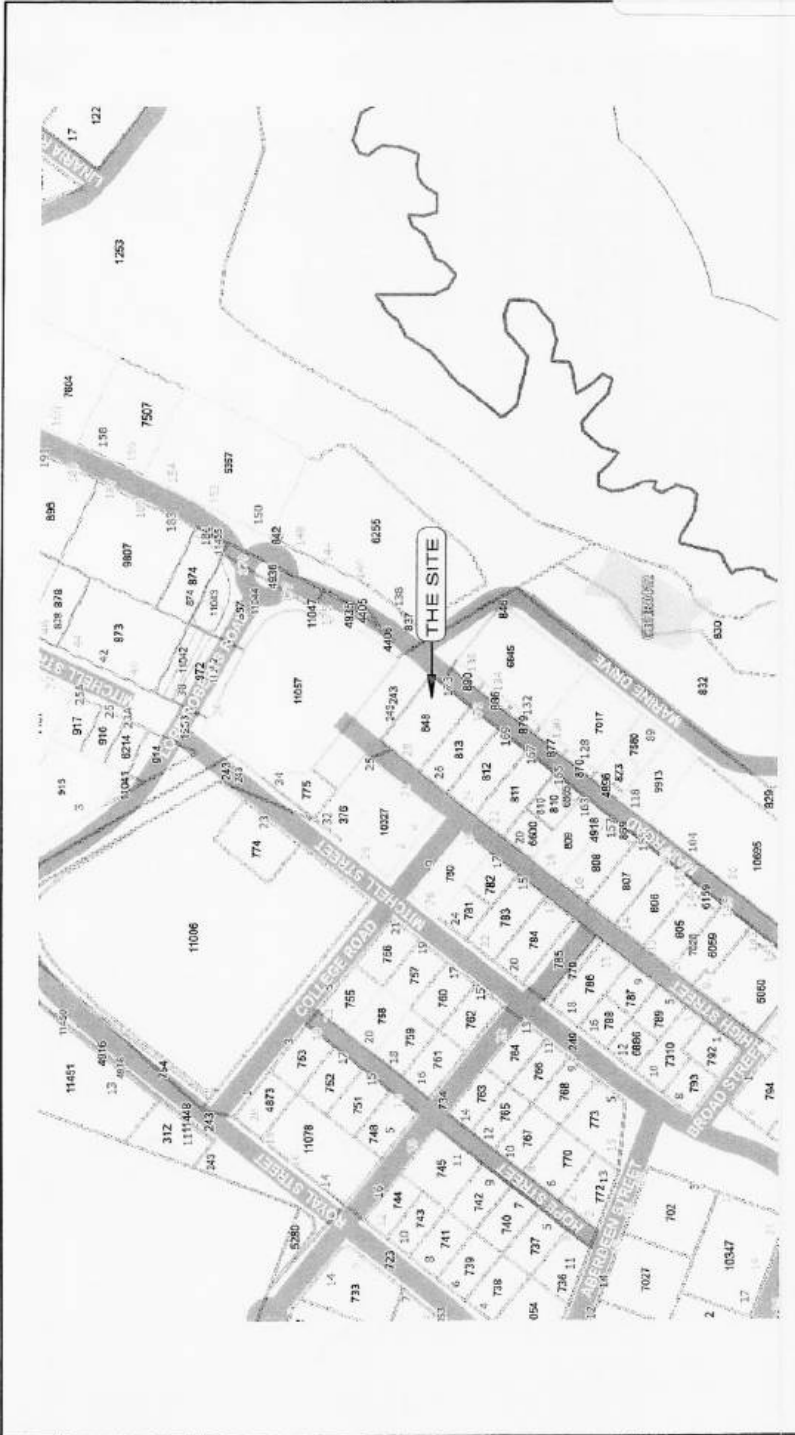
Zoning Scheme be complied with, and

- (g) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

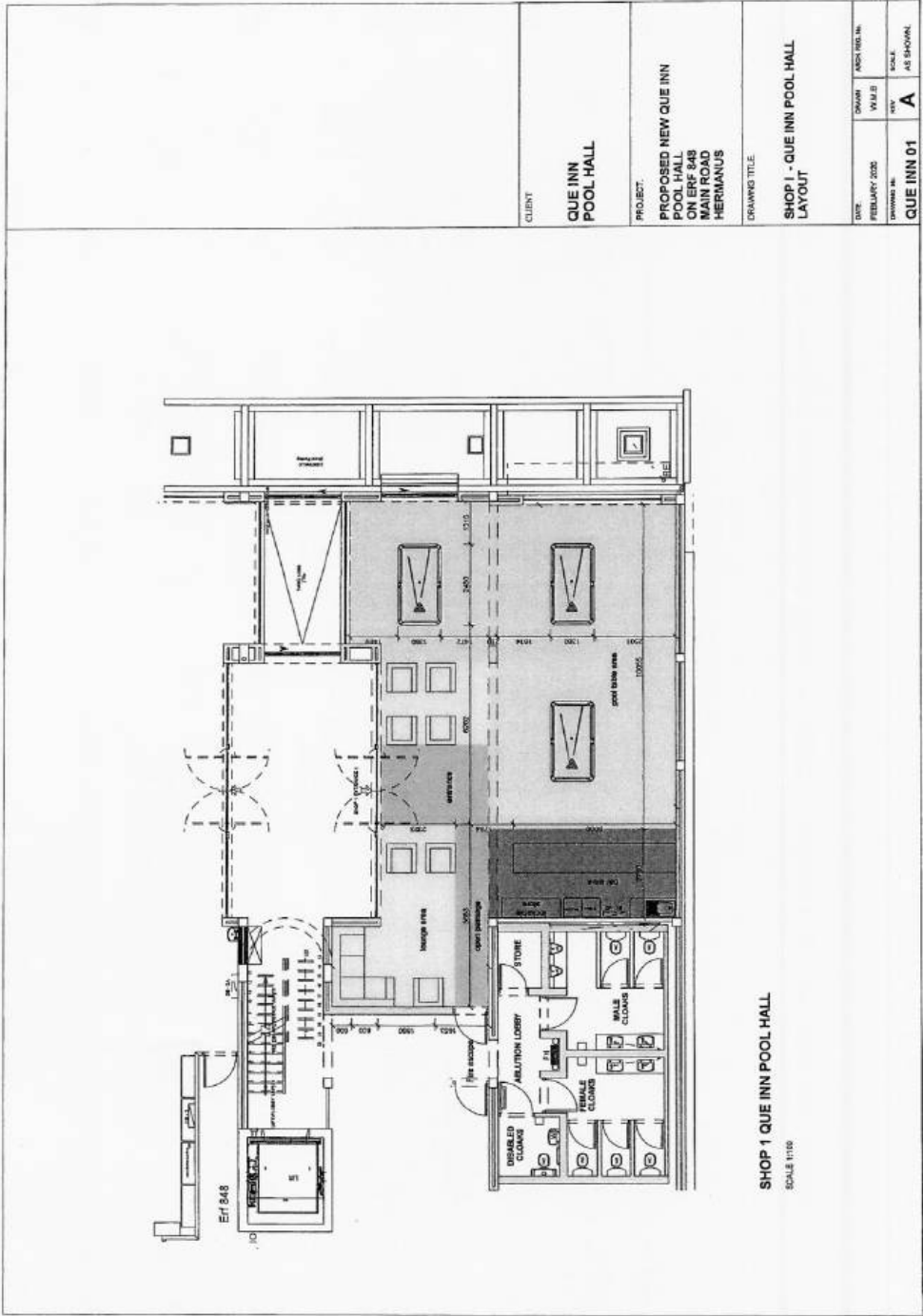
REASONS FOR RESOLUTION

- ❖ The Pool Club is in line with the mixed-use pattern of the Hermanus CBD.
- ❖ The surrounding owners did not object.
- ❖ The consent use will have no impact on the surrounding area, since it is in line with the surrounding uses.
- ❖ The activity be restricted to a sports pool club

Annexure A

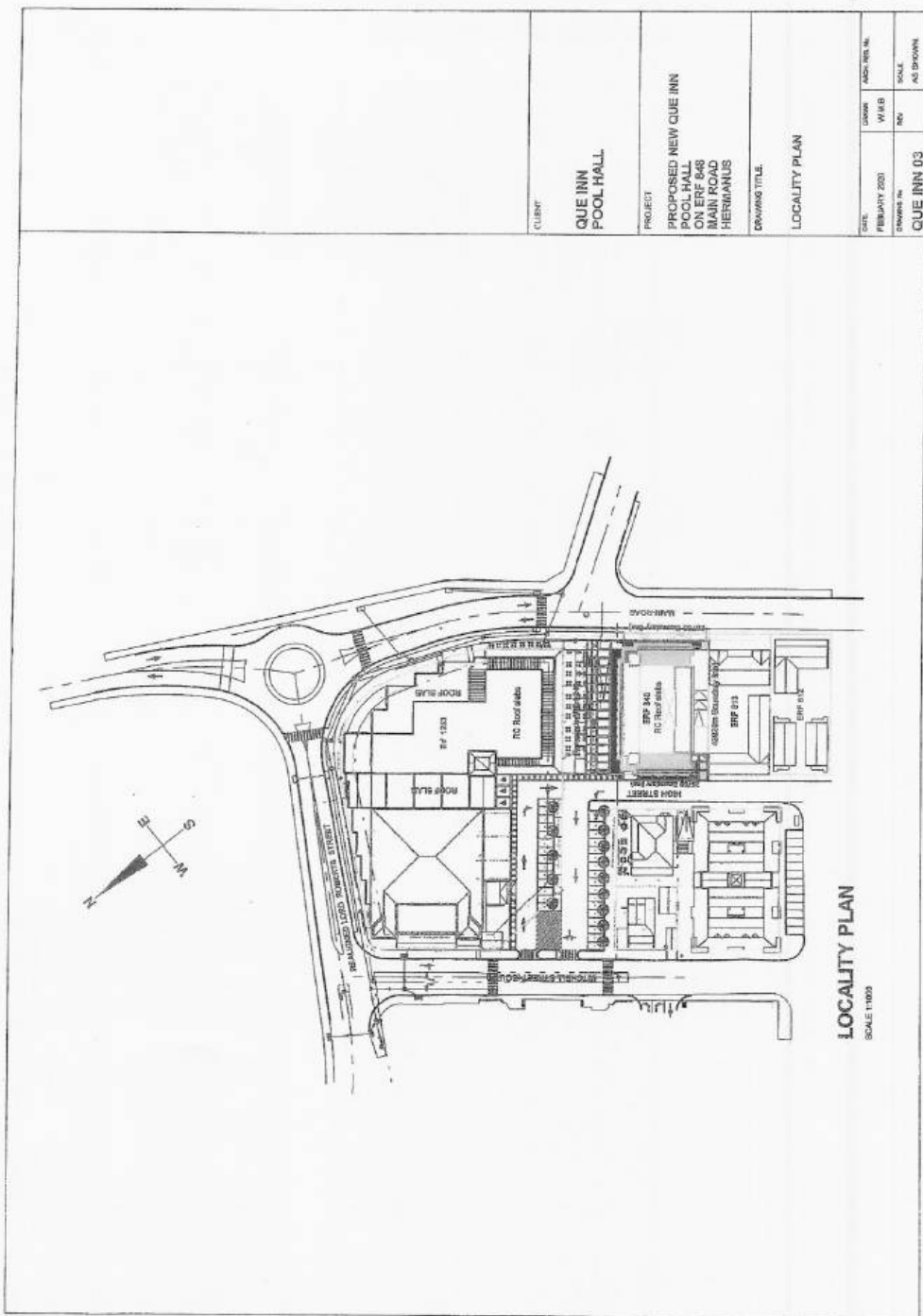


PIA'n Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey.		Property Description: ERF 848 HERMANUS	Plan Description: LOCALITY MAP	Scale: NTS Drawing Nr: HER848/LW Date: 12/2020
	COPY RIGHT RESERVED				



CLIENT		QUE INN POOL HALL	
PROJECT		PROPOSED NEW QUE INN POOL HALL ON ERF 848 MAIN ROAD HERMANUS	
DRAWING TITLE		SHOP 1 - QUE INN POOL HALL LAYOUT	
DATE	DRAWN	ARCH. NO. IN.	
FEBRUARY 2020	W.M.E.	VALUE	
DRAWING NO.	REV.	SCALE	AS SHOWN
QUE INN 01	A		

23



Annexure D

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 848, NORTHCLIFF**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 848, Northcliff, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
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19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

7. **ERF 1269, 287 MAIN ROAD STREET, EASTCLIFF, HERMANUS, OVERSTRAND MUNICIAPL AREA: APPLICATION FOR DEPARTURE: MESSRS PLAN ACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF JW MYLREA**

1269 HEC

P Roux

(028) 313 8900

Hermanus Administration

6 July 2021

Executive Summary

An application was received on 28 September 2020 from Messrs PlanActive Town- and Regional Planners on behalf of JW Mylrea for a departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) applicable to Erf 1269, Eastcliff Hermanus for:

- ❖ the relaxation of the street building line from 3m to 0,88m to accommodate the conversion of a portion of the dwelling into a new double garage, and
- ❖ to relax the western street building line and the eastern lateral building line from 2m to 1,75mm to accommodate alterations to the existing dwelling and the new roof on the south eastern corner of the dwelling.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 1269, Eastcliff Hermanus for the following:

- ❖ to relaxation of the street building line from 3m to 0,88m accommodate the conversion of a portion of the dwelling into a new double garage, and
- ❖ to relax the western street building line and the eastern lateral building line from 2m to 1,75m to accommodate alterations to the existing dwelling and the new roof on the south eastern corner of the dwelling,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the approval is only for the departures as indicated on the Site Development Plan as submitted with the application;
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire

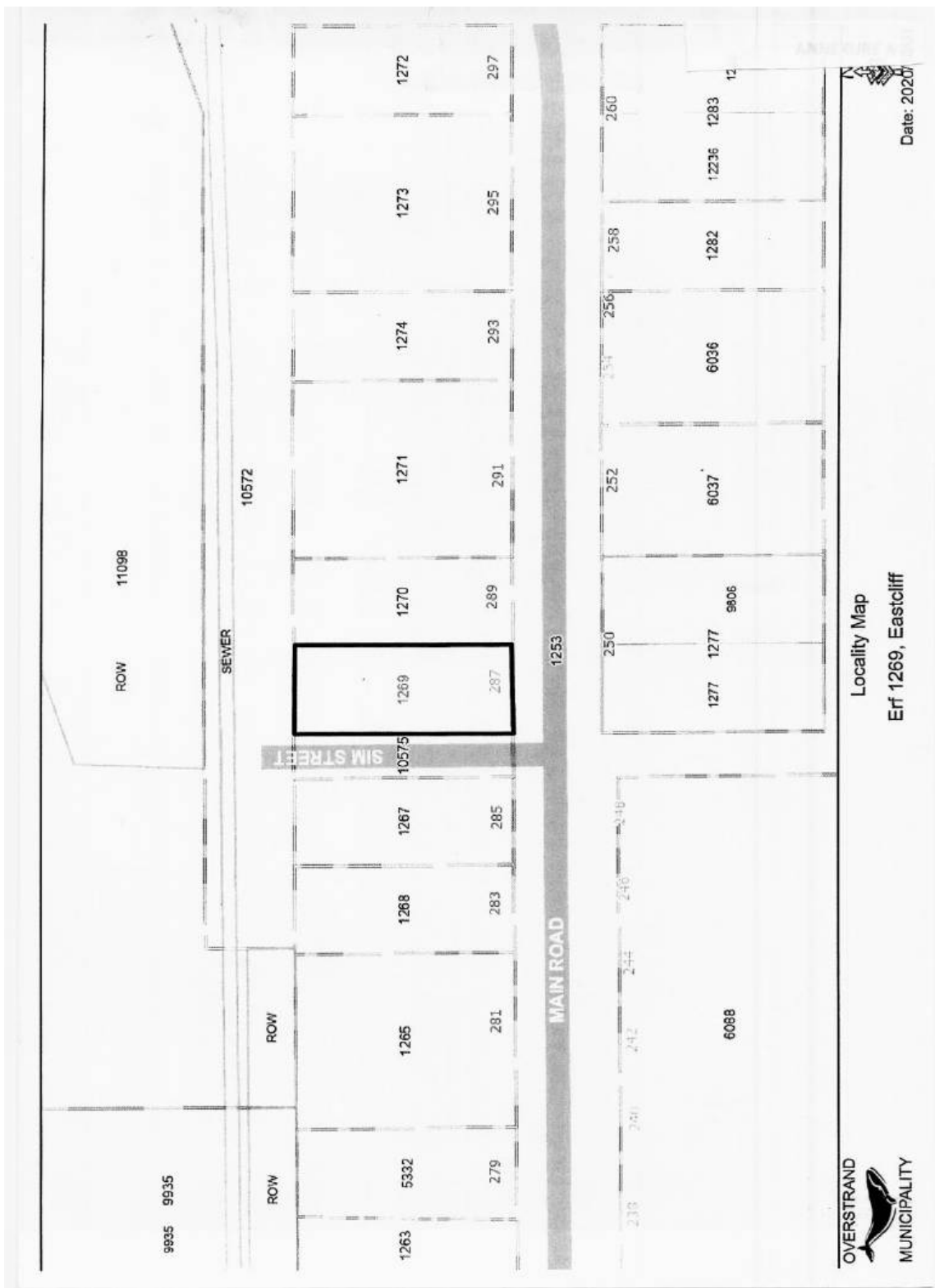
**AGENDA of the
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Department be complied with at that stage;

- (c) that the conditions of Telkom, Department of Transport and Public Works and Engineering Services, be adhered to;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2016 with regards to the above conditions of approval.

