

**PORTFOLIO COMMITTEE :  
INFRASTRUCTURE & PLANNING**

**Chairperson :**

**Cllr K Brice**

**Committee Members :**

**Cllrs D Botha, F Krige,  
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :  
INFRASTRUKTUUR & BEPLANNING**

**Voorsitter :**

**Rdl K Brice**

**Komiteelede :**

**Rdle D Botha, F Krige,  
S Tebele & V Pungupungu**

**INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE**  
**INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE**

23 October 2018

**I N D E X**

**ITEM**

**PAGE**  
**NUMBER**

**APPLICATIONS FOR LEAVE OF ABSENCE**

**STATEMENTS AND COMMUNICATIONS BROUGHT FORWARD BY THE CHAIRPERSON**

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|----|--|-----|
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**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**1.  
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS  
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: AUGUST 2018 –  
SEPTEMBER 2018**

15/3/11

R van Antwerp

(028) 313 8039

Hermanus Administration

21 September 2018

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**1. Executive Summary**

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 21 August 2018 – 20 September 2018.

**2. Service Delivery and Budget Implementation Plan - IGNITE**

Infrastructure and Planning  
Town- and Spatial Planning

**3. Compliance with Strategic Priority**

Promotion of tourism, economic and social development

**4. Delegated Authority**

Executive Mayor

**5. Legal Requirements**

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

**6. Background/Discussion/Evaluation/Conclusion**

**Background**

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

**7. Financial Implications**

None

**8. Staff Implications**

None

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
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**9. Comments from other Departments, Divisions and Administrations**

None

**10. Annexures**

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

**RECOMMENDATION:**

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 21 August 2018 – 20 September 2018:

Spatial Land Use Management Act (SPLUMA) Approvals

1.	Erf 6155, Kleinmond	21 August 2018
2.	Erf 4195, Kleinmond	21 August 2018
3.	Erf 4564, Kleinmond	21 August 2018
4.	Erf 3699, Betty's Bay	21 August 2018
5.	Portion 18 (portion of Portion 17) of the farm Riverside No. 644	27 August 2018
6.	Erf 826, De Kelders	27 August 2018
7.	Erf 4223, Hermanus	27 August 2018
8.	Erf 185, Sandbaai	3 September 2018
9.	Erf 859, Hermanus	3 September 2018
10.	Erf 579, Hermanus	3 September 2018
11.	Erf 1880, Franskraal	3 September 2018
12.	Erf 610, Sandbaai	14 September 2018
13.	Portion 326 (portion of Portion 7) Hermanus River No. 542	14 September 2018
14.	Erf 340, Birkenhead	14 September 2018
15.	Erf 221, Franskraal	14 September 2018
16.	Erf 456, Sandbaai	14 September 2018
17.	Erf 477, Gansbaai	14 September 2018
18.	Erf 171, Stanford	20 September 2018
19.	Erf 8366, Hemel & Aarde Estate	20 September 2018

Municipal Planning Tribunal

1.	Erf 966, Sandbaai	30 August 2018
2.	Erf 5, De Kelders	30 August 2018
3.	Erven 42, 43 and 45, Hawston	30 August 2018

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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<b>RESPONSIBLE OFFICIAL :</b>	<b>R VAN ANTWERP</b>
<b>TARGET DATE FOR IMPLEMENTATION :</b>	<b>14 NOVEMBER 2018</b>
<b>TARGET DATE TO INFORM APPLICANT :</b>	<b>N/A</b>
<b>TARGET DATE TO INFORM OBJECTOR :</b>	<b>N/A</b>

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**1.  
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS  
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: AUGUST 2018 –  
SEPTEMBER 2018**

**15/3/11**

**R van Antwerp**

**(028) 313 8039**

**Hermanus Administration**

**21 September 2018**

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**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON  
23 OCTOBER 2018, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

**RESPONSIBLE OFFICIAL :**

**R VAN ANTWERP**

**TARGET DATE FOR IMPLEMENTATION :**

**14 NOVEMBER 2018**

**TARGET DATE TO INFORM APPLICANT :**

**N/A**

**TARGET DATE TO INFORM OBJECTOR :**

**N/A**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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Spatial Land Use Management Act (SPLUMA) Approvals

**1. ERF 6155, 5 FONTEINHOUT AVENUE, KLEINMOND: PROPOSED DEPARTURE: MESSRS DIE ONTWERP ATLEJEE ON BEHALF OF C COUPAR**

**6155 KKM (3890)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**14 August 2018**

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**Executive Summary**

An application has been received on 28 December 2017 from Messrs Die Ontwerp Alteljee on behalf of C Coupar on Erf 6155, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 0,165m and the third and or the 9m of structures over the building line to accommodate a garage.

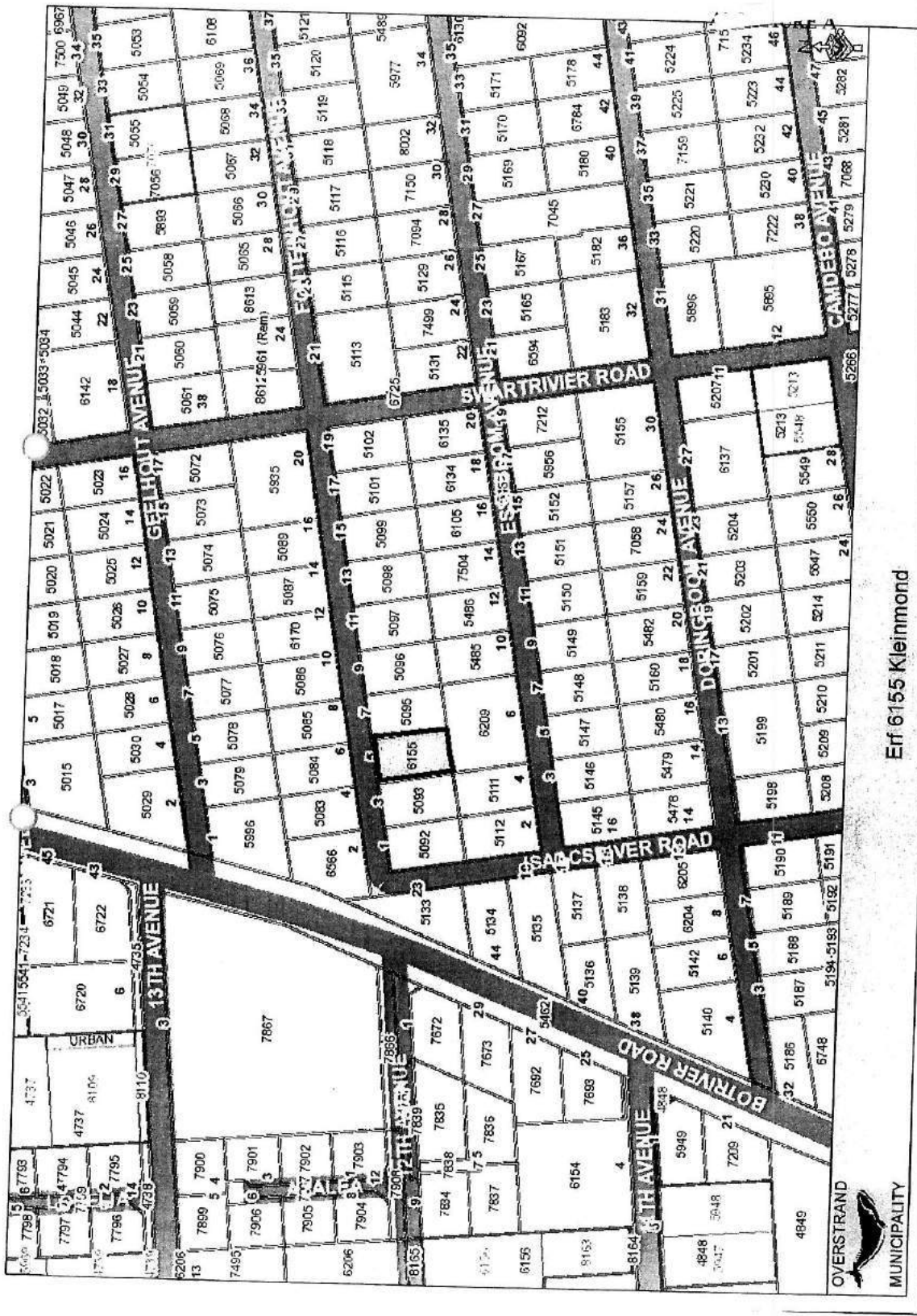
**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 6155, Kleinmond for a departure to relax the western lateral building line from 2m to 0,16m to accommodate a single garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on the plans as submitted with the application, as well as the Section AA detail plan;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department, be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (e) that all the conditions in the Services Report, be complied with, and
  - (f) that the departure is subject to the conditions as per e-mail dated 16 May 2018 from Ms C Coupar read with plan Section AA.

**AGENDA of the  
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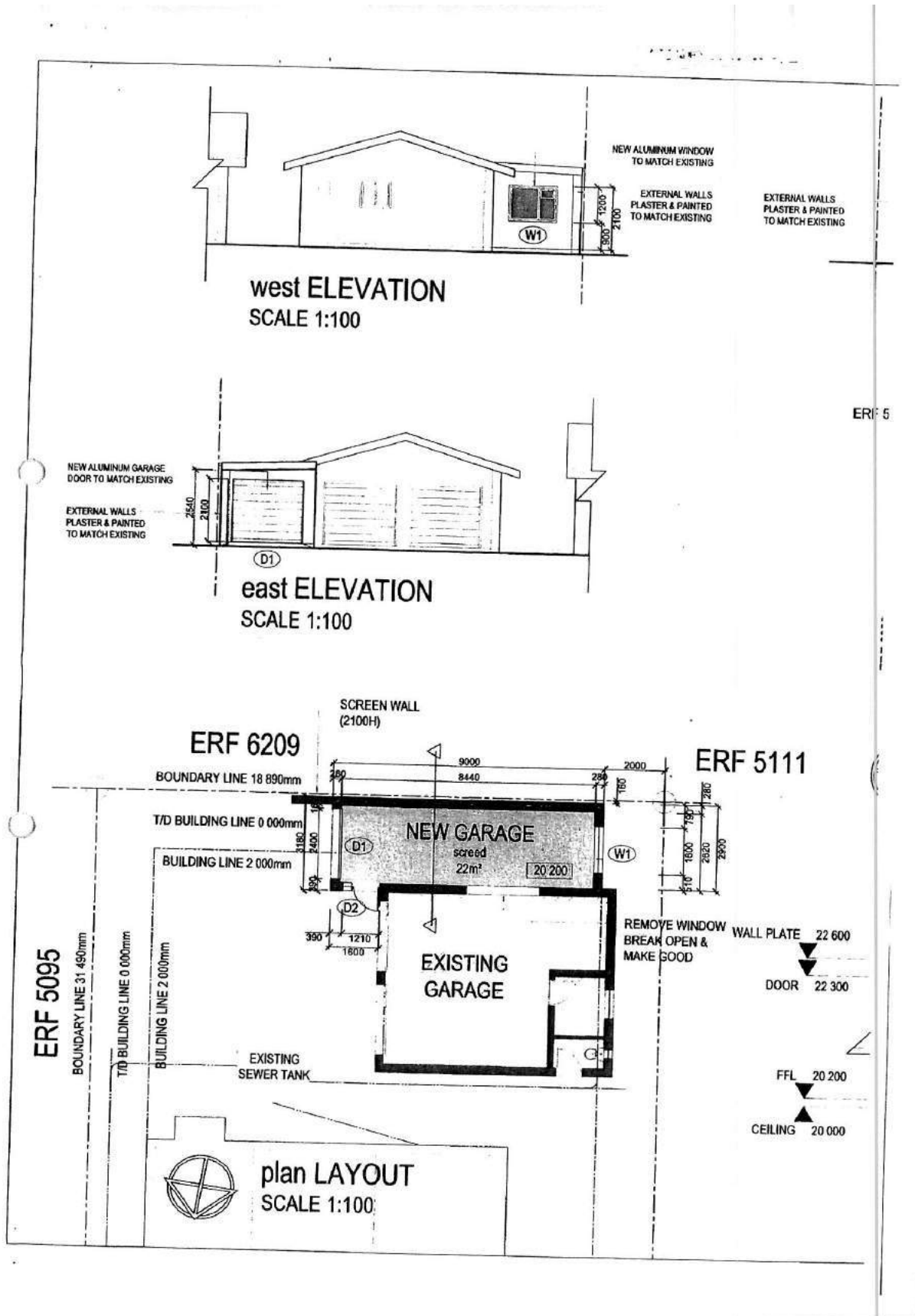
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.

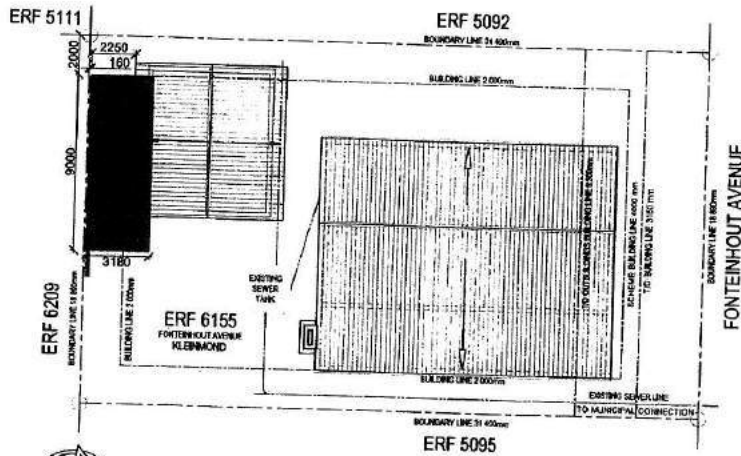
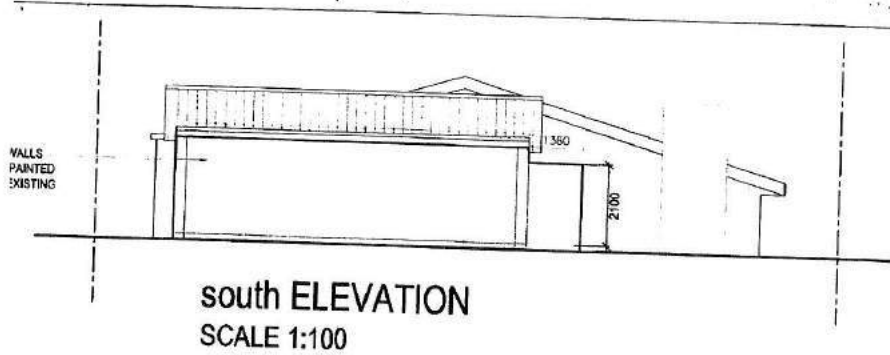


Erf 6155 Kleinmond



Date: 2018-02-23

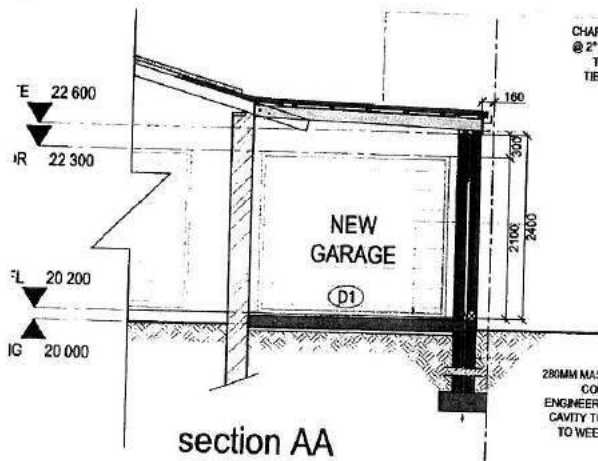




1



**SITE & ROOF PLAN**  
SCALE 1:200



**section AA**  
SCALE 1:50

**ROOF CONSTRUCTION:**  
CHARCOAL ZINCALUME KLIPLOK OR SIMILAR APPROVED ROOF SHEETING @ 2° ON 50X76MM TIMBER PURLINS @ MAX. 850MM C/C ON 50X150MM SAP TREATED TIMBER TRUSSES @ MAX. 900MM C/C WRAPPED IN DPC AND TIED TO WALLS WITH GALVANIZED HOOP IRON STRIPS IMBEDDED INTO CONCRETE FILLED CAVITY TO DEPTH OF MIN 600MM.

**EXTERNAL WALLS:**  
280MM FACE BRICK MASONRY CAVITY WALLS. CAVITY AT ROOF LEVEL (EAVES) TO BE FILLED WITH CONCRETE MIN 600MM DEEP WITH CAVITY CLOSERS AND DRIPS TO STEPPED DPC

**GROUND FLOOR CONSTRUCTION:**  
FLOOR FINISH ON 100mm CONCRETE FLOOR SLAB ON 250mm DPM ON min. 30mm SAND ON CLEAN FILL WELL COMPACTED IN LAYERS OF MAX 150MM TO ENGINEER SPECIFICATION.

**FOUNDATION WALLS:**  
280MM MASONRY CAVITY WALLS 600X255MM CONCRETE STRIP FOUNDATION TO ENGINEER SPEC. WITH CONCRETE FILLED CAVITY TO UNDERSIDE OF STEPPED DPC TO WEEPHOLES AT 5 BRICK INTERVALS

600mm x 255mm CONCRETE STRIP FOUNDATION TO ENGINEERS SPECIFICATION

ARCHITECT
OWNER

**GENERAL NOTES**

- ALL DIMENSIONS ARE PRIOR TO CONSTRUCTION (UNLESS OTHERWISE NOTED)
- WRITTEN DIMENSIONS TO BE USED
- LARGER SCALE DRAWINGS
- ALL DIMENSIONS TO BE
- ALL WORK TO BE IN
- TURNER OR DE VOS
- ALL WINDOWS AS PER ALL WINDOWS TO AREA AND NOT LE AREA
- ALL GLASS TYPES REGULATIONS AND:
- ALL ACCESS DOOR GLASS
- ALL WINDOWS LOW LEVEL TO HAVE SAFETY STAIRS AND LIFT
- PC CONCRETE LUMEN BRIDGE OVER
- ALL STRUCTURAL COVERED WITH PC
- SAND APPROVED BY ENGINEER TO BE USED
- DAMP PROOFING MEMBRANE TO ALL EXISTING WALLS AND ALL OPEN WINDOWS TO BE
- ALL STAIRCASES TRUSSES MIN 50MM HANDRAILS TO BE 1

**AREAS:**

- TOTAL SITE AREA
- EXISTING BUILDING AREA
- ADDITION - NEW
- TOTAL AREA
- COVERAGE:
- BULK FACTOR:

**DATE OF**



SA  
I PARTI  
P.O.  
E-MAIL

**COUPAR**

PROPOSE  
ERF 6155  
5 FONTENHOUT AVENUE  
KLEINMOND  
7195

**ELEVATION PLAN, ROO**

20  
SCALE  
AS SHOWN

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 6155, KLEINMOND (3890)**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 6155, Kleinmond, unobstructed;
4. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

04/04/18  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**2. ERF 4195, 81 FIRST AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: P YTIER ON BEHALF OF CA VAN DER MERWE**

**4195 KKM (3988)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**14 August 2018**

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**Executive Summary**

An application has been received on 30 April 2018 from P Ytier on behalf of CA van der Merwe on Erf 4195, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 1,5m to accommodate a first floor.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4195, Kleinmond for a departure to relax the western lateral building line from 2m to 1,5m to accommodate an extension dwelling to accommodate a first storey, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on the plan dated July 2016, as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (e) that all the conditions in the Services Report, be complied with, and
  - (f) that the departure is only valid for the first storey and no other departure of the lateral building line will be allowed, and that the building be restricted to the 8m height parameter for residential Zone 1.

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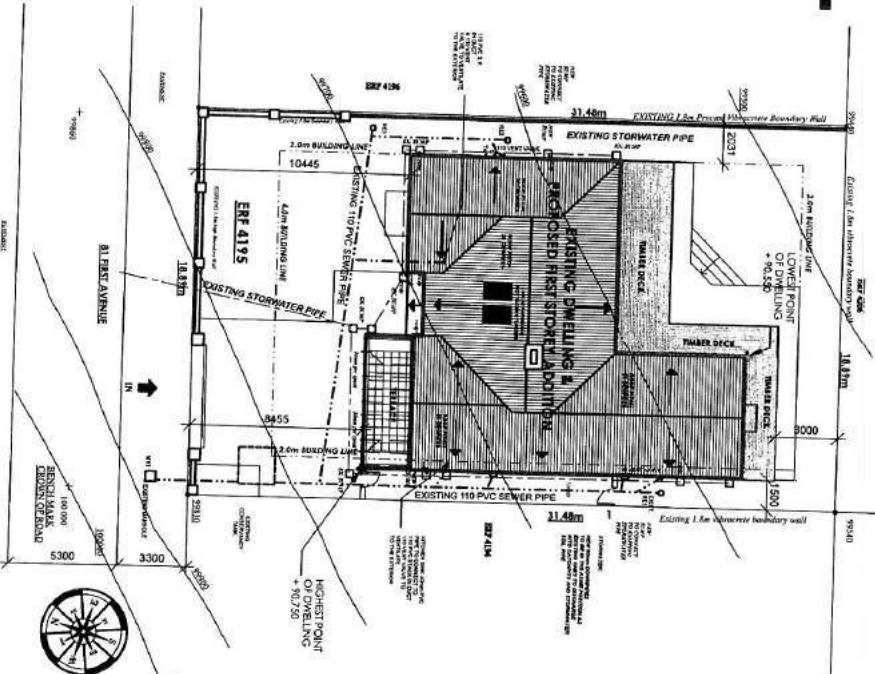
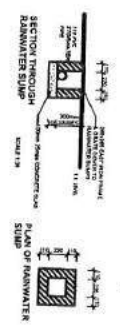
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



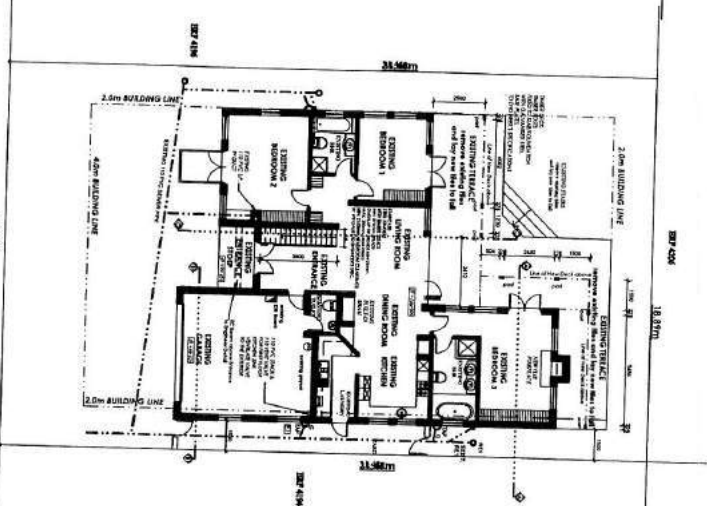
100% ORIGINAL STAMP

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 2. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.  
 3. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.  
 4. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.  
 5. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.



SITE AND ROOF PLAN SCALE 1:200



GROUND STOREY PLAN SCALE 1:200

MUNICIPAL LAND USE PLANNING SUBMISSION

NOTE: THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER SOURCE.  
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CLASSIFICATION OF BUILDING

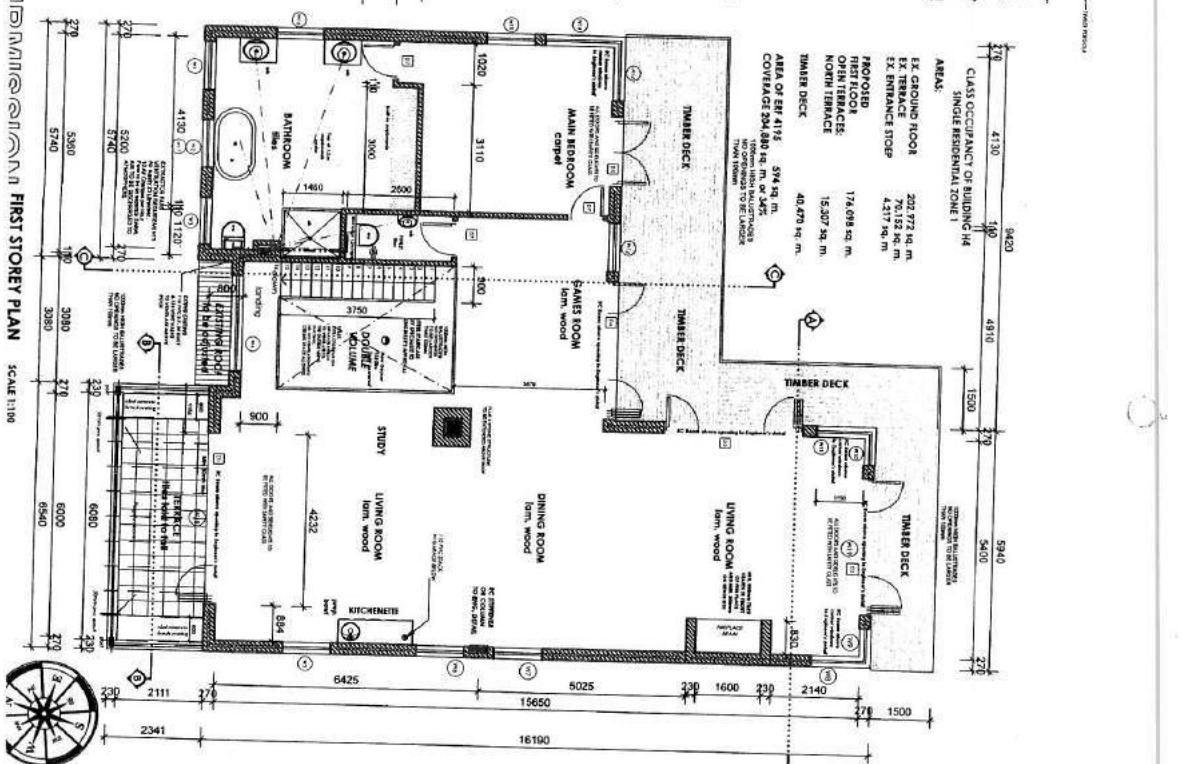
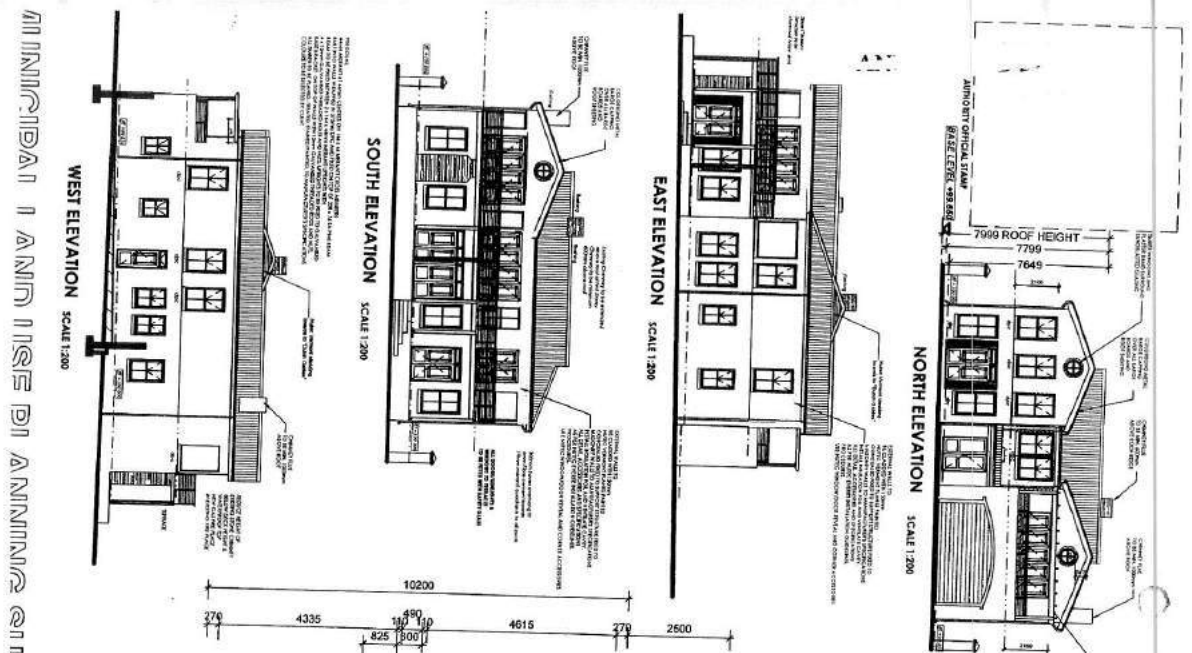
CLASSIFICATION OF BUILDING	INCOME RESIDENTIAL (C-1)
AREA	302.172 sq. m
EX. GROUND FLOOR	73.132 sq. m
EX. FINISHED FLOOR	270.040 sq. m
FLOOR AREA	118.099 sq. m
NET FLOOR AREA	15.207 sq. m
OPEN TERRACE	40.079 sq. m
THUNDER DECK	514.84 sq. m
AREA OF EX. FLOOR	514.84 sq. m
CONCRETE SLAB AREA	187.84 sq. m



11. APPROVED ARCHITECTURAL PLAN (SCALE 1:200)  
 TEL: 505-462-0264 email: info@pirdeyip.com  
 3400 WEST 35th STREET SUITE 100, CALGARY, ALBERTA T2C 1A1

NO.	DATE	REVISION
1	2017.04.01	ISSUE FOR PERMIT
2	2017.04.01	ISSUE FOR PERMIT

DESIGNED BY: PIRDE YIPER  
 DRAWN BY: PIRDE YIPER  
 CHECKED BY: PIRDE YIPER



**NOTES**

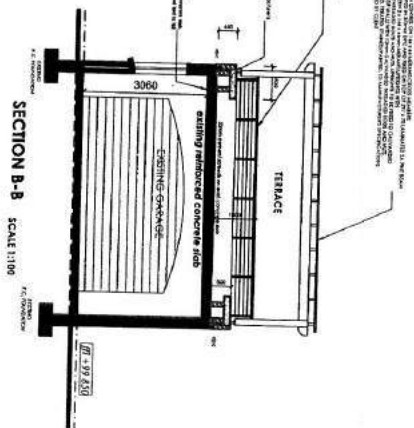
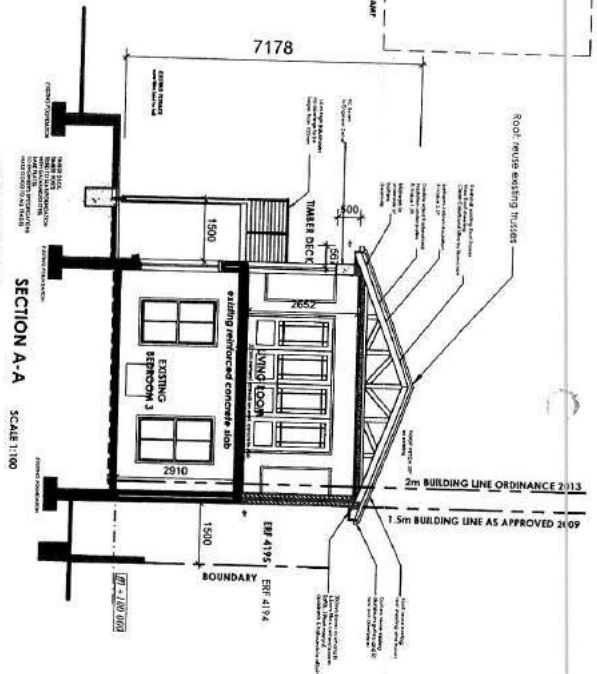
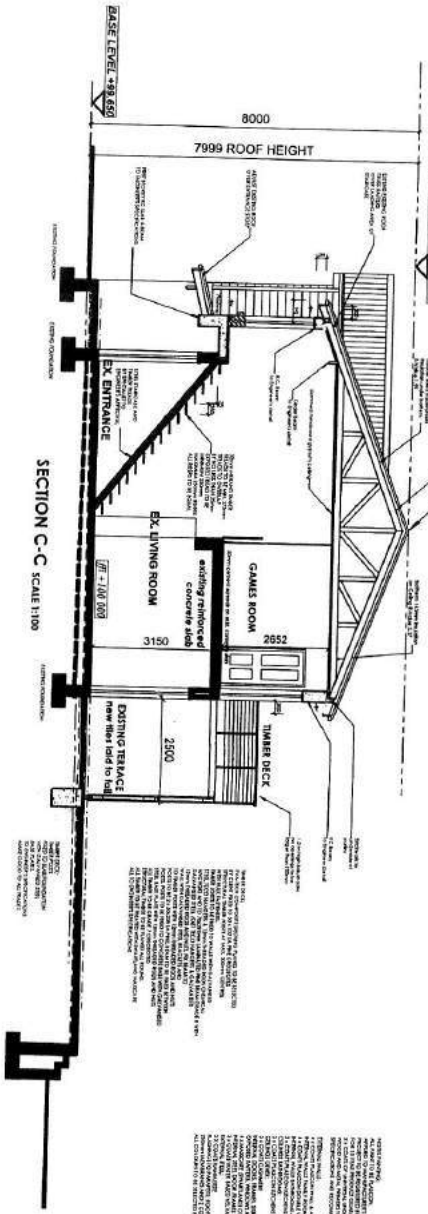
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BUILDING ACT 2004 AND THE BUILDING REGULATIONS 2004.
2. THE ARCHITECT HAS NOT CONDUCTED A VISUAL IMPACT ASSESSMENT FOR THIS PROJECT.
3. THE ARCHITECT HAS NOT CONDUCTED A CULTURAL HERITAGE ASSESSMENT FOR THIS PROJECT.
4. THE ARCHITECT HAS NOT CONDUCTED A TREE SURVEY FOR THIS PROJECT.
5. THE ARCHITECT HAS NOT CONDUCTED A GEOTECHNICAL ASSESSMENT FOR THIS PROJECT.
6. THE ARCHITECT HAS NOT CONDUCTED A SOIL TEST FOR THIS PROJECT.
7. THE ARCHITECT HAS NOT CONDUCTED A WATER TEST FOR THIS PROJECT.
8. THE ARCHITECT HAS NOT CONDUCTED A WIND TEST FOR THIS PROJECT.
9. THE ARCHITECT HAS NOT CONDUCTED A SOUND TEST FOR THIS PROJECT.
10. THE ARCHITECT HAS NOT CONDUCTED A LIGHT TEST FOR THIS PROJECT.
11. THE ARCHITECT HAS NOT CONDUCTED A VIBRATION TEST FOR THIS PROJECT.
12. THE ARCHITECT HAS NOT CONDUCTED A POLLUTION TEST FOR THIS PROJECT.
13. THE ARCHITECT HAS NOT CONDUCTED A CLIMATE TEST FOR THIS PROJECT.
14. THE ARCHITECT HAS NOT CONDUCTED A QUALITY MANAGEMENT SYSTEM FOR THIS PROJECT.
15. THE ARCHITECT HAS NOT CONDUCTED A RISK MANAGEMENT SYSTEM FOR THIS PROJECT.
16. THE ARCHITECT HAS NOT CONDUCTED A HEALTH AND SAFETY SYSTEM FOR THIS PROJECT.
17. THE ARCHITECT HAS NOT CONDUCTED A COMMUNITY ENGAGEMENT SYSTEM FOR THIS PROJECT.
18. THE ARCHITECT HAS NOT CONDUCTED A SUSTAINABILITY SYSTEM FOR THIS PROJECT.
19. THE ARCHITECT HAS NOT CONDUCTED A LIFE CYCLE ASSESSMENT FOR THIS PROJECT.
20. THE ARCHITECT HAS NOT CONDUCTED A CARBON FOOTPRINT ASSESSMENT FOR THIS PROJECT.
21. THE ARCHITECT HAS NOT CONDUCTED A WATER FOOTPRINT ASSESSMENT FOR THIS PROJECT.
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23. THE ARCHITECT HAS NOT CONDUCTED A LAND USE ASSESSMENT FOR THIS PROJECT.
24. THE ARCHITECT HAS NOT CONDUCTED A TRANSPORT ASSESSMENT FOR THIS PROJECT.
25. THE ARCHITECT HAS NOT CONDUCTED A SOCIAL ASSESSMENT FOR THIS PROJECT.
26. THE ARCHITECT HAS NOT CONDUCTED A CULTURAL ASSESSMENT FOR THIS PROJECT.
27. THE ARCHITECT HAS NOT CONDUCTED A HISTORICAL ASSESSMENT FOR THIS PROJECT.
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31. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY MANAGEMENT PLAN FOR THIS PROJECT.
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33. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY MONITORING PLAN FOR THIS PROJECT.
34. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY REPORT FOR THIS PROJECT.
35. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY ACTION PLAN FOR THIS PROJECT.
36. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY STRATEGY FOR THIS PROJECT.
37. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY POLICY FOR THIS PROJECT.
38. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY FRAMEWORK FOR THIS PROJECT.
39. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY GUIDELINES FOR THIS PROJECT.
40. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY CHECKLIST FOR THIS PROJECT.
41. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY SCREENING FOR THIS PROJECT.
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61. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY ACTION PLAN FOR THIS PROJECT.
62. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY STRATEGY FOR THIS PROJECT.
63. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY POLICY FOR THIS PROJECT.
64. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY FRAMEWORK FOR THIS PROJECT.
65. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY GUIDELINES FOR THIS PROJECT.
66. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY CHECKLIST FOR THIS PROJECT.
67. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY SCREENING FOR THIS PROJECT.
68. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY APPRAISAL FOR THIS PROJECT.
69. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY ASSESSMENT FOR THIS PROJECT.
70. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY MANAGEMENT PLAN FOR THIS PROJECT.
71. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY OFFSET PLAN FOR THIS PROJECT.
72. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY MONITORING PLAN FOR THIS PROJECT.
73. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY REPORT FOR THIS PROJECT.
74. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY ACTION PLAN FOR THIS PROJECT.
75. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY STRATEGY FOR THIS PROJECT.
76. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY POLICY FOR THIS PROJECT.
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96. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY MANAGEMENT PLAN FOR THIS PROJECT.
97. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY OFFSET PLAN FOR THIS PROJECT.
98. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY MONITORING PLAN FOR THIS PROJECT.
99. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY REPORT FOR THIS PROJECT.
100. THE ARCHITECT HAS NOT CONDUCTED A BIODIVERSITY ACTION PLAN FOR THIS PROJECT.

**ADDITIONS AND ALTERATIONS TO HOUSE NO. 44, ALBERT STREET TORONTO, ONT. M5S 1A5**

**PIERRE YTIER ARCHITECTURAL AND INTERIOR DESIGN**

11 ARLINGTON COURT TORONTO, ONT. M5S 1A5  
 TEL: (416) 462-0004 EMAIL: p.ytier@pierrenytier.com  
 WWW.PIERRENYTIER.COM  
 SACC# 2625 (NO. 20208) SACC# REG. (NO. 2191)

MUNICIPAL LAND USE PLANNING STRATEGIES



**NOTES**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS 2011 AND THE NATIONAL FIRE BRANCH REGULATIONS 2012.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL REGULATIONS 2011 AND THE NATIONAL PLUMBING REGULATIONS 2011.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL GAS REGULATIONS 2011 AND THE NATIONAL MECHANICAL REGULATIONS 2011.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL WATER REGULATIONS 2011 AND THE NATIONAL SANITATION REGULATIONS 2011.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ENVIRONMENTAL REGULATIONS 2011 AND THE NATIONAL HEALTH REGULATIONS 2011.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL SAFETY REGULATIONS 2011 AND THE NATIONAL SECURITY REGULATIONS 2011.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL DEFENCE REGULATIONS 2011 AND THE NATIONAL INTELLIGENCE REGULATIONS 2011.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL FOREIGN AFFAIRS REGULATIONS 2011 AND THE NATIONAL TRADE REGULATIONS 2011.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL INDUSTRY REGULATIONS 2011 AND THE NATIONAL TRANSPORT REGULATIONS 2011.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL COMMUNICATIONS REGULATIONS 2011 AND THE NATIONAL ENERGY REGULATIONS 2011.
11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ENVIRONMENTAL REGULATIONS 2011 AND THE NATIONAL HEALTH REGULATIONS 2011.
12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL SAFETY REGULATIONS 2011 AND THE NATIONAL SECURITY REGULATIONS 2011.
13. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL DEFENCE REGULATIONS 2011 AND THE NATIONAL INTELLIGENCE REGULATIONS 2011.
14. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL FOREIGN AFFAIRS REGULATIONS 2011 AND THE NATIONAL TRADE REGULATIONS 2011.
15. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL INDUSTRY REGULATIONS 2011 AND THE NATIONAL TRANSPORT REGULATIONS 2011.
16. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL COMMUNICATIONS REGULATIONS 2011 AND THE NATIONAL ENERGY REGULATIONS 2011.

**PIERRE YVES**  
ARCHITECTURAL AND  
INTERIOR DESIGN

11, AVENUE VIGORIE, QUARTIER WEST 7130  
SICAP BIC, 56, QUAI SAUL BIC, 10421 100  
TEL: 514 353 1111  
WWW.PIERREYVES.COM

**ADDENDUM AND ALTERATION**  
ER 4175, 81 FIRST AVE, WILMINGTON

NO.	DATE	DESCRIPTION
1	2011.01.10	ISSUE FOR PERMIT
2	2011.01.10	ISSUE FOR PERMIT
3	2011.01.10	ISSUE FOR PERMIT
4	2011.01.10	ISSUE FOR PERMIT
5	2011.01.10	ISSUE FOR PERMIT
6	2011.01.10	ISSUE FOR PERMIT
7	2011.01.10	ISSUE FOR PERMIT
8	2011.01.10	ISSUE FOR PERMIT
9	2011.01.10	ISSUE FOR PERMIT
10	2011.01.10	ISSUE FOR PERMIT

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4195, KLEINMOND (3988)**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4195, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**3. ERF 4564, 15 FIFTH AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS SCHOONRAAD ARCHITECTS ON BEHALF OF JWM FYFER**

**4564 KKM (3967)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**14 August 2018**

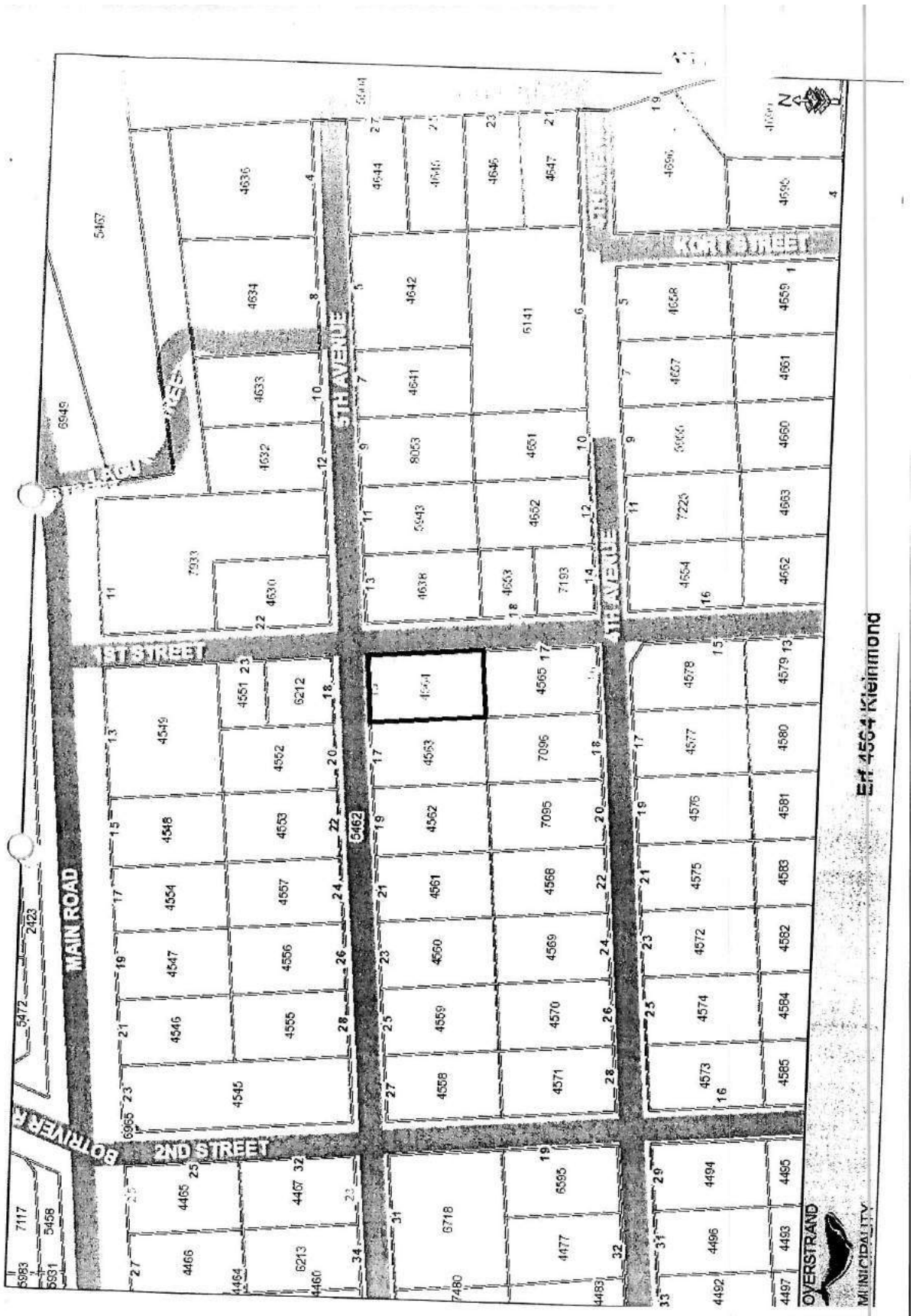
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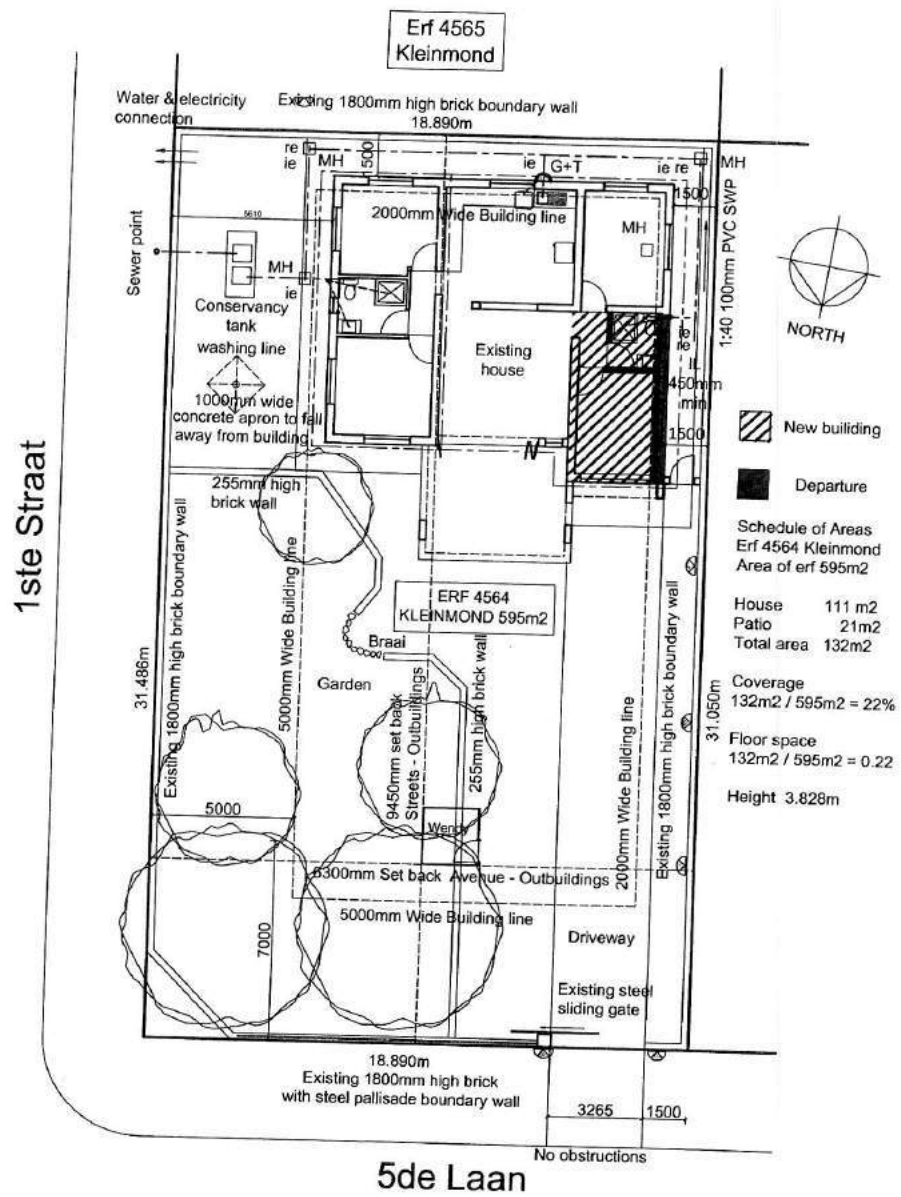
**Executive Summary**

An application has been received on 4 April 2018 from Messrs Schoonraad Architects on behalf of JWM Fyfer, on Erf 4564, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the eastern lateral building line from 2m to 1,5m to convert the garage into a habitable room.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4564, Kleinmond to relax the eastern lateral building line from 2m to 0,15m to accommodate a habitable room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on the plans dated 30 March 2018, as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





# Site Plan 1:200

Site plan 1:200

Alterations to House Du Plessis  
 Erf 4564 Kleinmond



4 Mondche 5th Avenue Kleinmond 7195  
 T: 028 271 3479 C: 082 853 3770 F: 086 538 3612  
 gideon@schoonraadarch.co.za

**General:**  
 All measurements are given in millimeters unless otherwise stated.  
 All dimensions are given in millimeters unless otherwise stated.  
 All dimensions are given in millimeters unless otherwise stated.  
 All dimensions are given in millimeters unless otherwise stated.

**Foundations:**  
 Foundations shall be constructed in accordance with the relevant building code and shall be designed to support the full load of the structure.

**Floors:**  
 Floors shall be constructed in accordance with the relevant building code and shall be designed to support the full load of the structure.

**Walls:**  
 Walls shall be constructed in accordance with the relevant building code and shall be designed to support the full load of the structure.

**Roofs:**  
 Roofs shall be constructed in accordance with the relevant building code and shall be designed to support the full load of the structure.

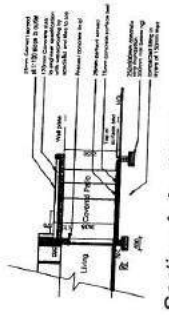
**Glazing:**  
 Glazing shall be constructed in accordance with the relevant building code and shall be designed to support the full load of the structure.

**Drainage:**  
 Drainage shall be constructed in accordance with the relevant building code and shall be designed to support the full load of the structure.

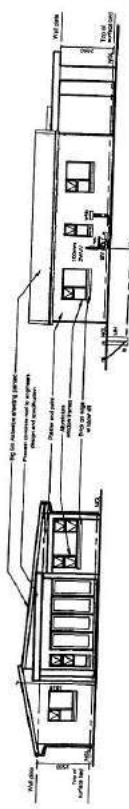
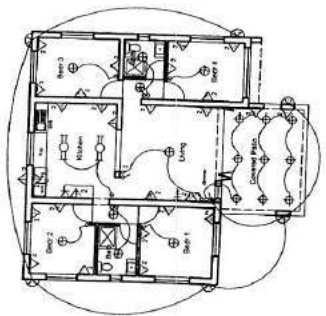
**Copyright Notice**  
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**SAJ ARCHITECTS**  
 4866 KLEINMOND ROAD  
 WILLOWDALE, VICTORIA 3159  
 TEL: 9437 1111 FAX: 9437 1112  
 WWW: www.saj.com.au

Client	SAJ
Architect	SAJ
Engineer	SAJ
Date	30 April 2013
Project Description	Mrs. Fyler Additions and alterations to residence on erf 4866 Kleinmond
Drawing No.	Site Plans Sections Floorplan Elevations
Scale	As Shown
Author	
Checked	
Drawn	
Project Manager	
Project Engineer	



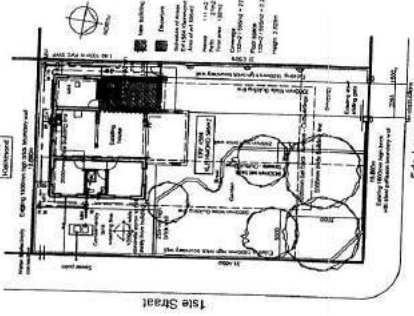
ELECTRICAL SYMBOLS:	
⊗	LIGHT SWITCH
⊗	THROWNY LIGHT SWITCH
⊗	PHOTOCELL LIGHTS
⊗	NON-FLUORESCENT DOWNLIGHT
⊗	DOWNLIGHT
⊗	WALL LIGHT
⊗	15A WALL PLUG
⊗	15A DOUBLE WALL PLUG
⊗	SWANDEE COUNTER PLUG
⊗	SWITCH CONNECTION
⊗	MAIN DISTRIBUTION BOARD
⊗	TELEVISION POINT
⊗	PHONE OUTLET POINT
⊗	RESERVE/OUTLET DOWNLIGHT



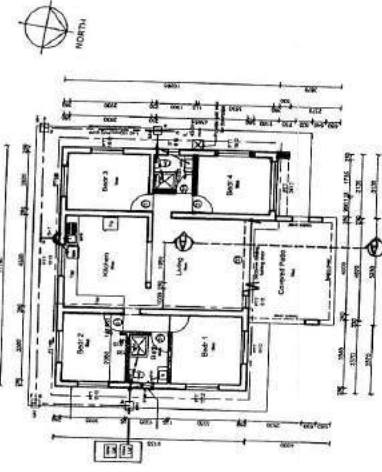
North Elevation 1:100



East Elevation 1:100



Site Plan 1:200



Ground floor plan 1:100

Electrical plan 1:100

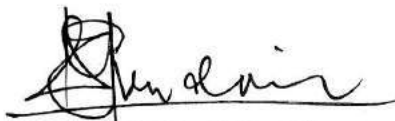
Ground floor plan 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4564, KLEINMOND (3967)**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4564, Kleinmond, unobstructed;
4. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

25/07/2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**4. ERF 3699, 47 NIVENIA ROAD, BETTY'S BAY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: P MATTHEUS ON BEHALF OF THE WATERMEYER FAMILY TRUST**

**3699 KKM (3986)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**15 August 2018**

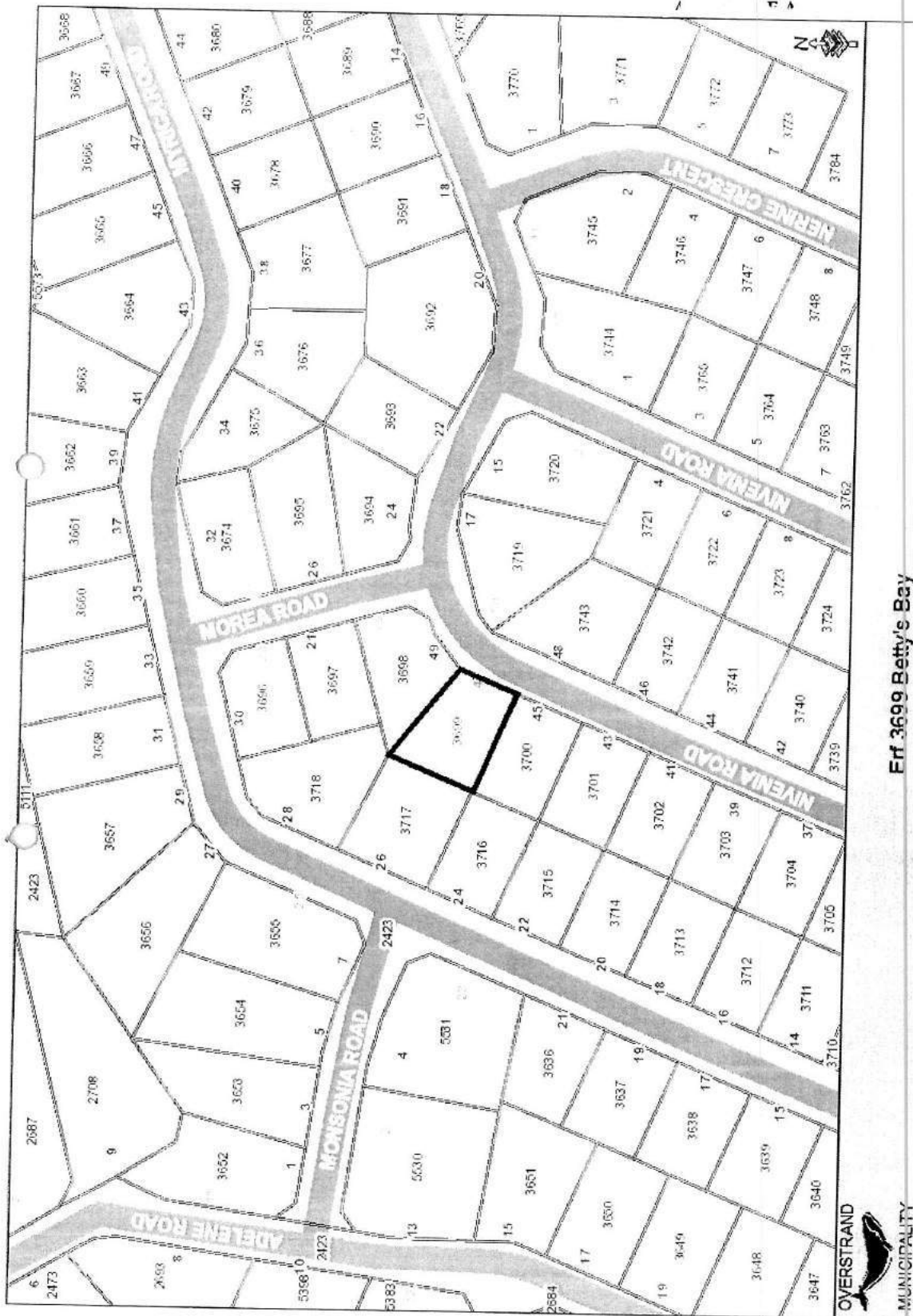
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**Executive Summary**

An application has been received on 26 April 2018 from P Mattheus on behalf of the Watermeyer Family Trust on Erf 3699, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 1,5m to accommodate the existing house.

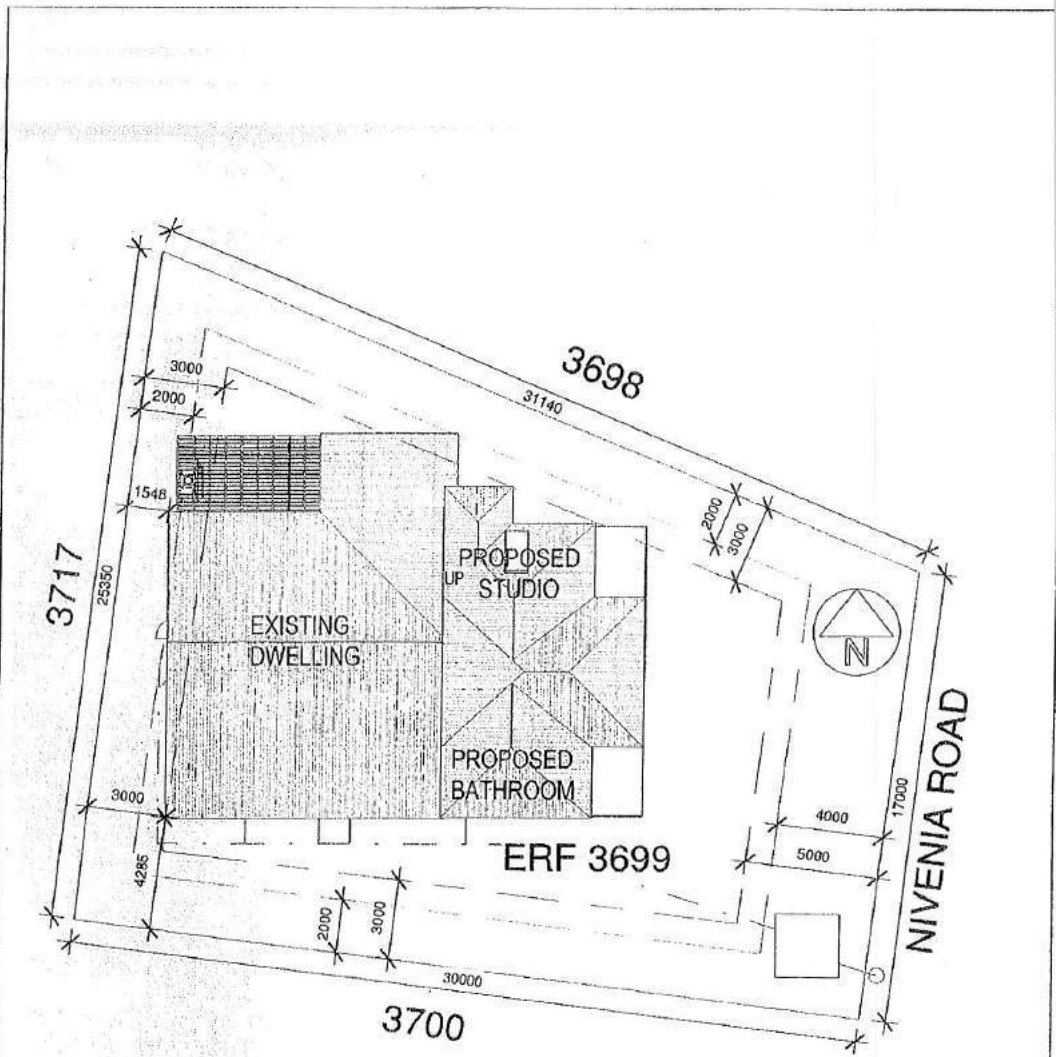
**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4195, Kleinmond for a departure to relax the western lateral building line from 2m to 1,5m to accommodate the existing dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on the plan dated 27 February 2018, as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



Erf 3699 Betty's Bay

Date: 2018-05-02



1 SITEPLAN  
1 : 200

*J. Daniels*  
J. DANIELS

<p><b>A.H.D.</b> ARCHITECTURAL HOME DESIGNS</p> <p>072 315 1336 phillip.mattheus@gmail.com</p>	<p>WATERMYER FAMILY TRUST ERF 3699 NIVENIA ROAD BETTY'S BAY</p>	<p>Unnamed</p>	
		<p>Project nr BB3699/18</p> <p>Date</p> <p>Drawn by pjm</p> <p>Sacap 20652</p>	<p>A111</p> <p>Scale 1 : 200</p>

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 3699, BETTY'S BAY (3986)**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 3699, Betty's Bay, unobstructed;
4. that no on-street parking be allowed.

*pp. R. Cocher*  
\_\_\_\_\_  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*03/07/2019*  
\_\_\_\_\_  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**5. PORTION 18 (PORTION OF PORTION 17) OF THE FARM RIVERSIDE NO. 644, DIVISION CALEDON, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: OVERSTRAND MUNICIPALITY**

**644/18 RCAL(3913)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**19 July 2018**

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**Executive Summary**

An application has been received on 20 February 2018 from Mr C Groenewald on behalf of Overstrand Municipality for a consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Portion 18 (Portion of Portion 17) of the Farm Riverside No. 644, Division Caledon, in order to legalise the existing place of instruction [Early Child Development (ECD) centre].

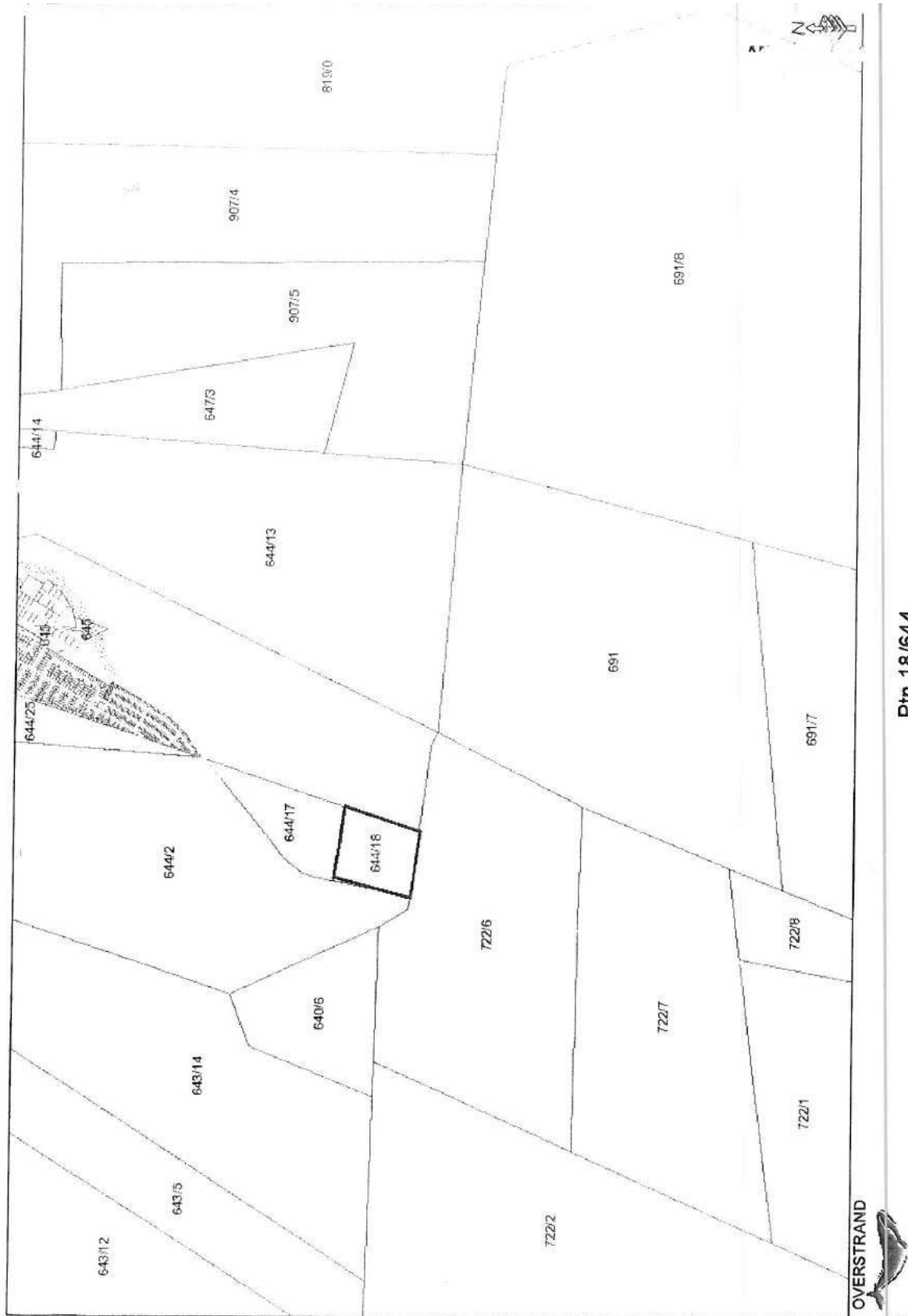
**RESOLVED :**

1. that, the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Portion 18 (Portion of Portion 17) of the Farm Riverside No. 644 for consent use in order to legalise the existing place of instruction (Early Child Development Centre), **be approved**, in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval is only for the continued use of the existing place of instruction (Early Child Development Centre) as submitted with the application;
  - (b) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
  - (c) that the comments received from District Health, Engineering Services and Fire Services and be complied with;
  - (d) that the place of instruction (Early Child Development Centre) can only be operated until "Die Kop" settlement has been relocated to Stanford, and
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

**AGENDA of the  
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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Ptn 18/644





Access routes and Crèche location

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: PORTION 18 OF FARM RIVERSIDE  
FARM NO 644, STANFORD (3913)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

**Conditions:**

1. that only the existing water connection and sewer conservancy tank will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the one electricity connection will be allowed once the property is consolidated and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that stormwater be allowed to discharge through Ptn 18/644, Stanford, unobstructed;
5. that no on-street parking be allowed.

*pp* *D. Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*11/05/2018*  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**6. ERF 826, 135 MAIN ROAD, DE KELDERS, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ME PLANNERS ON BEHALF OF CL PELSER**

**826 GDK (3780)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**30 July 2018**

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**Executive Summary**

To consider an application received on 11 September 2017 from Messrs ME Planners on behalf of the owner of Erf 826, De Kelders, CL Pelsler, for a consent use in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to establish five (5) self-catering tourist accommodation on the property concerned.

**RESOLVED :**

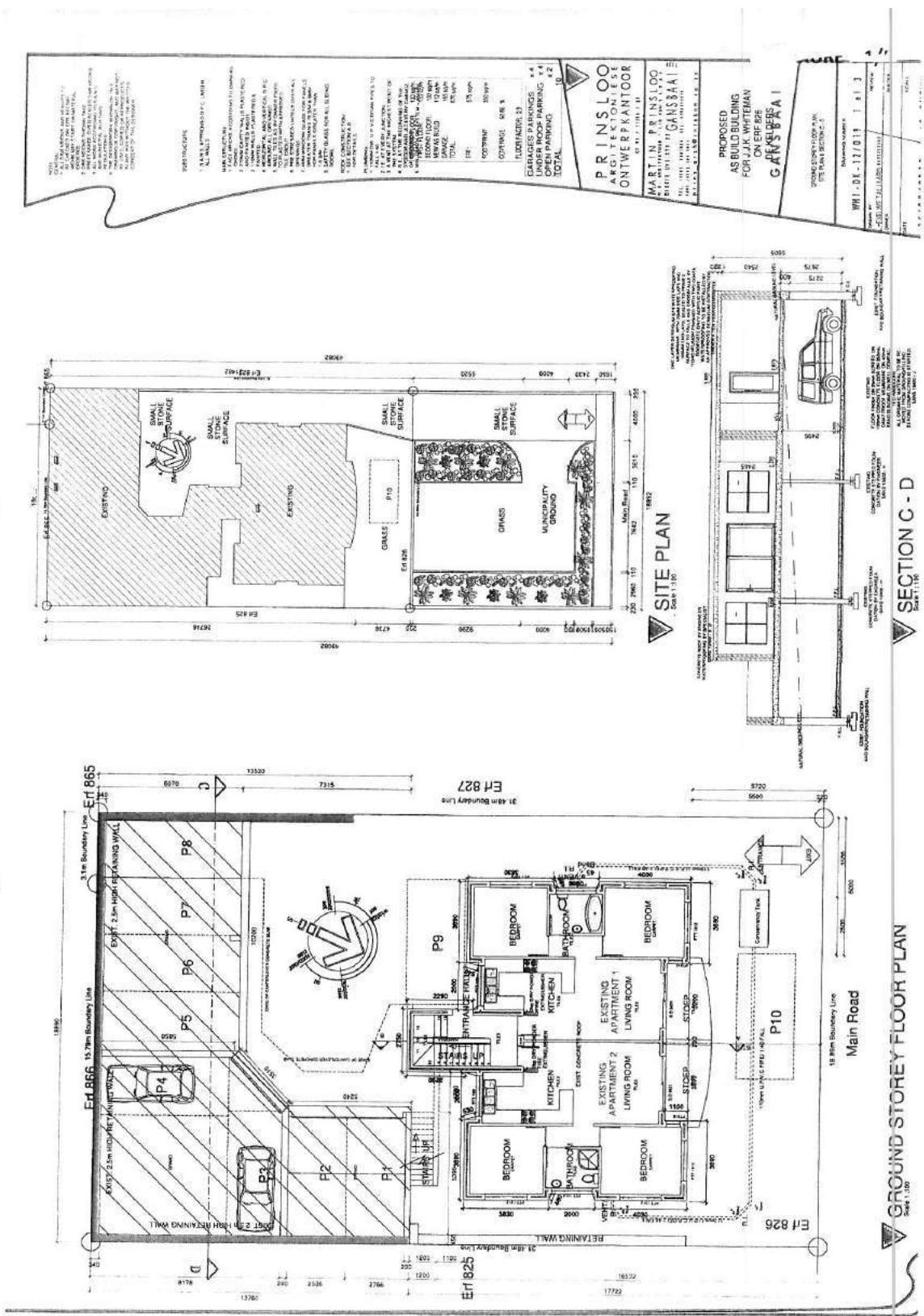
1. that in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 826, De Kelders for a consent use in order to operate five (5) tourist accommodation facilities (self-catering) on the property, **be approved** in terms of the provisions of Sections 61 of the By-Law, subject to the following conditions:
  - (a) that approval is only for the renting of the sectional title dwelling units on a self-catering basis;
  - (b) that sale of liquor is limited to paying lodgers for on site consumption and subject to obtaining a liquor licence;
  - (c) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
  - (d) that applicable rates and service tariffs, as determined by the annual budget be made applicable which tariffs are automatically adjusted in terms of the annual budget;
  - (e) that all the conditions in the Services Report, be adhered to;
  - (f) that the comments received from the Building Department, District Health and Fire Services be complied with;
  - (g) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;

**AGENDA of the  
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- (h) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises, and
  - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval





**PRINSLOO**  
 ARGITEKTONIESE  
 ONTWERKANTOOR

**MARTIN PRINSLOO**  
 ARCHITECT  
 RIJSTRAAT 10  
 1017 CA AMSTERDAM, THE NETHERLANDS  
 TEL: +31 (0)20 612 3111  
 WWW.PRINSLOO.NL

**PROPOSED**  
 AS BUILD BUILDING  
 FOR J.J.K. WHITEMAN  
 ON THE SITE  
**GANVELDERS**

**SECTION C-D**

**GROUND STOREY FLOOR PLAN**  
 Scale 1:100

**SITE PLAN**  
 Scale 1:100

**STRUCTURE**  
 1. ALL WALLS  
 2. ALL FLOORS  
 3. ALL ROOFS  
 4. ALL EXISTING STRUCTURE TO REMAIN  
 5. ALL NEW STRUCTURE TO BE BUILT  
 6. ALL EXISTING STRUCTURE TO BE DEMOLISHED  
 7. ALL EXISTING STRUCTURE TO BE RECONSTRUCTED  
 8. ALL EXISTING STRUCTURE TO BE REPAIRED  
 9. ALL EXISTING STRUCTURE TO BE MAINTAINED  
 10. ALL EXISTING STRUCTURE TO BE PRESERVED  
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 16. ALL EXISTING STRUCTURE TO BE REGLAZED  
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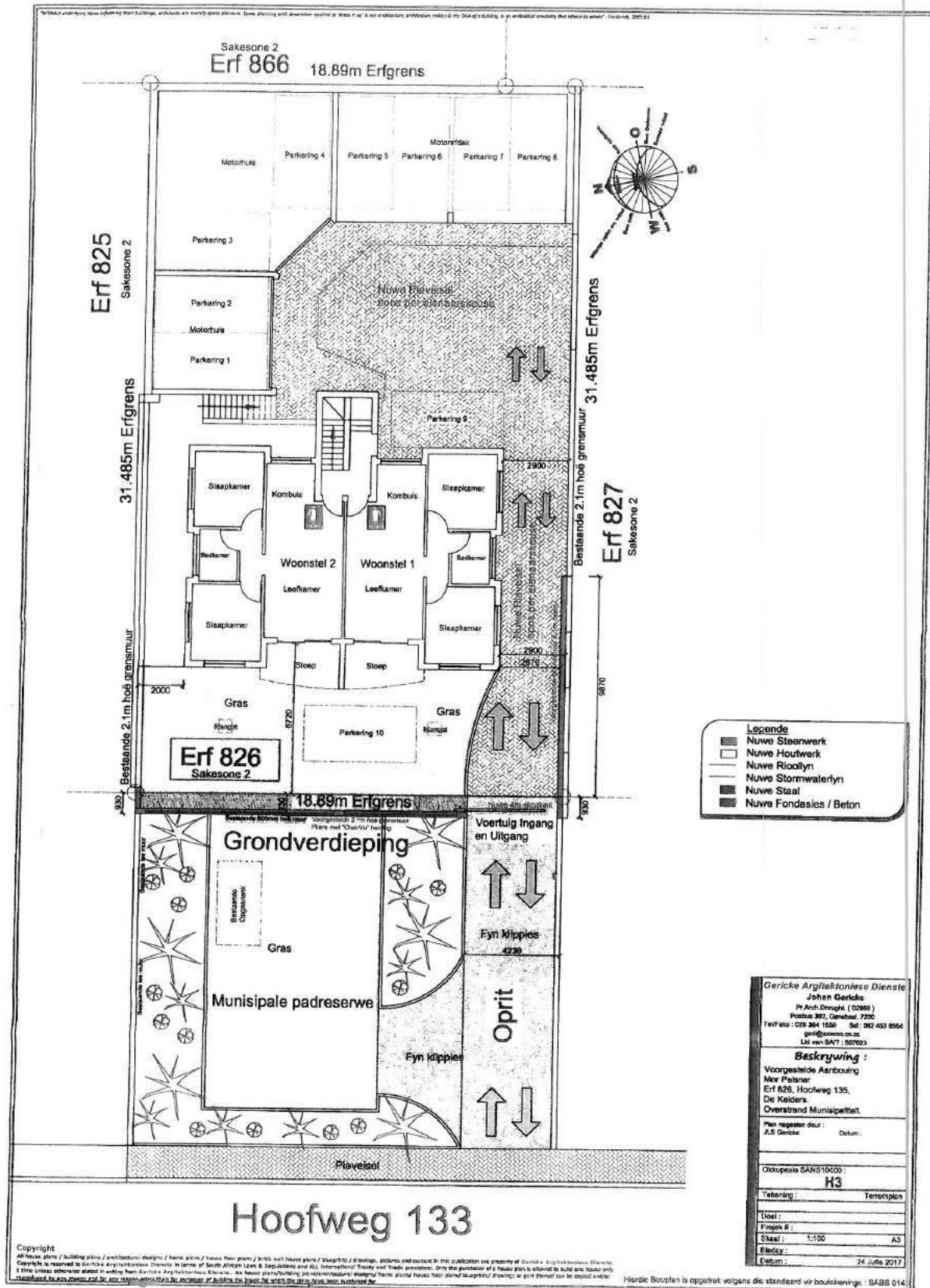
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 3. ALL ROOFS  
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 5. ALL NEW STRUCTURE TO BE BUILT  
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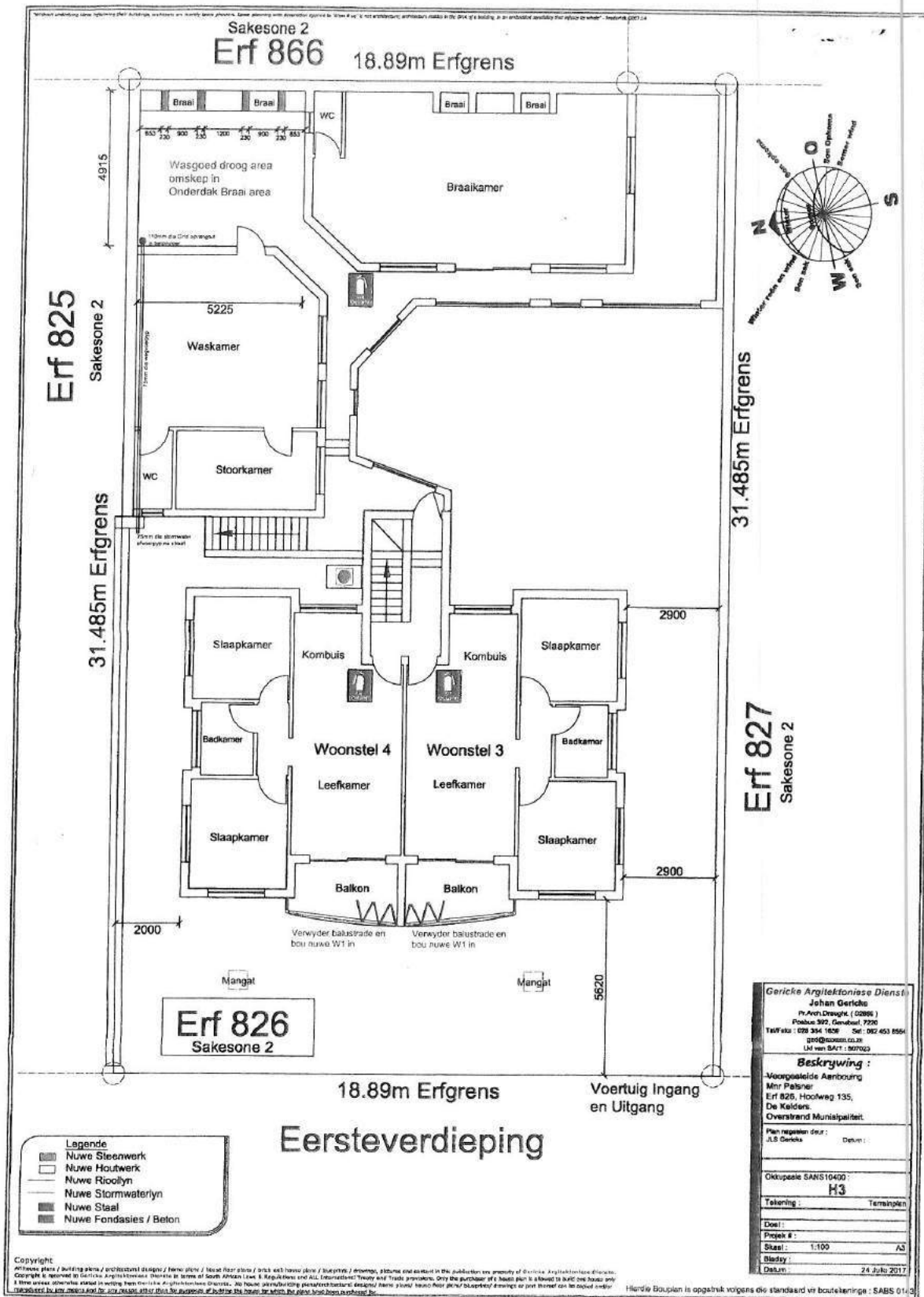
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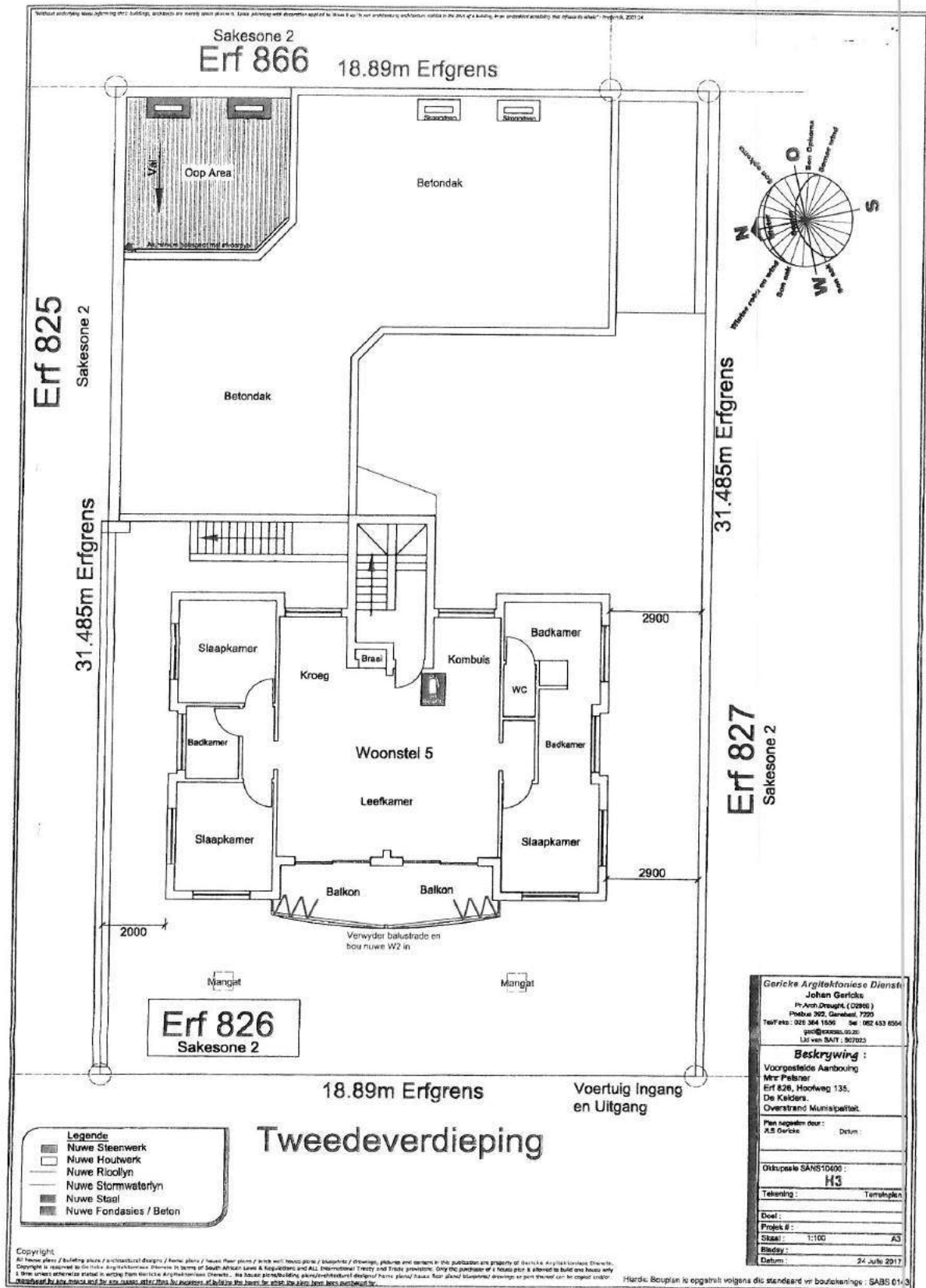
**DATE**  
 2023-10-10