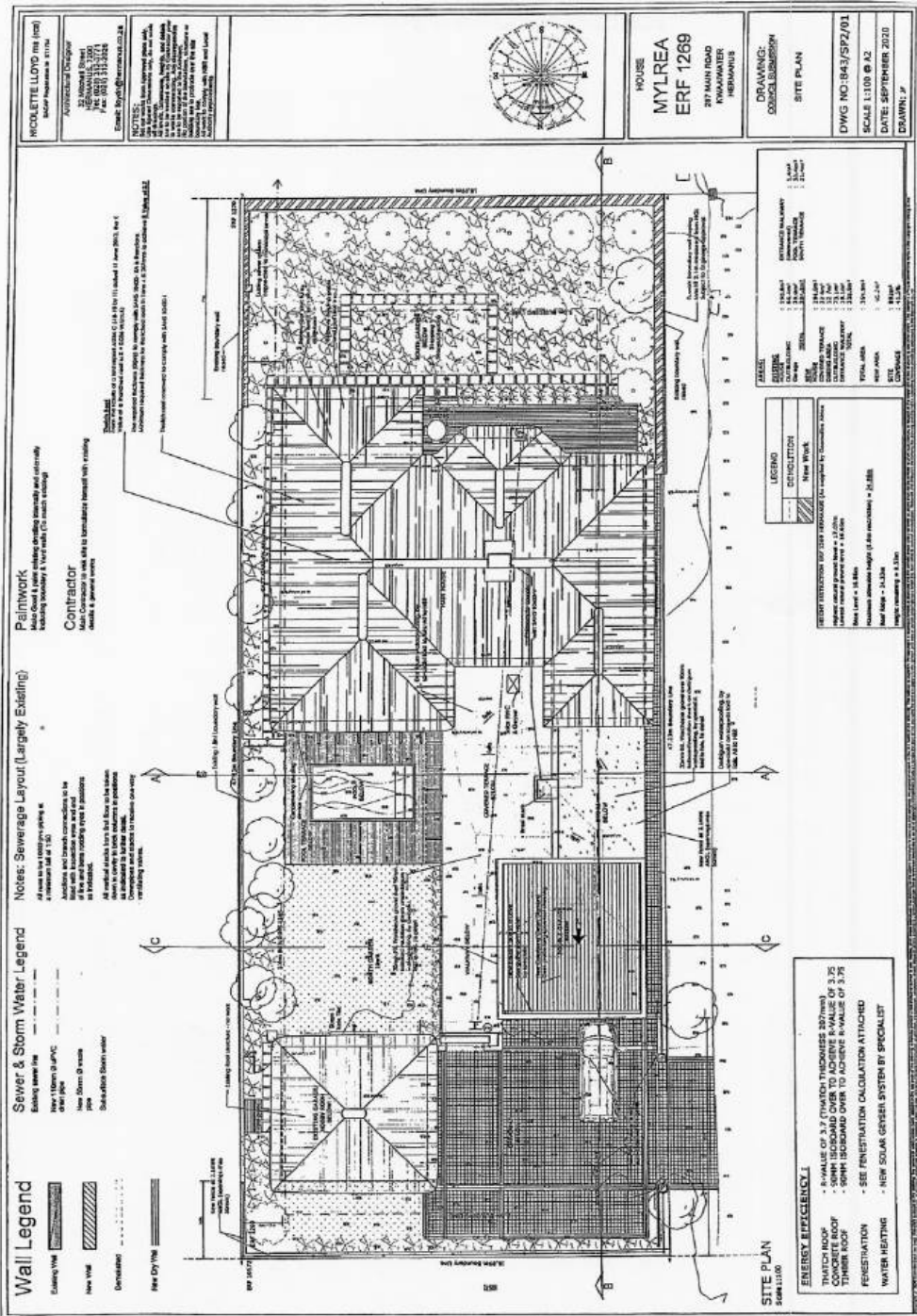
REASONS FOR RESOLUTION

- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ There will be no impact on services.
- ❖ The property owner is intitled to a garage and an outbuilding.
- ❖ The outbuilding encroaching the street building line was historically approved.
- ❖ The primary dwelling encroaching the lateral building line was historically approved.
- ❖ This application will have no negative impact on the natural environment.
- ❖ This application will have no negative impact on the aesthetical character of the area.
- ❖ This application will have no negative impact on the neighbouring property owners.
- ❖ No complaints or any disputes came forward towards the proposed departures.



Locality Map
Erf 1269, Eastcliff

Date: 2020



Wall Legend

- Existing Wall
- New Wall
- Demolition
- Free Clay Wall

Sewer & Storm Water Legend

- Existing Sewer Line
- New Storm 150mm PVC
- New Storm 100mm PVC
- New Storm 75mm PVC
- Subsidiary Storm Water

Notes: Sewerage Layout (Largely Existing)

All new to be installed in-situ. All existing to be replaced with new. All new to be installed in-situ. All existing to be replaced with new. All new to be installed in-situ. All existing to be replaced with new.

Contractor

Contractor to verify all dimensions and levels. Contractor to verify all dimensions and levels. Contractor to verify all dimensions and levels.

Architectural Designer

NICOLETTE LLOYD (Pty) Ltd
 1000
 1000
 1000

HOUSE
MYLREA
ERF 1269
 1000 ROAD
 KEMMERSBURG
 NORTHERN CAPE

DRAWING:
SITE PLAN
 DWG NO: 043/S/2/01
 SCALE 1:100 @ A2
 DATE: SEPTEMBER 2020
 DRAWN: JL

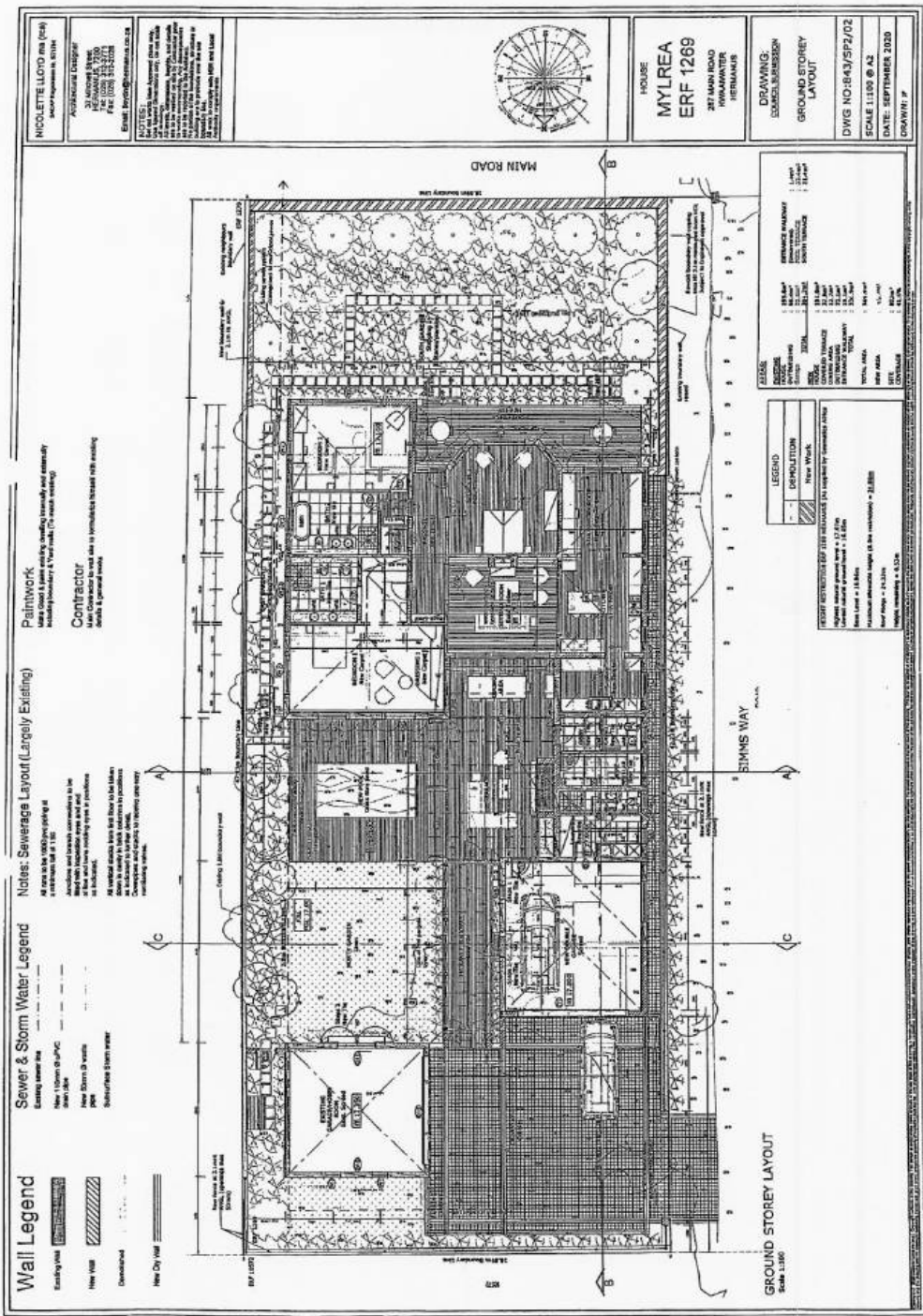
ENERGY EFFICIENCY

- THATCH ROOF
- CONCRETE ROOF
- THINER ROOF
- PENETRATION
- WATER HEATING
- NEW SOLAR GREEN SYSTEM BY SPECIALIST

LEGEND

- NEW WORK
- EXISTING
- DEMOLITION

1000
 1000
 1000



Wall Legend

Existing wall
New Wall
Overhead
New City Wall

Sewer & Storm Water Legend

Existing sewer line
New 150mm Ø R/C pipe
New 50mm Ø vents
Subsoil Pipe Storm water

Notes: Sewerage Layout (Largely Existing)

All work to be installed in accordance with the relevant standards and codes of practice.

Paintwork

Internal walls & ceilings to be painted with a suitable water-based emulsion.

Contractor

Verify all dimensions and levels before commencing work.

Architectural Designer

NICOLETTE LLOYD AND PARTNERS
23 DEERFIELD DRIVE
REHMANIA 15700
JANZENBURG
T: 083 312 3123
F: 083 312 3124
E: nicol@nll.co.za

HOUSE

MYLREA
ERF 1269
287 MAIN ROAD
WIMMERBACH
WIMMERBACH

DRAWING:

ERF 1269/1269/1269
GROUND STOREY LAYOUT

DWG NO: R43/572/02
SCALE: 1:100 @ A2
DATE: SEPTEMBER 2020
DRAWN: PF

LEGEND

DEPICTION

Work

LEGEND

DEPICTION

LEGEND

DEPICTION

LEGEND

DEPICTION

LEGEND

DEPICTION

LEGEND

DEPICTION

LEGEND

DEPICTION

LEGEND

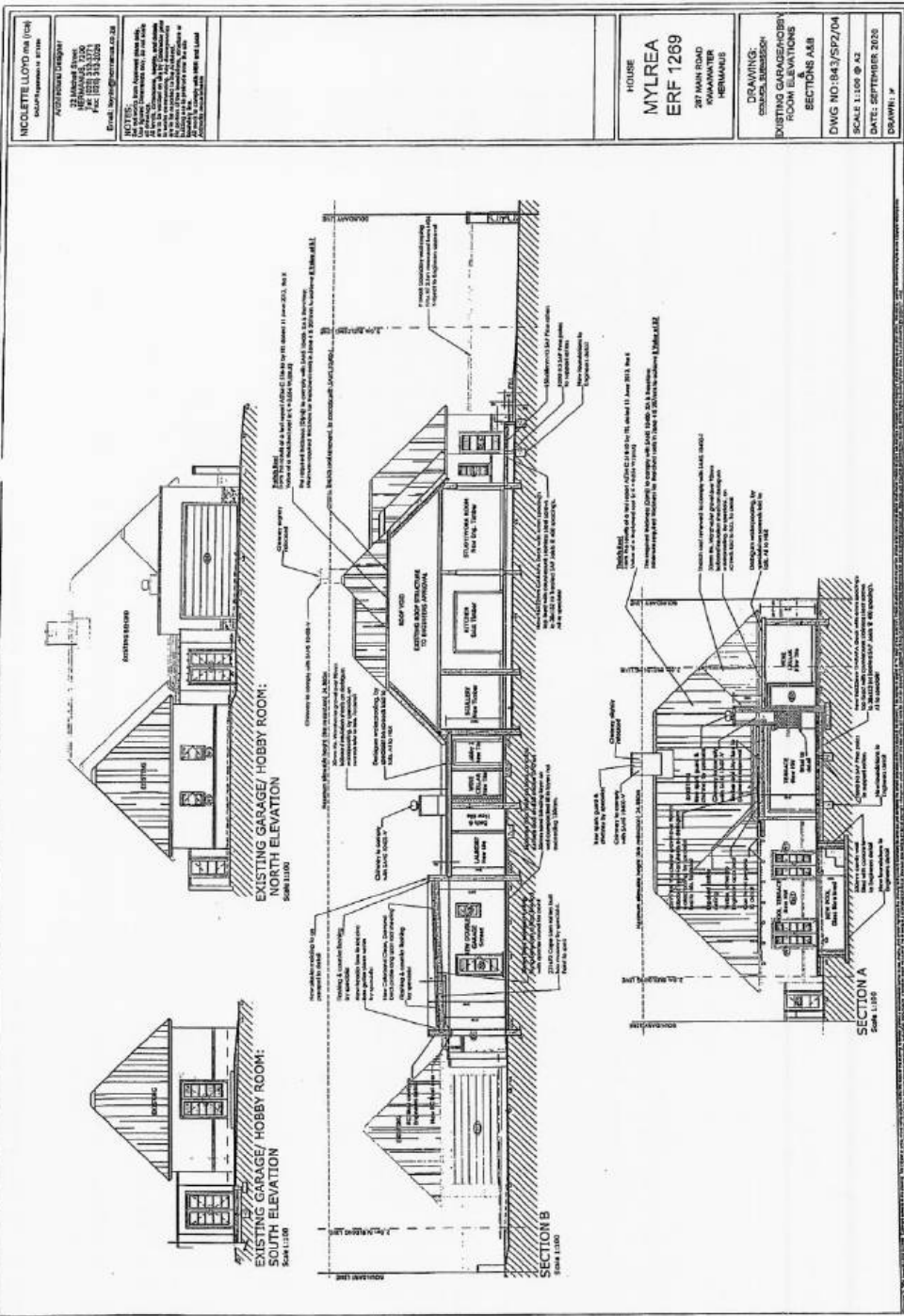
DEPICTION

LEGEND

DEPICTION

LEGEND

DEPICTION



INCOLETTE LLOYD inc (Pty) Ltd
 22 Michael Street
 Sandton, 2146
 Tel: 011 798 3100
 Fax: 011 798 3101
 Email: info@incollette.co.za

NOTES:
 1. All work to be done in accordance with the Building Code of South Africa (BCSA) and the relevant standards.
 2. The drawings are based on the information provided by the client and the existing structure.
 3. The contractor is responsible for obtaining all necessary permits and approvals.
 4. The drawings are for informational purposes only and do not constitute a contract.
 5. The contractor is to verify all dimensions and conditions on site before commencing work.
 6. The drawings are subject to change without notice.
 7. The contractor is to ensure that all work is completed in a timely and professional manner.
 8. The contractor is to provide a detailed schedule of work and progress reports.
 9. The contractor is to ensure that all safety measures are followed at all times.
 10. The contractor is to ensure that all waste is disposed of in an environmentally responsible manner.
 11. The contractor is to ensure that all materials are of the highest quality and meet the required specifications.
 12. The contractor is to ensure that all work is completed in accordance with the drawings and specifications.
 13. The contractor is to ensure that all work is completed in a safe and sound manner.
 14. The contractor is to ensure that all work is completed in a professional and courteous manner.
 15. The contractor is to ensure that all work is completed in a timely and efficient manner.
 16. The contractor is to ensure that all work is completed in a cost-effective manner.
 17. The contractor is to ensure that all work is completed in a high-quality manner.
 18. The contractor is to ensure that all work is completed in a sustainable manner.
 19. The contractor is to ensure that all work is completed in a manner that respects the environment and the community.

HOUSE
MYLREA
ERF 1269
 287 MAIN ROAD
 KEMANANTER
 HERMANUS

DRAWING:
 EXISTING GARAGE/ HOBBY ROOM ELEVATIONS
 SECTIONS A&B
DWG NO: 1843/S12/04
SCALE: 1:100 @ A2
DATE: SEPTEMBER 2020
DRAWN: #

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1269, EASTCLIFF**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Senior Manager: Operational Services: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 1269, Eastcliff, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES

01/62/2021
DATE

**AGENDA of the
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8. ERF 422, 3 RAASWATER STREET, DE KELDERS: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE: MESSRS JLR & ASSOCIATES ON BEHALF OF MWD VAN ASWEGEN

422 GDK

P Roux

23 July 2021

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 20 September 2018 from Messrs JLR & Associates on behalf of MWD Van Aswegen on Erf 422, De Kelders for the following:

- ❖ application in terms of Section 16(2)(f) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed condition E.(d) as contained in Title Deed T38765/2013 to permit the proposed application.
- ❖ application in terms of Section 16(2)(b) of the By-Law to relax the street building line from 4m to 0m to accommodate building work within the building lines and to exceed the boundary wall height to 2,1m.