**SCALE**  
 1:100









<b>Gerieke Argitektoniese Dienste</b> Johan Gerieke Pr Arch Draught (02966) Postbus 202, Garabast, 7200 Telefoon: 022 364 1559 Fax: 022 433 8564 johng@cape.gov.za Luid van SAAT : 967023	
<b>Beskrywing :</b> Voorgestelde Aanbouwing Mr Pelner Erf 826, Hoorweg 135, De Kelders, Overstrand Munisipaliteit.	
Plan opgestel deur : A.S Gerike Datum :	
Oksipalele SANS10400 : H3	
Tekening :	Tersuipen
Doel :	
Projek # :	
Skaal : 1:100	A3
Blaaij :	
Datum :	24 Julie 2017

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Hardse Kopie is eggestel volgens die standaard vir boutekeninge : SABS 014-3

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 826, DE KELDERS (3780)

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

**Conditions:**

1. that only the existing water connection and sewer conversancy tank will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that it is advise that the existing wall be extended to 2.1m due to the close proximity of electrical services, and should there be any repairs on the services the wall would tumble;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 826, De Kelders, unobstructed;
7. that no on-street parking be allowed.

  
 DENNIS HENDRIKS  
 SENIOR MANAGER:  
 ENGINEERING SERVICES

8/2/2018  
 DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**7. ERF 4223, 305 SIXTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS PLAN ACTIVE ON BEHALF OF A THORPE**

**4223 HVK (3920)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**7 August 2018**

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**Executive Summary**

An application for consent use (tourist accommodation) in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Erf 4223, Hermanus has been received on 28 February 2018 from Messrs Plan Active in order to enable the owner to accommodate a three (3) bedroom self catering unit for tourists within the existing dwelling unit on the property.

**RESOLVED :**

1. that the application in terms of Section (16)(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for consent use (tourism accommodation) applicable to Erf 4223, Hermanus in order to conduct a three (3) bedroom self-catering unit for tourists from the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the owner must separate the two (2) living areas of the dwelling unit permanently in order to establish an individual unit/entity as a self-catering unit and a secondary dwelling for the owner/manager (this is to ensure compliance with the Zoning Scheme) – building plans must be submitted to the Building Department for approval, and all conditions of the Building – and the Fire Department at that stage must be complied with;
  - (b) that the three (3) bedrooms of the self-catering unit may not be separately rented – it may only be rented as an entity;
  - (c) that the self-catering unit may only contain three (3) bedrooms;
  - (d) that the parking layout be provided as indicated on the Site Development Plan and the parking bays be properly demarcated;
  - (e) that all the conditions in the Engineering Report, Fire Department and Telkom, be complied with;

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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- (f) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (g) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.

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**PLA** Active

Stads- en Streeksbeplanners  
Town & Regional Planners

Property Description:

**ERF 4223**

**HERMANUS**

Scale: **NTS**

Drawing Nr: **hermanus-voelklp.dwg**

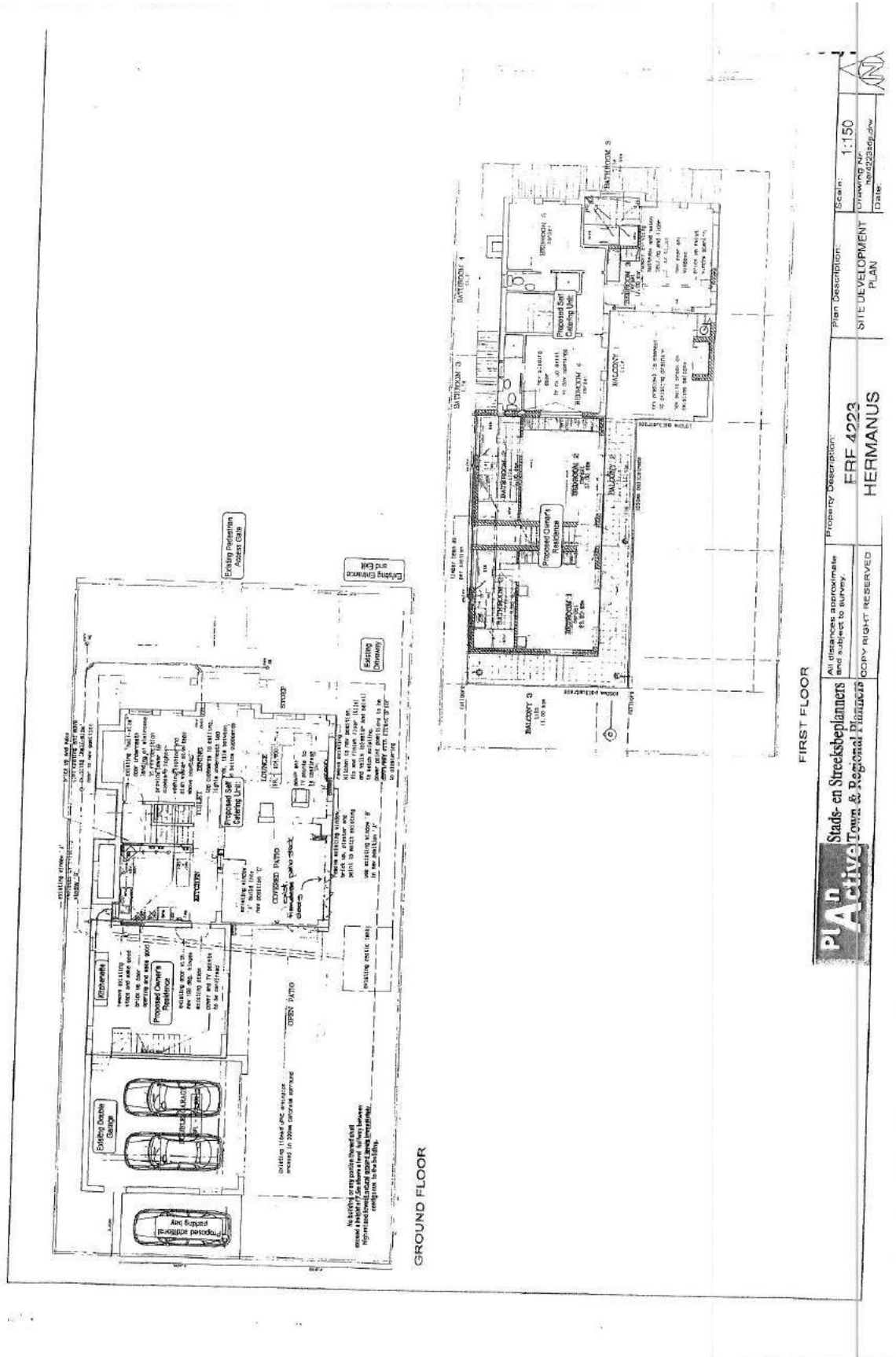
Date: **02/2018**

Plan Description:

**LOCALITY MAP**

All distances approximate and subject to survey.

COPY RIGHT RESERVED



**PLA'D** Active  
 Stads- en Streeksplanners  
 Town & Regional Planners

FIRST FLOOR

Property Description:  
 ERF 4223  
 HERMANUS

Plan Description:  
 SITE DEVELOPMENT  
 PLAN

Scale: 1:150  
 Date: 2023/05/04

All distances approximate  
 and subject to survey.  
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COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 4223, VOELKLIP (3920)

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4223, Voelklip, unobstructed;
6. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

27/4/2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**8. ERF 185, 144 PIET RETIEF CRESCENT, SANDBAAI : APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE, OVERSTRAND MUNICIPAL AREA : F & E SMALLBONES ON BEHALF OF ID VAN DER MERWE**

**185 HSB (3687)**

**S van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**8 August 2018**

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**Executive Summary**

An application has been received on 26 May 2017 from F & E Smallbones on behalf of ID van der Merwe applicable to Erf 185, Sandbaai for the following:

**Removal of restrictive title deed conditions**

Application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for:

the removal of restrictive title deed conditions B.2.(a) – (d) as contained in Title Deed T30996/2016 applicable to the above erf in order to legalize the existing second dwelling unit on the property, as well as to be in line with the primary rights and development parameters applicable to single residential properties as set out in the Overstrand Zoning Scheme; and

**Departure**

Application in terms of Section 16(2)(b) of the above By-Law to relax the western lateral building line from 2m to 1,5m in order to accommodate the existing second dwelling unit.

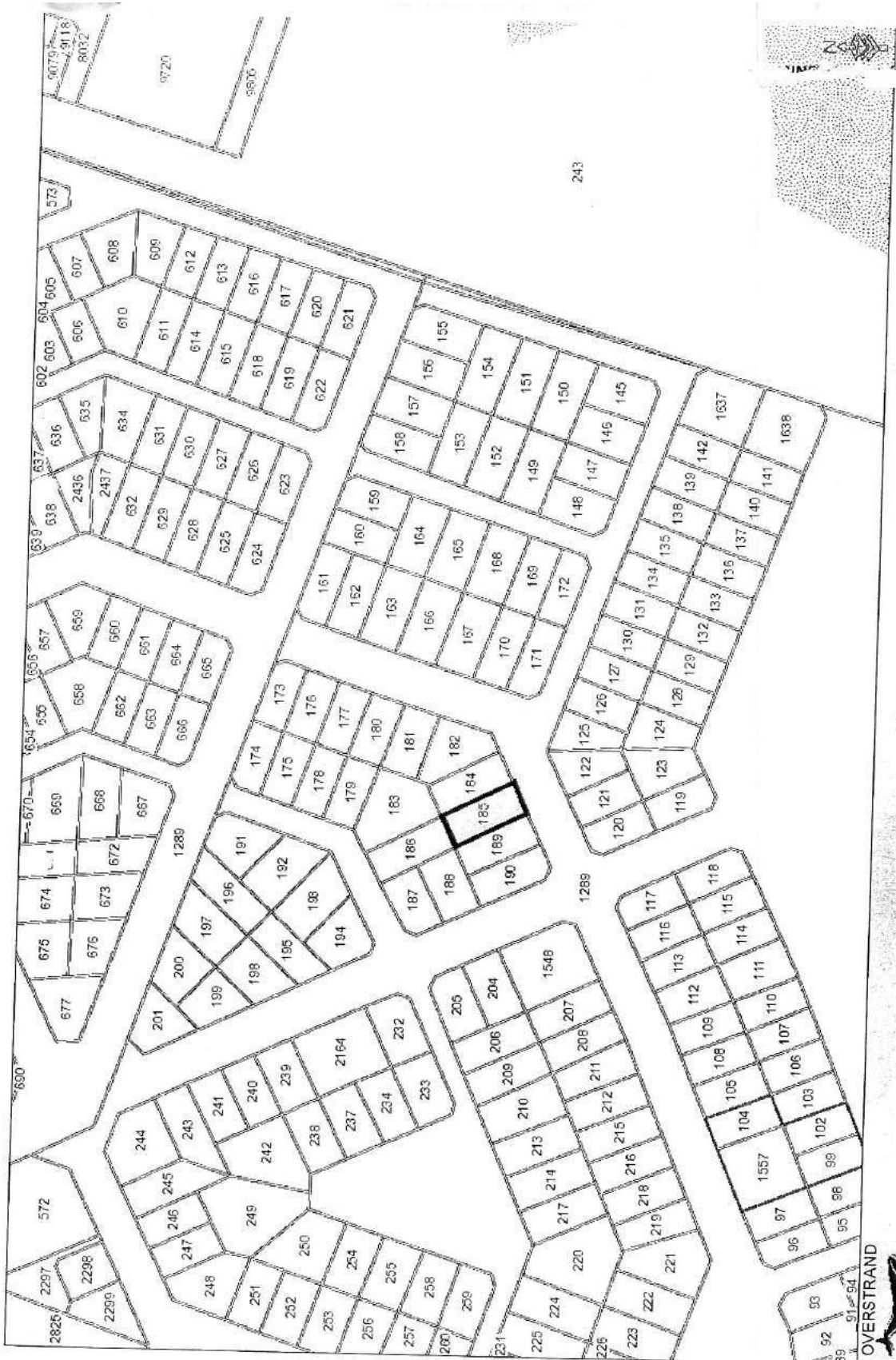
**RESOLVED :**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed conditions B.2.(a), (c), and (d) as contained in Title Deed T30996/2016 applicable to Erf 185, Sandbaai in order to accommodate the existing second dwelling unit on the property, as well as to be in line with the primary rights and development parameters applicable to single residential properties as set out in the Overstrand Zoning Scheme, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section (16)(2)(b) of the By-Law for departure applicable to Erf 185, Sandbaai in order to relax the western lateral building line from 2m to 1,5m to accommodate the existing second dwelling unit, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals above be subject to the following conditions:

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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- (a) that this approval is for the development as indicated on Plan Number S/BONE 01 dated May 2016 which was submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all the conditions in the Engineering Report and Telkom, be complied with;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



LOCALITY PLAN - ERF 185 SANDBAAI





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE & REMOVAL OF RESTRICTIVE TITLE  
DEED CONDITIONS: ERF 185, SANDBAAI (3687)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 185, Sandbaai, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

18/12/2017  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**9. ERF 859, 197 MAIN ROAD, EASTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF TEAM BUSINESS CONSULTING (PTY) LTD**

**859 HEC (3933)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**20 August 2018**

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**Executive Summary**

To consider an application received on 8 March 2018 from Messrs Interactive Town and Regional Planning on behalf of Team Business Consulting (Pty) Ltd on Erf 859, Hermanus (Eastcliff) for a consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to operate five (5) self-catering units (tourist accommodation) on the property concerned.

**RESOLVED :**

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 859, Hermanus (Eastcliff) for a consent use in order to operate five (5) self-catering units (tourist accommodation) on the property, **be approved** in terms of the provisions of Sections 61 of the By-Law, subject to the following conditions:
  - (a) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
  - (b) that applicable rates and service tariffs, as determined by the annual budget be made applicable which tariffs are automatically adjusted in terms of the annual budget;
  - (c) that all the conditions in the Services Report, be adhered to;
  - (d) that the comments received from Fire Services, be complied with;
  - (e) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
  - (f) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises, and

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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- (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 859 Eastcliff, Hermanus

Date: 2018.03.28



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 859, HERMANUS (3933)**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the standard water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the standard water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
4. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through Erf 859, Hermanus, unobstructed;
8. that refuse will be removed from sidewalks as per municipal arrangement;
9. that no on-street parking be allowed.

*p.p. D. Hendriks*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*03/07/2018*  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**10. ERF 579, 22 FLOWER STREET, WESTCLIFF, HERMANUS: APPLICATION FOR DEPARTURE, OVERSTRAND MUNICIPAL AREA: MESSRS ENGELBRECHT & SCORGIE ON BEHALF OF FB & M MAO-CHEIA**

**579 HWC (3874)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**20 August 2018**

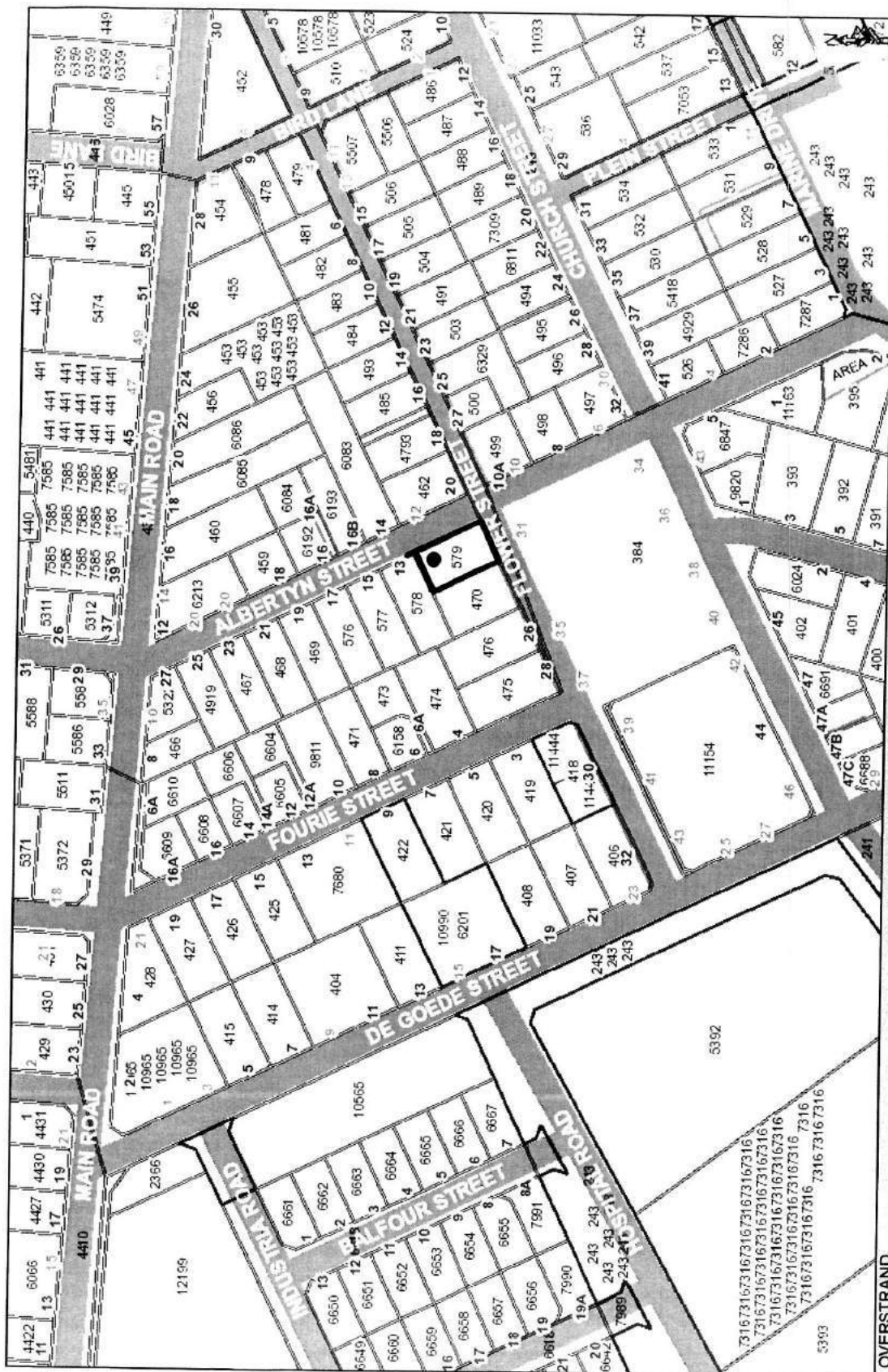
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**Executive Summary**

An application for departure applicable to Erf 579, Hermanus has been received on 7 December 2017 (revised application received on 12 February 2018) from Messrs Engelbrecht & Scorgie on behalf of FB & M Mao-Cheia in order to relax the northern- and western lateral building lines from 2m to 1,780m respectively to accommodate an existing second dwelling unit.

**RESOLVED :**

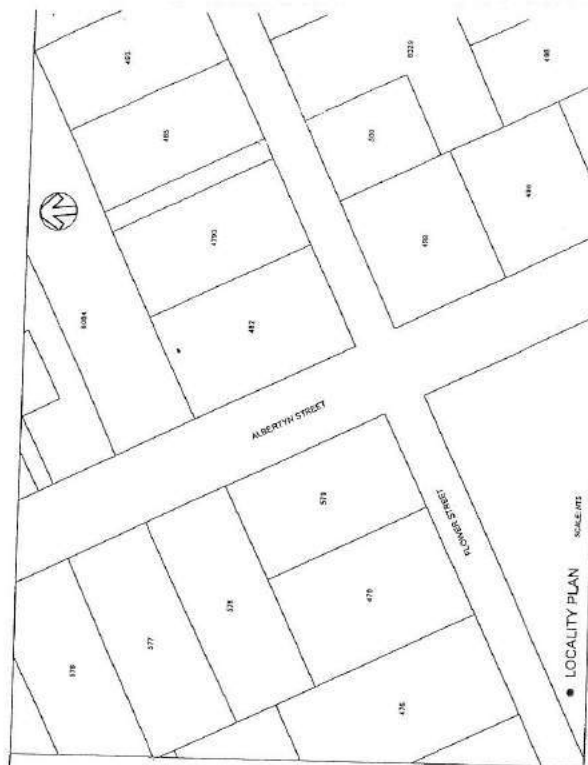
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), applicable to Erf 579, Hermanus (Westcliff), to relax both the northern- and western lateral building lines from 2m to 1,780m respectively to accommodate the existing second dwelling unit, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is for the development with the dimensions indicated on Plan Number erf579\_MOACHEIA\_A1/01-2017-DA dated November 2017 that was submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all the conditions in the Engineering Report, be complied with;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (e) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



Erf 579 Westcliff



Date: 2018-03-29



LOCALITY PLAN SCALE: 1:1000



SITE/ROOF LAYOUT PLAN SCALE: 1:500

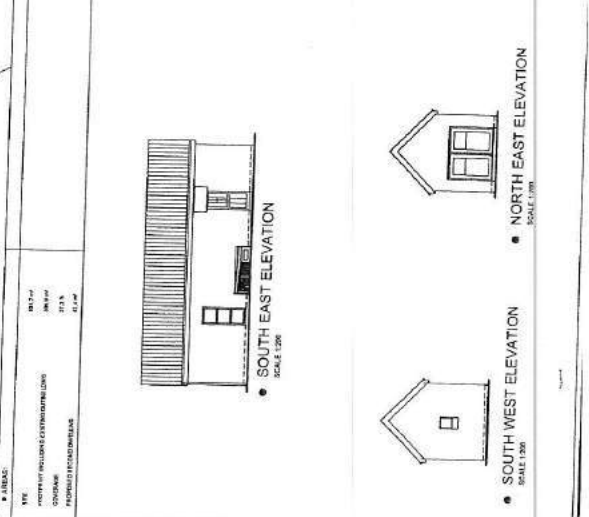
**Architectural Office**  
 1000 GARDEN STREET, 4th FLOOR  
 GARDENBURGH, 7941  
 TEL: 021 462 1111  
 FAX: 021 462 1112  
 WWW.AO.CO.ZA

PROPOSED CONVERSION OF EXISTING OUTBUILDING TO SECOND DWELLING FOR MR MAO CHELON ERF 578, HIRSHWALD

**MR F MAO CHEA**

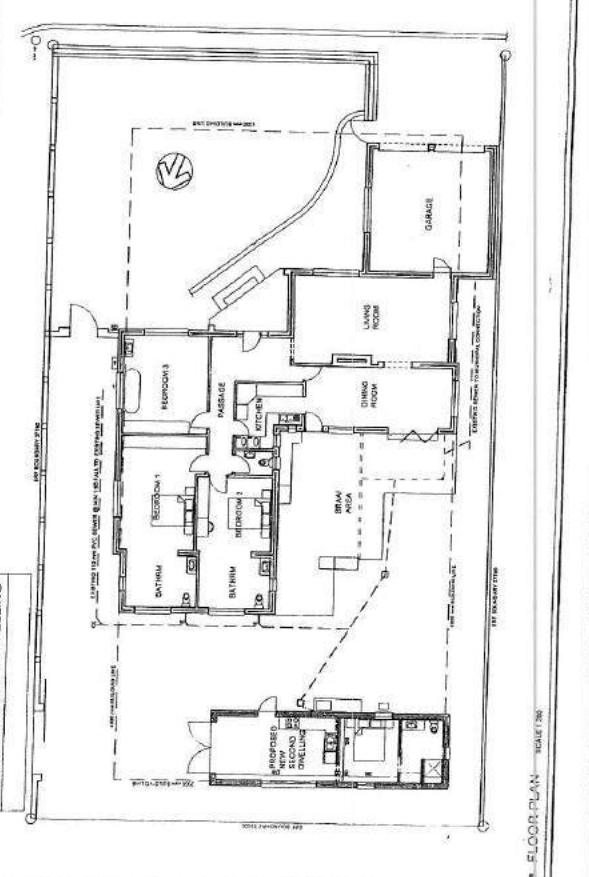
DEPARTURE APPLICATION  
 SITE & ROOF LAYOUT PLAN  
 LOCALITY PLAN

DATE: 10/05/2011  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1:500



SOUTH EAST ELEVATION SCALE: 1:500

NORTH EAST ELEVATION SCALE: 1:500



FLOOR PLAN SCALE: 1:500

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 579, HERMANUS (3874)**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 579, Hermanus, unobstructed;
5. that no on-street parking be allowed.

  
\_\_\_\_\_  
**DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES**

  
\_\_\_\_\_  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

---

**11. ERF 1880, 21 ROSS STREET, FRANSKRAAL, OVERSTRAND MUNICIPAL AREA: RELAXATION OF RESTRICTIVE TITLE CONDITIONS: CF HOFFMANN**

**1880 GFK (3994)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**15 August 2018**

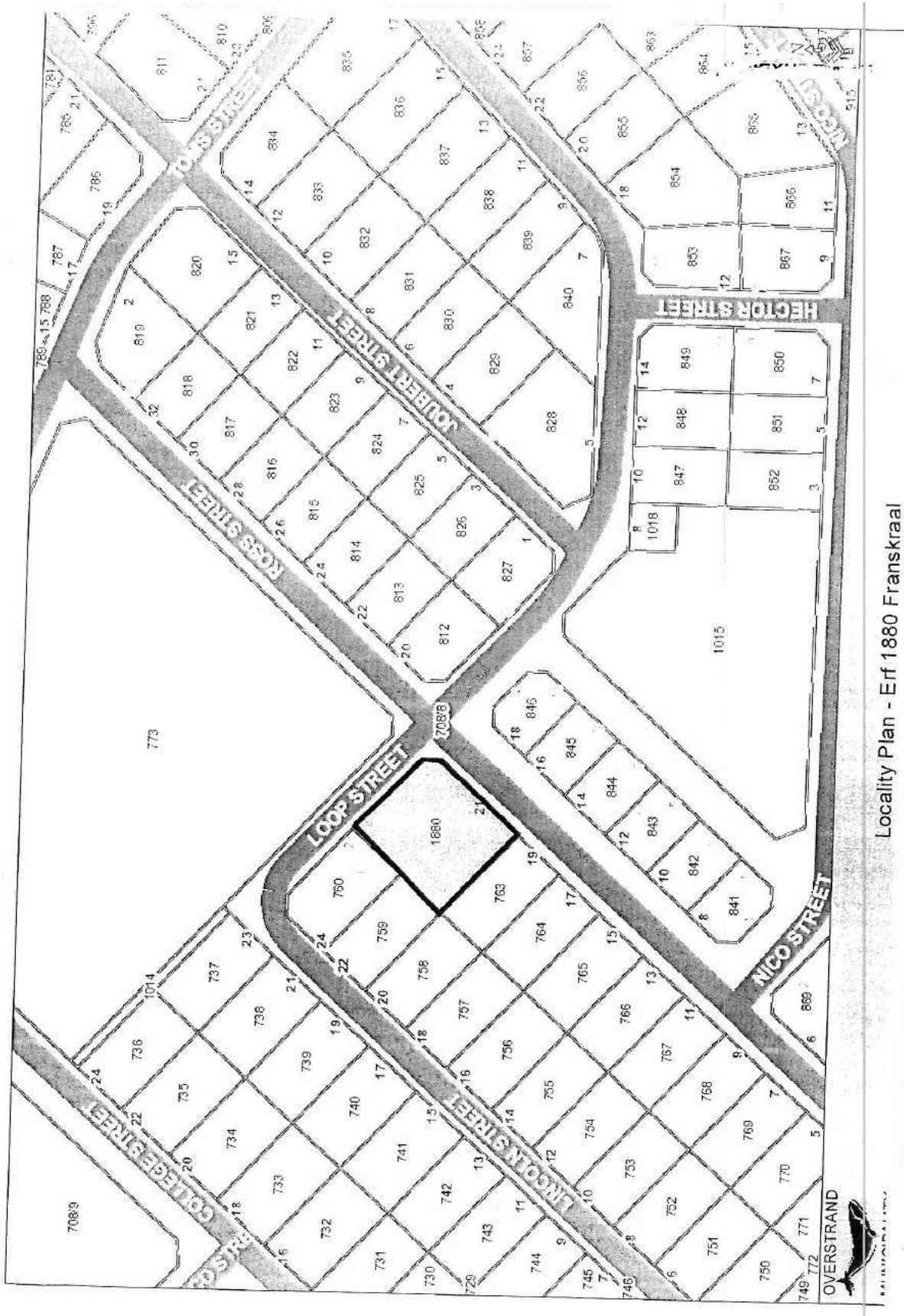
---

**Executive Summary**

An application has been received on 11 May 2018 from the owner of Erf 1880, Franskraal, CF Hofmann, for the relaxation of a restrictive title deed condition in order to relax the 4,72m street building line in terms of the Title Deed to 4m in order to construct a double garage.

**RESOLVED :**

1. that the application for the relaxation of the title deed restriction in terms of Title Deed T64328/2013, paragraph C(5), applicable to Erf 1880, Franskraal in order to relax the 4,72m street building line to 4m, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval only be applicable for the relaxation indicated on the Site Plan as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (d) that the existing unauthorised outbuilding on the rear property boundary be demolished within three (3) months of the date of this decision, and
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
  
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan - Erf 1880 Franskraal

COPYRIGHT NOTE	
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SCHEDULE OF RIGHTS	
Erf Number:	1880
Stand Area:	1471,00m <sup>2</sup>
Ex. Ground Floor Area:	172,60m <sup>2</sup>
Add. Ground Floor Area:	79,30m <sup>2</sup>
<b>TOTAL NEW AREA:</b>	<b>251,90m<sup>2</sup></b>
Coverage:	17,10%

**COPYRIGHT NOTE**

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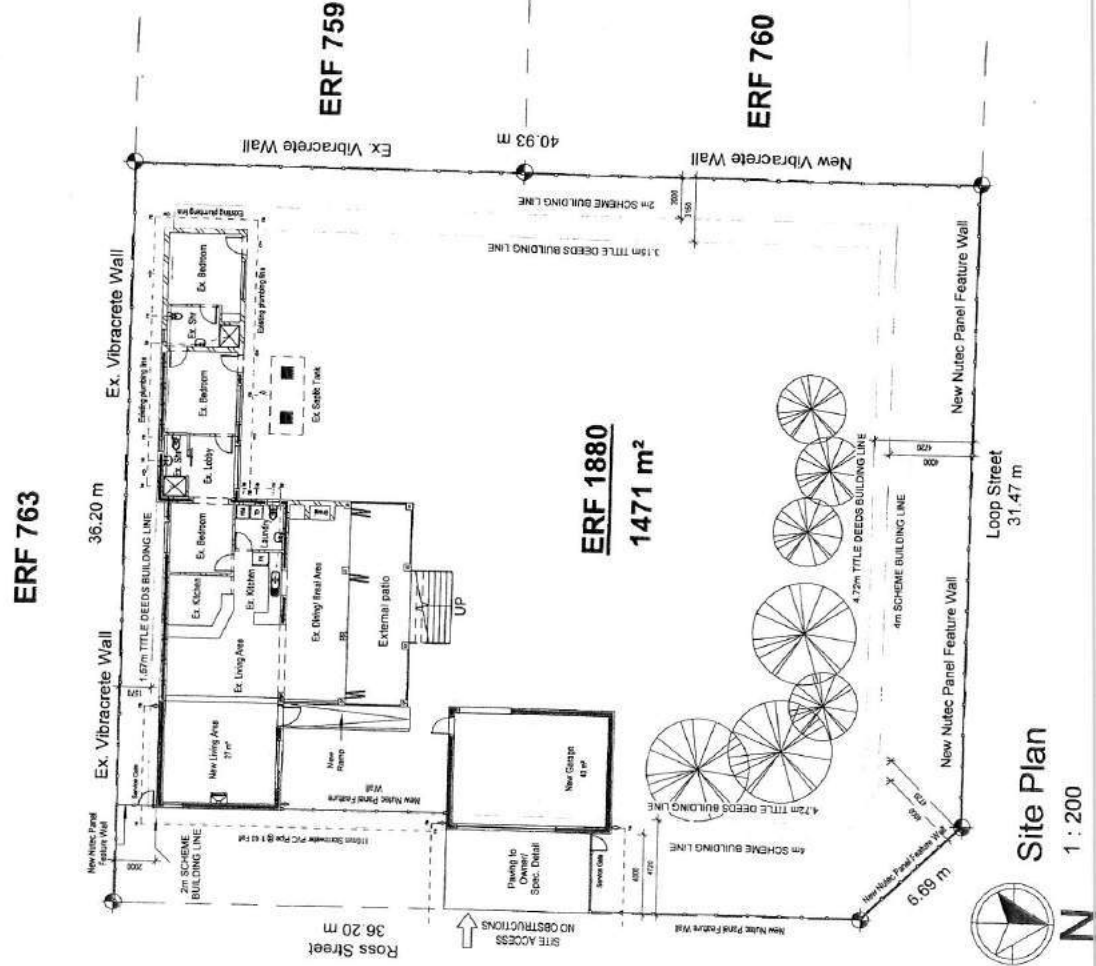
**GENERAL:**

1. All work to be done in accordance with the applicable building regulations.
2. All work to be done in accordance with the applicable building regulations.
3. All work to be done in accordance with the applicable building regulations.
4. All work to be done in accordance with the applicable building regulations.
5. All work to be done in accordance with the applicable building regulations.
6. All work to be done in accordance with the applicable building regulations.
7. All work to be done in accordance with the applicable building regulations.
8. All work to be done in accordance with the applicable building regulations.
9. All work to be done in accordance with the applicable building regulations.

**LEGEND:**

- New Brickwork
- New Timberwork
- New Steel
- New Foundation/Concrete
- New Sewer Line
- New Stormwater Line

No.	Date	Description	By
Revision Schedule			
PROJECT: Erf 1880 - Franskraai (Mnr C Hofmann)			
DESCRIPTION: Site Plan			
SCALE:	DRAWING #:		
As indicated	CH/00 10		
DRAWING DATE:	REVISION #:		
14/12/2017			
DRAWN:	CHECKED:		
AK	JG		
PLOT DATE:		2018/05/08 11.0 AM	
CHECKED:		JG	
Geritcko Architects 101 Main Street, Suite 220 Cape Town, South Africa Tel: +27 (0) 21 462 453 Fax: +27 (0) 21 462 454			











**COPYRIGHT NOTE**  
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**GENERAL:**  
 ALL WORKS TO COMPLY WITH NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE BY-LAWS.  
 1. All works must be done in accordance with the drawings and specifications.  
 2. All works must be done in accordance with the drawings and specifications.  
 3. All works must be done in accordance with the drawings and specifications.  
 4. All works must be done in accordance with the drawings and specifications.  
 5. All works must be done in accordance with the drawings and specifications.  
 6. All works must be done in accordance with the drawings and specifications.  
 7. All works must be done in accordance with the drawings and specifications.  
 8. All works must be done in accordance with the drawings and specifications.  
 9. All works must be done in accordance with the drawings and specifications.

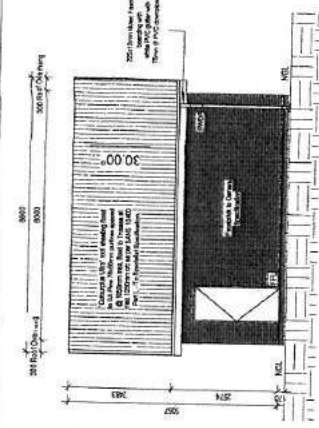
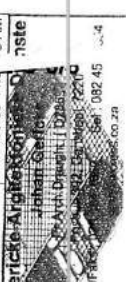
**LEGEND:**  
 [Symbol] New Brickwork  
 [Symbol] New Timberwork  
 [Symbol] New Steel  
 [Symbol] New Foundations/Concrete  
 [Symbol] New Sewer Line  
 [Symbol] New Stormwater Line

No.	Date	Description	By

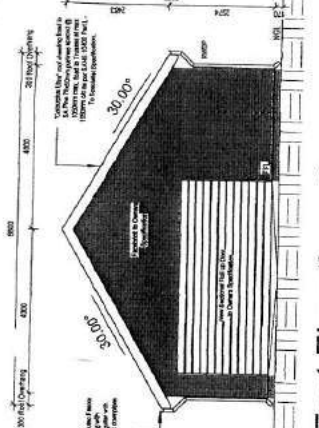
**PROJECT:**  
 Erf 1680 - Franskraal (Mnr C Hofmann)

**DESCRIPTION:**  
 Elevations - Garage

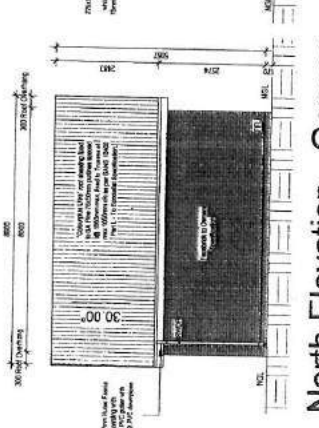
**SCALE:**  
 As indicated  
**DRAWING #:**  
 CH/00/095  
**DRAWING DATE:**  
 14/12/2017  
**REVISION #:**  
 AK  
**CHECKED:**  
 JG  
**PILOT DATE:**  
 2018/05/08 11:14 AM



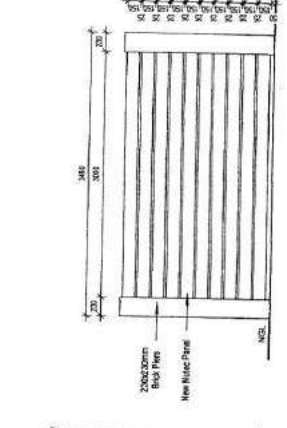
**South Elevation - Garage**  
 1 : 100



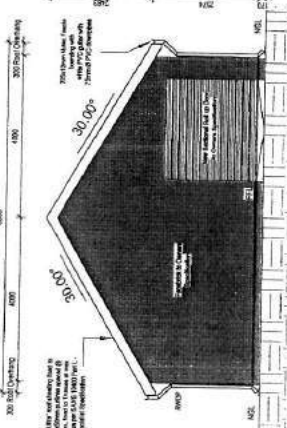
**East Elevation - Garage**  
 1 : 100



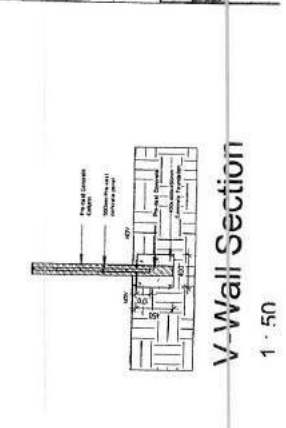
**North Elevation - Garage**  
 1 : 100



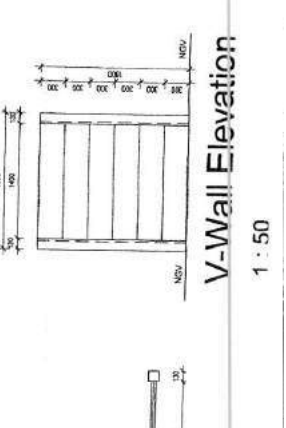
**Nutec Feature Wall - Elevation**  
 1 : 50



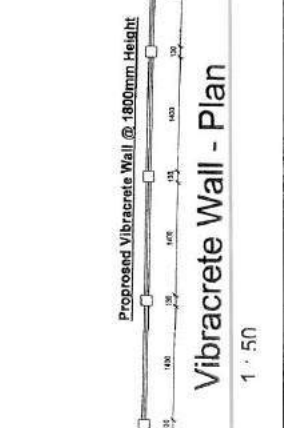
**West Elevation - Garage**  
 1 : 100



**V-Wall Section**  
 1 : 50



**V-Wall Elevation**  
 1 : 50



**Vibracrete Wall - Plan**  
 1 : 50

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**12. ERF 610, 151 DE VILLIERS STREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND SUBDIVISION: MESSRS PLAN ACTIVE ON BEHALF OF T SAUERMANN**

**610 HSB (3807)**

**S van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**17 August 2018**

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**Executive Summary**

An application applicable to Erf 610, Sandbaai has been received on 10 October 2017 from Messrs Plan Active on behalf of T Sauermaun for the following:

**Removal of restrictive title deed conditions**

Application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive title deed conditions B.2.(a), (c) and (d) as contained in Title Deed T37420/2017 applicable to the above erf in order to subdivide the property into two (2) portions and to be in line with the relevant development rules and primary rights as contained in the Overstrand Municipality Zoning Scheme; and

**Subdivision**

Subdivision in terms of Section 16(2)(d) of the above By-Law in order to subdivide the above property into two (2) portions, namely Portion A ( $\pm 667\text{m}^2$  in extent) and a Remainder ( $\pm 571\text{m}^2$  in extent).

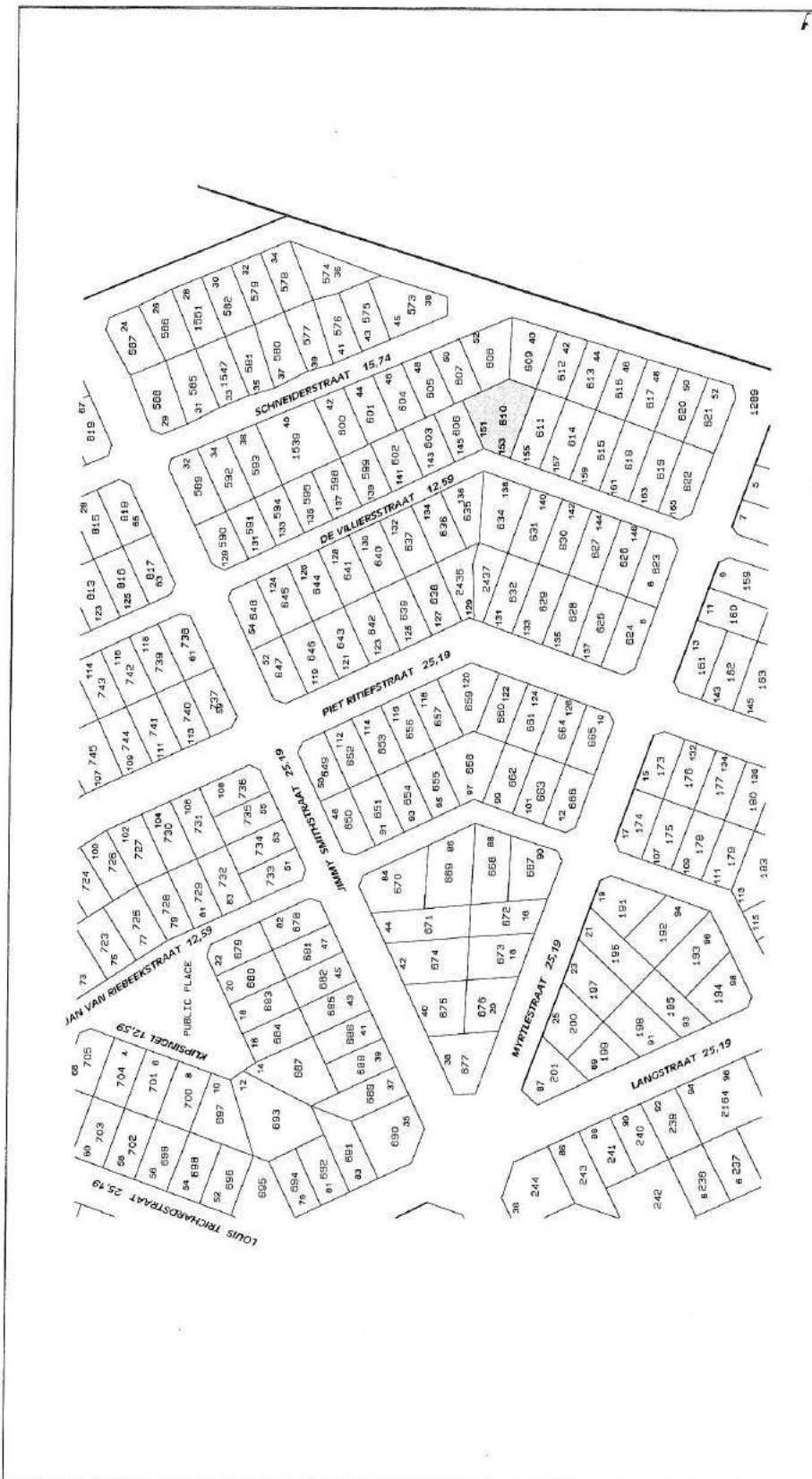
**RESOLVED :**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed conditions B.2(a), (c), and (d) as contained in Title Deed T37420/2017 applicable to Erf 610, Sandbaai in order to subdivide the property into two (2) portions, as well as to be in line with the primary rights and development parameters applicable to single residential properties as set out in the Overstrand Zoning Scheme, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section (16)(2)(d) of the By-Law for the subdivision of Erf 610, Sandbaai into two (2) portions, namely Portion A ( $\pm 667\text{m}^2$  in extent) and a Remainder ( $\pm 571\text{m}^2$  in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;

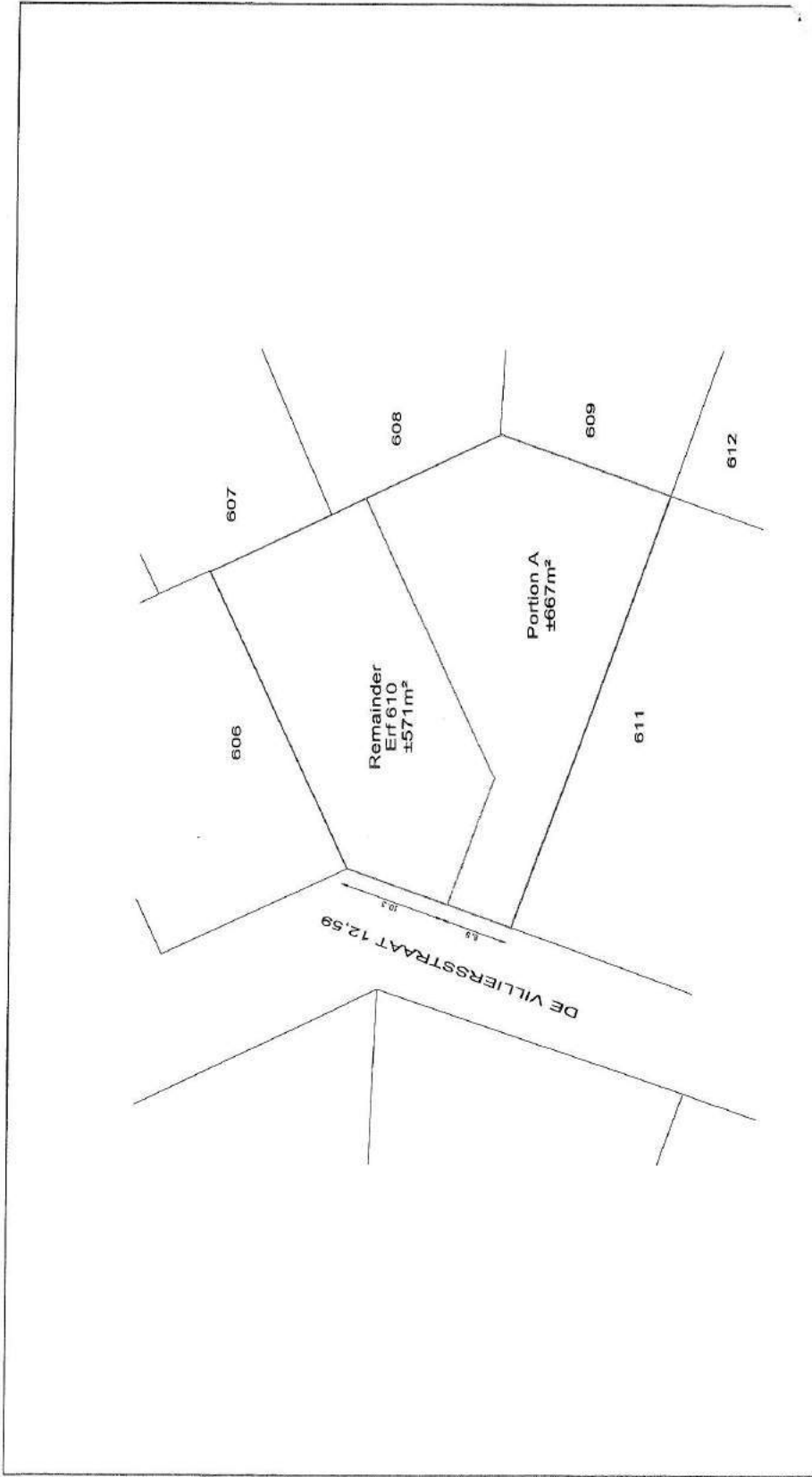
**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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3. that the approvals above be subject to the following conditions:
  - (a) that this approval is for the subdivision as indicated on Plan No sand610s.drw dated August 2017 that was submitted with the application;
  - (b) that all the conditions in the Engineering Report, be complied with;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (d) that the development parameters as prescribed in the relevant Zoning Scheme be applicable to the two (2) land units.
  
4. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



	Stads- en Streeksbeplanners Town & Regional Planners		All distances approximate and subject to survey.  COPY RIGHT RESERVED	Property Description:  <b>ERF 610                  SANDBAAI</b>	Plan Description:  <b>LOCALITY MAP</b>	Scale: <b>NTS</b>
	Drawing Nr: SAND610L.drw					Date: 09/2017



	Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey.  COPY RIGHT RESERVED	Property Description: <b>ERF 610 SANDBAAI</b>	Plan Description: <b>PROPOSED SUBDIVISION</b>	Scale: <b>1:500</b>	
				Drawing Nr: sandb10s.dwg	Date: 08/2017	

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR ROR & SUBDIVISION: ERF 610, SANDBAAI (3807)

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of actual payment. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full prior to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

- 1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable prior to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2017/2018) is as follows:

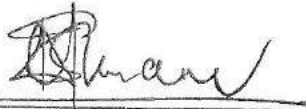
**Freehold erven:**

Water	R 21 500.00 x 1	=	R 21 500.00
Sewerage	R 14 496.00 x 1	=	R 14 496.00
Roads	R 6 500.00 x 1	=	R 6 500.00
Stormwater	R 7 500.00 x 1	=	R 7 500.00
Solid Waste	R 1 300.00 x 1	=	R 1 300.00
Electricity	R 30 197.80 x 1	=	<u>R 31 859.98</u>
<b>TOTAL (Inclusive of VAT)</b>		<b>=</b>	<b>R 83 155.98</b>

Note:

- 1.3 The above figures are estimates
- 1.4 The above figures do not include connection fees
2. that Portion A – as well as Remainder of Erf 610 be provided with individual and separate metered water connections which must comply with the standards of the Department: Operational Services, as well as sewer conservancy tanks;

3. that a new suction point for the sewer conservancy tank, which must comply with the standards of the Department: Operations must be provided for Portion A as well as Remainder off Erf 610 at the street boundary with De Villiers Street;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that only a standard 60 Amp single phase electricity connection will be available per erf;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through the proposed erven, Sandbaai, unobstructed;
8. that no on-street parking be allowed.



**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

24 / 1 / 2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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- 13. PORTION 326 (A PORTION OF PORTION 7) OF THE FARM HERMANUS RIVER NO. 542 AND PORTION 7 OF THE FARM HERMANUS RIVER NO. 542, A DIVISION OF CALEDON: EXTENSION OF VALIDITY OF APPROVAL: MESSRS PLANACTIVE ON BEHALF OF HERMANUS VALLEY TRUST**

**326 & 7/542 (4033)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**18 August 2018**

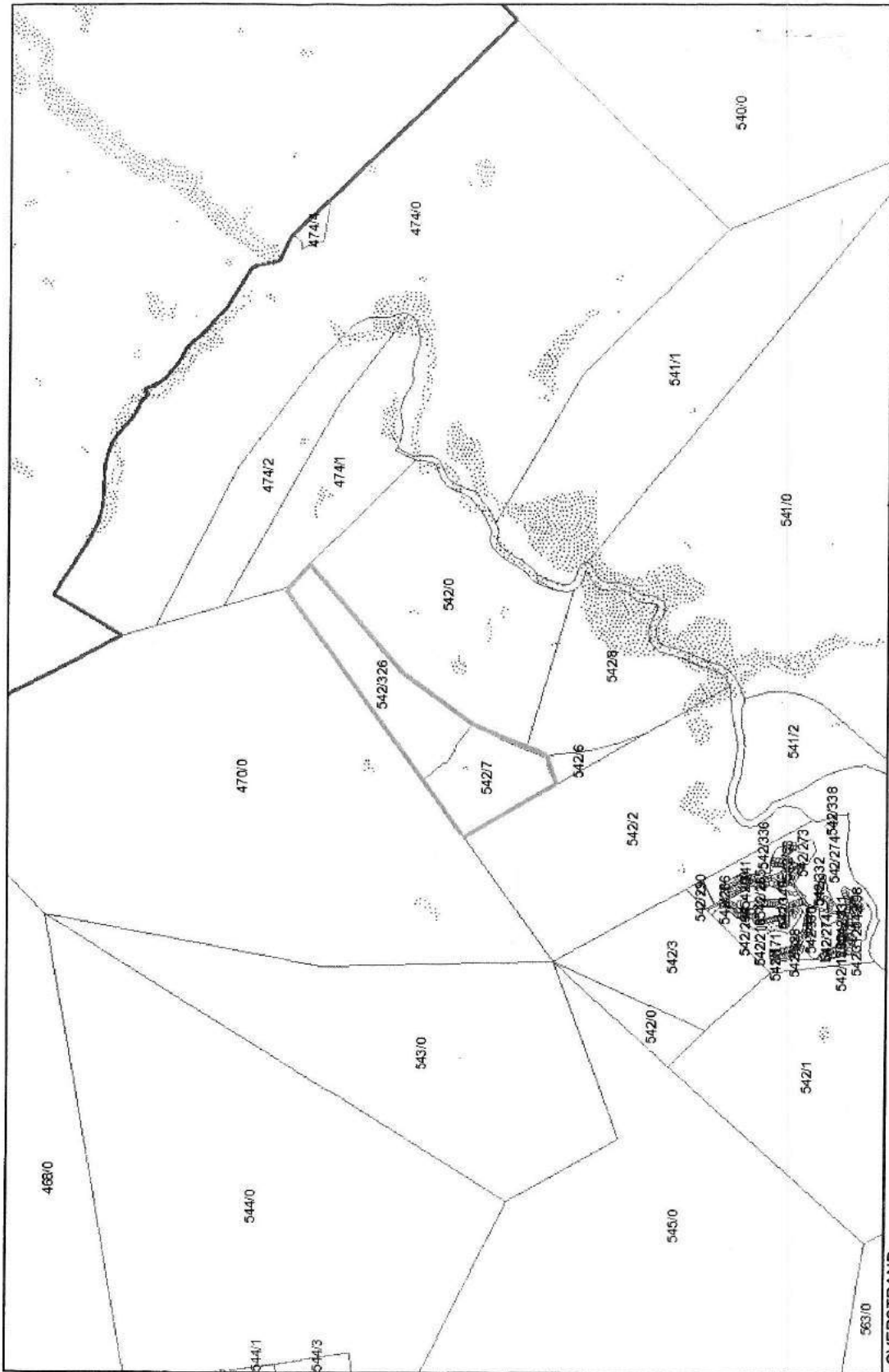
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**Executive Summary**

An application has been received on 21 May 2018 from Messrs PlanActive on behalf of the Hermanus Valley Trust on Portions 326 and 7 of the Farm Hermanus River No. 542 in terms of Section 16(2)(i) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for extension of validity of approval.

**RESOLVED :**

1. that the application in terms of Section 16(2)(i) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Portion 326 (a portion of Portion 7) of the Farm Hermanus River No. 542, Division of Caledon, for extension of validity of approval, **be approved** in terms of the provisions of Sections 61 of the By-Law for a further period of five (5) years, subject thereto that the conditions of approval dated 25 September 2013 remains applicable, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval



LOCALITY PLAN: PORTIONS 7 AND 326 OF THE FARM HERMANUS RIVER NO. 542

Date: 2018-08-30



7.  
 PORTION 326 (A PORTION OF PORTION 7) OF THE FARM HERMANUS RIVER  
 NO. 542, A DIVISION OF CALEDON : PROPOSED SUBDIVISION AND  
 CONSOLIDATION: SITE PLAN CONSULTING ON BEHALF OF THE REGISTERED  
 OWNER, DELITIER CC

RCAL 542/326 (2266)

Ms A Cairns

(028) 271 8409

Hangklip-Kleinmond Administration

30 July 2013

#### EXECUTIVE SUMMARY

To submit the following applications received on 11 April 2013 from Site Plan Consulting, on behalf of the registered owners, Delitier CC, for Council's consideration:

1. Subdivision of Portion 326 (a portion of Portion 7) of Farm Hermanus River No. 542, into two portions (Portion A  $\pm 15,5800$ ha and the Remainder  $\pm 56,9429$ ha) in terms of Section 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985), and
2. Consolidation of the proposed subdivided Portion A with the adjacent Portion 7 in order to adjust the existing boundary.

#### RESOLVED :

1. that the subdivision of Portion 326 (a portion of Portion 7) of Farm Hermanus River No. 542, into two (2) portions (Portion A  $\pm 15,5800$ ha and the Remainder  $\pm 56,9429$ ha) **be approved** in terms of Section 25 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985).
2. that the consolidation of the proposed subdivided Portion A with the adjacent Portion 7 in order to adjust the existing boundary **be approved**.
3. that the approval of 1 and 2 above, are subject to the following conditions:
  - (a) that all conditions imposed by BOCMA be adhered to;
  - (b) that all conditions imposed by Eskom be adhered to;
  - (c) that all conditions imposed by the Department of Environmental Affairs & Development Planning, be adhered to;
  - (d) that all conditions imposed by the District Roads Engineer be adhered to; and

MINUTES OF THE MAYORAL COMMITTEE MEETING 25 SEPTEMBER 2013

- (e) that all conditions imposed by the Department of Agriculture, Forestry and Fisheries, adhered to.

RESPONSIBLE OFFICIAL :	A CAIRNS
TARGET DATE FOR IMPLEMENTATION :	11 OCTOBER 2013
TARGET DATE TO INFORM APPLICANT :	18 OCTOBER 2013

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**14. ERF 340, OYSTER CARCHER ROAD, ROMANSBAAI BEACH AND FYNBOS ESTATE, BIRKENHEAD, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: MESSRS DVDB ARCHITECTS ON BEHALF OF GE BEHN**

**340 GBH (3938)**

**SW vd Merwe**

**(028) 313 8900**

**Hermanus Administration**

**6 September 2018**

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**Executive Summary**

To consider an application received on 8 March 2018 from Messrs DVDB Architects on behalf of the owner of Erf 340, Birkenhead, GE Behn, for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to establish a five (5) bedroom guest house on the property.

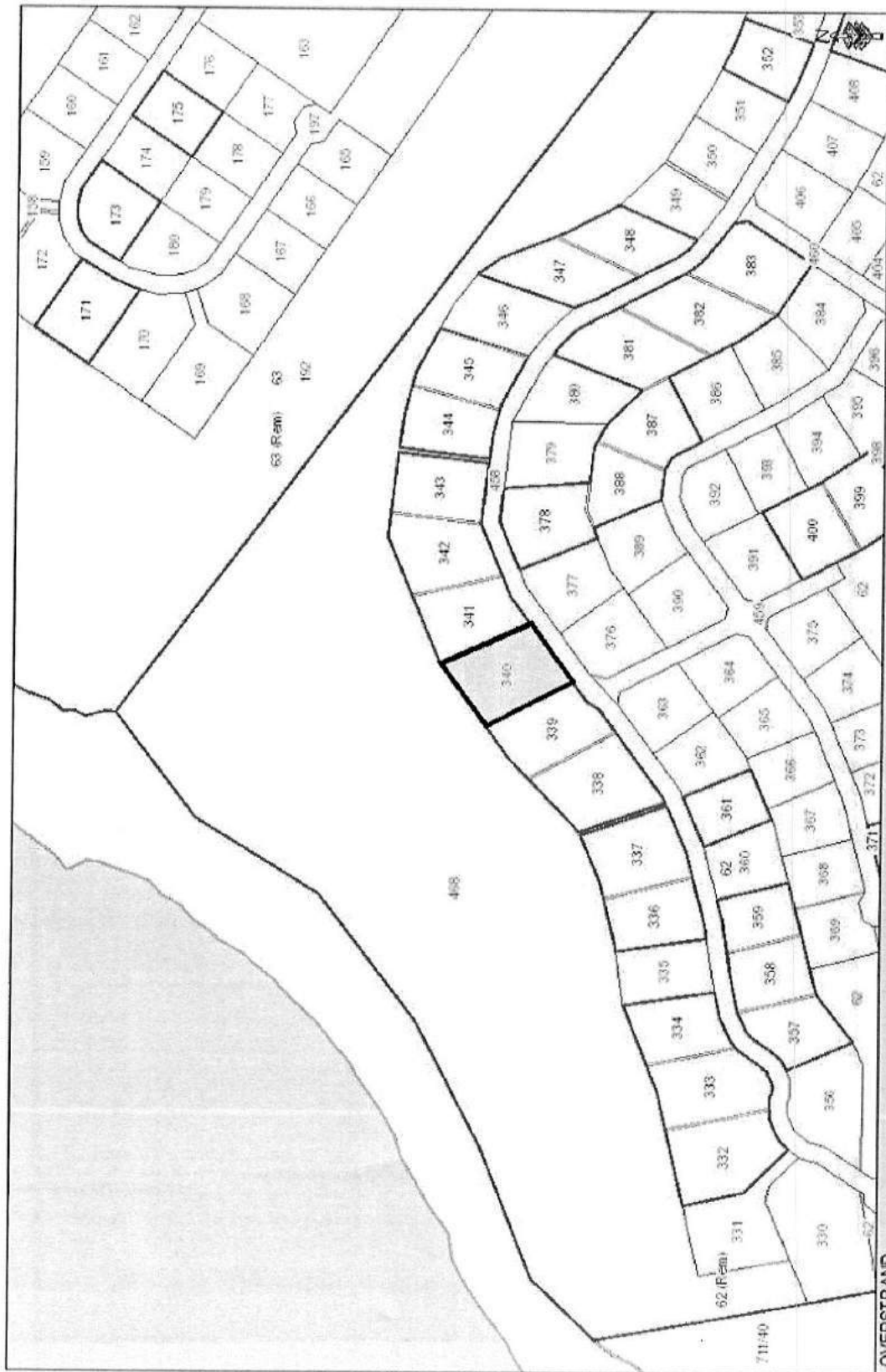
**RESOLVED :**

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 340, Romansbaai Beach and Fynbos Estate, Birkenhead for consent use to conduct a five (5) bedroom guest house, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the facility be utilized as a guest house only;
  - (b) that the guest house only be utilized in line with the site development plan submitted with this application;
  - (c) that a maximum of five (5) bedrooms to be let
  - (d) that the owner/manager resides on the premises, and be responsible for the proper management of the guest house;
  - (e) that the guest house is utilized as such – no self-catering will be permitted;
  - (f) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
  - (g) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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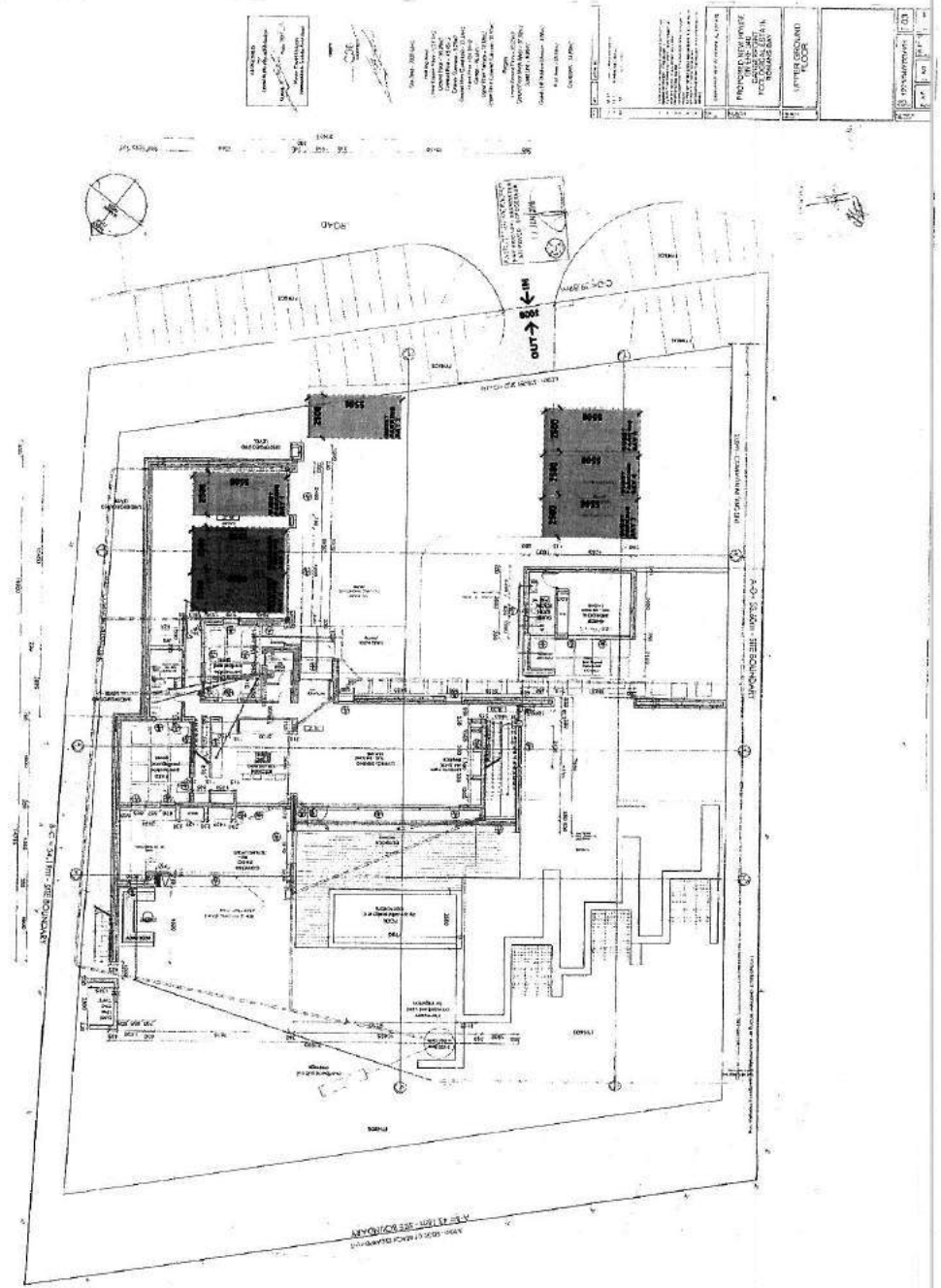
- (h) that a maximum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries, in accordance with the parking layout;
  - (i) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
  - (j) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
  - (k) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises, and that the existing flag pole be removed;
  - (l) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
  - (m) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
  - (n) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
  - (o) that should any building alterations be required, building plans should be submitted to the Building Department for approval;
  - (p) that all the conditions in the Services Report, be complied with;
  - (q) that all conditions imposed by the Fire Department, be complied with and proof of compliance is submitted prior to the operation of the five (5) bedroom guest house, and
  - (r) that no kitchen facilities and/or prep bowls be allowed in the guestrooms, and
  - (s) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

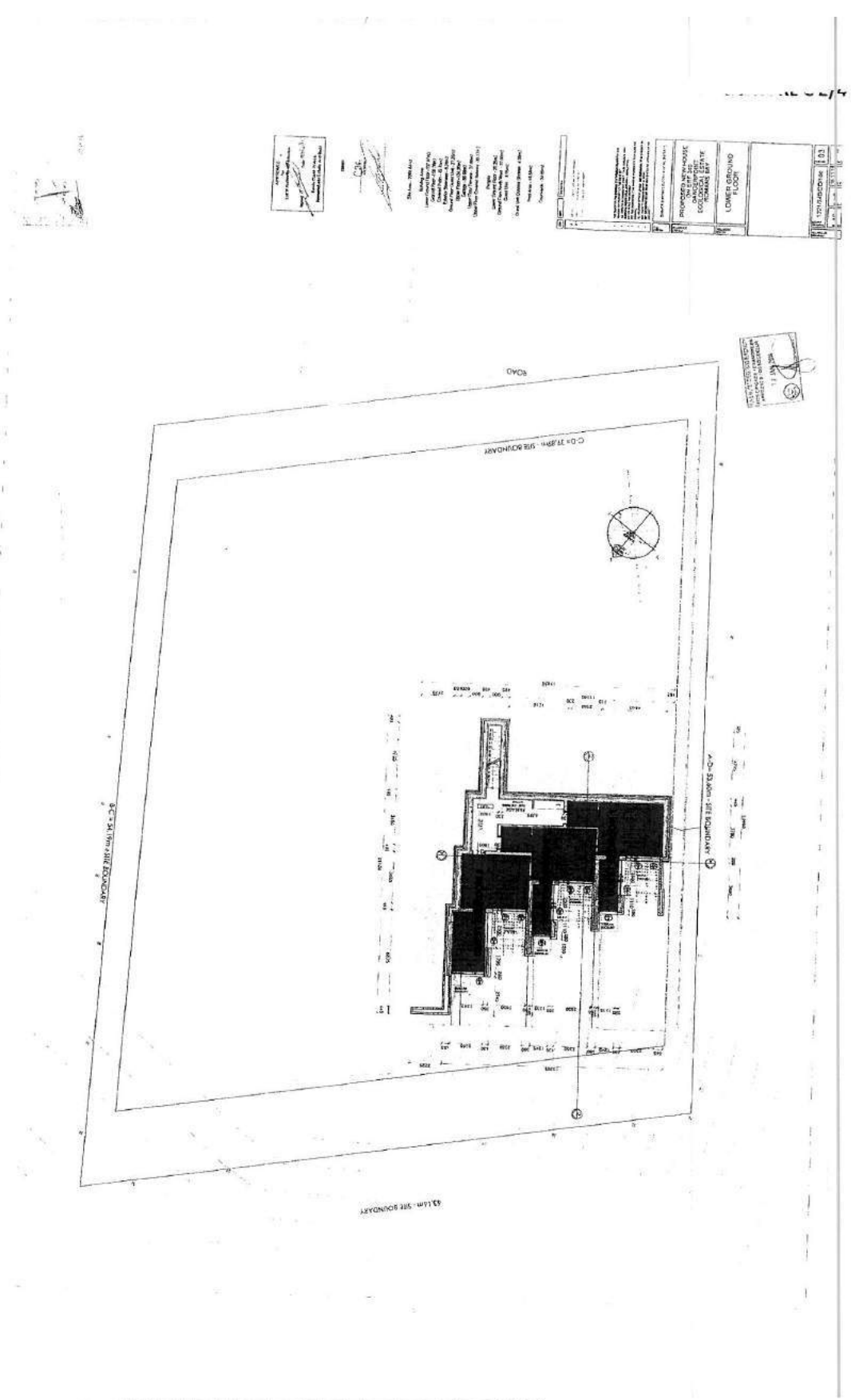


Erf 340 Romansbaai



Date: 2018-03-16

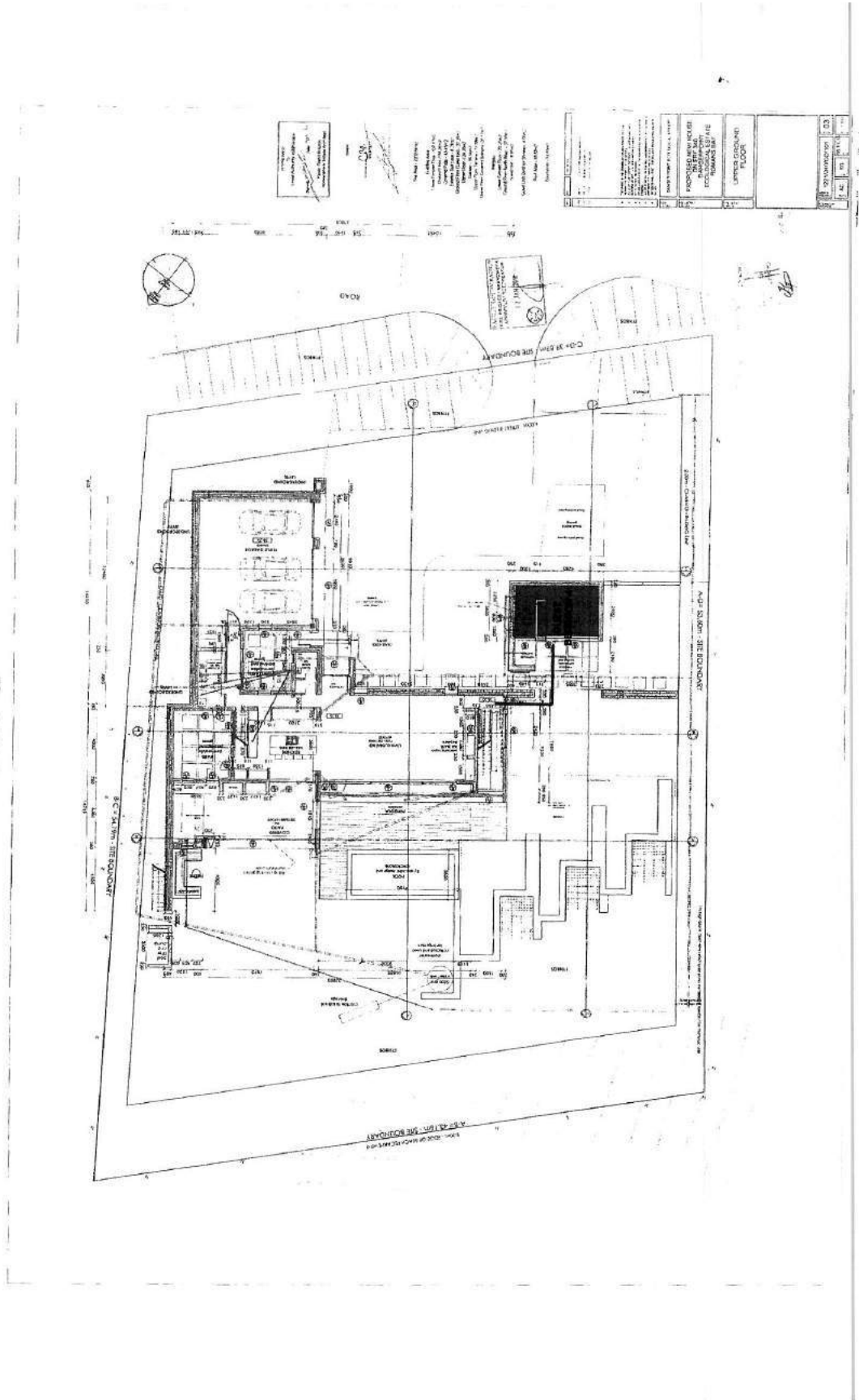




NOTES:  
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 2. ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWING.  
 3. ALL MATERIALS ARE TO BE AS SHOWN ON THE DRAWING.  
 4. ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT REGULATIONS.