RESOLVED :

1. that the application received from Messrs JLR & Associates on behalf of MWD Van Aswegen applicable to Erf 422, De Kelders for the removal of restrictive title deed conditions with reference to Clauses E.(d) of Title Deed T38765/2013 in terms of Section 16(2)(f) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the By-Law to relax the street building line from 4m to 0m to accommodate building work within the building lines and to exceed the boundary wall height to 2,1m, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the decisions in paragraph 1. and 2. be subject to the following conditions:
 - (a) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with at that stage;
 - (b) that all other development parameters as prescribed in the relevant

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Zoning Scheme, be complied with;

- (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (d) that all the conditions in the Services Report, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

REASONS FOR RESOLUTION

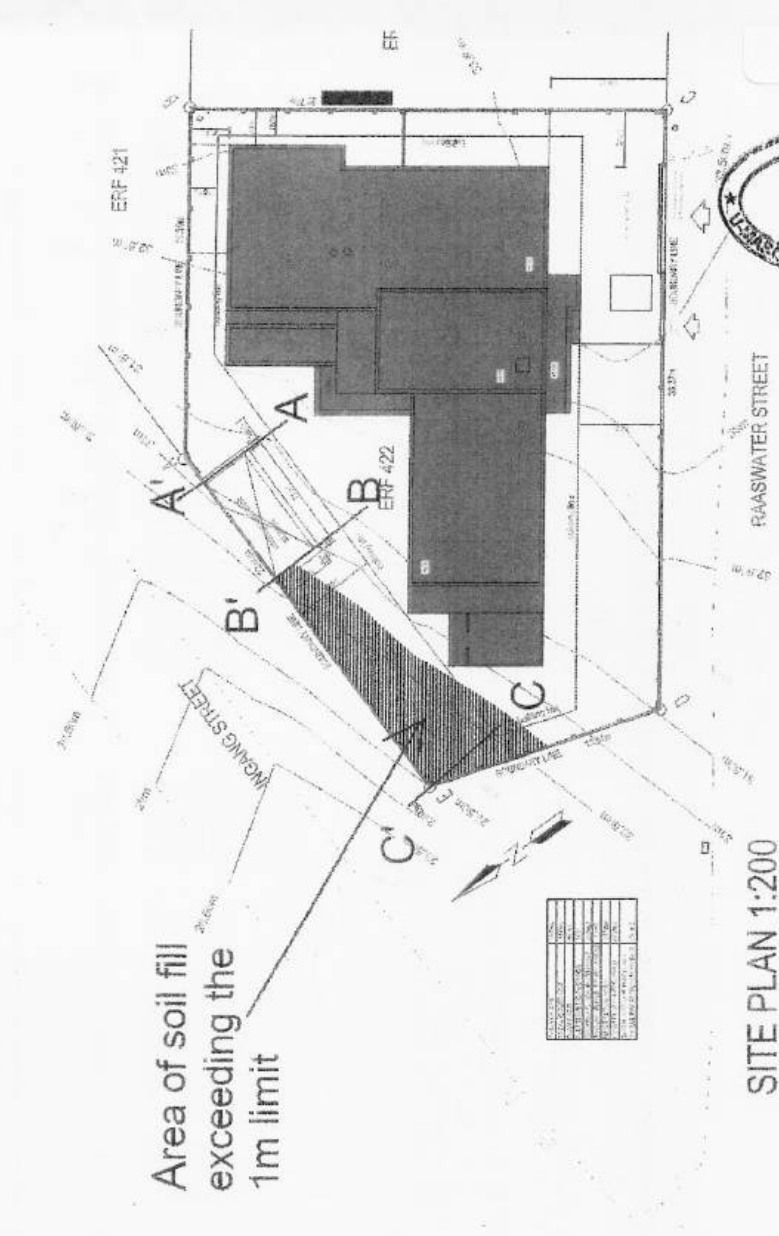
- ❖ The application has followed due procedure.
- ❖ None of the relevant departments have any objection.
- ❖ The Overstrand Zoning Scheme Regulations have sufficient control measures when it comes to building line controls.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The impact of the encroachments is limited and softened by shrubs and vegetation.
- ❖ The encroachments are due to the slope of the natural ground level which only affects the development of the property and not the whole streetscape.
- ❖ The encroachments face toward the coastline and away from the neighbouring properties.
- ❖ The encroachments do not affect the sea views of the adjacent properties.
- ❖ The streetscape and character of the area cannot be affected by the encroachments due to the topographic nature and morphological design of the erfs location, which is uneven and no proper sight down long corridor roads.



GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 1:2012.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 2:2012.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 3:2012.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 4:2012.
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 5:2012.
- 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 6:2012.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 7:2012.
- 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 8:2012.
- 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 9:2012.
- 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 10:2012.
- 11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 11:2012.
- 12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 12:2012.
- 13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 13:2012.
- 14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 14:2012.
- 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 15:2012.
- 16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 16:2012.
- 17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 17:2012.
- 18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 18:2012.
- 19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 19:2012.
- 20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH AFRICAN NATIONAL STANDARD SANS 10400 PART 20:2012.

Area of soil fill exceeding the 1m limit

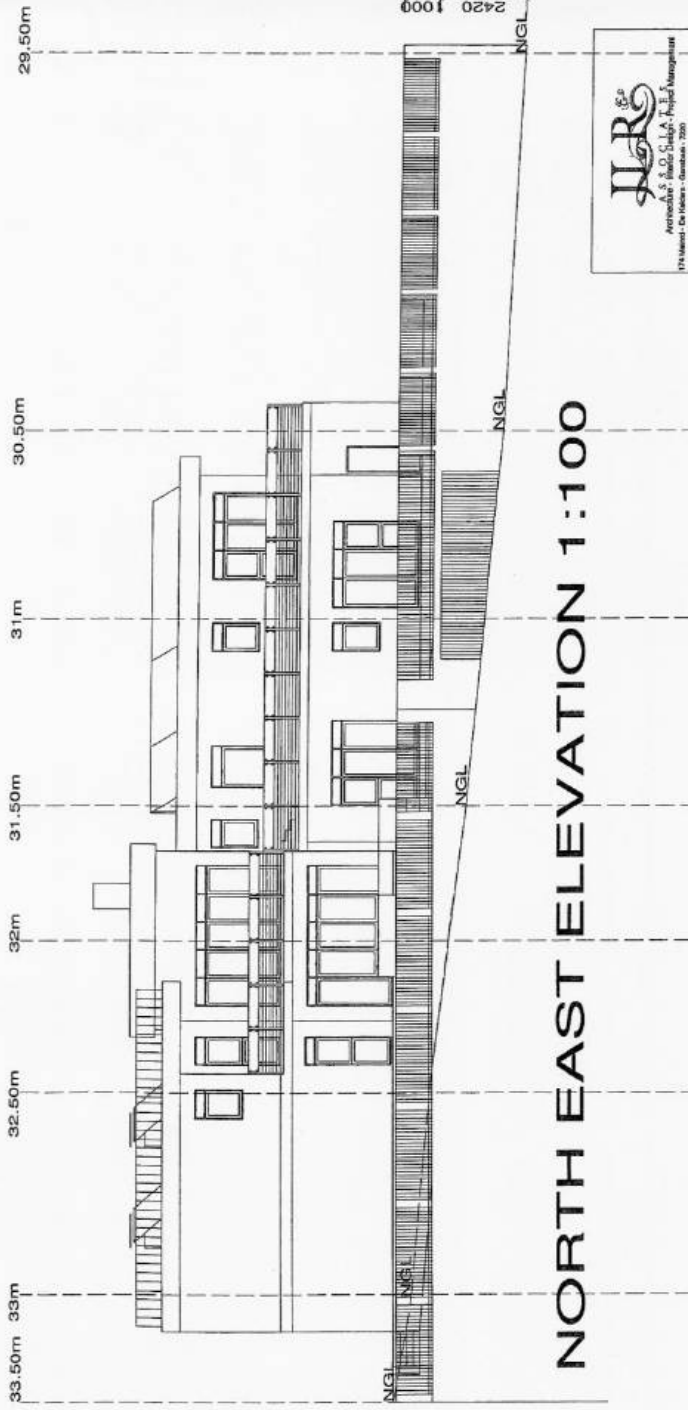


NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2019/07/02
2	ISSUED FOR PERMIT	2019/07/02
3	ISSUED FOR PERMIT	2019/07/02
4	ISSUED FOR PERMIT	2019/07/02
5	ISSUED FOR PERMIT	2019/07/02
6	ISSUED FOR PERMIT	2019/07/02
7	ISSUED FOR PERMIT	2019/07/02
8	ISSUED FOR PERMIT	2019/07/02
9	ISSUED FOR PERMIT	2019/07/02
10	ISSUED FOR PERMIT	2019/07/02

SITE PLAN 1:200



ANNEXURE C 177



NORTH EAST ELEVATION 1:100

HLR
 Architectural & Construction Management
 174 Nymet - De Vries - Oosthoek - 7200
 Tel: 067 808 7131 Fax: 067 807 2188
 Mail: 06780812100 Email: architect@hlr.nl

PROJECT: **24422 De Vries**
 147 Nymet - De Vries

DESCRIPTION: **ELEVATION**

HOUSE Van Aswegen			
FILE:	24422020	BOUW:	De Vries
VOORPLOT:	A.S. De Vries	DATE:	November 2015
TEKENAAR:	A.S. De Vries	COORDINATOR:	J.P.F.
GEHECKT:	J.P.F. De Vries		



COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS & DEPARTURE: ERF 422, DE KELDERS (4178)

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing, standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 422, De Kelders, unobstructed;
6. that no on-street parking be allowed.

D.P. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

02/07/2020
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
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9. ERF 212, KLEINBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDMENT OF SITE DEVELOPMENT PLAN: R VAN STADEN ON BEHALF OF OVERBERG BOAT CLUB

212 GKB

**SW van der Merwe
16 July 2021**

(028) 313 8900

Hermanus Administration

Executive Summary

An application in terms of the provisions of Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) has been received on 23 November 2020 from R van Staden on behalf of Overberg Boat Club for the amendment of the approved Site Development Plan (SDP) in order to accommodate additional boat sheds on the property.

RESOLVED :

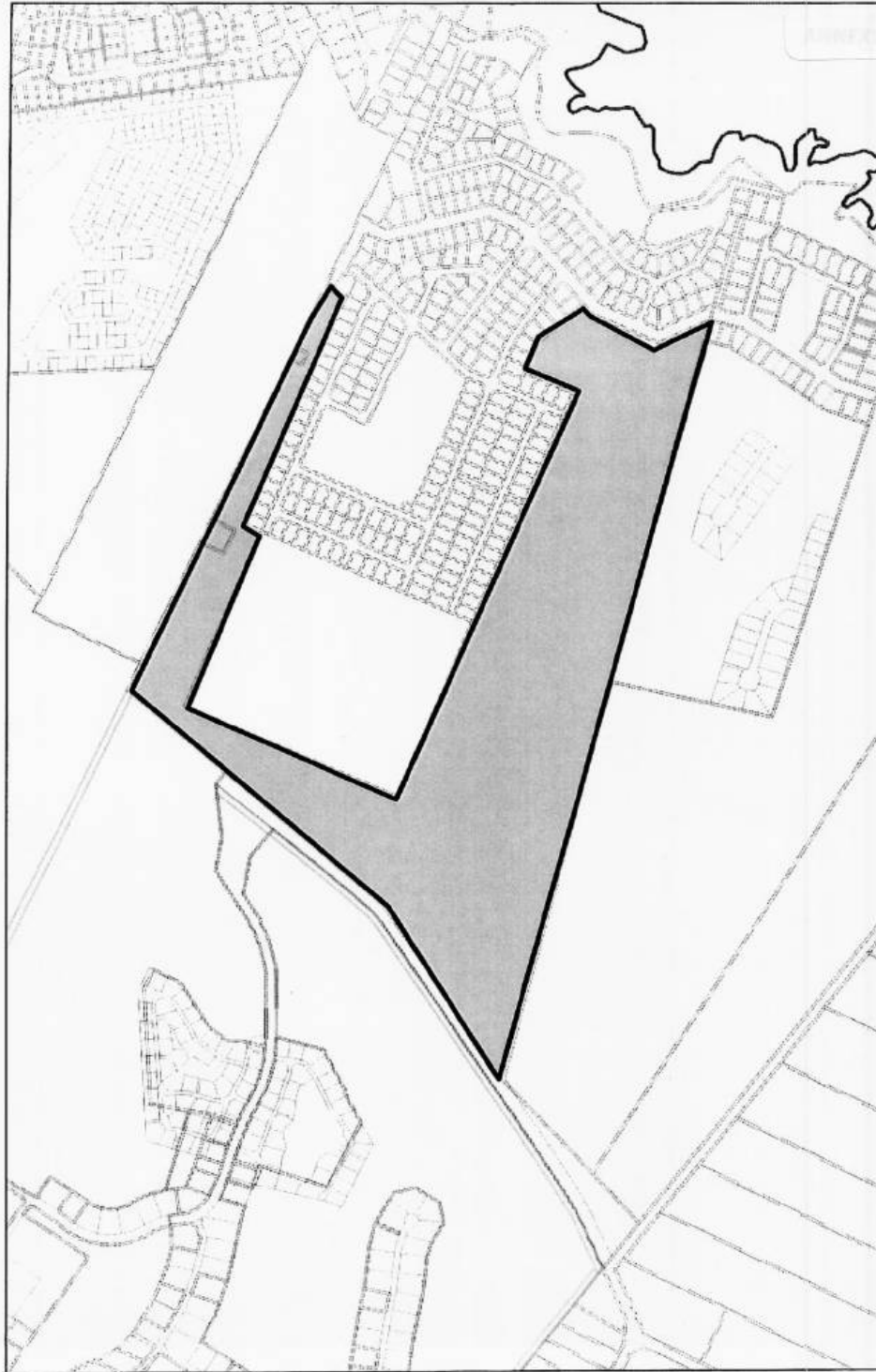
1. that the application in terms of Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 212, Klenbaai for the amendmend of the approved Site Development Plan in order to accommodate additional boat sheds on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
 - (a) that the development be restricted to the layout as per plan for twenty (20) additional boat sheds as submitted with the application;
 - (b) that the applicant provides the Municipality with a complete Site Development Plan for approval;
 - (c) that building plans be submitted to the Building Department for approval and that any conditions by the Building Department and Fire Services at the time, be adhered to;
 - (d) that the conditions of Engineering Services and Department of Transport and Public Works, be adhered to;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.

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2. that the applicant be notified of its right to appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditional approval.

REASONS FOR RESOLUTION

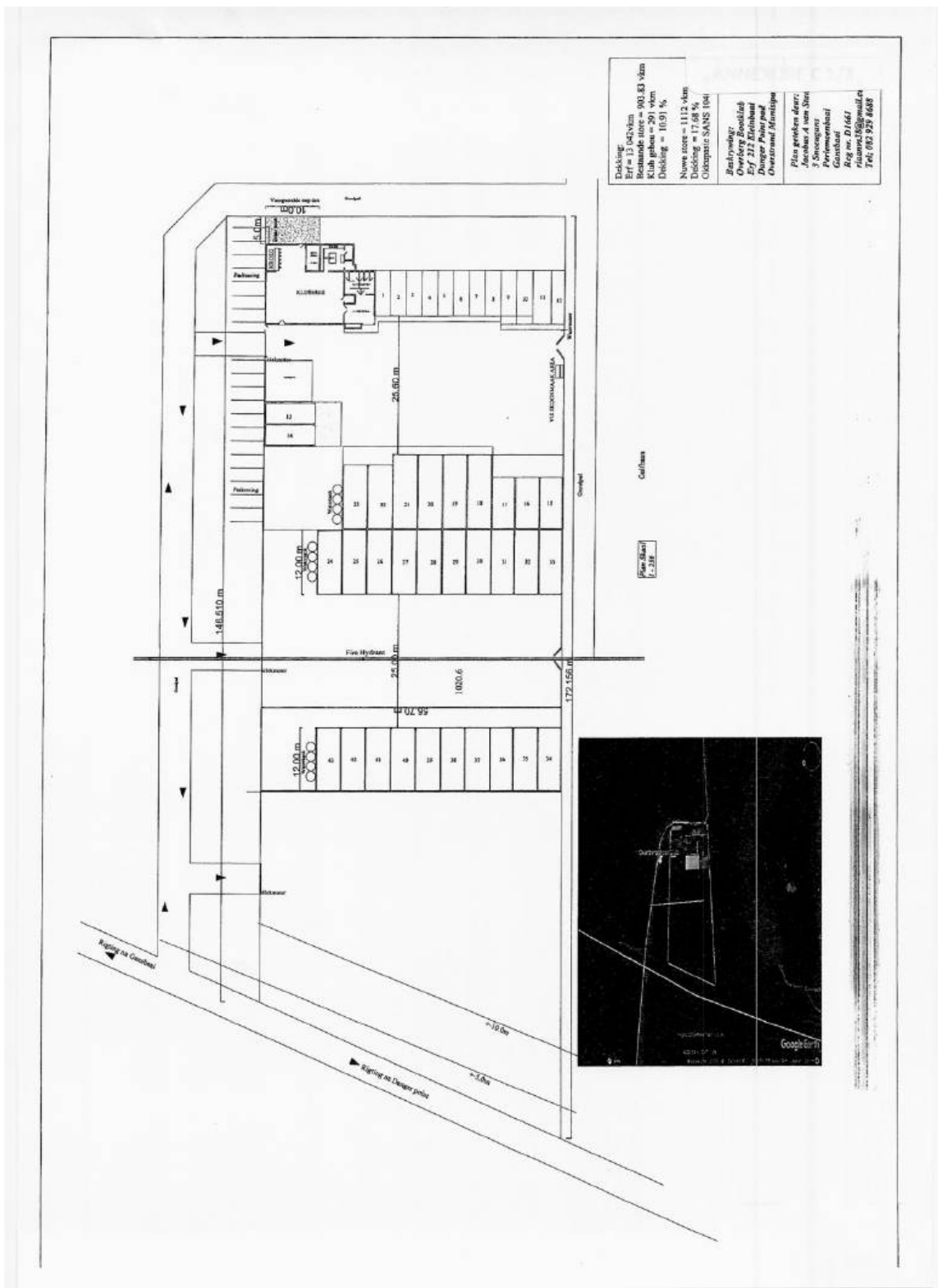
- ❖ The application has followed due procedure.
- ❖ None of the internal departments have any objection.
- ❖ The proposal is regarded as being compatible with the existing land uses and zoning of the property.
- ❖ The development is regarded as being desirable from a town planning perspective.
- ❖ The proposed development will not impact the natural environment.
- ❖ The proposed development will not have a negative impact on the character or morphology of the surrounding area.
- ❖ None of the surrounding property owners will be adversely affected by the proposed development.