PROJECT INFORMATION:  
 PROJECT NAME: PROPOSED NEW HOME ECONOMIC HOUSING COMMUNITY  
 SITE LOCATION: LOT 11  
 DRAWING TITLE: LOWER GROUND FLOOR  
 DATE: 11/11/11  
 SCALE: 1/8" = 1'-0"

PROJECT INFORMATION	DATE	SCALE
PROPOSED NEW HOME ECONOMIC HOUSING COMMUNITY	11/11/11	1/8" = 1'-0"
LOT 11		
LOWER GROUND FLOOR		
1/11/2011		





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 340, BIRKENHEAD (3938)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that the developer is responsible for the phased supply and installation of water infrastructure, as well as the internal distribution and provision of any water supply and / or –services to the relevant properties within the development;
2. that the developer is responsible for the supply and installation of all internal sewer infrastructure, including gravity sewers and pumps stations, to the relevant properties within the development as well as the removal of all sewerage from the development and delivery thereof to the municipal Waste Water Treatment Works;
3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that the developer is responsible for collection of all refuse generated on the relevant properties within the development, and disposal thereof at a central transfer station on the property;
6. that any additional and / or extended vehicle entrances will be for the developer's account;
7. that stormwater be allowed to discharge through Erf 340, Birkenhead, unobstructed;
8. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**15. ERF 221, 105 SEA VIEW DRIVE, FRANSKRAAL, OVERSTRAND MUNICIPAL AREA: DEPARTURE: L VAN DER WESTHUIZEN ON BEHALF OF THE VAN ZYL FAMILY TRUST**

**221 GFK (3980)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**6 September 2018**

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**Executive Summary**

To consider an application received on 24 April 2018 from L van der Westhuizen on behalf of the registered owner of Erf 221, Franskraal, the Van Zyl Family Trust, for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the eastern lateral building line from 2m to 1,57m to accommodate a proposed bedroom and en-suite.

**RESOLVED :**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 221, Franskraal for departure in order to relax the eastern 2m lateral building up to 1,57m in order to accommodate a proposed bedroom and en-suite bathroom additions, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval only be applicable for the encroachment indicated on the Site Plan as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, indicating two on-site parking bays, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all the conditions in the Services Report and Fire Services, be complied with;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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- (f) that the applicant within thirty (30) days from the date of this decision submit an application for consideration of the use change of the outbuilding into habitable space.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

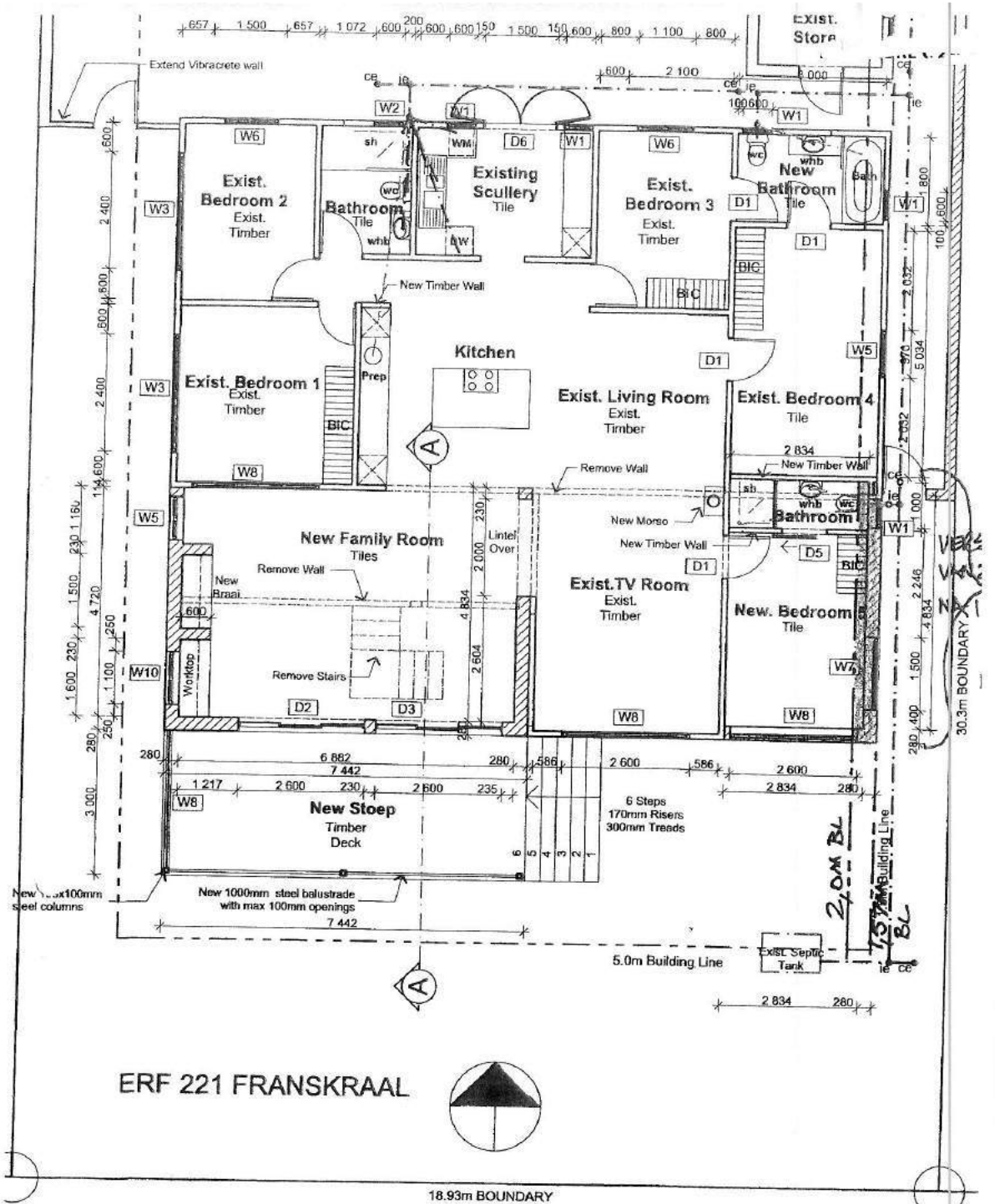


LOCALITY PLAN: ERF 221, FRANSKRAAL

Date: 2018-C-11

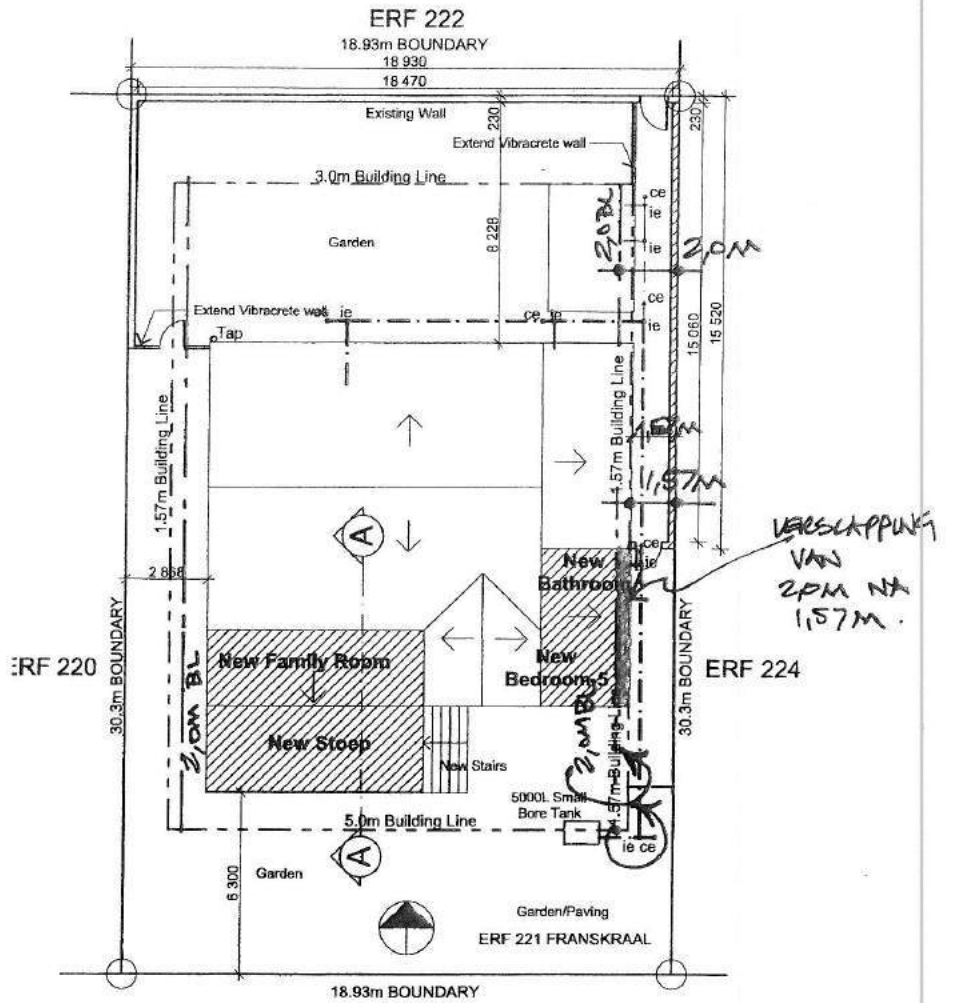






# GROUND FLOOR PLAN

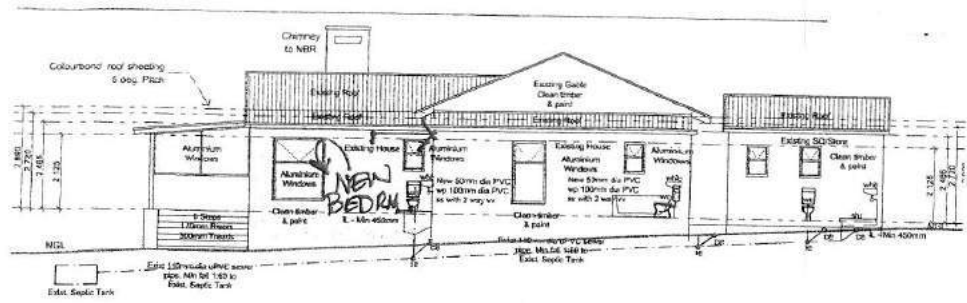
SCALE 1:100



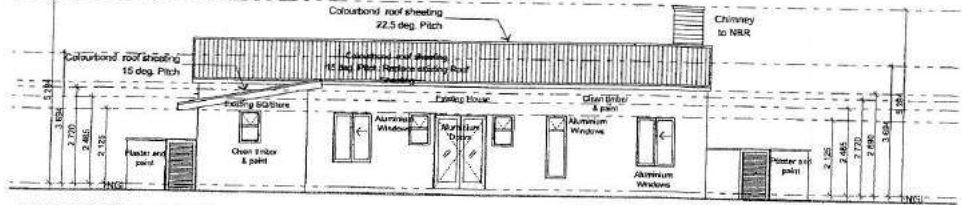
SEAVIEW DRIVE / KUSWEG

### SITE PLAN

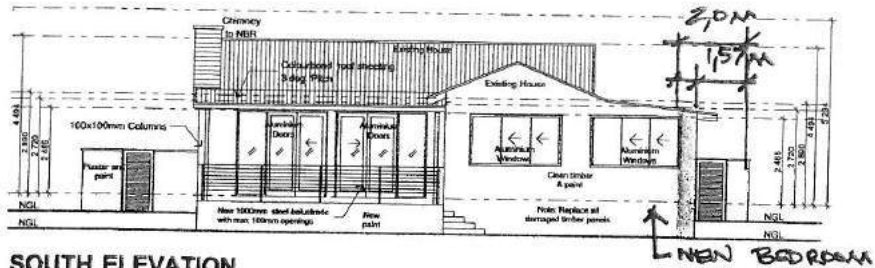
SCALE 1:200



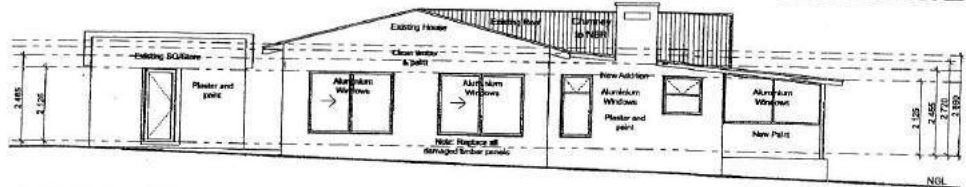
**EAST ELEVATION**  
SCALE 1:100



**NORTH ELEVATION**  
SCALE 1:100



**SOUTH ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100

	1.800	2.600	2.773	1.300
Window	W7	W6	W5	W10
Material	Aluminium Window	Aluminium Window	Aluminium Window	Aluminium Window
Finish	Powder Coated	Powder Coated	Powder Coated	Powder Coated
Glazing	8mm low E laminated safety glass Single Low-E	8mm low E laminated safety glass Single Low-E	8mm low E laminated safety glass Single Low-E	8mm low E laminated safety glass Single Low-E
Manufacturer	As supplied by manufacturer	As supplied by manufacturer	As supplied by manufacturer	As supplied by manufacturer

New Occasion on order refer to See To Eng. C



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 221, FRANSKRAAL (3980)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 221, Franskraal, unobstructed;
6. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**16. ERF 456, 6 KIEWIET CRESCENT, SANDBAAI : HERMANUS OVERSTRAND  
MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MJ KRIEL**

**456 HSB (3828)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**10 September 2018**

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**Executive Summary**

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 27 October 2017 (revised received on 24 August 2018) from MJ Kriel, applicable to Erf 456, Sandbaai for the relaxation of the northern lateral building line from 2m to 1,1m and 1,4m respectively to accommodate a section of a new braai room at ground floor level, sections of the existing dwelling at ground floor level, two (2) decorative fake walls, and a section of a covered veranda at the new first floor level.

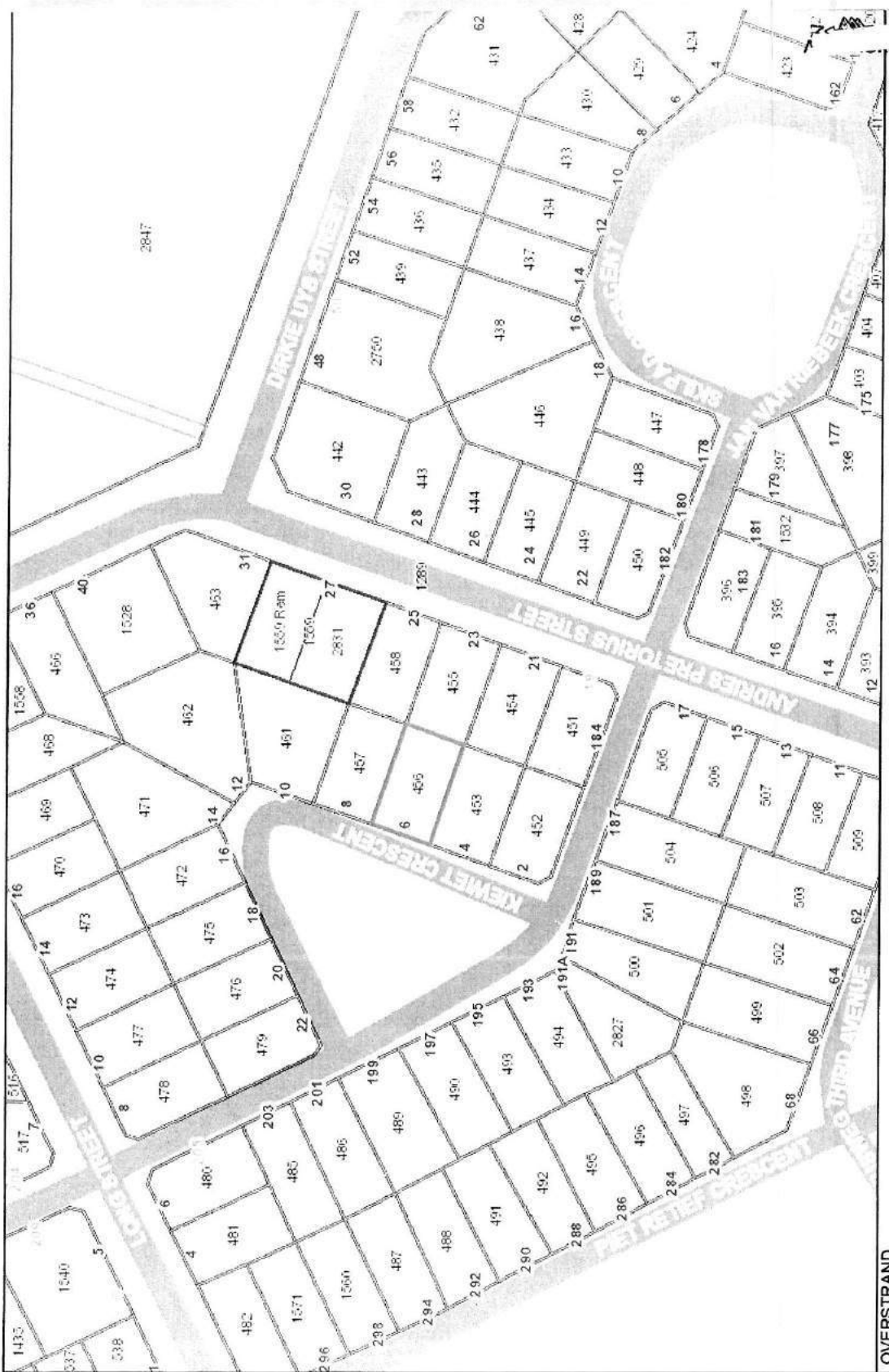
**RESOLVED :**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 456, Sandbaai for the relaxation of the northern lateral building line from 2m to 1,1m and 1,4m respectively to accommodate a section of a new braai room at ground floor level, sections of the existing dwelling at ground floor level, two (2) decorative fake walls, and a section of a covered veranda at the new first floor level, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the dimensions of the structures as indicated on Plan Numbers SB 456/2018 1 of 2 and 2 of 2, and SB 456/2018 1 of 1 dated 05/08/2018 that was submitted with the application;
  - (b) that the necessary building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that a balustrade be affixed on the 2m northern lateral building line at that section of the covered veranda that encroach the building line;
  - (d) that the relevant conditions of Engineering Services, be complied with;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

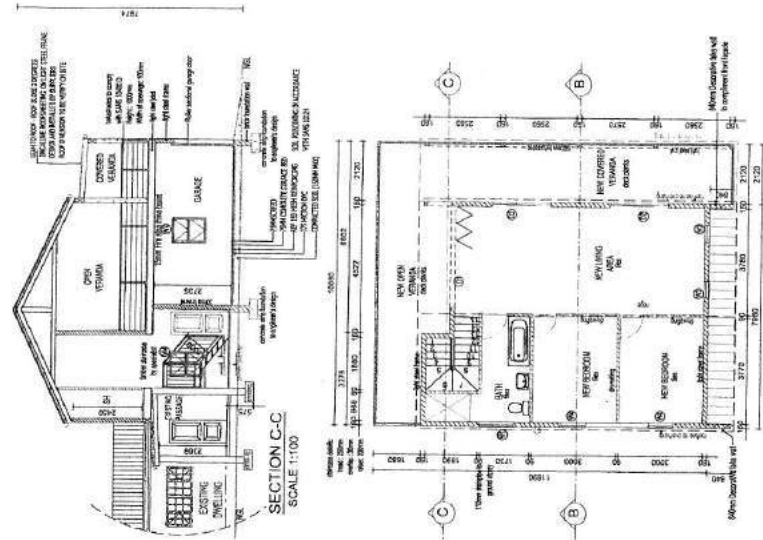
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- (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

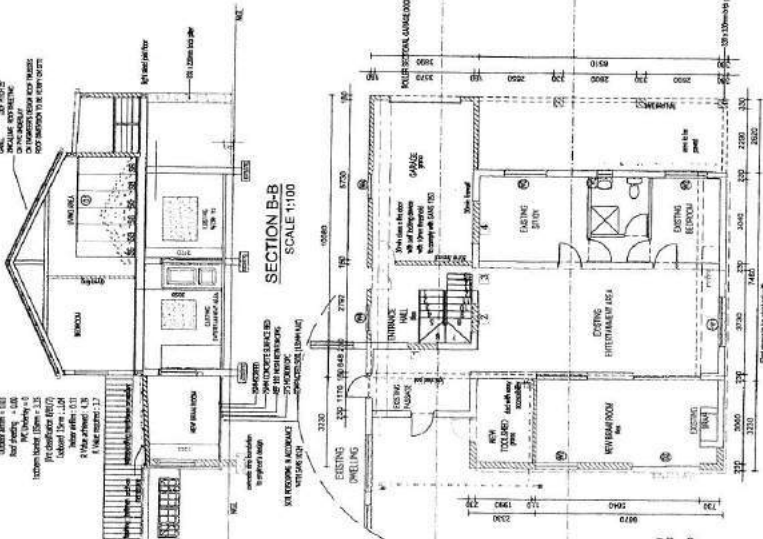


LOCALITY PLAN: ERF 456, SANDBAAI

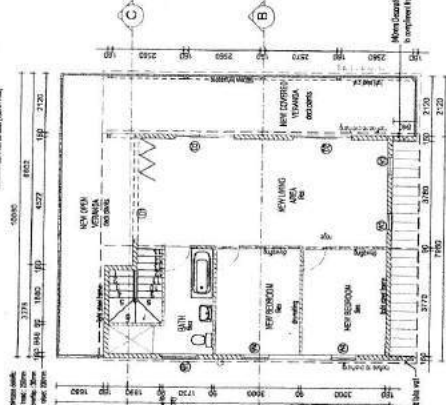
Date: 2018-09-11



SECTION C-C  
SCALE 1:100



SECTION B-B  
SCALE 1:100



GROUND STOREY  
SCALE 1:100

NOT TO SCALE

OCCUPATION CLASSIFICATION: H-4

PROJECT: NEW ALTERATIONS & ADDITIONS ON REF 456, KIEWIT CRESCENT, SANDBAAY

CLIENT: M.J. & K. KRIEL

DRAWING: GROUND STOREY LAY-OUT, FIRST STOREY LAY-OUT, SECTION B-B, C-C

DATE: 05/08/2018 PLAN NO: 50145

REVISIONS: SHIFT NO: 10

NO.	REVISIONS	SCALE	AS	IN
1			C	
2			H	
3			A	
4			M	
5			C	
6			A	
7			D	

VALUING & COSTS SUMMARY

ITEM	QUANTITY	UNIT PRICE	TOTAL
1. CONCRETE	100.00	150.00	15000.00
2. BRICKWORK	200.00	80.00	16000.00
3. ROOFING	50.00	200.00	10000.00
4. PLASTER	300.00	40.00	12000.00
5. PAINT	100.00	100.00	10000.00
6. GLASS	50.00	300.00	15000.00
7. TIMBER	100.00	100.00	10000.00
8. ELECTRICAL	50.00	200.00	10000.00
9. MECHANICAL	50.00	200.00	10000.00
10. SANITARY	50.00	200.00	10000.00
11. FINISHES	50.00	200.00	10000.00
12. OTHER	50.00	200.00	10000.00
<b>TOTAL</b>			<b>120000.00</b>

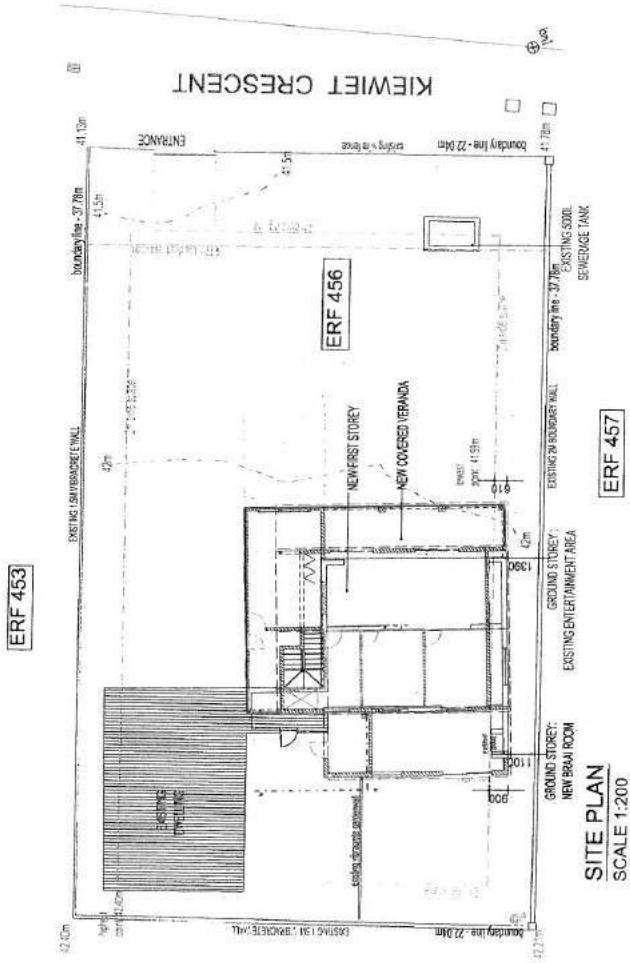
SE CALCULATIONS

- GENERAL NOTES
- READ THE DRAWING IN CONNECTION WITH THE ENGINEER'S AND SURVEYOR'S OTHER SPECIFICATIONS AND DETAILS WHICH NEVER MAY BE APPLICABLE AT LEAST 24 HOURS IN ADVANCE OF COMMENCING ANY SECTION OF WORK.
  - THE OWNER SHALL BE ADVISED WITHOUT DELAY OF ANY DIMENSIONS AND/OR DETAILS WHICH ARE IN ANY WAY DIFFERENT TO THE LOCAL AUTHORITY AND/OR STATUTORY BODY WITH RESPECT TO CONTRIBUTION TO THE LINE. SHALL BE STRICTLY ADHERED TO.
  - ONLY WRITTEN DIMENSIONS AND/OR LEVELS SHALL BE USED UNLESS OTHERWISE SPECIFIED AND APPROVED TO DIMENSIONS GIVEN.
  - ALL WORK MUST BE CARRIED OUT STRICTLY IN ACCORDANCE WITH THE LOCAL AUTHORITY AND/OR STATUTORY BODY WITH RESPECT TO CONTRIBUTION TO THE LINE.
  - CONCRETE SHALL BE SUPPLIED WITH SANS 10081-1 AND SANS 10081-2.
  - CONCRETE CHANNELS UNDER ALL SANITARY PIPES SHALL BE PROVIDED BY A QUALIFIED PLUMBER.
  - ALL BENDS & JUNCTIONS IN SOIL & WASTE PIPES SHALL BE MARKED AT GROUND LEVEL IN PAVED AREAS. ENTIRE LENGTH FOR CLEANING PURPOSES SHALL BE PROVIDED AT ALL SANITARY FITTINGS.
  - ALL DRAINS PASSING UNDER BUILDINGS TO BE ENCASED IN B.31 CONCRETE.
  - NO BENDS & JUNCTIONS TO OCCUR BEHIND LOGS.
  - DRAINS TO BE 110MM DIA PVC PIPES LEAD TO A MIN FALL OF 1:100 TO TERMINATE AT 100MM ABOVE NEAREST PART OF ROOF FINISH.
  - BATH, SHOWER & SINK: 150MM DIA ALL HOT WATER PIPES TO BE ENCASED WITH A MINIMUM 100MM DIA INSULATION.
  - WATERVALVES, PIPES, FITTINGS, COMPONENTS SHALL BE DELIVERED PRODUCE AND/OR SUPPLY WITH SANS 10052.

AMMUNITION BUYING

ITEM	QUANTITY	UNIT PRICE	TOTAL
1. AMMUNITION	100.00	100.00	10000.00
2. AMMUNITION	100.00	100.00	10000.00
3. AMMUNITION	100.00	100.00	10000.00
4. AMMUNITION	100.00	100.00	10000.00
5. AMMUNITION	100.00	100.00	10000.00
6. AMMUNITION	100.00	100.00	10000.00
7. AMMUNITION	100.00	100.00	10000.00
8. AMMUNITION	100.00	100.00	10000.00
9. AMMUNITION	100.00	100.00	10000.00
10. AMMUNITION	100.00	100.00	10000.00
<b>TOTAL</b>			<b>100000.00</b>





**SITE PLAN**  
SCALE 1:200

**SITE OPERATIONS**  
 NO INDIGENOUS PRESERVATION TO BE DISTURBED.  
 SANITARY FACILITIES TO BE AVAILABLE.  
 PROPERTY TO BE LEVELLED.  
 ALL EXCESS SOIL & DEBRIS TO BE REMOVED.  
 CONTRACTOR TO MAKE ADEQUATE PROVISION FOR HEALTH & SAFETY MEASURES FOR THE DURATION OF THE CONSTRUCTION.  
 STORMWATER DISPOSAL TO BE DETERMINED ON SITE. NO STORMWATER TO BE DUMPED IN NEIGHBORING PROPERTIES.  
 NOTE - ALL LEVELS SHOWN ON THIS DRAWING MAY VARY OF SITE CONDITIONS. CONTRACTOR TO VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING WITH THE WORK.

OCCUPATION CLASSIFICATION : H 4

PROJECT  
**NEW ALTERATIONS & ADDITIONS  
 ON ERF 456, KIEWIET CRESCENT,  
 SANDBAAI**

CLIENT

M.J. & K KRIEL

DRAWING :

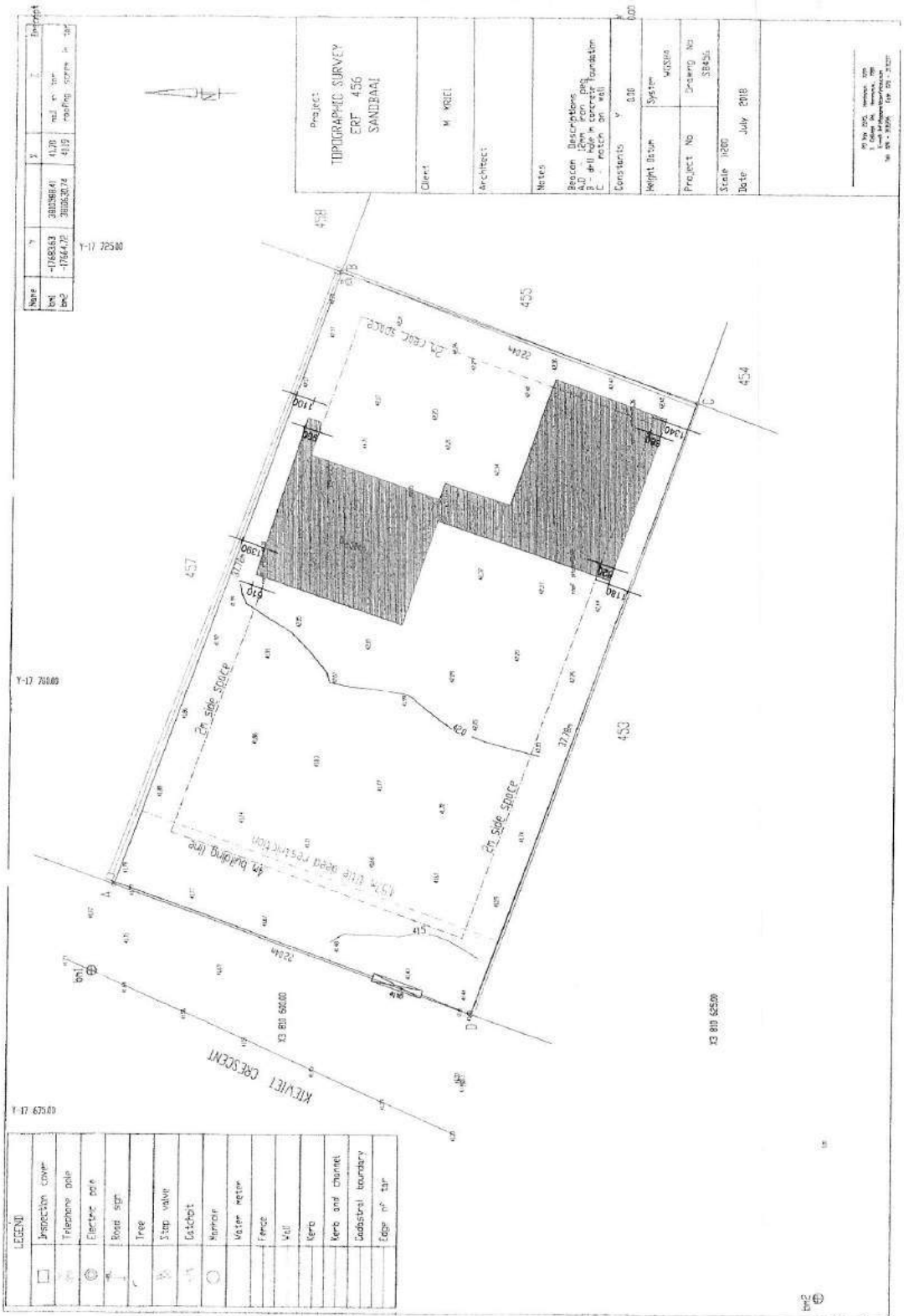
SITE PLAN

DATE 05/08/2018 PLAN NO. SB 456/2018

REVISED SHEET NO. 1 OF 1

REVISED SCALE AS SHOWN

Ronke en Jeffrey Chamber	
SACAP DIRECT	C
Project Draught	H
04 39 24 1177	A
concept@ronke.co.za	M
04 39 24 1177	C
04 39 24 1177	A
04 39 24 1177	D



Name	Y	X	Z	Height
17653.63	380386.61	4120	4139	4139
17644.72	380320.74	4139	4139	4139

Y-17 72530

Y-17 73060

Y-17 67500

LEGEND	
	Inspection cover
	Telephone pole
	Electric pole
	Road sign
	Tree
	Step valve
	Catchot
	Manhole
	Water meter
	Fence
	Wall
	Kerb
	Kerb and channel
	Subsistral boundary
	Edge of tarp

1:200  
July 2018  
Scale  
Project No: 38454  
Drawing No: 38454  
System: 40000  
Height datum: 40000  
Constants: V 0.00  
Notes: Station Descriptions: 1. D: 10m from building foundation 2. E: 10m from building foundation 3. F: 10m from building foundation  
Client: M. VREEL  
Architect: M. VREEL  
Project: TOPOGRAPHIC SURVEY ERF 456 SANDBAAL



Ek het geen beswaar rakende die boulynoorskrydings op hierdie planne nie.

Handtekening: *W.M. Mientel*

Naam: Margaretha Wilhelmina (Mientel) Nortier

ID nommer: 6107050151080

Eienaar: Erf 455 Sandbaai

Datum: 22/08/2018

TOWN PLANNING REQUIREMENTS

	NEW	EXISTING	REMARKS
NEW FLOOR AREA	217,74 M <sup>2</sup>	0,00 M <sup>2</sup>	217,74 M <sup>2</sup>
NEW BALCONY AREA	78,85 M <sup>2</sup>	0,00 M <sup>2</sup>	78,85 M <sup>2</sup>
NEW FLOOR AREA	33,44 M <sup>2</sup>	0,00 M <sup>2</sup>	33,44 M <sup>2</sup>
NEW FLOOR AREA	0,00 M <sup>2</sup>	0,00 M <sup>2</sup>	0,00 M <sup>2</sup>
NEW VERANDA AREA	18,74 M <sup>2</sup>	0,00 M <sup>2</sup>	18,74 M <sup>2</sup>
NEW COVERED VERANDA AREA	18,74 M <sup>2</sup>	0,00 M <sup>2</sup>	18,74 M <sup>2</sup>
TOTAL	367,77 M <sup>2</sup>	0,00 M <sup>2</sup>	367,77 M <sup>2</sup>
FRPT SIZE	0,00 M <sup>2</sup>	0,00 M <sup>2</sup>	0,00 M <sup>2</sup>

PROJECT: NEW ALTERATIONS & ADDITIONS ON ERF 455, KIEWIET CRESCENT, SANDBAAI

CLIENT: M.J. & K. KRIEL

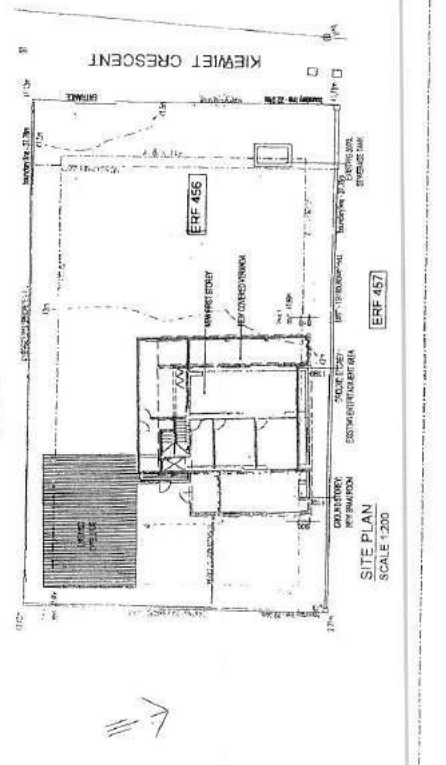
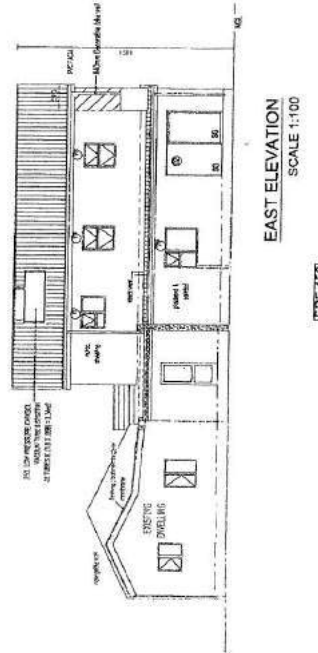
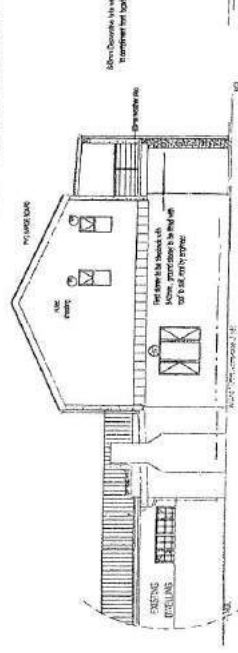
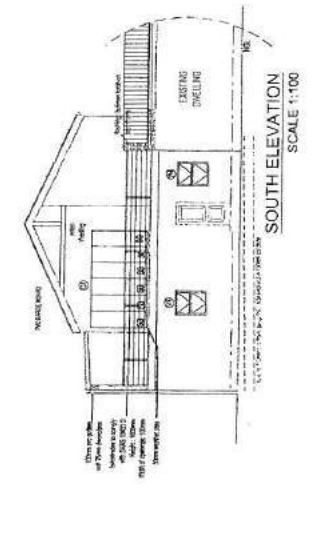
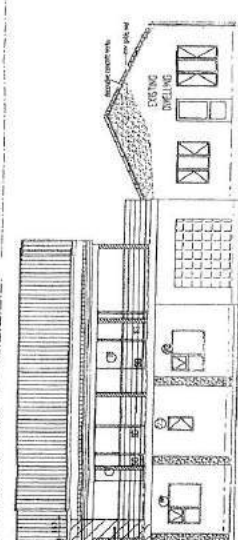
DRAWING: ELEVATIONS SITE PLAN

DATE: 08/08/2018 PLAN NO: DB 456

REVISED: SHEET NO: 3 OF 7

REVISIONS: SCALE: AS SHOWN

DATE	REVISIONS	SCALE	AS SHOWN



NOT TO SCALE

NOTE: OPERATIONS  
PROPERTY IS TO BE BUILT  
AS SHOWN ON THESE PLANS  
AND THE CONTRACTOR SHALL  
BE RESPONSIBLE FOR THE  
COMPLIANCE WITH ALL  
APPLICABLE REGULATIONS  
AND BY-LAWS.  
THE CONTRACTOR SHALL  
BE RESPONSIBLE FOR THE  
OBTAINING OF ALL NECESSARY  
PERMITS AND APPROVALS  
FROM THE LOCAL AUTHORITY  
BEFORE COMMENCING WORK.

Ek het geen beswaar  
 rakende die  
 boulynoorskrydings op  
 hierdie planne nie.