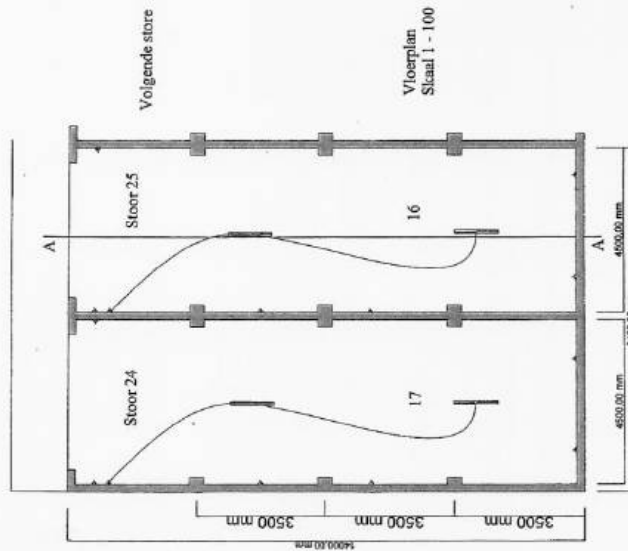


Scale: 1:1000
Date: 2021/02/18

ERF 212, KLEINBAAI



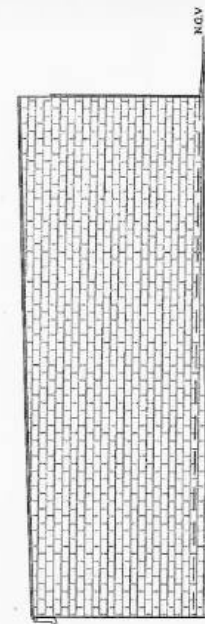




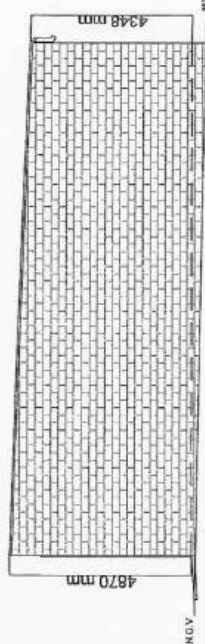
Dekking:
Erf = 13 042 v/km
Bestaande store = 903,83 v/km
Klub gebou = 291 v/km
Dekking tans = 10,91 %
Nuwe store = 1365,28 v/km
Dekking dan = 19,65 %
Ookkupasie SANS 10400 J2

Plan nr. 017/043
Blad 2 van 3
Beskrywing:
*Woorgrasde Vergrouting
Overberg Boottklub
Erf 212 Klambaat
Danger Point pad
Overstrand Munisipaliteit*

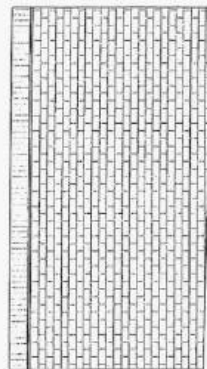
Geteken:
Riaan van
3 Steunag
Pretorius
Gansbaai
7220
Reg nr D1₀₄₃



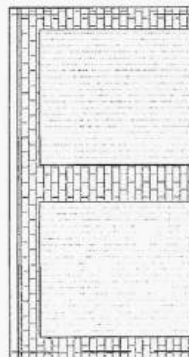
SYAANSIG
SKAAL 1-100



SYAANSIG
SKAAL 1-100



AGTERAANSIG
SKAAL 1-100



VOORAANSIG
SKAAL 1-100

Dekking:
 Erf = 13 042 vkm
 Bestaande store = 903,83 vkm
 Klub gebou = 291 vkm
 Dekking tans = 10,91 %
 Nuwe store = 1369,28 vkm
 Dekking dan = 19,65 %
 Oekupasie SANS 10400 J2

Plan nr. 017/043
 Blad 1 van 3

Beskrywing:
 Hoogstedelike Vergrouting
 Overberg Boodklub
 Erf 212 Kleinbaai
 Danger Point pad
 Overstrand Munisipaliteit


Getekener:
 Klaas v
 3 Sneeuw
 Perlema
 Gansbaai
 7220
 Reg. nr D1661

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF SITE DEVELOPMENT PLAN: ERF
212, KLEINBAAI**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. That the existing water- and sewer connections to Erf 212 shall be used to service Erf 212;
2. that only the existing, standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that on-site parking facilities are provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 212, Kleinbaai, unobstructed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

10. ERF 1210, WOODLANDS ROAD, HAWSTON, OVERSTRAND MUNICIPAL AREA: CONSENT USE: MT WINDVOGEL ON BEHALF OF J & CW WINDVOGEL

1210 HHW

H Olivier

(028) 313 8900

Hermanus Administration

9 July 2021

Executive Summary

An application was received on 17 February 2021 from MT Windvogel on behalf of J & CW Windvogel for a consent use in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 in order to utilize a portion of the dwelling on Erf 1210, Hawston as a house shop.

RESOLVED :

1. that the application for consent use in terms of Section 16.(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 in order to utilize a portion of the existing dwelling on Erf 1210, Hawston as a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that only the area indicated on Plan Number 1210-LAD-20-01 dated 27 October 2020 may be utilised as a house shop;
 - (b) that no more than one (1) vehicle, not exceeding 3500kg gross weight, may be utilized to make deliveries at the house shop at any one time;
 - (c) that adequate provision be made to manage the behaviour of patrons (both inside and outside the building) and for security and protection of surrounding properties, patrons, vehicles, etc.;
 - (d) that the house shop may not be used for the purposes of noxious trade, risk activity, sale of alcoholic beverages, place of entertainment or gambling purposes;
 - (e) that no products, goods or supplies connected to the house shop may be stored on the property outside the building;
 - (f) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;
 - (g) that the trading hours of business only be between:

**AGENDA of the
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19 October 2021
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Monday to Friday: 06:00 to 21:00;
Saturday: 06:00 to 21:00;
Sunday: Does not include Sundays and public holidays;

- (h) that no more than three (3) persons, including the occupant(s) of the dwelling unit, permitted to be engaged in retail activities on the property, other than with the consent of the Municipality;
- (i) that the operator shall permanently reside on the premises;
- (j) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (k) permission to operate a house shop is granted to a particular operator and is not transferrable;
- (l) that no sub-letting is permitted;
- (m) that the conditions in the Engineering Report, be adhered to;
- (n) that the Overstrand Municipality retains the right to enforce any relevant legislation, as well as law and order on the premises, on the landowner/s;
- (o) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (p) that application is made for a Business Licence at the Overstrand Municipality, prior to operation of the house shop;
- (q) that any structure or alteration to the existing structure must conform to the residential character of the area concerned and all relevant legislation;
- (r) that building plans be submitted to the Municipality showing all building changes and partitioning of the house shop in the dwelling to the satisfaction of the Fire Department and Building Control Department;
- (s) that no accumulation of refuse occurs on the premises, and
- (t) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

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2. that the applicant be notified of their right of appeal in terms Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

REASONS FOR RESOLUTION

- ❖ The application has followed due procedure.
- ❖ None of the internal departments have objected to the application.
- ❖ No new municipal services will be needed.
- ❖ It is in line with the aims of the Overstrand SDF.
- ❖ No objections were received from neighbours.
- ❖ It will not impact on surrounding neighbours or the character of the area and is desirable.



Locality Map
ERF 1210 Hawston

Date: 202



Appendix D

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 1210, HAWSTON**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Senior Operational Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1210, Hawston, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES

14-04-2021
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

11. **ERF 2969, 16 DISA STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS STUDIO ZET DESIGNS ON BEHALF OF JP MEYER**

2969 HON

H Olivier

(028) 313 8900

Hermanus Administration

19 July 2021

Executive Summary

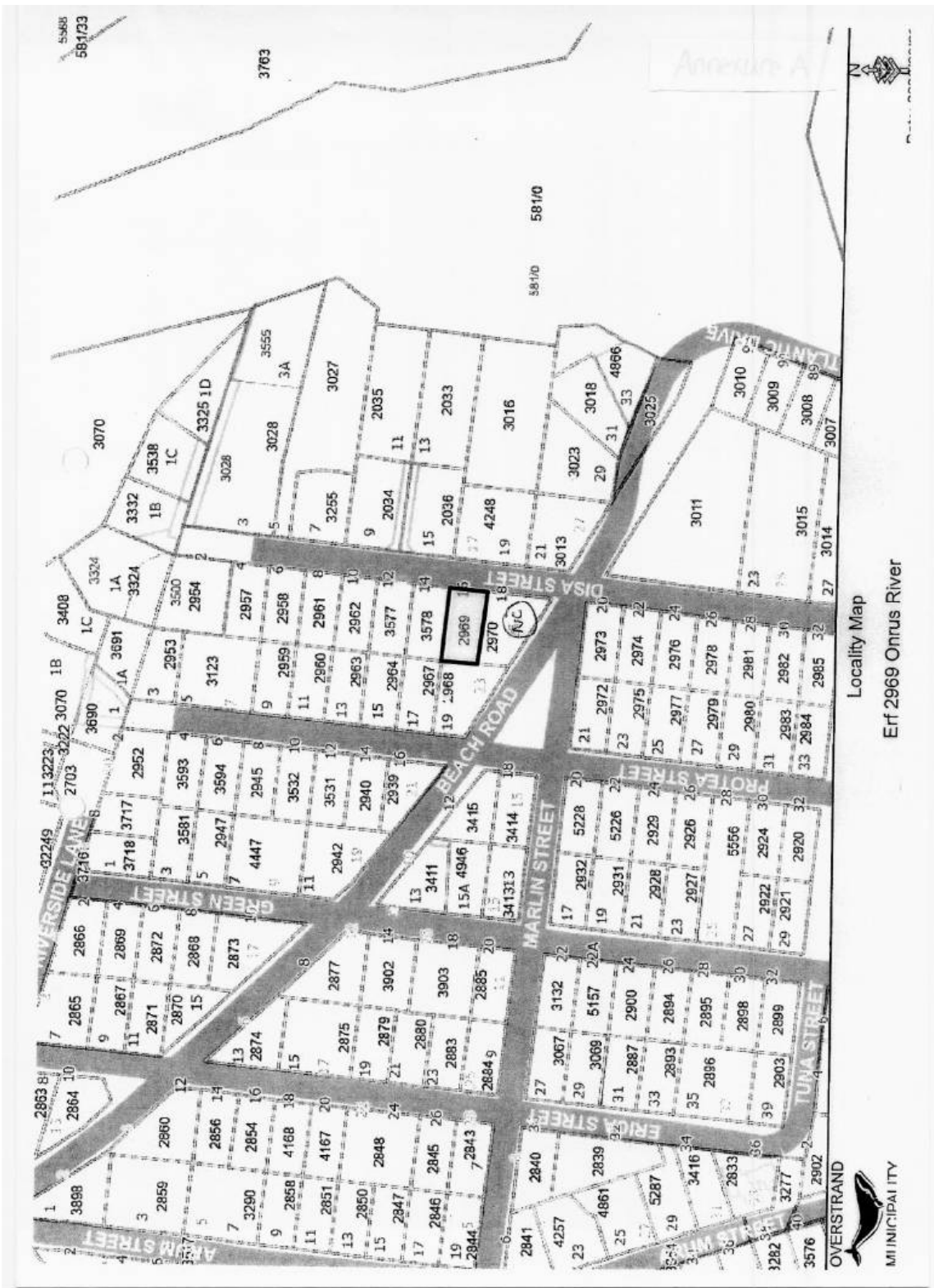
An application was received on 4 May 2021 from Messrs. Studio Zet Designs on behalf of JP Meyer on Erf 2969, Onrustrivier in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a departure in order to relax the southern lateral building line from 2m to 1,72m to accommodate a new concrete roof slab.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 on Erf 2969, Onrustrivier for a departure in order to relax the southern lateral building line from 2m to 1,72m to accommodate a new concrete roof slab, **be approved** in terms of the provisions of Section 61 subject to the following conditions:
 - (a) that this approval only relates to a building line relaxation as indicated on plan numbers 100 and 101 dated 1 April 2021, and
 - (b) that building plans be submitted to the Building Control Department, and that all conditions set by the Building- and Fire Departments at that stage, be complied with.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above-mentioned approval.

REASONS FOR RESOLUTION

- ❖ All relevant municipal departments support the application.
- ❖ The new structure will not impact surrounding property owners.
- ❖ The application will not impact on the character of the area.
- ❖ The only possible affected neighbour consented to the application.
- ❖ The application is in line with the Planning Principles of efficiency as land will be optimally used.

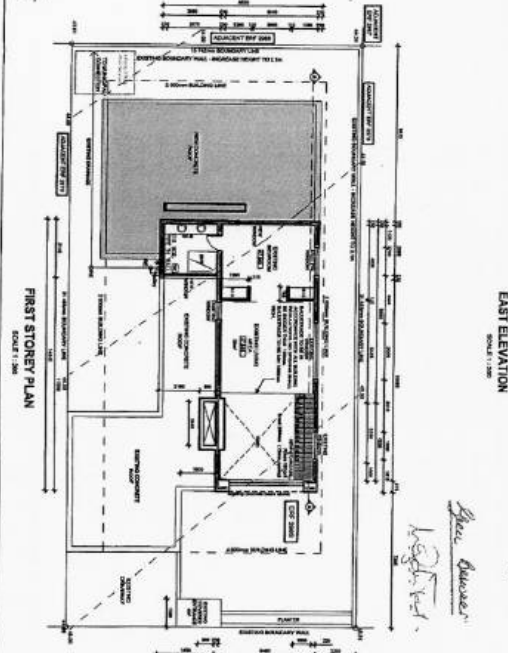
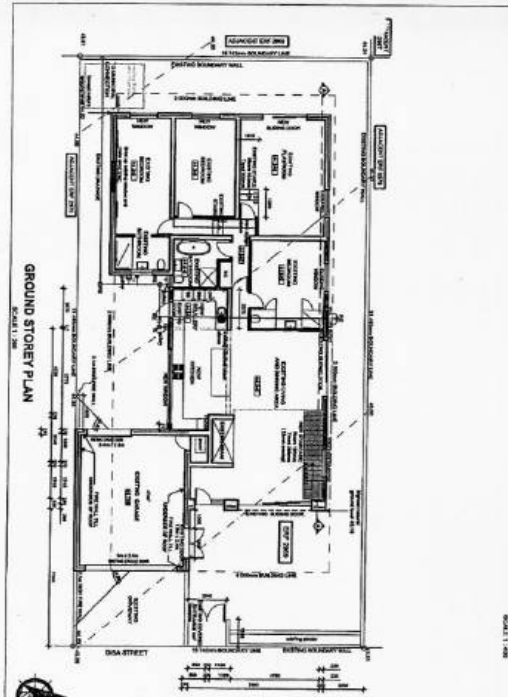
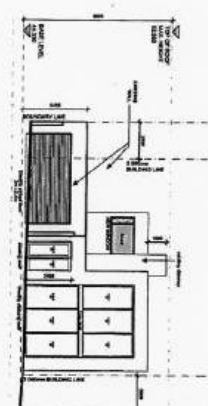
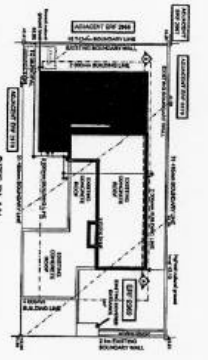


Locality Map
Erf 2969 Onrus River



NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	12/15/2011	J. J. WOOD	J. J. WOOD
2	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
3	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
4	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
5	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
6	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
7	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
8	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
9	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
10	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
11	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
12	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
13	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
14	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
15	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
16	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
17	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
18	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
19	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
20	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD

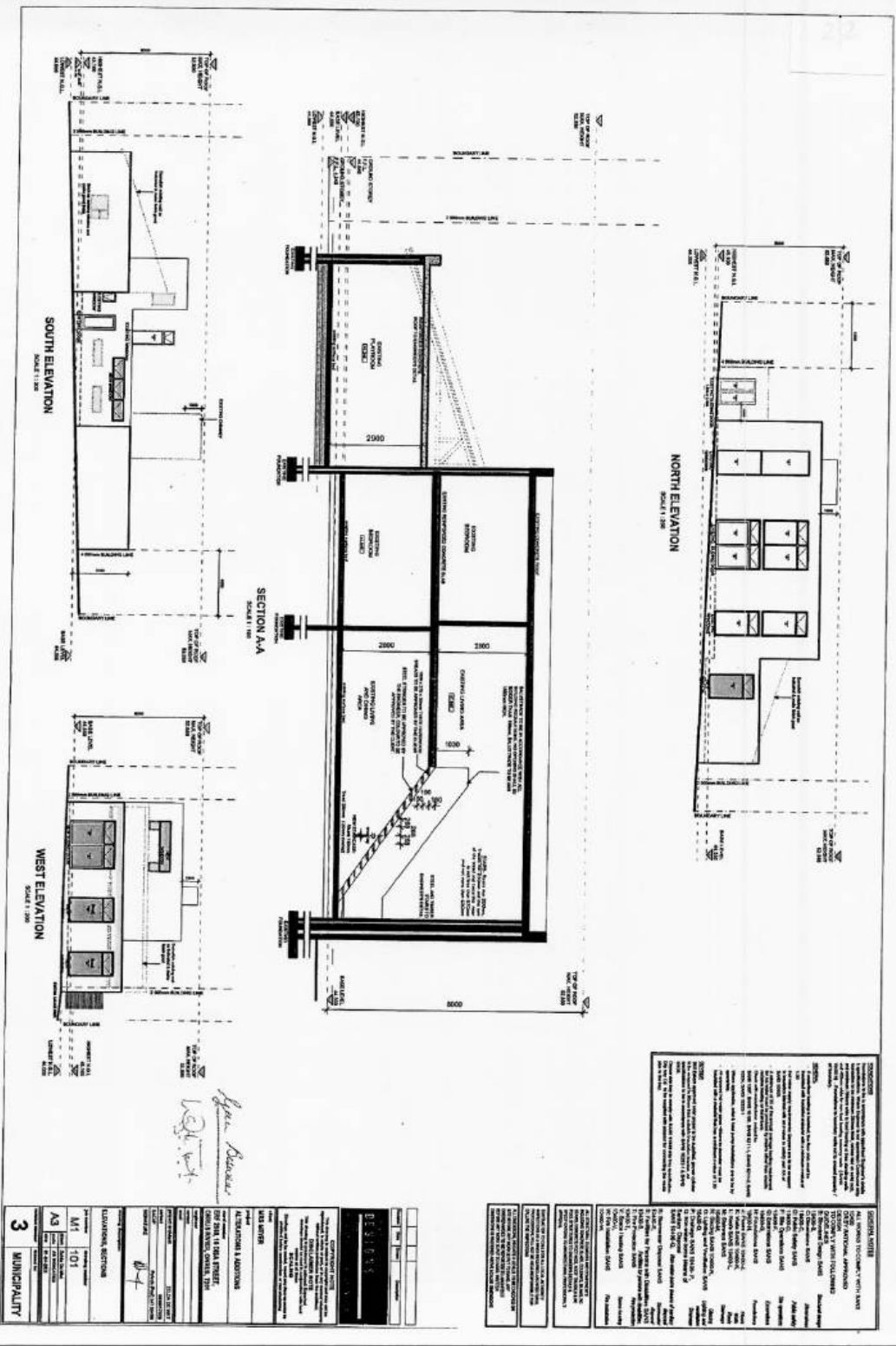
NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 3. ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE APPLICABLE AGENCIES.
 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
 9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.



GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 3. ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE APPLICABLE AGENCIES.
 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
 9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.

PROJECT NO.	11-001
DATE	12/15/2011
DRAWN BY	J. J. WOOD
CHECKED BY	J. J. WOOD
SCALE	1/8" = 1'-0"
PROJECT NAME	MUNICIPALITY
PROJECT ADDRESS	3
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT COUNTY	
PROJECT DISTRICT	
PROJECT WARD	
PROJECT NEIGHBORHOOD	
PROJECT SUBDIVISION	
PROJECT PHASE	
PROJECT STATUS	
PROJECT DESCRIPTION	
PROJECT CONTACT	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	12/15/2011	J. J. WOOD	J. J. WOOD
2	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
3	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
4	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
5	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
6	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
7	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
8	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
9	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
10	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
11	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
12	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
13	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
14	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
15	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
16	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
17	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
18	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
19	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD
20	REVISION	12/15/2011	J. J. WOOD	J. J. WOOD



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

- 12. ERF 2179, 13 FRANCOLIN CLOSE, FRANCOLIN HEIGHTS, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: Z BOTHA ON BEHALF OF T & GA BOTHA**

2179 HVM

H Olivier

(028) 313 8900

Hermanus Administration

20 July 2021

Executive Summary

An application has been received on 11 February 2021 from Z Botha on behalf of the T & GA Botha on Erf 2179, Vermont for an application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a departure to relax the rear building of the Francolin Heights Architectural Guidelines from 3m to 2m to accommodate additions to the dwelling on first floor level.

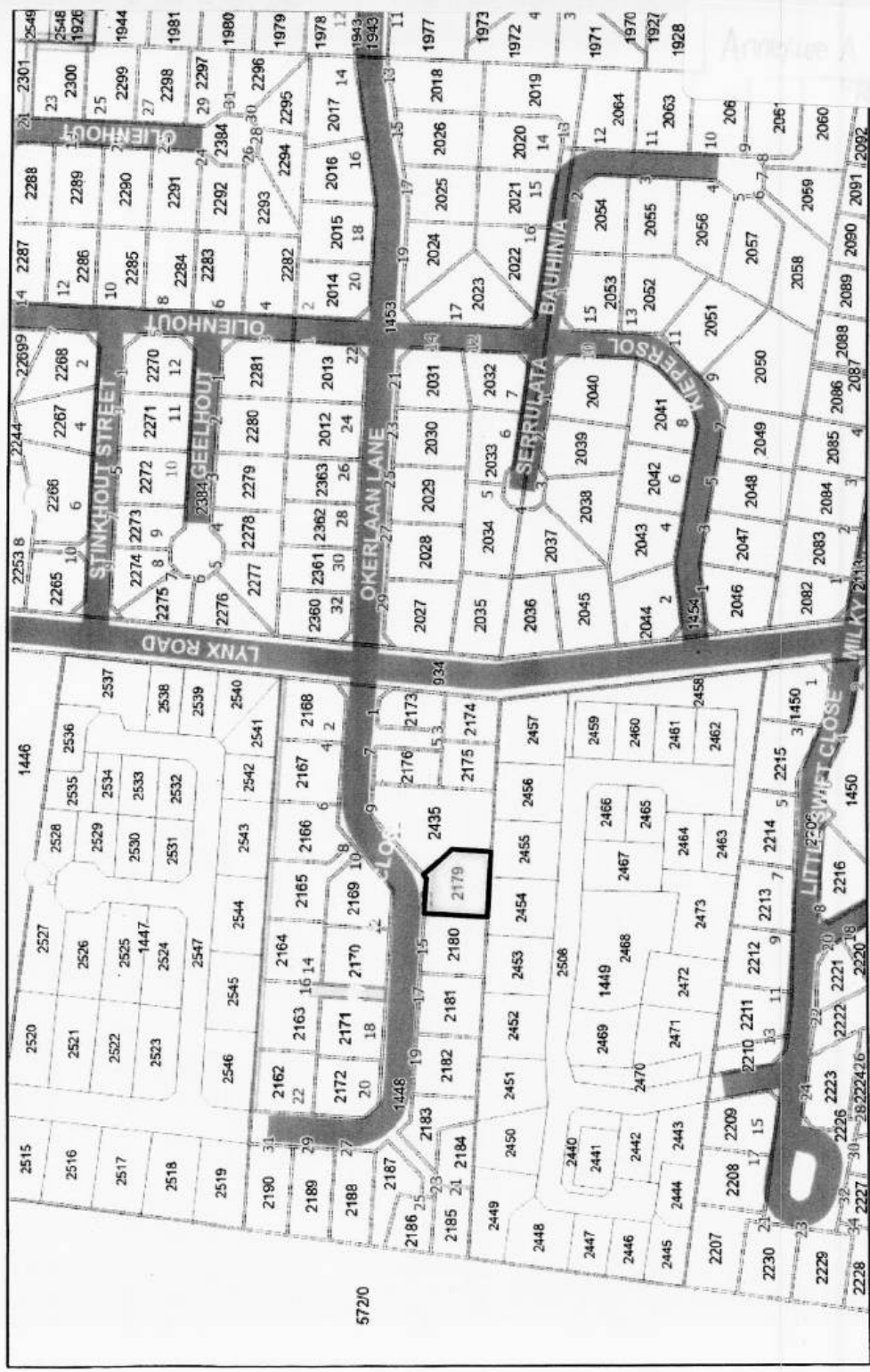
RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a departure from the Francolin Heights Design Guidelines on Erf 2179, Vermont, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the 3m rear double storey building line to 2m as indicated on the plan submitted by the architect (Plan No. Ver2179/2020 dated 16 September 2020;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Land Use Scheme be complied with, and
 - (d) that building plans be submitted to the Building Control Department for approval and that all conditions of the Building- and Fire Department be complied with.
2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above decision.

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REASONS FOR RESOLUTION

- ❖ The application is supported by the Estate Architect.
- ❖ The application is supported by all relevant internal departments.
- ❖ The 3m double storey building line was inserted into the architectural guidelines, but this is problematic as if owners want to extend their existing single storey dwellings constructed on 2m single storey rear building line the guidelines prohibit this.
- ❖ The building will still comply with the 2m rear Zoning Scheme building line.
- ❖ The objection relating to privacy, sunlight and line of sight could only be considered in terms of the proposed 1m encroachment, and not other building work that complies with building lines. The impact of the 1m relaxation of the rear building line for the double storey portion is considered limited.
- ❖ The application will not have a negative impact on the character of Francolin Heights or the surrounding area.
- ❖ The application is considered desirable.

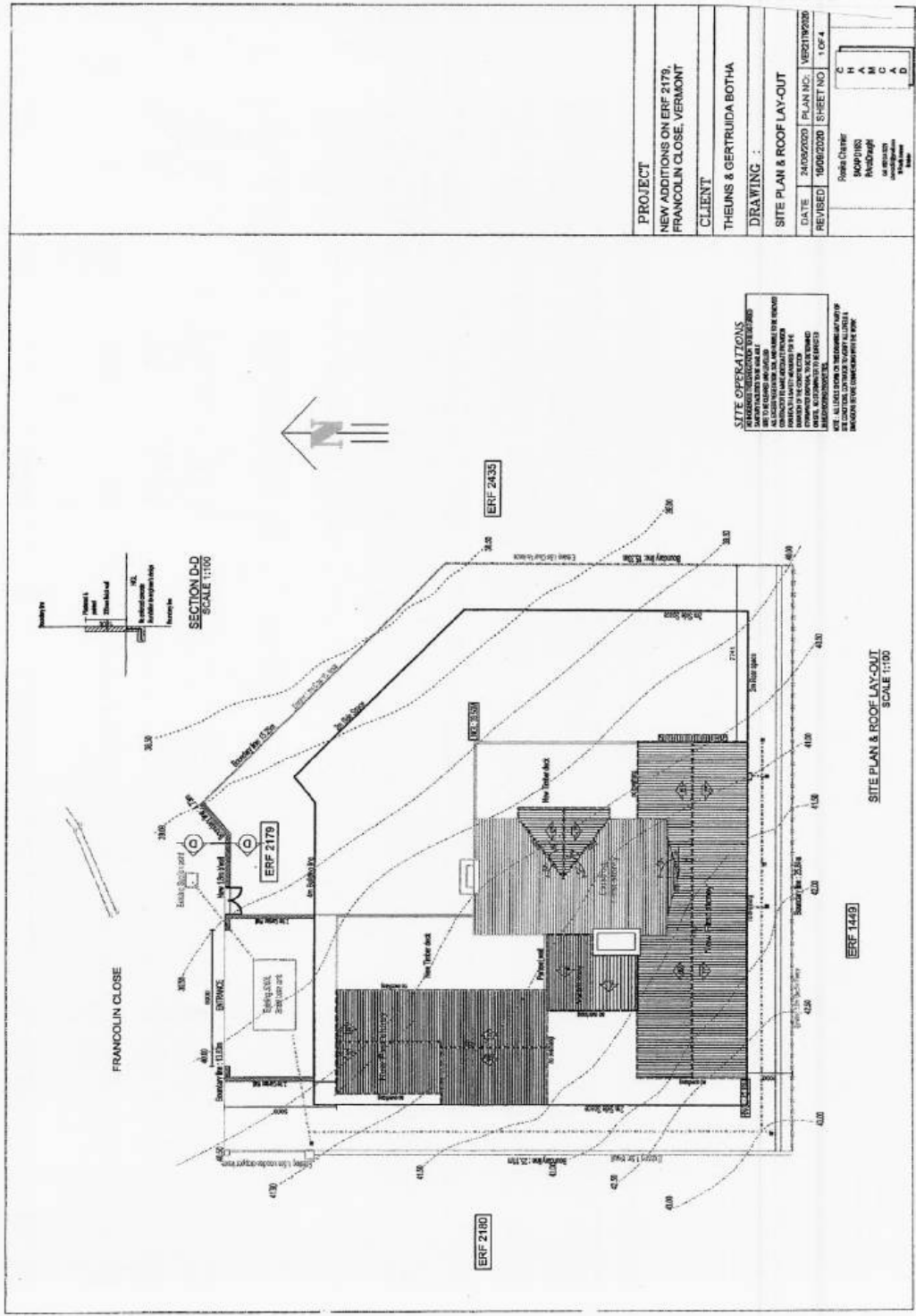


OVERSTRAND MUNICIPALITY

Locality Map

Eif 2179 Vermont

Date: 2021/02/16



SITE OPERATIONS
 IDENTIFIED THE EXISTING UTILITIES AND
 RELOCATED THE UTILITIES TO
 ALL UTILITIES AND SERVICES TO BE
 PROVIDED TO THE PROJECT. ALL UTILITIES
 SHALL BE PROVIDED TO THE PROJECT.
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 PROVIDED TO THE PROJECT.

PROJECT	NEW ADDITIONS ON ERF 2179, FRANCOLIN CLOSE, VERMONT
CLIENT	THELINS & GERTRUJA BOTHA
DRAWING :	SITE PLAN & ROOF LAY-OUT
DATE	24/05/2020 PLAN NO: VER21W200
REVISED	10/09/2020 SHEET NO: 1 OF 4
Scale	1:100
Author	SOPHIE
Checker	THELINS & GERTRUJA
Approver	THELINS & GERTRUJA
Reviewer	THELINS & GERTRUJA
Designer	THELINS & GERTRUJA

SECTION D-D
 SCALE 1:100

SITE PLAN & ROOF LAY-OUT
 SCALE 1:100

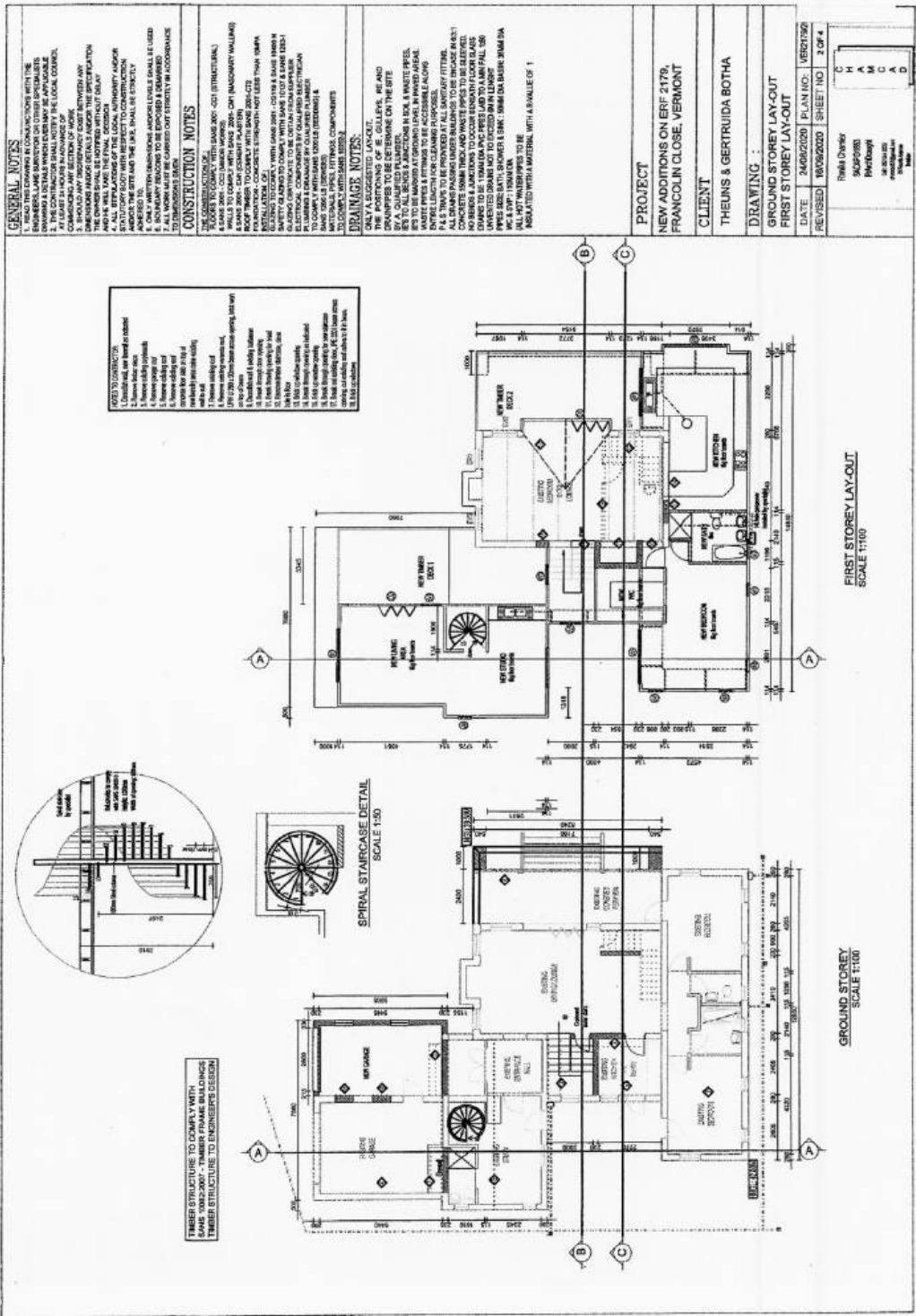
FRANCOLIN CLOSE

ERF 1449

ERF 2180

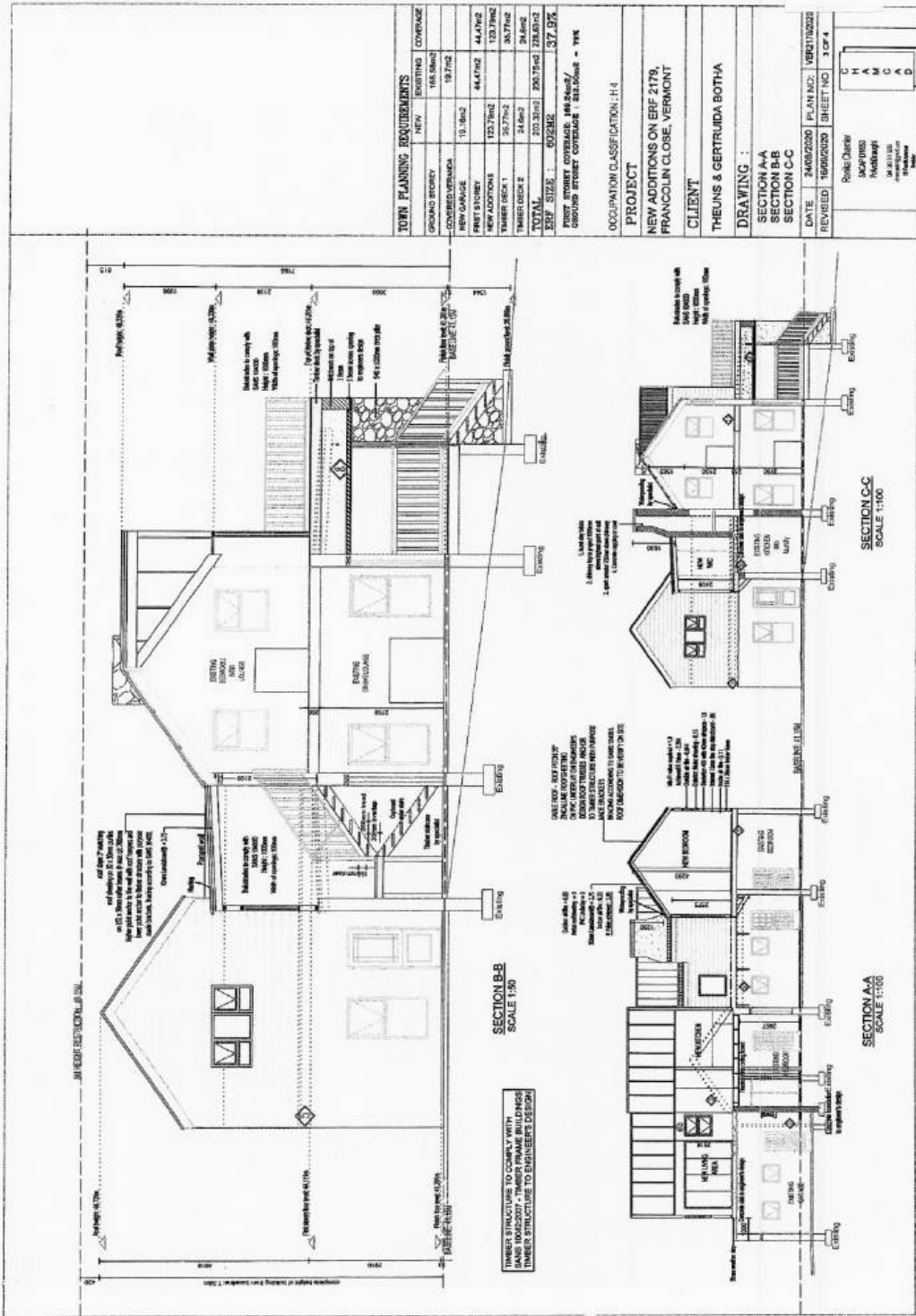
ERF 2178

ERF 2435



PROJECT	NEW ADDITIONS ON ERF 2179, FRANCOLIN CLOSE, VERMONT
CLIENT	THEUNIS & GERTRUIDA BOTHA
DRAWING	GROUND STOREY LAY-OUT FIRST STOREY LAY-OUT
DATE	24/09/2020
PLANNING NO.	VER01799
REVISION	10/09/2020 SHEET NO. 2 OF 4

Revit Designer	U
3D/2D/03D	A
Project/03D	M
03/03/03	C
03/03/03	A
03/03/03	D



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

13. **ERF 11111, 63 BLUE CRANE STREET, HEMEL-EN-AARDE ESTATE, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: MESSRS THYS VAN ROOYEN CONSULTING (PTY) LTD**

11111 HMS

H Boshoff

(028) 313 8900

Hermanus Administration

21 July 2021

Executive Summary

The following application was received from Messrs Thys van Rooyen Consulting (Pty) Ltd on 21 June 2021, applicable to Erf 11111, Hermanus (the property) for the following:

- a) departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) to relax the street building line of the property from 3m to $\pm 1,935$ m to accommodate a portion of the existing garage;
- b) departure in terms of Section 16(2)(b) of the By-Law to relax the south-western lateral building line of the property from 1,2m to $\pm 0,8$ m to accommodate a portion of the existing dwelling unit; and to
- c) determine an administrative penalty in terms of Section 90 of the By-Law for the above illegal encroachments of the street building line that calculates $\pm 5,87$ m² and the south-western lateral building line that calculates $\pm 2,54$ m².