Handtekening: *M.M. Kriel*

Naam: Margaretha  
 Wilhelmina (Mientel) Nortier

ID nommer: 6107050151080

Eienaar: Erf 455 Sandbaai

Datum: 22/08/2018

OCCUPATION CLASSIFICATION: H 4

PROJECT  
 NEW ALTERATIONS & ADDITIONS  
 ON ERF 456, KIEWIET CRESCENT,  
 SANDBAAI

CLIENT

M.J. & K KRIEL

DRAWING :

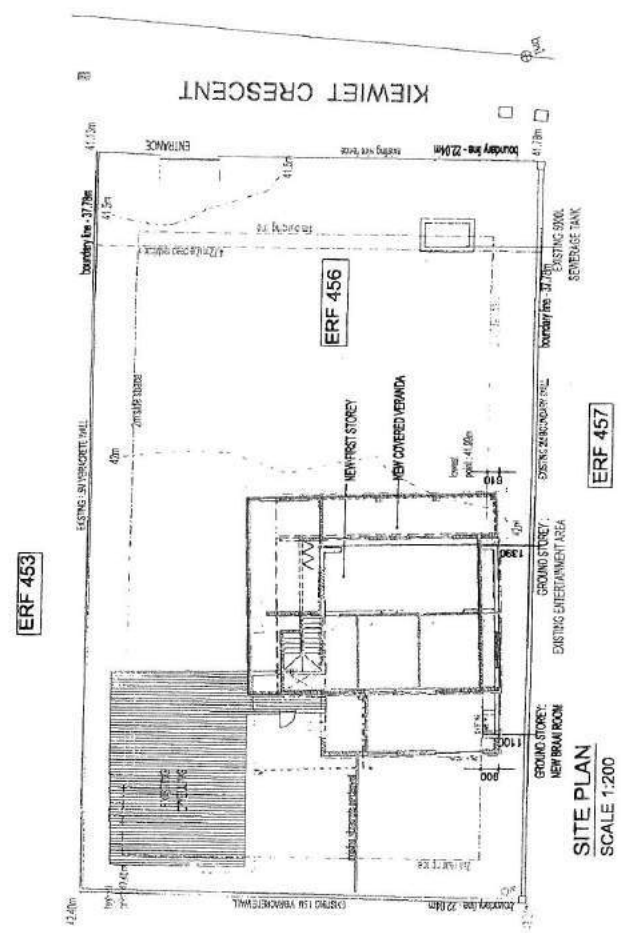
SITE PLAN

DATE	05/08/2018	PLAN NO.	SB 456/2018
REVISED		SHEET NO.	1 OF 1
REVISED		SCALE	AS SHOWN

Remita en Jeffrey Chanier  
 SACAP D1633  
 Project Draught  
 Tel: 0600 04 029  
 draught@remita.com

REGISTERED ARCHITECTS  
 No. 100

C	H
A	M
C	D



**SITE PLAN**  
 SCALE 1:200

**SITE OPERATIONS**  
 NO UNNECESSARY INTERFERENCE TO BE DISTURBED  
 SANITARY FACILITIES TO BE AVAILABLE  
 PROPERTY TO BE LABELED  
 ALL REBELLIOUS SOILS TO BE REMOVED  
 CONTRACTOR TO MAKE ADEQUATE PROVISION  
 FOR HEALTH AND SAFETY MEASURES FOR THE  
 DURATION OF THE CONSTRUCTION  
 STORMWATER DISPOSAL TO BE DETERMINED  
 ON SITE. INSURANCE TO BE OBTAINED  
 IN ACCORDANCE WITH THE ACT.

**NOTE:** ALL LEVELS SHOWN ON THIS DRAWING ARE A MARY OF  
 SITE CONDITIONS. CONTRACTOR TO VERIFY ALL LEVELS &  
 DIMENSIONS BEFORE COMMENCING WITH THE WORK.

Ek het geen beswaar rakende die boulynoorskrydings op hierdie planne nie.

Handtekening: *[Signature]*

Naam: **GAVIN THOMPSON**  
 ID nommer: **8008125036082**  
 Elienaar: **Erf 457 Sandbaai**

Datum: **21/08/2018**

NOT TO SCALE

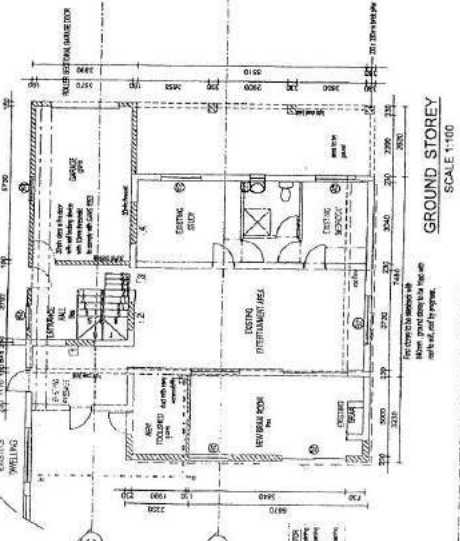
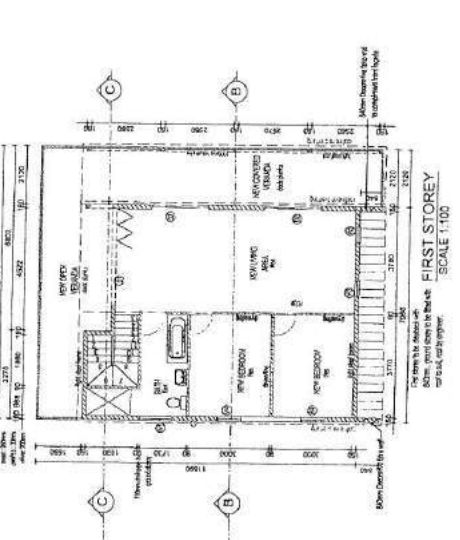
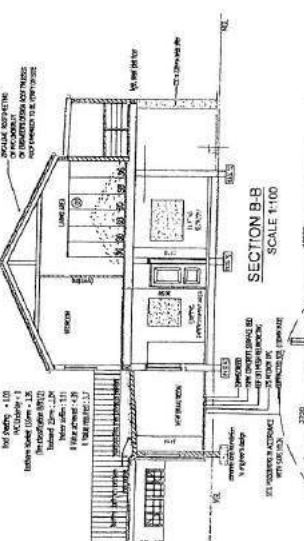
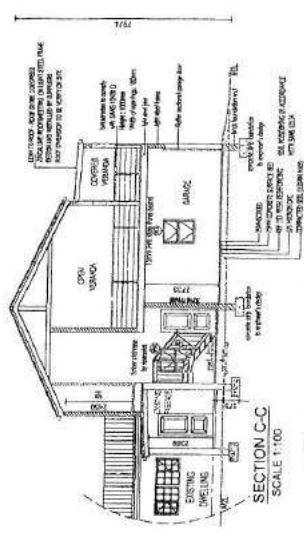
OCCUPATION CLASSIFICATION: J.E  
 PROJECT: NEW ALTERATIONS & ADDITIONS ON ERF 456, KIEWIT CRESCENT, SANDBAAI

CLIENT: M.J. & K. KRIEL

DRAWING: GROUND STOREY LAY-OUT  
 FIRST STOREY LAY-OUT

DATE:	06/08/2018	PLAN NO:	JA 4617
REVISED:		SHEET NO:	1 OF 3
REVISION:		SCALE:	AS SH

Drawn by: Gavin Thompson	Checked by: Gavin Thompson
Approved by: Gavin Thompson	Reviewed by: Gavin Thompson
Issue Date: 21/08/2018	Issue No: 00



ALUMINIUM WINDOW SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	ALUMINIUM WINDOW FRAME (FRANCIS BRIDGE)	SQ. METRE	12.50	
2	ALUMINIUM WINDOW GLASS (FRANCIS BRIDGE)	SQ. METRE	12.50	
3	ALUMINIUM WINDOW FRAME (SANDBAAI)	SQ. METRE	12.50	
4	ALUMINIUM WINDOW GLASS (SANDBAAI)	SQ. METRE	12.50	

SEE CALCULATIONS

**GENERAL NOTES:**

1. ALL FIRE WALLS ARE TO BE 200MM FIRE RESISTANCE.
2. ALL FIRE WALLS ARE TO BE 200MM FIRE RESISTANCE.
3. ALL FIRE WALLS ARE TO BE 200MM FIRE RESISTANCE.
4. ALL FIRE WALLS ARE TO BE 200MM FIRE RESISTANCE.

**DRAINAGE NOTES:**

1. ONLY A SUGGESTED LAY-OUT. THE POSITIONING OF E.G. GULLERS, RE AND SINKS SHALL BE DETERMINED BY A QUALIFIED PLUMBER ON THE SITE.
2. ALL DRAINAGE PIPES TO BE 100MM DIA. UNLESS OTHERWISE SPECIFIED.
3. ALL DRAINAGE PIPES TO BE 100MM DIA. UNLESS OTHERWISE SPECIFIED.
4. ALL DRAINAGE PIPES TO BE 100MM DIA. UNLESS OTHERWISE SPECIFIED.

ALUMINIUM WINDOW SCHEDULE

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	ALUMINIUM WINDOW FRAME (FRANCIS BRIDGE)	SQ. METRE	12.50	
2	ALUMINIUM WINDOW GLASS (FRANCIS BRIDGE)	SQ. METRE	12.50	
3	ALUMINIUM WINDOW FRAME (SANDBAAI)	SQ. METRE	12.50	
4	ALUMINIUM WINDOW GLASS (SANDBAAI)	SQ. METRE	12.50	



Ek het geen beswaar  
 rakende die  
 boulynoorskrydings op  
 hierdie planne nie.

Handtekening: 

Naam: **GAVIN THOMPSON**  
 ID nommer: **8008125036082**

Eienaar: Erf 457 Sandbaai

Datum: **21/08/2018**

OCCUPATION CLASSIFICATION: H 4

PROJECT  
**NEW ALTERATIONS & ADDITIONS  
 ON ERF 456, KIEWIET CRESCENT,  
 SANDBAAI**

CLIENT

M.J. & K KRIEL

DRAWING :

SITE PLAN

DATE: 05/08/2018 PLAN NO: SB 456/2018

REVISED SHEET NO: 1 OF 1

REVISED SCALE AS SHOWN

Ronita en Jeffrey Chamber

SACAP 01653  
 Project Draught  
 Cell: 083 94 6938  
 draught@sgmnet.com

rys: 1001-16, 0108/18  
 versams: 100

C	H
A	M
M	C
A	D

ERF 453



SITE PLAN  
 SCALE 1:200

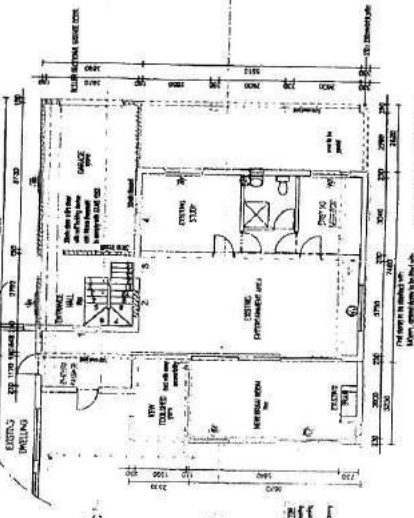
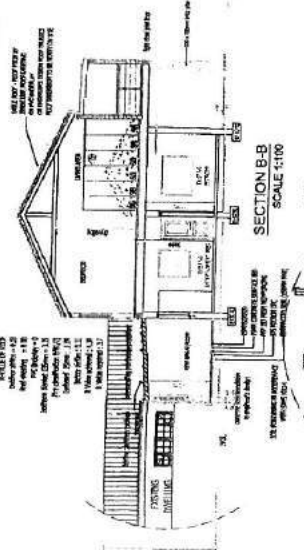
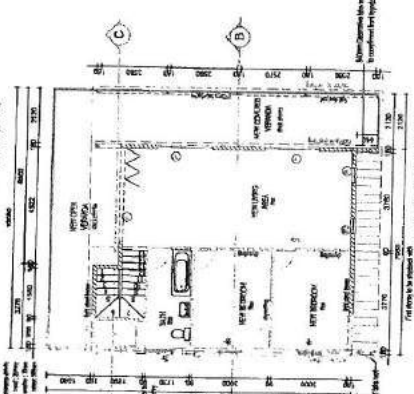
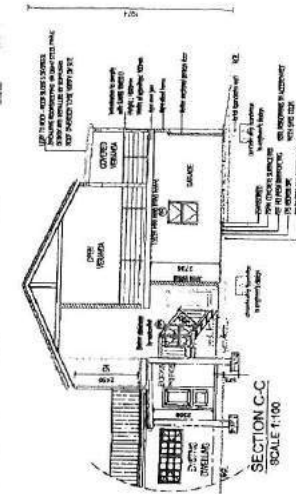
**SITE OPERATIONS**

NO OBSTACLES OR INTERFERENCE TO BE NOTICED.  
 SANITARY FACILITIES TO BE AVAILABLE.  
 ALL WORK TO BE COMPLETED BY 17:00.  
 ALL BARRIERS AND SIGNAGE TO BE REMOVED.  
 CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS  
 FOR HEALTH & SAFETY MEASURES FOR THE  
 DURATION OF THE CONSTRUCTION.  
 STORMWATER DISPOSAL TO BE DETERMINED  
 ON SITE. NO STORMWATER TO BE DUMPED  
 IN NEIGHBOURING PROPERTIES.  
 NOTE: ALL LEVELS SHOWN ON THIS DRAWING MAY VARY OF  
 SITE CONDITIONS. CONTRACTOR TO VERIFY ALL LEVELS &  
 DIMENSIONS BEFORE COMMENCING WITH THE WORK.

Ek het geen beswaar rakende die boulynoorskrydings op hierdie planne nie.

Handtekening: *Jou Jansen*  
 Naam: *Jou Jansen*  
 ID nommer: *76 12 25 700*

Eienaar: Erf 458 Sandbaai  
 Datum: *22 Augustus 1*



NOT TO SCALE

OCCUPYING CLASSIFICATION: RESIDENTIAL  
 NEW ALTERATIONS & ADDITIONS ON ERF 458, KIEWIT CRESCENT, SANDBAAI

M.J. & K. KRIEGL

GROUND STOREY LAY-OUT  
 FIRST STOREY LAY-OUT  
 SECTION B-B, C-C

DATE: 08/08/2018  
 DRAWING NO: 08/18/2018  
 SHEET NO: 1 OF 2

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/08/2018
2	ISSUED FOR PERMIT	08/08/2018
3	ISSUED FOR PERMIT	08/08/2018
4	ISSUED FOR PERMIT	08/08/2018
5	ISSUED FOR PERMIT	08/08/2018

**GENERAL NOTE**

1. READ THE DRAWINGS IN CONJUNCTION WITH THE SCHEDULES, LEAD SCHEDULES OR OTHER SPECIFICATIONS AND SPECIFICATIONS TO BE APPLICABLE TO THE WORK.
2. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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8. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
9. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
10. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**REINFORCEMENT**

1. ALL REINFORCEMENT SHALL BE SUPPLIED BY A QUALIFIED REINFORCER.
2. ALL REINFORCEMENT SHALL BE SUPPLIED BY A QUALIFIED REINFORCER.
3. ALL REINFORCEMENT SHALL BE SUPPLIED BY A QUALIFIED REINFORCER.
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9. ALL REINFORCEMENT SHALL BE SUPPLIED BY A QUALIFIED REINFORCER.
10. ALL REINFORCEMENT SHALL BE SUPPLIED BY A QUALIFIED REINFORCER.

**CONCRETE**

1. ALL CONCRETE SHALL BE SUPPLIED BY A QUALIFIED CONCRETOR.
2. ALL CONCRETE SHALL BE SUPPLIED BY A QUALIFIED CONCRETOR.
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10. ALL CONCRETE SHALL BE SUPPLIED BY A QUALIFIED CONCRETOR.

**ROOFING**

1. ALL ROOFING SHALL BE SUPPLIED BY A QUALIFIED ROOFER.
2. ALL ROOFING SHALL BE SUPPLIED BY A QUALIFIED ROOFER.
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10. ALL ROOFING SHALL BE SUPPLIED BY A QUALIFIED ROOFER.

**PAINTING**

1. ALL PAINTING SHALL BE SUPPLIED BY A QUALIFIED PAINTER.
2. ALL PAINTING SHALL BE SUPPLIED BY A QUALIFIED PAINTER.
3. ALL PAINTING SHALL BE SUPPLIED BY A QUALIFIED PAINTER.
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9. ALL PAINTING SHALL BE SUPPLIED BY A QUALIFIED PAINTER.
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**GLASS**

1. ALL GLASS SHALL BE SUPPLIED BY A QUALIFIED GLASSER.
2. ALL GLASS SHALL BE SUPPLIED BY A QUALIFIED GLASSER.
3. ALL GLASS SHALL BE SUPPLIED BY A QUALIFIED GLASSER.
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9. ALL GLASS SHALL BE SUPPLIED BY A QUALIFIED GLASSER.
10. ALL GLASS SHALL BE SUPPLIED BY A QUALIFIED GLASSER.

**MECHANICAL**

1. ALL MECHANICAL SHALL BE SUPPLIED BY A QUALIFIED MECHANICAL ENGINEER.
2. ALL MECHANICAL SHALL BE SUPPLIED BY A QUALIFIED MECHANICAL ENGINEER.
3. ALL MECHANICAL SHALL BE SUPPLIED BY A QUALIFIED MECHANICAL ENGINEER.
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9. ALL MECHANICAL SHALL BE SUPPLIED BY A QUALIFIED MECHANICAL ENGINEER.
10. ALL MECHANICAL SHALL BE SUPPLIED BY A QUALIFIED MECHANICAL ENGINEER.

**ELECTRICAL**

1. ALL ELECTRICAL SHALL BE SUPPLIED BY A QUALIFIED ELECTRICIAN.
2. ALL ELECTRICAL SHALL BE SUPPLIED BY A QUALIFIED ELECTRICIAN.
3. ALL ELECTRICAL SHALL BE SUPPLIED BY A QUALIFIED ELECTRICIAN.
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10. ALL ELECTRICAL SHALL BE SUPPLIED BY A QUALIFIED ELECTRICIAN.

Ek het geen beswaar  
rakende die  
boulynoerskrydings op  
hierdie planne nie.

Handtekening: *[Signature]*

Naam: *[Signature]*

ID nommer: 702255102700003

Eienaar: Erf 458 Sandbaai

Datum: 22 Augustus 18

OCCUPATION CLASSIFICATION: H.4

PROJECT

NEW ALTERATIONS & ADDITIONS  
ON ERF 456, KIEWIET CRESCENT,  
SANDBAAI

CLIENT

M.J. & K. KRIEL

DRAWING:

SITE PLAN

DATE: 05/08/2018 PLAN NO: SB 456/2018

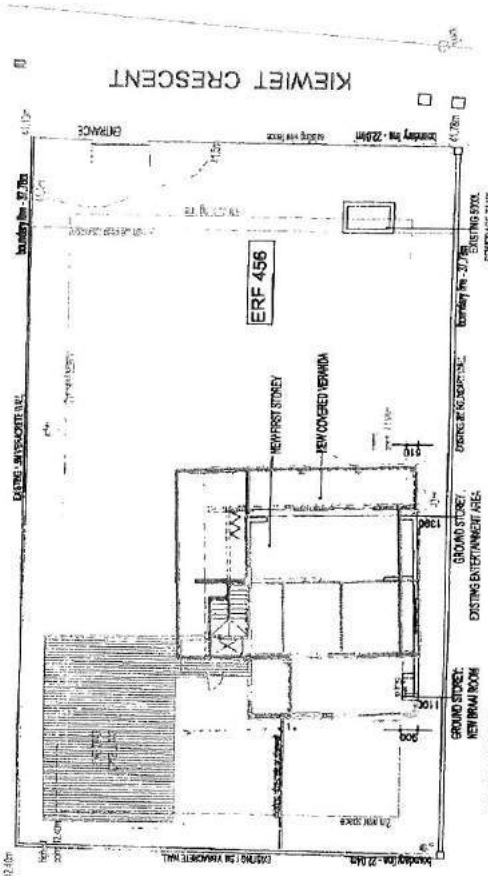
REVISED SHEET NO: 1 OF 1

REVISD SCALE: AS SHOWN

C
H
A
M
C
A
D

Ronnie en Jeffrey Chamber  
SACAP D1553  
Pretoria  
Cell: 08334 1271  
Email: ronnie@chamber.com  
Jeffrey@chamber.com  
Memphis, 202

ERF 453



ERF 457

SITE PLAN  
SCALE 1:200

**SITE OPERATIONS**

NO UNNECESSARY OBSTRUCTION TO BE CAUTIONED.  
DRAINAGE FACILITIES TO BE MAINTAINED.  
PROPERTY TO BE LABELLED.  
ALL PUBLIC EXCESS SOILS TO BE REMOVED.  
CONTRACTOR TO MAKE ADEQUATE PROVISION  
FOR HEALTH & SAFETY MEASURES FOR THE  
DURATION OF THE CONSTRUCTION.  
STORMWATER DISPOSAL TO BE DETERMINED  
IN WRITING AND COMMUNICATED TO BE INSTALLED  
IN ACCORDANCE WITH REGULATIONS.  
NOTE: ALL LEVELS SHOWN ON THIS DRAWING ARE VARY OF  
THE FINISHED SURFACE OF THE GROUND. TO VERIFY ALL LEVELS A  
SOUNDING BEFORE COMMENCING WITH THE WORK.

Ek het geen beswaar rakende die boulynoorskrydings op hierdie planne nie.

Handtekening: *[Signature]*

Naam: *[Signature]*

ID nommer: 702225204

Eienaar: Erf 458 Sandbaai

Datum: 22 Februarie 18

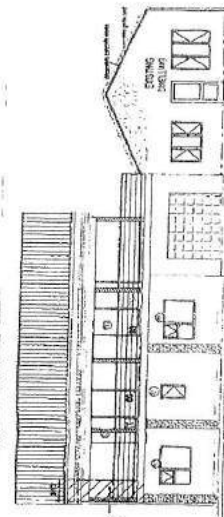
ITEM	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	NEW TOOL BOND	m <sup>2</sup>	12 340	12 340	12 340
2	NEW BULKHEAD	m <sup>2</sup>	21 340	21 340	21 340
3	CONCRETE/PAVING	m <sup>2</sup>	78 840	78 840	78 840
4	MECHANICAL/ELECTRICAL	m <sup>2</sup>	10 000	10 000	10 000
5	NEW FIRST STOREY	m <sup>2</sup>	18 000	18 000	18 000
6	NEW SECOND STOREY	m <sup>2</sup>	18 000	18 000	18 000
7	COVERED VERANDA	m <sup>2</sup>	23 000	23 000	23 000
8	COVERED PATIO	m <sup>2</sup>	48 340	48 340	48 340
9	COVERED PORCH	m <sup>2</sup>	24 000	24 000	24 000
10	COVERED DRIVEWAY	m <sup>2</sup>	10 000	10 000	10 000
11	COVERED STAIRS	m <sup>2</sup>	10 000	10 000	10 000
12	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
13	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
14	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
15	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
16	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
17	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
18	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
19	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
20	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
21	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
22	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
23	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
24	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
25	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
26	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
27	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
28	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
29	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
30	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
31	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
32	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
33	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
34	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
35	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
36	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
37	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
38	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
39	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
40	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
41	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
42	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
43	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
44	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
45	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
46	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
47	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
48	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
49	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
50	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
51	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
52	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
53	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
54	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
55	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
56	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
57	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
58	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
59	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
60	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
61	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
62	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
63	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
64	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
65	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
66	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
67	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
68	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
69	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
70	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
71	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
72	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
73	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
74	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
75	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
76	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
77	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
78	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
79	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
80	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
81	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
82	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
83	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
84	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
85	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
86	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
87	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
88	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
89	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
90	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
91	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
92	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
93	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000
94	COVERED PATIO	m <sup>2</sup>	10 000	10 000	10 000
95	COVERED VERANDA	m <sup>2</sup>	10 000	10 000	10 000
96	COVERED BALCONY	m <sup>2</sup>	10 000	10 000	10 000
97	COVERED TERRACE	m <sup>2</sup>	10 000	10 000	10 000
98	COVERED PERGOLA	m <sup>2</sup>	10 000	10 000	10 000
99	COVERED GALLERY	m <sup>2</sup>	10 000	10 000	10 000
100	COVERED PORCH	m <sup>2</sup>	10 000	10 000	10 000

NEW ALTERATIONS & ADDITIONS ON ERF 458, KIEWIET CRESCENT, SANDBAAI

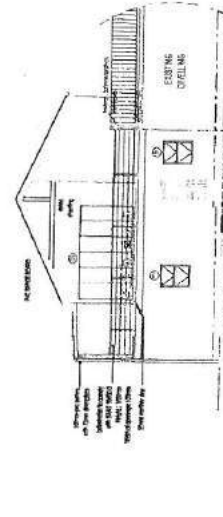
M.J. & K. KRIEGL  
ELEVATIONS  
SITE PLAN

DATE: 20 FEBRUARIE 2018  
SCALE: 1:100  
DRAWN BY: M.J. & K. KRIEGL  
CHECKED BY: M.J. & K. KRIEGL

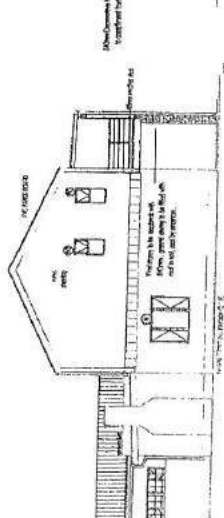
PROJECT NO: 180427210  
JOB NO: 180427210  
AS SHOWN



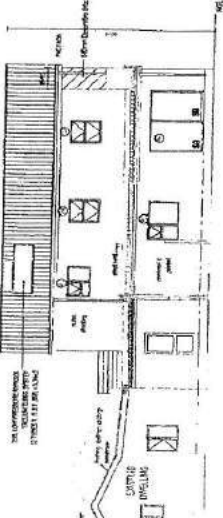
NORTH ELEVATION  
SCALE 1:100



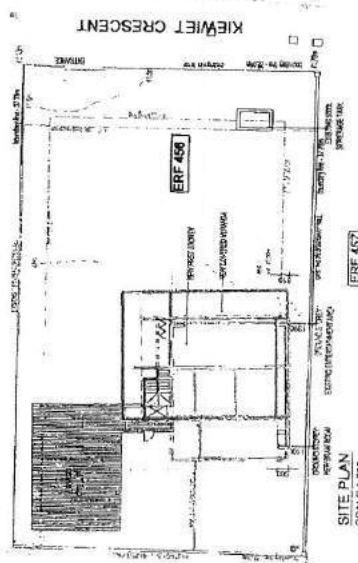
SOUTH ELEVATION  
SCALE 1:100



WEST ELEVATION  
SCALE 1:100



EAST ELEVATION  
SCALE 1:100



SITE PLAN  
SCALE 1:200

**NOTE:**  
THIS DRAWING IS A PRELIMINARY DRAWING AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS ADVISED THAT THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS ADVISED THAT THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS ADVISED THAT THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

NOT TO SCALE

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 456, SANDBAAI (3828)**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 456, Sandbaai, unobstructed;
5. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

---

**17. ERF 477, 11 FRANKEN STREET, GANSBAAI, OVERSTRAND MUNICIPAL AREA: PROPOSED TITLE RELAXATION AND DEPARTURE: MESSRS GERICKE ARGITEKTONIESE DIENSTE ON BEHALF OF DE KLEINE GANSIES (PTY) LTD**

**477 GGB (3565)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**1 September 2018**

---

**Executive Summary**

An application has been received on 17 January 2017 from Messrs Gericke Argitektoniese Dienste on behalf of De Kleine Gansies (Pty) Ltd for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to encroach the 5m building line in order to accommodate the following:

- the existing school building 3,9m from the northern lateral boundary;
- the existing wendy house and admin office 0,5m and 4m from the eastern lateral boundary;
- an existing covered play area 0,6m from the eastern lateral boundary;
- shade cloth structures 2,6m and 2,9m and a gate house on the southern street boundary as well as climbing frames and a gate house, and
- proposed classroom and bathroom additions 2,5m from the western street and 1,59m from the northern lateral boundary.

Application is also made for the relaxation of restrictive title deed conditions in order to permit the existing and proposed additions within the 4,72m title deed building line.

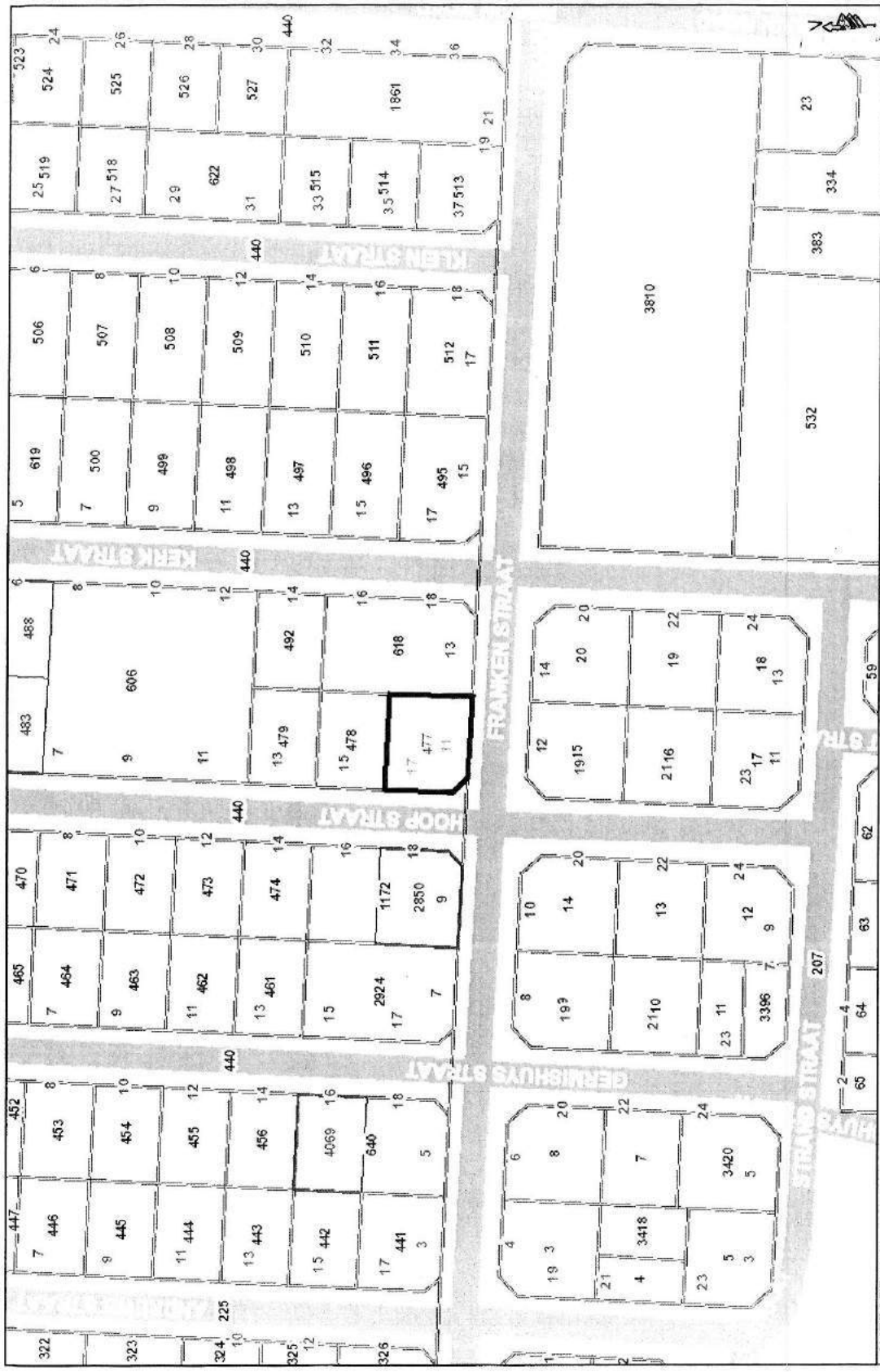
**RESOLVED :**

1. that the application for the relaxation of the title deed restriction in terms of Title Deed T32373/96 applicable to Erf 477, Gansbaai in order to relax the 1,57m lateral building line to 0,1m to permit the existing and proposed additions within the 4,72m title deed building line, **be approved** in terms of Section 61 of the By-Law, subject to the following conditions;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

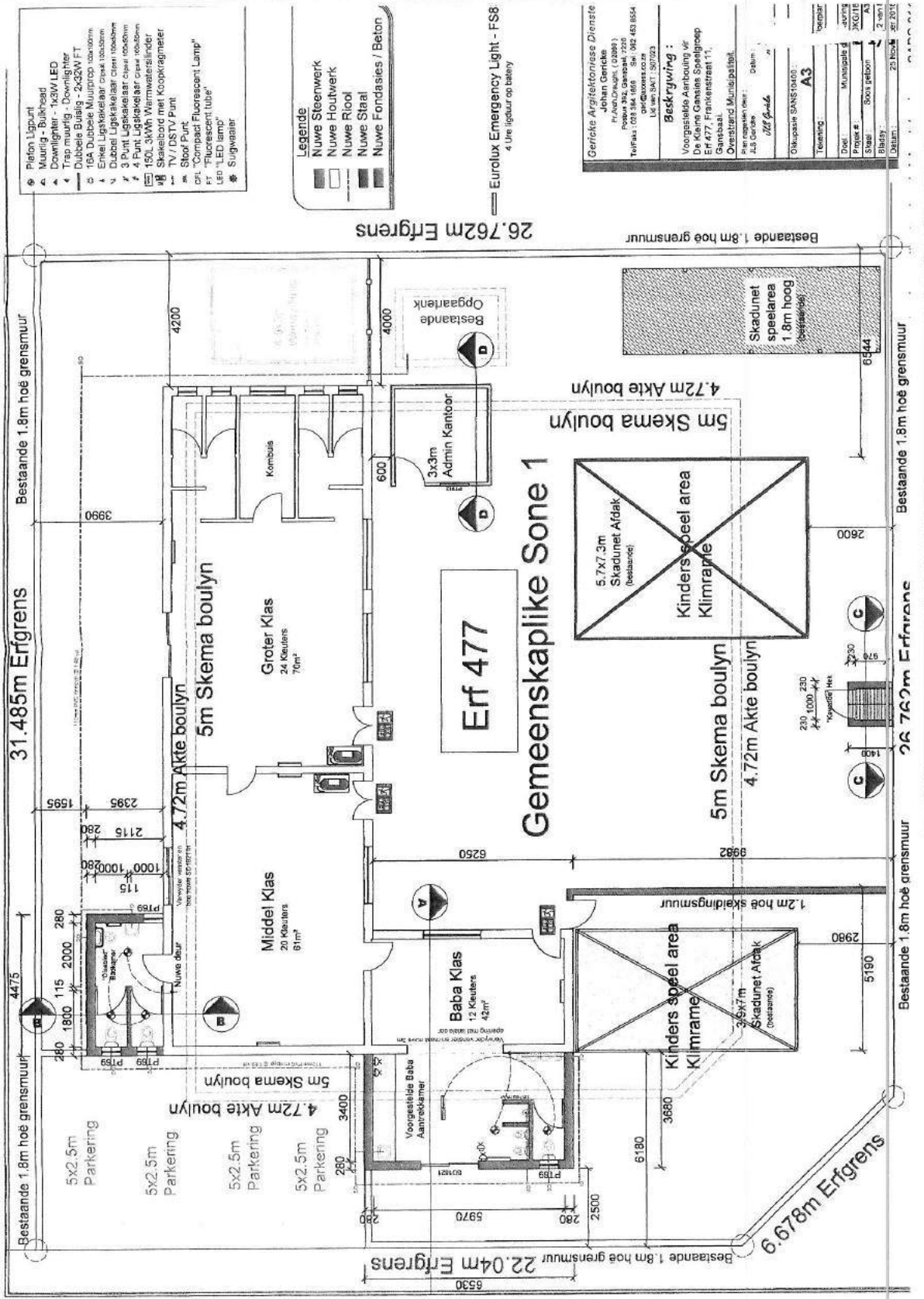
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2. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for departure to:
- accommodate the existing school 3,9m from the northern lateral boundary;
  - accommodate the existing wendy house and admin office 0,5m and 4m from the eastern lateral boundary;
  - accommodate an existing covered play area 0,6m from the eastern property boundary;
  - accommodate shade cloth structures 2,6m and 2,9m and gatehouse that is situated on the southern street boundary , and
  - proposed classroom and bathroom additions 2,5m from the western street and 1,59m from the northern lateral boundary,
- be approved** in terms of the provisions of Section 61 of the By-Law, be subject to the following conditions:
- (a) that the approval only be applicable to the departures as indicated on the Site Development Plan as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that all the conditions in the Services Report and Fire Services, be complied with;
  - (d) that unless compliance with the Fire Regulations could be demonstrated, the administrative office (wendy house) may only be utilised for storage purposes;
  - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan Erf 477, Gansbaai

Date: 2017-02















NOTAS :

Alle veranderinge of afwykings moet slegs uitgesien word deur die ingenieur. Die tekening moet slegs gebruik word vir die projek wat dit betref. ...

Bestaande Gebou : 19,46m²
Aanbouing : 34,75m²
Wendy Nuis : 13,00m²
Standaard Afvalbakke : 90,21m²
Admin Kantoor : 9,00m²

Totaal : 306,92m²
Erf : 832,00m²
Dekking : 26,41%

Gerette Argitektoniese Dienste
Johan Gerette
P.O. Box 392, Durban, 7220
Telf: 031 304 1659 Sa: 081 454 8564
Lid van SAIT 120722

Beskrywing :
Voorgeselde Afbouing vir
Die Kleine Gansies Spoorgroep
Erf 477, Frankenstein 11,
Gansbaai
Owerstand Munisipaliteit
Durban
J.G.S. Gerette
2/2/2016

Table with columns: Oksipale SANS 10400, H4, Tekening, Speel, Deel, Munisipale gebied, Projek #, 0117, 718, 115, 506 getoon, A3, Bladsy, 1 van 8, Datum, 25 November 2016

Afwerking Nobs

Plafon
5,4mm Rhinobond gelag aan 38x38mm SA DM late lagn
450mm h.o.h.
75mm Nubac Kroonlyste en redies gelagte te word
Insielare 60x600mm mangat by elke agterse parton leemte.

Deure
Deure volgens Swaerland katalogie en eensaar.
Hendovrasis
Alle handvatsels is Vervynse Staal
Bulieseure met 3 lewre grotte toegank.

Vloer- en Muurafwerking
Woning - soos per eienaarkeuse
Bekkers - 1 teels tot teen plafon en 10-nelleis

Voorvats
Soos per eienaar.
Vier en Hout
Mure met 2 lae van waterdige PVA gewef.
mure laag versel deur eienaar.

Randwaterpoelie
Standard PVC geute met akortyppe soos getoon.
Hiele gebou moet ontwerp word volgens eienaarkeuse.

Plasvakt
Volgens eienaarkeuse.
Kaakle
Keple met handvatsels in Slaapkamers volgens eienaarkeuse.
Kompute kaakle volgens eienaarkeuse.

LET WEL
Waar spesifisitas van materiaal of items nie beskryf word nie, moet vervaardiger spesifisitas en beskrywinge gelykstaan met Sub-kontraakteur om nodige SANS regulasies streng te volg. Indien spesifisitas amptemaal nie getoon kon word nie moet soortgelyke gebruik word.

Dak

Oukluisers Sertifikaat vir die goedkeuring van dak konstruksie weg verses deur Munisipaliteit vooroor.
Oukluisers Sertifikaat uitgereke word.
Soos getoon in tekening.
Dak tekening: 1:100
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Grond van hout versies deur dakkeuse.
Versamling soos nodig.
Bligbeskerming behandel met "Carbonium".
Plaas te koop op 1:1000mm murelaag en heg met regmessele 1,5x30mm geharsende hoop.

Alle dak nodde wat in mure in gebou word, moet met VNI, beskryf word by die gedeelte waar dit met die mure kontak maak.
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Konstruksie Notas

Erfname
Erfname op grond en uitgewys te word.
Fondasies
200 en 280mm mure - 70x200mm betonstokkefondasies in min 300mm onder natuurlike grondvlak.

110mm mure - 300x200mm betonstokkefondasies in min 300mm onder natuurlike grondvlak.
Min van 150mm sterkte vir fondasies na 28 dae.
Alle fondasies moet betonreel wees.
Stiel in 1:100
Stiel in 1:100

Alle nodige dienspys moet plaas word vooroor betonreel poppel word.
Bakkers en Kompute sa voore moet waerds wees.
Kontraakteuse en uitvoerders volgens Ingenieur en SANS 10400 Deel J.
Ingenieur om kompakteerders uitloerders die betonspoer poppel word.

Stierwerk
280mm dik met 50mm hulle en binnemure 230mm en 115mm dik soos getoon op tekening.
"Stielreel boof" mabok.
"Stielreelreel" = 2,5 per m².
Vooreen loraagtelijks lieweghoek) elke 1000mm en min 50mm in hoogte.

Mure gebou met ROK stene.
Eienaar - Klas 1 - tekening op Eienaarkeuse.
Min. 40MPa kompresie sterkte vir sementbeton en min 40MPa kompresie sterkte vir sementbeton.
SANS 10400 Deel J.
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10MPa kompresie sterkte vir sementbeton en min 40MPa kompresie sterkte vir sementbeton.
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SANS 10400 Deel J.

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 477, GANSBAAI (3565)

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 477, Gansbaai, unobstructed;
6. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

10/7/2017  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**18. ERF 171, 47 LONGMARKET STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MAUREEN WOLTERS ARCHITECT ON BEHALF OF GPH WOLTERS**

**171 SSS (3899)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**6 September 2018**

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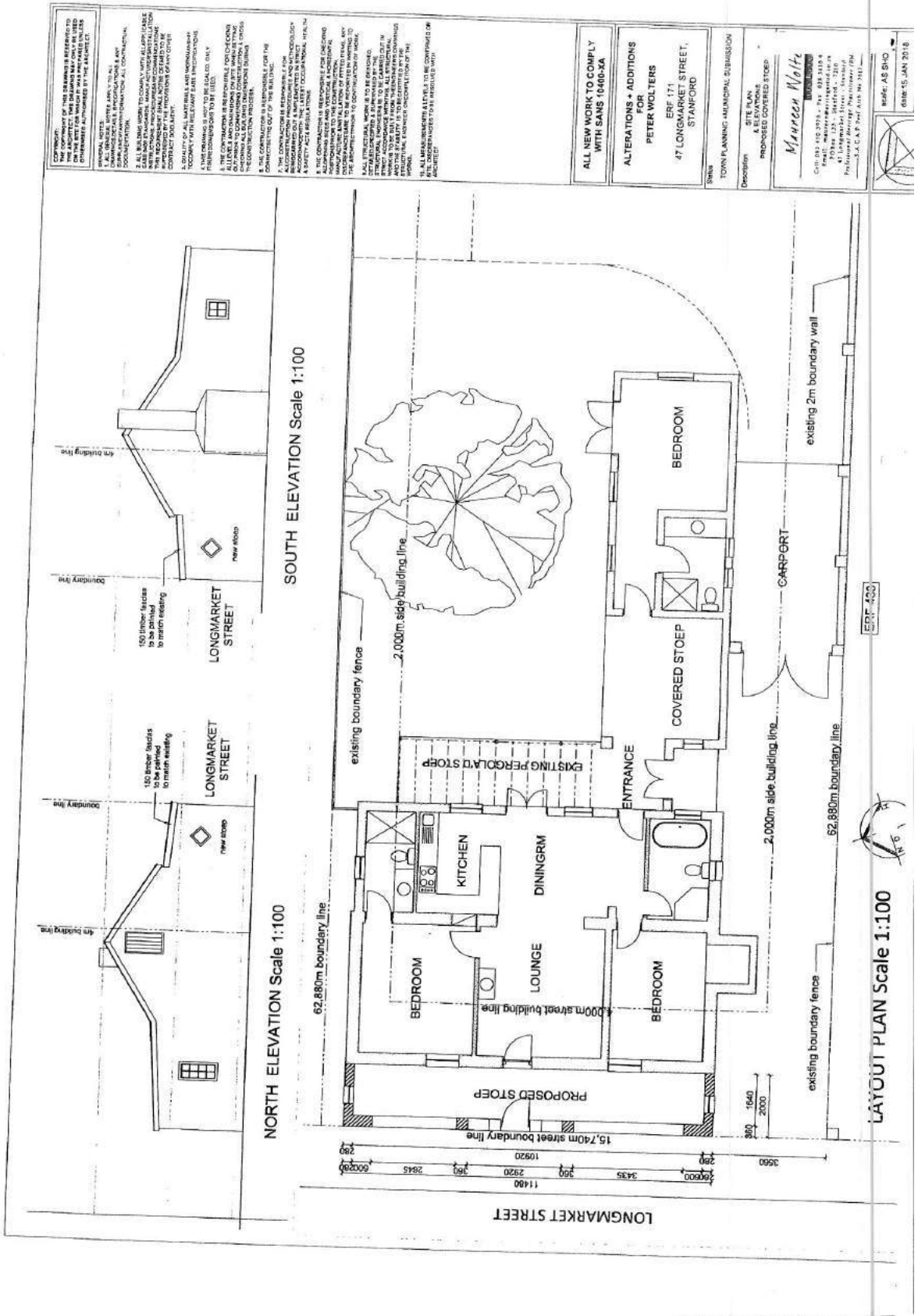
**Executive Summary**

To consider an application received on 25 January 2018 from M Wolters Architect on behalf of GPH Wolters on behalf of the owner of Erf 171, Stanford for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) to relax the lateral building line from 2m to 0,7m and the street building line from 4m to 0m in order to accommodate a new covered stoep.

**RESOLVED :**

1. that in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 171, Stanford to relax the lateral building line from 2m to 0,7m and the street building line from 4m to 0m in order to accommodate a new covered stoep, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on plan no. 090.01.01, as submitted with the application;
  - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (d) that all the conditions in the Services Report, be complied with, and
  - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





**CONTRACTOR:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**SPECIAL NOTE:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**GENERAL NOTE:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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**2. ALL BUILDING WORK TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

**3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

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**5. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETION OF ALL WORK AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

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**7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

**8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

**9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

**10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.**

**11. ALL MEASUREMENTS & LEVELS TO BE COMPARED ON AN AS-BUILT BASIS TO THE RECORD DRAWINGS AND TO BE RECORDED WITH THE PROJECT.**

TOTAL AREA OF SITE	268,730sq
AREA OF EXIST HOUSE + CARPORT	148,000sq
NEW COVERED STOEP	23,000sq
TOTAL BUILDING	171,000sq
COVERAGE	17.26%

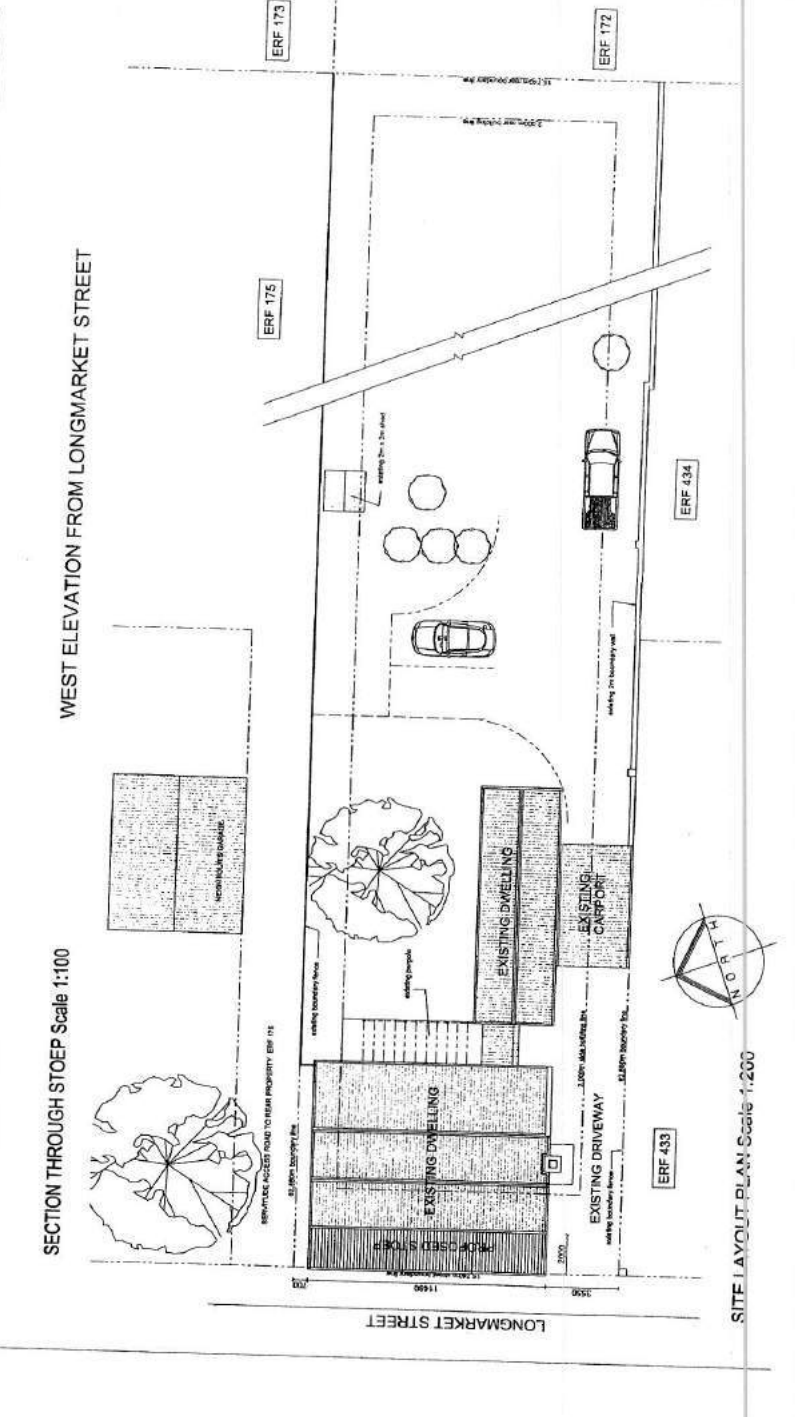
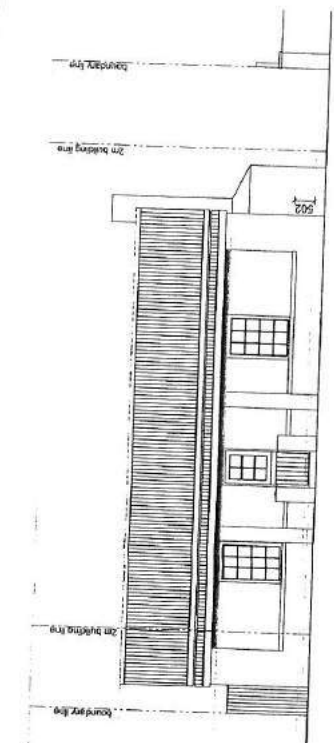
**ALL NEW WORK TO COMPLY WITH SANS 10410-XA**

**ALTERATIONS + ADDITIONS FOR PETER WOLTERS**  
 ERF 171  
 47 LONGMARKET STREET, STANFORD

**Drawn:** TOWN PLANNING + MUNICIPAL SUBMISSION  
**Checked:** SITE PLAN  
**Description:** SECTION - STREET ELEVATION PROPOSED COVERED STOEP

*Maureen Wolter*  
 ARCHITECT  
 47 Longmarket Street, Stanford  
 Phone: 021 855 3135 • Fax: 021 855 3136  
 Email: maureen@maureenwolter.co.za  
 Professional Registration No. 1314  
 Professional Designation: Professional Architect  
 Member of S.A.A.P. & Reg. Arch. No. 847

**Scale: AS SHOWN**  
**Date: 15 JAN 2011**



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 171, STANFORD (3899)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 171, Stanford, unobstructed;
6. that no on-street parking be allowed.

  
\_\_\_\_\_  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
\_\_\_\_\_  
**DATE**

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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19. **ERF 8366, 13 PEACOCK STREET, HERMANUS (HEMEL & AARDE ESTATE), HERMANUS OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF JH DU PLESSIS**

**8366 HMS (3802)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**3 August 2018**

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**Executive Summary**

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 28 September 2017 (revised application on 13 December 2017) from Messrs Interactive Town & Regional Planning applicable to Erf 836, Hermanus (Hemel & Aarde Estate), for the relaxation of the south-western lateral building line from 2m to 1,2m in order to accommodate a portion of the existing braai room and existing screen walls ( $\pm 2,65$ m high) of the outside shower.

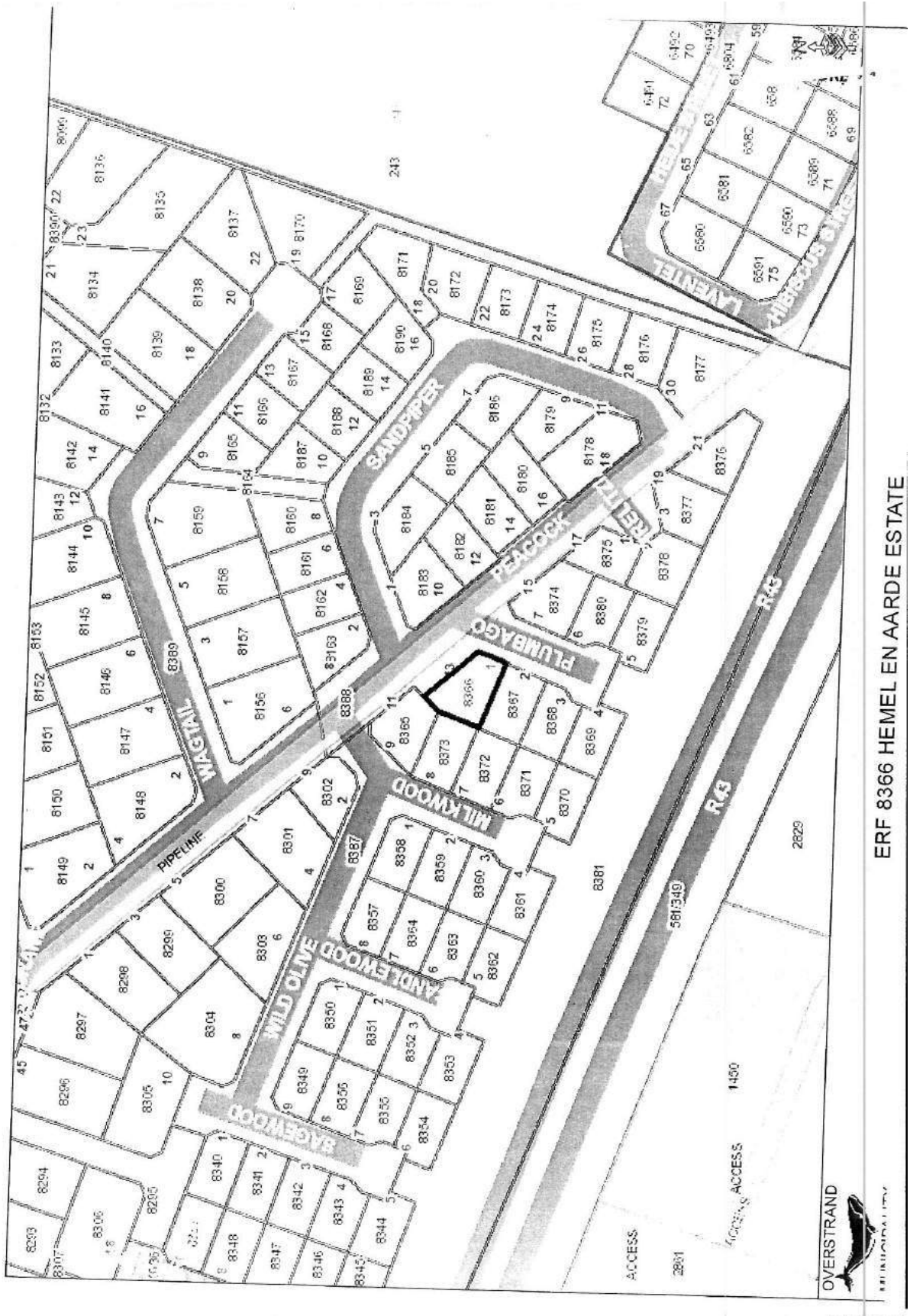
**RESOLVED :**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 8366, Hermanus for the relaxation of the south-western lateral building line from 2m to approximately 1,2m in order to accommodate a portion of the existing braai room and the screen walls ( $\pm 2,65$ m high) of the existing outside shower, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the dimensions of the structures that encroach the south-western lateral building line as indicated on Plan Numbers 8366.1 – 8366.6 dated 17 May 2017, which was submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

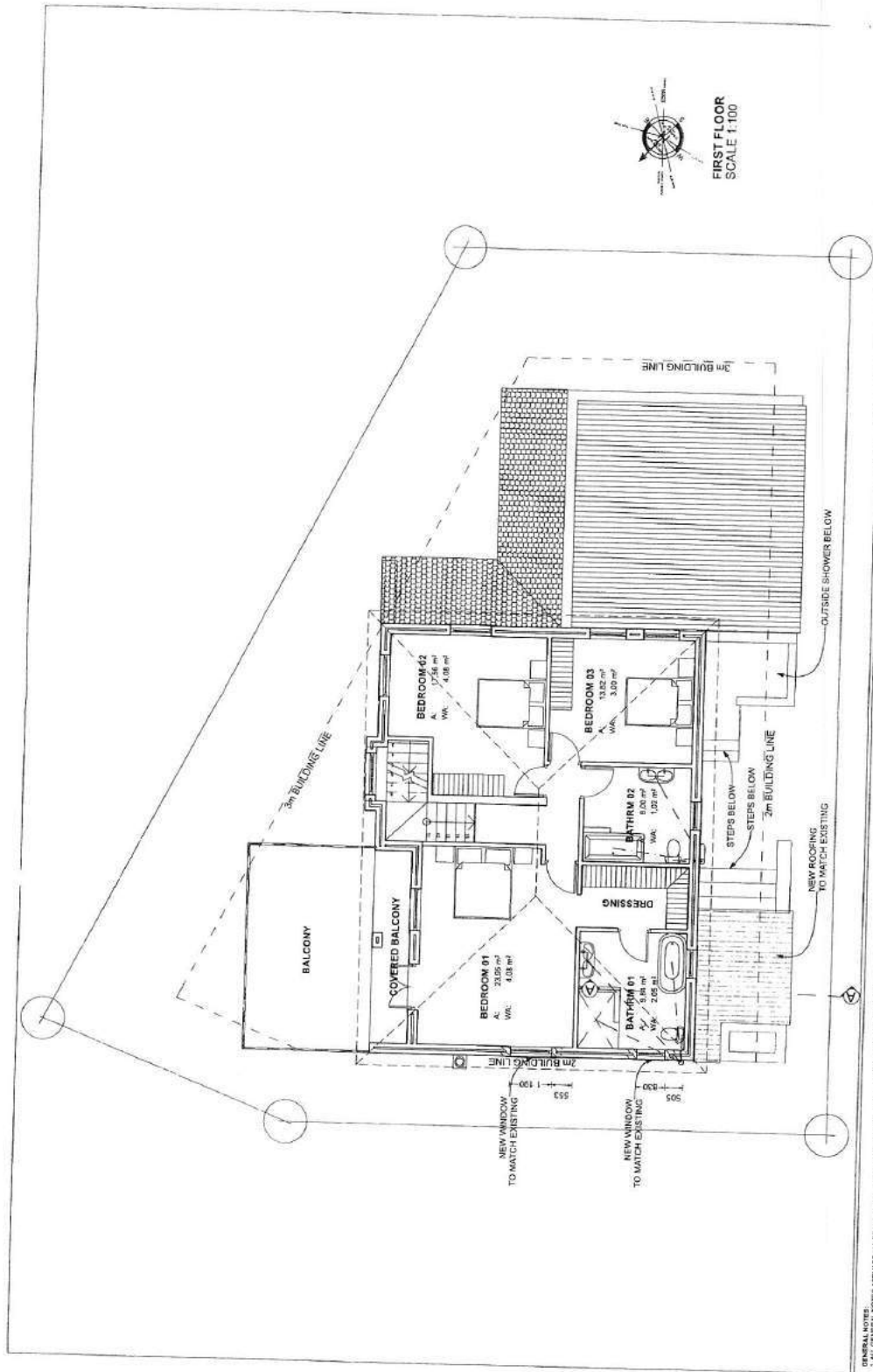


ERF 8366 HEMEL EN AARDE ESTATE







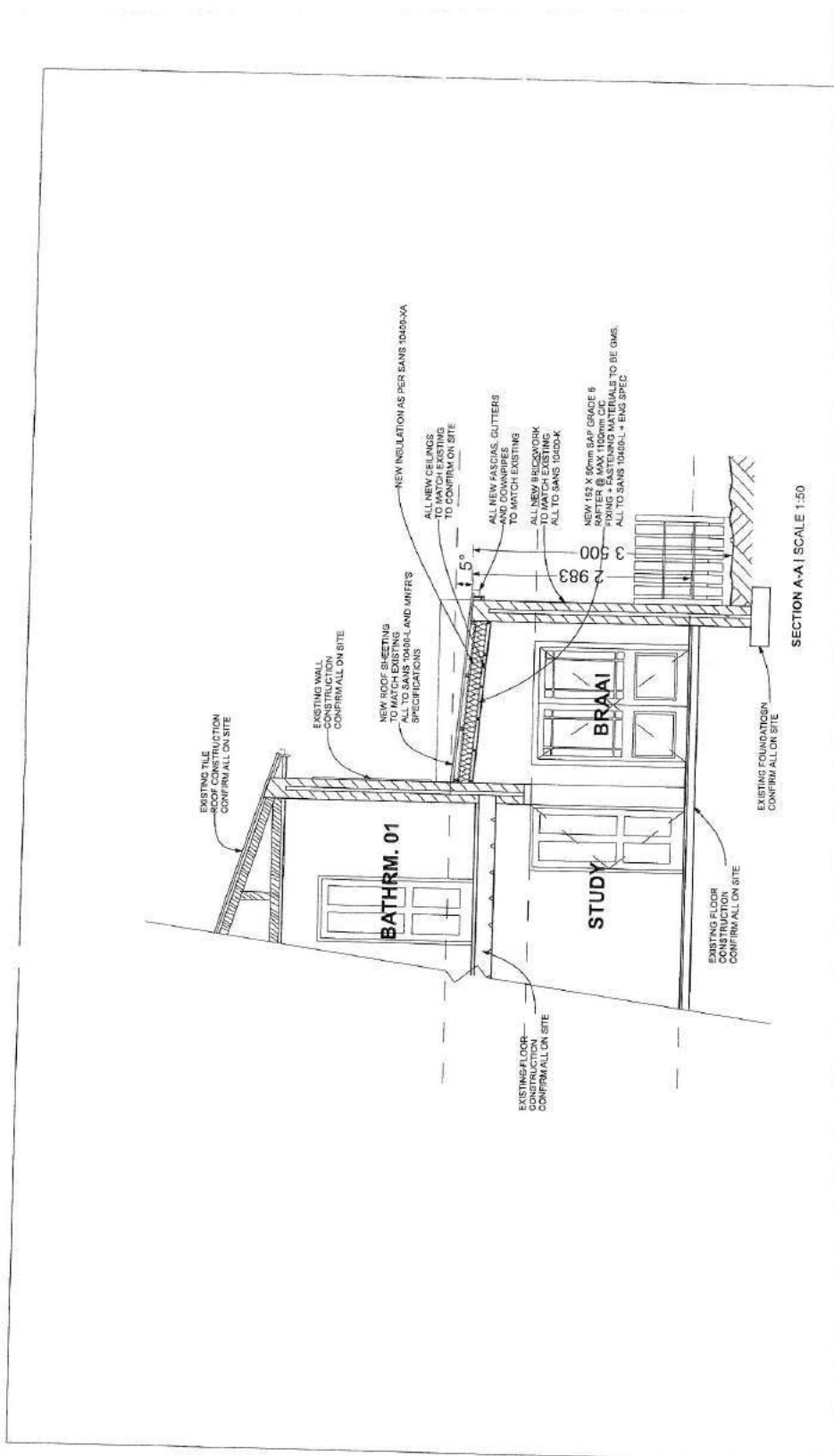


<b>DESCRIPTION:</b>	FIRST FLOOR
<b>DRAWN:</b>	L.F. PSAT 247A (D718)
<b>DATE:</b>	2017/05/17 REVA
<b>SCALE:</b>	AS INDICATED
<b>DRAWING NO.:</b>	B366.3

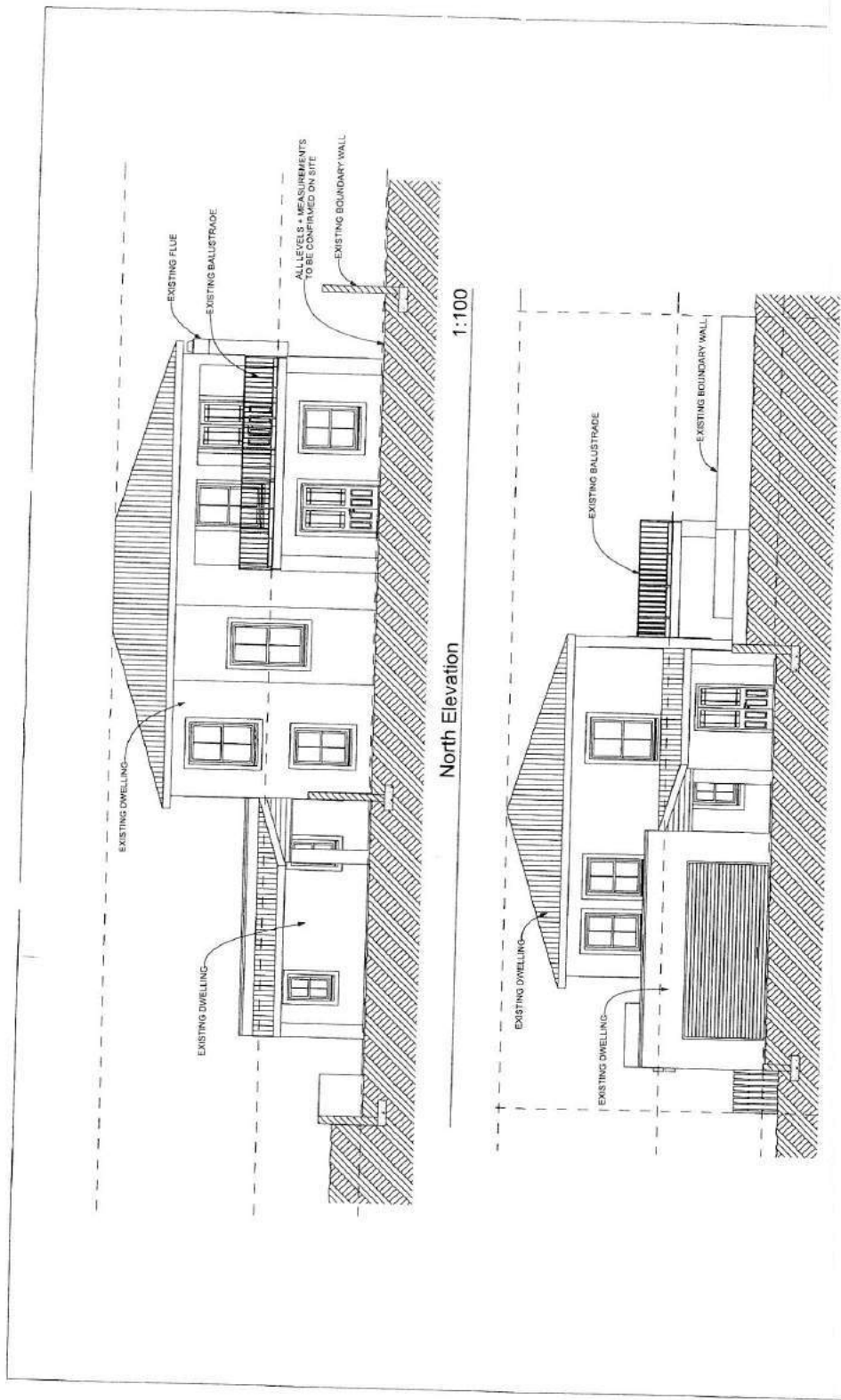
**HOUSE DU PLESSIS  
MEASURED DRAWING**  
 CLIENT: JOHN DU PLESSIS  
 1 PLUMBAGO STREET | HEMLERGAARDE  
 STATUS: FINAL

**GENERAL NOTE:**  
 1. ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED.  
 2. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION DETAILS AND SPECIFICATIONS.  
 3. THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A CONTRACTUAL OBLIGATION.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL OPENING SIZES & DIMENSIONS TO MATCH EXISTING WORK.  
 5. ALL STRUCTURAL WORK IS TO BE DESIGNED, SPECIFIED & CHECKED BY A REGISTERED STRUCTURAL ENGINEER.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**izeneething**  
 architect studio  
 +27 82 840 3118  
 izeneething@gmail.com



<p><b>GENERAL NOTES:</b></p> <p>1. ALL DIMENSIONS APPLY TO ALL DIMENSIONS, UNLESS SPECIFICATIONS OR DETAIL SPECIFICATIONS REQUIRE OTHERWISE.</p> <p>2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.</p> <p>3. ALL MATERIALS TO COMPLY WITH ALL APPLICABLE SANS 600 SERIES STANDARDS UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.</p>	<p><b>CONTRACTOR'S RESPONSIBILITY:</b></p> <p>THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.</p>	<p>DESCRIPTION: SECTION A</p> <p>DRAWN: L.N.F. (2017/05/17)</p> <p>DATE: 2017/05/17 REV. A</p> <p>SCALE: AS INDICATED</p> <p>DRAWING NO: 2018-4</p>	
		<p>EXISTING TILE ROOF CONSTRUCTION CONFIRM ALL ON SITE</p> <p>EXISTING WALL CONSTRUCTION CONFIRM ALL ON SITE</p> <p>NEW ROOF SHEETING TO MATCH EXISTING ALL TO SANS 10400-1 AND W/STR'S SPECIFICATIONS</p> <p>NEW INFLATION AS PER SANS 10400-2/A</p> <p>ALL NEW CEILINGS TO MATCH EXISTING TO CONFIRM ALL ON SITE</p> <p>ALL NEW FASCIA, CUTTERS AND DOWNPIPES TO MATCH EXISTING</p> <p>ALL NEW BRICKWORK TO MATCH EXISTING ALL TO SANS 10400-K</p> <p>NEW 122 X 90mm SAPP GRACE B RAFTER @ MAX 1100mm OCC FASTENING MATERIALS TO BE QMS, ALL TO SANS 10400-1 + ENG SPEC</p>	<p>HOUSE DU PLESSIS</p> <p>MEASURED DRAWING</p> <p>REF. NO. 2018</p> <p>CLIENT: JOHN DU PLESSIS</p> <p>STATUS: MUNICIPAL &amp; BM</p>
		<p>EXISTING FLOOR CONSTRUCTION CONFIRM ALL ON SITE</p> <p>BATHRM. 01</p> <p>BRAAI</p> <p>STUDY</p> <p>EXISTING FOUNDATIONS CONFIRM ALL ON SITE</p>	<p>SECTION A-A   SCALE 1:50</p>
		<p>EXISTING TILE ROOF CONSTRUCTION CONFIRM ALL ON SITE</p> <p>EXISTING WALL CONSTRUCTION CONFIRM ALL ON SITE</p> <p>NEW ROOF SHEETING TO MATCH EXISTING ALL TO SANS 10400-1 AND W/STR'S SPECIFICATIONS</p> <p>NEW INFLATION AS PER SANS 10400-2/A</p> <p>ALL NEW CEILINGS TO MATCH EXISTING TO CONFIRM ALL ON SITE</p> <p>ALL NEW FASCIA, CUTTERS AND DOWNPIPES TO MATCH EXISTING</p> <p>ALL NEW BRICKWORK TO MATCH EXISTING ALL TO SANS 10400-K</p> <p>NEW 122 X 90mm SAPP GRACE B RAFTER @ MAX 1100mm OCC FASTENING MATERIALS TO BE QMS, ALL TO SANS 10400-1 + ENG SPEC</p>	<p>HOUSE DU PLESSIS</p> <p>MEASURED DRAWING</p> <p>REF. NO. 2018</p> <p>CLIENT: JOHN DU PLESSIS</p> <p>STATUS: MUNICIPAL &amp; BM</p>

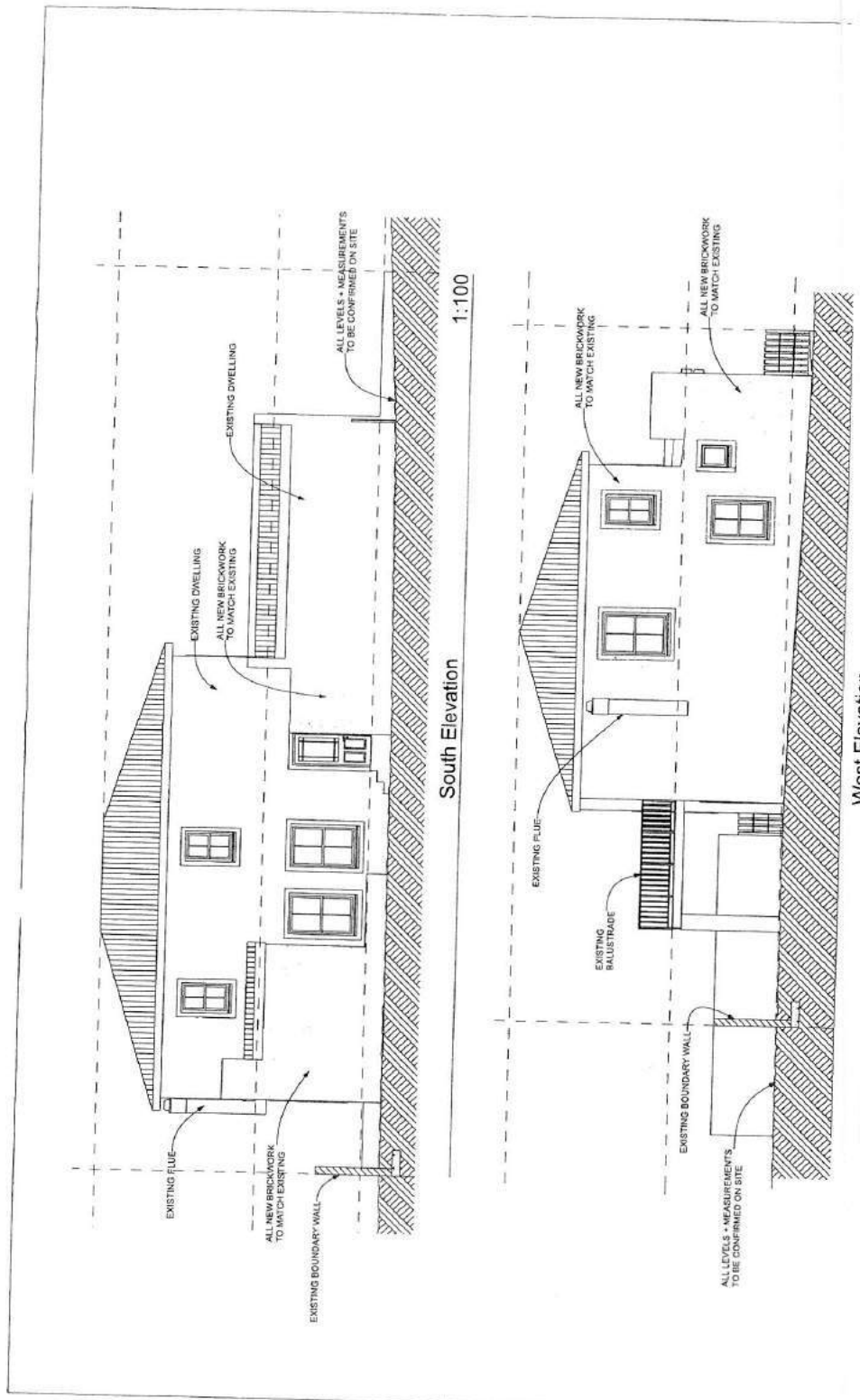


North Elevation  
1:100

East Elevation  
1:100

**GENERAL NOTE:**  
 1. ALL DIMENSIONS SHALL APPLY TO ALL DRAWINGS, DETAILS, SPECIFICATIONS & THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION AND SUPERVISION.  
 2. ANY SUPPLEMENTARY WORK SHALL BE SHOWN ON A SEPARATE DRAWING.  
 3. THIS DRAWING IS NOT TO BE SCALED. ONLY FIGURED DIMENSIONS TO BE USED.  
 4. ALL WORKING DRAWINGS SHALL BE CHECKED FOR ALL OPENING SIZES & DIMENSIONS, MANY FACTORS INFLUENCE THE FINAL ACTUAL WORKING DRAWING. THIS REQUIREMENT SHALL NOT BE IN CONFLICT WITH ANY LOCAL, NATIONAL OR INTERNATIONAL REGULATIONS.  
 5. ALL STRUCTURAL WORKS SHALL BE CHECKED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO THE ARCHITECT'S SIGNATURE.  
 6. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS, DETAILS, SPECIFICATIONS & CROSS CHECKING ALL BUILDING DIMENSIONS DURING THE CONSTRUCTION PHASE.  
 7. ALL STRUCTURAL WORKS SHALL BE CHECKED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO THE ARCHITECT'S SIGNATURE.  
 8. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL LEVELS & SLOPES AND THE STRUCTURAL ENGINEER IS TO BE CALLED OUT IN WRITING TO CORRECT ANY DIMENSIONS AND THE STABILITY TO BE CERTIFIED BY THE STRUCTURAL ENGINEER UPON COMPLETION OF THE WORK.

<p>COMPILED BY: ARCHITECTURAL TECHNOLOGIST, THE INSTITUTE OF ARCHITECTURAL TECHNOLOGISTS                  DRAWN BY: ARCHITECTURAL TECHNOLOGIST, THE INSTITUTE OF ARCHITECTURAL TECHNOLOGISTS                  DATE: 20/11/2019                  SCALE: AS INDICATED                  DRAWING NO: 81865</p>	<p>DESCRIPTION: ELEVATIONS                  DRAWN: N.F. (PLOT 2415 0719)                  DATE: 20/11/2019                  SCALE: AS INDICATED                  DRAWING NO: 81865</p>
<p>HOUSE DU PLESSIS                  537-402-0310                  CLIENT: JOHN DU PLESSIS                  1 PLUMARCO STREET HEMEL-EN-VAARDE</p>	
<p>lizeneething                  architech studios                  +27 82 940 3118</p>	



**South Elevation**  
1:100

**West Elevation**  
1:100

**GENERAL NOTE:**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. THE DRAWING IS NOT TO BE SCALED. ONLY DIMENSIONS TO BE USED.
3. ALL MATERIALS TO BE USED MUST BE OF THE HIGHEST QUALITY AND MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
5. ALL STRUCTURAL WORK IS TO BE DESIGNED, DETAILLED, SPECIFIED & APPROVED BY A REGISTERED STRUCTURAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**DESCRIPTION: ELEVATIONS 2**  
**DRAWN: L.N.P. (P&AT 2625 0719)**  
**DATE: 2017/05/17 BELVA**  
**SCALE: AS INDICATED**  
**DRAWING NO: 83616**

**PROJECT:**  
 THIS DRAWING IS REFERRED TO AS THE ARCHITECTURAL TECHNOLOGIST'S DRAWING AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE ARCHITECTURAL TECHNOLOGIST'S PERMISSION.

**HOUSE DU PLESSIS**  
**MEASURED DRAWING**  
**STR. NO. 0000**  
**CLIENT: JOHN DU PLESSIS**

**lizeneething**  
 architect studio  
 +27 82 940 3118  
 lizeneething.co.za

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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Municipal Planning Tribunal

**1. ERF 966, 73 MAIN ROAD, SANDBAAI : APPLICATION FOR CONSENT USE (RESTAURANT) : MESSRS PLAN ACTIVE ON BEHALF OF CK LAU**

**966 HSB (3845)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**19 June 2018**

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**Executive Summary**

An application for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to conduct a restaurant from the existing building on Erf 966, Sandbaai has been received on 10 November 2017 from Messrs Plan Active on behalf of CK Lau.

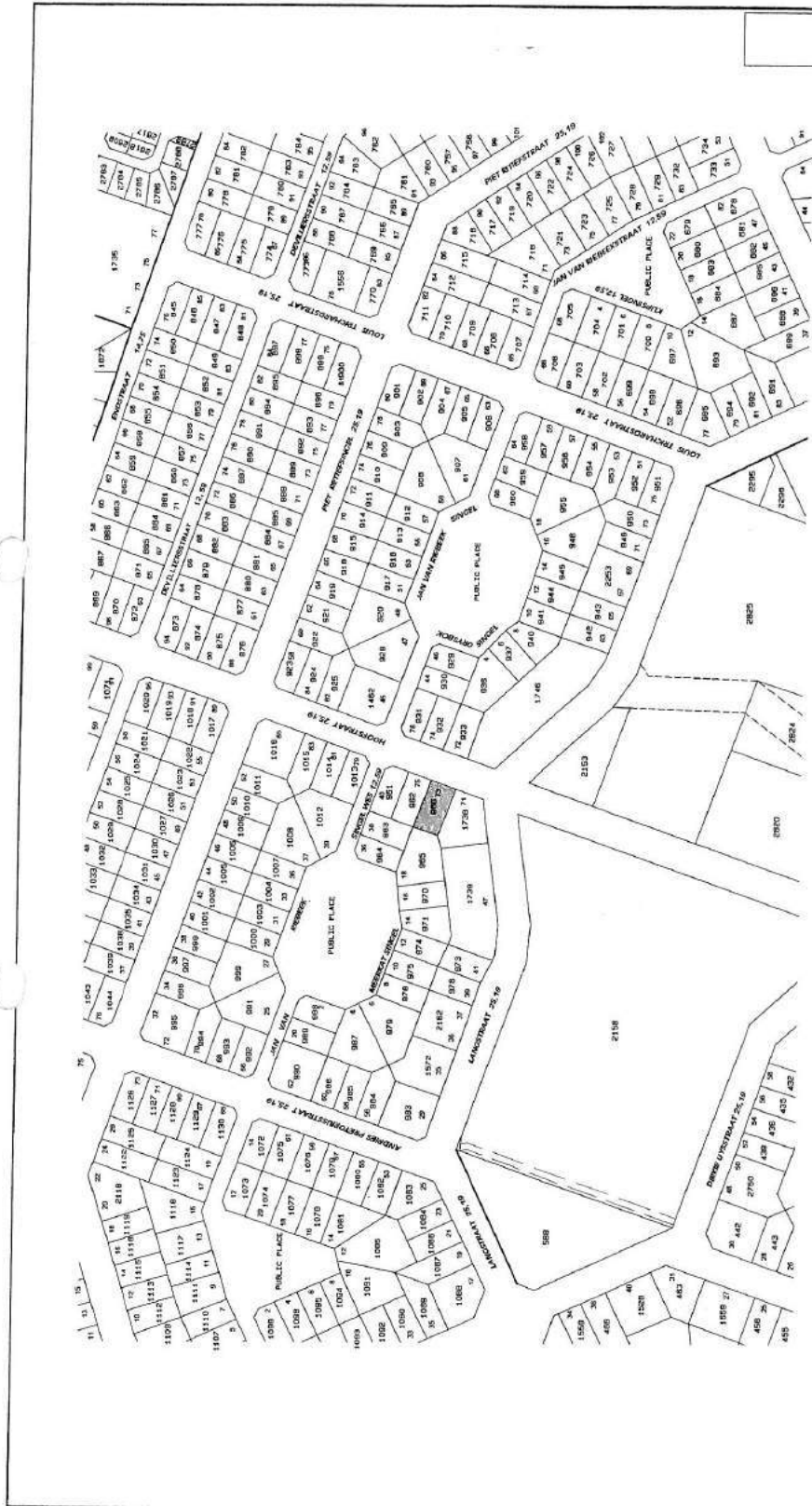
**RESOLVED :**

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a consent use to operate a restaurant from Erf 966, Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law, be subject to the following conditions:
  - (a) that the parking area be in accordance with plan no. sand966b.drw dated 10/2017;
  - (b) that the parking area, as per the parking layout, be of a hard surface, be permanently and clearly demarcated and maintained by the landowner/s – no on-street parking is allowed for guests;
  - (c) that a proper direction sign for the parking area be placed at the access point of the property;
  - (d) that all the relevant conditions of Engineering Services and the Fire Department be complied with;
  - (e) that building plans be submitted to the Building Department for approval and that all comments from the Fire and Building Departments be complied with at that stage;
  - (f) all signage on the property is subject to the approval by the Building Department;
  - (g) that the selling or serving of liquor on the premises is subject to the landowner/s obtaining the necessary liquor licence;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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- (h) that the restaurant complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
  - (i) that the necessary Certificate/s of Acceptability be obtained from the Overberg District Municipality;
  - (j) that this approval does not absolve the applicant from compliance with any other relevant legislation; and
  - (k) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



**PLAN** Active  
Stads- en Streeksbeplanners  
Town & Regional Planners

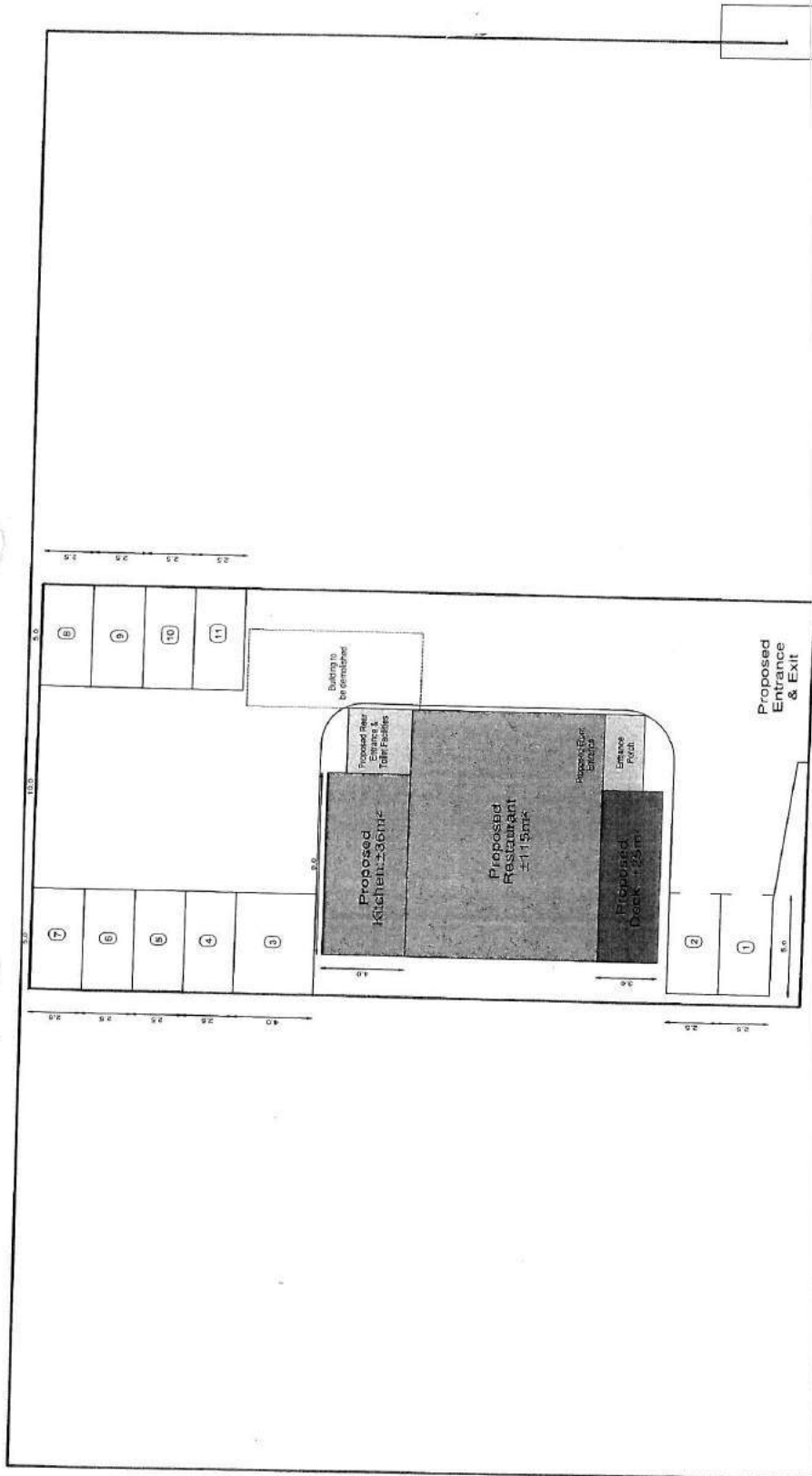
All distances approximate  
and subject to survey.  
COPY RIGHT RESERVED

Property Description:  
**ERF 966  
SANDBAAI**

Plan Description:  
**LOCALITY MAP**

Scale: **NTS**  
Drawing Nr: **sandbaai.drw**  
Date: **11/2017**





**PLAN** Stads- en Streeksbeplanners  
**Active** Town & Regional Planners

All distances approximate and subject to survey.  
 COPY RIGHT RESERVED

Property Description:  
**ERF 966  
 SANDBAAI**

Plan Description:  
**PROPOSED  
 SITE PLAN**

Scale: **1:250**  
 Drawing Nr: sand966b.drw  
 Date: 10/2017

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 966, SANDBAAI (3845)**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water connection and sewer septic tank will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that, as it is noted that the parking layout as proposed in the application does not appear to be practical, it is recommended that the parking layout be revised and that a revised parking layout, that conforms to the requirements as set out in the Guidelines for Engineering Services Townships (Red Book), be submitted for written approval prior to approval of the application;
7. that stormwater be allowed to discharge through Erf 966, Sandbaai, unobstructed;
8. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

02/2/2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**2. ERF 5, 12 SMUTS STREET, DE KELDERS : PROPOSED CONSENT USE :  
MESSRS HUGO CARSTENS ATTORNEYS ON BEHALF OF SW VIETZE &  
ABJ GOMEZ**

**5 GDK (3835)**

**P Roux**

**12 July 2018**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application was received from Messrs Hugo Carstens Attorneys on behalf of SW Vietze and ABJ Gomez for consent use in terms of Section 162)(o) the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to establish a tourist accommodation facility (self-catering) on the property.

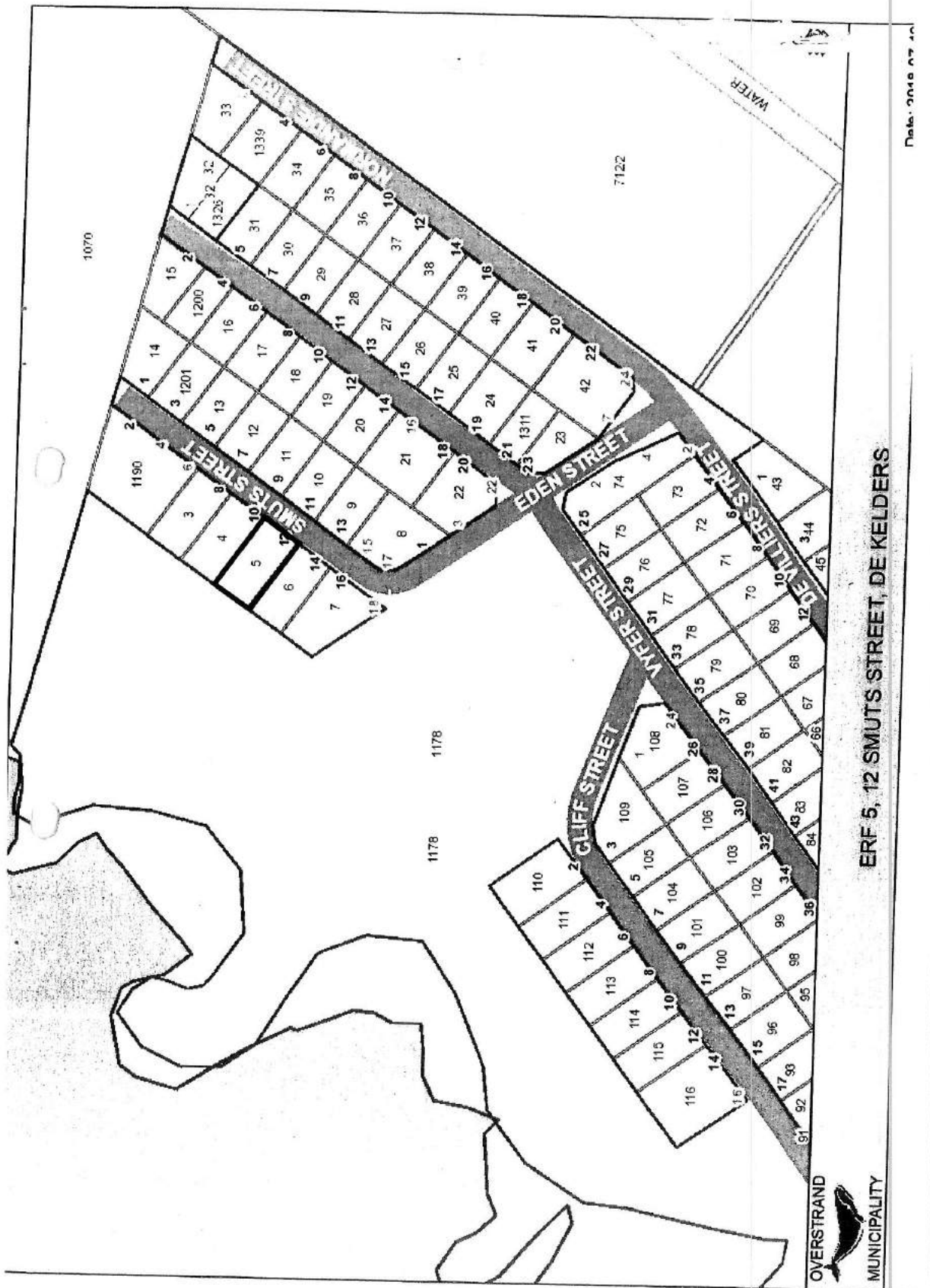
**RESOLVED :**

1. that, the application for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), on Erf 5, De Kelders in order to establish a tourist accommodation facility (self-catering) on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
  - (a) that a building plan be submitted to the Building Department for approval;
  - (b) that approval is only for the renting of the dwelling on a self-catering basis to two (2) people per room, to a single family, and limited to the utilization of two bedrooms for the guests;
  - (c) that all other structures comply with the relevant Zoning Scheme Regulations and title deed restrictions;
  - (d) that applicable rates and service tariffs, as determined by the annual budget be made applicable which tariffs are automatically adjusted in terms of the annual budget;
  - (e) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
  - (f) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises;
  - (g) that all the conditions in the Services Report be adhered to;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

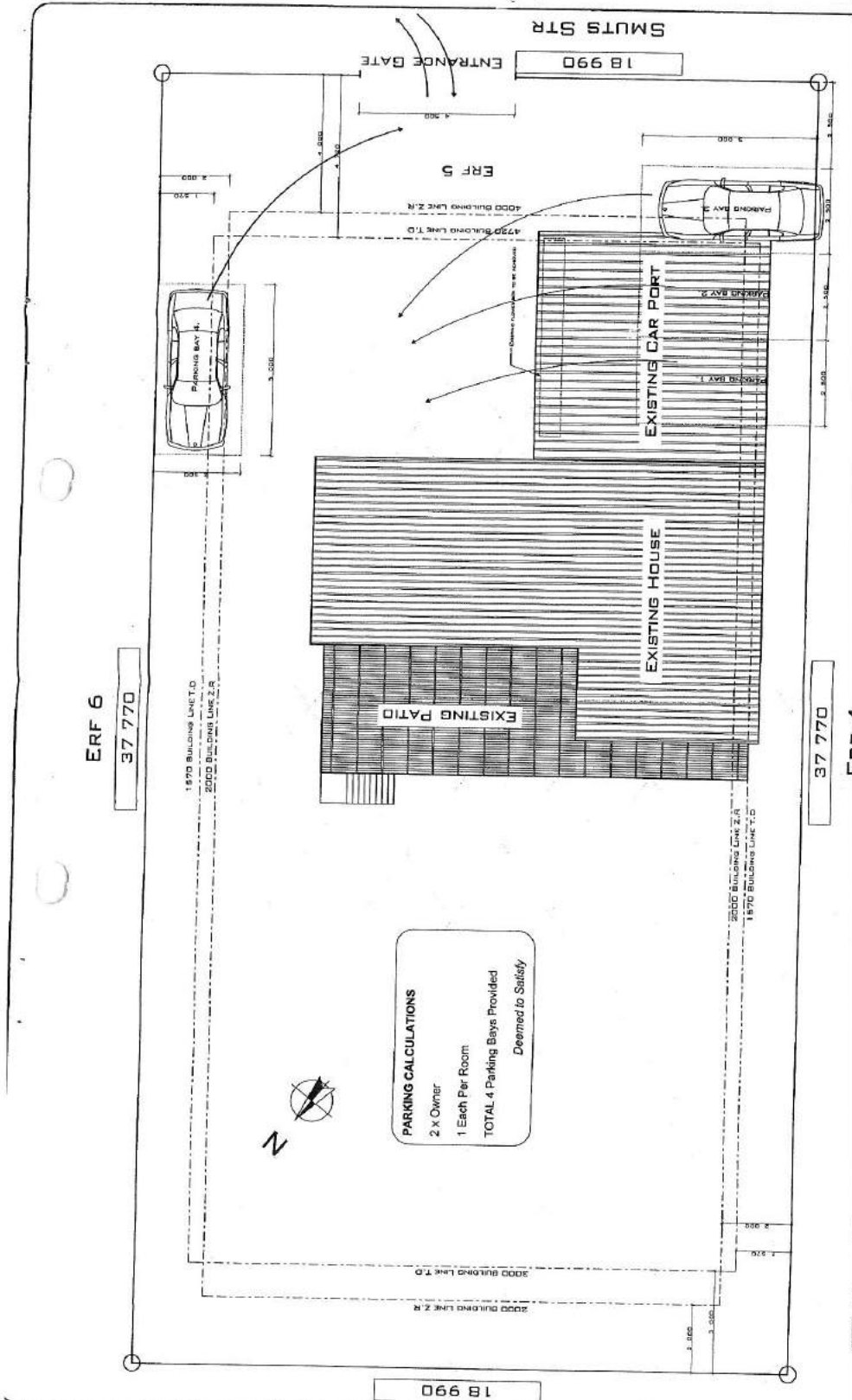
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- (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with; and
  - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ERF 5, 12 SMUTS STREET, DE KELDERS

Date: 2016 07 20

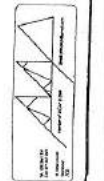


**PARKING CALCULATIONS**  
 2 x Owner  
 1 Each Per Room  
**TOTAL 4 Parking Bays Provided**  
*Deemed to Satisfy*

**SITE DEVELOPMENT PLAN**  
 SCALE 1:100

**HOUSE GOMEZ**  
 ERF 5 DE KELDERS  
 SITE DEVELOPMENT PLAN

**PROJECT DETAILS**  
 PROJECT NO. CS 1117  
 CLIENT MR GOMEZ  
 DESCRIPTION SITE DEVELOPMENT PLAN  
 DRAWING NO. CS D1



DATE	DESCRIPTION

**LOCATION**  
 ERF 5  
 STREET  
 DR. KELDERS  
 7590



1. Die tekening is 'n ontwerp vir 'n nuwe gebou.  
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 4. Die tekening is 'n ontwerp vir 'n nuwe gebou.  
 5. Die tekening is 'n ontwerp vir 'n nuwe gebou.

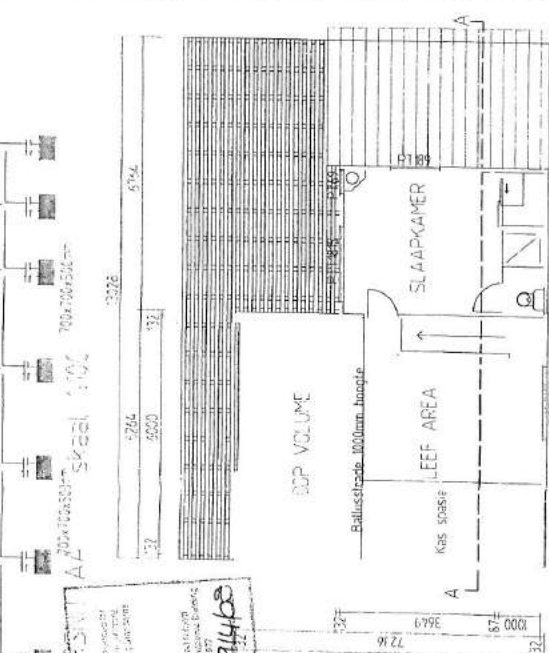
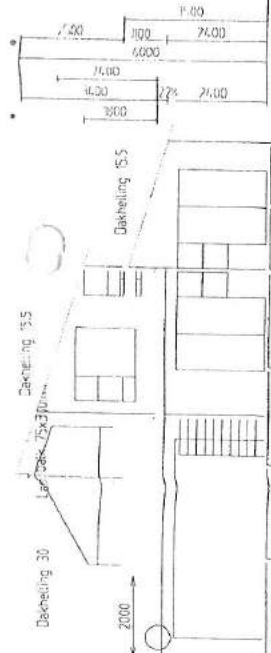
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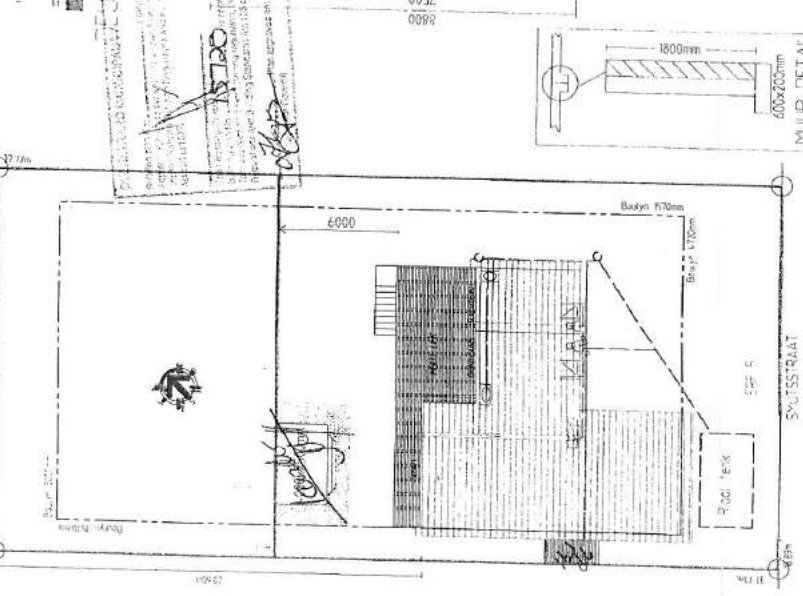
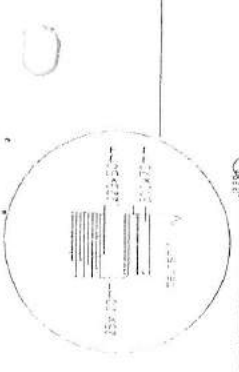
OPPERVLAKTE  
 VOORGESTELDE WOOINIS 80,80 m<sup>2</sup>  
 LOFT/LEEFAREA 65,74 m<sup>2</sup>  
 TOTAAL 146,54 m<sup>2</sup>  
 MOTOR AFJAK 30,20 m<sup>2</sup>  
 COP HOOT DEK 33,84 m<sup>2</sup>

**WFO** WOONBOU  
 COEFMEG & JANSBAA  
 TEL: 06 423 6574  
 FAX: 06 423 6574



ERREPLAN		Skaal 1:200	
32	6000	7115	87 300
32	3913	47	2000 132
	4264		3632
			9996

GRONDPLAN/LOFT Skaal 1:100  
 VOORGESTELDE WOOINIS VIR 'N REEN  
 S. VETZE OP ERF 5, GELÉE DE SMUTS  
 STRAAT, DE KELDERS.  
 Die tekening deur Wilmien Groenier SKAAL 1:100, 1:200  
 SWA-P-SA REJ. NO. D0375



TERREINPLAN Skaal 1:200  
 SWA-P-SA REJ. NO. D0375



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 5, DE KELDERS (3835)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water connection and sewer conservancy tank will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 5, De Kelders, unobstructed;
6. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

25/4/2018  
DATE

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

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**3. ERVEN 42, 43, 44 AND 45, CHURCH STREET, HAWSTON, OVERSTRAND MUNICIPAL AREA : CONSOLIDATION, SUBDIVISION, REZONING AND CONSENT USE : MESSRS WRAP ON BEHALF OF ST ANDREWS CHURCH**

**42 – 45 HHW (3676)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**1 August 2018**

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**Executive Summary**

An application has been received on 11 May 2017 from Messrs WRAP on behalf of St Andrews Church on Erven 42, 43, 44 and 45, Hawston for the following:

- Application in terms of Section 16(2)(c) of the Overstrand Municipality By-Law on Land Use Planning, 2015 for the consolidation of Erven 42, 43, 44 and 45 to create a consolidated erf of approximately 15360m<sup>2</sup>.
- Application in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Land Use Planning, 2015 to subdivide the newly created consolidated erf to create a new Portion A of approximately 5024m<sup>2</sup> and a Remainder (which will be split into two (2) portions measuring approximately 5264m<sup>2</sup> and 5072m<sup>2</sup> each).
- Application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Land Use Planning, 2015 to rezone the newly created Portion A from Residential Zone I : Single Residential to Community Zone I : Community Facilities.
- Application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Land Use Planning, 2015 for a consent use to accommodate an institution (existing safe house) and an existing dwelling house on Portion A.

**RESOLVED :**

1. that the application in terms of Section 16(2)(c) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for the consolidation of Erven 42, 43, 44 and 45, Hawston to create a consolidated erf of approximately 15 360m<sup>2</sup>, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(d) of the said By-Law to subdivide the newly created consolidated erf into a new Portion A of approximately 5 024m<sup>2</sup> and a Remainder of approximately 1,0336ha, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the  
Portfolio Committee : Infrastructure & Planning  
23 October 2018  
(Also the agenda for the Mayoral Committee Meeting : 31 October 2018)**

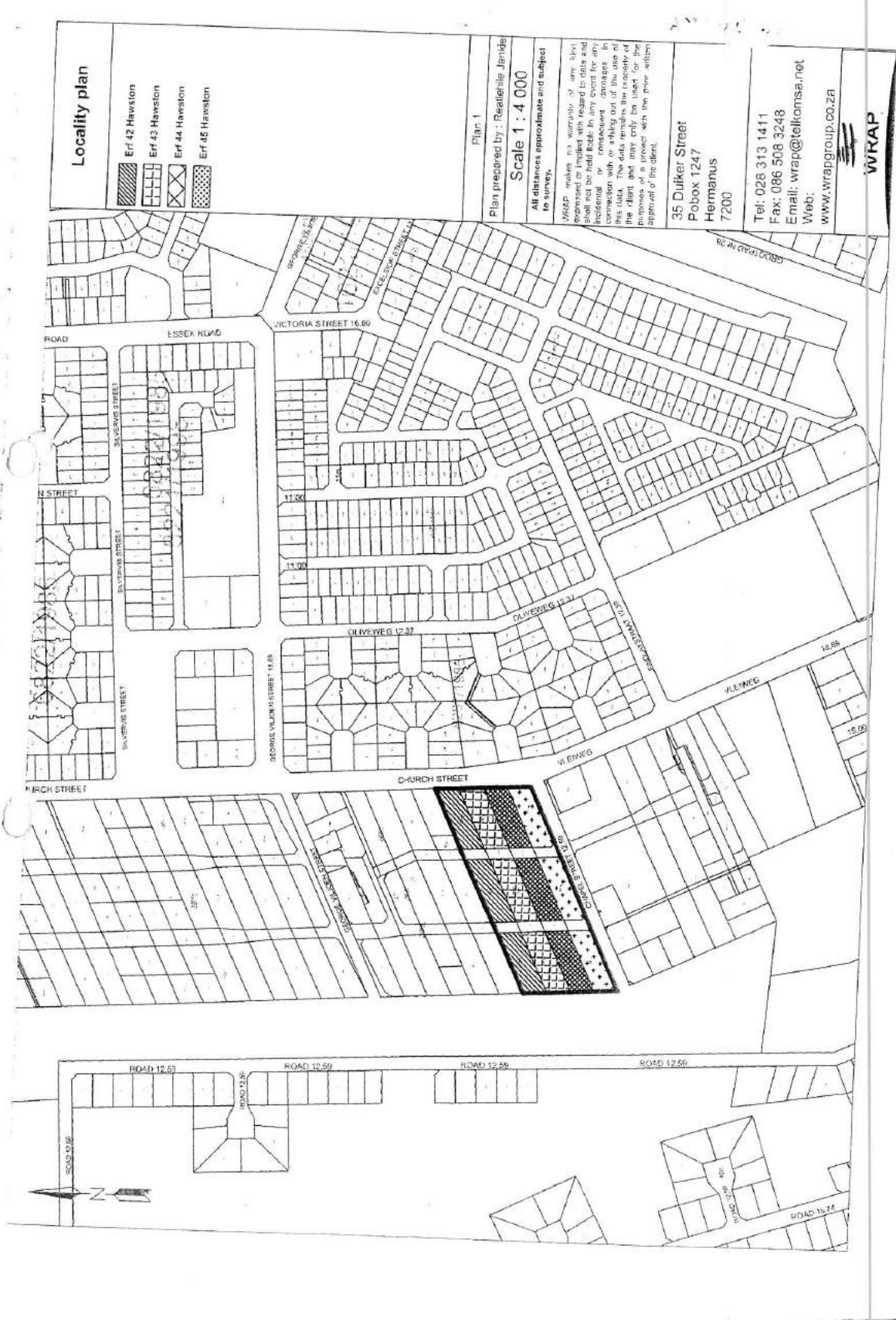
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3. that the application in terms of Section 16(2)(a) of the said By-Law to rezone the newly created Portion A to Community Zone I: Community Facilities, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(o) of the said By-Law for a consent use to accommodate an institution (existing safe house) and an existing house on Portion A, **be approved** in terms of the provisions of Section 61 of the By-Law;
5. that the above-mentioned approvals in point 1 to 4 above be subject to the following conditions:
  - (a) that a revised subdivision plan be submitted showing the former road portions included in one (1) larger Remainder portion for residential purposes, with access and service servitudes over the area that were indicated as road portions on the previous road planning;
  - (b) that the access and service servitudes be registered over and against the Title Deed of the Remainder erf, in line with the previous road planning area (as indicated in the subdivision plan mentioned in Condition (a) above), in favour of the general public;
  - (c) that it be registered against the Title Deed of the Remainder that development of the property will only be allowed if approval thereof is granted in terms of all relevant environmental legislation;
  - (d) that the approval does not absolve the owner/applicant from compliance with any other relevant legislation;
  - (e) that all conditions in the Services Report be complied with;
  - (f) that the three (3) electrical service connections on Portion A must be consolidated into one (1) three (3) phase 60Amp service connection with one (1) metering point, at the cost of the owner/applicant to the satisfaction of the Municipal Electrical Department;
  - (g) that all the conditions of Telkom be complied with;
  - (h) that all the conditions of BOCMA be complied with;
  - (i) that all the conditions of the Fire Department be complied with, and
  - (j) that all the conditions of Heritage Western Cape be complied with.





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6. that the applicant and Cape Nature be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



**Locality plan**

 Erf 42 Hawston  
 Erf 43 Hawston  
 Erf 44 Hawston  
 Erf 45 Hawston

Plan 1  
 Plan prepared by: Reetlelie Janjies

Scale 1 : 4 000

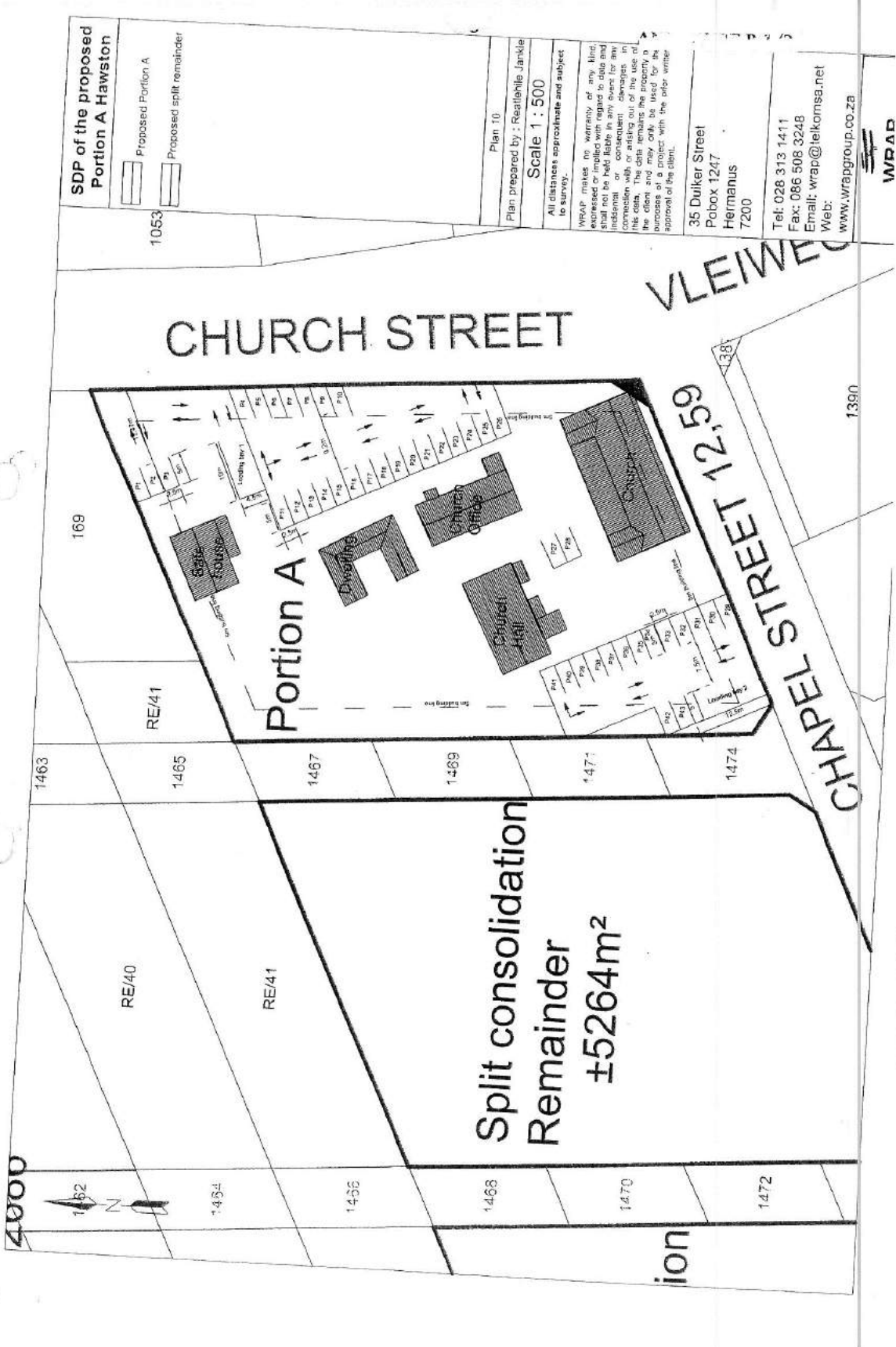
All distances approximate and subject to survey.

WRAP makes no warranty of any kind and shall not be liable in any event for any accident or damage in connection with or arising out of this data. The data remains the property of the client and may only be used for the purposes of a project with the prior written approval of the client.

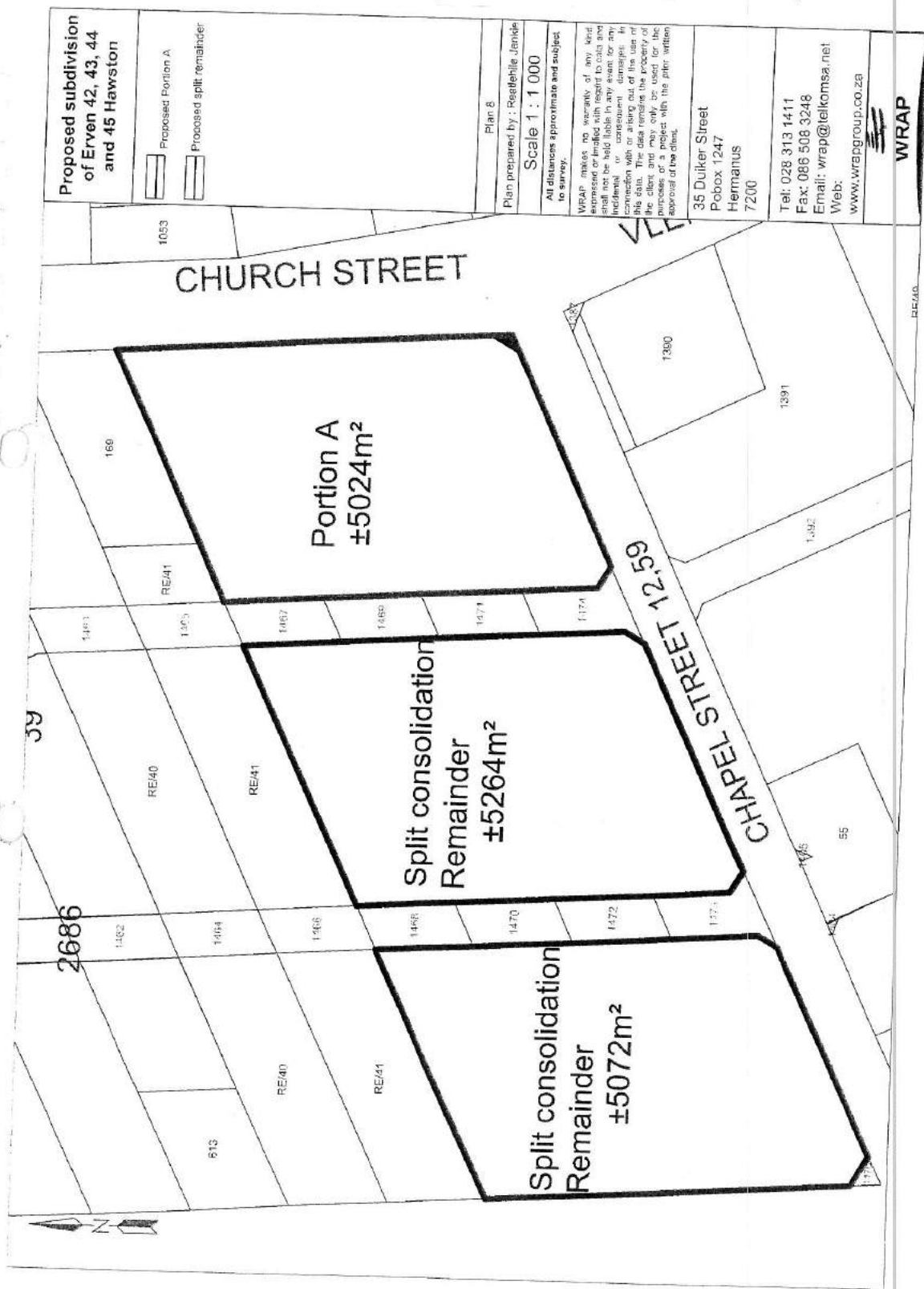
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSOLIDATION, SUBDIVISION, REZONING & CONSENT  
USE: ERVEN 42, 43, 44 & 45, HAWSTON (3676)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	See Conditions 3 & 4
Roads and traffic	:	In Order

**Conditions:**

1. that the existing water connection to Erf 45 shall be used to service the proposed consolidated erf indicated as Portion A;
2. that in order to provide water services to the split consolidation (+/- 5246m<sup>2</sup> and +/- 5072m<sup>2</sup>) the municipal water network must be extended to service the proposed split consolidation. Services plan w.r.t extension of the municipal water network must be submitted for municipal approval prior to development. All costs will be for the owners account;
3. that the existing sewer conservancy tank on Erf 45 shall be used to service the proposed consolidated erf, and all existing sewer services on the proposed consolidated erf must be connected to the tank on Erf 45;
4. that as there is currently no municipal sewer network in the vicinity, the split consolidation (+/- 5246m<sup>2</sup> and +/- 5072m<sup>2</sup>) must each be provided with individual sewer conservancy tanks, which must comply with the standards of the Department: Operational Services (Hermanus), and to which the sewer services on the split consolidation must connect to;
5. that, the three service connections on Portion A have to be consolidated into one 3 phase 60 Amp service connection with one metering point. The distribution of electricity and the sub metering to the existing building on Portion A must be done by the new owner of Portion A. The two remaining portions say B and C will each then be entitled to its own single phase 60 Amp service connection;
6. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P: 2010: Drainage;
7. that access to the proposed consolidated erf consisting of Erven 42, 43, 44 & 45 can be obtained via the existing access from Church Street;
8. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;

9. that the proposed development on Portion A must be provided with a central refuse collection facility, which must comply with the standards of the Department: Operations (Hermanus);
10. that stormwater be allowed to discharge through the proposed erven, Hawston, unobstructed;
11. that no on-street parking be allowed.

  
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**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

20/3/2018  
DATE