RESOLVED :

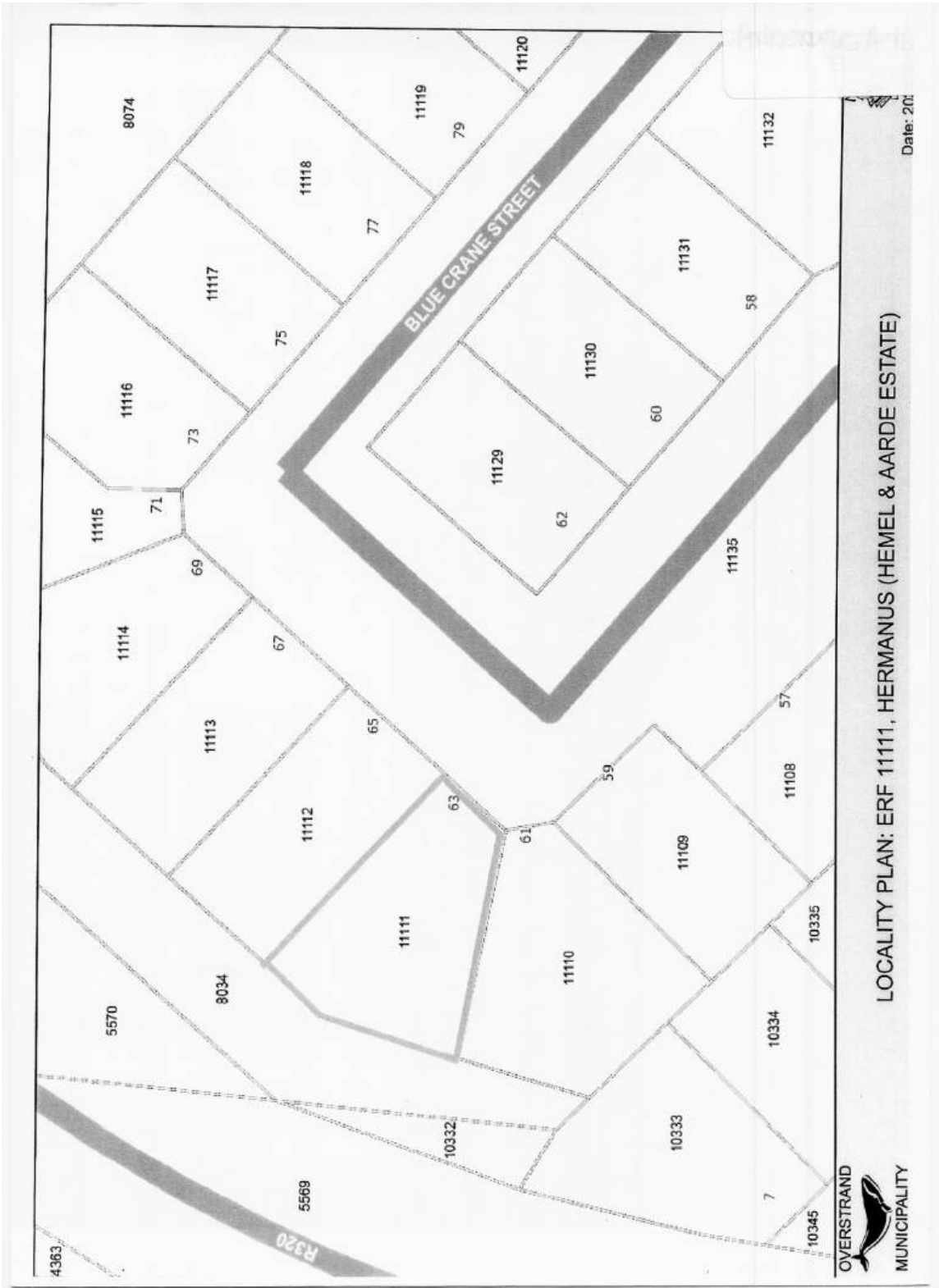
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 11111, Hermanus, for the relaxation of the south-western lateral building line from 3m to $\pm 1,935$ m to accommodate a portion of the existing garage, as well as the south-western lateral building line from 1,2m to 0,8m to accommodate a section of the existing dwelling unit, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the dimensions of the structure as indicated on Plan Number I 0387/A3/07 dated 15-04-2021 that was submitted with the application;

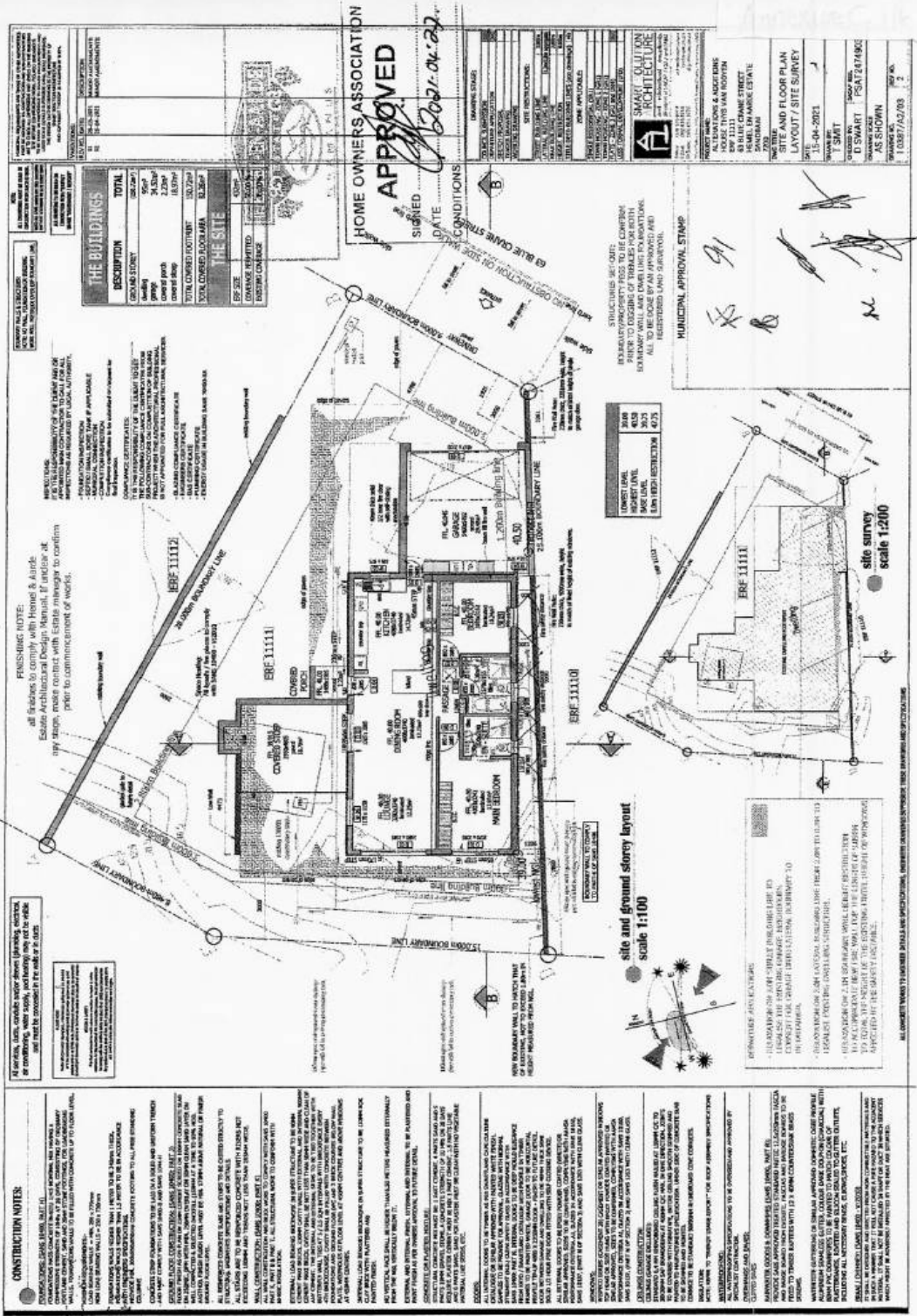
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

- (b) that the necessary building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant **be exempted** of an administrative penalty in terms of Section 90(4) of the By-Law for the above illegal encroachments of the street building line that calculates $\pm 5,87\text{m}^2$, and the south-western lateral building line that calculates $\pm 2,54\text{m}^2$.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above conditions of approval.

REASONS FOR RESOLUTION

- ❖ The application has followed due procedure.
- ❖ No objections were received.
- ❖ The development of the erf will be beneficial for optimization of the erf and the Estate.
- ❖ It is not regarded as being undesirable from a town planning perspective.





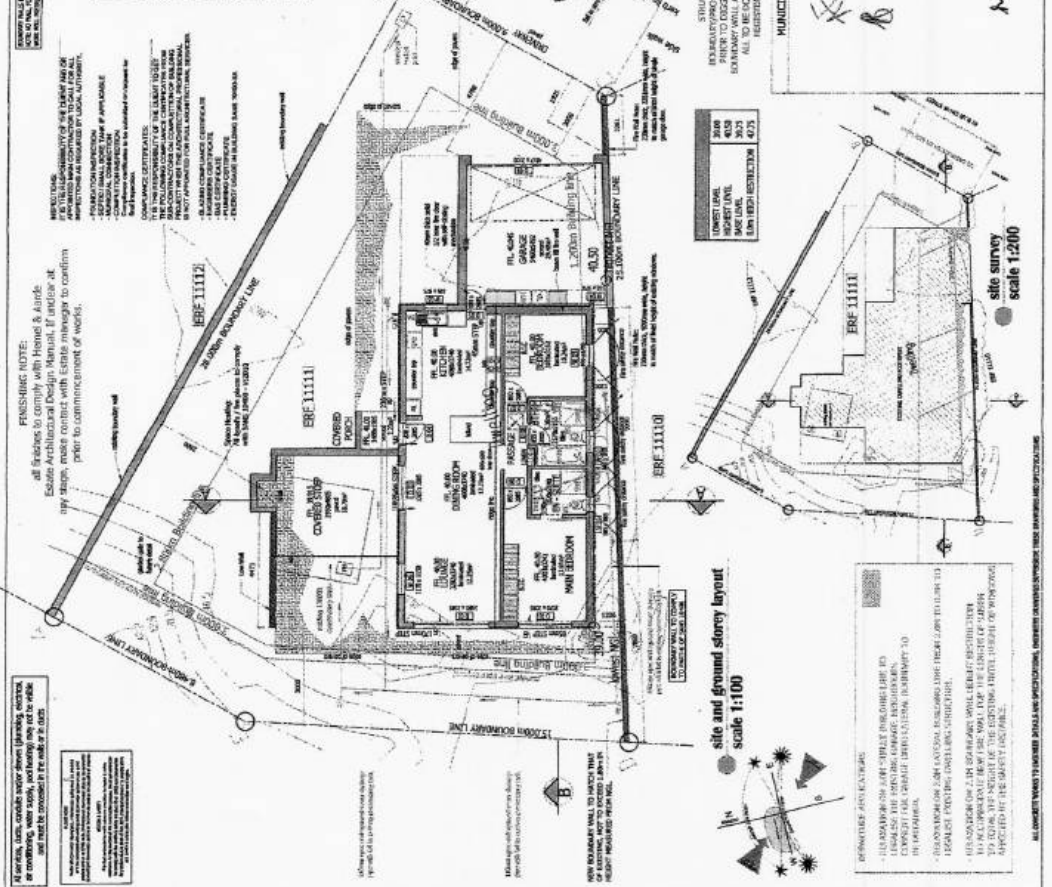
NO.	DESCRIPTION	STATUS
1	FOUNDATION	COMPLETE
2	CONCRETE	COMPLETE
3	ROOFING	COMPLETE
4	MECHANICAL	COMPLETE
5	ELECTRICAL	COMPLETE
6	PLUMBING	COMPLETE
7	PAINTING	COMPLETE
8	FINISHES	COMPLETE
9	LANDSCAPE	COMPLETE
10	FINAL INSPECTION	PENDING

DESCRIPTION	TOTAL
CONCRETE	5000
ROOFING	2500
MECHANICAL	1500
ELECTRICAL	1000
PLUMBING	1000
PAINTING	1000
FINISHES	1000
LANDSCAPE	1000
FINAL INSPECTION	1000

DESCRIPTION	TOTAL
FOUNDATION	5000
CONCRETE	2500
ROOFING	1500
MECHANICAL	1000
ELECTRICAL	1000
PLUMBING	1000
PAINTING	1000
FINISHES	1000
LANDSCAPE	1000
FINAL INSPECTION	1000

SIGNED	DATE
[Signature]	2007-01-22

PROJECT NAME	HOME & AISLE ESTATE
PROJECT ADDRESS	10000 100TH STREET
PROJECT CITY	EDMONTON
PROJECT STATE	ALBERTA
PROJECT ZIP	T6E 1E3
PROJECT PHONE	(780) 463-1111
PROJECT FAX	(780) 463-1112
PROJECT EMAIL	info@smarki.com
PROJECT WEBSITE	www.smarki.com
PROJECT ARCHITECT	D. SMART
PROJECT ARCHITECT LICENSE NO.	10887/A/08
PROJECT DATE	10/08/07
PROJECT NO.	10887/A/08



CONSTRUCTION NOTES:
1. ALL FINISHES TO BE DONE BY THE CONTRACTOR.
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GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL JURISDICTION.

7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.

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19. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

section a - a
scale 1:100

section b - b
scale 1:100

north east elevation
scale 1:100

SECTION A & ELEVATION

DATE: 15-04-2021

PROJECT NAME: HIDE TYPICAL SECTION

PROJECT ADDRESS: 11111 HIDE TYPICAL STREET, HIDE TYPICAL CITY, HIDE TYPICAL STATE, HIDE TYPICAL ZIP

DESIGNER: T. SMART

PROJECT NO.: PSATZ7490

SCALE: 1/8" = 1'-0"

DATE: 15-04-2021

PROJECT NO.: PSATZ7490

SCALE: 1/8" = 1'-0"

DATE: 15-04-2021

PROJECT NO.: PSATZ7490

SCALE: 1/8" = 1'-0"

APPROVED

DATE: 2021-04-28

SMART SOLUTION ARCHITECTURE

11111 HIDE TYPICAL STREET
HIDE TYPICAL CITY, HIDE TYPICAL STATE, HIDE TYPICAL ZIP

PHONE: (HIDE) (HIDE) (HIDE) (HIDE) (HIDE) (HIDE)

WEBSITE: WWW.SMARTSOLUTIONARCHITECTURE.COM

HOME OWNERS ASSOCIATION APPROVED

SIGNED: *[Signature]* DATE: 02/04/22

CONDITIONS:

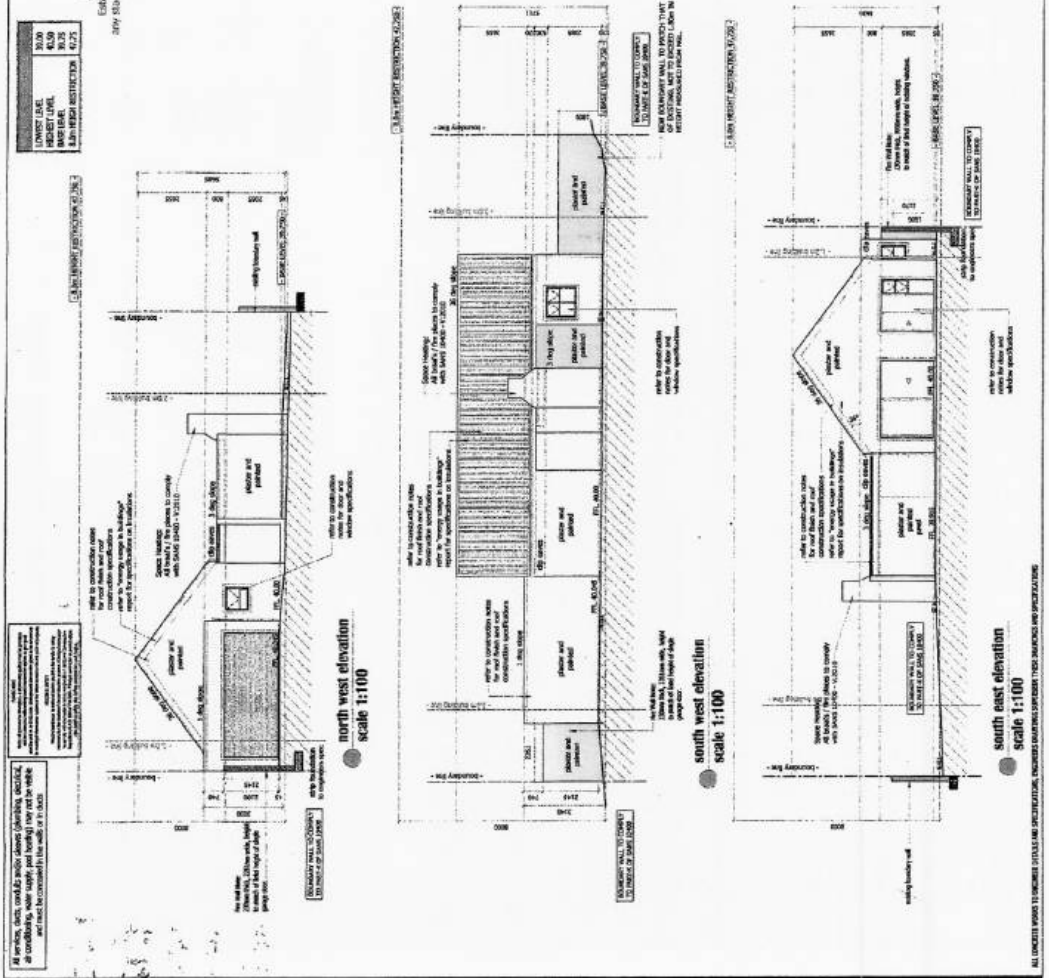
EXEMPT FROM PERMITS	NO
EXEMPT FROM INSPECTIONS	NO
EXEMPT FROM PLANNING	NO
EXEMPT FROM ZONING	NO
EXEMPT FROM ENVIRONMENTAL	NO
EXEMPT FROM HISTORIC PRESERVATION	NO
EXEMPT FROM OTHER REGULATIONS	NO

SMART SOLUTION ARCHITECTURE

PROJECT NAME: **RESIDENTIAL ARCHITECTURE**
 PROJECT NO: **PS124746**
 DATE: **15-04-2021**
 DRAWN BY: **D SWART**
 CHECKED BY: **PS124746**
 SCALE: **AS SHOWN**
 PROJECT NO: **10387/AZ/05**

FINISHING NOTE:
 All finishes to comply with Council & Agents Estate Architects requirements. All finishes to be confirmed with Estate manager prior to commencement of works.

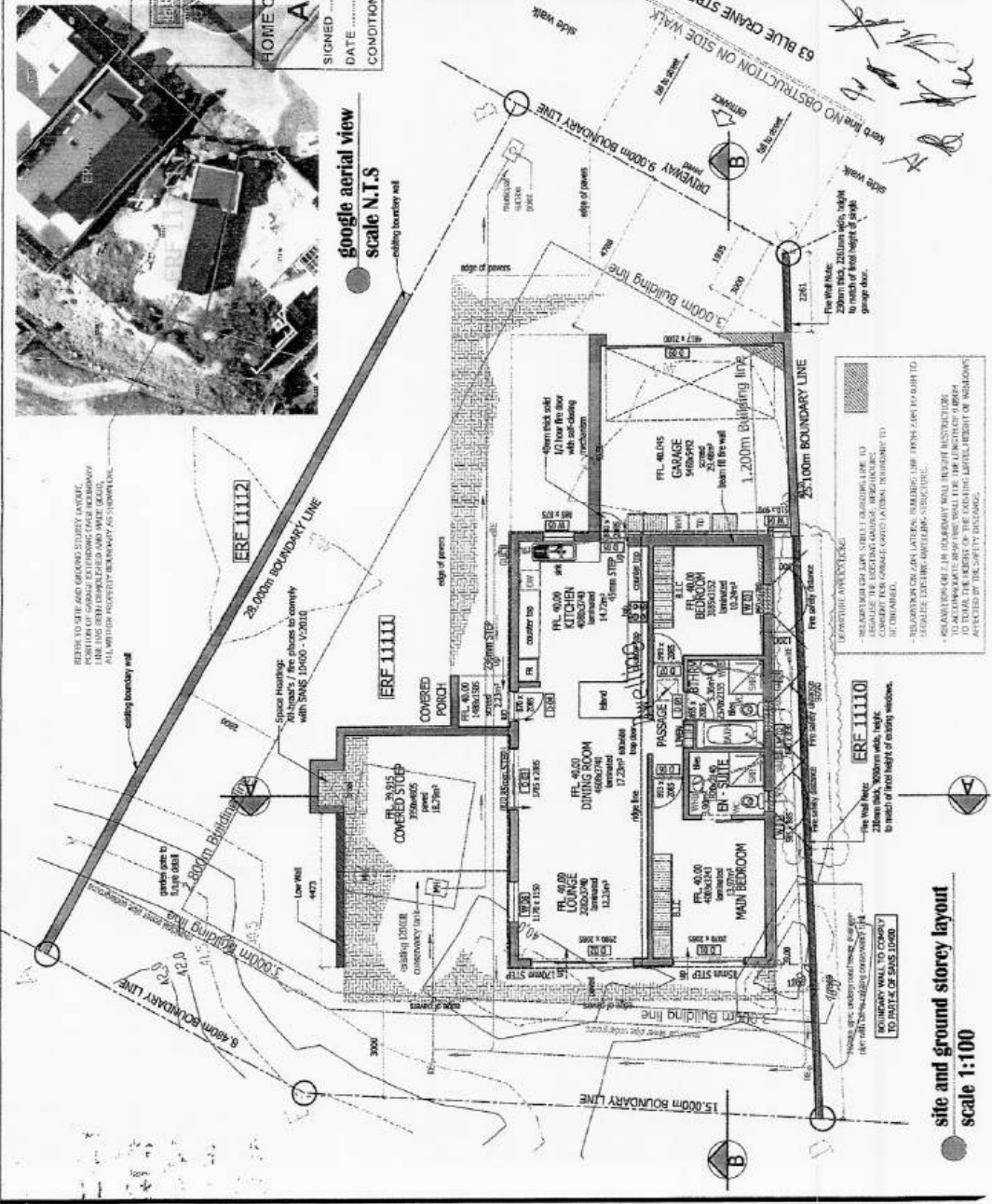
STRUCTURED SHEET:
 STRUCTURED SHEET CLIENT: **RESIDENTIAL ARCHITECTURE**
 PROJECT NO: **PS124746**
 DATE: **15-04-2021**
 DRAWN BY: **D SWART**
 CHECKED BY: **PS124746**
 SCALE: **AS SHOWN**
 PROJECT NO: **10387/AZ/05**



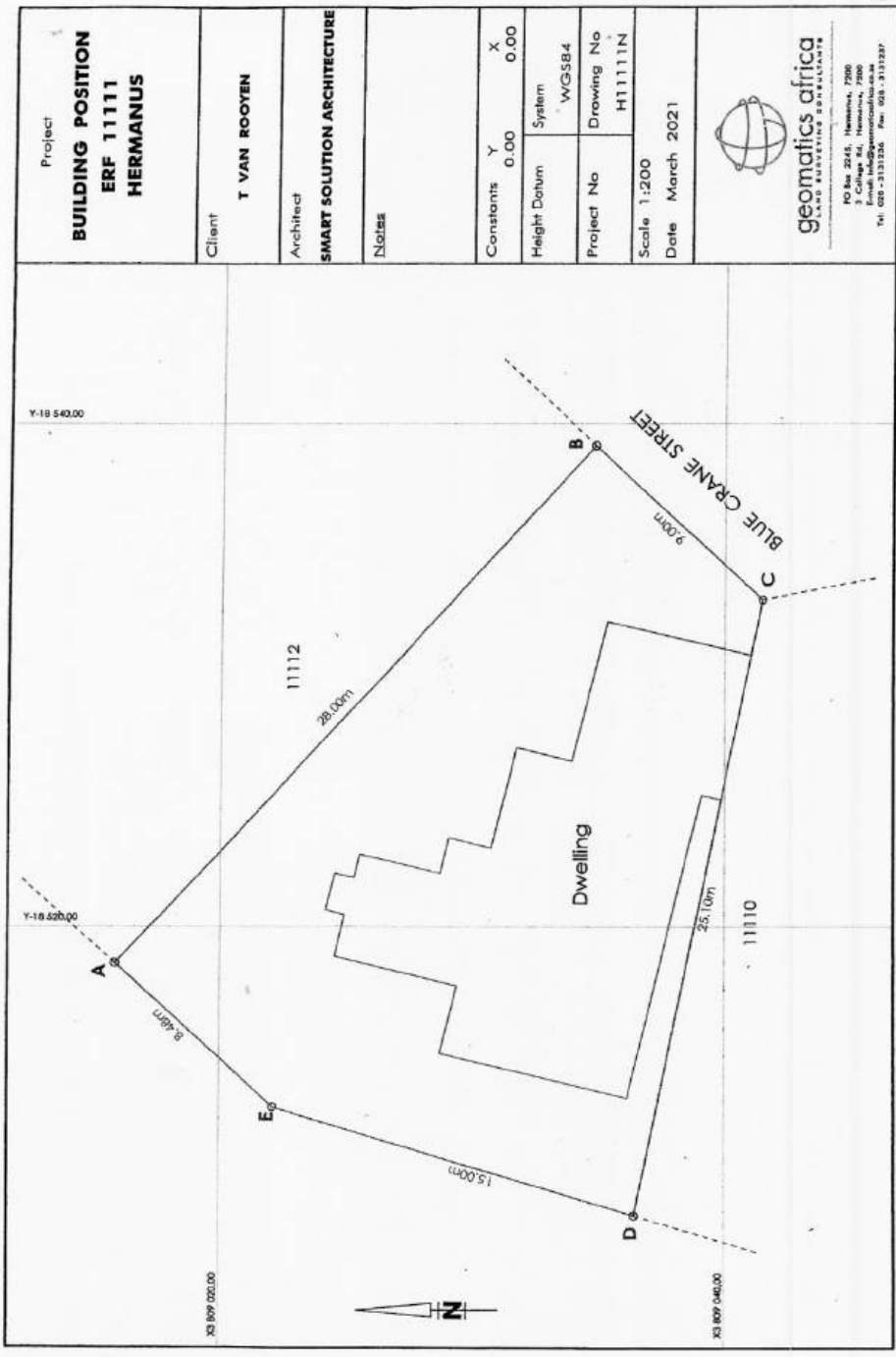
FINISHING NOTE:
 All finishes to comply with Council & Agents Estate Architects requirements. All finishes to be confirmed with Estate manager prior to commencement of works.

STRUCTURED SHEET:
 STRUCTURED SHEET CLIENT: **RESIDENTIAL ARCHITECTURE**
 PROJECT NO: **PS124746**
 DATE: **15-04-2021**
 DRAWN BY: **D SWART**
 CHECKED BY: **PS124746**
 SCALE: **AS SHOWN**
 PROJECT NO: **10387/AZ/05**

VARIOUS: MINOR AMENDMENTS	DESCRIPTION: MINOR AMENDMENTS
REV. NO. DATE: 01 15-04-2021	SIGNED: <i>[Signature]</i>
HOME OWNERS ASSOCIATION APPROVED	
SIGNED DATE: 2021-04-22	
CONDITIONS:	
PERMITS:	
CONTRACTOR:	
DATE:	
SCALE:	
PROJECT NAME:	
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SCALE: 1:100	DATE: 15-04-2021
DESIGNED BY: D SWART	PROJECT NO.: PSAT24749
CHECKED BY: D SWART	DATE: AS SHOWN
SCALE: AS SHOWN	PROJECT NO.: 110387/A3/07
SCALE: AS SHOWN	DATE: 2



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

**14. ERF 5259, 21 CAMBEDO AVENUE, KLEINMOND, OVERSTRAND
MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MW BRAND**

5259 KKM

**H van der Stoep
8 April 2021**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 26 August 2020 from MW Brand on Erf 5259, Kleinmond for a departure in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 in order to exceed the maximum allowable site coverage from 50% to 50,90% to accommodate the existing dwelling.

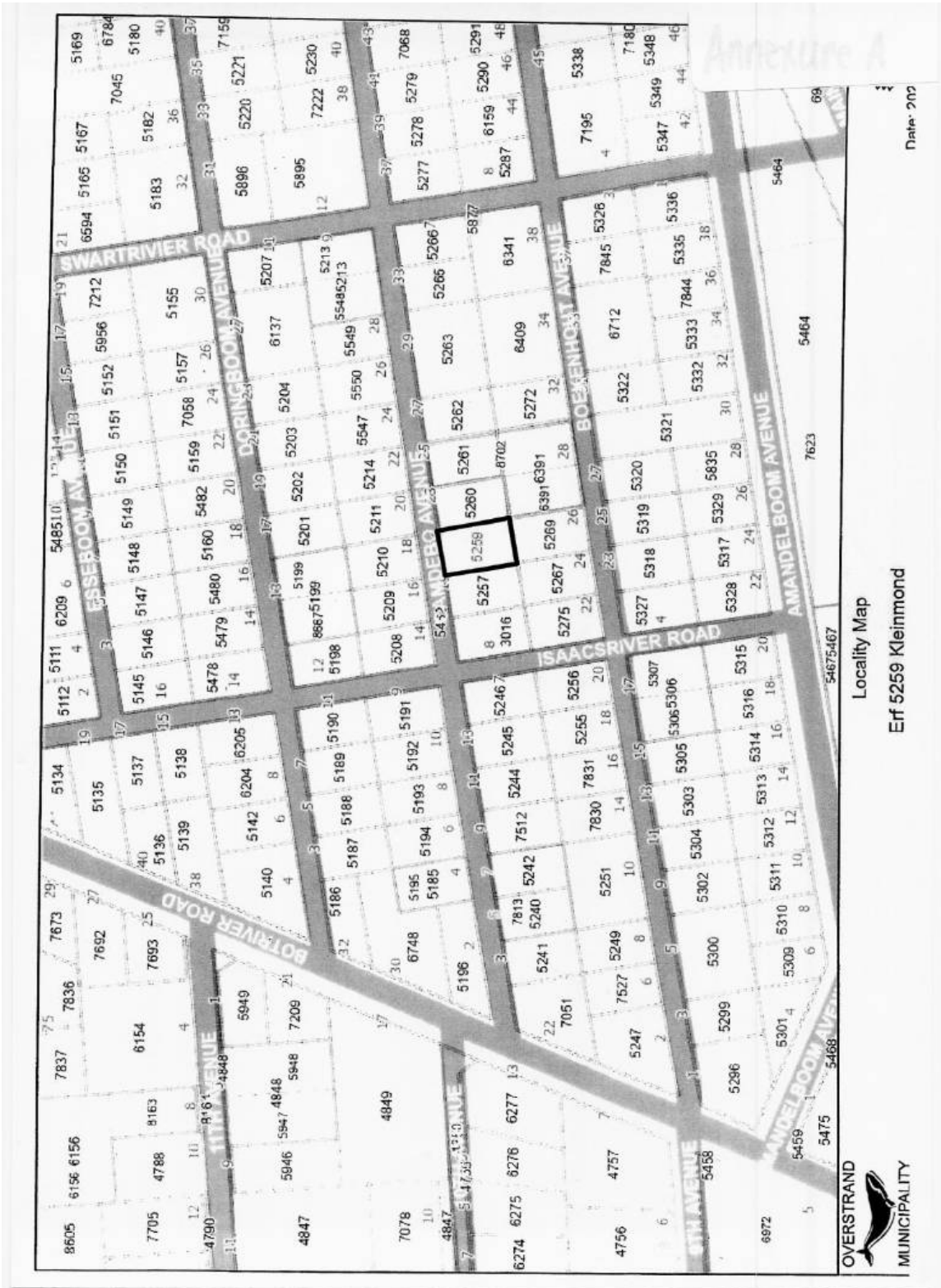
RESOLVED :

1. that the application in terms of Section 16.(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 5259, Kleinmond for a departure in order to exceed the maximum allowable site coverage from 50% to 50,9% to accommodate the existing dwelling, **be approved**, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan numbers 200702/01, 200702/02, 200702/03, 200702/04 and 200702/05 dated 15 August 2020, as submitted with the application;
 - (b) that no extensions to the building which will lead to further transgression of the 50,9% will be allowed;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above conditions of approval.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 October 2021
(Also the agenda for the Mayoral Committee Meeting : 28 October 2021)**

REASONS FOR RESOLUTION

- ❖ The structure has approved building plans.
- ❖ The surrounding owners did not object.
- ❖ The gas caged complies with the fire regulations.



Locality Map
Erf 5259 Kleinmond

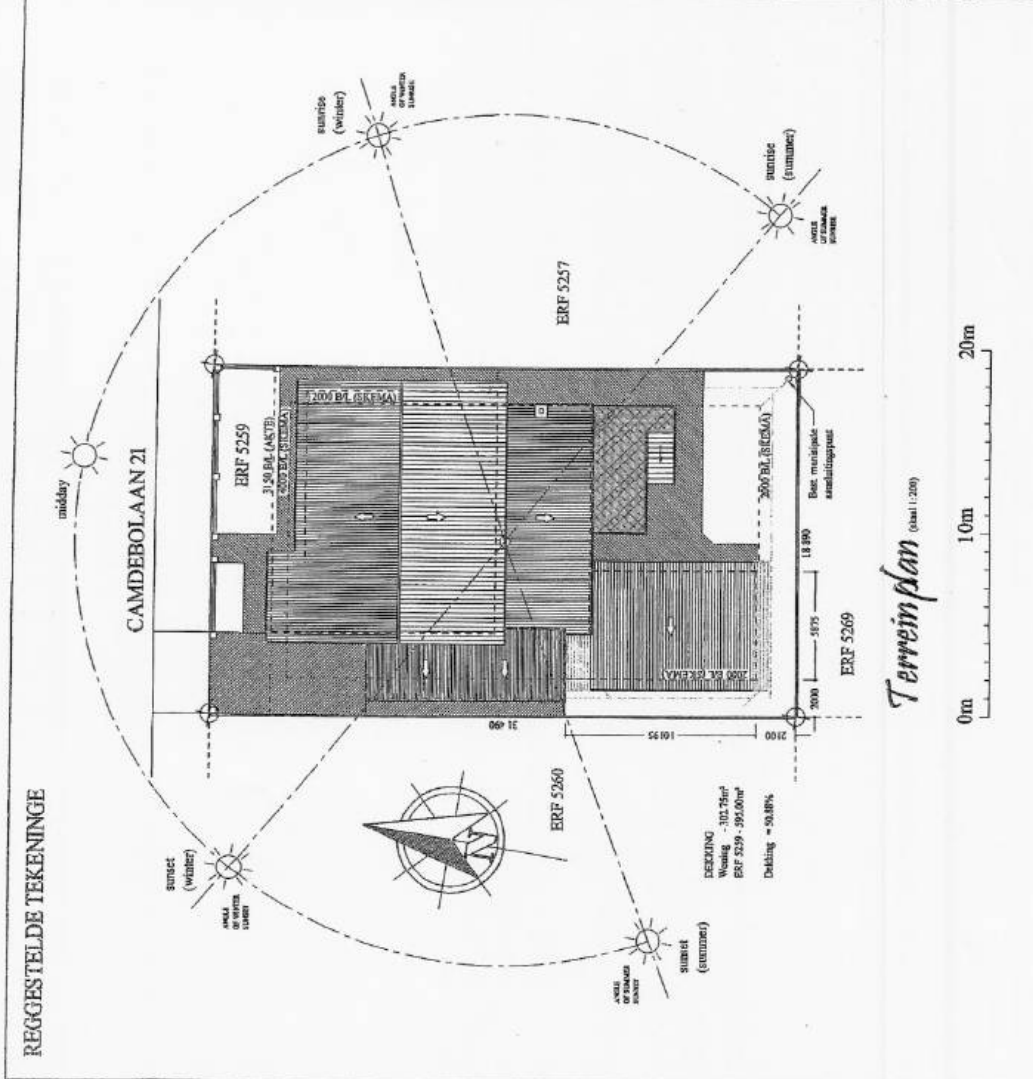
Date: 202

Annexure C1/5

REGGESTELDE TEKENINGE

CONSTRUKSIE NOTAS

1. ALGEMEN
 - 1.1 Alle afmetinge moet op die reëlde agtergrond eers slegs die reëlde tekenwerk gebruik word.
 - 1.2 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
 - 1.3 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
 - 1.4 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
 - 1.5 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
 - 1.6 Indien enige tekeninge afwyk van die reëlde tekenwerk of enige ander tekenwerk moet dit duidelik in die tekening aangedui word.
 - 1.7 Die tekenwerk moet duidelik weerspieël die reëlde tekenwerk van die tekening.
 - 1.8 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
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 - 1.93 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
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 - 1.99 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.
 - 1.100 Alle tekeninge moet in N.E.R. Dimensionaal voorgedrae word S.A.R.S. 2000.



PROEIE: HUIS BRAND IN CAMDEBOLAAN, KLEINMOND, ERF 5259

TREKING: VOORGESTELDE SOOS GEBOUDE AANBOUINGS BY BEST. WONING

TEKENING: D/22 REV: PROJECT NO: 200702 / 01

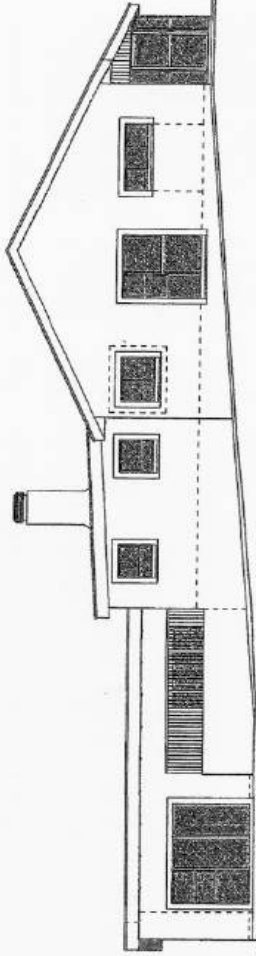
BATHEM: 14/09/2020 A

SKAAL: 1:200

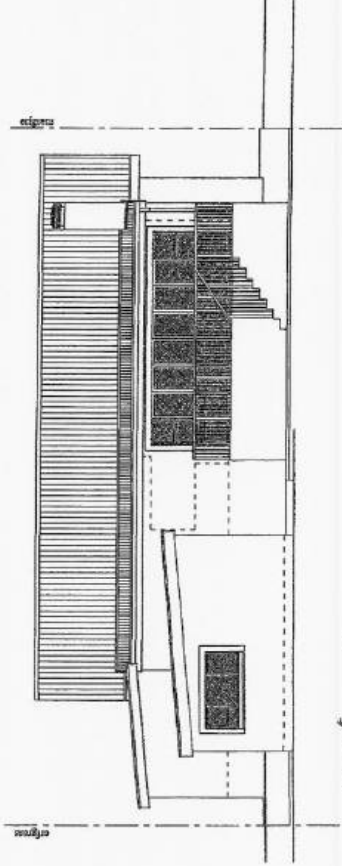
Die ontwerper - ontwerper
 Architectural Drafting Services
 SACAP Reg. No. 10120
 draftproff@ontwerper-ontwerper.co.za
 (082) 271-1146

3/5

REGGESTELDE TEKENINGE



Oos-aansig (skaal 1:100)



Suid-aansig (skaal 1:100)

- KONSTRUSIE NOTAS**
11. **PLAATWERK**
 - 11.1 Betonvloer met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 11.2 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 11.3 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 11.4 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 12. **LOODDEKKE**
 - 12.1 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 12.2 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
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 - 12.6 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 13. **DEURWERK**
 - 13.1 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 13.2 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 13.3 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
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 - 13.6 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 14. **BRANDWESERWAL**
 - 14.1 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 14.2 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
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 - 14.6 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 15. **WATERWAL**
 - 15.1 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 15.2 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
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 - 15.6 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 16. **GAS INSTALLASIE**
 - 16.1 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
 - 16.2 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.
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 - 16.6 Dorsbalk met 100mm beton en 10mm versterking met reël 10mm reël met 100mm afstand.

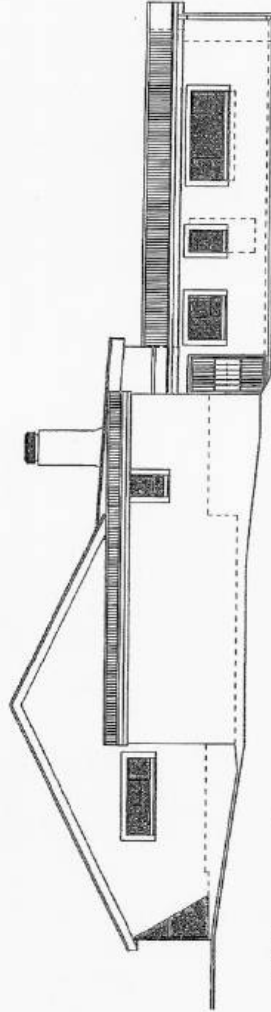
PROEIE: HUIS BRAND IN CAMDEROLAAN, KLEINMOND, BRF 5259

TEKENING: VOORGESTELDE SOOS GEBOUDE AANBOUINGS BY BEST. WONING

TEKENING NO:	REV:	PROJECT NO:
DATE: 15/01/2020	A	200702 / 03
SKAAL: 1:100		

die ontwerper - cida jee
 Architectural Drafting Services
 SACAP Reg. No. D0130
 dra@ceda.co.za
 (021) 771-3140

REGGESTELDE TEKENINGE

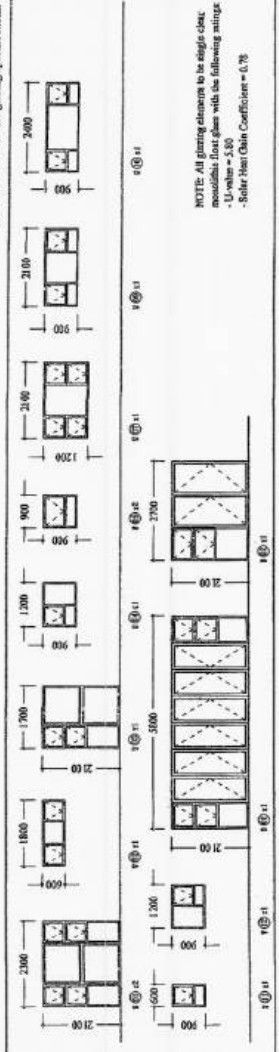


Wes-aansig (skaal 1:100)

KONSTRUSIE NOTAS

1. ALGEMEEN
 - 1.1 Alle tekeninge moet sy die prinsi nagaan: vast stroom hier met met seël ligte wort.
 - 1.2 Alle werke volg N.E.T. Normatiese goedkeure die S.A. D.E. afsonderlik.
 - 1.3 Gelyk, groter afwerking te soek.
 - 1.4 Vagdees spon onder alle kolonne: te skied.
 - 1.5 Min. 2% konventiens te alle leweringe: te skied.
 - 1.6 Alle enigste glas ingesien word met die lewer afsonderlik te soek.
 - 1.7 Dit moet met bereid om te soek.
 - 1.8 Alle tekeninge moet getuies opgevoer te soek.
 - 1.9 Alle werke moet getuies opgevoer te soek.
 - 1.10 Alle glas moet getuies te soek.
 - 1.11 Alle werke moet getuies opgevoer te soek.
2. STRUKTUURWERK
 - 2.1 Alle werke moet getuies opgevoer te soek.
3. FUNDASIE
 - 3.1 Alle werke moet getuies opgevoer te soek.
 - 3.2 700 x 200 mm stasies onder alle kolonne.
 - 3.3 Mengel met 1:2:5 met 25MPa, duidelik te soek.
 - 3.4 Staalforsing volgens Egenes spesifisies.
 - 3.5 "Discour" betoning te soek.
4. VLOERE
 - 4.1 Alle werke moet getuies opgevoer te soek.
 - 4.2 "Vloer" 100 mm dikte met 20% afkling te soek.
 - 4.3 "Vloer" moet getuies opgevoer te soek.
 - 4.4 "Vloer" moet getuies opgevoer te soek.
 - 4.5 Staalforsing te soek.

WINDOW- & DOOR SCHEDULES
(Aluminium frames as per owner's specifications)

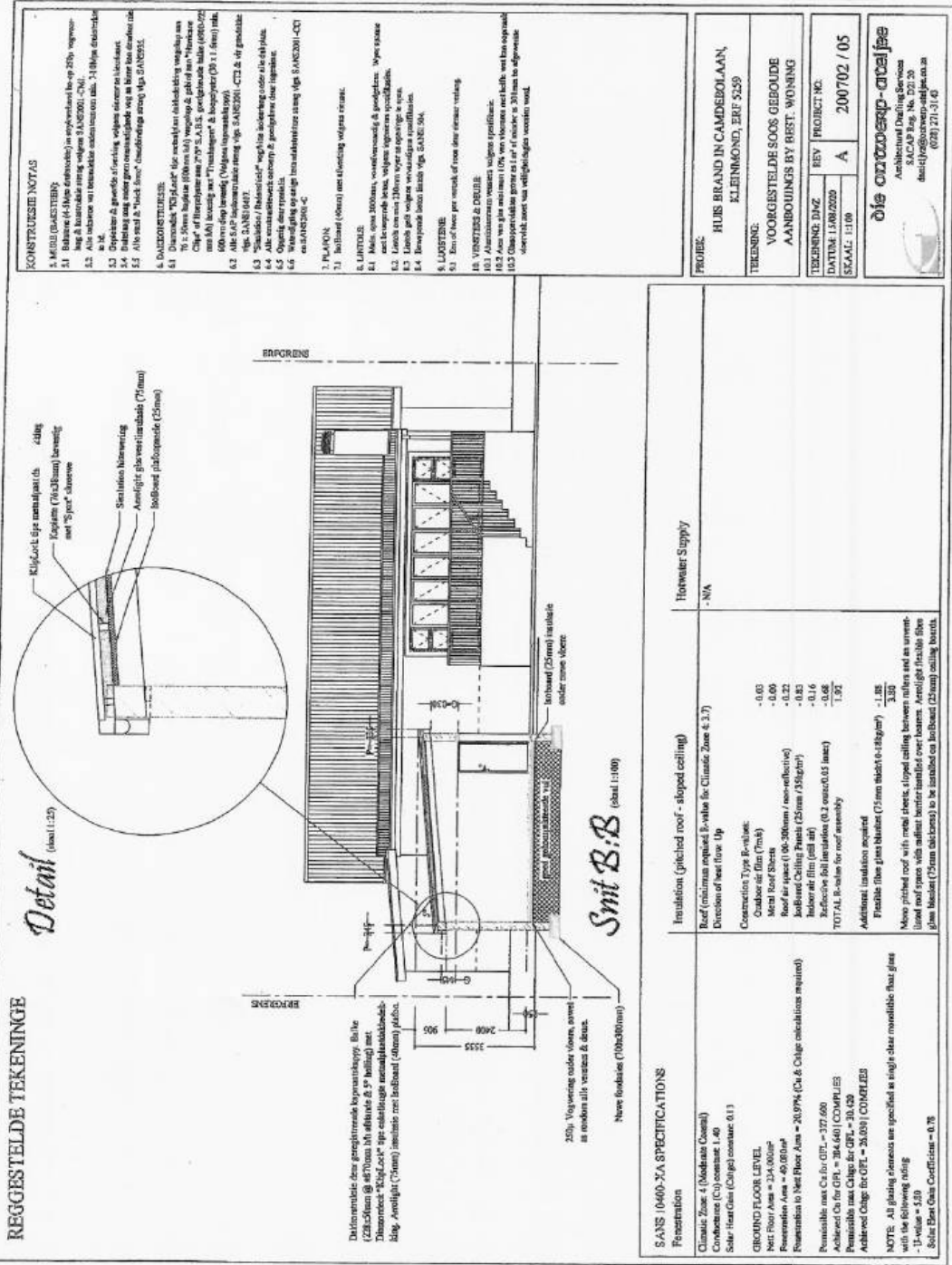


PROEIE: HUIS BRAND IN CAMDEBOLLAAN, KLERINMOND, ERF 5259

TEKENINGE: VOORGESTELDE SOOS GEBOUDE AANBOUINGS BY BEST. WONING

TEKENINGE: DWZ REV PROJECT NO: 200702 / 04
 DATUM: 15/06/2020 A
 SKAAL: 1:100

die oopvoering-ctd
 Architectural Drafting Services
 0601 271 21 83
 info@dieoopenoering-ctd.co.za



KONSTRUKSIE NOTAS

- 1. REÛL (DAKSTREK)
- 2.1. Beton (60mm) op oortruksing by 25% verhoog. Inligting is beskikbaar by 2006-01-01. (C90)
- 2.2. Alle blywende wêrelddele te konstrueer en te installeer.
- 2.3. Dapinge en gewelde afwerking, volgens tekening te lê.
- 2.4. Dapinge van oortruksing te lê, volgens tekening te lê.
- 2.5. Alle blywende wêrelddele te konstrueer en te installeer. Inligting is beskikbaar by 2006-01-01. (C90)
- 3. DAKSTREK
- 3.1. Dakstreek met 20% verhoogde sterkte. Inligting is beskikbaar by 2006-01-01. (C90)
- 3.2. Dapinge van oortruksing te lê, volgens tekening te lê.
- 3.3. Dapinge van oortruksing te lê, volgens tekening te lê.
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- 3.99. Dapinge van oortruksing te lê, volgens tekening te lê.
- 3.100. Dapinge van oortruksing te lê, volgens tekening te lê.

PROEIE: HUIS BRAND IN CAMDEBOLLAAN, KLEINMOND, ERF 5239

TREKING: VOORGESTELDE SOOS GEBOUDE AANBOUWING BY REST. WONING

TEKENING: DMZ REV. PROJECT NO. 200702 / 05

DATE: 15/01/2020 A

SCALE: 1:100

Smit B:B Architectural Drafting Services SACAP Reg. No. 20159 dms@smittb.co.za (021) 211-1143

SANS 10400-2A SPECIFICATIONS

Fenestrasie

Climate: Zone 4 (Moderate Coastal)

Condensance (Cg) constant: 1.40

Solar Heat Gain Coefficient: 0.11

GROUND FLOOR LEVEL

Floor: Floor Area = 40.00m²

Transmission to Next Floor: Area = 20.97m² (Cg & U-value calculations required)

Permissible max. Cg for GFL = 377.600

Achieved Cg for GFL = 304.640 (COMPLIES)

Permissible max. U-value for GFL = 30.429

Achieved U-value for GFL = 26.001 (COMPLIES)

NOTE: All glazing elements are specified as single clear monolithic float glass with the following U-value = 3.10

U-value = 3.10

Solar Heat Gain Coefficient = 0.75

Insulation (pitched roof - sloped ceiling)

Roof (minimum required R-value for Climate Zone 4, 3.7)

Direction of heat flow: Up

Construction Type R-value:	
Outdoor air film (7mb)	-0.03
Metal roof sheets	0.06
100mm mineral wool (non-reflective)	0.22
60mm polystyrene (2000mm / non-reflective)	0.10
Insulation film (pH air)	-0.14
Reflective foil insulation (0.2 mm thick to 10mm)	-0.08
TOTAL R-value for roof assembly	1.30

Additional insulation required

Permissible floor glass blanket (70mm thick to 100mm) - LIRE 3.30

Miner gabled roof with metal sheets, sloped ceiling between rafters and an unventilated roof space with sufficient barrier installed over boards. Airtight flexible floor glass blanket (70mm thickness) to be installed on Insulated (20mm) ceiling boards.

Hotwater Supply: - NA

Appendix D

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5259, KLEINMOND**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 5259, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE