

**PORTFOLIO COMMITTEE :**

**INVESTMENT & INFRASTRUCTURE**

**Chairperson :**

**Cllr C Lerm**

**Committee Members :**

**Cllr M Nomatiti, Ald R de Coning,  
Cllrs M Sihlahla & V Bandeza**

# INVESTMENT & INFRASTRUCTURE PORTFOLIO COMMITTEE

2 February 2022

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**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**1.  
TOWN & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS  
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2021 –  
JANUARY 2022**

15/3/11

R Kuchar

Senior Manager : Town & Spatial Planning

13 January 2022

(028) 313 8900

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**1. Executive Summary**

To report on applications disposed of by the Authorised Official and Municipal Planning Tribunal in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 27 October 2021 – 13 January 2022.

**2. Service Delivery and Budget Implementation Plan - IGNITE**

Infrastructure and Planning  
Town- and Spatial Planning

**3. Compliance with Strategic Priority**

Promotion of tourism, economic and social development

**4. Delegated Authority**

Executive Mayor

**5. Legal Requirements**

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

**6. Background/Discussion/Evaluation/Conclusion**

**Background**

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

**7. Financial Implications**

None

**8. Staff Implications**

None

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**9. Comments from other Departments, Divisions and Administrations**

None

**10. Annexures**

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

**RECOMMENDATION:**

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 27 October 2021 – 13 January 2022:

- |     |   |                  |
|-----|---|------------------|
| 1.  | Remainder Erf 496, 2 Gulley Road, Pringle Bay   | 3 November 2021  |
| 2.  | Erven 1-10, 12, 14-18, 20-58, 61-64, 67-69, 71, 72, 74, 76-82, 84-86, 88-93, 95-97, 99-103, 105-128, 130, 132-142, 188, Meerenbosch | 8 November 2021  |
| 3.  | Portion 20 (Portion of Portion 12) Fransche Kraal No 708  | 11 November 2021 |
| 4.  | Erf 436, 22 Caledon Street, Stanford  | 11 November 2021 |
| 5.  | Erf 4164, 316 Eighth Street, Voëlklip, Hermanus   | 11 November 2021 |
| 6.  | Erf 6078, 44 Moffat Street, Eastcliff, Hermanus   | 11 November 2021 |
| 7.  | Erf 1201, corner Van Dyk Street and Divisional Road 1214, Van Dyksbaai  | 12 November 2021 |
| 8.  | Erf 7967, 122 Fourth Avenue, Kleinmond  | 12 November 2021 |
| 9.  | Erf 2052, 19 Rotunda Way, Pearly Beach  | 16 November 2021 |
| 10. | Erf 303, 59 Kus Road, Gansbaai  | 16 November 2021 |
| 11. | Erf 2183, 14 King Street, Onrustrivier  | 6 December 2021  |
| 12. | Erf 8066, 12 Blue Crane Street, Hemel & Aarde Estate, Hermanus  | 6 December 2021  |
| 13. | Erf 5696, 152 Tenth Street, Voëlklip, Hermanus  | 10 December 2021 |
| 14. | Erf 1094, 102, Vyfer Street, De Kelders   | 10 December 2021 |
| 15. | Erf 2730, 11 Blougans Street, Perlemoenbaai   | 20 December 2021 |
| 16. | Erven 3505 and 9899, 229 Eleventh Street, Voëlklip, Hermanus  | 20 December 2021 |
| 17. | Erf 7748, 28 Blue Bell's Crescent, Mount Pleasant   | 23 December 2021 |
| 18. | Erven 3505 and 4836, 15 & 13 Ted Wood Road, Onrustrivier  | 23 December 2021 |
| 19. | Erf 2174, 3 Franklin Close, Franklin Heights, Vermont   | 23 December 2021 |
| 20. | Erf 4958, 13 Black Eagle Street, Onrustrivier   | 23 December 2021 |
| 21. | This item was removed : duplicate of Item 3   |                  |
| 22. | Erf 2062, 52 Sixth Street, Voëlklip, Hermanus   | 29 December 2021 |
| 23. | Erf 2265, 32 Kleine Street, Stanford  | 29 December 2021 |
| 24. | Erf 5, 9 Riverside Drive, Fisherhaven   | 30 December 2021 |

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- |     |  |                  |
|-----|--|------------------|
| 24. | Erf 5, 9 Riverside Drive, Fisherhaven  | 30 December 2021 |
| 25. | Erf 1753, 22A Gannet Road, Vermont   | 30 December 2021 |
| 26. | Remainder of farm Glenfruin No 578 and Portion 1 (Jackals Dans) of the farm Belsvlei No 830, Caledon Division  | 30 December 2021 |
| 27. | Remainder Portion 102 of Farm 587 and Portion 105 of Farm No 587 Hemel en Aarde Valley, Caledon Division       | 30 December 2021 |
| 28. | Erf 3079, 70 DF Malherbe Street, Kleinmond   | 30 December 2021 |
| 29. | Portion 76 (portion of Portion 4) of the farm Hermanus River No 542, Arabella Country Estate, Caledon Division | 30 December 2021 |

that cognisance be taken of the town planning applications disposed of by the Municipal Planning Tribunal in terms of SPLUMA that took place on 27 October 2021, 30 November 2021, 12 November 2021 and 15 December 2021:

- |     |  |                  |
|-----|--|------------------|
| 1.  | Erf 45, 8 Onse Baai, Van Dyksbaai  | 27 October 2021  |
| 2.  | Erf 1132, Hawston Secondary School, Hawston  | 27 October 2021  |
| 3.  | Portion 4 (portion of Portion 1) of farm Klein Rivier Kloof No. 660, Caledon Division        | 27 October 2021  |
| 4.  | Erf 6180, 8 Harbour Road, Kleinmond  | 27 October 2021  |
| 5.  | Erf 3456, 4 Straight Street, Betty's Bay   | 27 October 2021  |
| 6.  | Portion 8 of the farm De Draay No 563  | 27 October 2021  |
| 7.  | Portion 2 (a portion of Portion 1) (Old Oak) of the farm Oude Bosch No 637, Caledon Division | 12 November 2021 |
| 8.  | Remainder Farm No 700 (Blomeris), Caledon Division   | 30 November 2021 |
| 9.  | Portion 13 of farm De Draay No 563   | 30 November 2021 |
| 10. | Portion 94 of Farm 587, Hemel-en-Aarde Valley  | 30 November 2021 |
| 11. | Portion 11 of Farm 587, Hemel-en-Aarde Valley  | 30 November 2021 |
| 12. | Erven 7286 and 7287, 2 Albertyn Street & 1 Marine Drive, Westcliff, Hermanus                 | 15 December 2021 |
| 13. | Portion 164 of the farm Baardscheerders Bosch No 213, Bredasdorp Division                    | 15 December 2021 |
| 14. | Erf 47, 36 Van Bloemenstein Street, Birkenhead   | 15 December 2021 |
| 15. | Erf 1619, 9 Caesar Road, Pringle Bay   | 15 December 2021 |

**RESPONSIBLE OFFICIAL :**

**L SMUTS**

**TARGET DATE FOR IMPLEMENTATION :**

**7 MARCH 2022**

**TARGET DATE TO INFORM APPLICANT :**

**N/A**

**TARGET DATE TO INFORM OBJECTOR :**

**N/A**

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**1.  
TOWN & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS  
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2021 –  
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**15/3/11**

**R Kuchar**

**Senior Manager : Town & Spatial Planning**

**13 January 2022**

**(028) 313 8900**

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**(ITEM 21 WAS REMOVED FROM THE AGENDA AS IT WAS A DUPLICATE OF ITEM  
3)**

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON  
2 FEBRUARY 2022, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

**RESPONSIBLE OFFICIAL :**

**L SMUTS**

**TARGET DATE FOR IMPLEMENTATION :**

**7 MARCH 2022**

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Spatial Land Use Management Act (SPLUMA) Approvals

1. **REMAINDER ERF 496, 2 GULLEY ROAD, PRINGLE BAY, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS, REZONING AND SUBDIVISION: MESSRS PLAN ACTIVE ON BEHALF OF A AND JA COLQUHOUN**

**496 KPRB (3486/2019)**

**H van der Stoep**

**27 September 2021**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application was received on 1 November 2019 from Messrs Plan Active on behalf of A & AJ Colquhaun applicable to the Remainder Erf 496, Pringle Bay for the following:

- ❖ Removal of Restrictive Title Deed Conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Land Use Planning, 2015 for the removal of restrictive title deed Conditions 2.(d) and 5.(b) as contained in Title Deed T37359/2019 to permit the proposed application.

*The restrictive title deed conditions read as follows:*

*"2. ENTITLED to the benefit of the conditions referred to in the Servitude Endorsement dated 24 June 1940 on Certificate of Consolidated Title No. 3720/1937, which reads as follows:*

*"By Deed of Transfer No. 6068/40 dated 24/6/40 certain conditions relating to (a) ..... (b) prohibition of Petrol Station on land (c) ..... (d) wood and iron buildings (e) slaughter poles, cattle kraals and manufacture of bricks, tiles etc., have been imposed on the property thereby conveyed for the benefit of the owner and its successors in title of the remainder as will more fully appear on reference to the said Deed of Transfer."*

*"5. As being in favour of the registered owner of any erf in the Township*

*(a) .....*

*(b) No wood or iron buildings of any description shall be erected on this erf nor shall corrugated iron be used for roofing purposes."*

- ❖ Rezoning in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Land Use Planning, 2015 to rezone the property from Undetermined Zone to Subdivisional Area Zone (SA).
- ❖ Subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Land Use Planning, 2015 to subdivide Remainder Erf 496, Pringle Bay into eight

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(8) Residential Zone 1 : Single Residential (SR1) portions and a Remainder. The Remainder portion to consist of existing two (2) Residential Zone 1: Single Residential (SR1) portions, a road portion (Transport Zone 2 : Road and Parking) and a public open space portion (Open Space Zone 2 : Public Open Space).

- ❖ Rezoning to a subdivisional area in terms of Section 22(2) of the Overstrand Municipality By-Law on Land Use Planning, 2015.

**RESOLVED:**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed Conditions 2.(d) and 5.(b) as contained in Title Deed T37359/2019 applicable to Erf 496, Pringle Bay to permit the proposed application, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(a) of the By-Law to rezone Erf 496, Pringle Bay from Undetermined Zone to Subdivisional Area Zone (SA), **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(d) of the By-Law to subdivide Remainder Erf 496, Pringle Bay into eight (8) Residential Zone 1 : Single Residential (SR1) portions and a Remainder. The Remainder portion to consist of existing two (2) Residential Zone 1: Single Residential (SR1) portions, a road portion (Transport Zone 2 : Road and Parking) and a public open space portion (Open Space Zone 2 : Public Open Space), **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 22(2) of the By-Law for the rezoning to a Subdivisional Area Zone (SA), **be approved** in terms of the provisions of Section 61 of the By-Law,
5. that the approvals in Points 1., 2., 3. and 4. be subject to the following conditions:
  - (a) that the approval is only for the subdivision as indicated on the Subdivisional Plan pringle496re-s2.drw, dated July 2019 as submitted with the application;
  - (b) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;

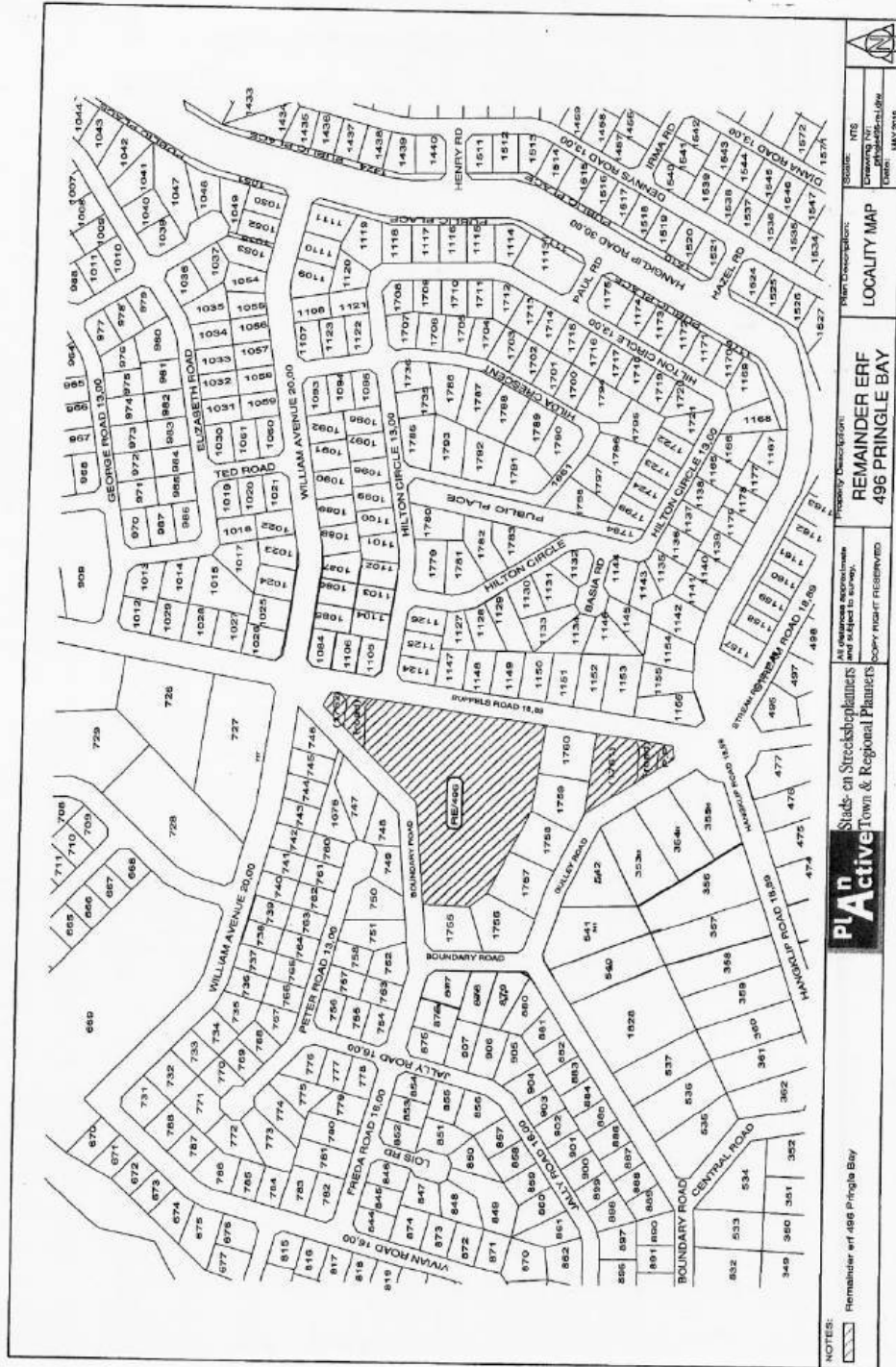
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- (d) that the conditions in the Services Report, be complied with;
6. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 regarding the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ None of the relevant departments have any objection.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ The development will also be sustainable as it will be integrated and make use of the space.
- ❖ The proposed development will not impact the natural environment.
- ❖ The proposed development will not negatively impact the surrounding property owners.



**NOTES:**

Remainder w/ 496 Pringle Bay

**PIA n ActiveTown & Regional Planners**

As prepared, accompanied and subject to survey. © 2017 PIA n. All rights reserved.

**REMAINDER ERF 496 PRINGLE BAY**

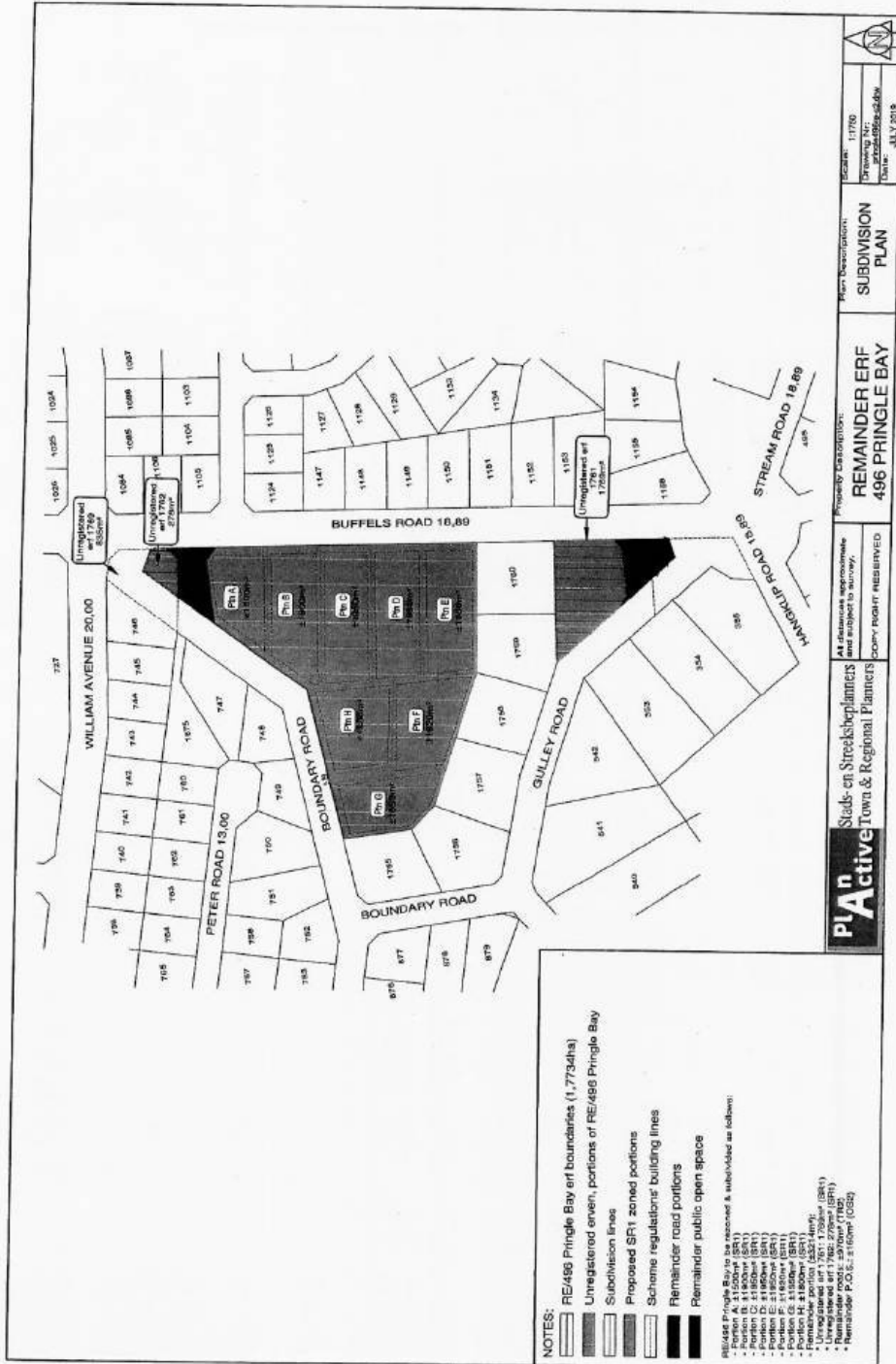
Plan Description: LOCALITY MAP

Scale: NTS

Drawing No: 01/14/2017

Client: PIA n

DATE: MAY 2019



**NOTES:**

- RE/496 Pringle Bay erf boundaries (1,7734ha)
- Unregistered erven, portions of RE/496 Pringle Bay
- Subdivision lines
- Proposed SR1 zoned portions
- Scheme regulations' building lines
- Remainder road portions
- Remainder public open space

RE/496 Pringle Bay to be rezoned & subdivided as follows:

- Portion A: 1,7734ha (SR1)
- Portion B: 1,1800ha (SR1)
- Portion C: 1,1800ha (SR1)
- Portion D: 1,1800ha (SR1)
- Portion E: 1,1800ha (SR1)
- Portion F: 1,1800ha (SR1)
- Portion G: 1,1800ha (SR1)
- Portion H: 1,1800ha (SR1)
- Unregistered erf 1731, 1732ha (SR1)
- Unregistered erf 1733, 1734ha (SR1)
- Remainder P.O.C.: 1,1800ha (SR1)
- Remainder P.O.C.: 1,1800ha (SR1)

**Plan** Slads-en Streekskiedplanners  
**Active** Town & Regional Planners

Plan Description:  
**SUBDIVISION PLAN**

Property Description:  
**REMAINDER ERF PRINGLE BAY 496**

Scale: 1:1750  
 Drawing No: 1733/1734/1735/1736/1737/1738/1739/1740/1741/1742/1743/1744/1745/1746/1747/1748/1749/1750/1751/1752/1753/1754/1755/1756/1757/1758/1759/1760/1761/1762/1763/1764/1765/1766/1767/1768/1769/1770/1771/1772/1773/1774/1775/1776/1777/1778/1779/1780/1781/1782/1783/1784/1785/1786/1787/1788/1789/1790/1791/1792/1793/1794/1795/1796/1797/1798/1799/1800  
 Date: 31.7.2019

All dimensions approximate and subject to survey.  
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED  
CONDITIONS, REZONING & SUBDIVISION: REMAINDER ERF 496,  
PRINGLE BAY**

Water	:	Refer to Conditions
Sewer	:	Refer to Conditions
Roads to traffic	:	Refer to Conditions
Stormwater	:	Refer to Conditions
Electricity	:	Eskom Area

**Conditions:**

1. that a development contribution be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. Payment to be made simultaneously but prior to transfer and rates clearance certificate being issued of any erf or prior to such erf being put to the approved use or such use being extended, as the case may be.

**The contribution according to the current policy (2020/2021) is as follows:**

Water	R 23 957.00	x 7	=	R 167 699.00
Sewerage	R 16 153.00	x 7	=	R 113 071.00
Roads	R 7 243.00	x 7	=	R 50 701.00
Solid Waste	R 1 448.00	x 7	=	<u>R 10 136.00</u>
<b>TOTAL (incl. VAT)</b>			=	<b><u>R 341 607.00</u></b>

Note:

- 1.2 **The above figures are estimates**
  - 1.3 **The above figures do not include evaluation/investigation levies and connection fees**
2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
    - 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided;

- 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
  - 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property:
  - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
  - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
  - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
  - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning:
  - 5.1 way-leaves must be obtained from the Operational Manager;

- 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
  - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
  - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
  - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;

12. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
13. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for works of Civil Engineering Construction – 2004, of 12 months, and
14. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
15. that the developer furnish the Council with a bank guarantee equal to 2.5% of the value of the provided municipal civil and electrical services as certified by the independent professional engineer/technologist. The guarantee shall be to the satisfaction of the Director: Infrastructure and Planning and valid for the 12 months maintenance period which commences from date of the Certificate of Completion;
16. that the electricity reticulation and supply be provided according to the master plan by the developer;
17. that the developer appoint a consulting electrical engineer to determine the electricity demand for the development and pay a fee to Overstrand Municipality to determine the capacity in the existing electricity network;
18. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
19. that each property should have their own water connection and conservancy tanks as per Municipal specification;

20. that the sewer conservancy tanks must be accessible to the municipal sewer tankers from one of the adjacent public roads, with parking areas for the sewer tankers provided with permanent surfaces and to the layout and specification of the Department: Operational Services;
21. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
22. that a service agreement may be required by the Director: Infrastructure and Planning prior to the approval of any service plans;
23. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer;

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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2. **ERVEN 1-10, 12, 14-18, 20-58, 61-64, 67-69, 71, 72, 74, 76-82, 84-86, 88-93, 95-97, 99-103, 105-128, 130, 132-142, 188, MEERENBOSCH, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDMENT OF ARCHITECTURAL GUIDELINES: F BOTHA ON BEHALF OF MEERENBOSCH HOMEOWNERS' ASSOCIATION**

**1-188 HMS**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**11 October 2021**

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**Executive Summary**

An application was received on 24 August 2020 from F Botha on behalf of Meerenbosch Homeowners' Association on Erven 1-10, 12, 14-18, 20-58, 61-64, 67-69, 71, 72, 74, 76-82, 84-86, 88-93, 95-97, 99-103, 105-128, 130, 132-142, 188, Meerenbosch in terms of Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 for the amendment of the standard house plan and regulations of Meerenbosch to accommodate the development proposal on the properties concerned.

The Guidelines include a Standard Plan and Regulations to be amended.

**RESOLVED:**

1. that the application in terms of Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 for the amendment of the existing Architectural Guidelines (Standard House Plan and Regulations) of Erven 1-10, 12, 14-18, 20-58, 61-64, 67-69, 71, 72, 74, 76-82, 84-86, 88-93, 95-97, 99-103, 105-128, 130, 132-142, 188, Meerenbosch to accommodate the development proposal on the properties concerned, **be approved** in terms of the provisions of Section 61.
2. that the updated plan October 2020 and updated Amended Regulations dated 21 December 2019 be the new approved Architectural Guidelines.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above decision.

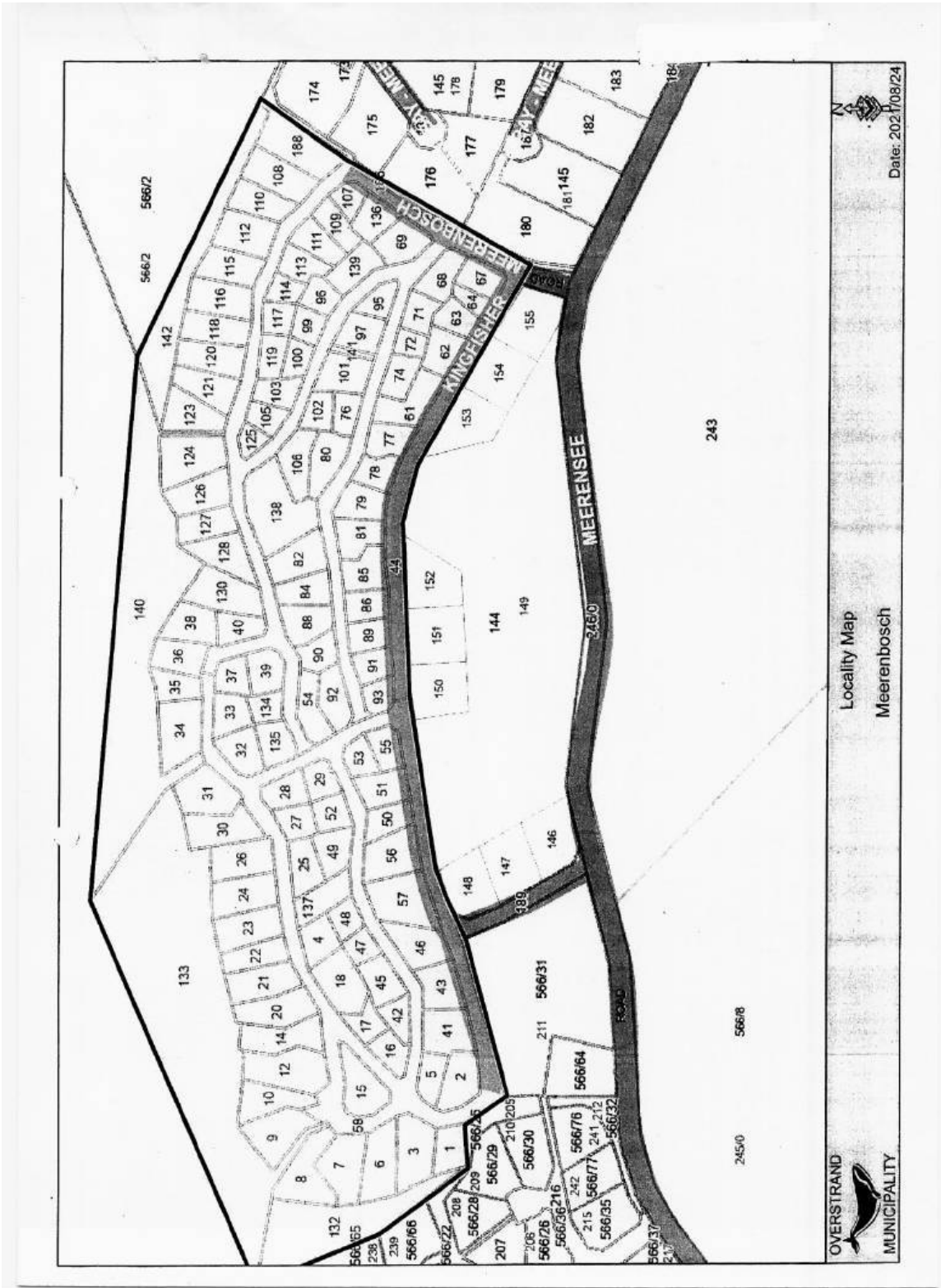
**REASONS FOR RESOLUTION**

- ❖ The Meerenbosch HOA at an AGM supported the amendments.
- ❖ No other objections or negative comments from municipal or state departments were received.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- ❖ The proposed changes are mostly within the existing footprint of the units and will not have an impact on the environment or character of the area.
- ❖ The application is in line with Planning Principles in that in a sustainable and efficient way units can be used more efficiently by utilizing the existing unit footprint and allow it in an affordable way.
- ❖ No objections were received from surrounding property owners.
- ❖ The application is desirable.



Locality Map  
Meerensbosch



Date: 2021/08/24

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## **AMENDMENT TO MEERENBOSCH BUILDING GUIDELINES – AGM 21 Dec 2019**

### **BUILDING REGULATIONS**

The purpose of the Building Regulations and Standard Plan Guidelines are to ensure:

- a uniform building style and aesthetic standards are maintained for the development;
- the established character and ambience of the development are retained and protected;
- compliance in the development with relevant municipal requirements and regulations, as well as with National Building Regulations and Standards as amended from time to time.

The changes provide a better use of the land at Meerenbosch with the only impact being the limited impact on to the "look and feel" of Meerenbosch. As the style was developed over time, this is just a further chapter in the development of the Meerenbosch style and an enhancement of the character that uniquely personifies Meerenbosch

### **GENERAL INFORMATION**

Meerenbosch is part of the greater Middlevelei Estate governed by a Master Home Owners Association. It was established as a caravan park pre 1992 and during 1996, as part of the phased development of Middlevelei, subdivided into plots of different sizes and transferred to a Share Block Scheme. All the shares, giving land use rights, were sold to the public. During 2007/2008 the Share Block Scheme transferred all the subdivided own title plots (stands) to the shareholders and the Meerenbosch HOA was established.

Initially the plots continued to be used as caravan and tent stands, but slowly the caravans were replaced by caravan-sized wooden structures that until today gives Meerenbosch its unique building style. Later on the wooden structures were extended to replace the tent extension of a caravan and the inclusion of bathrooms/toilets. This made the 3x communal ablutions redundant and they were demolished.

Still later, the double storey structures came, but they still remained within the original footprint of a large caravan and tent (6m x 8m). Thereafter came chimneys, braai places, storage boxes, water tanks, etc. The important point is that the Meerenbosch-style structures developed over time, resulting in several versions of structures present at Meerenbosch today, reflecting the changes over the years.

Due to the considerable increased cost of owning a plot (HOA levies, rates & taxes, etc.) and bank finance that became available, the need for more "living space" within the approved 6m x 8m footprint became important and was requested by owners.

### **MUNICIPAL BUILDING REGULATIONS**

Since the acceptance of the current 2011 Meerenbosch Building Regulations many changes in the Municipal Building Regulations and Standards have been made. These changes have now also been brought into the 2019 update of the Meerenbosch Building Regulations (e.g solar panels, etc).

This document is to record the motivation for the 2019 changes to the 2011 Meerenbosch Building Regulations.

### 1. NEW 2500 LITRE WATER TANKS (ABOVE GROUND)

Meerenbosch is rich in Milkwood trees and flora. Owners are encouraged to retain the bush atmosphere by preserving the flora. Water tanks have been allowed for many years if placed underground or beneath the ground floor of the building. Due to the drought during 2018 and the restrictions placed on the availability of water it was prudent for owners to request new external water tanks (above ground) so that rainwater could be stored for the watering of vegetation from time to time.

(A) **PROPOSED DEVELOPMENT**

Add 1x 2500 litre water tank above ground next to the dwelling

(B) **CHARACTER OF THE ENVIRONMENT**

The colour to blend in with the environment

(C) **DESIRABILITY OF THE PROPOSED UTILISATION**

To provide water for the preservation of vegetation due to water restrictions

(D) **INVESTIGATIONS CARRIED OUT IN TERMS OF OTHER LAWS WHICH ARE RELEVANT TO THE CONSIDERATION OF THE APPLICATION**

None

(E) **THE IMPACT OF THE PROPOSED LAND DEVELOPMENT ON MUNICIPAL ENGINEERING SERVICES**

Small footprint and no impact on engineering services.

(F) **CONSIDERATION OF FORWARD PLANNING AND LAND USE DOCUMENTS**

None

(G) **PLANNING PRINCIPLES**

Spatial justice: Limit the impact on to the "look and feel" of Meerenbosch

Spatial sustainability: Environmentally sensitive

Efficiency: Optimise the availability of rainwater

Spatial resilience: Provides water for own vegetation

Good administration: N/A

## 2. STORAGE BOXES

Storage boxes were approved many years ago to provide storage space for canoes, braai equipment, etc. Unfortunately, the initial approved height of 1.2m does not take into account that as owners grow older, they also grow less agile and cannot access the boxes with ease to get to the contents. Therefore the request was made for the higher boxes.

The Trustees' proposed resolution for the maximum height for the storage box was 1.9m. The meeting, however, decided on a maximum height of "ceiling level". It was agreed that the storage box would not be used as an extension of the house to increase the "footprint".

### (A) PROPOSED DEVELOPMENT

Increase the height of external storage boxes from 1.2m to "ceiling level".

### (B) CHARACTER OF THE ENVIRONMENT

External storage boxes already exist. Meerenbosch building style also to be used on the extensions. Footprint of dwelling remains (6m x 8m).

### (C) DESIRABILITY OF THE PROPOSED UTILISATION

Owners grow older and less agile and have difficulty in getting to or reaching the contents in the storage boxes on their hands and knees.

### (D) INVESTIGATIONS CARRIED OUT IN TERMS OF OTHER LAWS WHICH ARE RELEVANT TO THE CONSIDERATION OF THE APPLICATION

None

### (E) THE IMPACT OF THE PROPOSED LAND DEVELOPMENT ON MUNICIPAL ENGINEERING SERVICES

None – no change in footprint

### (F) CONSIDERATION OF FORWARD PLANNING AND LAND USE DOCUMENTS

None

### (G) PLANNING PRINCIPLES

Spatial justice: The storage boxes are not to open to the inside of the houses to ensure that they do not increase the "footprint" of the house.

Spatial sustainability: N/A

Efficiency: Economic use of the limited storage space without increasing the footprint.

Spatial resilience: The extension of the boxes will enable older persons to remain self-sustained.

Good administration: N/A

### 3. ENCLOSURE OF BALCONIES ( First Floor)

The double storey houses all have 1.5m x 6m balconies covered by the roof. Although the original thinking was that the balconies would provide a special atmosphere for enjoyment, in reality this seldom materialised and the balconies became "white elephants" and mostly a place for washing to dry. Furthermore, for a normal family the first-floor area is marginally too small for the stairs, a small bathroom and the required 3 bedrooms. By allowing the balcony to be fully (or half) enclosed, it provides for more living space without limiting the views or benefits of a balcony. The proviso is that the Meerenbosch building style be encapsulated without increasing the footprint (6m x 8m) of the structure.

#### (A) PROPOSED DEVELOPMENT

An option for new and existing dwellings to enclose the first-floor balcony of double storey's in full (or half) to provide for more living space without increasing the footprint (6m x 8m) of the house

#### (B) CHARACTER OF THE ENVIRONMENT

Meerenbosch building style to be retained.

#### (C) DESIRABILITY OF THE PROPOSED UTILISATION

Increased living space without an increase in the footprint. Better use of the footprint.

#### (D) INVESTIGATIONS CARRIED OUT IN TERMS OF OTHER LAWS WHICH ARE RELEVANT TO THE CONSIDERATION OF THE APPLICATION

None.

#### (E) THE IMPACT OF THE PROPOSED LAND DEVELOPMENT ON MUNICIPAL ENGINEERING SERVICES

None – no change in footprint

#### (F) CONSIDERATION OF FORWARD PLANNING AND LAND USE DOCUMENTS

None – no change in footprint

#### (G) PLANNING PRINCIPLES

Spatial justice: No impact on footprint. Options for the owner to have (1) a full balcony, (2) no balcony or (3) half a balcony. Houses with "views" can still retain their views and those without views can better utilise their footprint for space living.

Spatial sustainability: Better use of space

Efficiency: Economic use of the limited space without increasing the footprint.

Spatial resilience: The closure (or half closure) of the balcony will provide for more living space.

Good administration: N/A

#### 4. ENCLOSURE OF PATIO OR STOEP (ground floor)

The older houses are all single-storey houses, and all have 2m x 6m patios covered by the roof. The owners of single-storey houses also need more living space. These houses have the same footprint as double storey's (6m x 8m), but the cost to change a single storey into a double storey is enormous and amounts to nearly the same as the total value of the single storey house (and plot). By allowing the patio to be fully (or half) enclosed, it provides for more living space without limiting the access in and out of the house. The proviso is that the Meerenbosch building style be encapsulated without increasing the footprint (6m x 8m) of the structure.

To retain fairness between single and double storey house owners, the extension of the patio/stoep should also apply to the double storey houses to ensure the best use of the footprint also for them.

##### (A) PROPOSED DEVELOPMENT

An option for new and existing dwellings to enclose the patio/stoep of single and double storey's in full (or half) to provide for more living space without increasing the footprint (6m x 8m) of the house

##### (B) CHARACTER OF THE ENVIRONMENT

Meerenbosch building style to be retained. If fully enclosed, some houses will then not have a patio/stoep and will in future not be able to extend or a patio/stoep.

##### (C) DESIRABILITY OF THE PROPOSED UTILISATION

Increased living space without an increase in the footprint. Better use of the footprint.

##### (D) INVESTIGATIONS CARRIED OUT IN TERMS OF OTHE LAWS WHICH ARE RELEVANT TO THECONSIDERATION OF THE APPLI CATION

None

##### (E) THE IMPACT OF THE PROPOSED LAND DEVELOPMENT ON MUNICIPAL ENGINEERING SERVICES

None – no change in footprint

##### (F) CONSIDERATION OF FORWARD PLANNING AND LAND USE DOCUMENTS

None – no change in footprint

##### (G) PLANNING PRINCIPLES

Spatial justice: No impact on footprint. Options for the owners of both single and double storey's to have (1) a full patio/stoep, (2) no patio/stoep or (3) half a patio/stoep.

Spatial sustainability: Better use of footprint for living space, but future extensions limited if fully enclosed.

Efficiency: Economic use of the limited space without increasing the footprint.

Spatial resilience: The closure (or half closure) of the patio/stoep will provide for more living space.

Good administration: N/A

#### 5. OTHER SMALLER MATTERS

- a. **Freestanding toilets.** Since in-house toilets have been approved on every plot the reference in the regulations to "freestanding toilets" on each plot have become irrelevant. The 3x ablutions on Meerensbosch have also been demolished. Contractors on site, however, when building a new structure, are required by Municipal regulations to provide temporary toilet facilities for the on-site.
- b. **Latte windbreaks.** The use of windbreaks made of "latte" were introduced as a temporary and practical measure to create pleasant external areas on the small plots, protected from dust due to the high winds that prevail. The windbreaks also provide a level of privacy where a house is built near to the other.
- c. **Thatched shade structures.** The thatched shade structures have become irrelevant over the last 10 years.
- d. **Wooden decks.** In the previous Building Regulations, paving on an erf was handled differently to wooden decks. Over time wooden decks have been preferred by some owners over paving. The same 50% parameter, as for paving, was then used. In the new Regulations this irregularity between paving and wooden decks were rectified.
- e. **Pitch of roof.** The maximum height of a double story house is 6,0m (measured from the finished floor level to the top of the ridge of the roof). When the Municipal Building Regulations changed the minimum ceiling height of habited rooms, the height of the ceilings to be increased. This increase resulted in the roof pitch to be adjusted to 15° to allow for the ceiling height while remaining within the 6m height of the house.

(B) CHARACTER OF THE ENVIRONMENT

No impact

(C) DESIRABILITY OF THE PROPOSED UTILISATION

Practical changes to better living at Meerensbosch

## **BUILDING REGULATIONS FOR MEERENBOSCH HOMEOWNERS ASSOCIATION**

(Annexure B to the Constitution of Meerenbosch Homeowners

Association) Updated and Amended: 2019-12-21

### **1. INTRODUCTION**

- 1.1 Before any improvement is implemented on an erf (for example building a house or a braai place, erecting a fence or a wooden deck, laying paving or erecting a retaining wall or adding a water tank, a written application must be submitted to Meerenbosch Homeowners Association. The application must contain a detailed plan, list of building materials, specifications as well as a site plan indicating the exact position of the proposed improvement.
- 1.2 Work on implementing an improvement on an erf may only commence once written approval has been obtained by the owner from Meerenbosch Homeowners Association and other formalities (for example obtaining municipal approval and depositing a building deposit or obtaining the approval of all the neighbour as in the case of a water tank)), have been concluded.
- 1.3 In accordance with its Constitution, Meerenbosch Homeowners Association will ensure that any improvement on an erf where such improvement has been implemented without permission from the Association will be removed or dismantled.
- 1.4 These Building regulations are subordinate to the municipal Building Regulations and Standards
- 1.5 The purpose of the Building Regulations and Standard House Plans are to ensure:
  - 1.5.1 a uniform building style and aesthetic standards are maintained for the development;
  - 1.5.2 the established character and ambience of the development are retained and protected;
  - 1.5.3 compliance in the development with relevant municipal requirements and regulations, as well as with National Building Regulations and Standards as amended from time to time.

### **2. TYPES OF HOUSES TO BE ERECTED**

- 2.1 Only a wooden house may be erected on an erf.
- 2.2 Only one house may be erected on an erf.
- 2.3 Only one of the following two types of houses with a total footprint of 6m x 8m may be erected on an erf:
  - 2.3.1 Type 1: a single storey wooden house (6m x 6m) with a ridge-height of 3,9m from the finished floor level with a roof pitch of 28° and a veranda of 6m x 2m under the roof.
  - 2.3.2 Type 2: a double storey wooden house (6m x 6m) with a ridge-height of 6,0m from the finished floor level with a roof pitch of 15° and a veranda of 6m x 2m and a balcony of 6m x 1,5m under the roof.
- 2.4 On condition that the uniform building style and aesthetic standards are maintained
  - 2.4.1 The veranda of all houses (single and double storey) may be enclosed the entire length of the veranda or only half.
  - 2.4.2 The balcony of all double storey houses may be enclosed either for the entire length of the balcony or only half.
- 2.5 The external detail of the house must comply with the Standard House Plans as provided by the Meerenbosch Homeowners Association. The Standard House Plans will be updated from time to time as municipal requirements and regulations change and new plans are approved by the municipality.
- 2.6 No cement or brick or concrete work is allowed above the ground floor level of the house (except for an indoor braai or fireplace that can be secured by brick and cement).

### 3. PLACING OF HOUSES

- 3.1 In as far as the placing of a new house is concerned, the position of existing houses must be taken into account as far as view and privacy is concerned. This ruling is within the context of good neighbour relationships and cannot be enforced by Meerenbosch Homeowners Association.
- 3.2 A house must be built within the 1,5m building line and may only with permission from Meerenbosch Homeowners Association as well as the adjacent owner (if applicable), be built closer to the erf boundary than the 1,5 m building line.
- 3.3 In the event of an erf having an excessive slope (or for any other reason), application can be made to have the house positioned on poles as per certified engineering specifications. The maximum height of the ground floor above the natural ground level must be to the satisfaction of the Overstrand Municipality.
- 3.4 As of 29 July 2008, no construction on waterfront erven may occur below the 5m MSL contour or within 32 m from the edge of the lagoon.

### 4. ADDITIONAL IMPROVEMENTS ALLOWED ON ERVEN

- 4.1 An indoor braai or fire place is allowed as per specifications in this Building Regulations.
- 4.2 A horizontal storage box may be erected fixed to the outside of a house as per specification in this Building Regulations.
- 4.3 Fences are allowed between erven as per specifications in this Building Regulations. The adjacent owner must give written permission before a fence can be erected.
- 4.4 Outside braai places including "wash up" areas from brick and cement are allowed as per specifications in this Building Regulations.
- 4.5 The placement of storage tanks underneath houses for the catchment of rainwater is allowed as indicated on the Standard House Plans.
- 4.6 The placement of solar panels on roofs is allowed.
- 4.7 A windbreak made from "latte" (or made from any other material) is allowed on erven provided permission has been obtained from the trustees

### 5. STRUCTURES NOT ALLOWED ON ERVEN

- 5.1 No gate is allowed on an erf and no fencing may be erected on any street front of an erf.
- 5.2 No built-in steel braai or built in steel fire place or pizza oven is allowed outside of the house on an erf.
- 5.3 No swimming pool or splash pool or bubble pool is allowed on an erf.
- 5.4 No free-standing toilet ("toilet huisie) is allowed on erven.

### 6. PROCEDURE FOR BUILDING A HOUSE

- 6.1 Obtain the relevant building information and a copy of the Standard House Plans specifying the external detail of the house from the trustee committee.
- 6.2 Make contact with the A19 building inspector and obtain relevant building information.
- 6.3 Obtain a proper building plan for the proposed house drawn by a registered draftsman. The plan must contain the following:
  - 6.3.1 a site layout plan showing the position of the house, building lines and the sewerage connection;

- 6.3.2 detailed dimensions of the foundations as well as all other required dimensions of the house for example roof height from floor level and roof pitch;
- 6.3.3 a window and door schedule for all four sides of the house;
- 6.3.4 material specifications;
- 6.3.5 full retaining wall, paving and boundary wall detail (where applicable).
- 6.4 Submit the building plan to the trustee committee for approval.
- 6.5 Make the required payment with regards the building deposit. The building deposit will be determined from time to time by the trustee committee.
- 6.6 Obtain a stamp of approval from the trustee committee on the plans once the plans are approved. The trustee committee keeps one copy of the plans for filing and reference purposes, until the building work is completed and a certificate of occupation is issued.
- 6.7 Submit the approved (and stamped) plan to the local authority for approval.
- 6.8 Building may only start once:
  - 6.8.1 all plans have been approved as required;
  - 6.8.2 the building deposit has been paid as well as all outstanding levies;
  - 6.8.3 a site toilet has been erected for the builder;
  - 6.8.4 once the land surveyor has confirmed the boundaries of the erf.
- 6.9 The owner is the responsible person as far as the building activity is concerned and conducts the building activity and all contractual, legal, insurance and other aspects related to it, at his own risk.

#### 7. OTHER IMPORTANT REQUIREMENTS, RULES AND REGULATIONS

- 7.1 Foundations: The maximum height of a concrete foundation is 300 mm above the natural ground level (three to four brick layers). Filling up around a foundation may take place on condition that the final filled level matches the natural ground level of the erf. In the event of an alternative house being built, the old house must be removed within three (3) months after completion of the new house. The foundation of the old house must also be removed within three (3) months after completion of the new house.
- 7.2 A19 Certificate: Before the walls of the house or the roof are cladded, an A19 certificate must be obtained from a qualified and registered A19 building inspector certifying a sound structure for the building. The Home Owners Association may insist on verification in this regard and can demand removal of any cladding until such certificate has been obtained.
- 7.3 Building period: a Building period of six (6) months is allowed after which all building rubble and materials must be removed from the erf. If it is anticipated that the building period is going to take longer than six (6) months, the outside of the house must be finished first (completely) and all building material and rubble removed from the erf. The house may then be finished from the inside over a longer period of time.
- 7.4 Building material: The storage of building material or mixing of concrete may not take place in the street in front of the house.
- 7.5 Inspections: Regular inspections shall be conducted throughout the building period by the relevant inspectors. It is the responsibility of the owner to arrange for such inspections. The following inspections are recommended:
  - 7.5.1 foundations
  - 7.5.2 wall structures before cladding (see 7.2)
  - 7.5.3 roof structure before cladding
  - 7.5.4 wiring
  - 7.5.5 sewerage

- 7.5.6 final inspection
- 7.6 Additional Inspections: the local authority building inspector and/or Meerenbosch Homeowners Association may carry out additional inspections at any time.
- 7.7 Craftsmanship: Only skilled tradesmen and high quality workmanship is allowed. If Meerenbosch Homeowners Association is of the opinion that workmanship is sub-standard or building activities are in breach with the Building regulations, the builder will be asked to vacate the building site and a professional opinion will be sought. If confirmation of sub-standard building activities is obtained, the owner will be notified and instructed to rectify the situation before any further building activities will be allowed.
- 7.8 Building plans: A copy of the approved building plan must at all times be available on site during normal working hours.
- 7.9 Building lines: The building line is 1,5m. No structures (including braai places and storage boxes) are allowed within 1,5m of the erf boundaries. Written permission must be obtained from the adjacent owner as well as Meerenbosch Homeowners Association for any exceptions to this rule.
- 7.10 Construction times
- 7.10.1 Weekdays: 07h30 to 17h00
- 7.10.2 Saturdays: 09h00 to 17h00
- 7.10.3 Holidays: 09h00 to 17h00
- 7.10.4 Sundays: no construction activities allowed
- 7.10.5 December: no construction activities allowed from 16 December to 14 January
- 7.10.6 Easter: no construction activities allowed from Easter Friday to Easter Monday
- 7.11 Contractors, sub-contractors and workers:
- 7.11.1 Only registered builders may build houses in Meerenbosch.
- 7.11.2 The Meerenbosch Homeowners Association caretaker or the duly appointed person must be notified at all times when a builder or sub-contractor or worker is entering Meerenbosch. This rule is applicable for any type of building or maintenance activity on an erf.
- 7.11.3 Identification of workers must be arranged via the caretaker or the duly appointed person.
- 7.11.4 Contractors or sub-contractors or workers may not sleep over on an erf.
- 7.11.5 A standard builder's toilet must be available at all times on site.
- 7.11.6 Contractors or sub-contractors or workers may only make use of the site toilet.
- 8. GENERAL MATERIAL SPECIFICATIONS (MINIMUM REQUIREMENTS)**
- 8.1 General
- 8.1.1 Only timber structures will be allowed and only in accordance with the specifications as per approved plan.
- 8.1.2 All building work carried out must comply to SABS 0400 in the National Building Regulations.
- 8.1.3 Only SABS approved treatment of timber will be allowed. Timber may not be treated on site.
- 8.2 Floors
- 8.2.1 Filling must be well compacted.
- 8.2.2 Concrete floor layer (100mm) with 25mm screed and 250 micron under floor damp proof membrane.
- 8.3 External Finishes
- 8.3.1 Cladding: Single 130mm or 138mm SA Pine "loglap" (minimum thickness of 32mm).
- 8.3.2 Wood finish: Treat with "mahogany" colour wood sealant (clear wood treatment is not

allowed).

- 8.3.3 Painting of door and window frames and window sills with any other colour than "mahogany" is prohibited.

#### 8.4 Roofs

- 8.4.1 Roof Trusses: As indicated on the Standard House Plans and to be designed for "Victorian Profile" fibre cement or Chromadeck roof sheeting.
- 8.4.2 Under roof layer: White PVC roof plastic or "Sisalation" or "Alucushion".
- 8.4.3 Roof Sheeting: "Victorian Profile" fibre cement or Chromadeck roof sheeting.
- 8.4.4 Barge and fascia: Standard fibre cement or PVC – colour white or green (as roof sheets).
- 8.4.5 The colour for the roof sheets and capping is "tennis court green" or equivalent.
- 8.4.6 Gutters: White PVC or aluminium type. Gutters are not compulsory but are recommended in order to facilitate rainwater flow.
- 8.4.7 Roof overhang: 300mm.

#### 8.5 Windows and doors

- 8.5.1 Sliding doors: Bronze or natural aluminium or meranti timber (all sliding doors to have the same colour code).
- 8.5.2 Window frames: Bronze aluminium or natural aluminium or meranti timber (all window frames to have the same colour code).

#### 8.6 Columns

- 8.6.1 Timber columns 114mm x 76mm or PAR 96 mm x 96 mm, appropriately provided with galvanised footing piece. (Steel piping and tar poles are not allowed).
- 8.6.2 The use of a single steel beam placed horizontally to support the upper floor is allowed.
- 8.6.3 The use of a single steel beam placed horizontally to support above a sliding door is allowed.
- 8.6.4 The balcony must be supported with three (3) 150 mm x 150 mm vertical timber columns from the ground floor veranda. Should only (2) vertical timber columns be used, then in addition a single steel beam placed horizontally to support the upper floor is mandatory.

#### 8.7 Chimneys

- 8.7.1 Only one (1) steel chimney (external or internal) may be installed.
- 8.7.2 Maximum size: 470 mm x 340 mm or 226 mm diameter.
- 8.7.3 Internal chimney shall not be closer than 200 mm from any wooden structure. The wooden structure must also be cladded with 500 mm x 3 mm fibre cement sheets to limit the risk of fire.
- 8.7.4 Where a chimney is closer than 200mm from any wooden structure then that structure must be protected with 25mm thick glass wool and 3mm fibre cement sheeting, unless heat proof 316 aluminium pipes are used.
- 8.7.5 External chimneys must be at least 300mm clear of any wooden structure. Where a chimney penetrates a wooden structure a lining of 25mm thick glass wool and a 3mm thick fibre cement covering an area of 100mm around the opening is required.
- 8.7.6 Chimneys must be painted with heat resistant paint if galvanised steel is used, to prevent corrosion, but not necessary if stainless steel is used.
- 8.7.7 Chimneys may not be covered by brick and cement or any other material.
- 8.7.8 A spark proof cowl must be fitted for fire prevention.
- 8.7.9 Some chimneys are constructed of stainless steel which do not require painting or heat proofing with glass wool if heat proof stainless steel pipes are used. Spark proof cowls should be required for wooden houses as a safety measure.

## 9. FENCING

### 9.1 General

- 9.1.1 No fencing may be erected on any street front.
- 9.1.2 Fencing where possible must be obtained through planting trees or shrubs.
- 9.1.3 Fences (other than hedging) may not damage natural growth within the development.
- 9.1.4 No shade netting for fencing or closures is allowed.
- 9.1.5 The erection of or alteration to a fence is subject to written approval by the adjacent neighbour.

### 9.2 Specifications for fencing

- 9.2.1 Treated SA Pine (colour "mahogany") or insert panels as approved with concrete posts.
- 9.2.2 Maximum height from ground level is 1,8m and maximum length is 10m per erf. An erf flanked by three other erven may therefore have 30m of fencing in total.
- 9.2.3 Fencing to side boundaries of any specific erf may not be constructed closer than 2.5m from any street front.
- 9.2.4 Fencing on any other position on an erf except on the boundary between erven will only be considered in exceptional cases.
- 9.2.5 "Ranch Style" fencing is permitted only in exceptional circumstances and with the written permission of the committee as applicable to street fronts and side boundaries. (Round vertical timber poles 1m high and 2.4m apart with two round horizontal poles in between shall constitute interpretation of a "Ranch Style" fence). Only treated timber is allowed and the colour mahogany is applicable.

## 10. PAVING

### 10.1 General

- 10.1.1 Existing plants and trees must be taken into account when paving is done.
- 10.1.2 The maximum permissible surface that may be paved may not exceed 50% of the total area of the erf.

### 10.2 Specifications for paving

- 10.2.1 Paving on an erf must be uniform (i.e. different types of paving material will not be permitted on any one specific erf).
- 10.2.2 Only paving on a properly constituted and compacted bedding layer is permitted.

## 11. RETAINING WALLS

### 11.1 General

- 11.1.1 Aesthetic appeal shall be an important point in approval of a retaining wall.
- 11.1.2 It is the responsibility of the owner to ensure the retaining wall is eventually completely covered by plants or groundcovers (preferably of a type needing minimum watering).

### 11.2 Specifications for retaining walls

- 11.2.1 Preference will be given to "Loffelstein" or similarly approved retaining blocks appropriate for stabilisation of sand banks.
- 11.2.2 Should alternative building materials be used for retaining sand then such materials must be subject to an appropriate engineering certificate.
- 11.2.3 An engineer's certificate will be required for retaining wall higher than 1,5m.

**12. BRAAI PLACES****12.1 General**

- 12.1.1 Braai places must be placed in such a manner that plants and/or trees are not in any way damaged or affected.
- 12.1.2 Outside braai places are not allowed to be enclosed and no chimneys are allowed.
- 12.1.3 No built in or freestanding (fixed) metal braai places or pizza ovens are allowed outside houses.
- 12.1.4 The building of tables or washing up structures from brick adjacent to braai places are allowed. Aesthetic appeal shall be an important point in approval of such a structure.
- 12.1.5 Indoor braai places may be secured by brick and cement.

**12.2 Specifications for braai places**

- 12.2.1 The maximum height allowed for an outside braai including any table or washing up structures is 1000 mm.
- 12.2.2 Preference must be given to outside braai places which are low to the ground. This is to ensure minimum visual impact.
- 12.2.3 A braai inside a house may not extend outside the house. Only the chimney may extend outside the house.

**13. ELECTRICITY**

- 13.1 Electrical connections may only be performed by a qualified and registered electrician.
- 13.2 Only 10 mm<sup>2</sup> "Airduct" supply cable is acceptable.
- 13.3 Connections must be arranged through the municipality in conjunction with the appropriate registered electrical contractor.
- 13.4 Electrical installations must comply with the requirements of SABS 0142 and a Certificate of Compliance must be issued through the accredited person by law for all new installations and change of ownership.
- 13.5 Only approved pay meters may be used in order to comply and be compatible with the payment system of the local Authority.

**14. WATER**

- 14.1 On every erf the owners are responsible for providing an acceptable water meter that is placed in a position where the readings can easily and accurately be taken.
- 14.2 Bypassing the water meter on an erf (direct connection to the main water line) is strictly prohibited.

**15. SEWERAGE**

- 15.1 A sewerage connection between a house and the main sewerage line (in the road) must be supplied with a rodding eye.
- 15.2 A sewerage connection may only be conducted by a registered qualified plumber.
- 15.3 Care must be taken to ensure that no stone, gravel, sand or other building rubble gains access to the sewerage system during connection.

**16. STORAGE BOX**

- 16.1 Only one (1) storage box is allowed per house and must be fixed to the house.
- 16.2 Specifications for storage boxes
- 16.2.1 The storage box must be of the same wood cladding as the house.
- 16.2.2 The maximum length is 6 m and the box may not extend past the wall of a house.
- 16.2.3 The maximum depth (away from the wall) is 1 m.
- 16.2.4 The maximum height (above floor level) for a double storey house and for a single storey house, is ceiling level. The increased storage box may not become another room or part of the house.

**17. WATER STORAGE AND SOURCING (ABOVE AND UNDERGROUND)****17.1 General**

- 17.1.1 The placement of water tanks under a house or in an inconspicuous area on the erf, for storage of rainwater, is allowed pending approval of the trustees and all the neighbours, based on aesthetic appeal.
- 17.1.2 The placement of water tanks under a house may not cause the house to have the appearance of a "triple storey" house.
- 17.1.3 The water tank storage area may only be used for the storage of the water tanks.

**17.2 Specifications for above and underground water storage tanks**

- 17.2.1 The water tank storage area may form part of the foundations of the house, on condition that the final foundation of the house is 300 mm (three to four bricks) above the ground level (refer to paragraph 7.1).
- 17.2.2 The entrance to the water tank storage area under a house must be a trap door located inside the house or a trap door on the veranda. No formal staircase may be erected but only a stepping ladder.
- 17.2.3 An area just big enough for the water tanks is allowed, such area may not be utilised for storage purposes and no additional storage area will be allowed (Specifications to be in line with those indicated on the Standard House Plans).
- 17.2.4 In the event of a house being constructed on poles, placement of water tanks underneath the house is not allowed.
- 17.2.5 Water tanks placed above the ground are limited to one (1) and may not be larger than 2500 litres and is to be either of a green or sand colour depending on aesthetics.
- 17.2.6 A Water tank above the ground must be placed adjacent to the house and the piping from the gutters to the tank shall be as unobtrusive as possible and the visibility may not distract aesthetically. Approval from the neighbours and the trustees is required before installation.

**18. WOODEN DECKS****18.1 General**

- 18.1.1 Wooden decks may be erected with the main objective being a substitute for paving.
- 18.1.2 Wooden decks may be erected over a slope in order to create practical living space.
- 18.1.3 The level of the wooden decks may not be above the finished floor level of the house
- 18.1.4 Wooden decks may not be used to create additional balconies to a double storey house.
- 18.1.5 In the event of a house being built on poles, additional wooden decks may be added on to extend the ground floor deck area of the house provided this is based at the front of the house and that the deck and the house do not cover more than 50% of the erf.

**18.2 Specifications for wooden decks**

- 18.2.1 Only new timber may be used.
- 18.2.2 Only treated timber may be used.
- 18.2.3 The wooden deck must be painted. Colour: Mahogany (same as for houses).

**19. HOUSE ON POLES****19.1 General**

- 19.1.1 In the event of an erf having an excessive slope, or for any other special reason, an application may be made to have the wooden house built on poles (instead of the standard concrete foundation).
- 19.1.2 Under no circumstances will an application be considered when it is clear that the objective is to park vehicles under the house or to improve the view from the house.
- 19.1.3 The area under the wooden deck (ground floor level) shall not be used for any other purpose than supporting the house.
- 19.1.4 The area under the wooden deck (ground floor level) shall not be paved or tiled.
- 19.1.5 The area under the wooden deck (ground floor level) shall not be closed off by any means except by natural vegetation.

**19.2 Specifications for a house on poles**

- 19.2.1 The poles supporting the house shall be 200 mm diameter.
- 19.2.2 A minimum of 12 poles shall be planted to support the house.
- 19.2.3 The placement of the poles in the ground shall be as per specified building standard.
- 19.2.4 The wooden deck (ground floor level) will be 9 (nine) meters long (maximum) and 7 (seven) meters wide (maximum).
- 19.2.5 The wooden deck (ground floor level) allows for a 6 m x 6 m house, a 6 m x 2 m ground floor veranda, a 6 m x 1 m storage box (maximum) behind the house and a 9 m x 1.5 m "boardwalk" to one side of the house. The "boardwalk" allows for a side entrance to the house as well as connecting the ground floor veranda of the house with the back of the house.
- 19.2.6 The balcony of the house on the first floor is standard 6 m x 1,5 m.
- 19.2.7 The sewerage connection to the house shall be as unobtrusive as possible.
- 19.2.8 The external detail of the house must otherwise comply with the Standard House Plans as provided by the Meerenbosch Homeowners Association.

**20. GAS INSTALLATIONS**

- 20.1 Gas installations in a house must comply with applicable regulations.
- 20.2 Gas cylinder storage on an erf must comply with applicable regulations.
- 20.3 Gas fittings or gas installations in a house shall be installed by a qualified person and a certificate of compliance (COC) must be provided.

# MEERENBOSCH UPDATED STANDARD HOUSE PLAN FOR EXTERNAL DETAIL

1. IN ACCORDANCE WITH MBHOA BUILDING REGULATIONS ( UPDATED 2020/10/01)
2. IN ACCORDANCE WITH MUNICIPAL , PROVINCIAL AND NATIONAL BUILDING STANDARDS
3. STANDARD HOUSE PLAN UPDATED : OCTOBER 2020

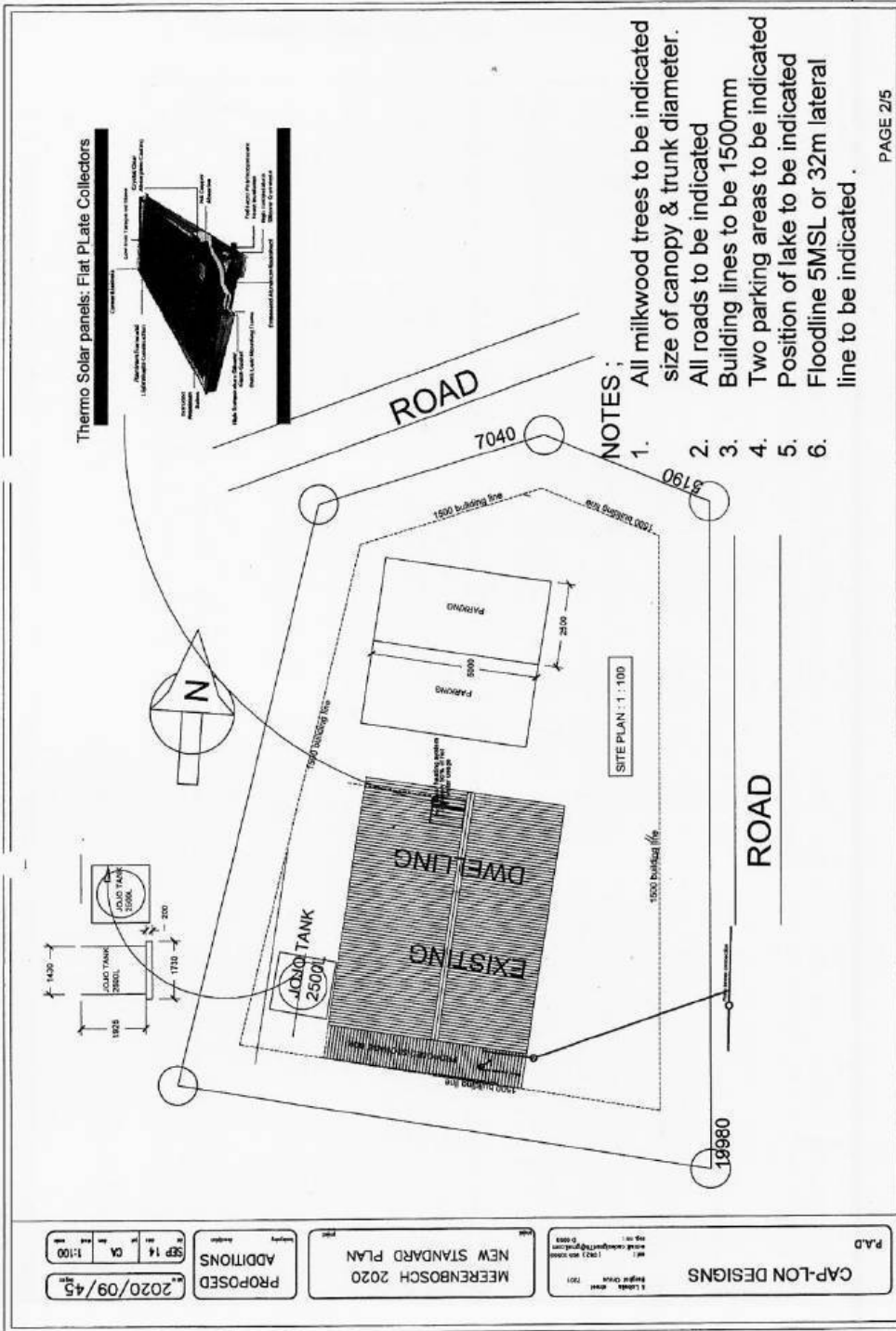
## GENERAL NOTES :

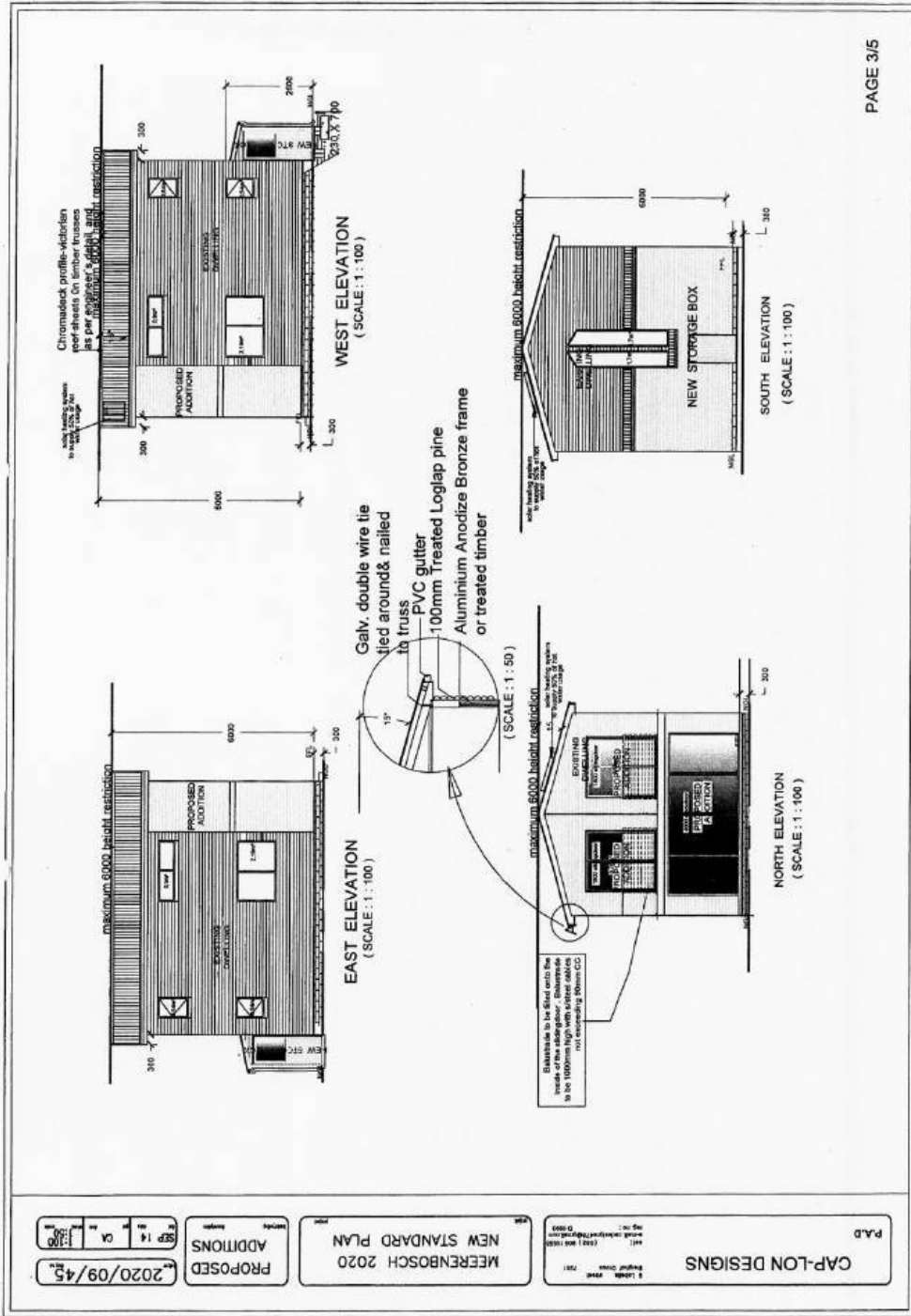
1. All dimensions to be checked on site and altered to suit conditions where necessary
2. All vegetation matters to be removed
3. Floor covering tiles, electrical fittings, paint and sanitary to owner's spec's
4. All piping and conduit to be installed before cladding work commences.
5. Built - in cupboards to owner's spec's
6. All extensions and alterations to match existing as far as possible.  
Builder to make him familiar with all the erf contours and pegs.
7. All work to comply to municipal , provincial and the standard building regulations.
8. Closed drainage systems to N.B.R.I Regulations.
9. Building rubble and excess material to be removed from building site by Builder
10. Contractor. after completion of contract.Premises to be left in a clean and orderly state
11. All dimensions in mm unless otherwise stated.

## NEW CHANGES TO EXISTING STANDARD PLAN

### PROPOSED OPTIONS

1. New storage box to max height of 2600mm
  2. Ground storey : Existing livingroom stoep to be enclosed
  3. First storey : One or Both bedrooms balconies to be enclosed
- ### Balustrades:
1. Height : 1000mm
  2. Gaps of balustrades not exceeding 90mm
- ### New storage box:
1. Height : 2600mm : Width 6000mm
  2. Ground / First storey floor height:
    1. 2500 mm
    2. 1430mm X 1925mm
- ### New water J.O.U.D storage tank :2000L ( 1 )
- ### Other:
1. Ceiling height: 2500mm/ Roof pitch 15 degrees
  2. Thermo Solar panels: Flat Plate Collectors - see drawings

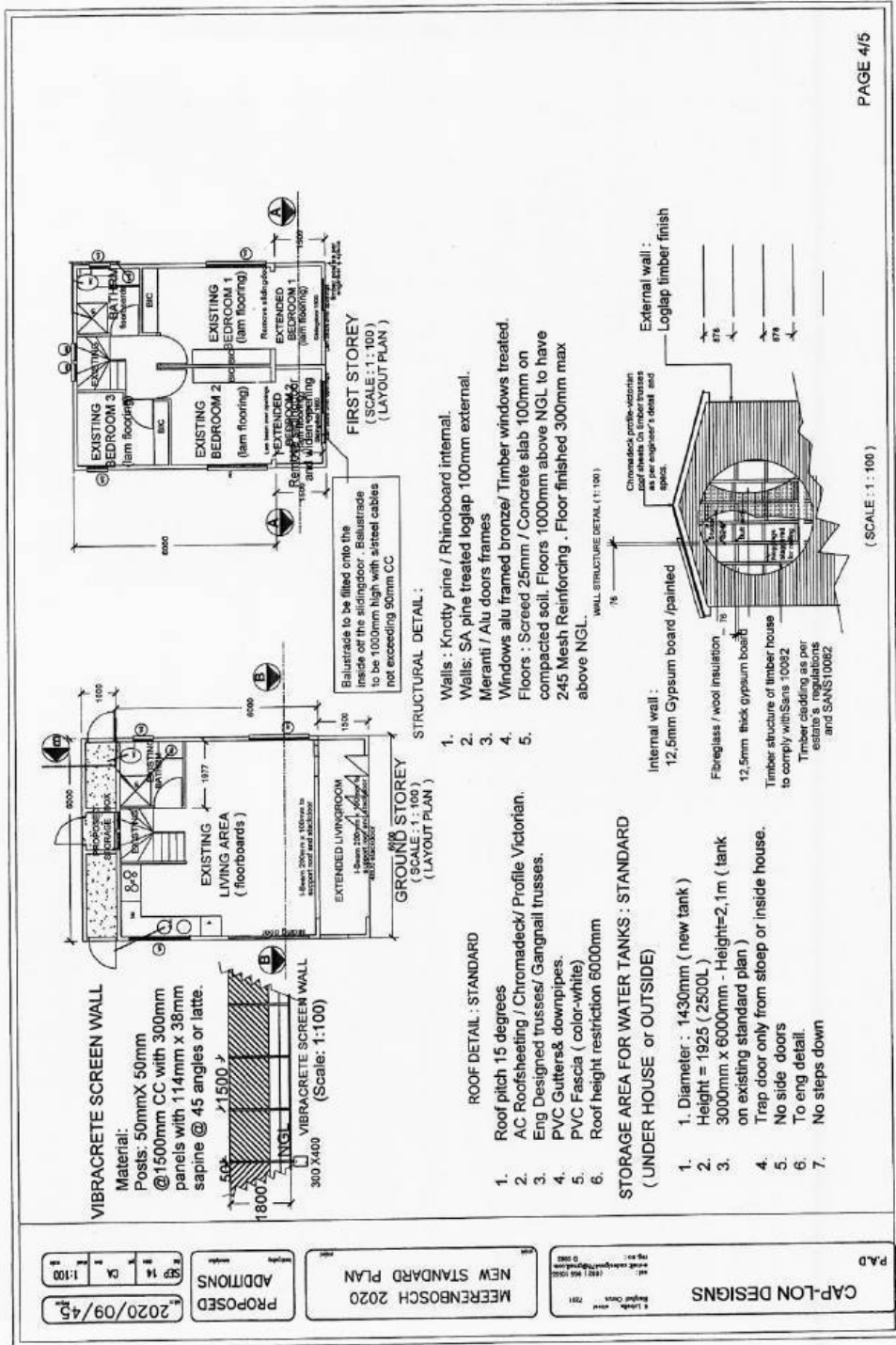




**PROPOSED ADDITIONS**  
 REF: CA  
 DATE: 2020/09/45

**MEERENBOSCH 2020 NEW STANDARD PLAN**

**CAP-LON DESIGNS**  
 P.L.D.



PROPOSED  
 ADDITIONS  
 2020/09/45

MEERENBOSCH 2020

NEW STANDARD PLAN

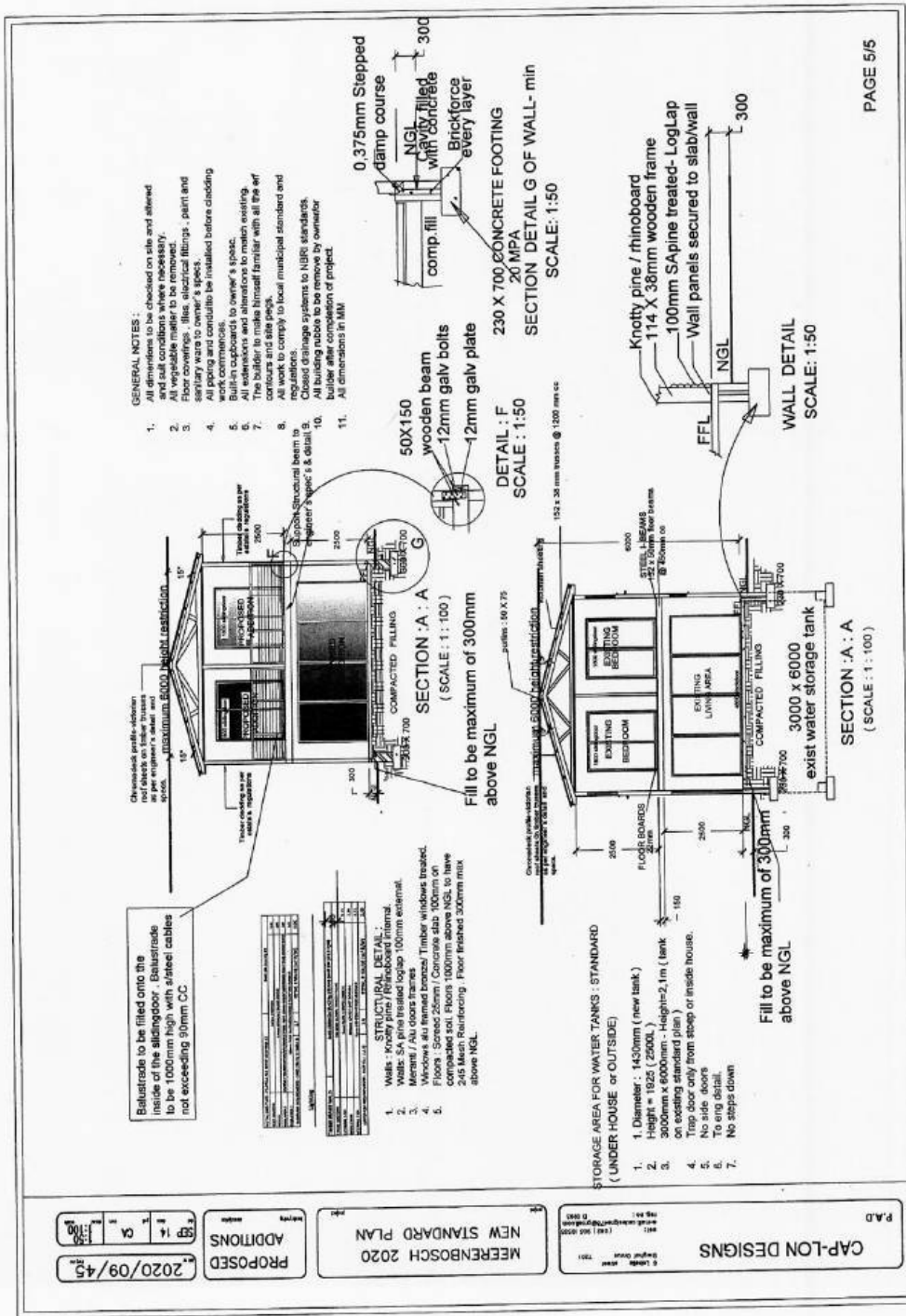
CAP-LON DESIGNS  
 P.A.O.

- ROOF DETAIL : STANDARD**
1. Roof pitch 15 degrees
  2. AC Roofsheeting / Chromadeck/ Profile Victorian.
  3. Eng Designed trusses/ Gangraill trusses.
  4. PVC Gutters & downpipes.
  5. PVC Fascia (color-white)
  6. Roof height restriction 6000mm

- STORAGE AREA FOR WATER TANKS : STANDARD (UNDER HOUSE or OUTSIDE)**
1. Diameter : 1430mm ( new tank )
  2. Height = 1925 ( 2500L )
  3. 3000mm x 6000mm - Height=2,1m ( tank on existing standard plan )
  4. Trap door only from stoep or inside house.
  5. No side doors
  6. To eng detail.
  7. No steps down

- STRUCTURAL DETAIL :**
1. Walls : Knotty pine / Rhinoboard internal.
  2. Walls: SA pine treated loglap 100mm external.
  3. Meranti / Alu doors frames
  4. Windows alu framed bronze/ Timber windows treated.
  5. Floors : Screed 25mm / Concrete slab 100mm on compacted soil. Floors 1000mm above NGL to have 245 Mesh Reinforcing . Floor finished 300mm max above NGL.

- INTERNAL WALL :**
- 12,5mm Gypsum board /painted
  - Fibreglass / wool insulation
  - 12,5mm thick gypsum board
  - Timber structure of timber house to comply with SANS 10032
  - Timber cladding as per estate's regulations and SANS 10062
- EXTERNAL WALL :**
- Loglap timber finish



P.A.D

**CAP-LON DESIGNS**

MEERENBOSCH 2020  
NEW STANDARD PLAN

PROPOSED ADDITIONS

2020/09/45  
SEP 14 2020  
1:50

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**3. PORTION 20 (PORTION OF PORTION 12) OF THE FARM FRANCHE KRAAL NO. 708, DIVISION CALEDON, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDMENT OF SITE DEVELOPMENT PLAN: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF DIE TRUSTEES INTERTYD VAN DIE WIETS-BEUKES TRUST**

**708/20 RCAL**

**SW van Der Merwe  
25 October 2021**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application has been received on 12 October 2020 from Messrs Interactive Town and Regional Planners on behalf of Die Trustees Intertyd van die Wiets-Beukes Trust applicable to Portion 20 of the Farm Franche Kraal No. 708, Division Caledon in terms of Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Municipal Land use Planning, 2020 (By-Law) for the amendment of an approved Site Development Plan in order to establish a greenhouse, multi-function hall, parking area, new restaurant, barn, office and nursery.

**RESOLVED:**

1. that the application received from Messrs Interactive Town- and Regional Planners on behalf of Die Trustees Intertyd Van Die Wiets-Beukes Trust applicable to Portion 20 of the Farm Franche Kraal No. 708, Division Caledon in terms of Section 16(2)(l) of the Overstrand Municipality Amendment By-Law on Municipal Land use Planning, 2020 (By-Law) for the amendment of the approved Site Development Plan to accommodate a greenhouse, multi-function hall, new restaurant, barn, office, nursery and parking area, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that a Site Development Plan accompanied by a detailed parking layout in accordance with municipal requirements be submitted for final approval by the Authorised Official;
  - (b) that the development be carried out in accordance with the approved Site Development Plan in accordance with paragraph (a) above;
  - (c) that the conditions of Eskom, Health, Open Serve, Breede-Gouritz Catchment Management Agency, Department of Transport and Public Works and Engineering Services, be adhered to;

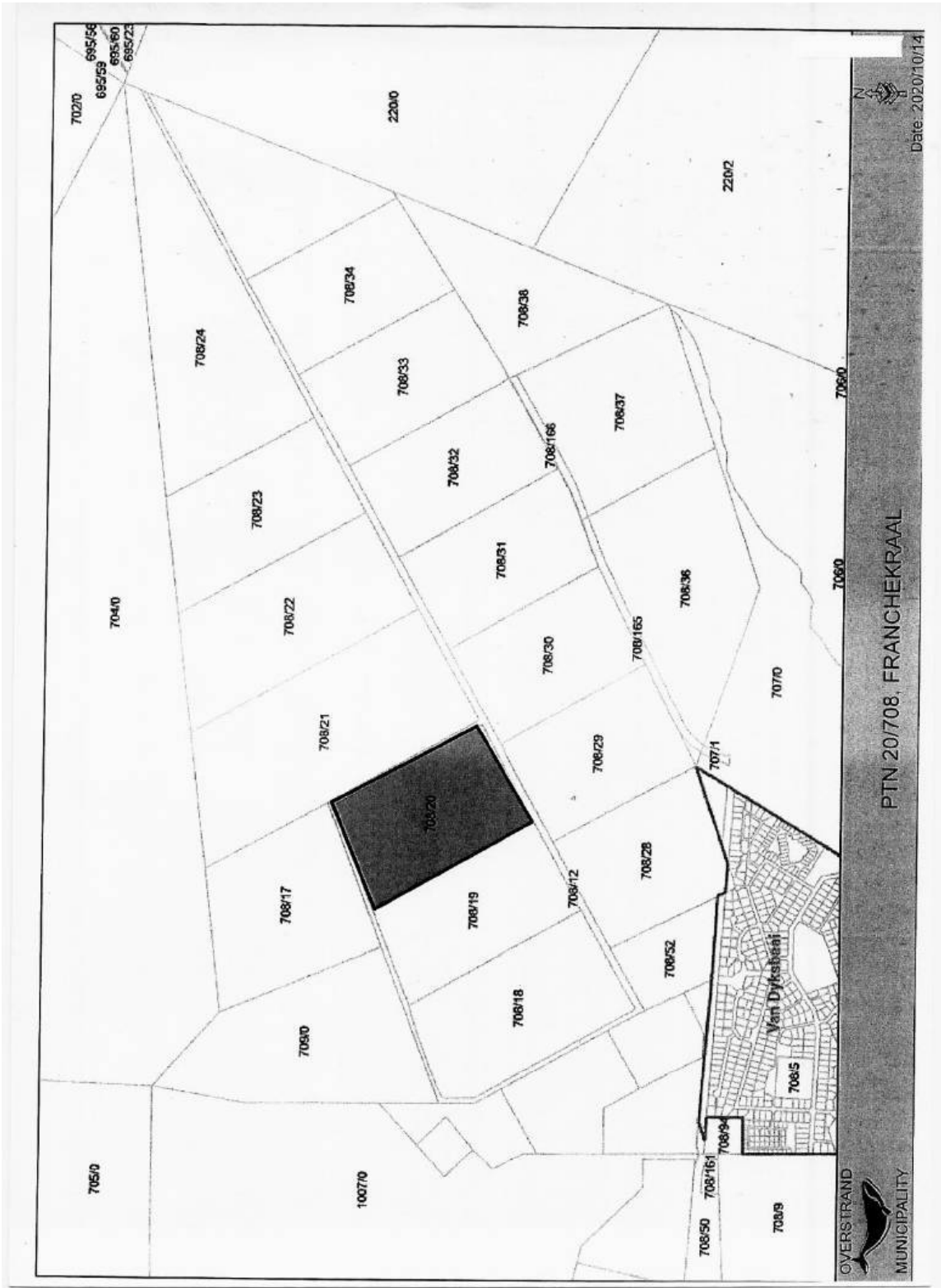
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (d) that the development at all times adheres to the conditions of approval dated 20 January 2016;
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
  - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

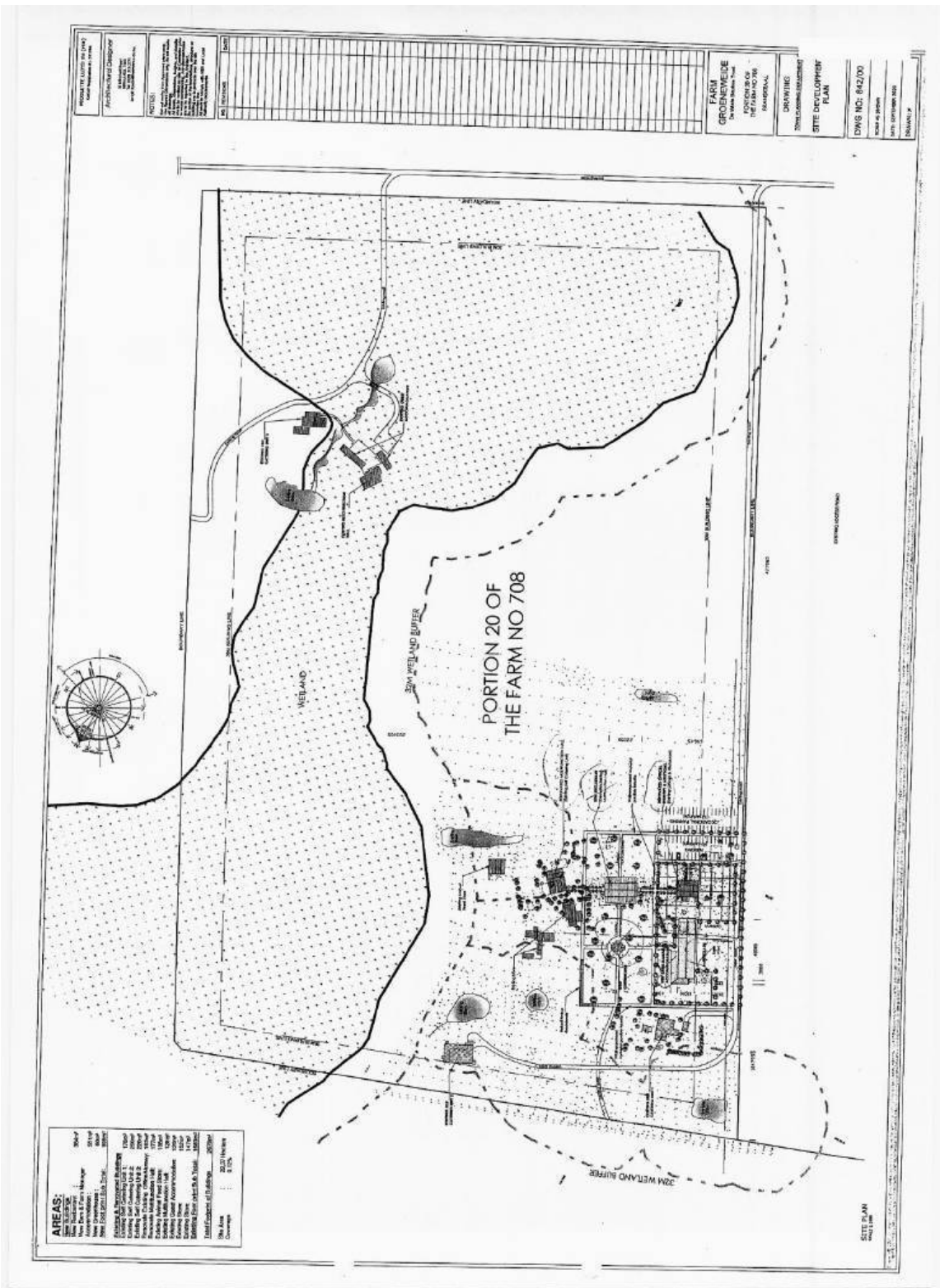
- ❖ The application has followed due procedure.
- ❖ None of the relevant municipal departments have any objection.
- ❖ The proposal will not negatively impact on vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.



PTN 20/708, FRANCKEKRAAL

Date: 2020/10/14





**APPROVED BY:** [Signature]  
 [Name]  
 [Title]  
 [Date]

**APPROVED BY:** [Signature]  
 [Name]  
 [Title]  
 [Date]

**NOTES:**  
 1. This site plan is a preliminary design and is subject to change without notice.  
 2. All dimensions are in meters unless otherwise stated.  
 3. The site plan is based on the following information:  
 a. The site plan is based on the following information:  
 b. The site plan is based on the following information:  
 c. The site plan is based on the following information:  
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 w. The site plan is based on the following information:  
 x. The site plan is based on the following information:  
 y. The site plan is based on the following information:  
 z. The site plan is based on the following information:

**FARM**  
**GEOMETRIC**  
**POSITION OF**  
**THE FARM NO 708**  
**GENERAL**

**DRAWING**  
**DATE:** [Date]  
**SCALE:** [Scale]

**SITE DEVELOPMENT**  
**PLAN**

**DWG NO:** 842/00  
**SCALE:** 1:500  
**DATE:** 10/10/2000  
**DRAWN BY:** [Name]

**AREAS:**

Area	Description	Area (m <sup>2</sup> )	Percentage
1	Building Footprints	15,000	1.5%
2	Roofed Areas	15,000	1.5%
3	Open Areas	15,000	1.5%
4	Wetland	15,000	1.5%
5	Wetland Buffer	15,000	1.5%
6	Other	15,000	1.5%
<b>Total</b>	<b>Total Area</b>	<b>1,000,000</b>	<b>100%</b>

**SITE PLAN**  
 10/10/2000

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR AMENDMENT SITE DEVELOPMENT PLAN: PTN 20  
(A PORTION OF PORTION 12) OF FARM NO. 708 FRANCHE KRAAL,  
DIVISION CALEDON**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	In order
Roads and traffic	:	No services available

**Conditions:**

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

**1.1 Developments containing Sectional Title Units/ Commercial Buildings** (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

**1.2 Developments with free standing properties** (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2020/2021**) is as follows:

Sewerage	R 16 153.00 x 3.98	=	<u>R 64 288.94</u>
<b>TOTAL (inclusive of VAT)</b>		=	<b>R 64 288.94</b>

**Note:**

- 1.2.1 The above figures are estimates and do not include connection fees.
2. that the developer arrange with Eskom for the provision of electricity and that he complies with all conditions as may be set by Eskom;

3. that the developer will be responsible for the removal of refuse and the disposal thereof at a registered municipal waste transfer station or waste disposal facility;
4. that the proposed development on Portion 20 (A Ptn of Ptn 12) of Farm No. 708 be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operations, and to which the sewer services of the development must connect to;
5. that the sewer conservancy tanks must be accessible to the municipal sewer tankers from one of the adjacent public roads, with parking areas for the sewer tankers provided with permanent surfaces and to the layout and specification of the Department: Operations;
6. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the limitation requirements of SANS140400 – P: 2010: Drainage;
7. that, as no municipal refuse removal services are rendered in the area, the developer is responsible of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or waste disposal facility;
8. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operations.

*Dennis Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*24/06/2021*  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**4. ERF 436, 22 CALEDON STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS GERARD REULING ARCHITECTS ON BEHALF OF MA RIDDEL**

**436 SSS**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**4 October 2021**

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**Executive Summary**

An application was received on 19 March 2021 from Messrs Gerard Reuling Architects on behalf of the owner of Erf 436, Stanford, MA Riddel, in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the relaxation of the eastern lateral building line from 2m to 0,95m, and for the relaxation of the street building line from 4m to 1,4m to accommodate alterations to the existing dwelling

**RESOLVED:**

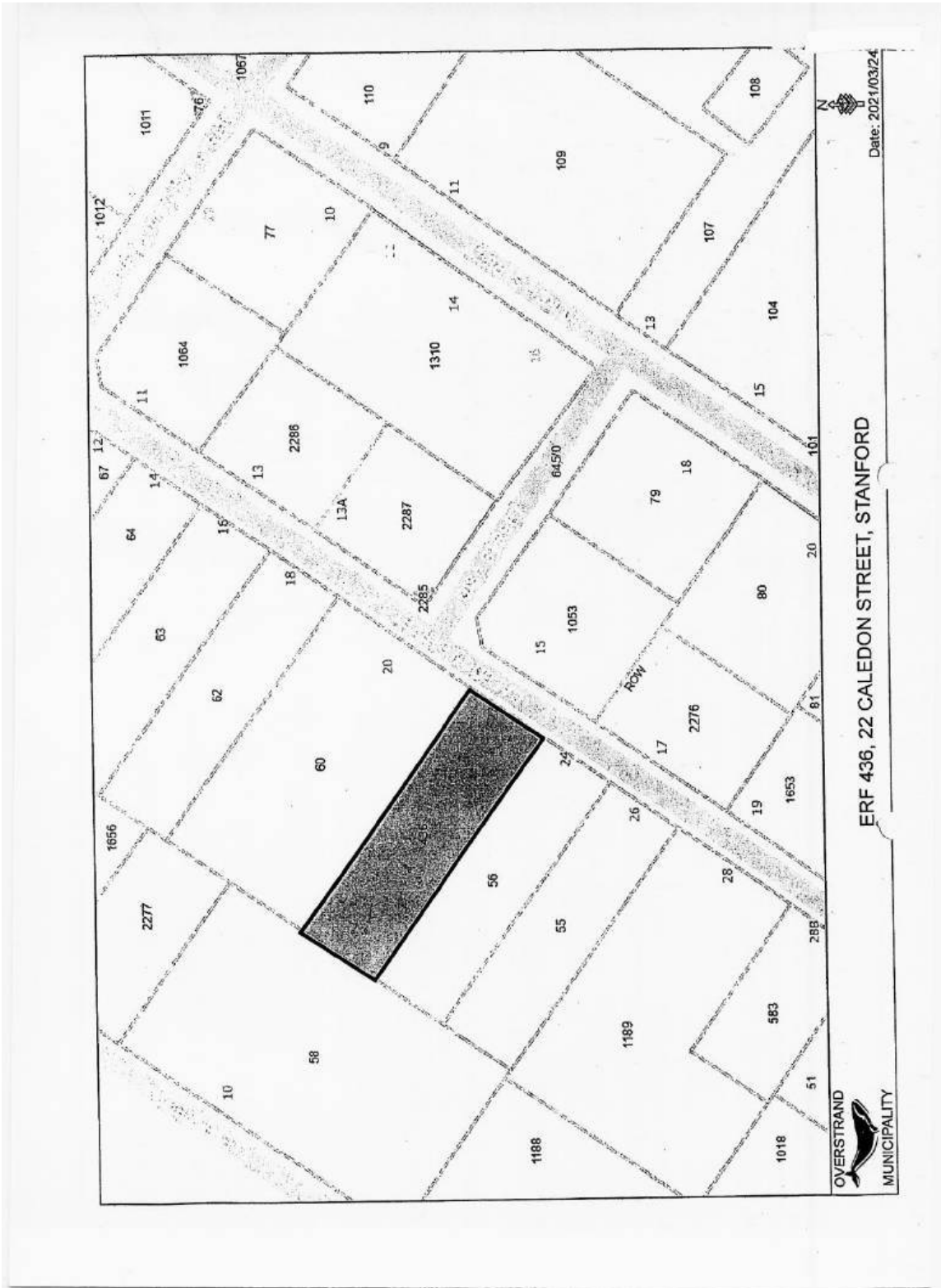
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), applicable to Erf 436, Stanford to relax the eastern lateral building line from 2m to 0,95m and the street building line from 4m to 1,4m to accommodate alterations to the existing dwelling, be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the approval is only for the relaxation of the street- and lateral building lines as indicated on the drawing no, *j2002-fp00, j2002-el01, j2002-el02* as submitted with the application;
  - (b) that the conditions in the Engineering Report, be complied with;
  - (c) that the roof height increase is restricted to 0,355m;
  - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
  - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ None of the relevant municipal departments have any objection.
- ❖ The proposal will not negatively impact on vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ The original footprint of the dwelling will remain unchanged and the amendments are only to allow for the renovations of the existing roof.
- ❖ There will be no impact on services.



Date: 2021/03/24

ERF 436, 22 CALEDON STREET, STANFORD





gerard reuling  
architects

SACAP / SAA

16 dempers street  
onrus river  
overstrand  
7201

2c dyart road  
green point  
cape town  
8005

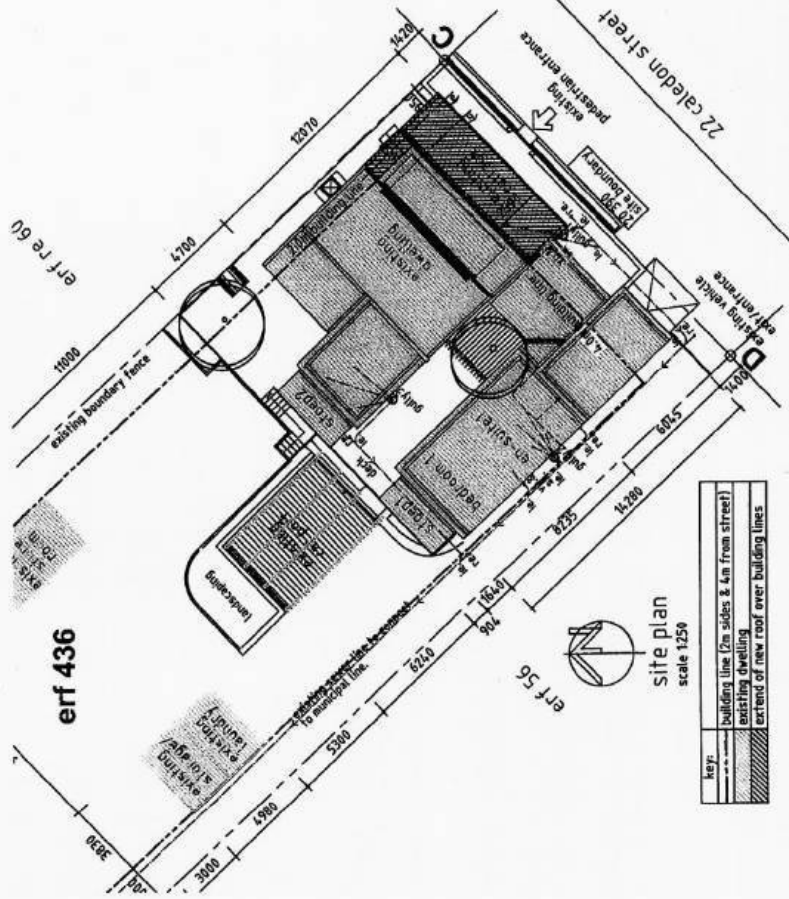
tel: 083 3579 974

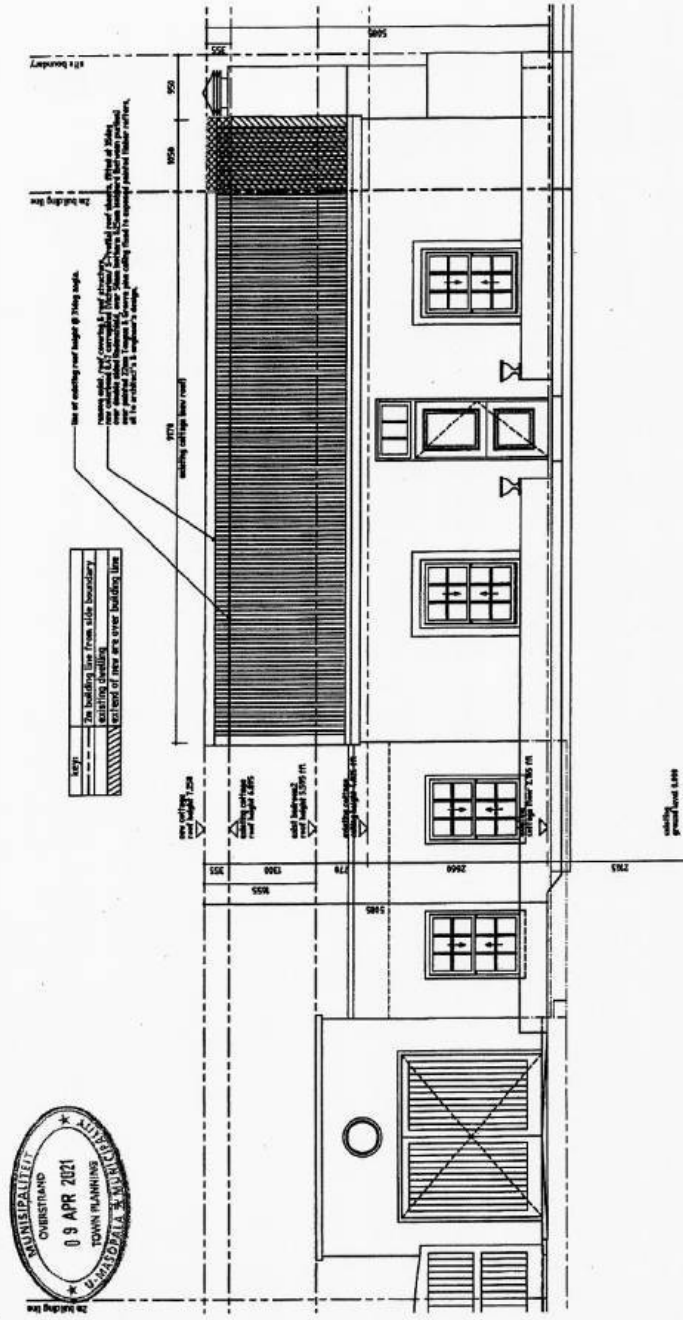
client: house riddell  
project: proposed alterations to erf 436 stanford overstrand municipality

drawing title: site development plan

size	scale	date	drawn
A3	1:250	2020.07	gr

phase	drawing number	revision
council submission	j2002-fp00	a





south east elevation (22 caledon street)  
scale 1:50

**general notes:**

- all dimensions and levels are to be verified on site prior to construction
- approved building work, unless otherwise stated or construction conditions, must be carried out in accordance with the Building Act 2016
- any drawings to be submitted for approval prior to construction or installation, are deemed to be the responsibility of the applicant
- any work carried out must comply with the relevant specifications
- any work carried out must be carried out in accordance with the relevant specifications

**revisions:**

No.	Description	Date
1	Initial issue - Planning	08/04/2021
2	Final issue - Council submission	09/04/2021

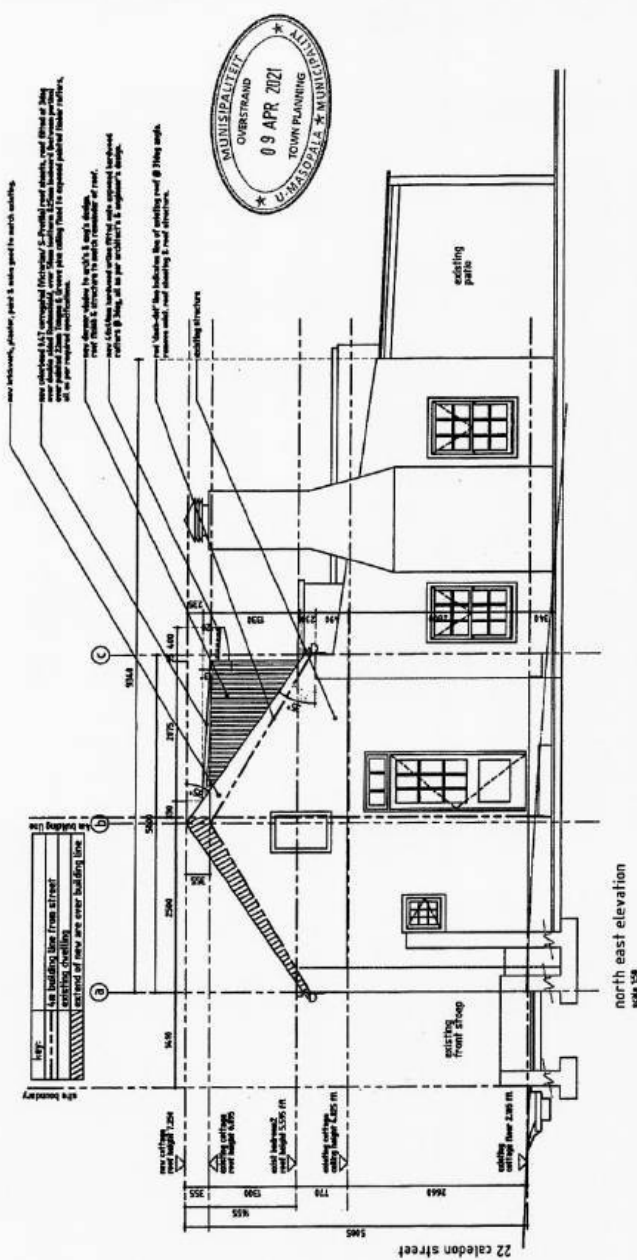
**ARCHITECTS**  
2204 / 2206  
15 deerpark street  
surrey, chertsey  
7200  
tel: 085 3579 374

house riddell  
proposed alterations to  
art 436  
stanford  
overstrand municipality

working title: south east elevation

date	scale	sheet	sheet no
A3	1:50	001	001/07

client submission  
drawing number: J/092-0(1)  
sheet no: 1



new driveway, gutter, paved & water proof to match existing  
 new external L-shaped (1000mm x 2000mm) porch, roof area of 20sqm  
 new external 2000mm x 3000mm porch, roof area of 6sqm  
 all as per proposed specifications.  
 new 1000mm x 2000mm porch to match existing porch  
 new 2000mm x 3000mm porch to match existing porch  
 new 1000mm x 2000mm porch to match existing porch  
 new 2000mm x 3000mm porch to match existing porch  
 new 1000mm x 2000mm porch to match existing porch  
 new 2000mm x 3000mm porch to match existing porch

north east elevation  
4244 158

**BOARD RULES**  
 SAGP / SAA  
 18 degenere street  
 cape town  
 7800  
 Tel: 083-3578 974

**general notes:**

- all dimensions and levels are to be verified on site prior to commencing building work, including drainage or construction
- all work to be completed in accordance with the relevant specifications, unless and insofar as to be reported to the relevant authorities
- work drawings to be submitted for approval prior to construction or installation
- all work to be completed in accordance with the relevant specifications and drawings
- acceptance and right of inspection and the issuing of any permits shall be determined by the architect.

**revisions:**

No.	Date	Description
1	2021/04/09	Initial design and drawings for approval

Author: *[Signature]*  
 per: *[Signature]*

**house riddel**

proposed alterations to  
 erf 424  
 Overstrand Municipality

Working Title: north east elevation  
 No: 158  
 Date: 09 APR 2021

Working Number: council submission  
 J2602-4192

Scale: b

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 436, STANFORD**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 436, Stanford, unobstructed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

19/07/2021  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

**5. ERF 4164, 316 EIGHTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND  
MUNICIPAL AREA: APPLICATION FOR DEPARTURE: S DE WET**

**4164 HVK(316)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**5 October 2021**

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**Executive Summary**

An application was received on 20 May 2021 from S De Wet in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 4164, Voëlklip for the following:

- the determination of an administrative penalty in terms of Section 16(2)(q) of the By-Law; and
- application for departure in terms of Section 16(2)(b) of the By-Law to relax the lateral building line from 2m to 0m to accommodate an existing braai room.

**RESOLVED:**

1. that the departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) applicable to Erf 4164, Voëlklip, Hermanus for the relaxation of the lateral building line to accommodate the conversion of a garage to a braai room, **not be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the applicant be exempted of an administrative penalty in terms of Section 90(4) of the By-Law for the above illegal encroachments of the lateral building line.
3. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

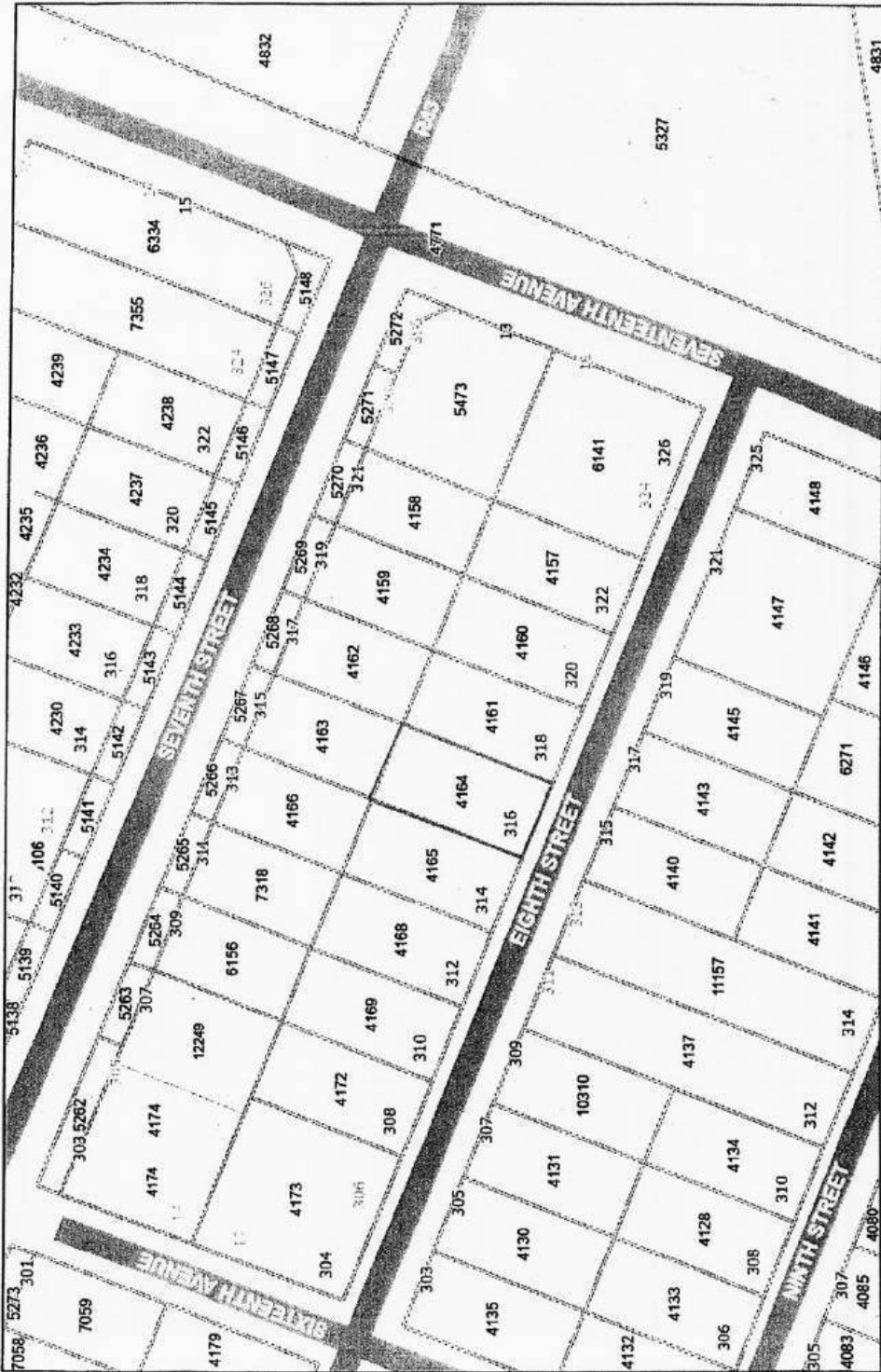
**REASONS FOR RESOLUTION**

- ❖ The historical approval of an existing garage/outbuilding on the boundary is not a motivation to allow additional habitable spaces on the property, further the footprint will be increased further than what was historically approved.
- ❖ A habitable space on the common boundary is not desirable and is considered a new land use when compared to the existing land uses which include a garage/outbuilding and a servant's room.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
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- ❖ There is a considerable amount of open space available for the extension of the main dwelling to the northern direction other than creating additional habitable space on the common boundary.
- ❖ The motivation does not adequately address the need and desirability for the increase of the footprint on the boundary.
- ❖ The proposal is not in line with the character of the area as the surround erven do not have habitual spaces onto the boundary.
- ❖ Certain changes of the building on the boundary are not motivated or discussed.
- ❖ The application to accommodate the braai room onto the common boundary will not be approved and will have to convert the structure back to a garage at a considerable cost, therefore opinion is held that the administrative penalty must not be levied.




  
 Date: 2021/05/24

LOCALITY PLAN: ERF 4164, VOÛKLIF


  
 OVERSTRAND MUNICIPALITY

**◆ IMPORTANT CONTRACTOR NOTE**

**◆ HEALTH AND SAFETY**

**◆ ENGINEER'S NOTE**

**◆ STORM WATER CONTROL AND DISPOSAL**

**◆ LAND SURVEYOR**

**◆ DATUM PRO**

**◆ PLATFORM NOTE**

**◆ FOUNDATION NOTE**

**◆ GLASS NOTE**

**◆ ELECTRICAL NOTE**

**◆ AREAS**

◆ SITE & GROUND FLOOR PLAN

◆ WEST ELEVATION

◆ SOUTH ELEVATION

◆ NORTH ELEVATION

◆ EAST ELEVATION

**VILLARCH**  
ARCHITECTS  
10011 185th Avenue NE  
Bellevue, WA 98007  
Tel: 206.835.1100  
Fax: 206.835.1101  
www.villarch.com

**PROJECT INFORMATION:**

PROJECT NAME	RETAIL, SERVICE AND FOOD STORE
CLIENT	RETAILER
ARCHITECT	VILLARCH
DATE	2023
SCALE	1:20
DATE	2023
SCALE	1:20

**PROJECTS UNDER CONSTRUCTION:**

NO.	PROJECT NAME	DATE
1	RETAIL, SERVICE AND FOOD STORE	2023

◆ SECTION A-A

◆ METAL FLASHING DETAIL

◆ NEW WALL JOINT DETAIL

◆ 250mm P.O.K. FOUNDATION

◆ FIRST FLOOR LAYOUT

◆ WINDOW & DOOR SCHEDULES

◆ ENERGY CONSUMPTION

◆ ELECTRICAL LAYOUT

◆ ELECTRICAL INSTALLATION COBES

**PROJECT INFORMATION:**

PROJECT NAME	RETAIL, SERVICE AND FOOD STORE
CLIENT	RETAILER
ARCHITECT	VILLARCH
DATE	2023
SCALE	1:20
DATE	2023
SCALE	1:20

**PROJECTS UNDER CONSTRUCTION:**

NO.	PROJECT NAME	DATE
1	RETAIL, SERVICE AND FOOD STORE	2023

**IMPORTANT CONTRACTOR NOTE**

**HEALTH AND SAFETY**

**ENGINEER'S NOTE**

**STORM WATER CONTROL AND DISPOSAL**

**LAND SURVEYOR**

**DATUM PRO**

**PLATFORM NOTE**

**FOUNDATION NOTE**

**GLASS NOTE**

**ELECTRICAL NOTE**

**AREAS**

**WINDOW & DOOR SCHEDULES**

**ENERGY CONSUMPTION**

**ELECTRICAL LAYOUT**

**ELECTRICAL INSTALLATION COBES**

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 4164, VOELKLIP**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 - P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 4164, Voelklip, unobstructed;
7. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

24-08-2021  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**6. ERF 6078, 44 MOFFAT STREET, EASTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION AND DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF THE LANGERMAN FAMILY TRUST**

**6078 HEC**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**13 October 2021**

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**Executive Summary**

An application was received on 22 April 2021 in terms of Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) from Messrs PlanActive Town- and Regional Planners on behalf of the Langerman Family Trust on Erf 6078, Hermanus for the following:

- subdivision in terms of Section 16(2)(d) of the By-Law to subdivide Erf 6078, Hermanus into two (2) portions namely Portion A ( $\pm 660\text{m}^2$  in extent) and a Remainder ( $\pm 656\text{m}^2$  in extent), and
- departure in terms of Section 16(2)(b) of the By-Law to relax the southern lateral building line from 2m to 0m in order to accommodate a storeroom on the Remainder.

**RESOLVED:**

1. that the application in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) from Messrs PlanActive Town- and Regional Planners on behalf of the Langerman Family Trust on Erf 6078, Hermanus for the following:

- subdivision in terms of Section 16(2)(d) to subdivide Erf 6078, Hermanus into two (2) portions namely Portion A ( $\pm 660\text{m}^2$  in extent) and a Remainder ( $\pm 656\text{m}^2$  in extent); and
- departure in terms of Section 16(2)(b) to relax the southern lateral building line from 2m to 0m in order to accommodate a storeroom on the Remainder;

**be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions

- (a) that the approval is only for the subdivision as indicated on the Subdivisional Plan (drawing no her6078s.drw) as submitted with the application;

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (b) that the conditions in the Services Report, be complied with to the satisfaction of the Engineering Services;
  - (c) that the conditions stipulated by Open Serve, be complied with;
  - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
  - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ No objection was received from the surrounding property owners
- ❖ It will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is considered desirable.



**PIA<sup>®</sup> Active**

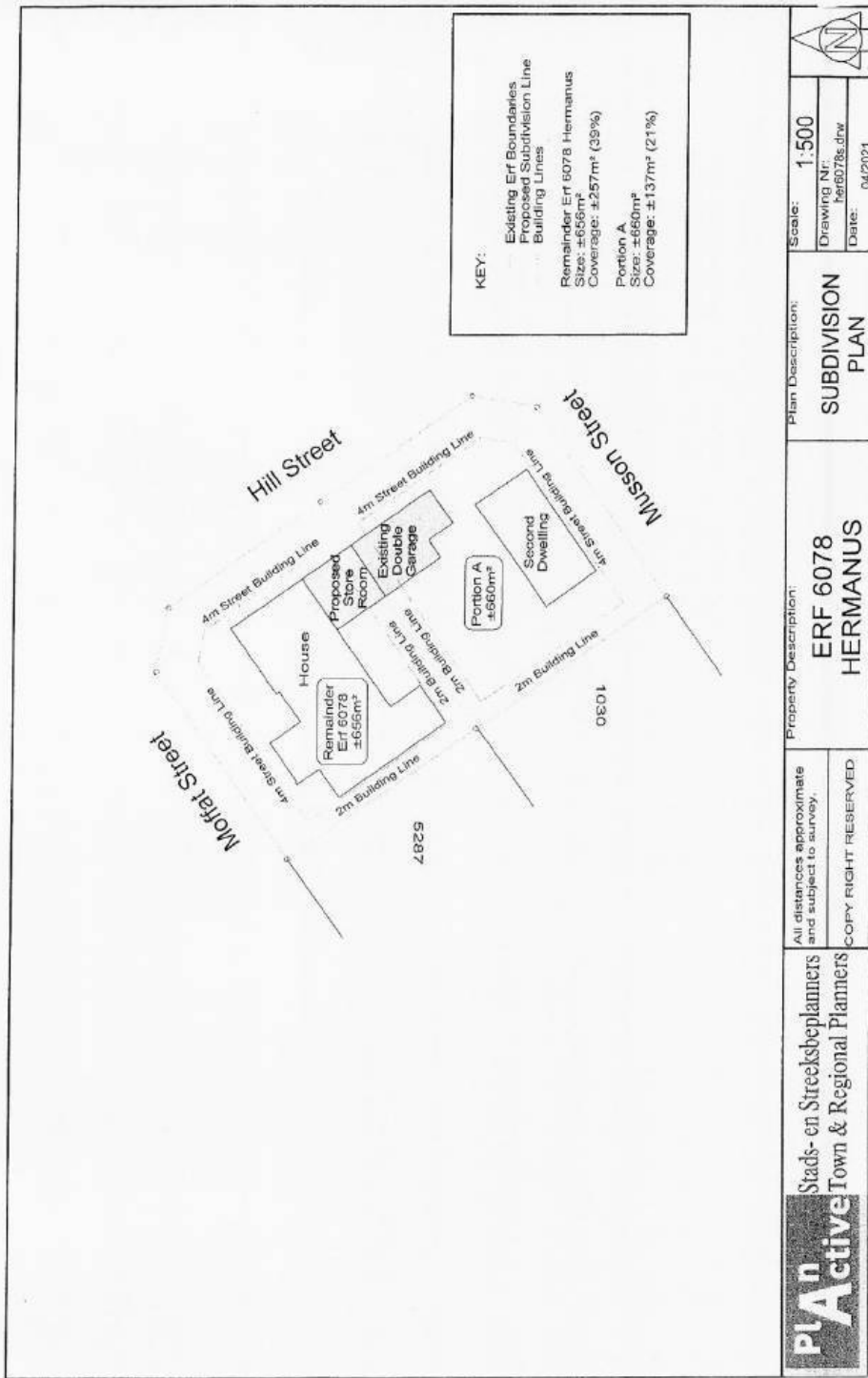
Stads- en Streeksbeplanners  
Town & Regional Planners

All distances approximate  
and subject to survey.  
COPY RIGHT RESERVED

Property Description:  
**ERF 6078  
HERMANUS**

Plan Description:  
**LOCALITY MAP**

Scale: **NTS**  
Drawing Nr: **ERF 6078.dwg**  
Date: **APRIL 2021**



<p>All distances approximate and subject to survey. COPY RIGHT RESERVED</p>	<p>Property Description:</p> <p><b>ERF 6078 HERMANUS</b></p>	<p>Plan Description:</p> <p><b>SUBDIVISION PLAN</b></p>	<p>Scale:</p> <p><b>1:500</b></p>
	<p>Stads- en Streeksbeplanners Town &amp; Regional Planners</p> <p><b>PLA n Active</b></p>	<p>North Arrow</p>	<p>Drawing Nr.:</p> <p>her6078s.dwg</p>

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR SUBDIVISION AND DEPARTURE: ERF 6078, EASTCLIFF**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

**Conditions:**

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

**1.1 Developments containing Sectional Title Units/ Commercial Buildings**  
(non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

**1.2 Developments with free standing properties** (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2021/2022**) is as follows:

**Freehold erven:**

Water	R 24 915.00 x 1	=	R 24 915.00
Sewerage	R 16 799.12 x 1	=	R 16 799.12
Roads	R 7 532.72 x 1	=	R 7 532.72
Stormwater	R 8 691.28 x 1	=	R 8 691.28
Solid Waste	R 1 505.92 x 1	=	R 1 505.92
Electricity	R 33 264.34 x 1	=	<u>R 33 264.34</u>
<b>TOTAL (inclusive of VAT)</b>		<b>=</b>	<b>R 92 708.38</b>

Note:

- 1.3 **The above figures are estimates**
- 1.4 **The above figures do not include evaluation/investigation levies and connection fees**
2. Any part of the existing water supply on Erf 6078 that crosses the common boundary of Portion A of Erf 6078 and Portion B must be disconnected and sealed off.

3. That both Portion A and Portion B of the Erf 6078 must be serviced with individual and separate water connections to the municipal system, which comply with the standards of the Department: Operational Services (Hermanus).
4. that both Portion A and Portion B of Erf 6078 must be provided with individual and separate sewer connection points which must comply with the standards of the Department: Operational Services(Hermanus);
3. that only a standard 60 Amp single phase electricity connection will be available per erf;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that on-site parking facility be provided as per the Planning Schedule, and to the satisfaction of the Directorate: Infrastructure and Planning;
6. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that stormwater be allowed to discharge through the proposed Erven, Eastcliff, unobstructed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

07/10/2021  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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7. **ERF 1201, VAN DYKSBAAI, OVERSTRAND MUNICIPAL AREA: PERMANENT DEPARTURE, AMENDMENT OF APPROVED SITE DEVELOPMENT PLAN AND AMENDMENT OF CONDITIONS IN RESPECT OF AN EXISTING APPROVAL TO PERMIT A TRANSMISSION TOWER: MESSRS WARREN PETTERSON PLANNING ON BEHALF OF THE BIRKENHEAD LODGE TRUST**

1201 GKB (3590/2020)

SW van der Merwe  
29 October 2021

(028) 313 8900

Hermanus Administration

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### **Executive Summary**

To consider an application received on 17 January 2020 from Messrs Warren Petterson Planning on behalf the Birkenhead Lodge Trust in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1201, van Dyksbaai for the following:

- departure in terms of Section 16(2)(b) of the By-Law in order to accommodate a transmission tower that encroach the height restriction from 8m to 15m;
- amendment of conditions in respect of an existing approval in terms of Section 16(2)(h) of the By-Law in order to accommodate the proposed transmission tower, and
- amendment of an approved Site Development Plan (SDP) in terms of Section 16(2)(l) of the By-Law in order to accommodate the proposed transmission tower.

### **RESOLVED:**

1. that the late objection is noted;
2. that the application submitted in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 1201, Van Dyksbaai for a departure to accommodate a proposed transmission tower, which transmission tower encroach the applicable height restriction from 8m to 15m, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application submitted in terms of Section 16(2)(h) and (l) of the By-Law on Erf 1201, Van Dyksbaai for amendment of conditions of an existing approval as well as the amendment of the Site Development Plan to accommodate the proposed transmission tower, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approval in paragraphs 2. and 3. above be subject to the following conditions:

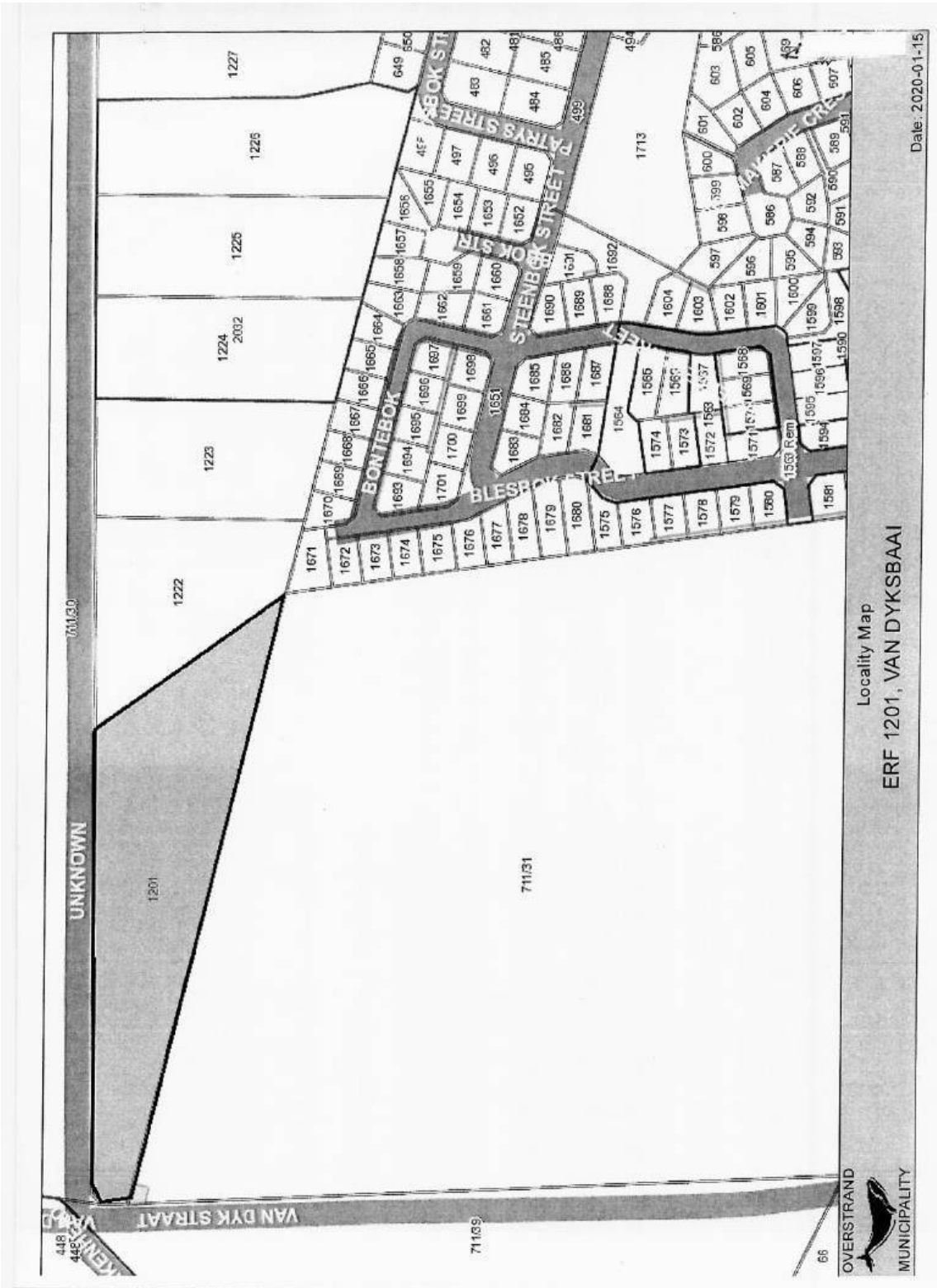
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (a) that the transmission apparatus be restricted to the development indicated on *Drawing No. sheet 1 – 4* dated 2020-08-27 and elevation plan 2953-D-006RevE(undated) submitted with the application;
  - (b) that should the transmission tower becomes defunct, the structures be removed to an approved landfill site;
  - (c) that all the conditions in the Service Report, be complied with;
  - (d) that the conditions in the letters from Open Serve and Department of Transport and Public Works, be complied with;
  - (e) that the transmission tower at all times complies with the ICNIRP Guidelines as endorsed by the SA Department of Health;
  - (f) that the applicant within thirty (30) days of the transmission tower becoming operational, or within thirty (30) days of any upgrade commissions an independent service provider and submit test result to the Municipality demonstrating compliance with the permitted public exposure guidelines
  - (g) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
5. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with regard to the above decision.

**REASONS FOR RESOLUTION**

- ❖ All relevant municipal and government departments support the application.
- ❖ The proposal will not be too close to residential properties.
- ❖ The proposal permits colocation that serves to reduce visual impact.
- ❖ The VIA indicates a slimline monopole design as the most suitable option.
- ❖ The application is considered desirable.






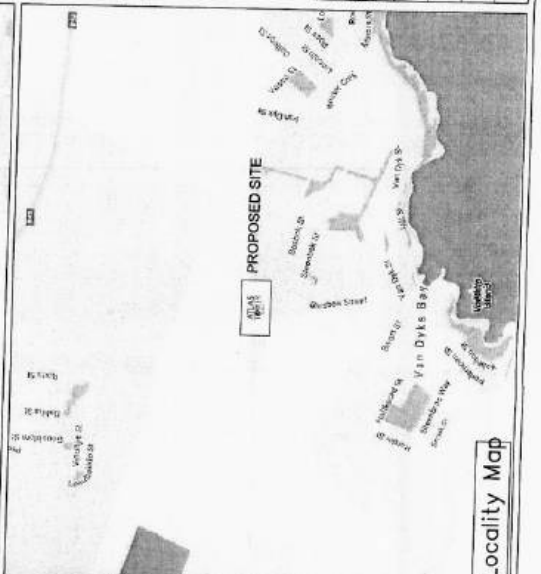
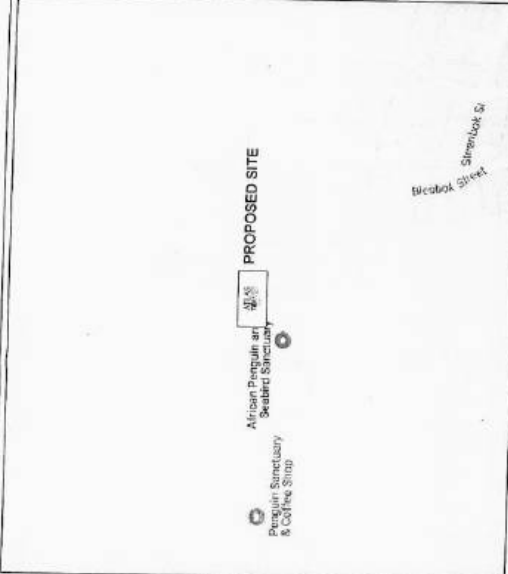
Date: 2020-01-15

Locality Map  
**ERF 1201, VAN DYKSBAAI**

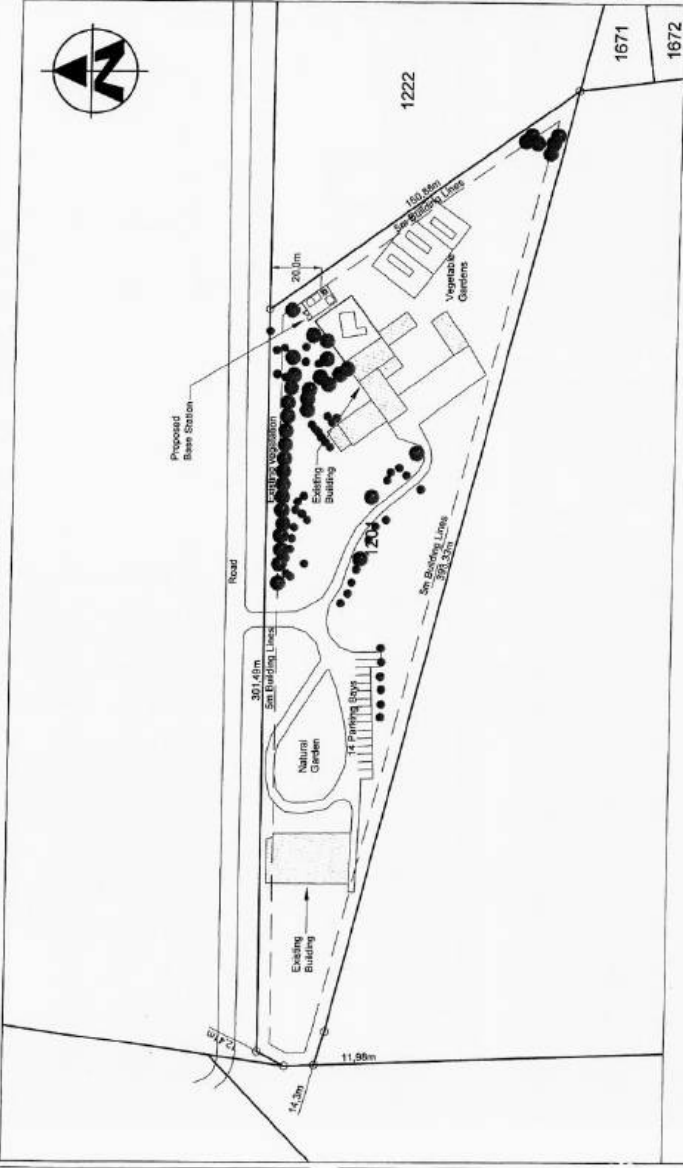


448  
448

		
ATLAS TOWER SITE ID:		
ATLAS TOWER SITE NAME:	VAN DYKES BAAI	
PROPERTY DESCRIPTION:	ERF 1201, VAN DYKESBAAI, WESTERN CAPE	
ADDRESS:	VAN DYKES BAAI, WESTERN CAPE	
COORDINATES:	ELEVATION: Lat: -34.607215° Long: 19.352860° 23m	
		
TOWN AND REGIONAL PLANNING CONSULTANTS 76 BERNHARDT ROAD, BLOEMFONTEIN, 1015 P.O. BOX 121217, CENTURION, 2011 CONTACT: CH. DEWET TEL: 018 292 1111		
PROJECT:	PROPOSED NEW ATLAS TOWER 15m MONOPOLE MAST WITH 10m X 8m BASE STATION	
APPROVED MAST:	15m MONOPOLE MAST	
NOTES:	A) NEW 15m MONOPOLE MAST B) NEW BASE STATION C) 10m X 8m BASE STATION D) BASE STATION	
		
DATE	DESCRIPTION	REVISION
02-12-2019	Issue height to 15m	1
21-06-2020	Added existing vegetation	2
27-08-2020	Move site	3
DRAWING NUMBER:		SHEET:
		1 OF 4
DRAWING TITLE:	LOCALITY MAP	
DRAWN: D. LOOTS	SCALE:	N/A
DATE: 2020-08-27		REVISION:
		3



Site Plan

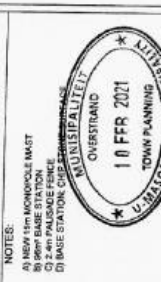


**ATLAS TOWER**  
 (Pty) Ltd  
 100% BLACK OWNED

**ATLAS TOWER SITE ID:**  
**ATLAS TOWER SITE NAME:** VAN DYKS BAAL  
**PROPERTY DESCRIPTION:**  
 ERF 1201, VAN DYKSBAAL, WESTERN CAPE  
**ADDRESS:** VAN DYKSBAAL, WESTERN CAPE  
**CO-ORDINATES:** ELEVATION:  
 Lat: -34.697215° Long: 19.352869° 23m



**PROJECT:** PROPOSED NEW ATLAS TOWER 15m MONOPOLE MAST WITH 12m x 8m BASE STATION  
**APPROVED MAST:** 15m MONOPOLE MAST  
**NOTES:**  
 A) NEW MONOPOLE MAST  
 B) 8m x 8m BASE STATION  
 C) 2.4m PALISADE FENCE  
 D) BASE STATION, DISCONNECT BOX



DATE	DESCRIPTION	REVISION
02-12-2019	Reduce height to 15m	1
24-05-2020	Added existing vegetation	2
27-08-2020	Move site	3

**DRAWING NUMBER:** 2 OF 4  
**DRAWING TITLE:** SITE PLAN  
**DESIGNER:** D. LOOTS  
**SCALE:** 1:2000  
**DATE:** 2020-08-27  
**REVISION:** 3

**Coverage:**

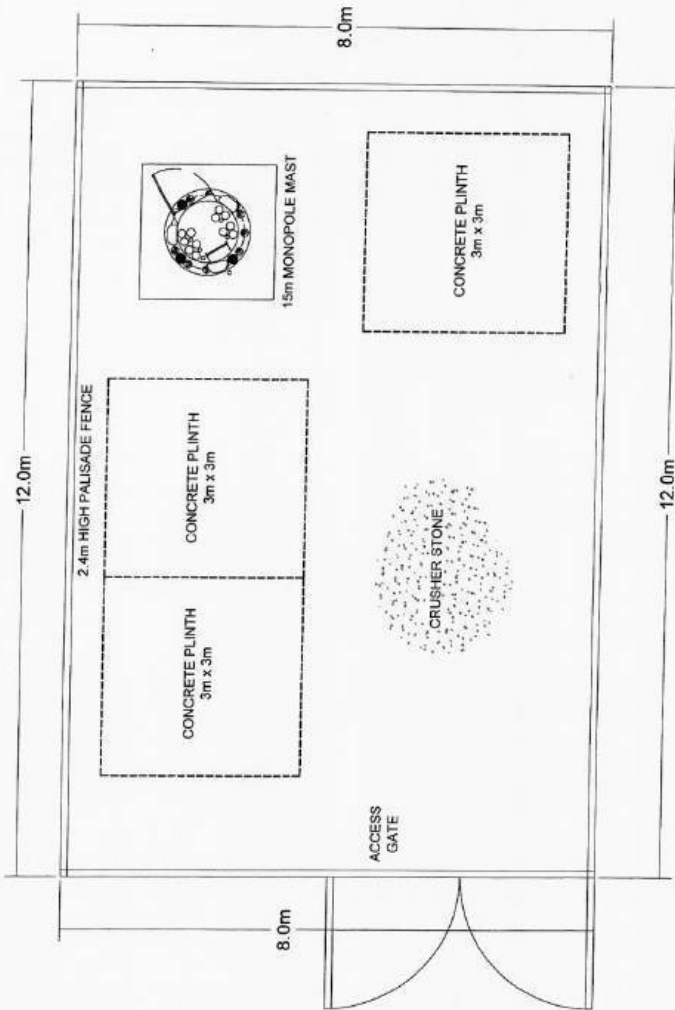
Ground Floor	: 173.37m <sup>2</sup>
Enbaised Floor	: 42.89m <sup>2</sup>
First Floor	: 184.46m <sup>2</sup>
Garage	: 70.54m <sup>2</sup>
<b>Total</b>	<b>: 451.07m<sup>2</sup></b>
Er	: 2.3181 Ha
Coverage	: 1.84%

**Areas:**

Penguin & Seabird Sanctuary	: 637.00m <sup>2</sup>
Main Dwelling	: 265.00m <sup>2</sup>
Enbaised Garage	: 70.00m <sup>2</sup>
Volunteers Accommodation 1	: 98.00m <sup>2</sup>
Volunteers Accommodation 2	: 300.00m <sup>2</sup>
Volunteers Accommodation 3	: 300.00m <sup>2</sup>
Transit/Recreational Facilities	: 326.00m <sup>2</sup>
Green House Tunnel	: 206.00m <sup>2</sup>
Transmission Tower	: 90.00m <sup>2</sup>
<b>TOTAL FOOTPRINT</b>	<b>: 2008.05m<sup>2</sup></b>
Farm	: 2.3181 Ha

Parking Requirements	Area:	Parking Req:	Provide Parking:
Boarding House - 1 bay per bedroom	4 Bedrm	2 Bays	2 Bays
1. Main dwelling house	4 Bedrm	1 bay per bedrm	14 Bays
2. Volunteers Acc 1	12 Bedrm	1 bay per bedrm	38 Bays
3. Volunteers Acc 2			
4. Volunteers Acc 3			
5. Transit/Recreational Facilities			
6. Only for volunteers on			
Penguin & Seabird Sanctuary			
<b>TOTAL REQUIRED</b>			14 Approved
<b>APPROVED PARKING SPO</b>			22 Bays
<b>PROVIDED IN TOTAL WITH EXISTING</b>			14 Bays
Provide 2 x 4.5 x 5m Disabled Parking Bays			38 Bays

Top View



**ATLAS TOWER**  
 CONSULTANTS

**ATLAS TOWER SITE ID:**  
**ATLAS TOWER SITE NAME:** VAN DYKS BAAI  
**PROPERTY DESCRIPTION:**  
 erf 1201, VAN DYKSBAAI WESTERN CAPE  
**ADDRESS:** VAN DYKS BAAI, WESTERN CAPE  
**COORDINATES:** ELEVATION: 25m  
 Lat: -34.607215°  
 Long: 18.528860°



**TOWN AND REGIONAL PLANNING CONSULTANTS**  
 Tel: 021 660 8524 Fax: 021 660 8525  
 Unit 14, 2nd Floor, Gateway 27/8, Cape Town, South Africa



**PROJECT:** PROPOSED NEW ATLAS TOWER 15m MONOPOLE MAST WITH 12m X 8m BASE STATION  
**APPROVED MAST:** 15m MONOPOLE MAST

**NOTES:**  
 A) NEW 15m MONOPOLE MAST  
 B) 8m X 8m BASE STATION  
 C) 2.4m PALISADE FENCE  
 D) BASE STATION CHIP STONE SURFACE

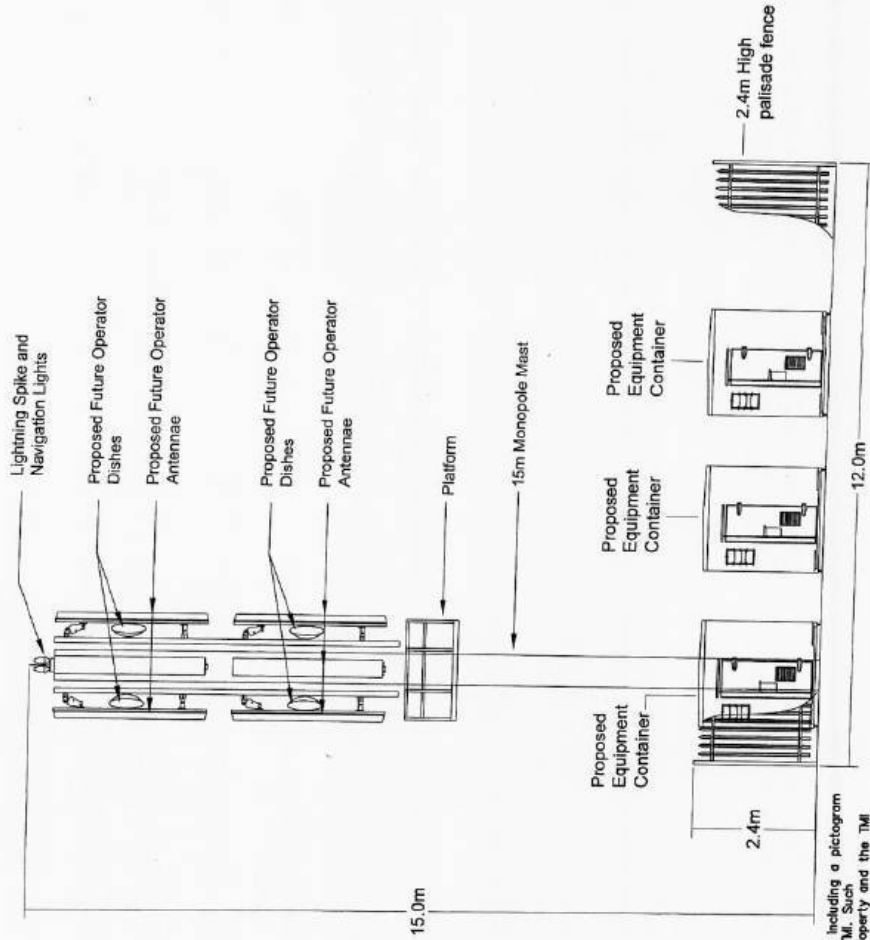


DATE	DESCRIPTION	REVISION
08-12-2019	Revised height to 15m	1
21-05-2020	Added existing vegetation	2
27-08-2020	Move site	3

**DRAWING NUMBER:** 3 OF 4  
**DRAWING TITLE:** TOP VIEW  
**SCALE:** NTS  
**DRAWN BY:** D. LOOTS  
**DATE:** 2020-08-27  
**REVISION:** 3

		
ATLAS TOWER SITE ID:		
ATLAS TOWER SITE NAME:	VAN DYKSBAAI	
PROPERTY DESCRIPTION:	ERF 1201, VAN DYKSBAAI, WESTERN CAPE	
ADDRESS:	VAN DYKSBAAI, WESTERN CAPE	
CO-ORDINATES:	ELEVATION: 23m	
Lat: -34.607213°		
Long: 19.352867°		
		
TOWN AND REGIONAL PLANNING CONSULTANTS 14, 001 669 0000 1200 West Street, Suite 200, Cape Town, South Africa Tel: 0027 21 521 6000 Fax: 0027 21 521 6001 Email: info@wpp.co.za Website: www.wpp.co.za		
PROJECT:	PROPOSED NEW ATLAS TOWER 15m MONOPOLE MAST WITH 12m X 8m BASE STATION	
APPROVED MAST:	15m MONOPOLE MAST	
NOTES:	A) NEW 15m MONOPOLE MAST B) 12m X 8m BASE STATION C) 2.4m PALISADE FENCE D) BASE STATION CHIP STORE SURFACE	
DATE	DESCRIPTION	REVISION
02-12-2019	Revised Initial Design	1
21-05-2020	Added existing vegetation	2
27-08-2020	Move site	3
	DRAWING NUMBER:	SHEET
		4 OF 4
	DRAWING TITLE:	ELEVATION
	DRAWN: D. LOOTS	SCALE: NTS
	DATE: 2020-08-27	REVISION: 3

Elevation




NOTE:  
 Advisory or warning signage including a pictogram may be a requirement for TMI. Such signage shall identify the property and the TMI and shall warn the general public as required. Such signage shall be to the City's satisfaction and may not be larger than 400mm x 500mm.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE, AMENDMENT OF SITE DEVELOPMENT  
PLAN & AMENDMENT OF CONDITIONS IN RESPECT OF AN EXISTING  
APPROVAL: ERF 1201, VAN DYKSBAAI**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that the existing water connection and sewer conservancy tank to Erf 1201 shall be used to service Erf 1201;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitation of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – p: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 1201, Van Dyksbaai, unobstructed;
6. that on-site parking facilities are provided as per the Planning Schedules, and to the satisfaction of the Department: Operational Services.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

**8. ERF 7967, 122 FOURTH AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION: MESSRS PLAN ACTIVE ON BEHALF OF JS VLOTMAN**

**7967 KKM**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**11 October 2021**

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**Executive Summary**

An application was received on 3 May 2021 from Messrs Plan Active on behalf of JS Vlotman on Erf 7967, Kleinmond in terms of Section 16(2)(d) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 to subdivide the above-mentioned property into two (2) portions, namely Portion A ( $\pm 595\text{m}^2$  in extent) and a Remainder ( $\pm 595\text{m}^2$  in extent).

**RESOLVED:**

1. that the application in terms of Section 16(2)(d) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 (By-Law) to subdivide Erf 7967, Kleinmond into two (2) portions namely Portion A ( $\pm 595\text{m}^2$  in extent) and a Remainder ( $\pm 595\text{m}^2$  in extent), **be approved** in terms of the provisions of Section 61, subject to the following conditions:
  - (a) that the approval is only for the subdivision as indicated on Subdivisional Plan erf7967kleinmond.drw, dated April 2021 as submitted with the application;
  - (b) that the outbuilding situated on the common boundary may only be utilised as a storeroom;
  - (c) that the garage on Portion A may not be utilized for any usage until such time it has been registered and a building plan has been approved for a dwelling unit and built according to plan;
  - (d) that building plans be submitted to the Building Department, and that all conditions set by the Building- and Fire Departments at that stage, be complied with;
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
  - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (g) that the conditions in the Services Report, be complied with.

**AGENDA of the  
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2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ None of the relevant departments have any objection.
- ❖ The proposal will not negatively impact on vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ The proposed application will not impact the natural environment.
- ❖ The proposed application will not negatively impact the surrounding property owners.



Scale: NTS

Drawing No: ERF 7967 KLEINMOND.dwg

Date: APRIL 2021

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Plan Description:

**LOCALITY MAP**

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Property Description:

**ERF 7967  
KLEINMOND**

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All distances approximate and subject to survey.

COPY RIGHT RESERVED

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**PLAN** Stads- en Streeksbeplanners  
Town & Regional Planners



NOTES	
ERF 7967 KLEINMOND	
SUBDIVISION LINE	
BUILDING LINE	
PORTION A	±595m <sup>2</sup>
REMAINDER ERF 7967	±595m <sup>2</sup>

 Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: <b>ERF 7967                  KLEINMOND</b>	Plan Description: <b>SUBDIVISION                  PLAN</b>	Scale: <b>1:500</b> Drawing Nr: erf 7967 Kleinmond.drw Date: <b>APRIL 2021</b>
		North Arrow		

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR SUBDIVISION: ERF 7967, KLEINMOND**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

**Conditions:**

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

**1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)**

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

**1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).**

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2021/2022) is as follows:

**Freehold erven:**


Water	R 24 915.00 x 1	=	R 24 915.00
Sewerage	R 16 799.12 x 1	=	R 16 799.12
Roads	R 7 532.72 x 1	=	R 7 532.72
Stormwater	R 8 691.28 x 1	=	R 8 691.28
Solid Waste	R 1 505.92 x 1	=	R 1 505.92
Electricity	R 33 264.34 x 1	=	<u>R 33 264.34</u>
<b>TOTAL (inclusive of VAT)</b>		<b>=</b>	<b>R 92 708.38</b>

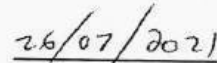
Note:

- 1.3 **The above figures are estimates**
- 1.4 **The above figures do not include evaluation/investigation levies and connection fees**
2. that each property to have their own water connection, the cost of connection and / or any upgrade for any of these services be required, will be at the owner's cost;

2

3. that each property to have their own conservancy tank to Municipal specification;
3. that only a standard 60 Amp single phase electricity connection will be available per erf;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that each property to have their own access. The cost of construction of access to the properties for the account of the owner/developer;
6. that stormwater be allowed to discharge through the proposed Erven, Kleinmond, unobstructed;
7. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**9. ERF 2052, 19 ROTUNDA WAY, PEARLY BEACH: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND SUBDIVISION: MESSRS PLANACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF CD MILLER AND A FERREIRA**

**2052 GPB**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**29 October 2021**

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**Executive Summary**

An application was received on 22 June 2021 from Messrs PlanActive Town & Regional Planners on behalf of CD Miller and A Ferreira on Erf 2052, Pearly Beach in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following:

- ❖ application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed condition C.4(a) as contained in Title Deed T25237/2019 to enable the subdivision of Erf 2052, Pearly Beach, and
- ❖ subdivision in terms of Section 16(2)(d) of the By-Law to subdivide Erf 2052, Pearly Beach in two (2) portions, namely a Remainder ( $\pm 800\text{m}^2$  in extent) and Portion A ( $\pm 891\text{m}^2$  in extent).

**RESOLVED:**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the removal of restrictive title condition B. 4(a) contained in Title Deed T25237/2019, **be approved** in terms of Section 61 of the By-Law;
2. that the application for subdivision in terms of Section 16(2)(d) of the By-Law applicable to Erf 2052, Pearly Beach to subdivide the property into two (2) portions namely a Remainder ( $\pm 800\text{m}^2$  in extent) and Portion A ( $\pm 891\text{m}^2$  in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the decisions in paragraphs 1. and 2. above be subject to the following conditions:
  - (a) that the approval is only for the subdivision as indicated on Drawing No. *2052pbs.drw* dated *JUNE 2021* as submitted with the application;
  - (b) that the conditions compiled in the Services Report, be complied with;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and

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- (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ The proposed application has a limited impact.
- ❖ The character and morphology of the surrounding area will be maintained.
- ❖ The proposal is in line with policy documents.
- ❖ The proposal is consistent with the planning principles in terms of LUPA and SPLUMA.



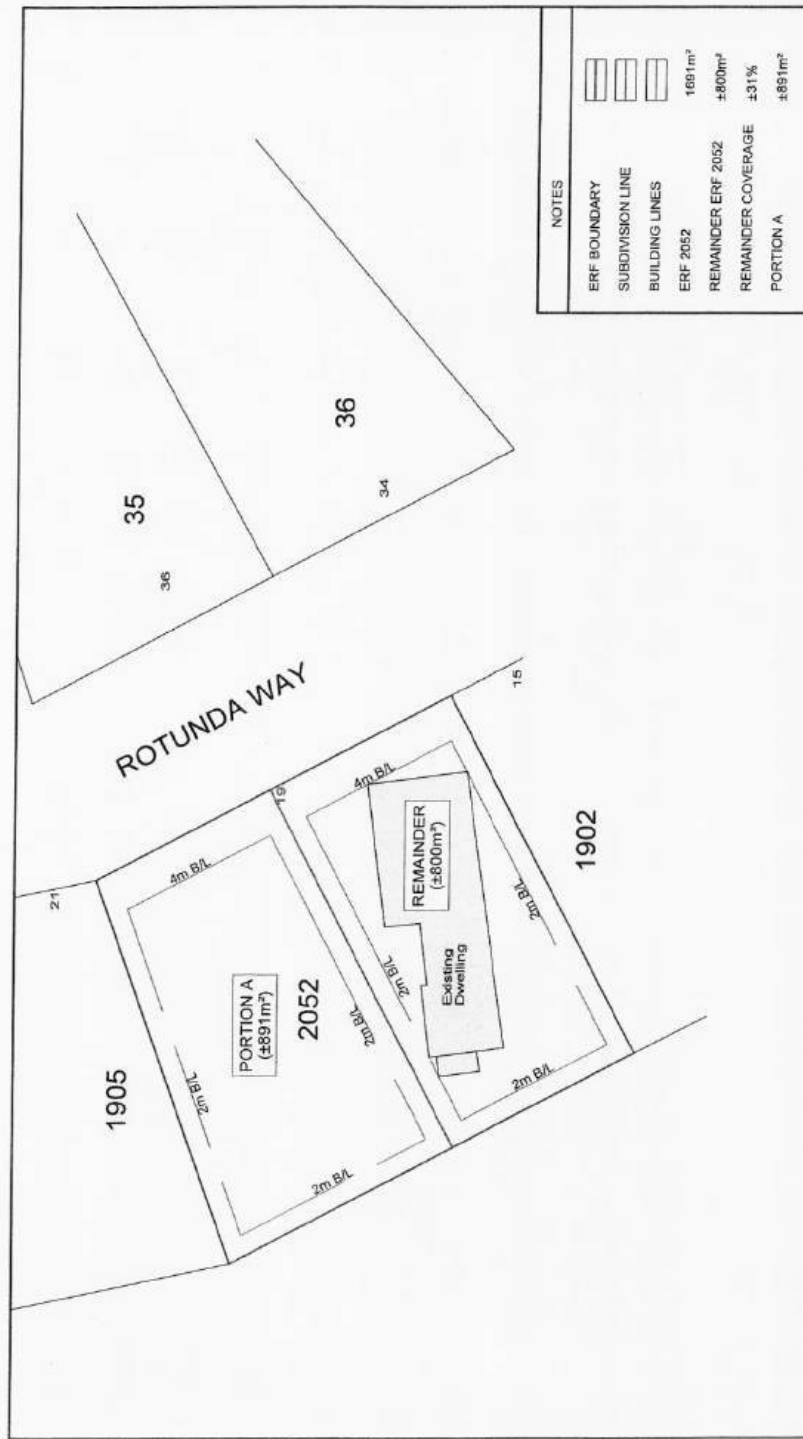
Scale: **NTS**  
 Drawing Nr: **erf.2052pb.dwg**  
 Date: **JUNE 2021**

Plan Description:  
**LOCALITY MAP**

Property Description:  
**ERF 2052**  
**PEARLY BEACH**

All distances approximate  
 and subject to survey.  
 COPY RIGHT RESERVED

**PLAN** Stads- en Sirecksbeplanners  
 Town & Regional Planners



NOTES

ERF BOUNDARY	1681m²
SUBDIVISION LINE	±800m²
BUILDING LINES	±31%
ERF 2052	±851m²
REMAINDER ERF 2052	
REMAINDER COVERAGE	
PORTION A	

<b>PLA n</b> Stads- en Streeksbeplanners Town & Regional Planners	Property Description: <b>ERF 2052                  PEARLY BEACH</b>	Plan Description: <b>SUBDIVISION                  PLAN</b>	Scale: <b>1:500</b> Drawing No: erf 2052pbs.dwg Date: JUNE 2021
	All distances approximate and subject to survey. COPY RIGHT RESERVED		

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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10. **ERF 303, 59 KUS ROAD, GANSBAAI: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITION AND DEPARTURE: MESSRS INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF ERF 1713 GANSBAAI CC**

**303 GGB**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**28 October 2021**

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**Executive Summary**

An application was received on 17 June 2021 from Messrs Interactive Town & Regional Planners on behalf of Erf 1713 Gansbaai CC the owner of Erf 303, Gansbaai in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following:

- ❖ application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed condition C.(d) as contained in the Title Deed T32561/2016, and
- ❖ application for departure in terms of Section 16(2)(b) of the By-Law in order to encroach the street building line from 4m to 1,78m and the southern lateral building line from 2m to 0m in order to accommodate a proposed balcony.

**RESOLVED:**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 (By-Law) received from Interactive Town and Regional Planners on behalf of Erf 1713 Gansbaai CC on Erf 303, Gansbaai for the removal of restrictive title deed condition C.(d) as contained in Title Deed T32561/2016, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the By-Law on Erf 303, Gansbaai for the encroachment of the street building line from 4m to 1,78m and the southern lateral building line from 2m to 0m, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the decisions in paragraphs 1. and 2. above be subject to the following conditions:
  - (a) that the development be implemented strictly in accordance with the Site Development Plan;
  - (b) that the balcony may not be enclosed;

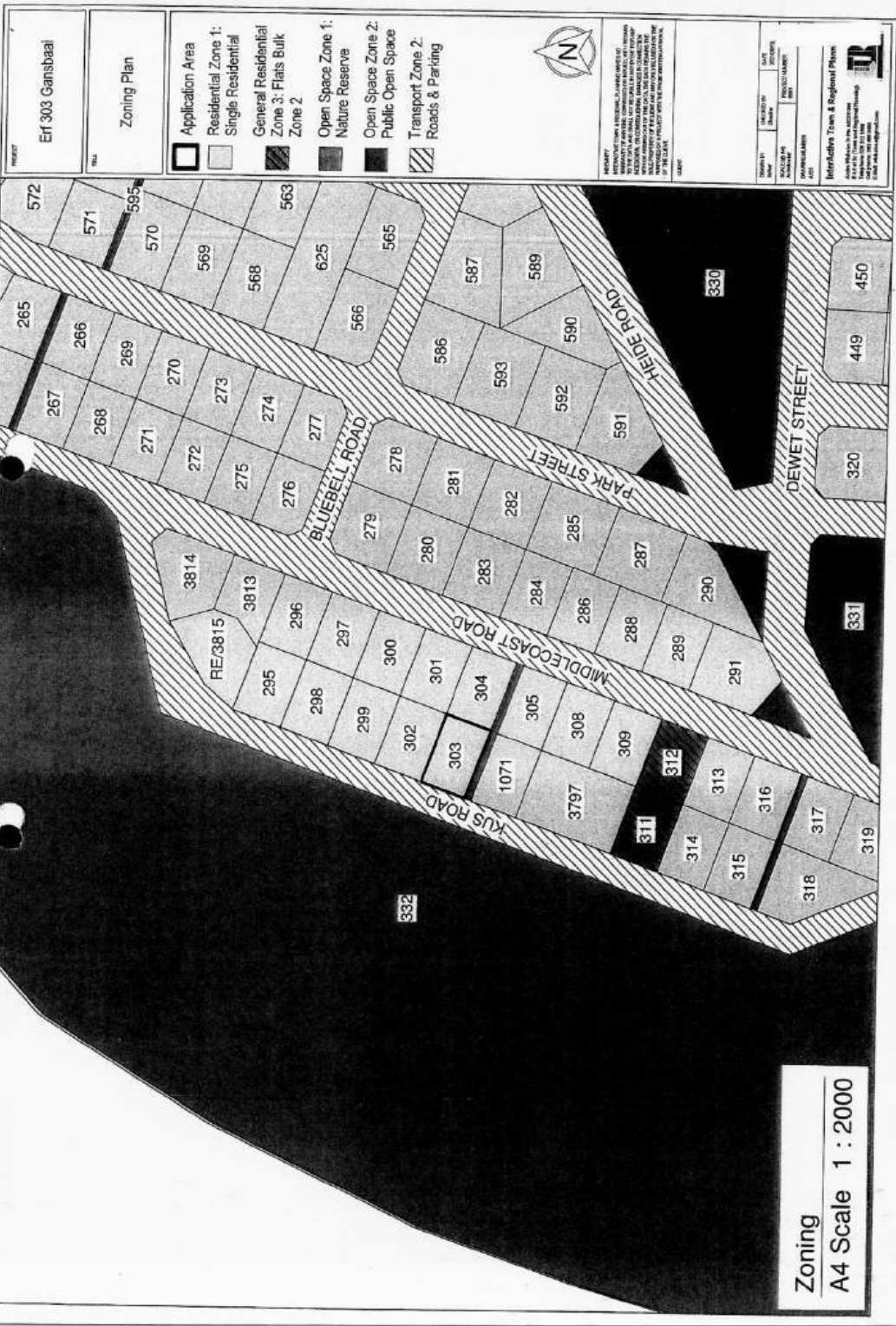
**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

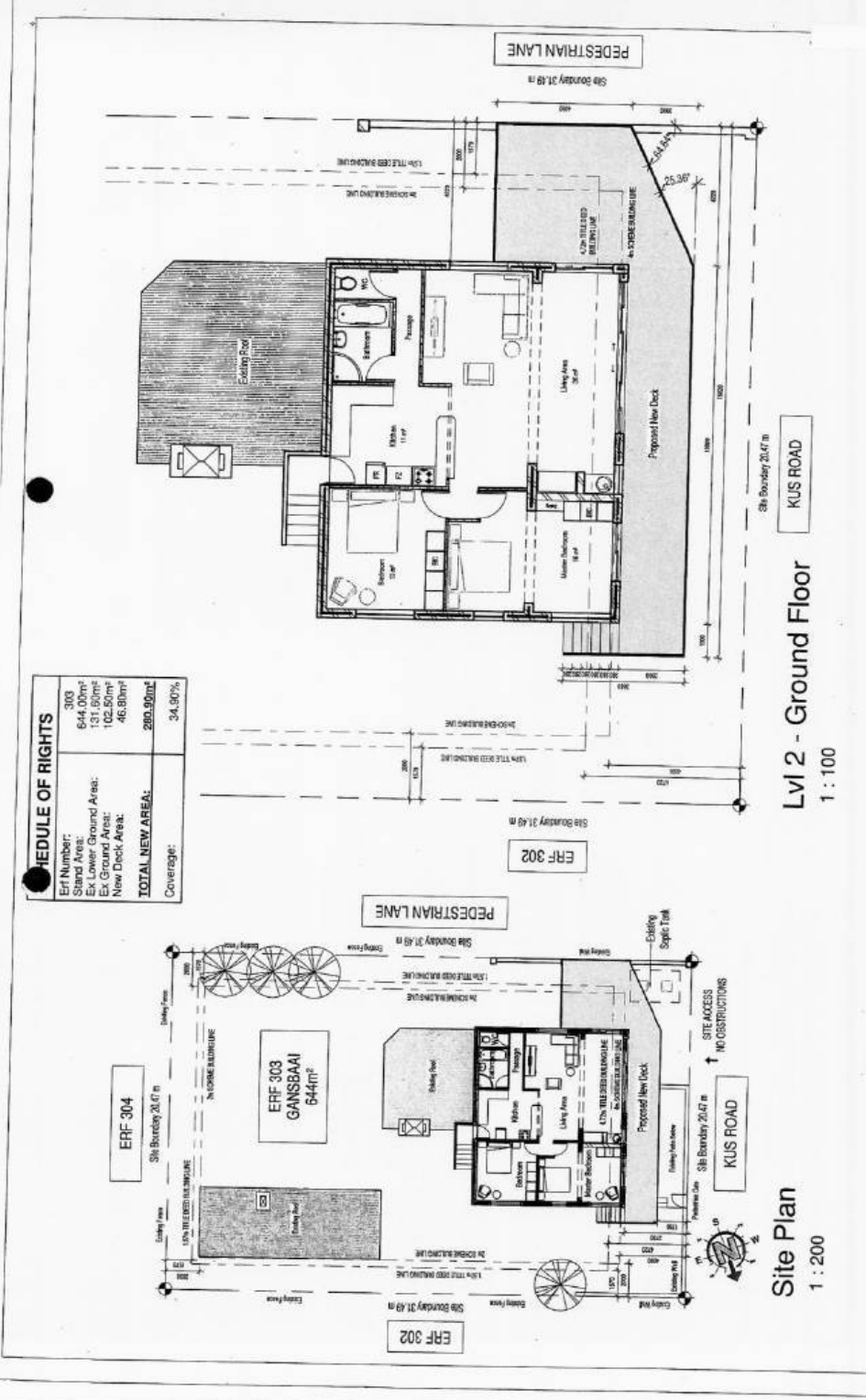
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- (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with at that stage;
  - (d) that all the conditions in the Services Report, be complied with;
  - (e) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
  - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
8. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ None of the relevant departments have any objection.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposal is considered in line with the Municipality's SDF.
- ❖ The proposal is consistent with the planning principles in terms of LUPA and SPLUMA.





**SCHEDULE OF RIGHTS**

Erf Number:	303
Stand Area:	644.00m <sup>2</sup>
Ex. Lower Ground Area:	132.50m <sup>2</sup>
Ex. Ground Area:	102.50m <sup>2</sup>
New Deck Area:	46.80m <sup>2</sup>
<b>TOTAL NEW AREA:</b>	<b>280.90m<sup>2</sup></b>
Coverage:	34.90%

Lvl 2 - Ground Floor  
1 : 100

Site Plan  
1 : 200

No. 1 Date \_\_\_\_\_ By \_\_\_\_\_

Description: Revision Schedule

PROJECT: Proposed Additions to Erf 303 - Gansbaai (Mr AC Marais)

SHEET NO. 001/001  
 SITE DESCRIPTION: Site Plan & Ground Floor Layout (Proposed New Deck)  
 SCALE: As Shown  
 DATE: 2017/08/08  
 DRAWN: JAC  
 REVISED BY: \_\_\_\_\_  
 REVISION #:

PROJECT: Gansbaai Properties - Glenelg  
 PROJECT # AC/M/0/00  
 DRAWN: JAC  
 CHECKED: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_  
 LUS VON EAST 1807/025

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**GENERAL**

1. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.
2. Verify all P.C. to all drawings. Verify all work is correct.
3. The dimensions and levels to be shown on this drawing are based on the existing ground level.
4. All work to be carried out in accordance with local and national regulations.
5. All work to be carried out in accordance with local and national regulations.
6. All work to be carried out in accordance with local and national regulations.
7. All work to be carried out in accordance with local and national regulations.
8. Any discrepancies are to be reported to the architect or the architect.
9. All drawings to be complete with part of the work.

**LEGEND:**

-  New Brickwork
-  New Timberwork
-  New Steel
-  New Foundations/Concrete
-  New Sill Pipe
-  New Waste Pipe
-  New Stormwater Line

No.	Date	Revision	Description	By

**PROJECT:**  
Proposed Additions to Erf 313 - Gansbaai  
(Nr. AC Maree)

**DESCRIPTION:**  
South & West Elevation of Proposed New Deck

**SCALE:**  
1 : 100

**DRAWING DATE:**  
2021/06/09

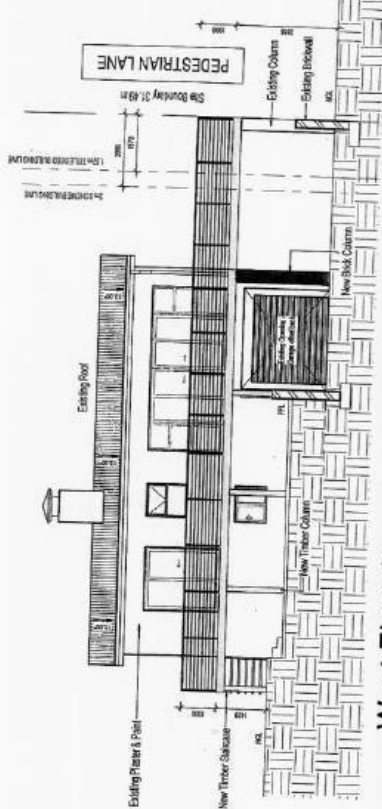
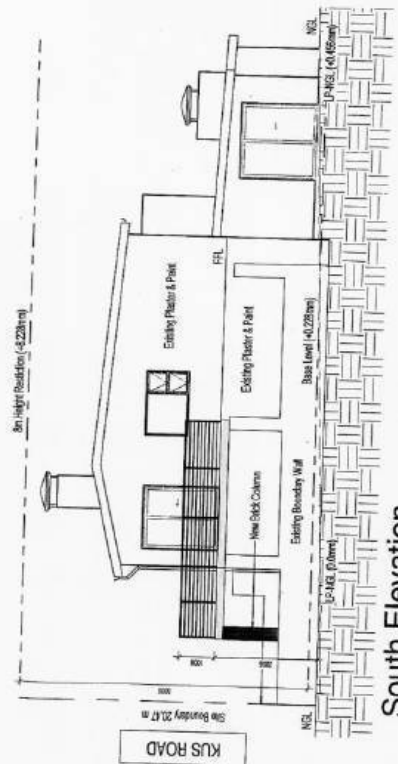
**DESIGNER:**  
AK

**CHECKED:**  
JG

**DRAWING #:**  
ACM/0/01

**REVISION #:**

**Gerdink & Rigter**  
Architects  
Private Practice  
105 Albert Road, Eastdene  
Johannesburg, 2025  
Tel: 011 462 4624  
Fax: 011 462 4625  
www.gerdinkandrigter.co.za  
Lid van SAAT : 807023



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEEED  
CONDITIONS & DEPARTURE: ERF 303, GANSBAAI**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing, standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 303, Gansbaai, unobstructed;
6. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

17/09/2021  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**11. ERF 2183, 14 KING STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS ENGELBRECHT & SCORGIE ARCHITECTURAL OFFICE ON BEHALF OF THE JURG STEYN FAMILY TRUST**

**2183 HON (3721/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**11 November 2021**

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**Executive Summary**

An application was received on 29 July 2021 from Messrs Engelbrecht & Scorgie Architectural Office on behalf of the Jurg Family Trust on Erf 2183, Onrustrivier in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 to relax the street building line from 4m to 0m and the south-western lateral building line from 2m to 0m to accommodate a new carport.

**RESOLVED:**

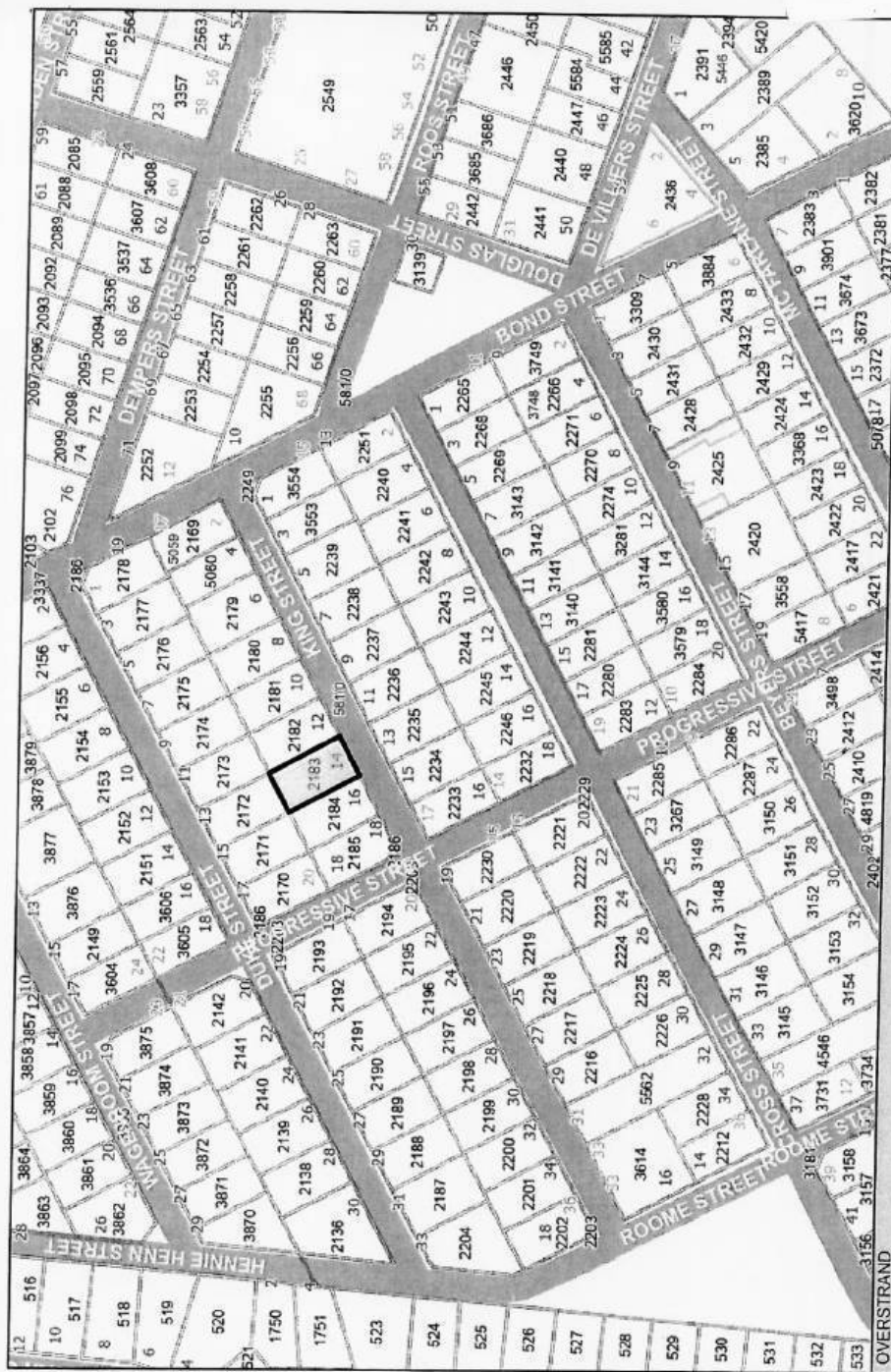
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) on Erf 2183, Onrustrivier to relax the street building line from 4m to 0m and the south-western lateral building line from 2m to 0m to accommodate a new carport, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval only relates to a building line relaxation as indicated on Plan 0001:A1-01 dated 15 December 2020 submitted with this application;
  - (b) that building plans be submitted to the Building Department, and that all conditions set by the Building- and Fire Departments at that stage, be complied with;
  - (c) that all the conditions in the Services Report, be complied with;
  - (d) that all conditions imposed by Telkom, be complied with, and
  - (e) that all conditions imposed by Eskom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above-mentioned approval.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**REASONS FOR RESOLUTION**

- ❖ All municipal departments support the application.
- ❖ The structure will not impact the privacy of surrounding property owners.
- ❖ The application will not impact on the character of the area, view lines or the street scape.
- ❖ No objections were received against the application.
- ❖ The application is in line with the Planning Principles of efficiency as land will be optimally used.



OVERSTRAND MUNICIPALITY

Locality Map

Erf 2183 Onrus River

Date: 2021/08/03

**BUILDING CONTROL STAMP**

**NOTES:**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL ELECTRICAL REGULATIONS (NER).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AND UTILITIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE BUILDING CONTROL OFFICER.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.

6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.

8. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE BUILDING CONTROL OFFICER.

**ENRICHMENT & ASSOCIATES**

REGISTERED ARCHITECTS

100/102, SOUTH BRIDGE ROAD, SINGAPORE 059103

TEL: 6733 8888

FAX: 6733 8889

WWW.ENRICHMENT.COM.SG

No.	Description	Date
01	PRELIMINARY DESIGN	15/03/2012
02	CONCEPT DESIGN	20/04/2012
03	SCHEMATIC DESIGN	25/05/2012
04	DEVELOPMENT OF DESIGN	20/06/2012
05	FINAL DESIGN	25/07/2012
06	CONSTRUCTION	20/08/2012
07	COMPLETION	25/09/2012

PROJECT NO: 120000001004

PROJECT NAME: [REDACTED]

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

ENGINEER: [REDACTED]

DATE: 25/07/2012

SCALE: 1:100

PROJECT LOCATION: [REDACTED]

PROJECT STATUS: [REDACTED]

PROJECT VALUE: [REDACTED]

PROJECT TYPE: [REDACTED]

PROJECT PHASE: [REDACTED]

PROJECT DESCRIPTION: [REDACTED]

PROJECT OBJECTIVES: [REDACTED]

PROJECT CONSTRAINTS: [REDACTED]

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PROJECT SUSTAINABILITY: [REDACTED]

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PROJECT CULTURE: [REDACTED]

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PROJECT SOCIETY: [REDACTED]

PROJECT TECHNOLOGY: [REDACTED]

PROJECT INNOVATION: [REDACTED]

PROJECT LEADERSHIP: [REDACTED]

PROJECT TEAM: [REDACTED]

PROJECT PARTNERSHIP: [REDACTED]

PROJECT COLLABORATION: [REDACTED]

PROJECT INTEGRATION: [REDACTED]

PROJECT COOPERATION: [REDACTED]

PROJECT SUPPORT: [REDACTED]

PROJECT ASSISTANCE: [REDACTED]

PROJECT GUIDANCE: [REDACTED]

PROJECT SUPERVISION: [REDACTED]

PROJECT MANAGEMENT: [REDACTED]

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PROJECT PLANNING: [REDACTED]

PROJECT DESIGN: [REDACTED]

PROJECT CONSTRUCTION: [REDACTED]

PROJECT MAINTENANCE: [REDACTED]

PROJECT OPERATION: [REDACTED]

PROJECT DEMOLITION: [REDACTED]

PROJECT RECONSTRUCTION: [REDACTED]

PROJECT RENOVATION: [REDACTED]

PROJECT RESTORATION: [REDACTED]

PROJECT PRESERVATION: [REDACTED]

PROJECT PROTECTION: [REDACTED]

PROJECT PROTECTION STAMP

DATE: 25/07/2012

SCALE: 1:100

PROJECT NO: 120000001004

PROJECT NAME: [REDACTED]

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

ENGINEER: [REDACTED]

DATE: 25/07/2012

SCALE: 1:100

PROJECT LOCATION: [REDACTED]

PROJECT STATUS: [REDACTED]

PROJECT VALUE: [REDACTED]

PROJECT TYPE: [REDACTED]

PROJECT PHASE: [REDACTED]

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PROJECT COMMUNITY: [REDACTED]

PROJECT CULTURE: [REDACTED]

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PROJECT INNOVATION: [REDACTED]

PROJECT LEADERSHIP: [REDACTED]

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PROJECT COOPERATION: [REDACTED]

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PROJECT MANAGEMENT: [REDACTED]

PROJECT ORGANIZATION: [REDACTED]

PROJECT PLANNING: [REDACTED]

PROJECT DESIGN: [REDACTED]

PROJECT CONSTRUCTION: [REDACTED]

PROJECT MAINTENANCE: [REDACTED]

PROJECT OPERATION: [REDACTED]

PROJECT DEMOLITION: [REDACTED]

PROJECT RECONSTRUCTION: [REDACTED]

PROJECT RENOVATION: [REDACTED]

PROJECT RESTORATION: [REDACTED]

PROJECT PRESERVATION: [REDACTED]

PROJECT PROTECTION: [REDACTED]

**SITE AND ROOF LAYOUT**  
1:100

**PARTIAL GROUND FLOOR LAYOUT**  
1:50

**NORTH EAST ELEVATION**  
1:100

**SOUTH WEST ELEVATION**  
1:100

**SECTION A-A**  
1:50

**DETAIL 1**  
1:10

**SOUTH EAST ELEVATION**  
1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2183, ONRUS RIVER**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of *SANS 10400 - P:2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2183, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

*p.p. P. Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*30/08/2021*  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

12. **ERF 8066, 12 BLUE CRANE STREET, HEMEL-EN-AARDE ESTATE, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: J PIENAAR**

**8066 HMS**

**H Boshoff**

**14 November 2021**

**(028) 313 8900**

**Hermanus Administration**

---

**Executive Summary**

An application was received on 26 February 2021 from Ms. J Pienaar on Erf 8066, Hemel-en-Aarde Estate, Hermanus in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for a departure in order to relax the northern street building line from 4m to  $\pm 2,5$ m to accommodate a portion of a study room.

**RESOLVED:**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 8066, Hemel-en-Aarde Estate, Hermanus, for the relaxation of the northern street building line from 4m to  $\pm 2,5$ m to accommodate a portion of a study room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the dimensions of the structure as indicated on Plan Numbers 01 - 1.1 to 01 - 1.7 dated 24 August 2020 which was submitted with the application;
  - (b) that the eastern side of the new braai room be enclosed with i.e. stacking doors and in such a manner that the proposed study at first floor level is completely inter-leading with the rest of the dwelling - the building plans must be amended in this regard;
  - (c) that the necessary building plans be submitted to the Building Control Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (e) that all other development parameters as prescribed in the relevant Land Use Scheme be complied with, and

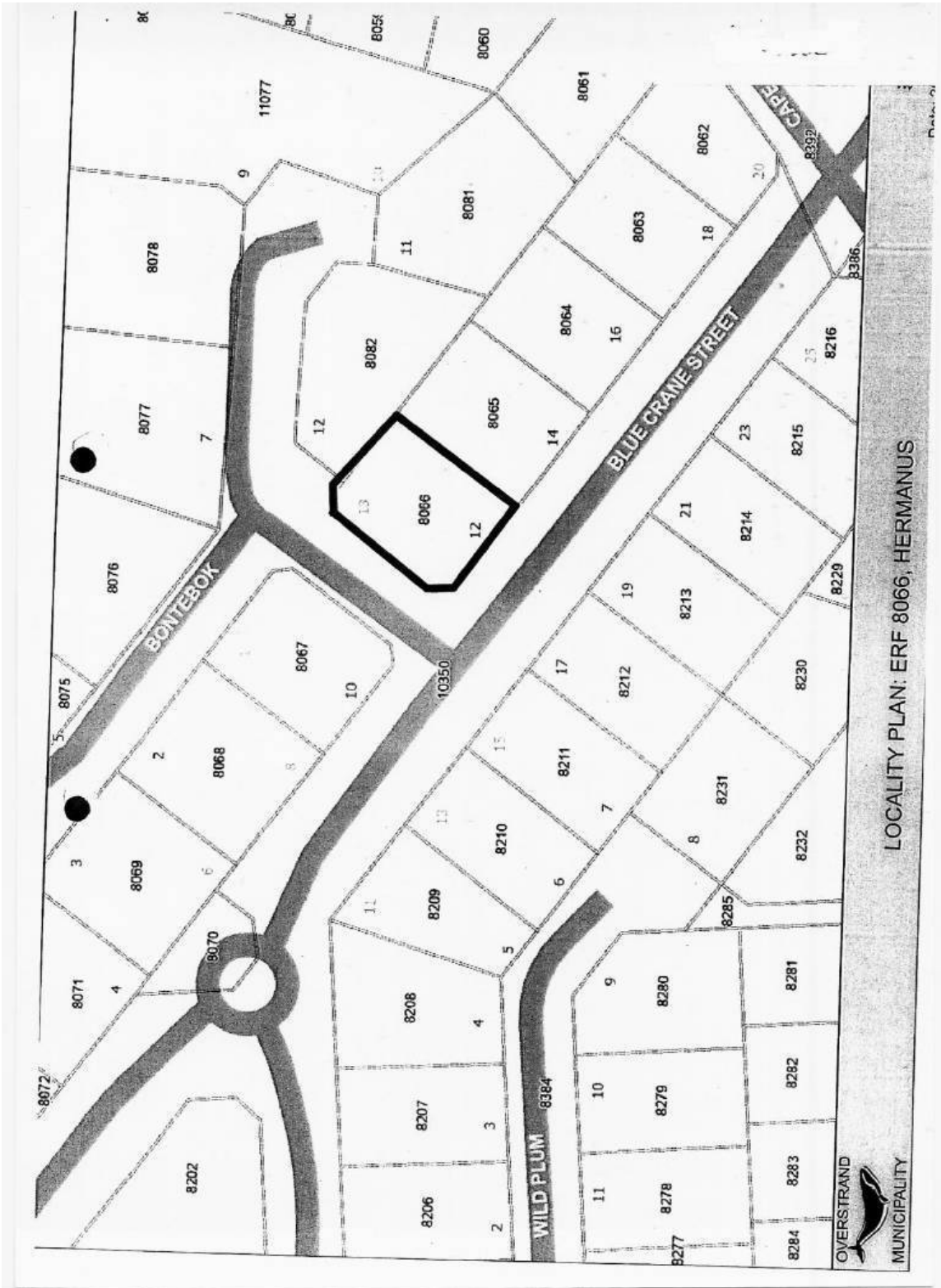
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

- (f) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ None of the internal departments have any objection.
- ❖ No objections were received.
- ❖ The Homeowners' Association of the Estate is in favour of the application.
- ❖ The development of the erf will be beneficial for optimization of the erf.
- ❖ It is not regarded as being undesirable from a town planning perspective.



ARCHITECTURAL EDUCATION: THIS DESIGN MUST BE CORRELATED BEFORE PROCEEDING OR BUILDING WORK COMMENCES.

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BASE LEVEL HEIGHT  
LOWEST POINT A 41.500  
HIGHEST POINT B 41.500  
BASE LEVEL  
M 41.500 + 44.100 = 2  
+42.500  
8m OFFSET = 50.000

APPROVED  
HOME OWNERS ASSOCIATION  
DATE: 2021-07-26  
SIGNED: [Signature]

FOR CONSTRUCTION	
NO.	DESCRIPTION
1	APPROVED FOR CONSTRUCTION
2	APPROVED FOR CONSTRUCTION
3	APPROVED FOR CONSTRUCTION
4	APPROVED FOR CONSTRUCTION
5	APPROVED FOR CONSTRUCTION
6	APPROVED FOR CONSTRUCTION
7	APPROVED FOR CONSTRUCTION
8	APPROVED FOR CONSTRUCTION
9	APPROVED FOR CONSTRUCTION
10	APPROVED FOR CONSTRUCTION

**SA**

SCHOONHAAR ARCHITECTS  
103 271 5476 | 0 800 883 3770 | 10 081 500 3070  
schoonhaar@sa.com.au  
schoonhaar.com.au

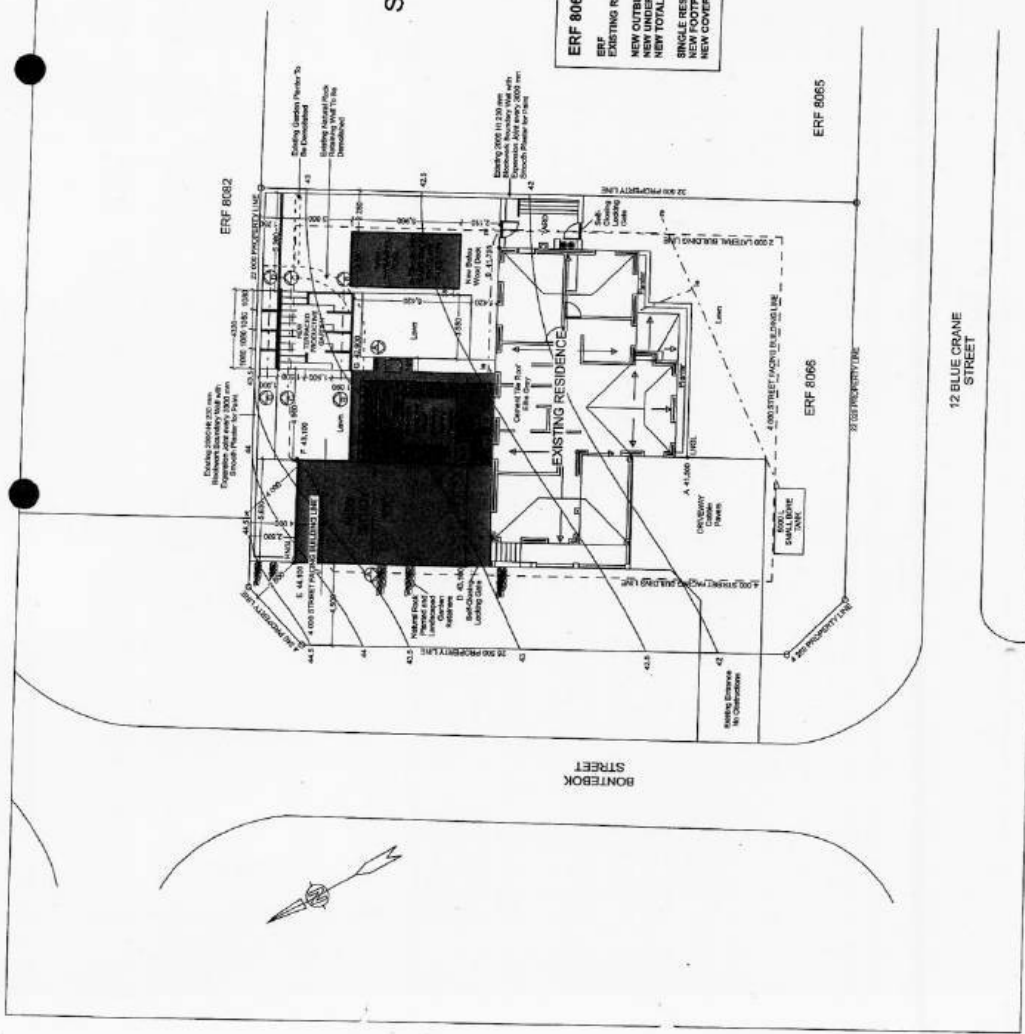
CLIENT: [Name]  
PROJECT: [Name]  
PROJECT NO.: [Number]  
DATE: [Date]

PROJECT NO.: [Number]  
SCALE: [Scale]  
DATE: [Date]



### SITE PLAN 1:100

ERF 8066	534 m <sup>2</sup>
ERF	280.7 m <sup>2</sup>
NEW OUTRIGS	53 m <sup>2</sup>
NEW UNDERCOVER BRAMA AREA	84 m <sup>2</sup>
NEW TOTAL COVERED AREA	137 m <sup>2</sup>
SINGLE RESIDENTIAL	271 m <sup>2</sup>
NEW FOOTPRINT	267.7 m <sup>2</sup>
NEW COVERAGE	26.7 %



12 BLUE CRANE STREET

BONTBOK STREET



ARCHICAD EDUCATION VERSION

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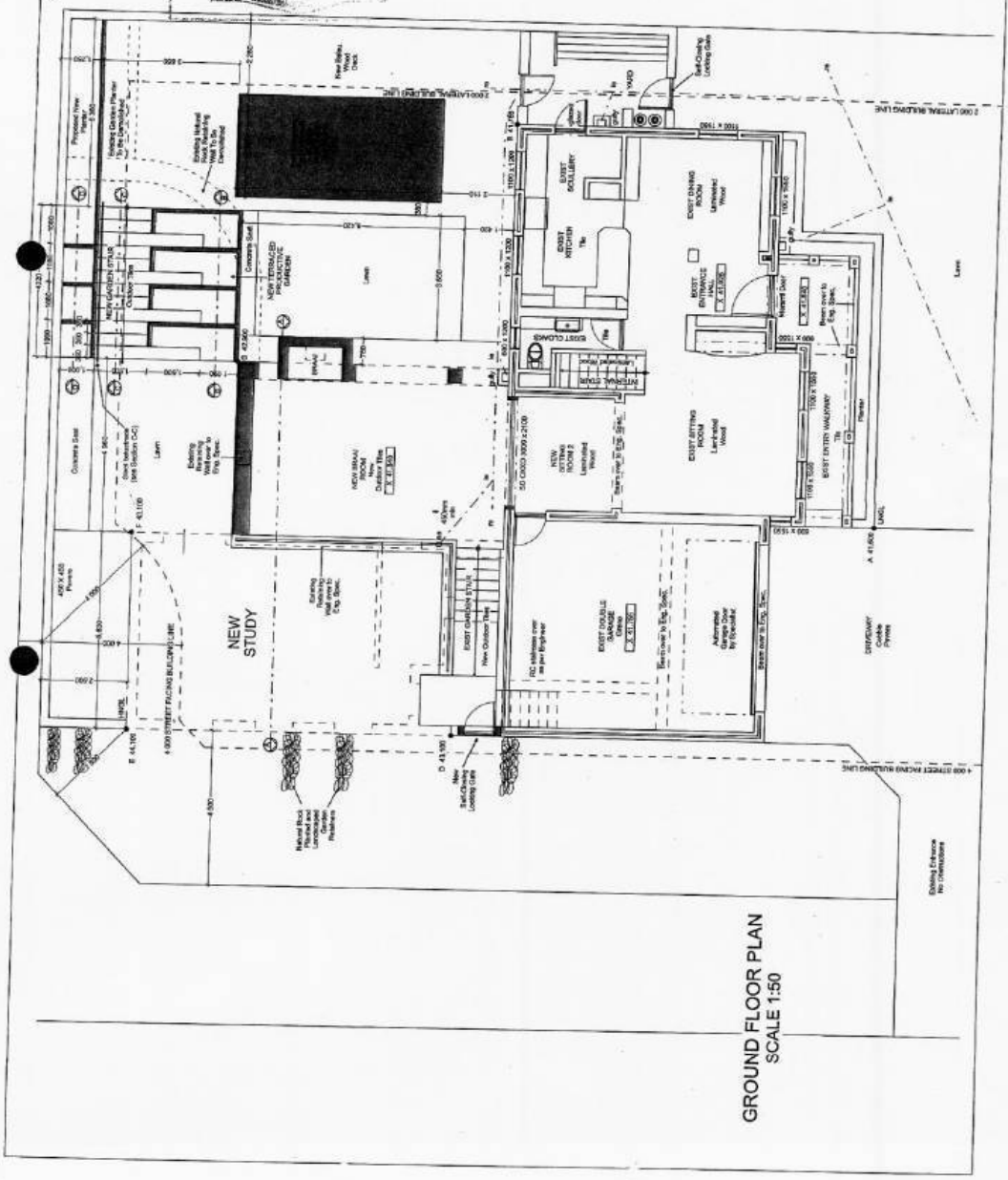
*Permission is granted to relay the building lines*

HOME OWNERS ASSOCIATION  
**APPROVED**  
DATE: 08/1-08  
SIGNED: [Signature]

NO.	DESCRIPTION	REVISIONS	DATE
1	ISSUED FOR PERMITS		08/01/08
2	ISSUED FOR PERMITS		08/01/08
3	ISSUED FOR PERMITS		08/01/08
4	ISSUED FOR PERMITS		08/01/08

SCHONBERG ARCHITECTS  
1000 WEST 10TH AVENUE  
DENVER, CO 80202  
TEL: 303.733.8800  
WWW.SCHONBERGARCHITECTS.COM

PROJECT: [Name]  
OWNER: [Name]  
DATE: [Date]  
SCALE: [Scale]  
SHEET: [Number]



GROUND FLOOR PLAN  
SCALE 1:50

Building Schedule  
No. 11/11/2008

ARCHIBAB EDUCATION VERSION

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HOME OWNERS ASSOCIATION  
 SIGNED: [Signature]  
 DATE: 2021-02-08  
 APPROVED

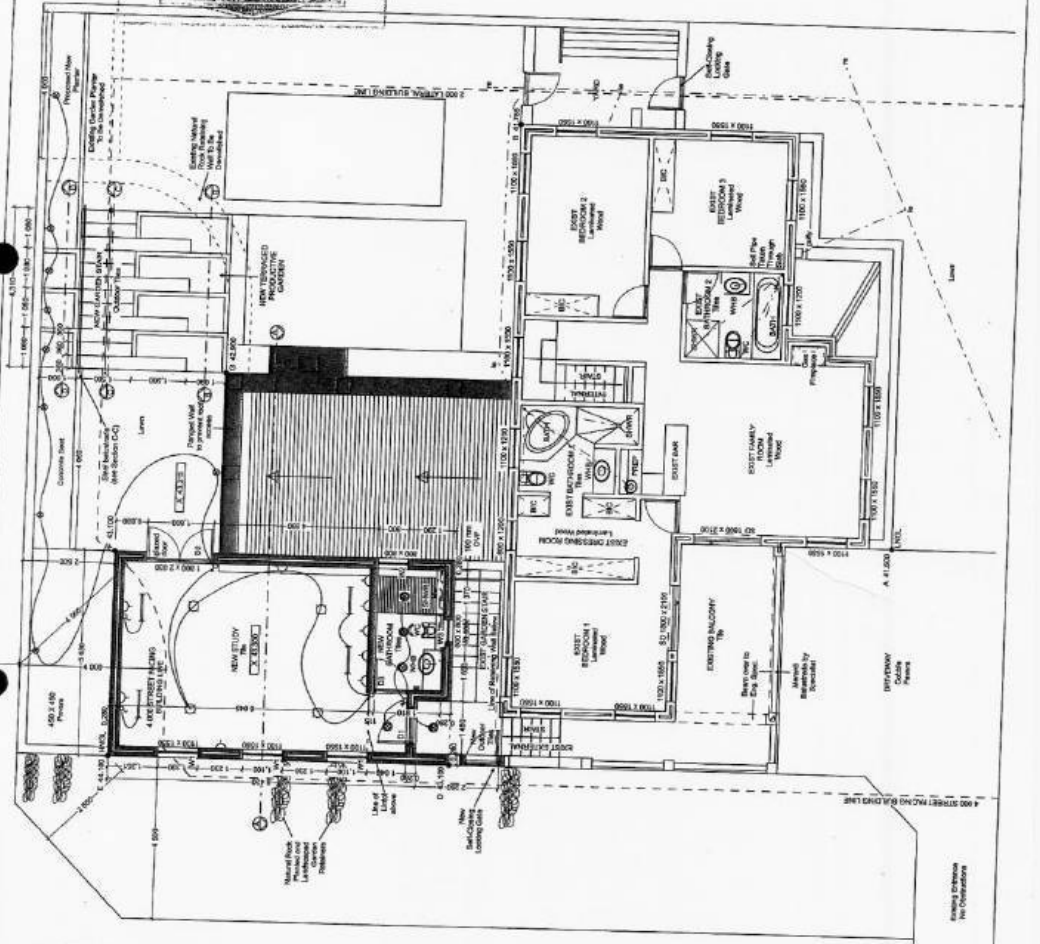
FOR CONSTRUCTION  
 TO BE REVIEWED BY THE  
 ARCHITECT

NO.	DESCRIPTION	DATE	BY	CHKD BY

FOR CONTRACTOR  
 TO BE REVIEWED BY THE ARCHITECT

ARCHIBAB ARCHITECTS  
 4 Marina Bay Avenue, #05-03/04/05  
 Singapore 110171  
 Tel: +65 6336 3379  
 Fax: +65 6336 3213  
 info@archibab.com.sg

PROJECT NO: 110171-01-01  
 DRAWING NO: 11-1-12



ELECTRIC KEY

◻	CEILING MOUNTED LIGHT FIXTURE
◯	WALL MOUNTED LIGHT WITH CEILING MOUNTED FLUSH
◻	WALL MOUNTED LIGHT
—	LED LIGHTING STRIP
⌞	LIGHT SWITCH WITH 1 SWITCH
⌞	LIGHT SWITCH WITH 2 SWITCHES
⌞	LIGHT SWITCH WITH 3 SWITCHES
⌞	WALL MOUNTED PWC POWER OUTLET
⌞	WALL MOUNTED POWER PLUS

FIRST FLOOR PLAN  
 SCALE 1:50

ARCHIBAB ARCHITECTS

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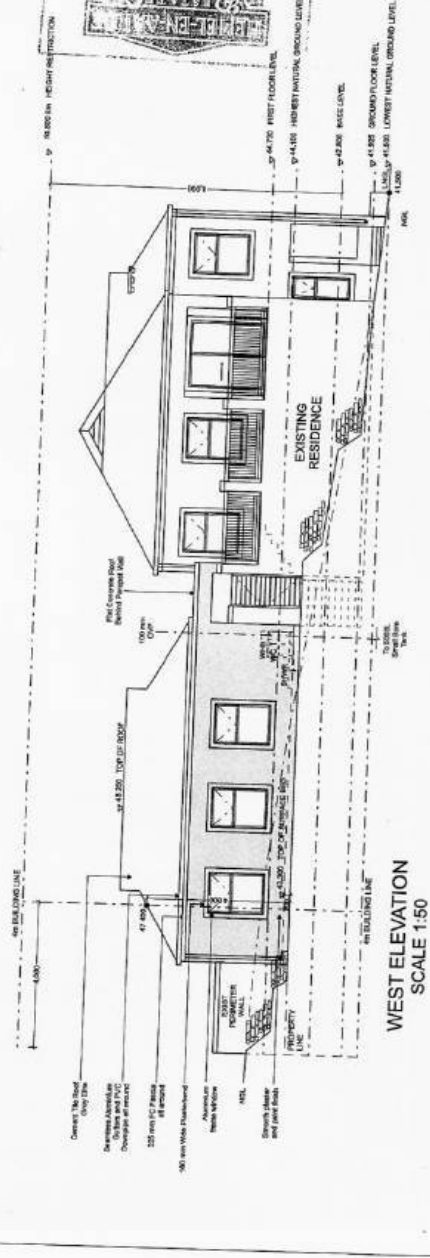
HOME OWNERS ASSOCIATION

**APPROVED**

SIGNED: *[Signature]*  
 DATE: *08/28/2012*

FOR CONSTRUCTION	
NO.	DESCRIPTION
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2	FOUNDATION
3	FOUNDATION
4	FOUNDATION
5	FOUNDATION
6	FOUNDATION
7	FOUNDATION
8	FOUNDATION
9	FOUNDATION
10	FOUNDATION

**ARCHICAD EDUCATION VERSION**  
 4 Windows 8/16 Architecture 2/10  
 2,101 32-bit  
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**WEST ELEVATION**  
SCALE 1:50



**EAST ELEVATION**  
SCALE 1:50

ARCHITECT EDUCATION VERSION

ALL DRAWINGS AND DETAILS MUST BE CORRELATED TO THE CROSSING OR BUILDING WORK COMMENCE. ANY DIFFERENCES MUST BE BRIDGED BY THE ARCHITECT OR ENGINEER. THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE ACCURACY OF ALL DIMENSIONS AND NOTATIONS.

APPROVED

SIGNED \_\_\_\_\_  
DATE 2021-02-26

CONDITIONS

HOME OWNERS ASSOCIATION MEMBERS

FOR CONTRIBUTION TO THE HOMEOWNERS ASSOCIATION

NO.	DESCRIPTION	DATE	STATUS
1	CONTRIBUTION TO THE HOMEOWNERS ASSOCIATION	2021-02-26	APPROVED



SCHOOL OF ARCHITECTURE  
4100 S. W. AVE. APT. 1100  
T. 305.933.1170  
F. 305.933.1112  
pho@schoolsofarch.com

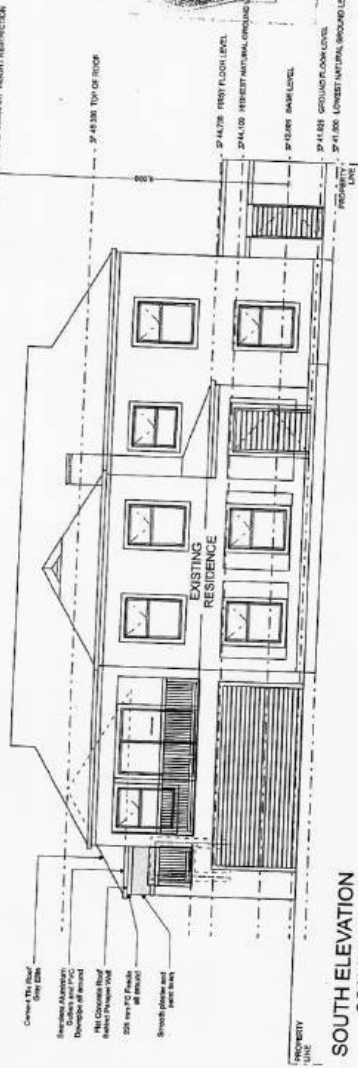
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PROVIDED AS INFORMATION TO THE REVISIONS

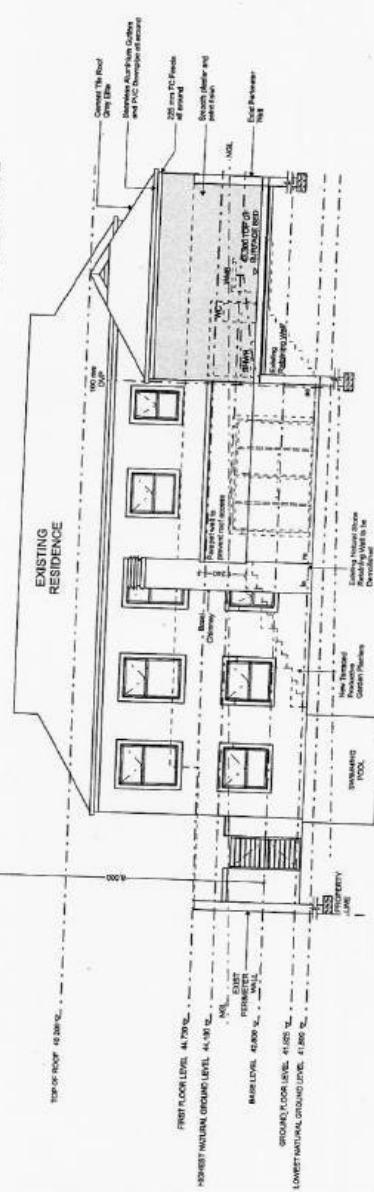
DATE 2021-02-26

BY A. PRYOR

PROJECT NO. 2021-021



SOUTH ELEVATION  
SCALE 1:50



NORTH ELEVATION  
SCALE 1:50

ARCHICAD EDUCATION VERSION

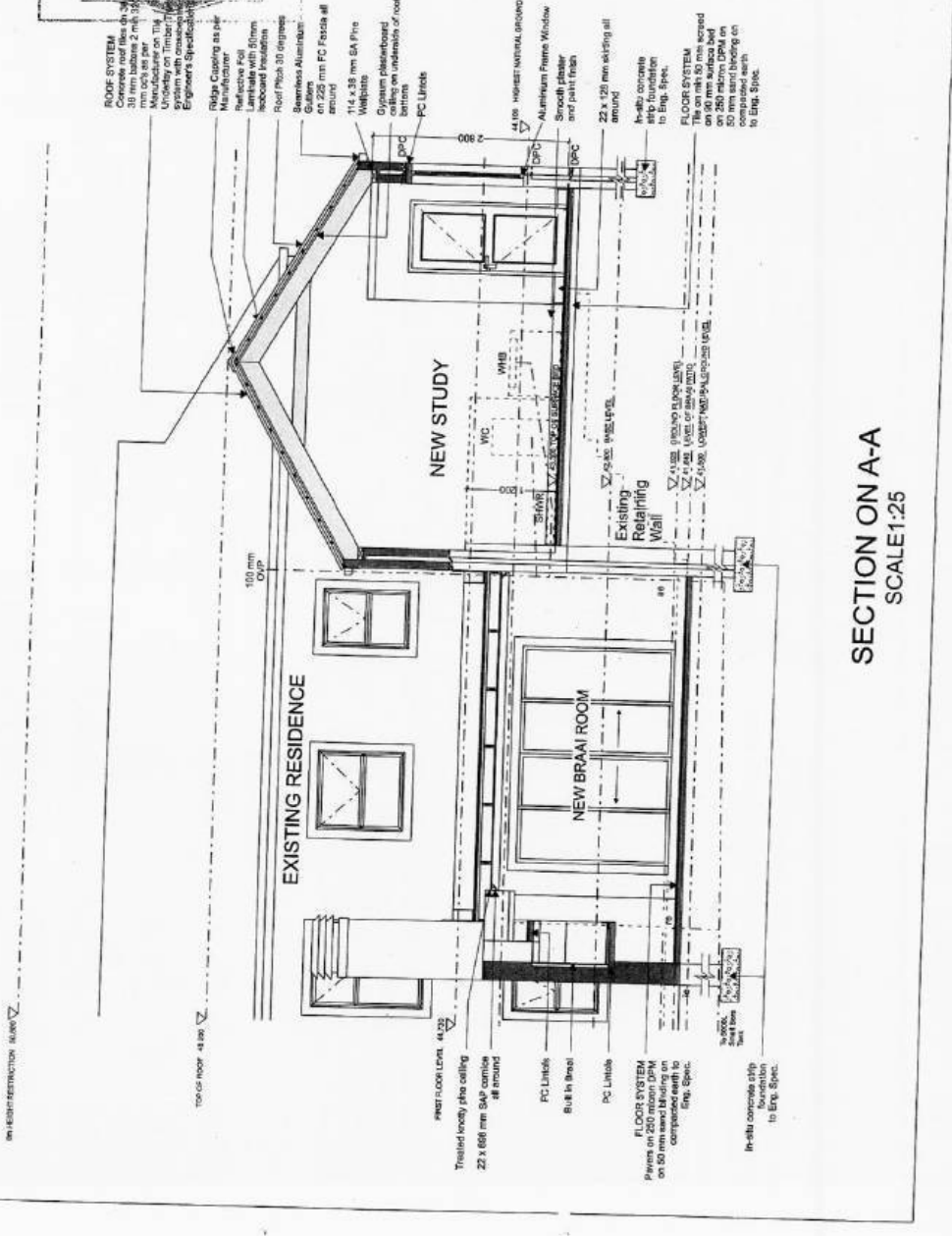
ALL CHANGES AND MODIFICATIONS TO BE  
CORRELATED BEFORE CHANGES ARE  
MADE INTO THE PROJECT COMMENCE.  
THIS DRAWING IS TO BE BROUGHT TO  
THE ATTENTION OF THE ARCHITECT  
UNLESS OTHERWISE SPECIFIED.  
QUALITY CONTROL AND DESIGN.



APPROVED  
HOME OWNERS ASSOCIATION  
SIGNED: [Signature]  
DATE: 2021-02-26

NO.	DESCRIPTION	REVISION	DATE
1	ISSUED FOR PERMIT		

SCORRAAD ARCHITECTS  
1108 271 AVE. S. STE. 100  
VANCOUVER, BC V6L 2R7  
P: 604 271 8872  
F: 604 271 8873  
WWW.SCORRAADARCHITECTS.COM



SECTION ON A-A  
SCALE 1:25

ARCHICAD EDUCATION VERSION

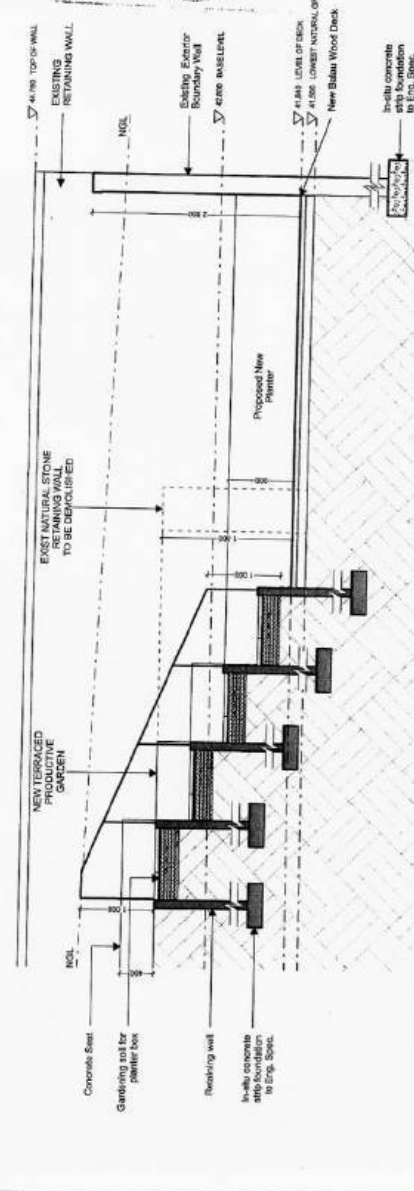
ALL DRAWINGS AND DIMENSIONS MUST BE  
CONSISTENT WITH THE ARCHITECT'S  
INTENT AND THE PROJECT'S  
SPECIFICATIONS.  
ANY DISCREPANCIES MUST BE REPORTED TO  
THE ARCHITECT IMMEDIATELY.  
CONTRACT NO. 2021-02-26



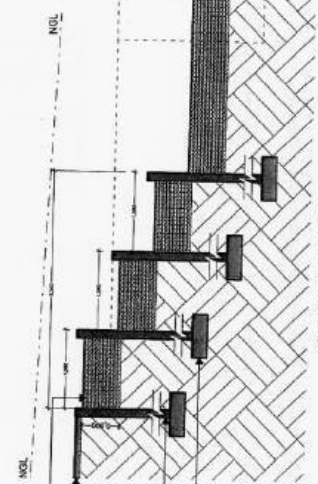
APPROVED  
DATE 2021-02-26  
HOME OWNERS ASSOCIATION

FOR CONSTRUCTION		FOR ARCHITECT	
NO.	DESCRIPTION	DATE	BY
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2	ISSUED FOR PERMIT	12/01/2020	JANIS
3	ISSUED FOR PERMIT	12/01/2020	JANIS
4	ISSUED FOR PERMIT	12/01/2020	JANIS
5	ISSUED FOR PERMIT	12/01/2020	JANIS

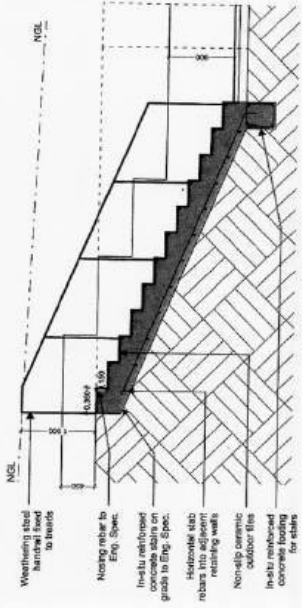
PROJECT NO. 2021-02-26  
DRAWING NO. 11



SECTION ON B - B  
SCALE 1:50



SECTION ON D - D  
SCALE 1:50




SECTION ON C - C  
SCALE 1:50

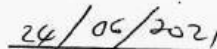
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 8066, HEMEL & AARDE ESTATE**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 8066, Hemel & Aarde Estate, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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13. **ERF 5696, 152 TENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND THE AMENDMENT OF AN APPROVED SITE DEVELOPMENT PLAN: MESSRS WRAP PROJECT OFFICE ON BEHALF OF VOËLKLIPHUIS BODY CORPORATE (SECTIONAL TITLE SCHEME NO 75/2012)**

**5696 HVK**

**P Roux**

**25 October 2021**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application was received on 15 October 2020 from Messrs WRAP Project Office on behalf of Voëkliphuis Body Corporate (Sectional Title Scheme No. 75/2012) for a departure in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 5696, Voëklip, Hermanus for the following:

- ❖ departure from the south-eastern building line from 3m to 2,13m to accommodate the proposed balcony in terms of Section 16(2)(b), and
- ❖ amendment of an approved Site Development Plan in terms of Section 16(2)(l).

**RESOLVED :**

1. that the application in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 5696, Voëklip Hermanus for the following:

- ❖ departure from the south-eastern building line from 3m to 2,13m to accommodate the proposed balcony in terms of Section 16(2)(b), and
- ❖ amendment of an approved Site Development Plan in terms of Section 16(2)(l).

**not be approved** in terms of the provisions of Section 61 of the By-Law, due to the reasons provided below.

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regards to the above conditions of approval.

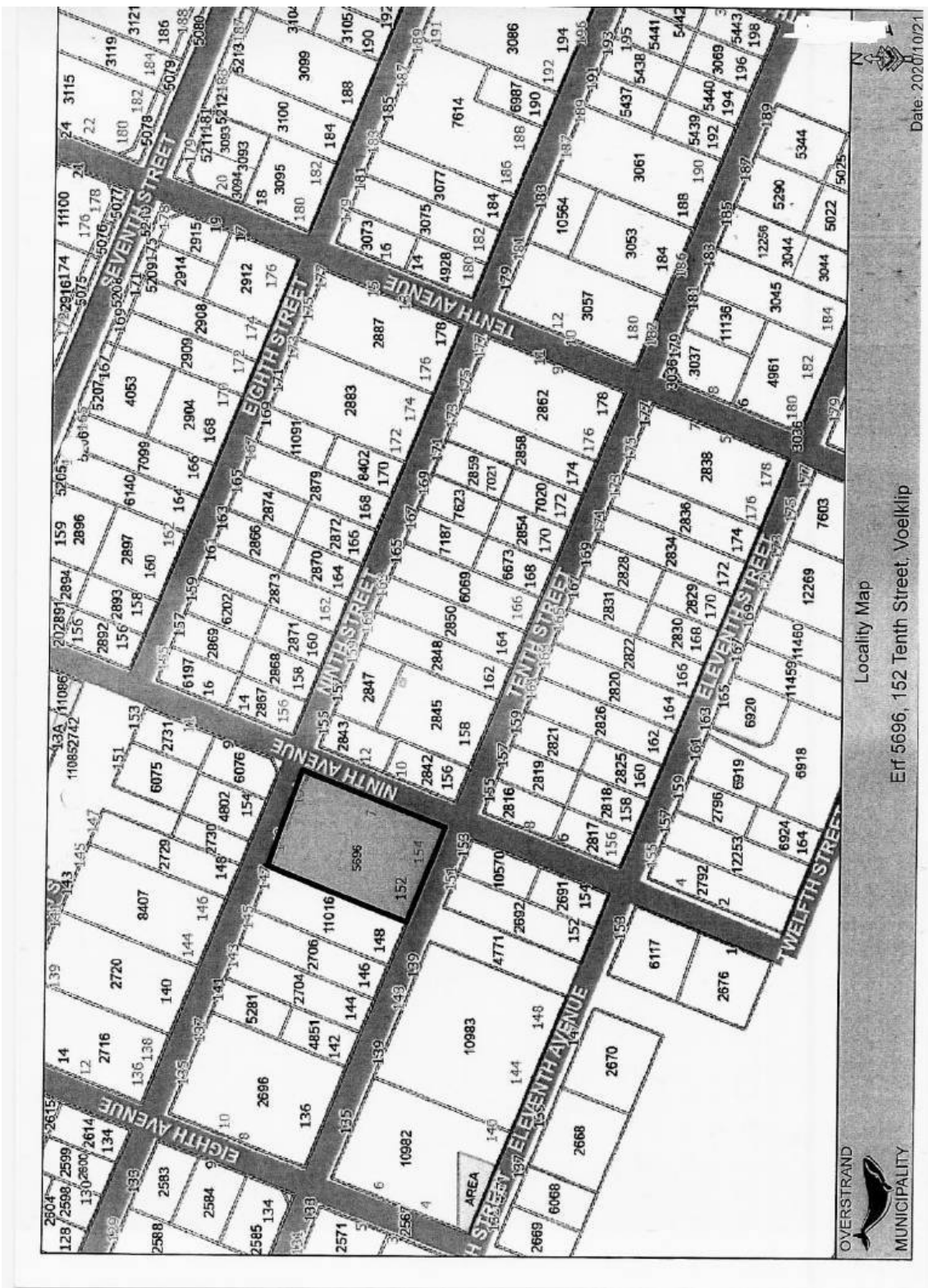
**REASONS FOR RESOLUTION**

- ❖ There are alternative areas to develop balconies on the property without the need to develop on the eastern 3m street building line.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- ❖ From a town planning perspective the encroachment of the street building line on the first floor level is considered to be contradictory to the character of the area as encroachment of the building line will create additional bulk on the street front and since the adoption of the Zoning Scheme in 2013 the encroachment of the first-floor structures have been discouraged.
- ❖ Unit 11 is situated on the southern side of the development on Erf 5696 and have windows which face the ocean, therefore by adding stacking doors or larger windows on the south facing wall the property owner will already achieve greater sea views without the need to encroach the building line.



Locality Map  
Erf 5696, 152 Tenth Street, Voelklip



Date: 2020/10/21

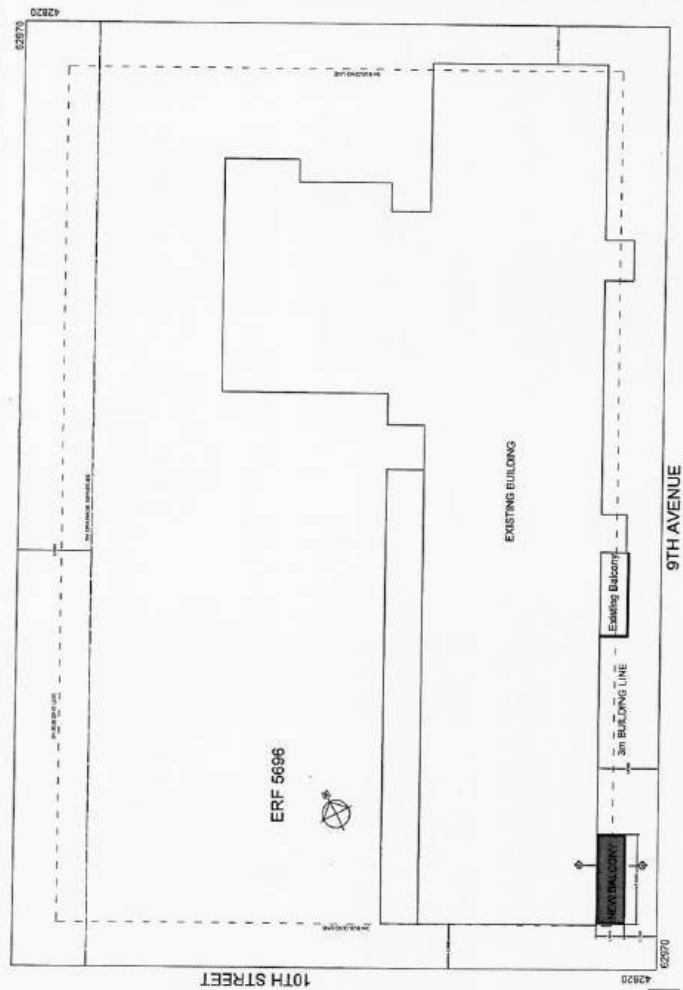
### Plan 3: Site Development Plan Erf 5696 Hermanus

— Erf 5696 Hermanus (2696m<sup>2</sup>)

- - - 3m Building Line

■ Proposed Balcony

2696m<sup>2</sup> Subject property  
Permissible coverage 45%  
Proposed coverage 33,56%



Site Plan

Scale 1 : 250



Application inset area

Scale 1 : 100

Based on a Plan by LA Studio

Tel: 028 313 1411

Email: admin@wrapproject.co.za

Plan 3.1

Unit 8, Corner of Royal and Dinkie Uys  
Street Hermanus, 7200

Plan prepared by: Renelle Janke  
All distances are approximate  
and subject to a survey.



**Project Office**  
Town Planning & Project Management

3m BUILDING LINE

NEW BALCONY

42820

62970

9TH AVENUE

10TH STREET

ERF 5696

EXISTING BUILDING

62970

42820

42820

42820

1.000

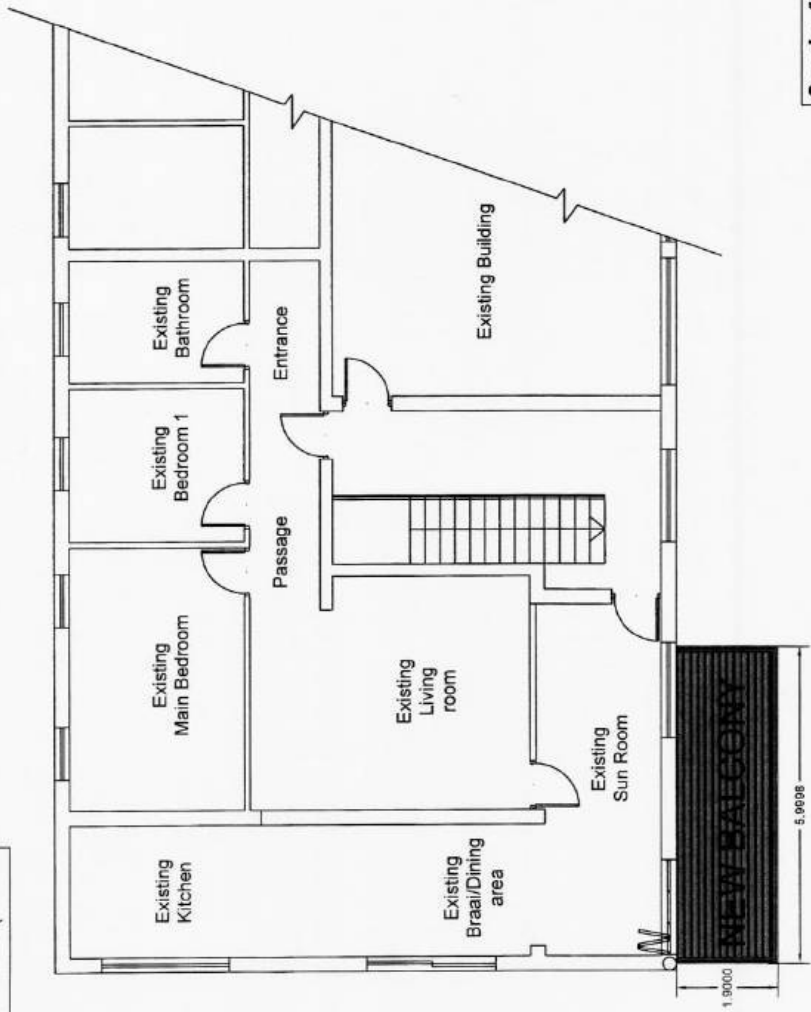
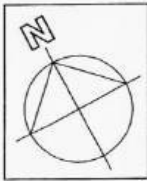
2.100

5.908

4.2800

**Plan 4: Floor Plan of  
Unit 11 on  
Erf 5696 Hermanus**

Proposed Balcony



Scale 1 : 100

Based on a Plan by LA Studio  
Tel: 028 313 1411  
Email: admin@wrappro.co.za

Plan 4.1

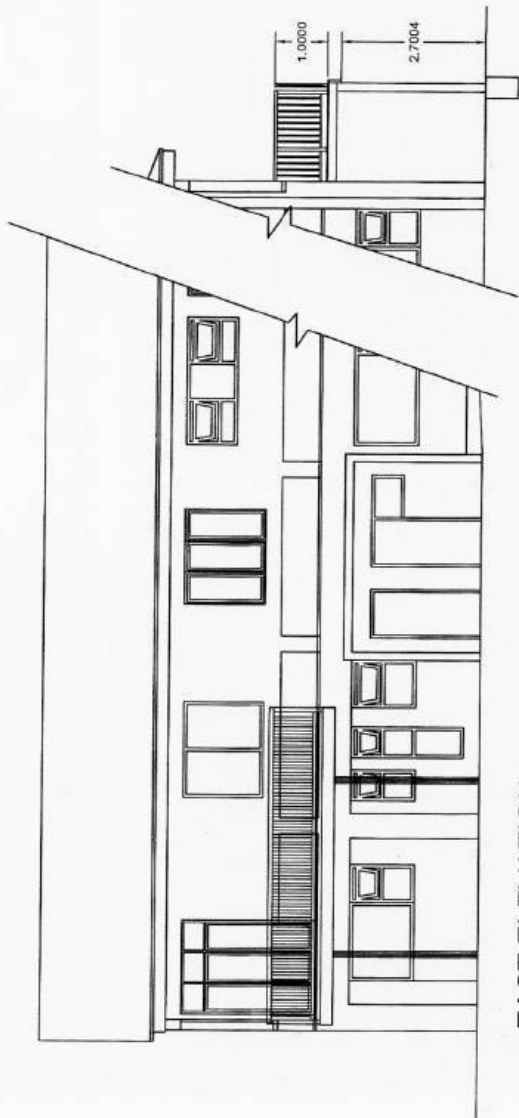
Unit 8, Corner of Royal and Dikla Lys  
Street Hermanus, 7200

Plan prepared by: Roelfiehe Jankie  
All dimensions are approximate  
and subject to a survey



**Plan 5: Elevations**  
**Erf 5696 Hermanus**

Proposed balcony



**EAST ELEVATION**

**SECTION A-A**

**Scale 1 : 100**

Based on a Plan by LA Studio

Tel: 028 313 1411

Email: admin@wrapgroup.co.za

Plan 3.1

Unit 8, Corner of Royal and Dikhe Uys

Street Hermanus, 7200

Plan prepared by: Receptacle Janke

All distances are approximate  
and subject to survey



**Project Office**  
Town Planning & Project Management

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE & AMENDMENT OF THE SITE  
DEVELOPMENT PLAN: ERF 5696, VOELKLIP**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 5696, Voelklip, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

*p.p. D. Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*02/03/2021*  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
21 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**14. ERF 1094, 102 VYFER STREET, DE KELDERS, OVERSTRAND MUNICIPALITY AREA: APPLICATION FOR DEPARTURE: MR WJ TRUTER**

**1094 GDK (3695)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**16 November 2021**

---

**Executive Summary**

An application was received on 8 July 2021 from Mr WJ Truter on Erf 1094, De Kelders in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) in order to relax the western lateral building line from 2m to 1.57m to accommodate alterations to the existing dwelling on the property.

**RESOLVED:**

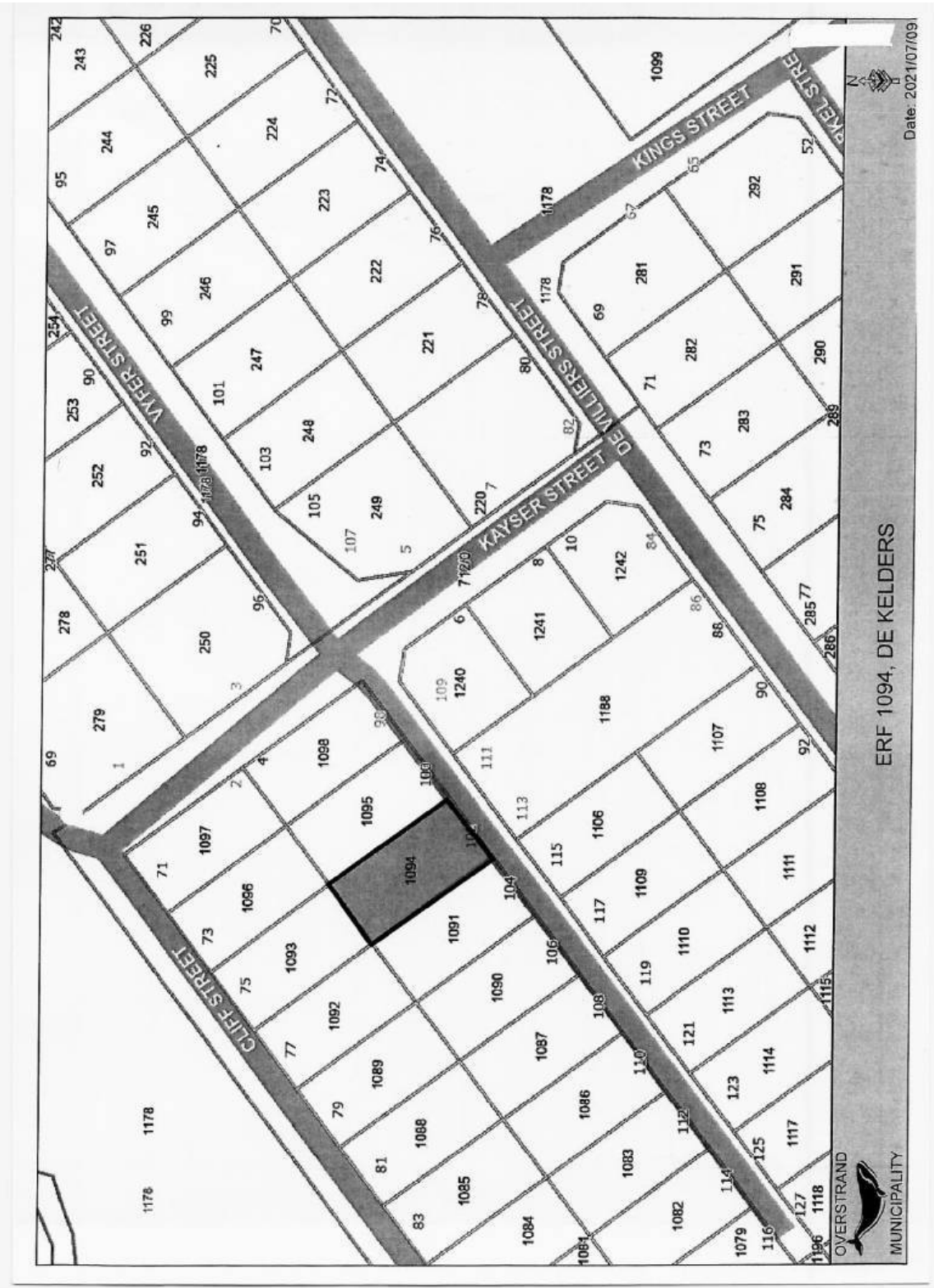
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) on Erf 1094, De Kelders in order to relax the western lateral building line from 2m to 1,57m to accommodate alterations to the existing dwelling on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the development as indicated on plan number *075* dated *05.07.2020*, as submitted with the application;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
  - (c) that all the conditions of Open Serve and Engineering Services, be complied with;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conclusion.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
21 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**REASONS FOR RESOLUTION**

- The enclosed balcony/patio area is considered a minor encroachment as the use of the area will remain as intended and the impact of the structure is non-intrusive on the amenity of the neighbouring property.
- The only property owners truly affected by the encroachment of the deck over the lateral building line is situated on Erf 1091, who did not object to the structure. The neighbouring property is developed in such a manner which ensures that the recreational and relaxation area faces away from the proposed development. In view of the aforesaid the deck is considered to have a minor impact which can be supported.
- The dwelling will be altered and updated to fit in with the existing character of the area.
- The application has followed due procedure.
- The proposal is compliant with the spatial policies contained in the SDF.
- The proposal is constant with the spatial principles as set out in SPLUMA and LUPA.



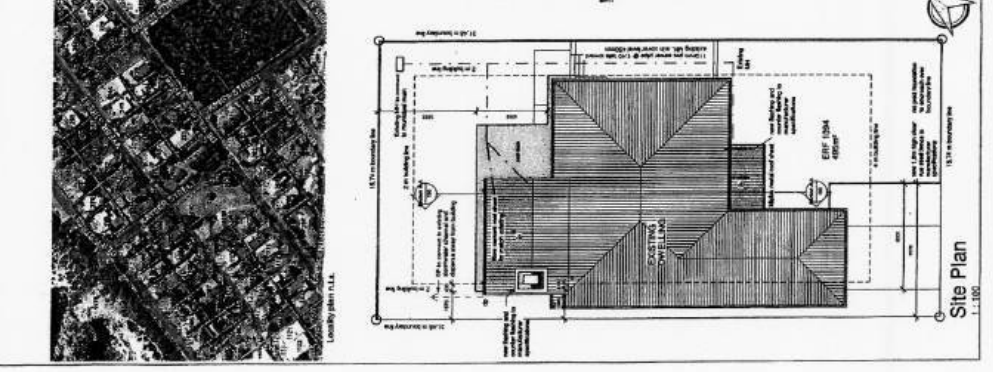
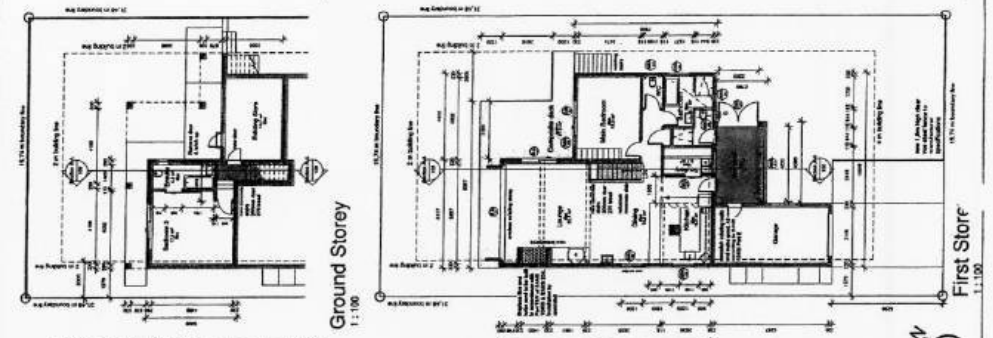
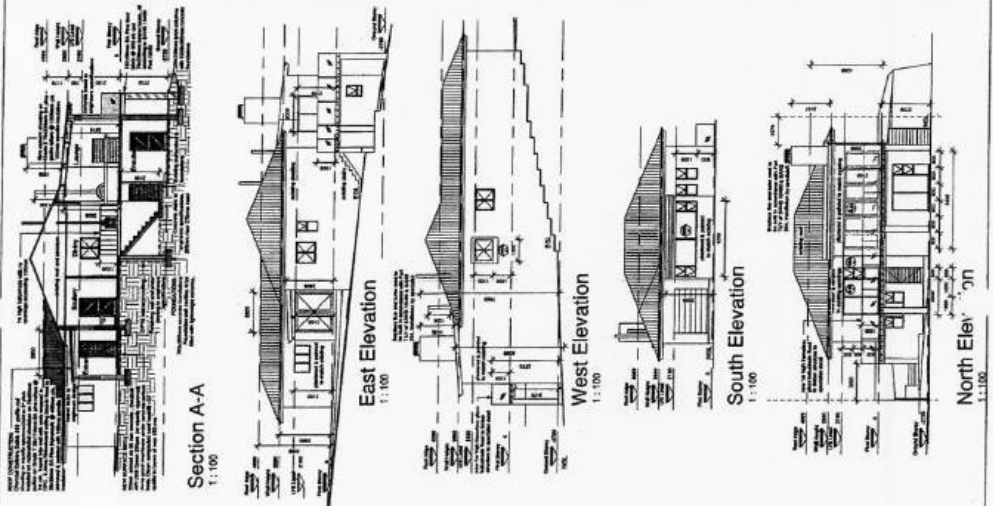
ERF 1094, DE KELDERS



Date: 2021/07/09

<b>Area Schedule</b>	
Existing Footing	27.21 sq'
Existing Floor	30.00 sq'
New Deck	27.21 sq'
New Enclosed Stairs	13.21 sq'
New Wall	13.21 sq'
New Stair	13.21 sq'
New Stair	13.21 sq'
<b>TOTAL</b>	<b>208.11 sq'</b>

CONSTRUCTION NOTES:  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) 2015.  
 2. ALL FOUNDATION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL FOUNDATION CODE BOOK (IFC) 2015.  
 3. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL ROOFING CODE BOOK (IRC) 2015.  
 4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE NATIONAL ELECTRICAL CODE (NEC) 2017.  
 5. ALL MECHANICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL MECHANICAL CODE BOOK (IMC) 2015.  
 6. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL PLUMBING CODE BOOK (IPC) 2015.  
 7. ALL FINISHES SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL FINISHES CODE BOOK (IFC) 2015.  
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL BUILDING CODE (IBC) 2015.  
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015.  
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL SMOKE ALARM CODE (ISAC) 2015.  
 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL SAFETY CODE (ISC) 2015.  
 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL FIRE CODE (IFC) 2015.  
 13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL FIRE AND SMOKE ALARM CODE (IFASAC) 2015.  
 14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL FIRE AND SMOKE ALARM CODE (IFASAC) 2015.  
 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, LOCAL ORDINANCES AND THE INTERNATIONAL FIRE AND SMOKE ALARM CODE (IFASAC) 2015.



**KLOPF ARCHITECTURE**  
 ADDRESS: 1000 S. 10th Street, Suite 100  
 DENVER, CO 80202  
 TEL: (303) 733-1111

**House With Trailer**  
 Proposed Additions on erf  
 1034, 102 Wyler Street, De  
 Kelders

**Site plan, Plan, Section, Elevation**

Project number: 075  
 Date: 05.07.2020  
 S-Übopper SACAP 24750870  
 Checked by: SK  
 100

Scale: 1:100 on A1 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 1094, DE KELDERS**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing, standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 1094, De Kelders, unobstructed;
6. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**15. ERF 2730, 11 BLOUGANS STREET, PERLEMOENBAAI, GANSBAAI:  
APPLICATION FOR DEPARTURE: MESSRS ME PLANNERS ON BEHALF  
OF SL & PB JENNEKER**

**2730 GGB**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**26 November 2021**

---

**Executive Summary**

An application was received on 9 September 2021 from ME Planners on behalf of SL & PB Jenneker in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for a departure in terms of Section 16(2)(b) of the By-Law in order to encroach the southern street building line from 4m to 2,5m and the eastern street building line from 4m to 1,25m and 0,36m respectively to accommodate a proposed single garage.

**RESOLVED :**

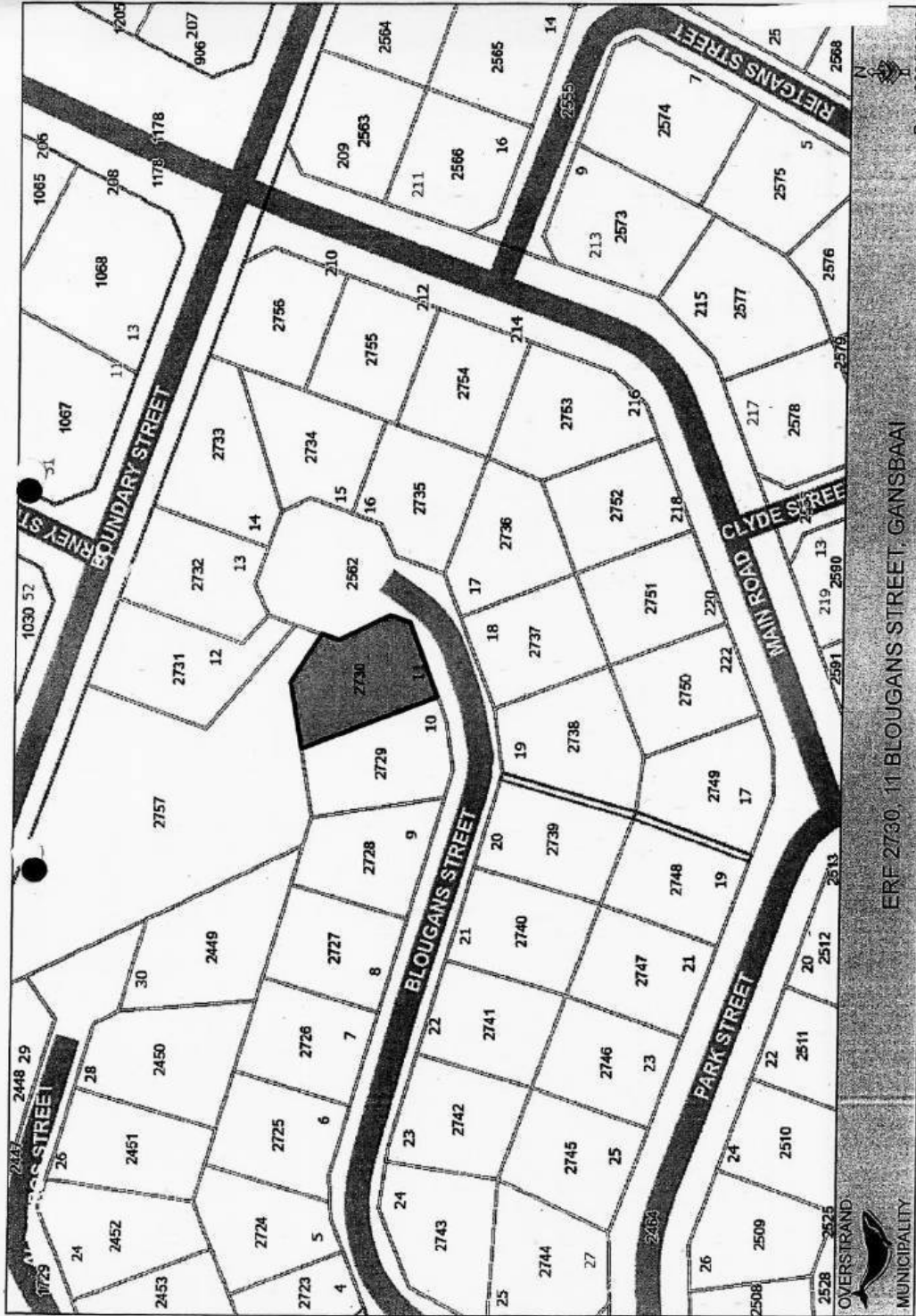
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 (By-Law) for departure in order to encroach the southern street building line from 4m to 2,5m and the eastern street building line from 4m to 1,25m and 0,36m respectively to accommodate a proposed single garage, **be approved** in terms of the provisions of Section 61 of the By-Law subject to the following conditions:
  - (a) that the development be implemented strictly in accordance with the Site Development Plan;
  - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with at that stage;
  - (c) that all the conditions in the Services Report, be complied with;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
  - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**REASON FOR RESOLUTION**

- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners or the character of the area



ERF 2730, 11 BLOOGANS STREET, GANSBAAI

OVERSTRAND  
MUNICIPALITY

Date: 2021/09/08



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Prins Architectural Studio

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**CLIENT DETAILS**  
**STUART & PATRICIA JENNEKER**

ERF 2730  
11 Bologans Street  
Gembala, 7220  
073 629 0063  
stuart.jenneker@gmail.com

**PROJECT INFO**  
Drawing Number:  
**JEN-PLB-21/27**

Layout Name: Municipal Agent  
Drawing Sheet: Alterations & Additions  
Project Description: Alterations & Additions  
Drawn By: SE  
Checked By: Martin Prinsloo  
Date: 29/05/21  
29/06/20  
Owner's Signature

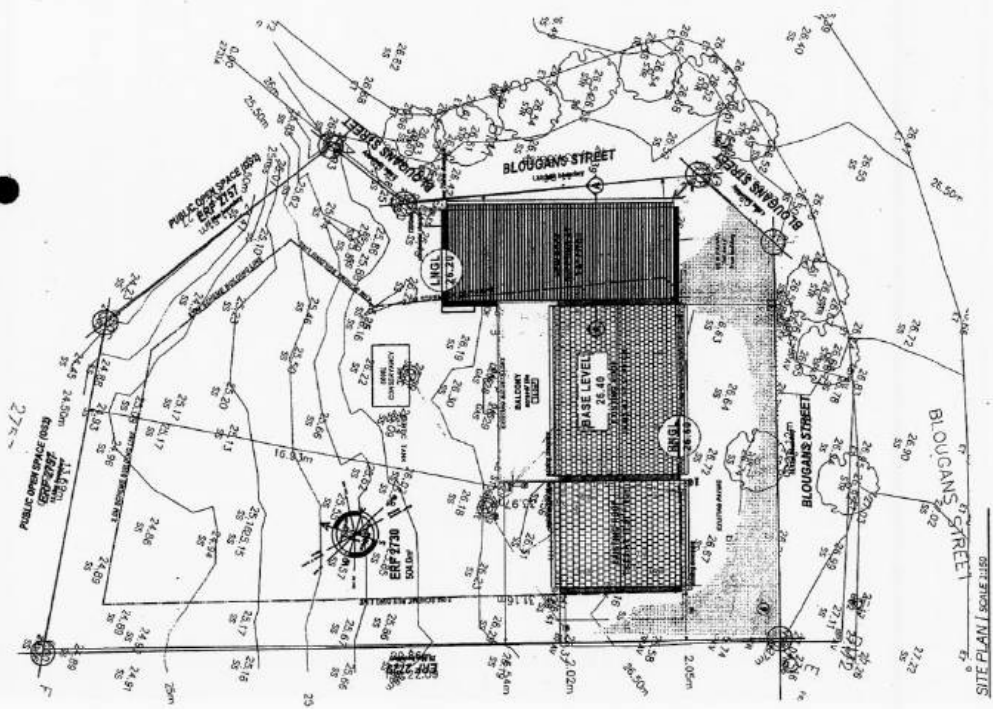
Engineer's Signature  
Drawing Scale: A4 Shol  
Street Scale  
File name:  
Number of pages: 1 of 5

**GENERAL NOTES**

01. Drawings must not be scaled.
02. All work and quality of materials must comply with SANS 10400 and all other appropriate authorities.
03. Quality of workmanship must be in harmony with the use of materials and in accordance with the relevant standards.
04. Excavation excavation must be in accordance with the relevant standards and must be applied as indicated according to SABS 0124.
05. Concrete foundation, surface bed and paving must comply with SABS 0120 and other as well as engineering plans and specifications.
06. Where any surface differences in site are indicated, the same must be indicated on the plan as far as the foundation.
07. Foundation excavation for outside slots, walls must not be less than 400mm under the surface of the adjoining finished ground level.
08. 375mm dia. pipe must be provided in all walls in relation.
09. Chases with brickwork must be provided in all brick walls, except shown otherwise.
10. All brick work in exterior bond except where shown otherwise.
11. Cladding must be in accordance with S.A.B.S. 10400 and other as well as engineering plans and specifications to be provided to all openings in excess of 1m or within 300mm from ground level.
12. All steel plate work and materials must be in accordance with NBR requirements.
13. Electrical installations must be in accordance with NBR requirements.
14. All fabric roof trusses must be treated with a termite resistant substance.
15. Wood use shall be installed in any early wall in an evenly distributed pattern at a rate of not less than 1 liter per square meter of the surface area of the wall to be treated with which.
16. All external walls to be 240mm cavity walls with 50mm quarry.
17. Provide wall ties 2 per sqm.
18. Provide weepholes every 6 brick courses.

**APPROVAL STAMPS**

<ul style="list-style-type: none"> <li>• 500mm</li> <li>• 300mm</li> <li>• 150mm</li> <li>• 75mm</li> <li>• 37.5mm</li> <li>• 18.75mm</li> </ul>	<ul style="list-style-type: none"> <li>• 300mm</li> <li>• 150mm</li> <li>• 75mm</li> <li>• 37.5mm</li> <li>• 18.75mm</li> </ul>
<ul style="list-style-type: none"> <li>• 500mm</li> <li>• 300mm</li> <li>• 150mm</li> <li>• 75mm</li> <li>• 37.5mm</li> <li>• 18.75mm</li> </ul>	<ul style="list-style-type: none"> <li>• 300mm</li> <li>• 150mm</li> <li>• 75mm</li> <li>• 37.5mm</li> <li>• 18.75mm</li> </ul>





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stuart.l.jenken@gmail.com

**PROJECT INFO**  
Drawing Number:  
**JEN-PLB-21/27**

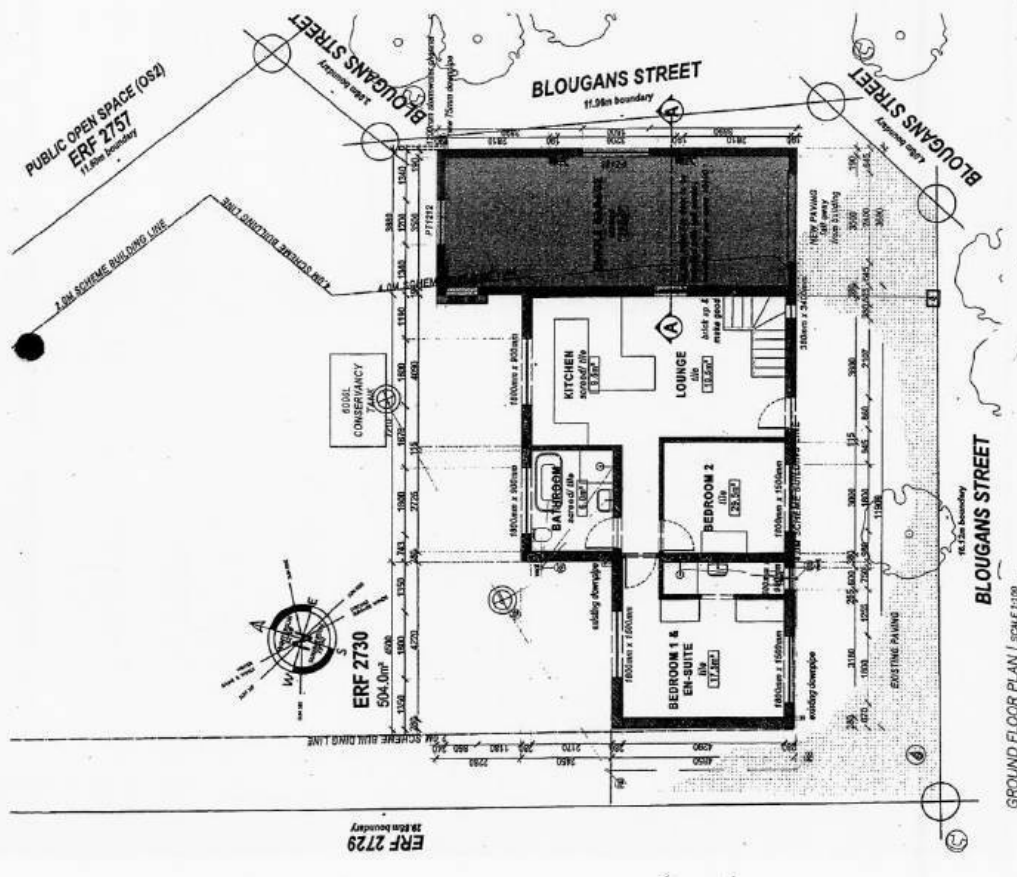
Largest Name:  
Ground Floor plan  
Drawing Status:  
Project Description:  
Client Name:  
Scale:  
Municipal Appr:  
Amendments & Addit:  
Drawn By:  
23/06/23  
29/06/23  
Signature:  
Owner's Signature  
Drawing Scale:  
Sheet Size:  
File name:  
As Shown

Number of pages: **2 of 5**

**GENERAL NOTES**

01. Drawings must not be altered.
02. All work and quality of materials must comply with SANS 10400 and all other appropriate standards.
03. Quality of workmanship must be in harmony with the use of materials and in accordance with building work.
04. Foundation excavation must be finished with concrete and must be applied as indicated according to SANS 1024.
05. Concrete foundation, surface level and parking area must be finished with 100mm concrete and a 100mm sand layer.
06. Where a concrete slab is indicated, it must be finished with a 100mm concrete and a 100mm sand layer. The slab must be finished with a 100mm concrete and a 100mm sand layer. The slab must be finished with a 100mm concrete and a 100mm sand layer.
07. Foundation excavation for outside stack walls must be finished with concrete and a 100mm sand layer. The slab must be finished with a 100mm concrete and a 100mm sand layer. The slab must be finished with a 100mm concrete and a 100mm sand layer.
08. 200mm concrete must be provided in all walls as indicated.
09. Concrete walls and foundations must be provided with a 100mm sand layer, except where otherwise shown.
10. All brick work to structural board except where shown otherwise.
11. Quarry must be in accordance with S.A.B.S. 1000 and must be finished with a 100mm sand layer. The slab must be finished with a 100mm concrete and a 100mm sand layer. The slab must be finished with a 100mm concrete and a 100mm sand layer.
12. All cast pipe works and material must be in accordance with SANS 1024.
13. Electrical installations must be in accordance with appropriate regulations.
14. All timber roof trusses must be treated with a fire retardant substance.
15. Wall ties shall be included in any wall and in an evenly distributed pattern at a rate of not less than 6 ties per square meter of face area. The ties shall be 100mm diameter and 100mm long.
16. All external walls to be 230mm cavity wall with 10mm rendering.
17. Provide wall tie 3 per sqm.
18. Provide weepholes every 6 feet course.

**APPROVAL STAMPS**



GROUND FLOOR PLAN | SCALE 1:100



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Private Architectural Studio

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**PROJECT INFO**

**JEN-PLB-21/27**

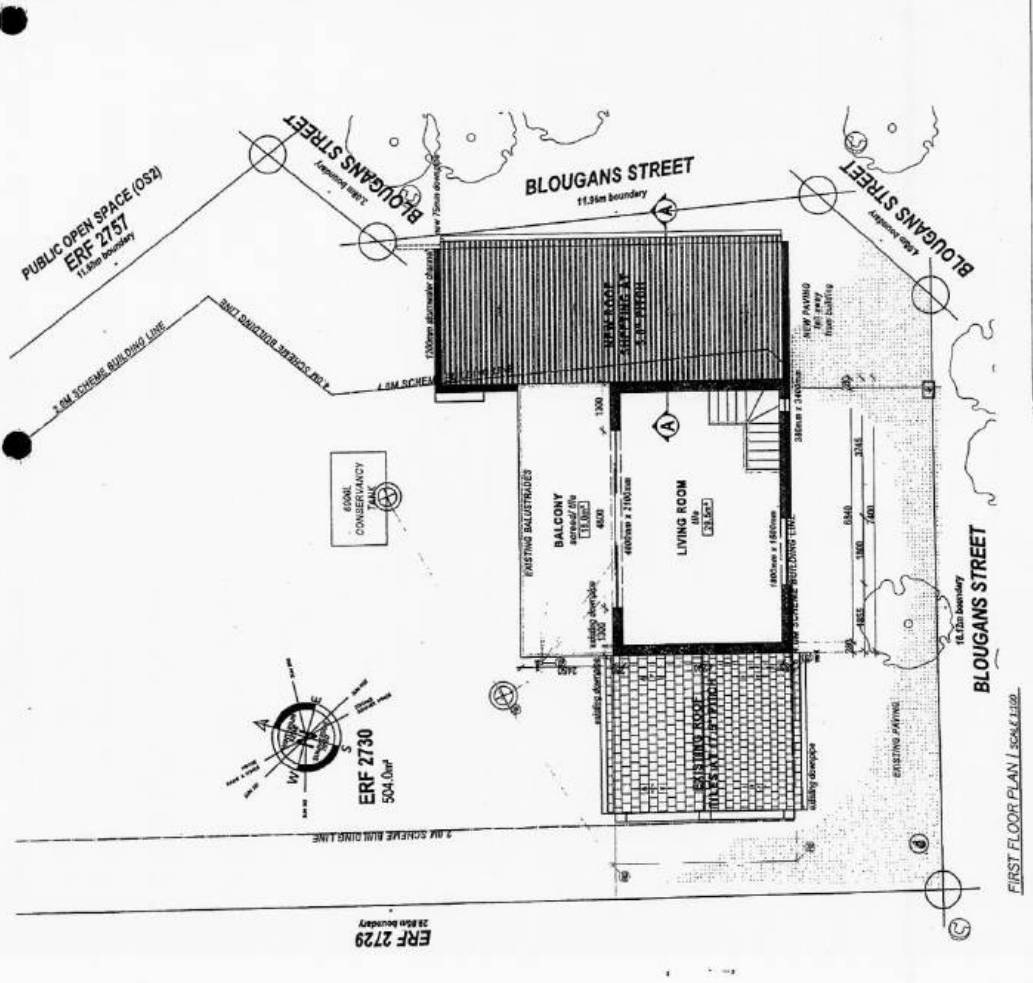
Layout Name: First Floor Plan  
Drawing Approval: Municipal Approval  
Project Description: Alterations & Additions  
Drawn By: SE  
Checked By: SE  
Date: 20/06/2021

Owner's Signature  
Engineer's Signature  
Drawing Scale: As Shown  
Sheet Size  
File Name  
Number of pages: 3 of 5

**GENERAL NOTES**

01. Drawings must not be scaled.
02. All work and quality of materials must comply with SANS 10400 and all other applicable authorities.
03. Quality of workmanship must be in harmony with the pricing users cope with grade 1 building work.
04. Foundation excavation must be treated with care. All excavations must be supported according to SABS 0174.
05. Concrete foundation, surface bed and paving must comply with SABS 0100 and 0101 as well as engineers plans and specifications.
06. Where any surface differences in step or level are indicated, the surface must be finished over the level for a distance as indicated on the foundation.
07. Foundation excavation for rubble brick walls must not be less than 400mm under the surface of the existing finished ground level with as indicated.
08. 275 micron d.s.c. must be provided in all walls as indicated.
09. Correct width ballholes must be provided in all brick walls, except stone chimneys, above openings.
10. All brick work in concrete bond except where above openings.
11. Grouting must be in accordance with S.A.S.S. and RBT requirements, namely grout of 1m or within 200mm from ground level.
12. All steel plate work and material must be according to NBR requirements.
13. Electrical installations must be in accordance with appropriate regulations.
14. All timber roof trusses must be treated with a termite resistant substance.
15. Wood fix should be finished in any ready wall in an evenly distributed pattern at a rate of not less than 2 lines per square meter of face when the wall is more than 70mm in width.
16. All finished walls to be 200mm cavity walls with 50mm insulation.
17. Profiles will fix 3 per. apt.
18. Provide weepholes every 6 brick courses.

**APPROVAL STAMPS**





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Gambhal, 7220

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stuartljjenneker@gmail.com

PROJECT INFO

Drawing Number:

JEN-PLB-21/27

Project Name:

Block 11 Blokpost Street

Project Description:

Architectural & Additions

Drawn By:

28062021

Checked By:

28062021

Signature

Owner's Signature

Engineer's Signature

Drawing Scale

Sheet Size

File Name

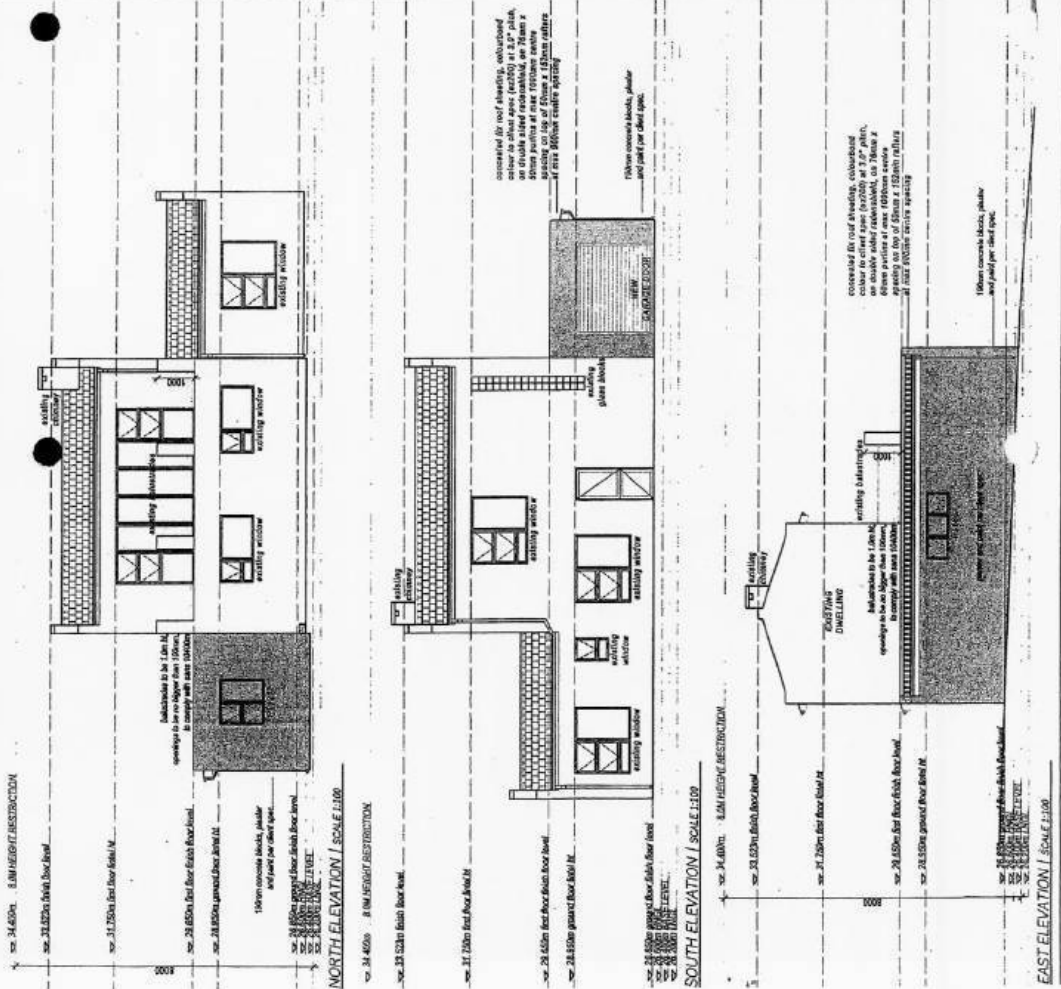
Number of pages

4 of 5

GENERAL NOTES

- 01. Drawings must not be stolen.
- 02. All work and quality of materials must comply with SANS 10400 and all other appropriate standards.
- 03. Quality of workmanship must be in harmony with the above standards.
- 04. Specialist contractor must be provided with SANS approved submittals with a 10 year guarantee and must be replaced as indicated according to SANS 10400.
- 05. Concrete foundation, surface and parking must be provided for the full extent of the building footprint and must be replaced as indicated according to SANS 10400.
- 06. Where a concrete slab is shown as a foundation for a structure, it must be extended over the lowest floor to a distance as shown on the foundation.
- 07. Foundation extension for outside work with surface of the adjoining finished ground level.
- 08. 37% minimum slope must be provided in all areas of the site.
- 09. Contact with foundations must be provided for all work, except where otherwise indicated.
- 10. All brick work in exterior load accept where shown otherwise.
- 11. Grouting must be in accordance with S.A.B.S. 10400 and must be provided for all openings in excess of 1m or within 300mm from ground level.
- 12. All steel pipe works and material must be according to ASNT requirements.
- 13. Electrical installations must be subject to acceptance with appropriate regulations.
- 14. All timber roof trusses must be treated with a fire retardant substance.
- 15. Wall ties must be installed in every cavity wall in an evenly distributed pattern at a rate of not less than 8 ties per square meter of face area. Check the cavity in those areas shown in wall.
- 16. All external walls to be 230mm cavity walls with 50mm insulation.
- 17. Provide wall ties 3 per sqm.
- 18. Provide weepholes every 6 brick courses.

APPROVAL STAMPS





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Prins Architectural Studio

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MARTIN PRINSLOO  
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22 Orlins Uys Street  
Gardelans  
Wolven Cape  
South Africa  
7220

073 337 2875  
081 519 2234  
www.prinsarch.co.za  
arch@prinsarch.co.za

CLIENT DETAILS  
STUART & PATRICIA JENNEKER

698 3710  
11 Baugains Street  
Gardelans, 7220  
073 529 0063  
stuartljennaker@gmail.com

PROJECT INFO  
Drawing Number:  
**JEN-PLB-21/27**

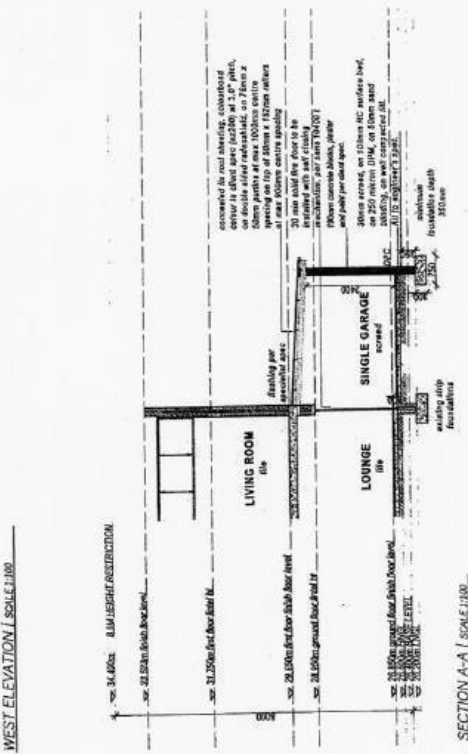
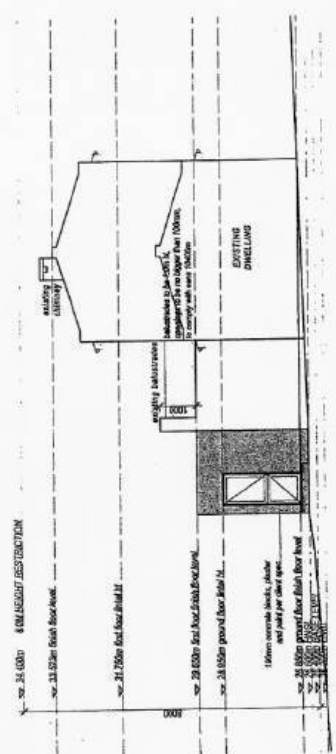
Layout Name:  
Elevation & Section  
Drawing Status:  
Project Description:  
Drawn By:  
Checked By:  
Date:  
Signature:  
Owner's Signature

Engineer's Signature  
Drawing Scale:  
Sheet Size:  
File name:  
Number of pages

GENERAL NOTES

- Drawings must not be scaled.
- All work and quality of materials must comply with SANS 10400 and all other applicable authorities.
- Quality of workmanship must be in harmony with the SANS users code with grade 1 building work.
- Foundation excavation must be treated with water proofing and must be approved as indicated according to SABS 0154.
- Concrete foundation, surface and paving must comply with SABS 0100 and 0191 as well as engineers plans and specifications.
- Where any surface differences in site level are noted, the contractor must ensure that the foundation is levelled for a tolerance as shown on the foundation.
- Foundation excavation for outside block walls must not be less than 400mm under the surface of the adjoining finished ground level, unless as indicated.
- 275 mmor d.p.c. must be provided in all walls as indicated.
- Covered walls/breakdowns must be provided in all block walls, except where otherwise shown otherwise.
- All block work in finished form except where shown otherwise.
- Glazing must be in accordance with S.A.B.S. and NBR requirements. See drawings for details and specifications for all glass windows of fire or within 300mm from ground level.
- All steel plate work and material must be according to NBR requirements.
- Electrical installations must be done in accordance with appropriate regulations.
- All timber roof trusses must be treated with a suitable resistant substance.
- 100mm steel reinforcement mesh must be provided in all newly distributed pattern of a slab of not less than 120mm per square meter of floor area where the depth is more than 150mm in which.
- All external walls to be 250mm cavity walls with 50mm spacing.
- Provide wall ties 2 per sqm.
- Provide wall ties every 6 block courses.

APPROVAL STAMPS



SECTION A-A | SCALE: 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR: DEPARTURE: ERF 2730, GANSBAAI**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing, standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2730, Gansbaai, unobstructed;
6. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

**16. ERF 3505 AND UNREGISTERED ERF 9899, 229 ELEVENTH STREET, VOËLKLIP, HERMANUS: APPLICATION FOR REZONING, CONSOLIDATION, DEPARTURE AND REGISTRATION OF A SERVITUDE: MESSRS PLAN ACTIVE ON BEHALF OF WL GREEFF**

**Unregistered Erf 9899 &  
Erf 3505 HVK (3669/2021)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**7 December 2021**

---

**Executive Summary**

An application has been received on 15 June 2021 from Messrs PlanActive Town and Regional Planners on behalf of WL Greeff on Erf 3505, Hermanus in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following:

- (a) rezoning in terms of Section 16(2)(a) of the By-Law of Unregistered Erf 9899 Hermanus (Portion of Erf 9894 Hermanus) from Open Space Zone 2 (OS2) to Residential Zone 1 (SR1);
- (b) consolidation in terms of Section 16(2)(e) of Erf 3505 and Unregistered Erf 9899 (Portion of Erf 9894 Hermanus);
- (c) registration of a servitude area in terms of Section 26(1)(e) that is exempted in terms of the last-mentioned section on the newly consolidated erf;
- (d) departure in terms of Section 16(2)(b) for a building line departure of the newly consolidated erf.

**RESOLVED:**

1. that the application received on unregistered Erf 9899 and Erf 3505, Hermanus in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following:
  - ❖ rezoning in terms of Section 16(2)(a) of the By-Law of Unregistered Erf 9899, Hermanus (Portion of Erf 9894, Hermanus) from Open Space Zone 2 (OS2) to Residential Zone 1 (SR1);
  - ❖ consolidation in terms of Section 16(2)(e) of Erf 3505 and Unregistered Erf 9899 (Portion of Erf 9894), Hermanus);
  - ❖ registration of a servitude area in terms of Section 26(1)(e) that is exempted in terms of the last-mentioned section on the newly consolidated erf;
  - ❖ departure in terms of Section 16(2)(b) for a building line departure of the

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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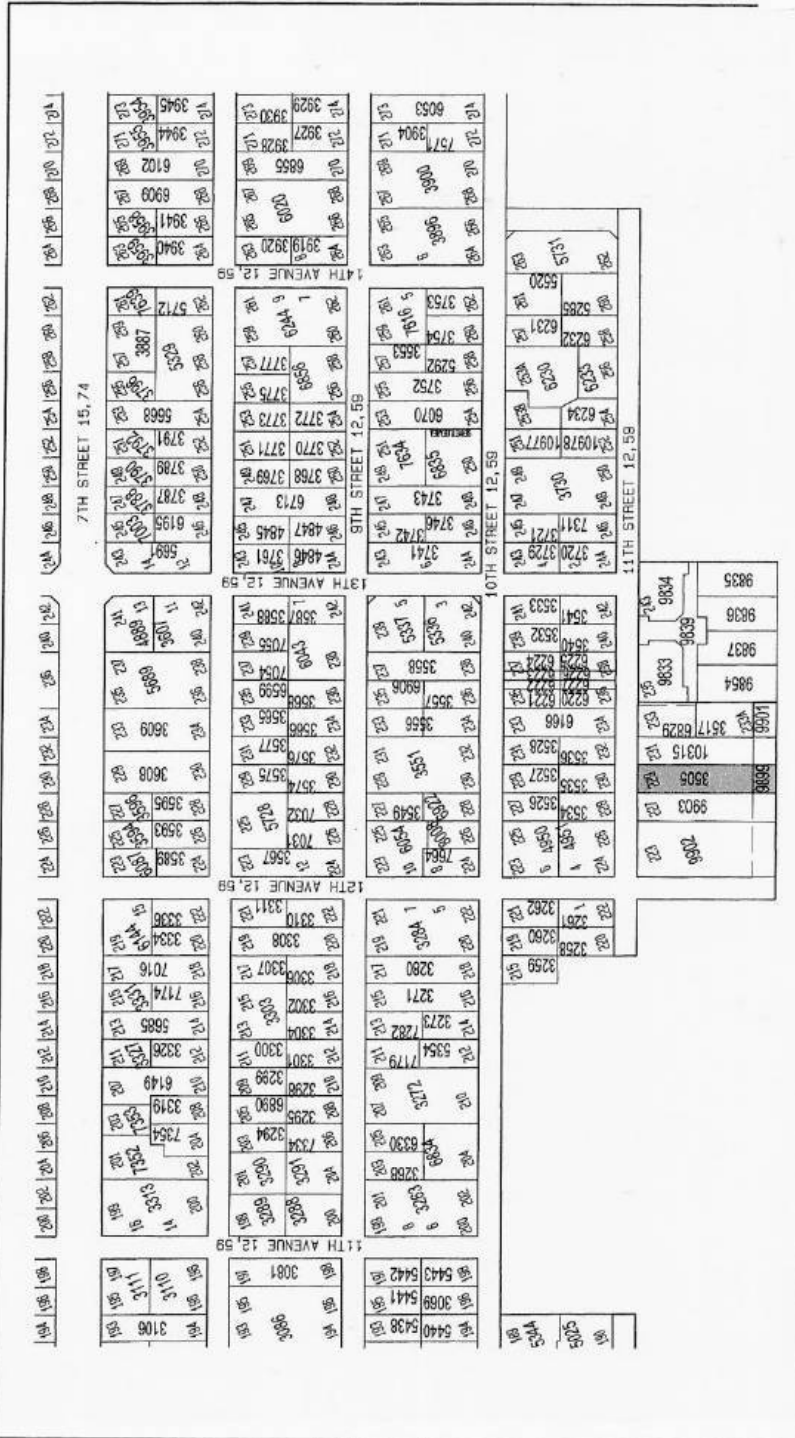
newly consolidated erf,

**be approved** in terms of the provisions of Section 61 of the By-Law;

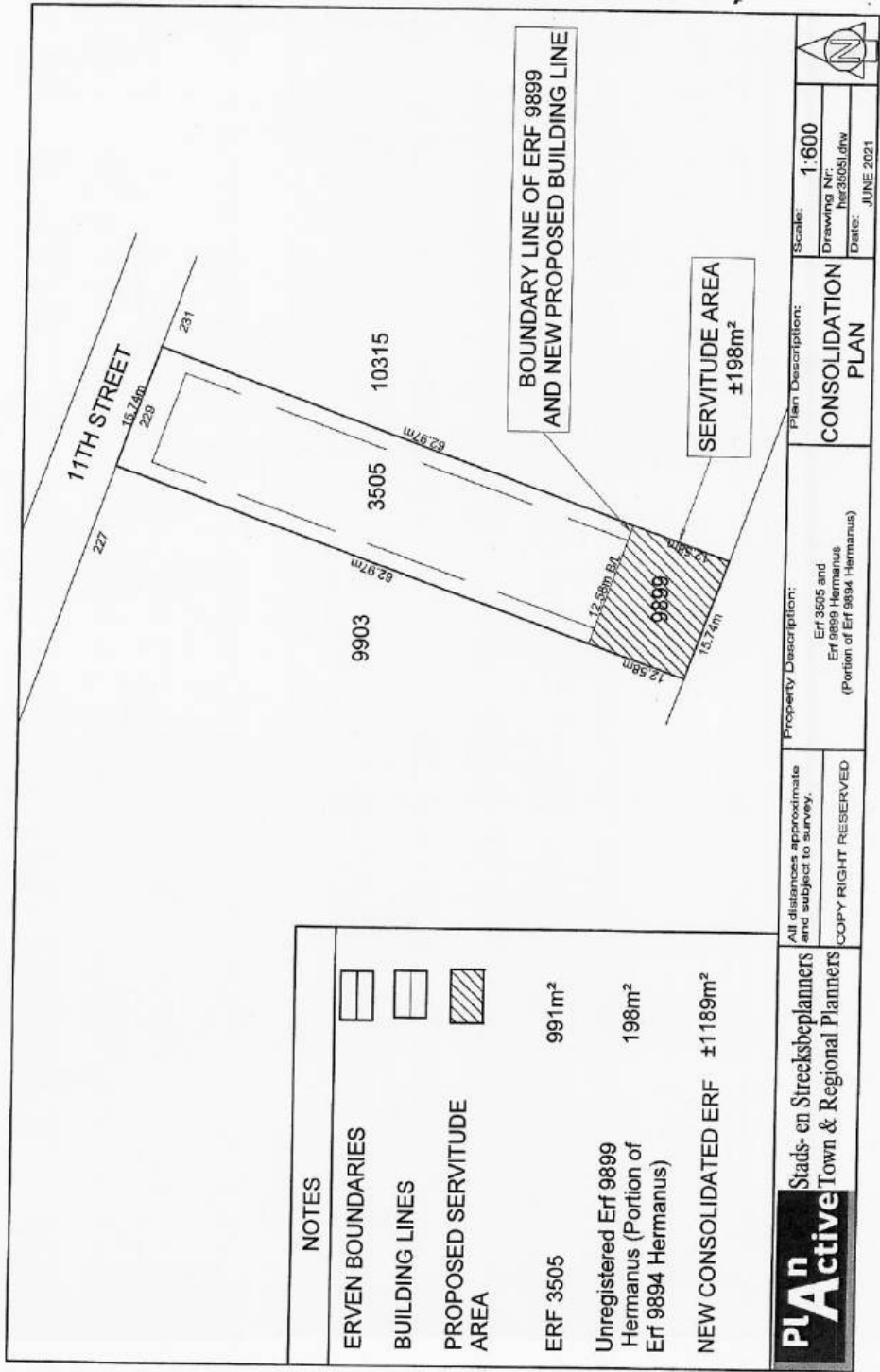
2. that the approval in point 1. above be subject to the following conditions:
  - (a) that the approval be limited to the Consolidation Plan *Project No 3505I.drw dated June 2021* as submitted with the application;
  - (b) that building plans should be submitted to the Building Department for approval prior to the development of the property;
  - (c) that all the conditions from Environmental Services and the Services Report, be complied with;
  - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 with regard to the above decision.

**REASONS FOR RESOLUTION**

- ❖ The proposed application has limited impact on the rights of the surrounding property owners.
- ❖ The proposed application is an extension of the Council's decision taken in 2002.
- ❖ The proposed servitude area on Erf 9899 will create a buffer area between the development on Erf 3505 and Fernkloof Nature Reserve.
- ❖ The consolidated property will be used in line with Residential Zone 1 parameters.
- ❖ The application has followed due procedure.
- ❖ None of the internal departments have any objection.
- ❖ The proposal is compliant with the spatial policies contained in the SDF.
- ❖ The proposal is constant with the spatial principles as set out in SPLUMA and LUPA.



<b>PLActive</b> Stads-en Sireeksbeplanners Town & Regional Planners	Property Description: <b>ERF 3505 &amp; 9899                  HERMANUS</b>	Plan Description: <b>LOCALITY MAP</b>	Scale: <b>NTS</b> Drawing Nr: <b>her3505&amp;9899.dwg</b> Date: <b>06/2021</b>
	All distances approximate and subject to survey. COPY RIGHT RESERVED		



**NOTES**

ERVEN BOUNDARIES	
BUILDING LINES	
PROPOSED SERVITUDE AREA	

ERF 3505	991m <sup>2</sup>
Unregistered Erf 9899 Hermanus (Portion of Erf 9894 Hermanus)	198m <sup>2</sup>
<b>NEW CONSOLIDATED ERF ±1189m<sup>2</sup></b>	

<p><b>PLAN</b> Stads- en Sirecksbeplanners Town &amp; Regional Planners</p>	<p>All distances approximate and subject to survey.</p> <p>COPY RIGHT RESERVED</p>	<p><b>Property Description:</b> Erf 3505 and Erf 9899 Hermanus (Portion of Erf 9894 Hermanus)</p>	<p><b>Plan Description:</b> <b>CONSOLIDATION PLAN</b></p>	<p><b>Scale:</b> 1:600 <b>Drawing Nr:</b> The2605/drv <b>Date:</b> JUNE 2021</p>
	<p>North Arrow</p>			

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REZONING, CONSOLIDATION, DEPARTURE &  
REGISTRATION OF A SERVITUDE: ERF 3505 & UNREGISTERED ERF 9899,  
VOELKLIP**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 - P: 2010: Drainage*;
4. that servitudes for municipal services be registered in favour of the council at the developer's cost in respect of all main services to be taken over by the council and all existing municipal services concerned crossing private property;
5. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
6. that any additional and / or extended vehicle entrances will be for the developer's account;
7. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;

- 8. that stormwater be allowed to discharge through the proposed erven, unobstructed.

*p.p. R. Hendriks*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*15/11/2021*  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**17. ERF 7748, 28 BLUE BELL'S CRESCENT, MOUNT PLEASANT, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: DN & CM JAMES**

**7748 HMP (3716/2021)**

**H Boshoff**

**(028) 313 8900**

**Hermanus Administration**

**1 December 2021**

---

**Executive Summary**

An application has been received on 4 May 2021 from DN & CM James for consent use in terms of Section 16.(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 in order to utilize the existing attached garage on Erf 7748, Mount Pleasant as a house shop.

**RESOLVED:**

1. that the application for consent use in terms of Section 16(2)(o) of the Overstrand Municipal Amendment By-Law on Municipal Land Use Planning, 2021 in order to utilise the existing attached garage on Erf 7748, Hermanus as a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the maximum floor area for the house shop may not exceed 30m<sup>2</sup> or 25% of the total floor area of all the buildings on the property whichever is the most restrictive – the house shop is restricted to the existing attached garage;
  - (b) that no more than three (3) persons, including the occupant/s of the dwelling are permitted to engage in house shop activities on the property, other than with the consent of the Municipality;
  - (c) that no portion of the house shop shall be used for the purposes of noxious trade, risk activity, sale of alcohol beverages, place of entertainment or gambling activities;
  - (d) the operator of the house shop shall permanently reside on the premises;
  - (e) that no products, goods or supplies connected to the house shop may be stored on the property outside a building;
  - (f) that any structure or alteration to the existing structure must conform to the residential character of the area and all the relevant legislations;

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
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- (g) that only one un-illuminated sign is permitted that shall be fixed to the building or boundary wall or fence, and such sign must be in line with the Overstrand By-Law Relating to Outdoor Advertising and Signage;
- (h) that the hours of business are restricted to 06:00 to 21:00 from Mondays to Fridays and from 06:00 to 21:00 on Saturdays and does not include public holidays or Sundays, or such trading hours as permitted by the Municipality;
- (i) that at least (1) on-site parking bay must be provided on the property;
- (j) that no more than one vehicle, not exceeding 3500kg gross weight, may be utilised for the house shop;
- (k) that the permission to operate the house shop is not transferable;
- (l) that no subletting is permitted;
- (m) that a R638 Certificate of Acceptability must be obtained from the Health Department of the Overberg District Municipality and a Fire Prevention Certificate from the Municipal Fire Department of the Overstrand Municipality;
- (n) that the conditions in Engineering Services, be adhered to;
- (o) that the Overstrand Municipality retains the right to enforce any relevant legislation, as well as law and order on the premises, on the landowner/s;
- (p) that Council reserves the right to rescind the approval without payment of compensation, should any justified objection/s be received in the way the house shop functions or should the operation of the house shop be found to be detrimental to the peacefulness and amenity of the surrounding area;
- (q) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (r) that application must be made for a Business Licence at the Overstrand Municipality (Senior Area Manager's office), prior to the operation of the house shop;

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (s) that building plans be submitted to the Municipality indicating the house shop to the satisfaction of the Fire Department and Building Control Department;
  - (t) that no accumulation of refuse may occur on the premises;
  - (u) that no sleeping be allowed in the house shop, and
  - (v) that this approval does not absolve the owners from compliance with any other relevant legislation.
2. that the applicant be notified of their right of appeal in terms Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ A house shop has been operated for years already from the garage, thus no additional impact.
- ❖ The application has followed due procedure.
- ❖ No internal or external objections were received.
- ❖ No new municipal services will be needed.
- ❖ It is in line with the aims of the Overstrand SDF.
- ❖ It will not impact on surrounding neighbours or the character of the area and is found desirable from a town planning perspective.

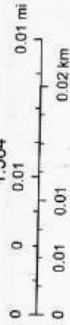
### Locality Plan: Erf 7748, Mount Pleasant



8/2/2021, 9:24:30 AM

- Municipalities
- Districts
- Property Standard
- SG Approvals
- Overstrand
- Roads

1:564





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 7748, MOUNT PLEASANT**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Senior Operational Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 7748, Mount Pleasant, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- 18. ERVEN 3505 & 4836, 15 & 13 TED WOOD ROAD, ONRUSTRIVER, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSOLIDATION: BETTESWORTH SCOTT (PTY) LTD ON BEHALF OF BERTIE COETZEE TRUST AND NOLTE COETZEE TRUST**

**3505 & 4836 HON (3735/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**17 December 2021**

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**Executive Summary**

An application has been received on 4 August 2021 from Bettlesworth Scott (Pty) Ltd on behalf of Bertie Coetzee Trust and Nolte Coetzee Trust in terms of Section 16.(2)(e) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the consolidation of Erven 3505 & 4836, Onrustrivier to create a consolidated erf of ±938m<sup>2</sup> in extent.

**RESOLVED:**

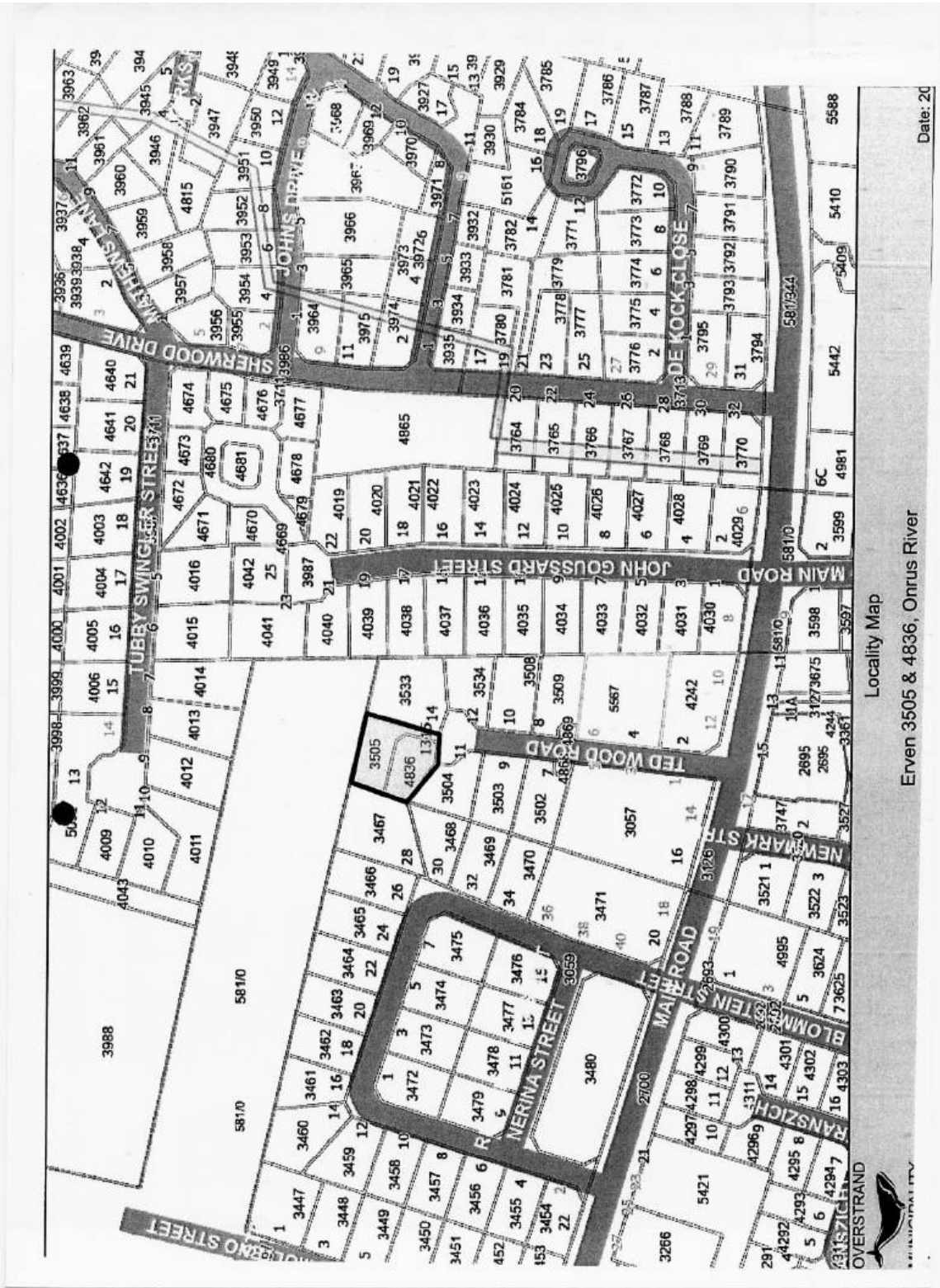
1. that the application in terms of Section 16.(2)(e) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the consolidation of Erven 3505 & 4836, Onrustrivier to create a consolidated erf of ±938m<sup>2</sup> in extent, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that the consolidation be as per Drawing number dwg3505/ONR/1b, dated 9 July 2021 as submitted with the application;
  - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (d) that all the conditions in the Services Report, be complied with;
  - (e) that the conditions imposed by Telkom, be complied with, and
  - (f) that the conditions imposed by Eskom, be complied with.
2. that the applicant be notified of the right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**REASONS FOR RESOLUTION**

- ❖ The application complies with the Planning Principles as set out in SPLUMA and LUPA.
- ❖ None of the internal departments, neighbours or the Homeowners Association have any objections.
- ❖ The character of the area will not be affected.
- ❖ The application will not negatively impact on surrounding properties.

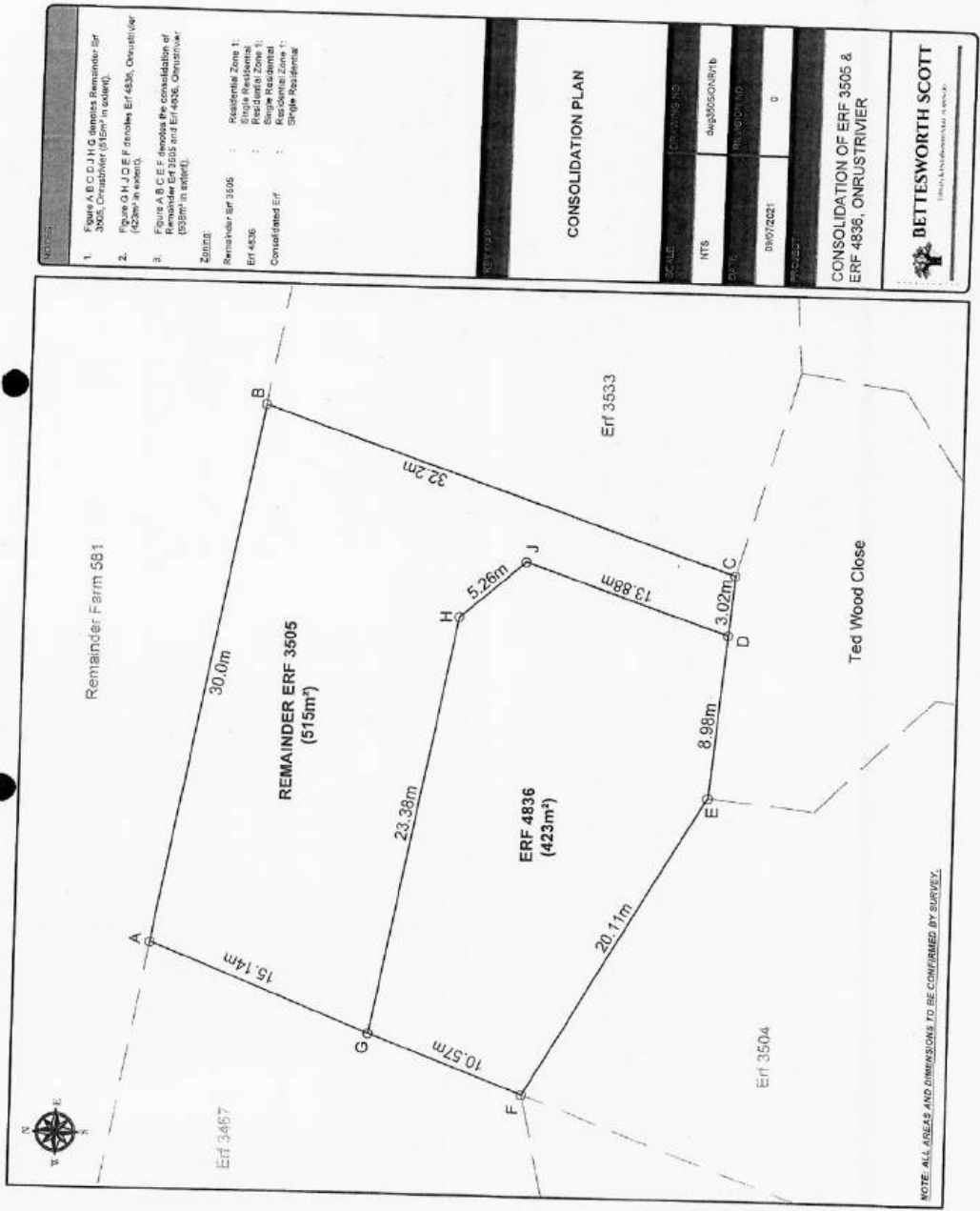


Date: 20

Locality Map

Erven 3505 & 4836, Onrus River





1. Figure A B C D J H G shows Remainder of Erf 3505, Onustrivier (515m<sup>2</sup> in extent).
2. Figure O N J I E F shows Erf 4836, Onustrivier (423m<sup>2</sup> in extent).
3. Figure A B C E F shows the consolidation of Erf 3505 and Erf 4836, Onustrivier (938m<sup>2</sup> in extent).

**Zona:**

Remainder erf 3505 : Residential Zone 1: Single Residential

Erf 4836 : Residential Zone 1: Single Residential

Consolidated Erf : Residential Zone 1: Single Residential

**CONSOLIDATION PLAN**

SCALE	Plotting 1:50
NTS	0m/3505/04836
DATE	11/10/2010
DRW/2021	0
PROJECT	

**CONSOLIDATION OF ERF 3505 & ERF 4836, ONRUSTRIEVER**

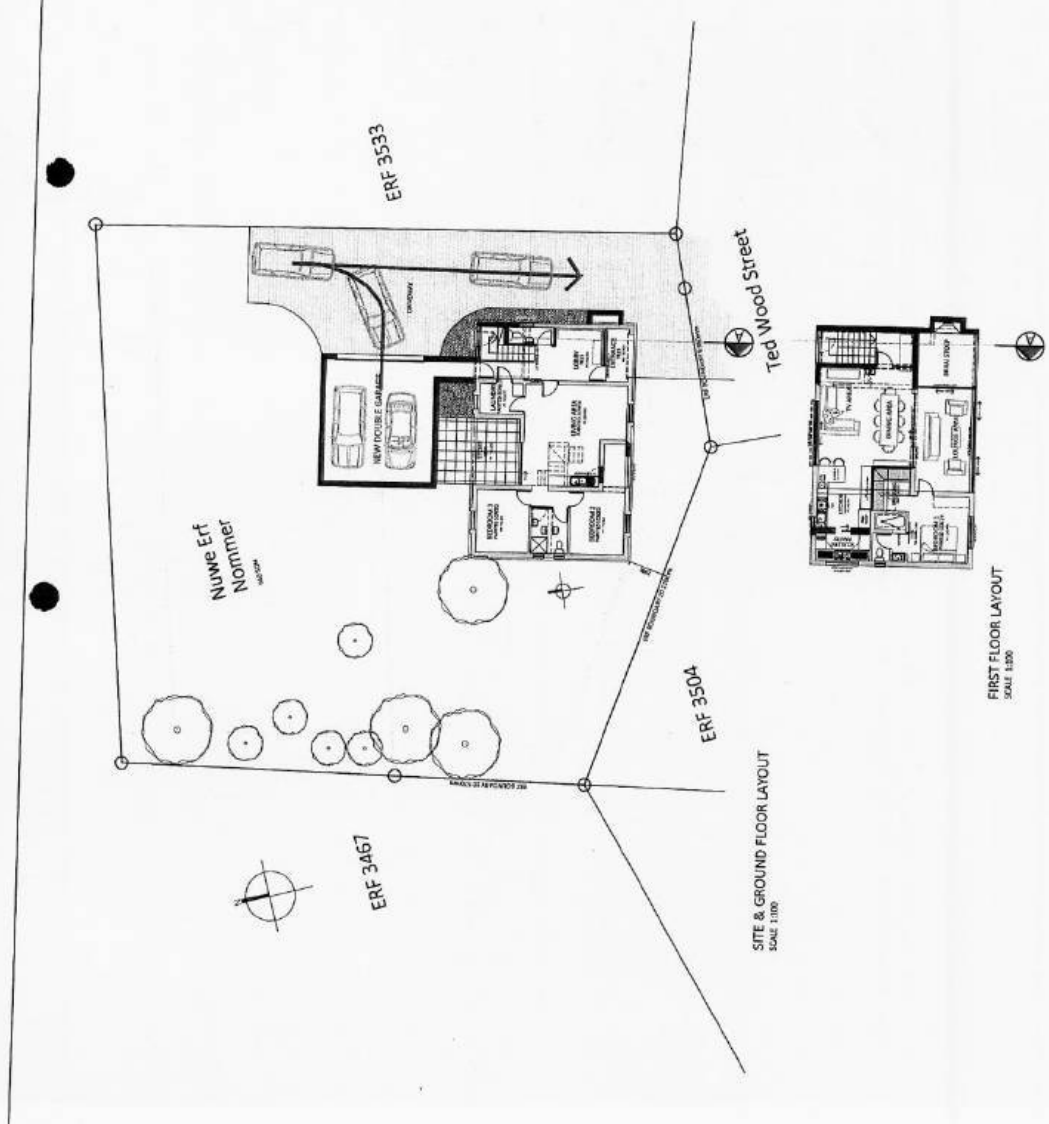


NOTE: ALL AREAS AND DIMENSIONS TO BE CONFIRMED BY SURVEY.



ERF 3504/3507/3508/3509/3510/3511/3512/3513/3514/3515/3516/3517/3518/3519/3520/3521/3522/3523/3524/3525/3526/3527/3528/3529/3530/3531/3532/3533/3534/3535/3536/3537/3538/3539/3540/3541/3542/3543/3544/3545/3546/3547/3548/3549/3550/3551/3552/3553/3554/3555/3556/3557/3558/3559/3560/3561/3562/3563/3564/3565/3566/3567/3568/3569/3570/3571/3572/3573/3574/3575/3576/3577/3578/3579/3580/3581/3582/3583/3584/3585/3586/3587/3588/3589/3590/3591/3592/3593/3594/3595/3596/3597/3598/3599/3600

DATE: 20/05/2017  
DRAWN BY: JM  
DRAWN FOR: 0118-a-100



CLIENT NAME: Mr & Mrs Coetzee

PROJECT NAME: Alterations and extensions to existing House

ADDRESS: ERF 3505 Ted wood Street  
Orrus River

Concept

DRAWING DESCRIPTION

LAYOUT PLANS  
SCALE 1:100

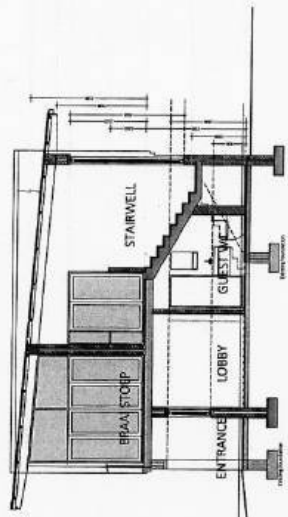
DATE: 20/05/2017  
DRAWN BY: JM  
DRAWN FOR: 0118-a-100

0118-a-100

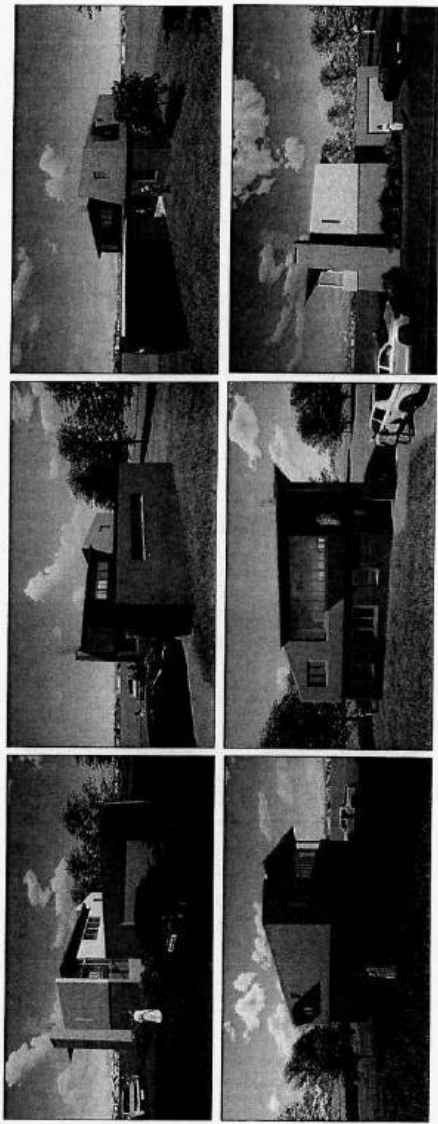


JANI-LOUISE ARCHITECTS  
 ARCHITECTS  
 10111 101ST AVE. S.W.  
 BELLEVUE, WA 98003  
 TEL: 206.451.1011  
 WWW.JANILOUISE.COM

REVISION LIST  
 ELEVATION DATE: 10/2018



SECTION A-A  
SCALE 1/8" = 1'-0"



3D VISUALIZATIONS

CLIENT NAME: Mr & Mrs Coetzee  
 PROJECT NAME: Alterations and extensions to existing House  
 ADDRESS: ERF 3505 Ted wood Street Onrus River  
 CONCEPT: Concept

DRAWING DESCRIPTION:  
 SECTION A-A & VISUALIZATION  
 SCALE 1/8" = 1'-0"

DRAWING NO.: 0118-a-101  
 DATE: 10/2018  
 DRAWN BY: JLM  
 CHECKED BY: JLM

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSOLIDATION: ERVEN 3505 & 4836, ONRUS RIVER**

Stormwater (SW) : In Order  
Electricity : Eskom Area  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erven 3505 & 4836, Onrus River, unobstructed;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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19. **ERF 2174, 3 FRANCOLIN CLOSE, FRANCOLIN HEIGHTS, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: CHISEL COLLECTIVE ON BEHALF OF JA & C VAN SCHALKWYK**

**2174 HVM (3722/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**13 December 2021**

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**Executive Summary**

An application has been received on 28 April 2021 from Chisel Collective on behalf of JA & C van Schalkwyk on Erf 2174, Vermont for an application in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the following departures:

To relax the Land Use Scheme building lines as follows:

- ❖ southern rear building line from 3m to 2m to accommodate the dwelling,
- ❖ northern lateral building line from 2m to 0m to accommodate the proposed single garage 1,
- ❖ western lateral building line from 2m to 0m to accommodate proposed garage 2, and
- ❖ street building line from Lynx Road from 5m to 4m.

To relax Francolin Heights Architectural Guidelines building lines as follows:

- ❖ northern lateral building line from 2m to 0m to accommodate a garage,
- ❖ external building line with Lynx Road from 5m to 4m to accommodate a garage.
- ❖ western lateral building line from 2m to 0m to accommodate a garage, and
- ❖ rear building line from 3m to 2m to accommodate a double storey portion.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a departure from the Francolin Heights Design Guidelines and the Land Use Scheme on Erf 2174, Vermont, as follows:

To relax the Land Use Scheme building lines as follows:

- ❖ southern rear building line from 3m to 2m to accommodate the dwelling,
- ❖ northern lateral building line from 2m to 0m to accommodate the proposed single garage 1,
- ❖ western lateral building line from 2m to 0m to accommodate proposed

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- garage 2, and
- ❖ street building line from Lynx Road from 5m to 4m.

To relax Francolin Heights Architectural Guidelines building lines as follows:

- ❖ northern lateral building line from 2m to 0m to accommodate a garage,
- ❖ external building line with Lynx Road from 5m to 4m to accommodate a garage.
- ❖ western lateral building line from 2m to 0m to accommodate a garage, and
- ❖ rear building line from 3m to 2m to accommodate a double storey portion,

**be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the relaxations as indicated on the undated plan DW-422-100 submitted by the architect;
  - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Land Use Scheme be complied with,
  - (d) that building plans be submitted to the Building Control Department for approval and that all conditions of the Building- and Fire Department be complied with,
  - (e) that the conditions in the Services Report, be complied with
  - (f) that the conditions imposed by Telkom, be complied with, and
  - (g) that the conditions imposed by Eskom, be complied with.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above decision.

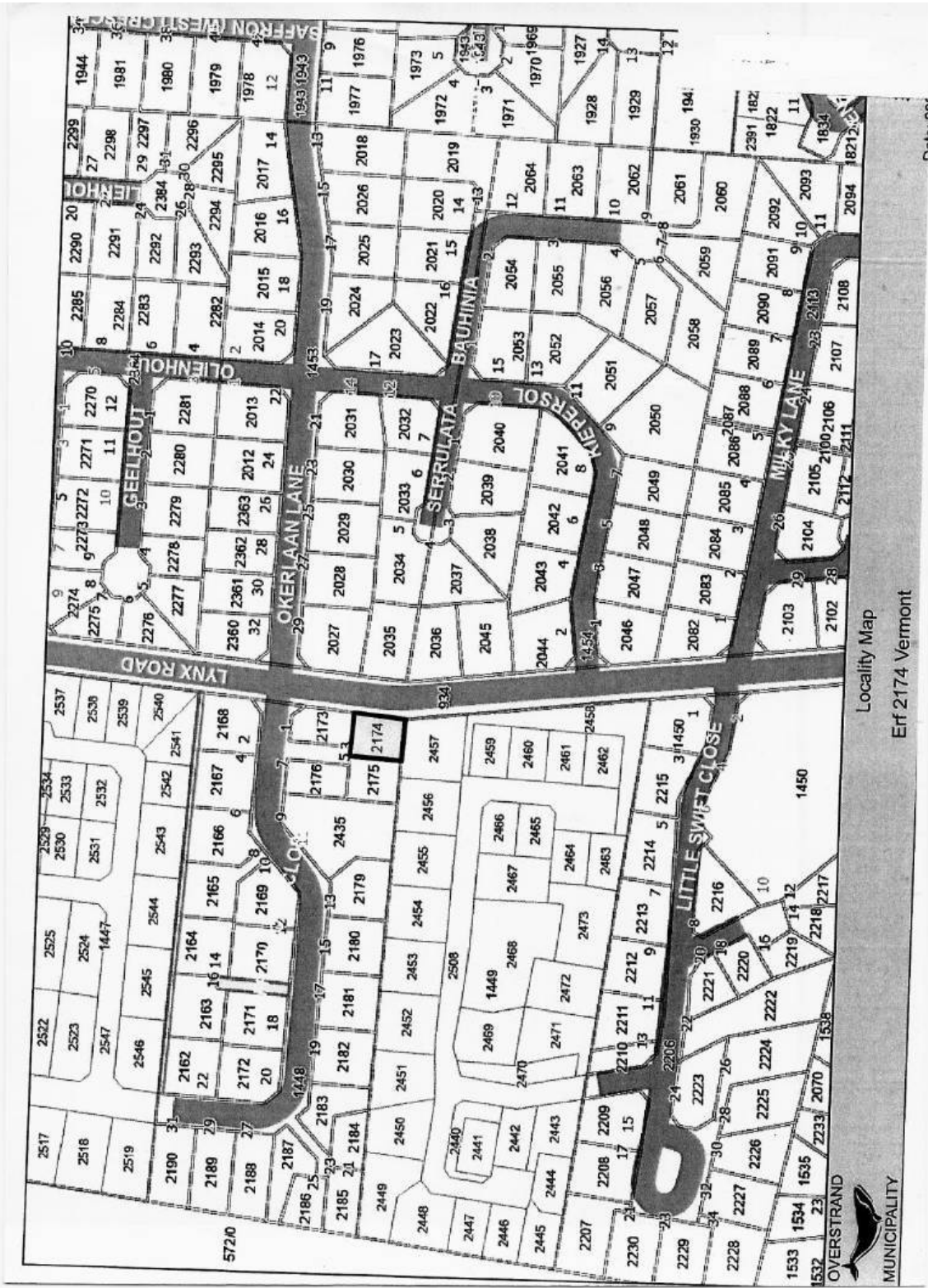
**REASONS FOR RESOLUTION**

- ❖ The application is supported by the Estate Architect.
- ❖ The application is supported by all relevant internal departments.

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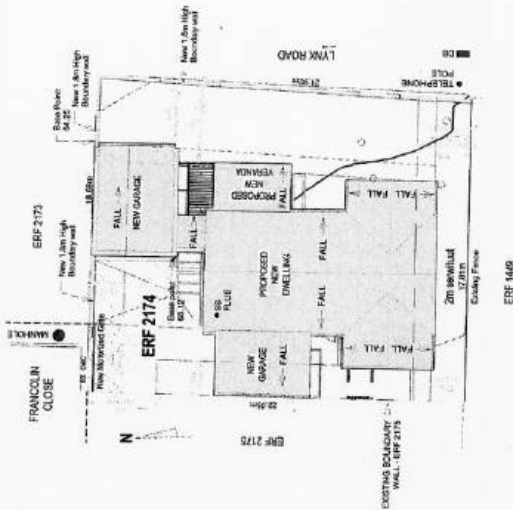
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- ❖ The small size of the erf and limiting building lines in the Land Use Scheme and Architectural Guidelines makes it impossible to construct a 100m<sup>2</sup> dwelling and two garages as stipulated in the Architectural Guidelines within the building lines.
- ❖ The application will not have a negative impact on the character of Francolin Heights or the surrounding area, hence the reason why no objections were received from neighbours.
- ❖ The application is considered desirable.

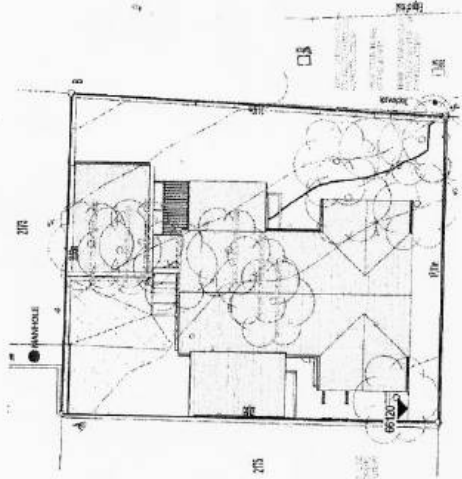


Locality Map  
Erf 2174 Vermont





1 Site Plan (Council)  
1:200



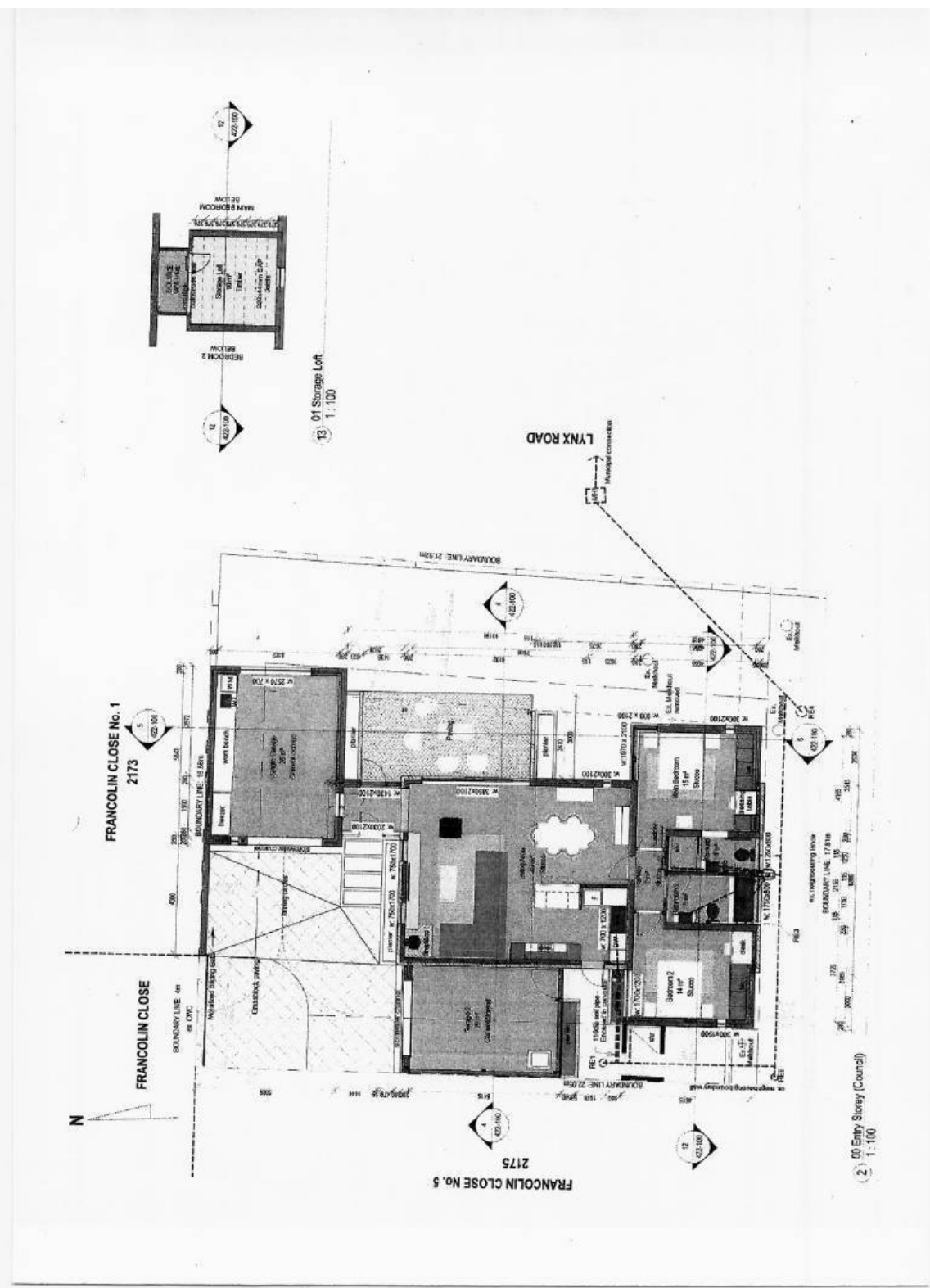
3 Site Plan (Survey Overlay)  
1:200

<b>AREA CALCULATION:</b>	
ERF SIZE:	401sqm
COVERAGE:	44%
HOUSE:	110sqm
GARAGES:	54sqm
VERANDA:	18sqm
1.8m HIGH BOUNDARY WALL: 36.6m	

HOME OWNERS ASSOCIATION  
*H. H. H. H.*  
 PLEASE APPROVE THE PROPOSAL

Approval

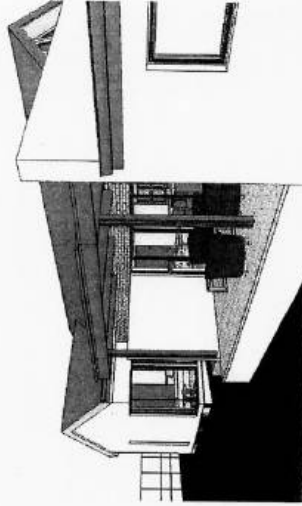
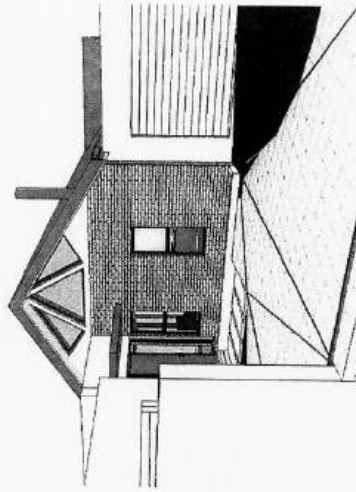
Chief Engineer  
*[Signature]*  
 Author's Signature  
*[Signature]*



FRANCOLIN CLOSE No. 1  
2173

FRANCOLIN CLOSE No. 5  
2175

02) Entry Storey (Council)  
1:100



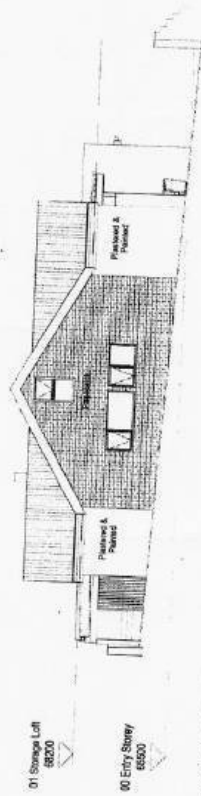
011  
ADDRESS 2174  
3 Franklin Place, Vermont

CHISEL  
COLLECTIVE

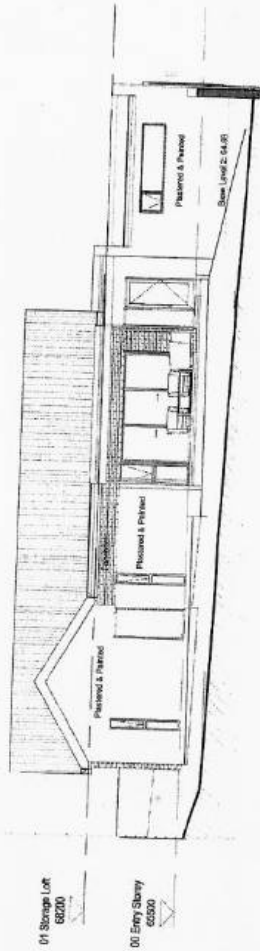




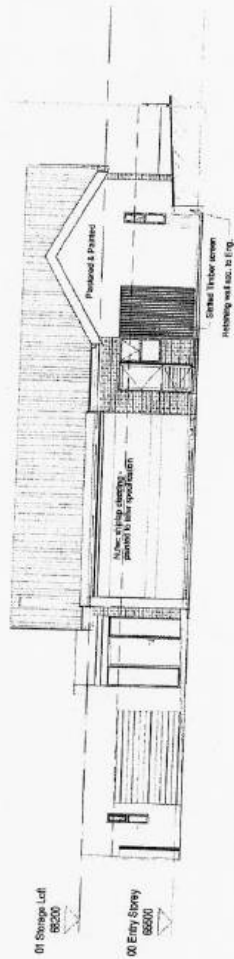
6 North Elevation (Council)  
1:100



7 South Elevation (Council)  
1:100



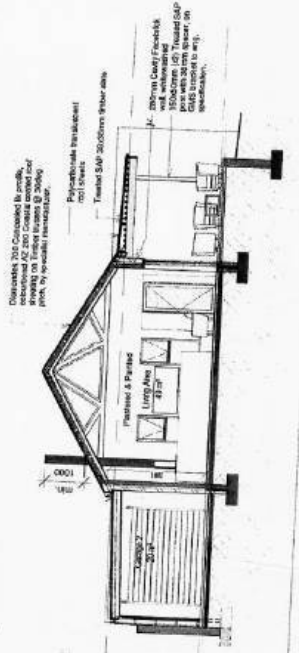
8 East Elevation (Council)  
1:100



9 West Elevation (Council)  
1:100



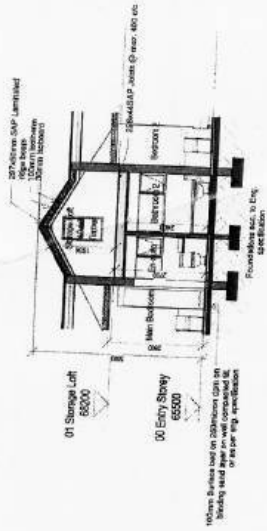
Max. Height  
73485



01 Storage Loft  
88200

00 Entry Storey  
85500

Section AA  
1:100



01 Storage Loft  
85000

00 Entry Storey  
82500

Section CC  
1:100





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2174, VERMONT**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2174, Vermont, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

*p.p. R. Cadogan*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*03/07/2021*  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**20. ERF 4958, 13 BLACK EAGLE STREET, ONRUSTRIVIER, OVERSTRAND  
MUNICIPAL AREA: APPLICATION FOR DEPARTURE: FOR.SITE DESIGN &  
CONSULT ON BEHALF OF L ROUX**

**4958 HON (3785/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**29 November 2021**

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**Executive Summary**

An application has been received on 27 July 2021 from For.Site Design & Consult on behalf of L Roux on Erf 4958, Onrustrivier for a departure in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 to relax the western lateral building line from 2m to 1,3m to accommodate a built deck.

**RESOLVED:**

1. that the application in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 on Erf 4958, Onrustrivier to relax the western lateral building line from 2m to 1,3m to accommodate a built deck, **be approved**, in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is only for the relaxation as indicated on plan numbers ROU-01-01, ROU-01-02 and ROU-01-03 dated June 2021, submitted with the application.
  - (b) that building plans be submitted to the Building Control Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 with regard to the above decision.

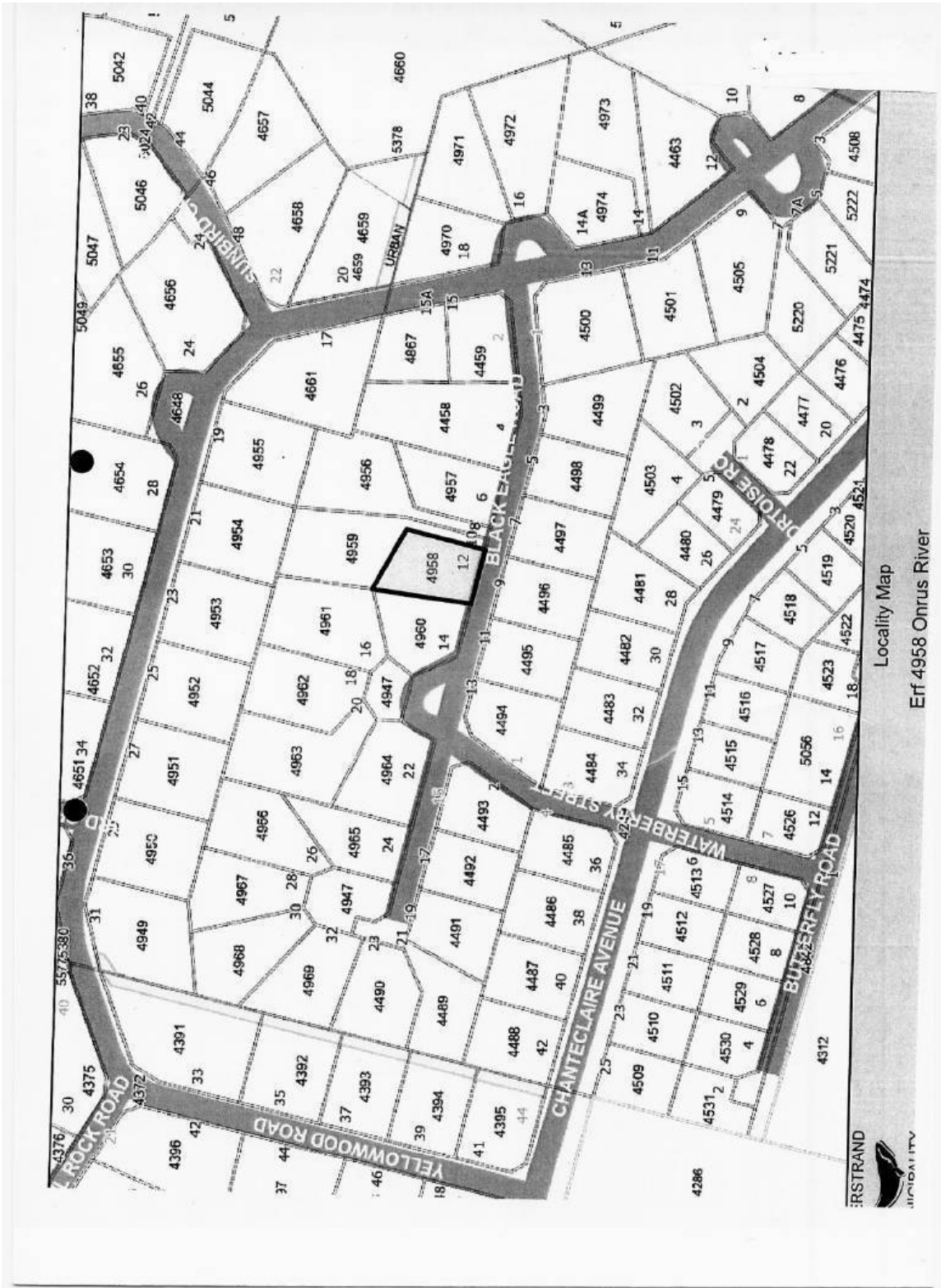
**REASONS FOR RESOLUTION**

- ❖ All relevant neighbours consented to the application.

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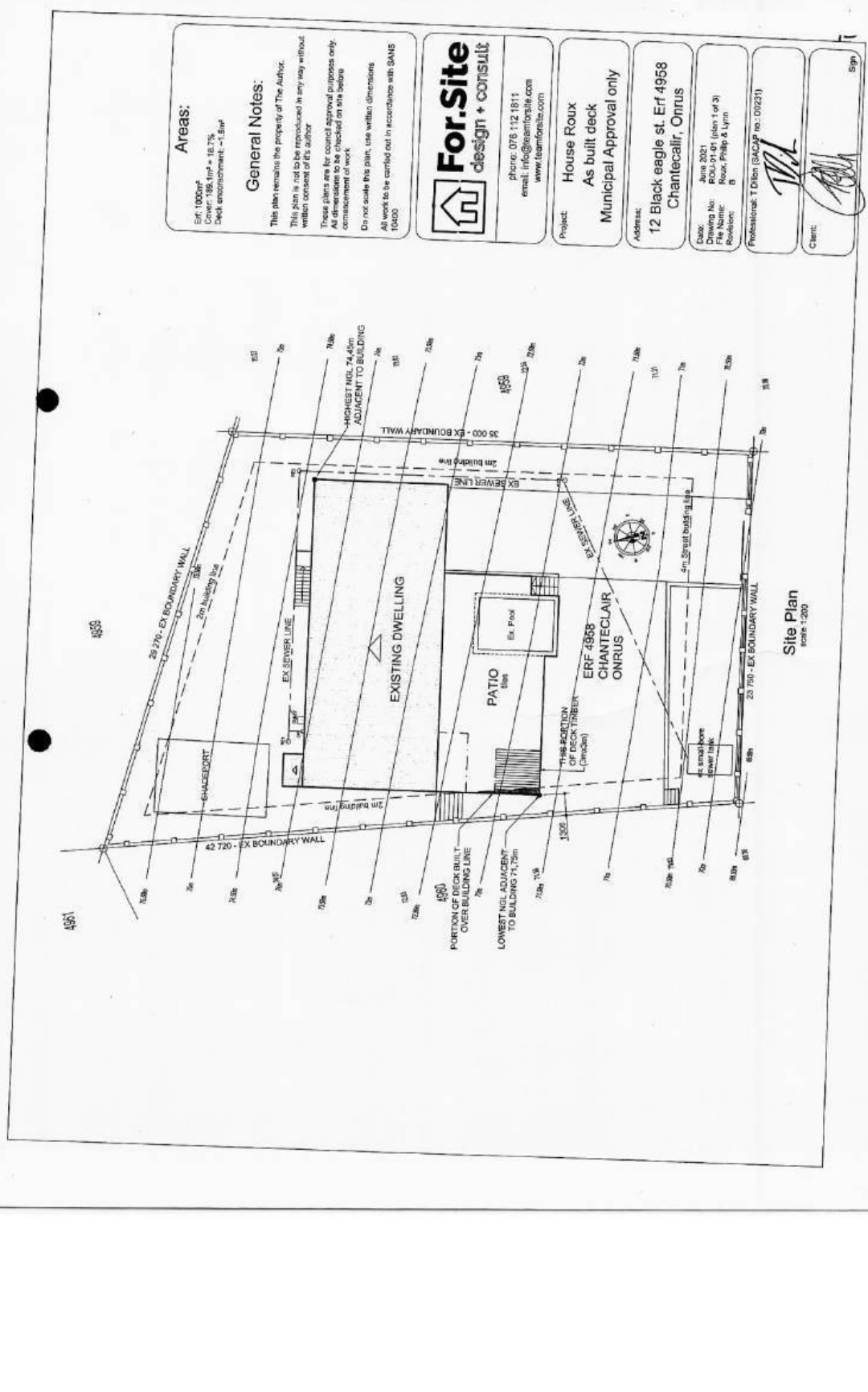
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- ❖ All relevant Municipal departments support the application.
- ❖ The application was previously approved, and this application is to only allow the structure 0,1m closer to the boundary than previously approved.
- ❖ The deck is an existing structure with no additional impact on neighbours.
- ❖ The application is desirable.



Locality Map  
Erf 4958 Onrus River





**Areas:**  
 Erf: 1000m<sup>2</sup>  
 Cover: 188.1m<sup>2</sup> = 18.7%  
 Deck encroachment: ~1.5m<sup>2</sup>

**General Notes:**  
 This plan remains the property of The Author.  
 This plan is not to be reproduced in any way without written consent of its author.  
 These plans are for council approval purposes only. All dimensions to be checked on site before commencement of work.  
 Do not scale this plan, use written dimensions.  
 All work to be carried out in accordance with SANS 10400

**For.Site**  
 design + consult  
 phone: 076 112 1811  
 email: info@forsite.co.za  
 www.teamforsite.com

**Project:**  
 House Roux  
 As built deck  
 Municipal Approval only

**Address:**  
 12 Black eagle st. Erf 4958  
 Chantecclair, Onrus

**Date:** June 2021  
**Drawing No:** POU-01-01 (plan 1 of 3)  
**File No.:** 12 Black Eagle Street, Onrus, Philipp & Lynn Roux  
**Revisors:** B

**Professional:** T Dilon (SACAP no. 100231)

**Client:** [Signature]

Sign

**General Notes:**

Refer to Site Plan drawing for all Notes & Terms

**BALUSTRADES:**  
 Around all openings with more than 900mm drop off, use pre cast SAND CAST 100mm high with max 100mm high nosing. No nosing to project beyond site boundary.

**WATER RESISTING:**  
 By specialist contractor.

All construction tender is to be in full pressure tested/grade 5 or 6 pipe wrapped in 600mm membrane when waterproofing work.

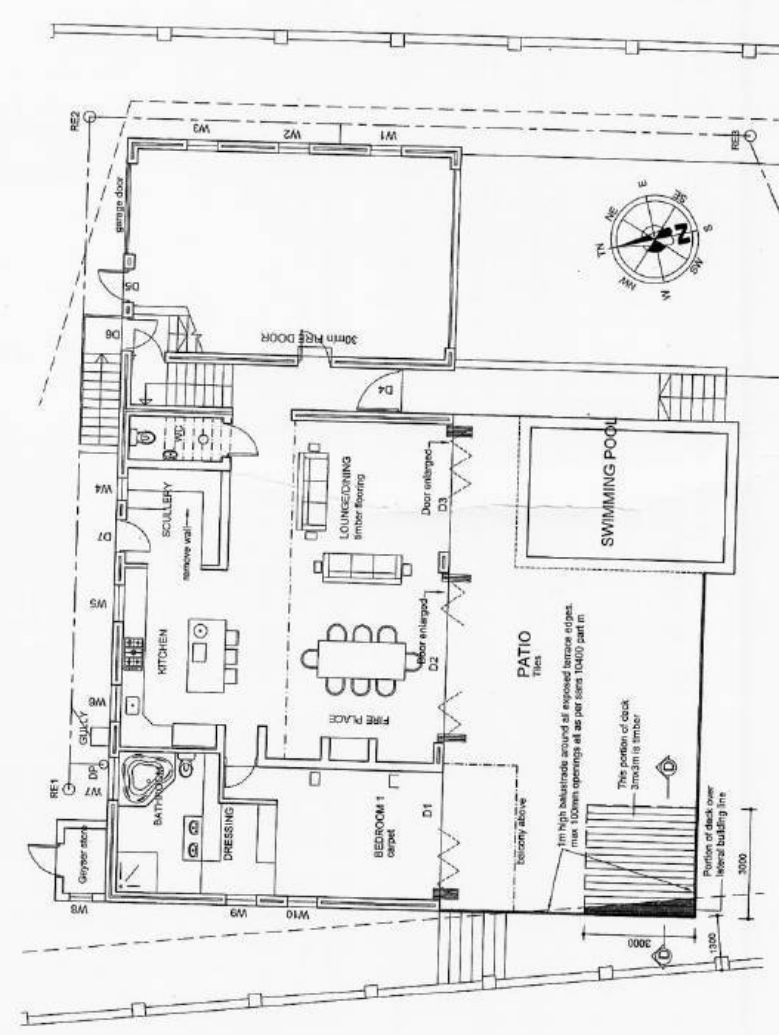
**CONSULTATIONS:**  
 To be taken to site level being ground, and by structural engineer's design & spec following a geotechnical investigation. No footings to project beyond site boundary.

**WALLS:**  
 100mm to 150mm cavity wall construction with ties to be built in 200mm concrete wall with a minimum of 2 ties per m<sup>2</sup>. All in accordance with SABS 5010. Weepholes to be provided to all walls.

All openings in walls or wall supports up to 2700mm to have precast concrete lintel over and 4 cymex spigots as per spec.

**FLOORS:**  
 100mm above top 20mm concrete slab on 100mm clear building sand, on well compacted class homogeneous fill.

	phone: 075 112 1811 email: info@forsite.co.za www.forsite.co.za
	Project: House Roux As built deck Municipal Approval only
Address: 12 Black eagle st. Erf 4958 Chantecclair, Onrus	
Date: June 2021 Drawing No: RCU-01-02 (plan 2 of 3) File Name: Roux, Philip & Lynn revision: B	Professional: T. Roux (SACAP no: D02971) 
Client: 	Sur:



**Ground Floor Plan**  
 scale 1:100

**General Notes:**

Refer to Site Plan drawing for all Notes & Terms

**BALUSTRADES:**  
 All balustrades to be made from 60mm dia galv. steel pipe with 100mm dia balusters. Max height 1000mm.

**WATER PROOFING:**  
 All external walls to be waterproofed with a minimum of 2 coats of waterproofing.

**FOUNDATION:**  
 All foundations to be made of concrete.

**CONCRETE:**  
 All concrete to be made of 20MPa concrete.

**WOODWORK:**  
 All woodwork to be made of treated pine.

**PAINTS:**  
 All external walls to be painted with a minimum of 2 coats of exterior paint.

**GLAZING:**  
 All glazing to be made of double glazed units.

**ROOFING:**  
 All roofs to be made of concrete tiles.

**CEILING:**  
 All ceilings to be made of plasterboard.

**FLOORING:**  
 All floors to be made of concrete.

**WALLS:**  
 All external walls to be made of concrete.

**DOORS:**  
 All doors to be made of timber.

**WINDOWS:**  
 All windows to be made of timber.

**STAIRS:**  
 All stairs to be made of timber.

**LANDSCAPE:**  
 All landscaping to be made of native plants.

**UTILITIES:**  
 All utilities to be made of PVC.

**FINISHES:**  
 All finishes to be made of high quality materials.

**CONSTRUCTION:**  
 All construction to be made of high quality materials.

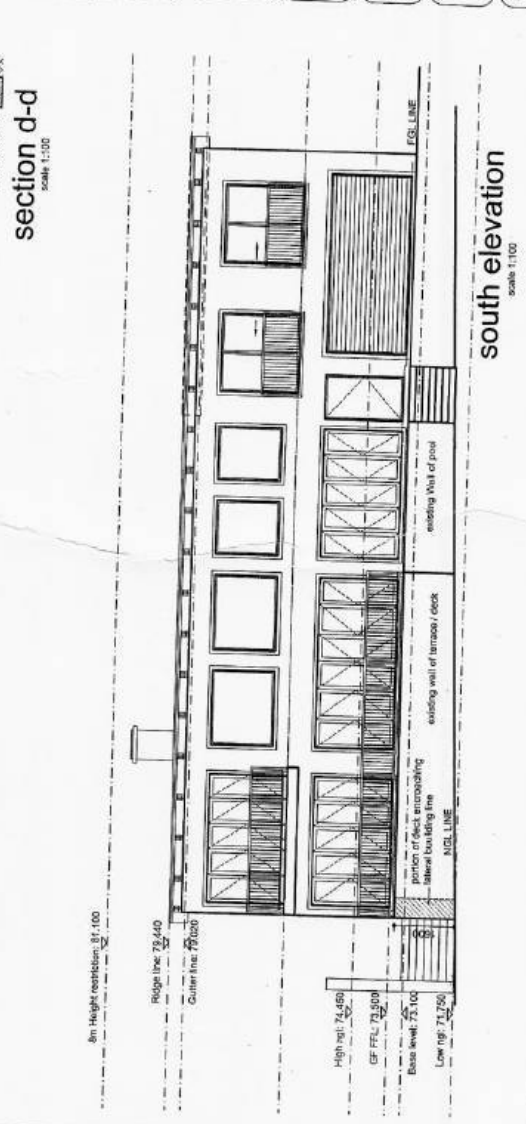
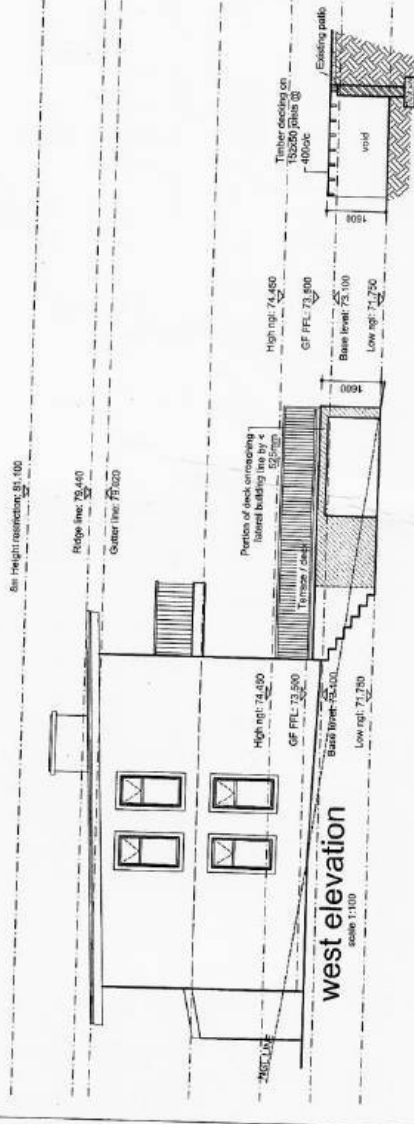
**COMPLETION:**  
 All construction to be completed within the specified time frame.


**DEFECTS:**  
 All defects to be rectified within the specified time frame.

**WARRANTY:**  
 All construction to be warranted for a minimum of 12 months.

**LIABILITY:**  
 The designer is not liable for any damage or injury caused by the construction.

**DISCLAIMER:**  
 This drawing is for informational purposes only and should not be used for construction without the approval of the relevant authorities.





**For.Site**  
 design + consult

phone: 076 112 1811  
 email: info@teamforsite.com  
 www.teamforsite.com

**Project:** House Roux  
 As built deck  
 Municipal Approval only

**Address:**  
 12 Black eagle st. Erf 4958  
 Chantecaille, Onrus

**Date:** June 2021  
**Drawing No:** RCU-01-05 (plan 3 of 3)  
**Author:** Roux, Philip & Lynn  
**Revision:** 0

**Professional:** T. Dixon (SACAP no. 010231)

**Client:**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**22. ERF 2062, 52 SIXTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND DETERMINATION OF AN ADMINISTRATIVE PENALTY: MESSRS INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF C ESPOST**

**2062 HVK**

**P Roux**

**24 November 2021**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application has been received on 12 May 2021 from Messrs InterActive Town- and Regional Planning on behalf of C Espot the owner of Erf 2062, Hermanus (Voëlklip) in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following:

- departure in terms of Section 16(2)(b) of the By-Law to:
  - relaxation of the western lateral building line from 2m to 1.2m to allow for an existing storage room to be used as a bedroom;
  - relaxation of the western lateral building line from 2m to 1.2m to allow for a proposed enclosed entertainment room;
  - relaxation of the western lateral building line from 2m to 1.2m to allow for an existing garage to be used as a bedroom and the garage door to be replaced by a sliding door, and
  - relaxation of the eastern lateral building line from 2m to 1.4m to allow for a proposed spiral staircase; and
- the determination of an Administrative Penalty in terms of Section 16(2)(q) of the By-Law.

**RESOLVED:**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), applicable to Erf 2062, Hermanus (Voëlklip) for the following:
  - ❖ departure in terms of Section 16(2)(b) of the By-Law to:
    - relaxation of the western lateral building line from 2m to 1.2m to allow for an existing storage room to be used as a bedroom;
    - relaxation of the western lateral building line from 2m to 1.2m to allow for a proposed enclosed entertainment room;
    - relaxation of the western lateral building line from 2m to 1.2m to allow for an existing garage to be used as a bedroom and the garage door to be replaced by a sliding door,

**be approved** in terms of the provisions of Section 61 of the By-Law;

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2. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), applicable to Erf 2062, Hermanus (Voëlklip) for the relaxation of the eastern lateral building line from 2m to 1.4m to allow for a proposed spiral staircase, **not be approved** in terms of the provisions of Section 61 of the By-Law due to the reasons provided below;
3. that the application for the determination of an administrative penalty in terms of Section 16(2)(q) of the By-law for the unauthorised land use activities stipulated above, **be exempted** from the payment of an administrative penalty in terms of Section 90(4) of the By-Law;
4. that the approvals in 1. above be subject to the following conditions:
  - (a) that the encroachments be restricted to the dimensions as indicated on drawing no. *EST/2062/2020* as submitted with the application;
  - (b) that the conditions of Engineering Services, be complied with;
  - (c) that this approval does not absolve the landowners from compliance with any other relevant legislation, and
  - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
5. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above decisions.

## **REASONS FOR RESOLUTION**

### Reasons for the decisions in 1. and 3. above

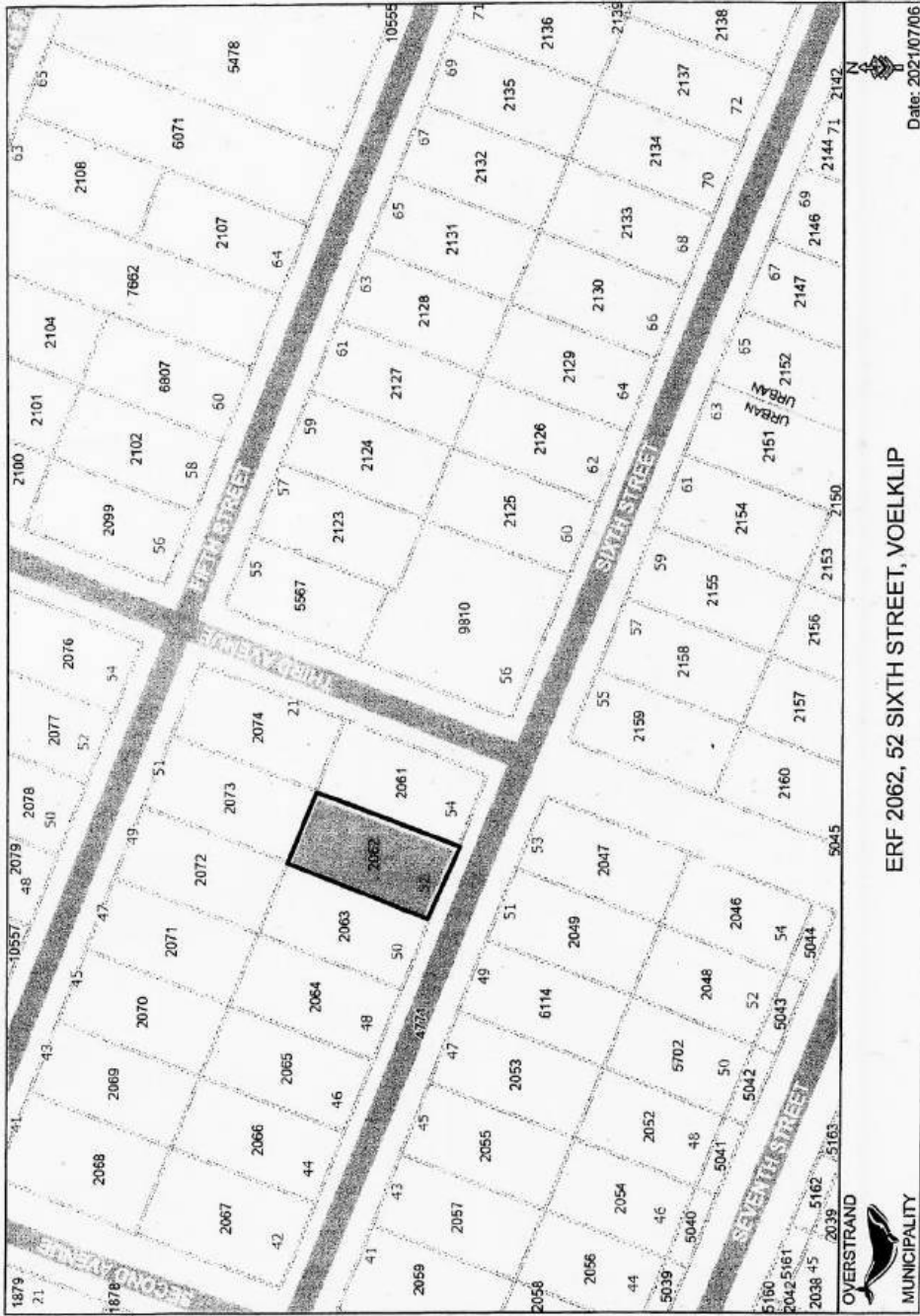
- ❖ The application has followed due procedure.
- ❖ No objections were received from the public.
- ❖ It is in line with policy documents.
- ❖ The proposed departures have no impact on the adjacent property.
- ❖ The existing structures will be unobtrusive and will be compatible with the existing built environment including the character of the dwelling, and
- ❖ The existing boundary wall mitigates any privacy concerns.
- ❖ Is not regarded as being undesirable from a town planning point of view.

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Reasons for the decision in 2. above

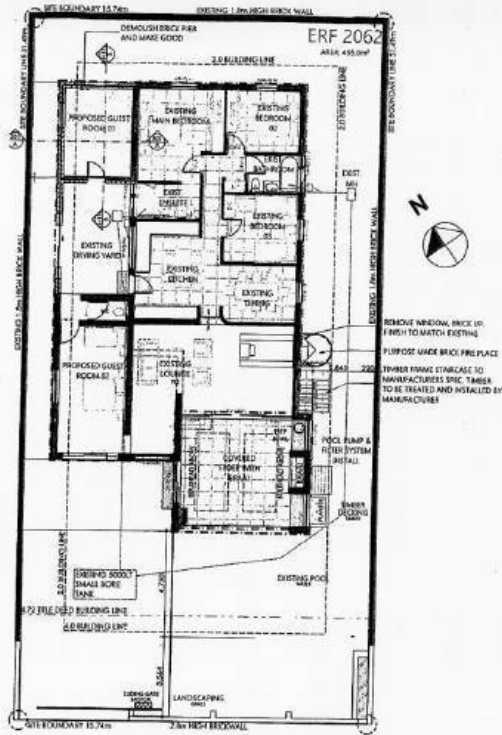
- ❖ Proposed plans submitted with the application indicated that a standard timber frame staircase can fit within the building line requirements.
- ❖ There are alternative positions where the staircase can be situated on the property without the need to encroach upon building lines.
- ❖ The staircase will also allow the property owner of Erf 2062 to stand on a higher level and peer over the wall which will be a privacy concern.



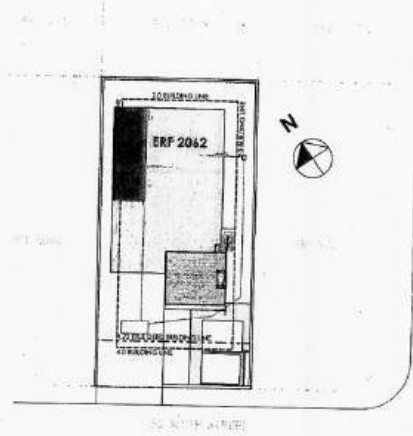
ERF 2062, 52 SIXTH STREET, VOELKLIP

Date: 2021/07/06

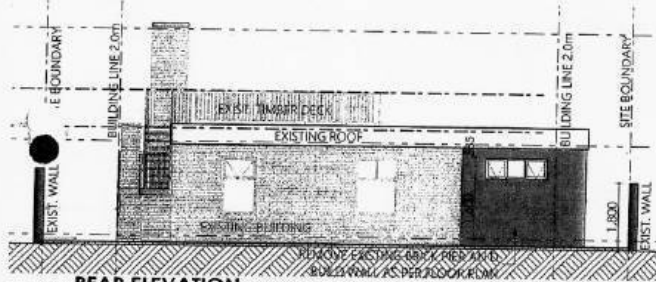




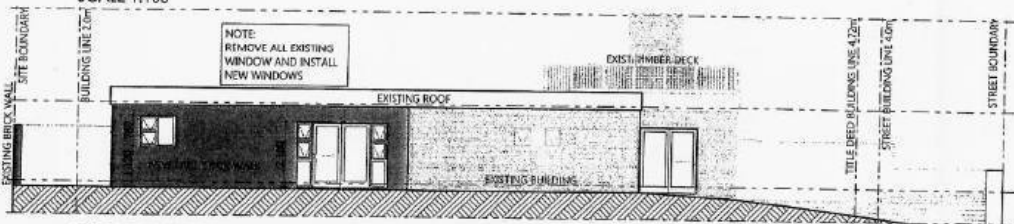
**GROUND FLOOR**  
SCALE 1:100



**SITE PLAN**  
SCALE 1:200



**REAR ELEVATION**  
SCALE 1:100



**SIDE ELEVATION**  
SCALE 1:100



Project Name  
**HOUSE ESPOST,**  
52 SOUTH STREET VORLUIP HERMANUS WESTER  
CAPE TOWN 7843  
Drawing No:  
**EST/2062/2020.0.**

Drawing Name

**PLAN**

Drawn by  
SAP  
Checked by  
SAP  
Date  
**4/10/2020**  
Scale  
**1:382.4**  
Drawing Scale  
**INFORMATION ONLY**

Date

4/16/2025

GENERAL NOTES

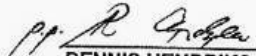
- 1. The design of the building shall be in accordance with the National Building Regulations and Standards.
- 2. All work shall be done in accordance with the relevant standards and specifications.
- 3. The contractor shall be responsible for obtaining all necessary permits and approvals.
- 4. The contractor shall be responsible for ensuring that the building is constructed in accordance with the approved plans and specifications.
- 5. The contractor shall be responsible for ensuring that the building is constructed in accordance with the relevant standards and specifications.
- 6. The contractor shall be responsible for ensuring that the building is constructed in accordance with the relevant standards and specifications.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 2062, VOELKLIP**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 2062, Voelklip, unobstructed;
7. that no on-street parking be allowed.

  
\_\_\_\_\_  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

24-08-2021  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**23. ERF 2265, 32 KLEINE STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF LOLLIPOP LOUNGE CC**

**2265 SSN (3638/2021)**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**20 December 2021**

---

**Executive Summary**

An application has been received on 26 April 2021 from Messrs PlanActive Town- and Regional Planners on behalf of Lollipop Lounge applicable to Erf 2265, Stanford in terms of Section 16(2)(o) for a consent use to accommodate a place of entertainment.


**RESOLVED:**

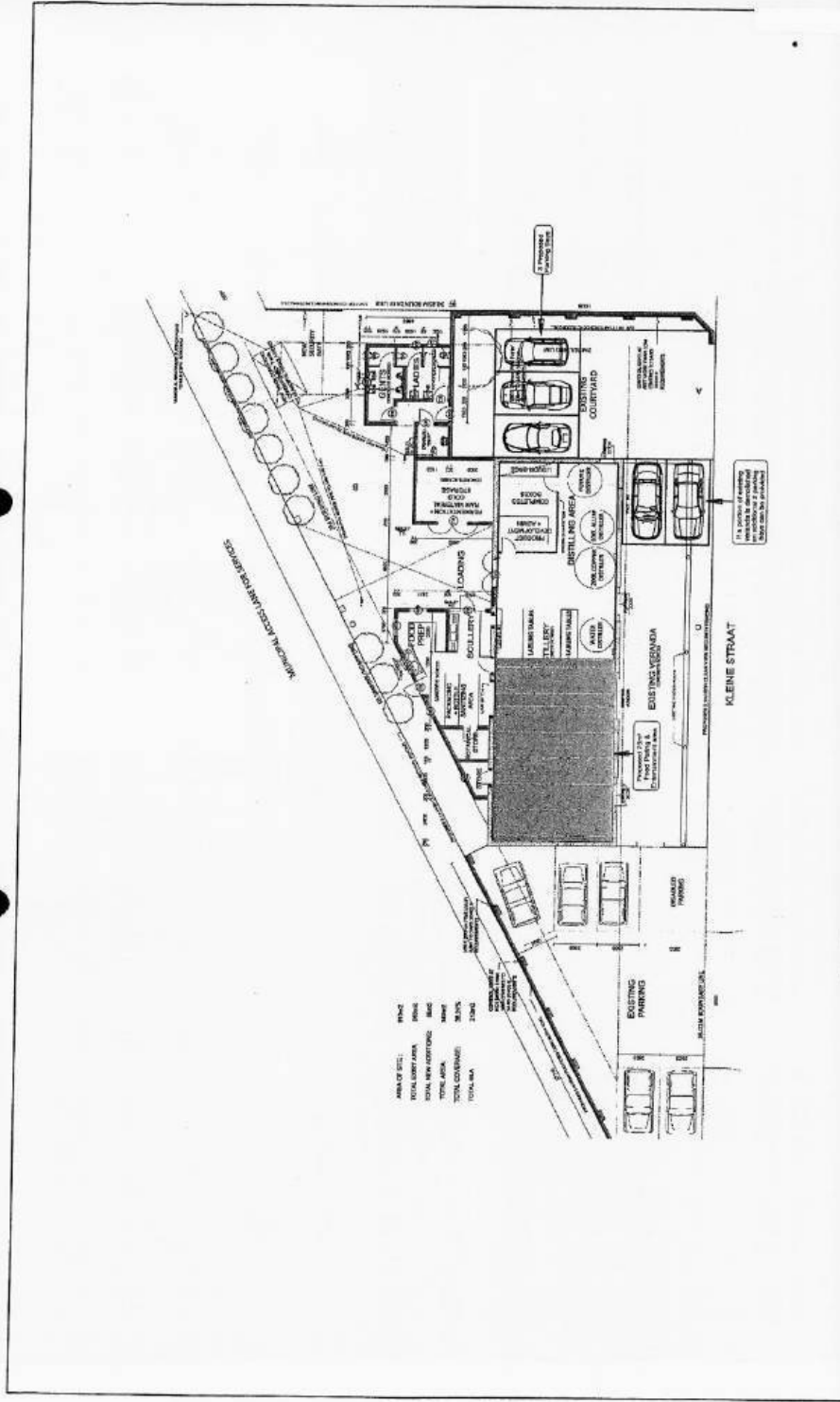
1. that the application in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-law) applicable to Erf 2265, Stanford for a consent use to accommodate a place of entertainment, **not be approved** in terms of the provisions of Section 61 of the By-Law.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The proposal is not consistent with the applicable forward planning and policy documents (SDF, OMGMS and IDF).
- ❖ Activities on site and advertisement show that the structure is being used as at times as a venue and restaurant which is not in line with the primary right of the property.
- ❖ Business/commercial land uses should be limited to the CBD/Business nodes.
- ❖ Proliferation of industrial areas with non-industrial land uses is not desirable.
- ❖ The proposal is not desirable in the industrial area.
- ❖ The current primary use right allows for a diversification of land uses which will allow the property owner to market and attract clients in line with the industrial usage parameters.



<b>PLAN</b> <b>Active</b>	Stads- en Strecksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: <b>ERF 2265          STANFORD</b>	Plan Description: <b>LOCALITY MAP</b>	Scale: <b>NTS</b> Drawing No: LOCALITY.dwg Date: <b>APRIL 2021</b>
					



AREA OF SITE:	1742
TOTAL LOT AREA:	1742
TOTAL NEW COVERAGE:	1742
TOTAL AREA:	1742
TOTAL COVERAGE:	1742
TOTAL AREA:	1742

Scale: 1:200  
 Drawing prepared by: [Signature]  
 Date: 00/00/00

Plan Description:  
**PROPOSED LAYOUT PLAN**

Property Description:  
**ERF 2265 STANFORD**

All dimensions approximate and subject to survey.  
 Copy right reserved

**PIA n Active**  
 Stads- en Streeksbeplanners  
 Town & Regional Planners

00/00/00

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: ERF 2265, STANFORD**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that the existing water connection to- and sewer conservancy tank on Erf 2265 shall be used to service Erf 2265;
2. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
1. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regards to the capacity required and that available, at the developer's cost
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
5. that any relocation of- or any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through the Erf 2265, Stanford, unobstructed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**24. ERF 5, 9 RIVERSIDE DRIVE, FISHERHAVEN, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS: SJ LOUBSER ON BEHALF OF MARLA & ILKA LOUBSER TRUST**

**5 HFH (3837/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**22 November 2021**

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**Executive Summary**

An application has been received on 3 June 2021 from SJ Loubser on behalf of Marla and Ilka Loubser Trust in terms of Section 16(2)(f) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 on Erf 5, Fisherhaven for the removal of restrictive title deed conditions E.4.(b), E.4.(c) and E.4.(d) as contained in Title Deed T99462/1999 applicable to Erf 5, Fisherhaven in order to remove title deed building lines, coverage limitations and the second dwelling restriction.

The restrictive title deed conditions read as follows:

*“4. This erf shall be subject to the following further conditions, provided especially that where in the opinion of the Administrator, after consultation with the Township Board and the local authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation, subject to compliance with such conditions as he may impose:-*

*(b) it shall be used only for the purpose of erecting thereon one dwelling, together with such outbuildings as are ordinarily required to be used therewith;*

*(c) not more than 30% of the area thereof shall be built upon;*

*(d) no building or structure or any portion thereof except boundary walls and fences shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf, nor within 3,15 metres of the rear or 1,57 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority an outbuilding not exceeding 3,05 metres in height measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed space. On consolidation of any two or more erven, this condition shall apply to the consolidated area as one erf;”*

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**RESOLVED:**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 for the removal of restrictive title deed conditions E.4.(b), E.4.(c) and E.4.(d) as contained in Title Deed T99462/1999 applicable to Erf 5, Fisherhaven in order to remove title deed building lines, coverage limitations and the second dwelling restriction, **be approved** in terms of the provisions of Section 61, subject to the following conditions:
  - (a) that this approval is only for the removal of restrictions and is not an approval in terms of any other legislation;
  - (b) that building plans be submitted for all new buildings to the Building Department for approval, and that all conditions of the Building and the Fire Department be complied with at that stage;
  - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (e) that all the conditions in the Services Report, be complied with;
  - (f) that the conditions imposed by Telkom, be complied with, and
  - (g) that the conditions imposed by Eskom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

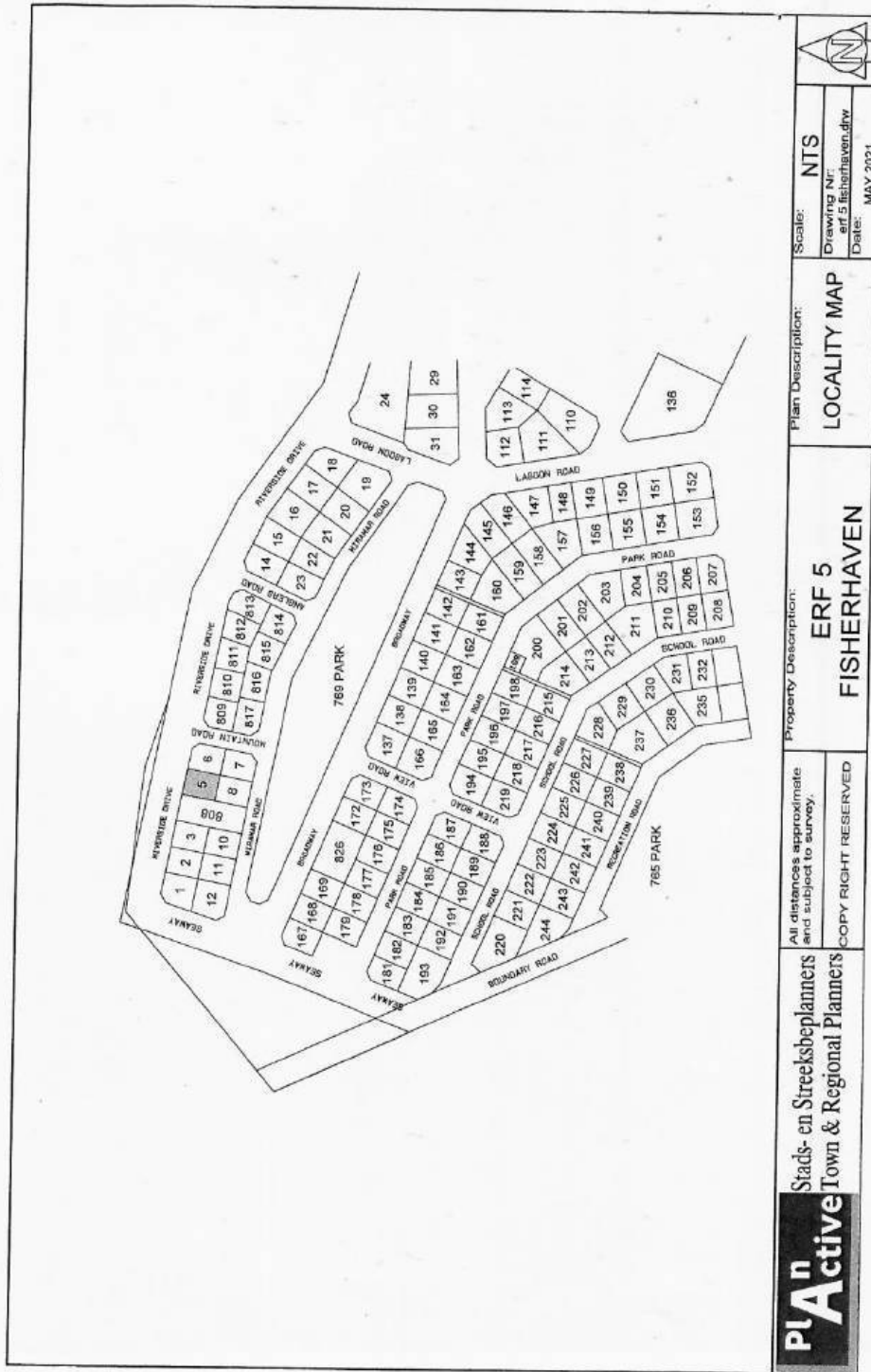
**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ No new municipal services will be needed.
- ❖ The proposed construction of a second dwelling is in line with Policy Plans which promote densification.
- ❖ That the removal of the restrictions pertaining to the Title Deed building lines and coverage can be supported as previously similar applications has been approved in Fisherhaven, and the Land Use Scheme sufficiently control building lines and coverage in Fisherhaven.
- ❖ The restrictive conditions prohibit the property to be developed to its full potential, and the removal of the restrictive conditions is thus supported.
- ❖ It will have no negative impact on the character of the area.

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- ❖ No objections were received from neighbours; therefore, the impact on neighbours' privacy and rights will be minimal.
- ❖ There will be no negative impact on the holder of the rights or loss in social benefit should the restrictive conditions be removed, and the property owner will benefit as he would be able to develop his property to its full potential.
- ❖ The application is desirable.



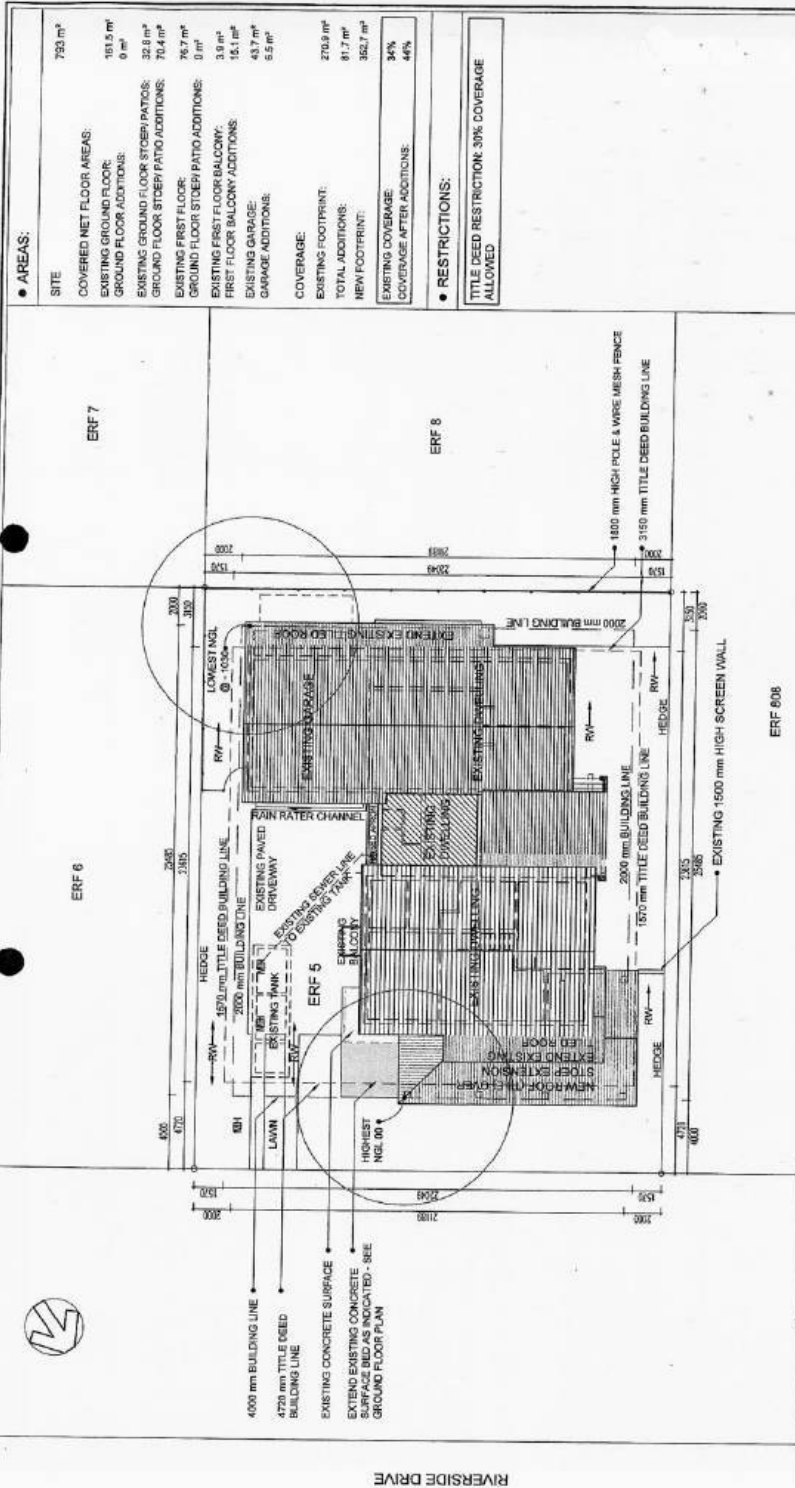
**Plan Active**  
 Stads- en Streetsbeplanners  
 Town & Regional Planners

All distances approximate  
 and subject to survey.  
 COPY RIGHT RESERVED

Property Description:  
**ERF 5  
 FISHERHAVEN**

Plan Description:  
**LOCALITY MAP**

Scale: **NTS**  
 Drawing N°: **erf 5 fisherhaven.dwg**  
 Date: **MAY 2021**



• SITE PLAN SCALE 1:200

• **AREAS:**

SITE	750 m <sup>2</sup>
COVERED NET FLOOR AREAS:	
EXISTING GROUND FLOOR	181.5 m <sup>2</sup>
GROUND FLOOR ADDITIONS:	0 m <sup>2</sup>
EXISTING GROUND FLOOR STEEP PATIOS:	32.8 m <sup>2</sup>
GROUND FLOOR STEEP PATIO ADDITIONS:	70.4 m <sup>2</sup>
EXISTING FIRST FLOOR:	78.7 m <sup>2</sup>
GROUND FLOOR STEEP PATIO ADDITIONS:	0 m <sup>2</sup>
EXISTING FIRST FLOOR BALCONY:	3.9 m <sup>2</sup>
FIRST FLOOR BALCONY ADDITIONS:	15.1 m <sup>2</sup>
EXISTING GARAGE:	43.7 m <sup>2</sup>
GARAGE ADDITIONS:	5.5 m <sup>2</sup>
COVERAGE:	
EXISTING FOOTPRINT:	270.9 m <sup>2</sup>
TOTAL ADDITIONS:	91.7 m <sup>2</sup>
NEW FOOTPRINT:	362.7 m <sup>2</sup>
EXISTING COVERAGE:	34%
COVERAGE AFTER ADDITIONS:	48%

• **RESTRICTIONS:**

TITLE DEED RESTRICTION: 30% COVERAGE ALLOWED

**Project:** ADDITIONS & ALTERATIONS  
**Application:** APPLICATION FOR REMOVAL OF TITLE DEED RESTRICTION ON ERF NO 5, LAGOON DRIVE, FISHERHAVEN; "NOT MORE THAN 30 % OF AREA THEREOF SHALL BE BUILT UPON".

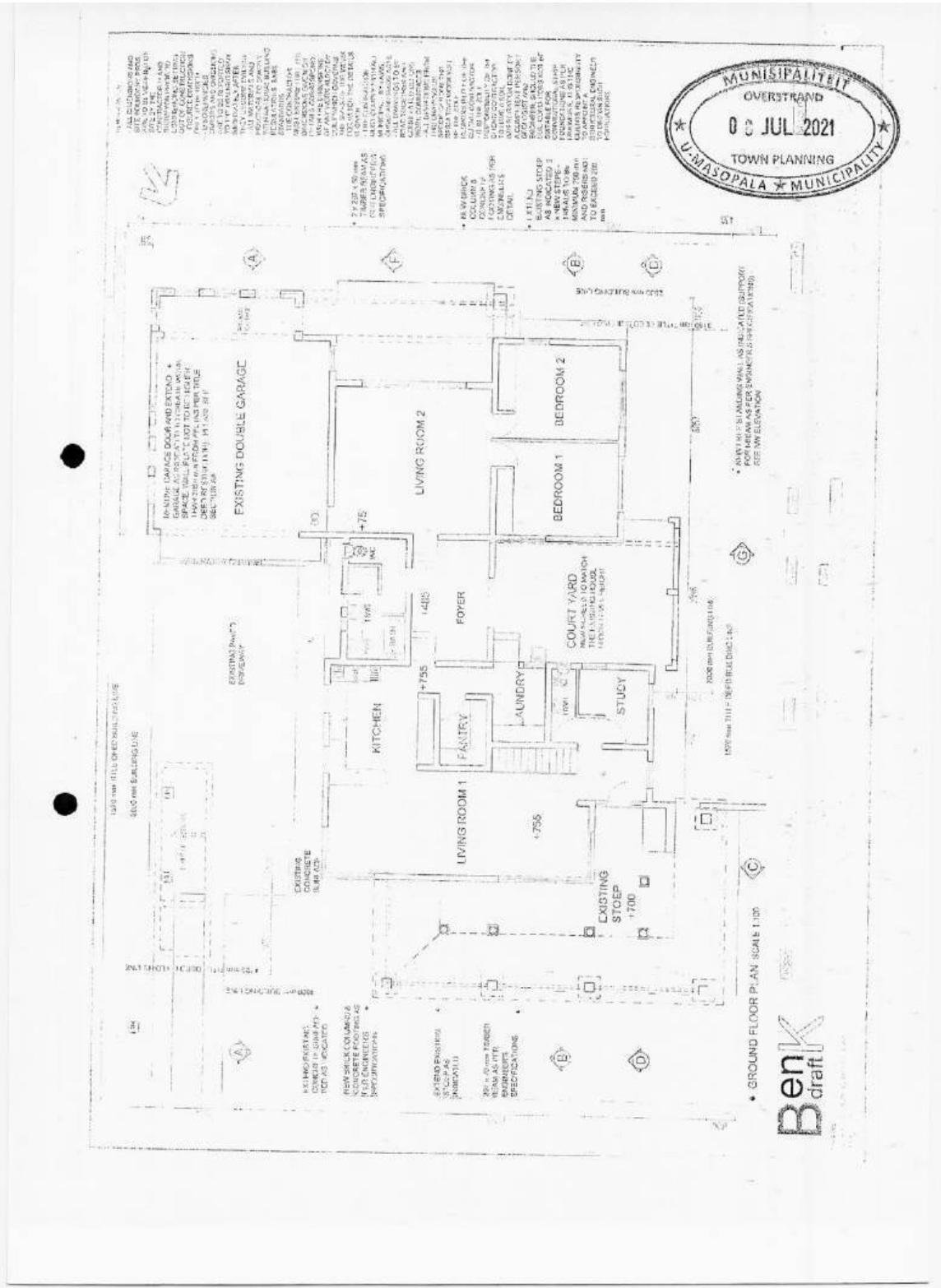
**BenK draft**  
 BEN KUNZ  
 SACIP REGISTRATION: PAD 24750382  
 073 317 3187

**Scale:** AS SHOWN ON A3  
**Checked:** & KUNZ  
**SACIP registration:** PAD 24750382

**Client:** MARLA & ILKA LOUBSER TRUST  
**Drawing:** SITE PLAN

**Drawing No.:** erf\_LOUBSER\_LAL2401-TR  
**Sheet No.:** 2 OF 8

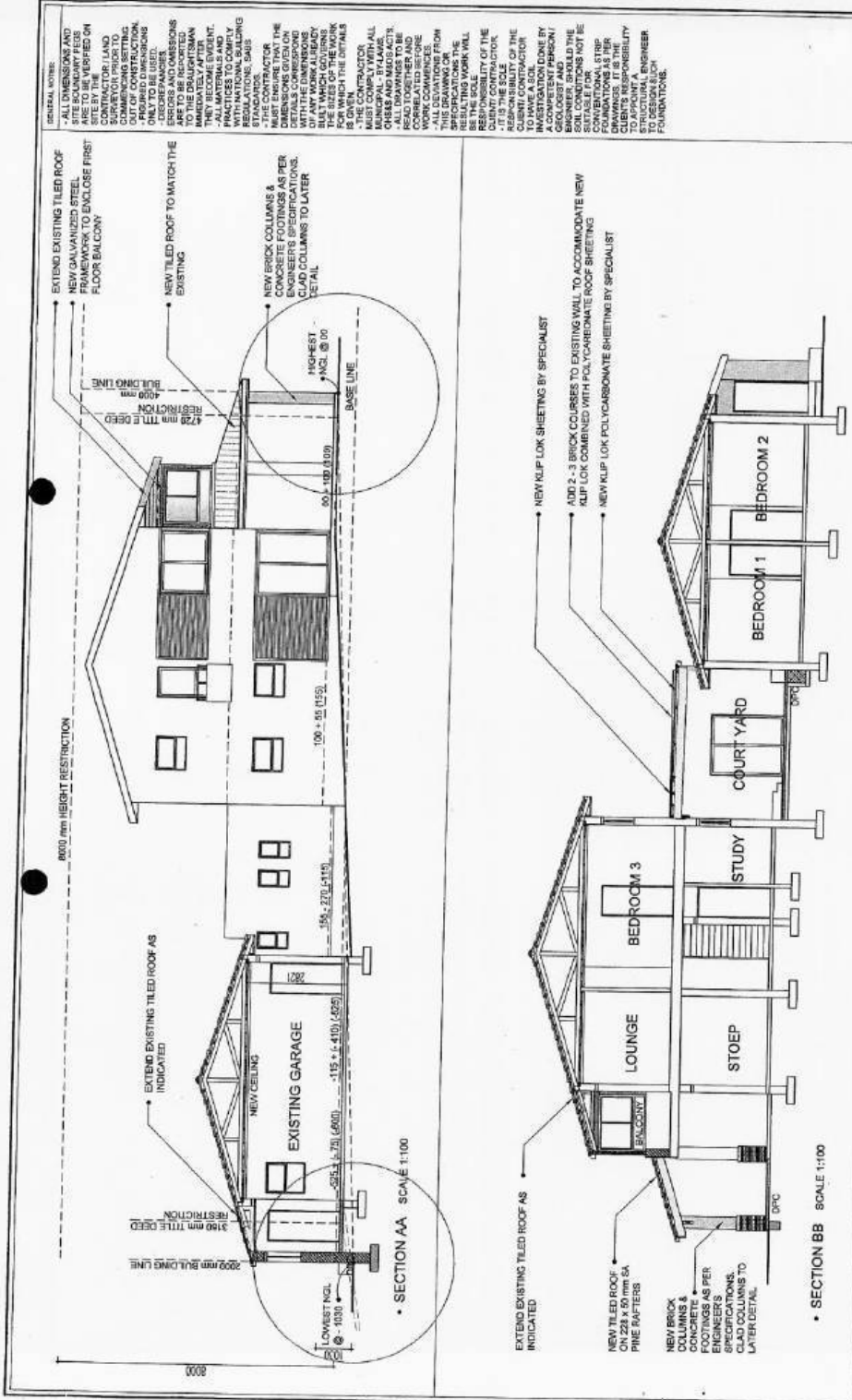
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MUNICIPALITEIT  
OVERSTRAND  
08 JUL 2021  
TOWN PLANNING  
U.MASOPALA MUNICIPALITY

Benk  
draft





**GENERAL NOTES:**

- ALL DIMENSIONS AND SITE BOUNDARY FEES ARE TO BE VERIFIED ON CONTRACTOR'S LAND SURVEY PRIOR TO COMMENCEMENT OF CONSTRUCTION. DIMENSIONS ONLY TO BE USED FOR INFORMATION.
- CONTRACTOR TO BE RESPONSIBLE TO THE DRAUGHTSMAN FOR ALL MATERIALS AND METHODS USED. WHEN THEY BECOME EVENT, WITH NATIONAL BUILDING REGULATIONS, SAIS.
- THE CONTRACTOR MUST COMPLY WITH ALL NATIONAL, STATE, MUNICIPAL, BYLAWS, ORDINANCES AND ALL APPLICABLE REGULATIONS. ALL DRAWINGS TO BE CORRELATED WITH AND WORK COMMENCES FROM THIS DRAWING FOR SPECIFICATIONS THE CONTRACTOR WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A SOIL INVESTIGATION DONE BY A REGISTERED GEOLOGIST AND SOIL USER SHOULD THE SOIL NOT BE SUITABLE FOR FOUNDATIONS AS PER FOUNDATIONS AS PER DRAWING. IT IS THE RESPONSIBILITY TO APPROPRIATELY APPOINT AN STRUCTURAL ENGINEER FOR FOUNDATIONS.

**Benk draft**  
 BENKING  
 SACAP REGISTRATION: PID 2490382  
 092 237 3387

**Project: ADDITIONS & ALTERATIONS**  
 APPLICATION FOR REMOVAL OF TITLE DEED RESTRICTION ON ERF NO 5, 9 LAGOON DRIVE, FISHERHAVEN. "NOT MORE THAN 30 % OF AREA THEREOF SHALL BE BUILT UPON".

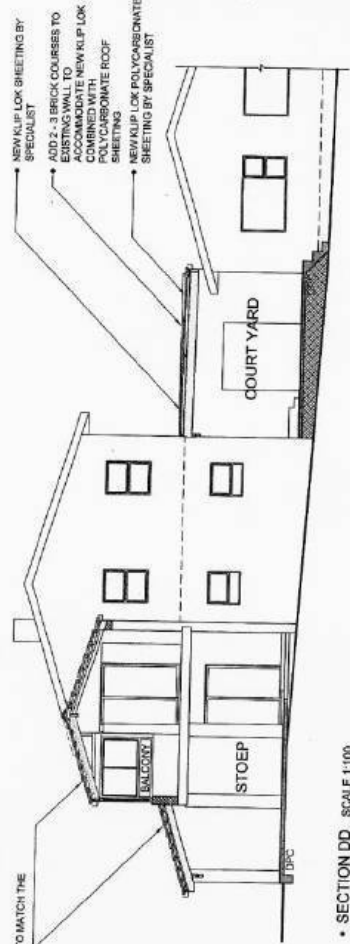
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**Drawn:** B-K  
**Date:** JANUARY 2021  
**Scale Registration:** PID 2490382

**Client:** MARLA & ILKA LOUBSER TRUST  
**Drawing No:** 077\_LOUBSER\_01/05-2021-TDR  
**Sheet No.:** 5 OF 8

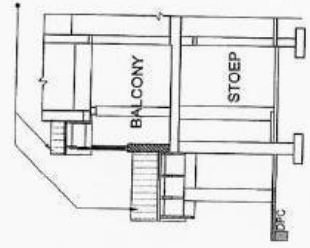
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GENERAL NOTES:

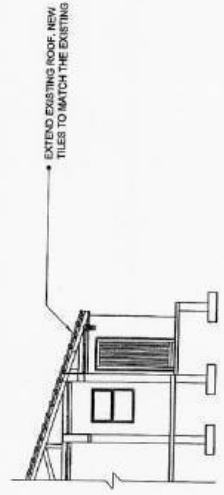
- ALL DIMENSIONS AND SITE LOCATIONS ARE TO BE VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO SURVEYOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- FINISHED DIMENSIONS TO BE SHOWN ON DRAWINGS.
- ERRORS AND OMISSIONS TO BE CORRECTED IMMEDIATELY AFTER THE DRAWING HAS BEEN ISSUED.
- ALL MATERIALS AND WORKMANSHIP TO BE USED TO COMPLY WITH THE REGULATIONS, SABS AND THE CONTRACTOR'S OBLIGATIONS.
- THE CONTRACTOR MUST ENSURE THAT THE WORKMANSHIP AND DETAILS COMPLY WITH THE DIMENSIONS AND SPECIFICATIONS SET OUT IN THE DRAWINGS AND THAT THE WORK IS DONE TO THE BEST OF THE WORKMAN'S ABILITY.
- ALL CONTRACTORS MUST CONTRACTOR'S OBLIGATIONS, MUNICIPAL BY-LAWS, ALL APPLICABLE ACTS AND REGULATIONS, READ TOGETHER AND TO BE COMPLIED WITH.
- ALL DIMENSIONS FROM THE SPECIFICATIONS TO THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT/ CONTRACTOR.
- INVESTIGATION DONE BY THE CONTRACTOR TO DETERMINE THE RESPONSIBILITY OF THE ENGINEER, SHOULD THE ENGINEER BE FOUND SUITABLE FOR CONVENTIONAL STEP DRAWINGS. IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN A STRUCTURAL ENGINEER TO DESIGN SUCH FOUNDATIONS.



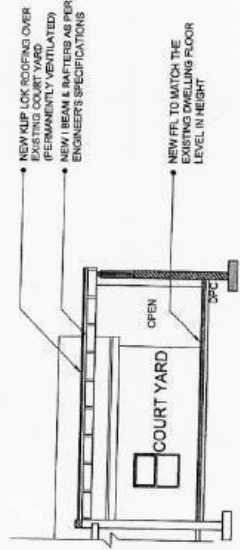
SECTION DD SCALE 1:100



SECTION C SCALE 1:100



SECTION F SCALE 1:100



SECTION G SCALE 1:100

**Benk draft**

Ben Kinz  
SACAP REGISTRATION: PAO 2470382  
073 337 3187

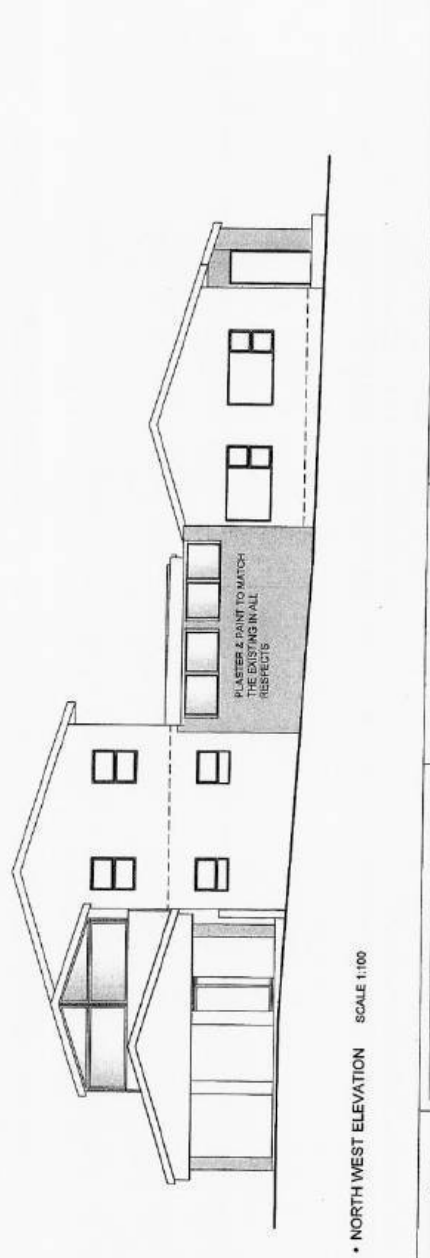
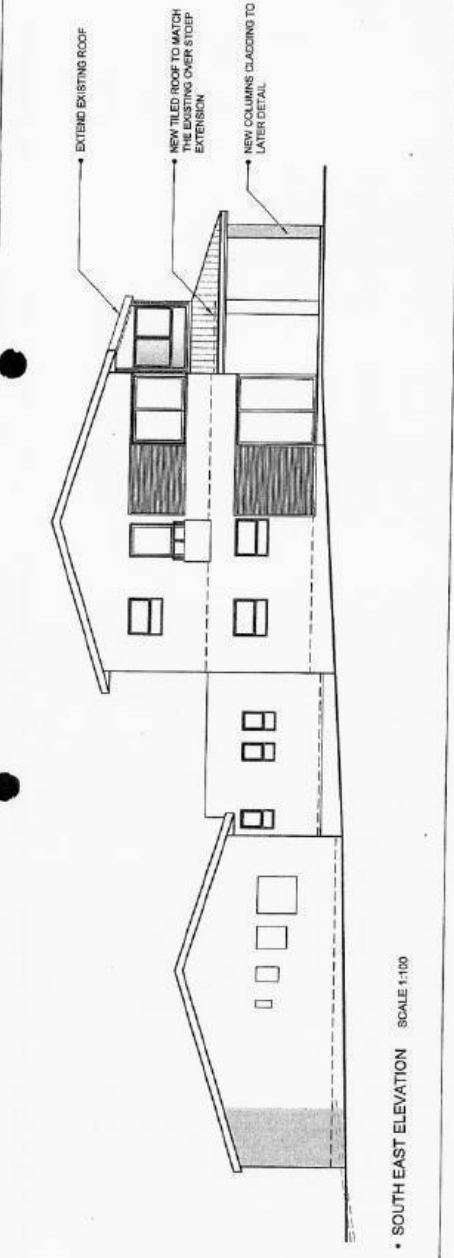
**Project: ADDITIONS & ALTERATIONS**  
APPLICATION FOR REMOVAL OF TITLE DEED RESTRICTION ON ERP NO 5, 9 LAGOON DRIVE, FISHERHAVEN; "NOT MORE THAN 30 % OF AREA THEREOF SHALL BE BUILT UPON".

**Scale:** AS SHOWN ON 3  
**Drawn:** B. KINZ  
**Date:** JANUARY 2021  
**Client:** MARLA & ILKA LOUBSER TRUST  
**Drawing:** SECTIONS  
**Project No.:** 477\_LOUBSER\_L11B-2021-TDR  
**Sheet No.:** 6 OF 9

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**GENERAL NOTES**

- ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE BY THE SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- ALL DIMENSIONS ARE TO BE TAKEN OUT ON WORKING SETTING OUT DIMENSIONS.
- DISCREPANCIES BETWEEN THE DRAWING AND THE FIELD SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE ARCHITECT.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REGULATIONS, SABS STANDARDS AND RELEVANT CODES OF PRACTICE TO COMPLY WITH THE REGULATIONS, SABS STANDARDS AND RELEVANT CODES OF PRACTICE.
- THE CONTRACTOR MUST ENSURE THAT THE DIMENSIONS GIVEN ON THE DRAWING MATCH THE DIMENSIONS OF THE WORK AS SHOWN ON THE DRAWING.
- ALL DEVIATIONS FROM THE SPECIFICATIONS SHALL BE APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF THE WORK.
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- ALL DIMENSIONS ARE TO BE TAKEN OUT ON WORKING SETTING OUT DIMENSIONS.
- DISCREPANCIES BETWEEN THE DRAWING AND THE FIELD SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE ARCHITECT.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REGULATIONS, SABS STANDARDS AND RELEVANT CODES OF PRACTICE TO COMPLY WITH THE REGULATIONS, SABS STANDARDS AND RELEVANT CODES OF PRACTICE.
- THE CONTRACTOR MUST ENSURE THAT THE DIMENSIONS GIVEN ON THE DRAWING MATCH THE DIMENSIONS OF THE WORK AS SHOWN ON THE DRAWING.
- ALL DEVIATIONS FROM THE SPECIFICATIONS SHALL BE APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF THE WORK.
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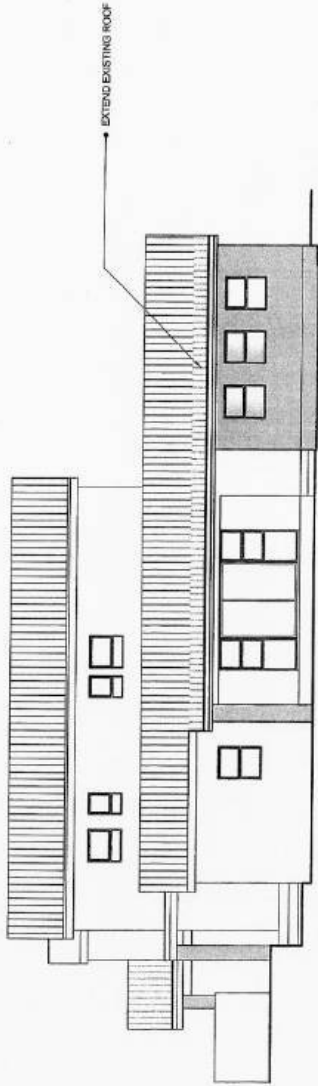


<p><b>Project</b> ADDITIONS &amp; ALTERATIONS</p> <p>APPLICATION FOR REMOVAL OF TITLE DEED RESTRICTION ON ERF NO 5, 9 LAGOON DRIVE, FISHERHAVEN: "NOT MORE THAN 30 % OF AREA THEREOF SHALL BE BUILT UPON".</p>	<p><b>Scale</b> AS SHOWN ON A3</p> <p><b>Checked</b> R. KUIJZ</p> <p><b>Scale registration:</b> PAD 21750382</p>	<p><b>Client</b> MARLA &amp; ILKA LOUBSER TRUST</p> <p><b>Drawing</b> ELEVATIONS</p>	<p><b>Drawing No</b> erf7_LOUBSER_A3/07-202-TDR</p> <p><b>Sheet no.</b> 7 OF 8</p>
	<p><b>Benk draft</b></p> <p>Ben KUIJZ SACP registration: PAD 21750382 973 217 2157</p>		

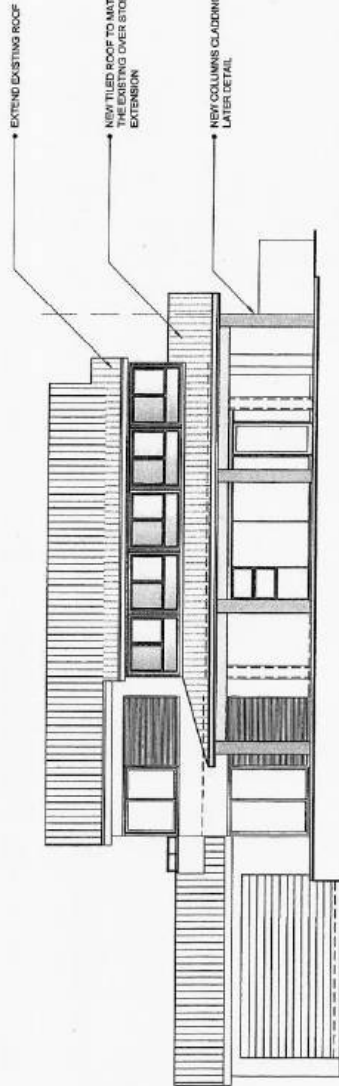
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GENERAL NOTES

- ALL DIMENSIONS AND SITE BOUNDARY PEGS TO BE REFERRED TO BY THE CONTRACTOR (LAD) COMMENCING SETTING OUT OF CONSTRUCTION ONLY TO BE USED.
- ALL DIMENSIONS ARE TO BE REPORTED TO THE CLIENT WITHIN 14 DAYS OF THE DATE THEY BECOME EVENT.
- ALL DIMENSIONS TO COMPLY WITH NATIONAL BUILDING STANDARDS.
- THE CONTRACTOR THE DIMENSIONS GIVEN ON THIS DRAWING TO CORRESPOND WITH THE DIMENSIONS OF ANY WORK ALREADY IN PLACE AND THE SIZES OF THE MARK FOR WHICH THE DETAILS.
- THE CONTRACTOR MUST COMPLY WITH ALL APPLICABLE BUILDING REGULATIONS, ORDINANCES AND ACTS.
- ALL DRAWINGS TO BE CORRELATED BEFORE WORK COMMENCES.
- THIS DRAWING OR THE RESULTING WORK WILL BE THE SOLE RESPONSIBILITY OF THE CLIENT/CONTRACTOR.
- IT IS THE SOLE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO HAVE A SOIL TEST AND TO OBTAIN A COMPETENT PERSON'S REPORT AND TO OBTAIN THE NECESSARY PERMITS AND TO OBTAIN THE NECESSARY FOUNDATIONS AS PER THE CLIENT'S RESPONSIBILITY TO OBTAIN A COMPETENT PERSON'S REPORT AND TO OBTAIN THE NECESSARY FOUNDATIONS.



• SOUTH WEST ELEVATION SCALE 1:100



• NORTH EAST ELEVATION SCALE 1:100

<p><b>Project</b> ADDITIONS &amp; ALTERATIONS</p> <p>APPLICATION FOR REMOVAL OF TITLE DEED RESTRICTION ON ERF NO 5, 9 LAGOON DRIVE, FISHERHAVEN: "NOT MORE THAN 30 % OF AREA THEREOF SHALL BE BUILT UPON".</p>	<p><b>Scale</b> AS SHOWN ON A3</p> <p><b>Checked</b> B. KUIZ</p> <p><b>Scale registration:</b> PID 2479382</p>	<p><b>Drawn</b> B.K</p> <p><b>Date</b> JANUARY 2021</p>	<p><b>Client</b> MARLA &amp; ILKA LOUBSER TRUST</p> <p><b>Drawing</b> ELEVATIONS</p>	<p><b>Drawing No.</b> erf_LOUBSER_L3108-2021-T04</p> <p><b>Sheet no.</b> 8 OF 8</p>
<p>The drawing and design is copyright and must not be reproduced in part or in whole without the written consent of the author. All dimensions are in millimeters unless otherwise stated.</p>				

**Benk draft**

REG. KUIZ  
SCALE REGISTRATION: PID 2479382  
075 317 258



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS:  
ERF 5, FISHERHAVEN**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water connection and sewer conservancy tank will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Directorate: Infrastructure and Planning;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through Erf 5, Fisherhaven, unobstructed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

07/10/2021  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**25. ERF 1753, 22A GANNET ROAD, VERMONT, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE AND DETERMINATION OF ADMINISTRATIVE PENALTY: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF SF & J MARAIS**

1753 HVM (3640/2021)

H Olivier

(028) 313 8900

Hermanus Administration

17 December 2021

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**Executive Summary**

An application was received on 21 May 2021 from Messrs Interactive Town and Regional Planners on behalf of SF & J Marais on Erf 1753, Vermont in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following departures:

- ❖ to relax the northern lateral building line from 2m to 1,71m to accommodate the existing dwelling and replacement of windows, and
- ❖ to relax the southern lateral building line from 2m to 1,44m, to accommodate the existing garage, store and replacement of a pergola.

**RESOLVED:**

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), applicable to Erf 1753, Vermont in order to relax the following:

- ❖ northern lateral building line from 2m to 1,71m to accommodate the existing dwelling and replacement of windows, and
- ❖ southern lateral building line from 2m to 1,44m, to accommodate the existing garage, store and replacement of a pergola

**be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the dimensions of the structures as indicated on Plan Number 1753.2 dated 4 March 2021 that was submitted with the application;
- (b) that the necessary building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
- (c) that the conditions of Engineering Services, be complied with;

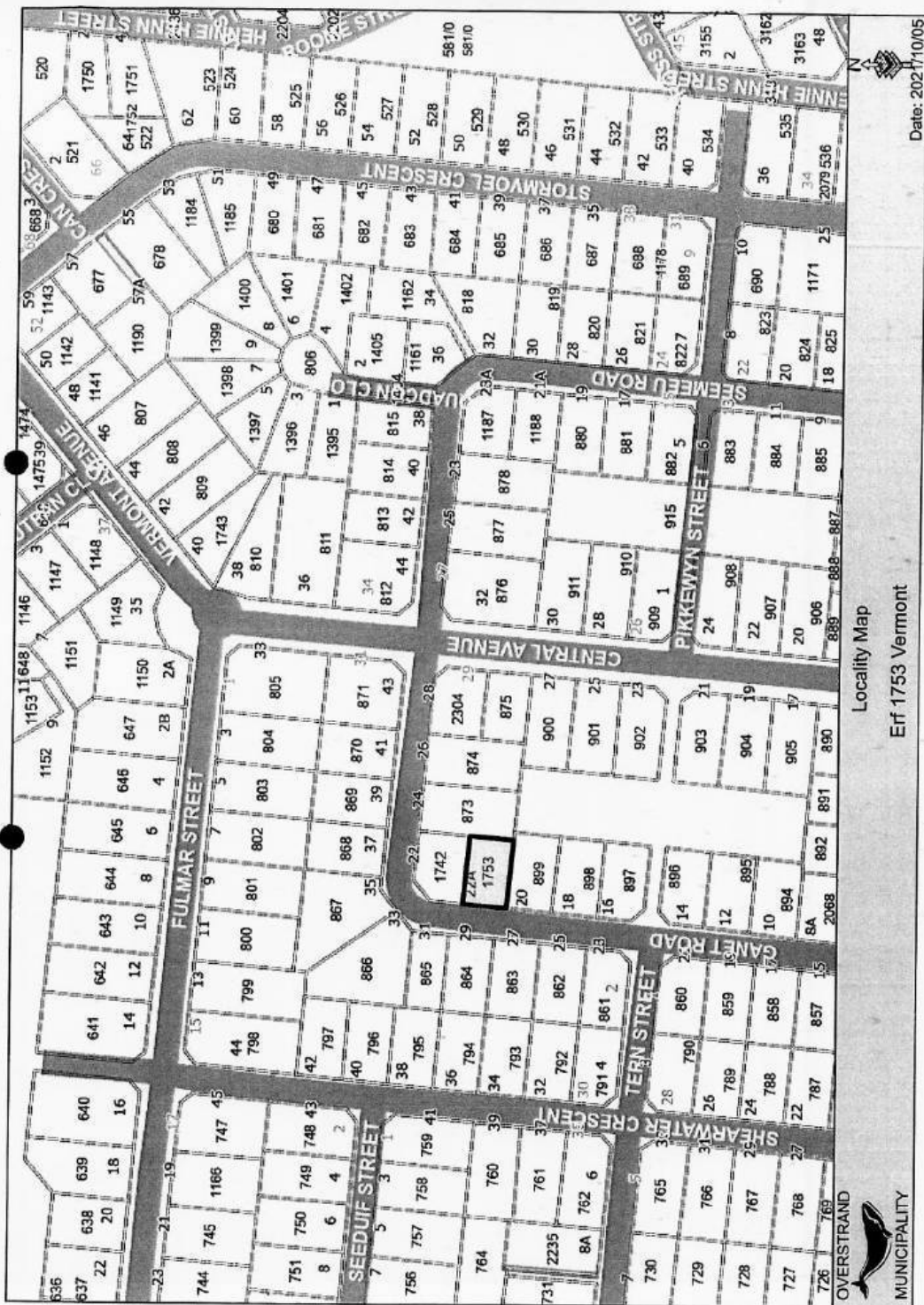
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (d) that all the conditions imposed by Eskom, be complied with;
  - (e) that all the conditions imposed by Telkom, be complied with;
  - (f) that this approval does not absolve the landowners from compliance with any other relevant legislation, and
  - (g) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the application for determine of administrative penalty in terms of Section 16.(2)(q) of the By-Law for unauthorized land use activities stipulated above, **be exempted** from the payment of an administrative penalty in terms of Section 90.(4) of the By-Law for the illegal building work.
  3. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above decisions.

**REASONS FOR RESOLUTION**

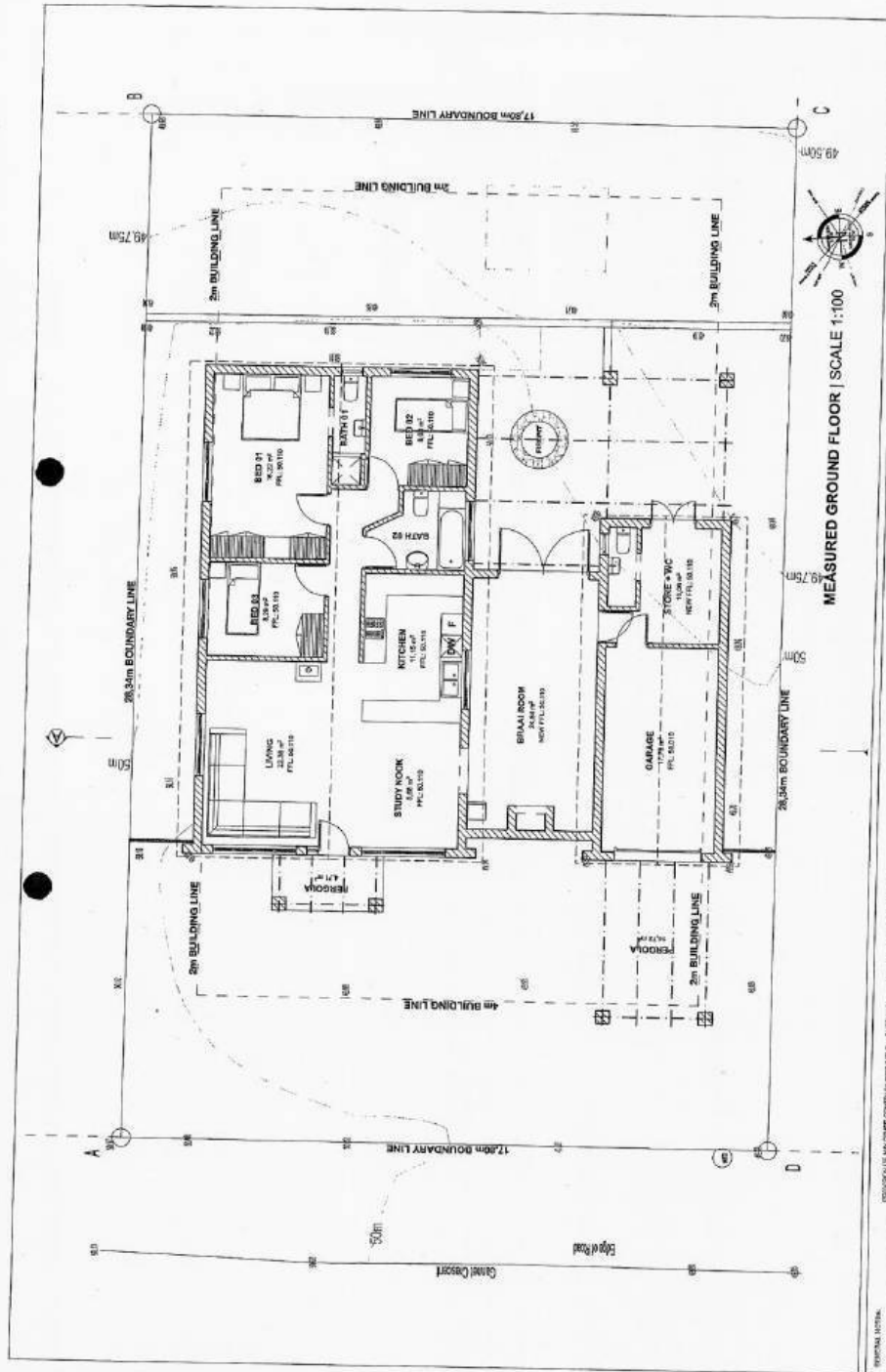
- ❖ The application has followed due procedure.
- ❖ No objections were received.
- ❖ It is in line with policy documents.
- ❖ The application will not have an impact on surrounding neighbours or the character of the area
- ❖ The illegal encroachments over the lateral building lines are historic encroachments and was not created by the existing property owners, therefore the new owner should not be held responsible for such encroachments.
- ❖ The application is regarded as being desirable from a town planning point of view.



Locality Map  
Erf 1753 Vermont



Date: 2021/10/05



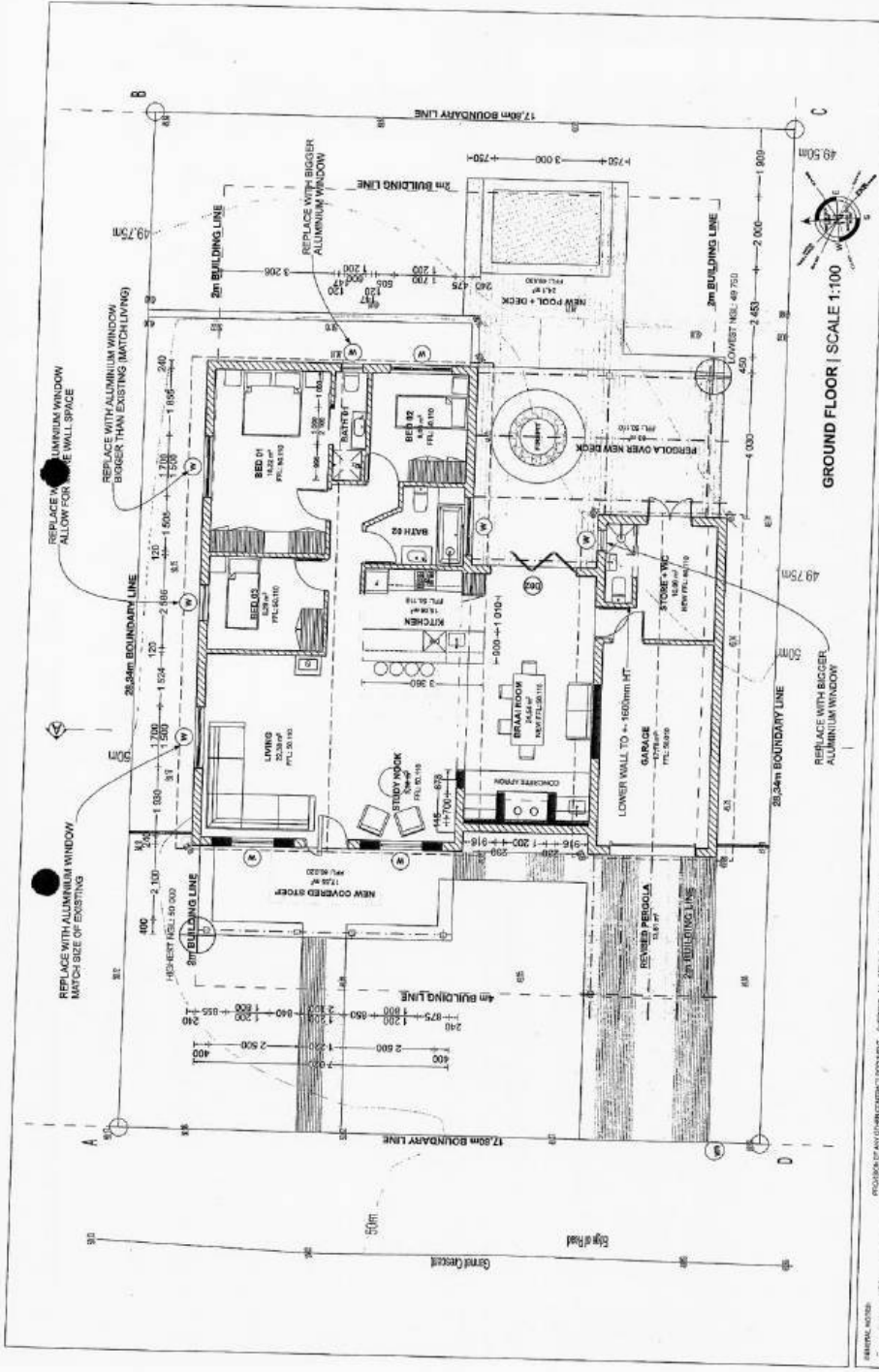
MEASURED GROUND FLOOR | SCALE 1:100

PROVIDED BY ARCHITECT/CONTRACTOR: CLIENTS: NO. OF SHEETS: 4 & VERTICAL. 4.  
 THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL POSITION.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**PROJECT NAME:** HOUSE MARRAS  
**REF NO:** 221  
**DESCRIPTION:** ADDITIONS + ALTERATIONS  
**DATE:** 24/03/2014  
**SCALE:** AS INDICATED  
**DESIGNER:** FRANCO + JANA MARRAS  
**STATUS:** 100% D.D.

**ARCHITECT STUDIO**  
 221 GAMING CREEK | VILLAGE  
 24/03/2014  
 AS INDICATED  
 100% D.D.

(COPIES OF 1/1)



GROUND FLOOR | SCALE 1:100

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**PROJECT NAME:** HOUSE MARAIS  
**REF. NO.:** 1753  
**DATE:** 2021.03.04  
**DESIGNER:** ARCH. TECH STUDIO  
**SCALE:** AS NOTED  
**PROJECT LOCATION:** 204 General Cline / Vermont  
**DATE:** 2021.03.04  
**SCALE:** AS NOTED  
**PROJECT LOCATION:** FRANCO + JANA MARAIS 1753.2

© Copyright is reserved the Copyright for 1998-2021.  
 The Copyright of this drawing is reserved to ARCH. TECH STUDIO.  
 This drawing is not to be used, copied, or reproduced without the written consent of ARCH. TECH STUDIO.

**GENERAL NOTES:**

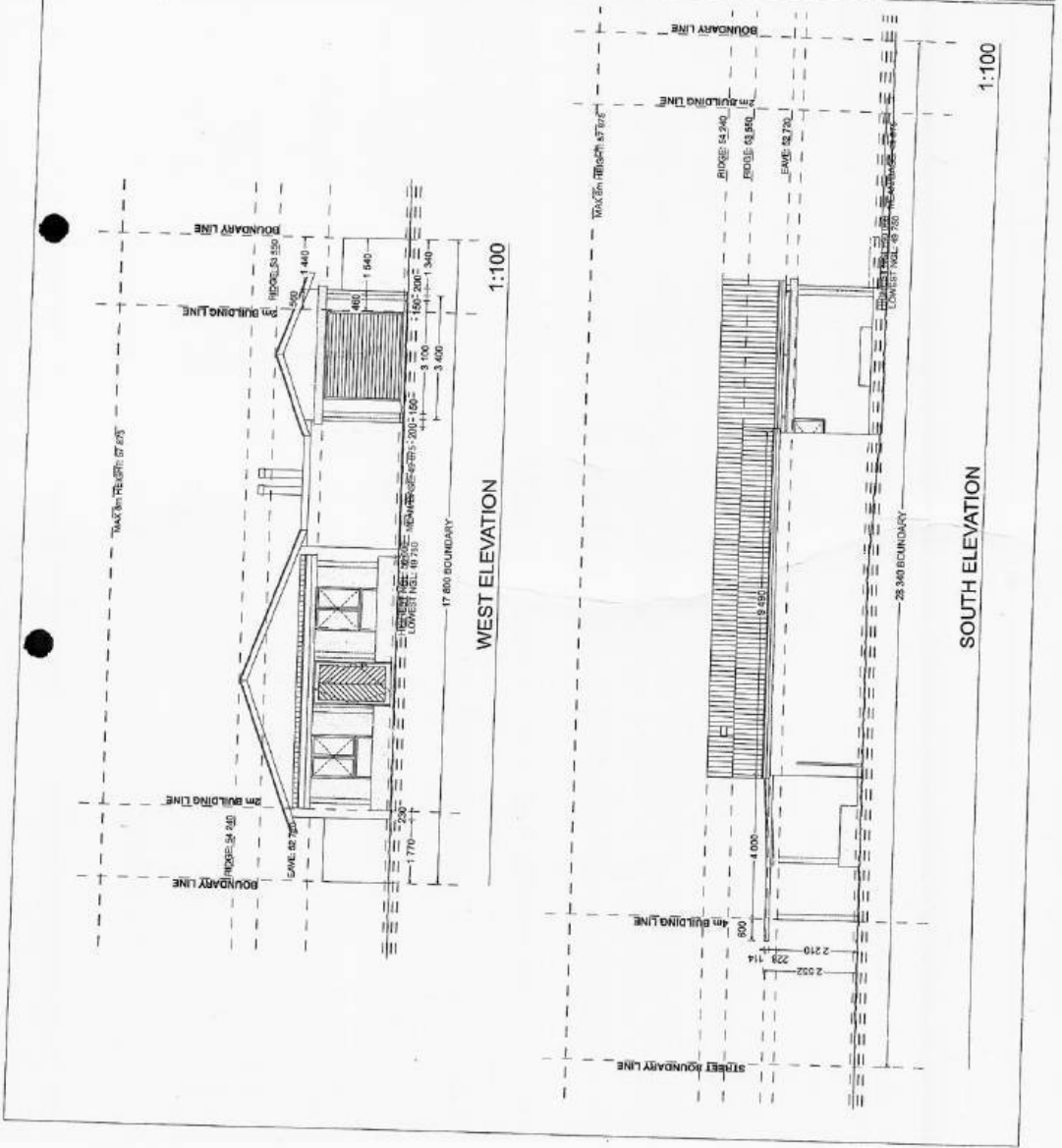
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX COMMUNITY DEVELOPMENT DEPARTMENT'S COMMERCIAL CONSTRUCTION.
2. THE DRAWING IS NOT TO BE SEaled, ONLY DATED AND SIGNED BY THE ARCHITECT.
3. ALL MATERIALS, MANUFACTURERS, TRADES, AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR OF ANY CHANGES TO THE DRAWING.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND THE ARIZONA DEPARTMENT OF TRANSPORTATION AND SAFETY (ADOT) PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITIES AND SERVICES TO BE MAINTAINED OR RELOCATED IN ACCORDANCE WITH THE CITY OF PHOENIX AND ADOT REQUIREMENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND ADOT PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND ADOT PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND ADOT PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND ADOT PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHOENIX AND ADOT PRIOR TO CONSTRUCTION.

**PROJECT NAME:** HOURE MARAS  
**AREA:** 1783  
**ARCHITECT:** 22A Grant Street | Phoenix  
**DESCRIPTION:** ADDITIONS - ALTERATIONS  
**STATUS:** DEPARTURE APPLICATION  
**CLIENT:** FRANCO + JANKA MARAS

**CONTRACTOR:** ELEVATIONS ON  
**DATE:** 11/15/2023  
**SCALE:** AS INDICATED  
**PROJECT NO.:** 1783.3

**ARCHITECT STUDIO**  
 22A Grant Street | Phoenix, AZ 85004  
 (602) 498-1111 | www.22astudio.com

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 All Rights Reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of 22A Grant Street | Phoenix, AZ 85004.






**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE & DETERMINATION OF ADMINISTRATIVE  
PENALTY: ERF 1753, VERMONT**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager; Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1753, Vermont, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**26. REMAINDER OF FARM GLENFRUIN NO. 578 AND PORTION 1 (JACKALS DANS) OF THE FARM BELSVLEI NO. 830, A DIVISION OF CALEDON, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION AND CONSOLIDATION: PLAN ACTIVE ON BEHALF OF JM WILSON AND DJ VILJOEN**

**RCAL Rem Farm 578 & 1/830**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**29 November 2021**

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**Executive Summary**

An application has been received on 6 April 2021 from Plan Active Town & Regional Planners on the behalf of JM Wilson and DJ Viljoen for the following:

- ❖ **subdivision** in terms of Section 16(2)(d) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 to subdivide Remainder Farm Glenfruin No. 578 into a Portion A ( $\pm 30,2505$  ha) and a Remainder ( $\pm 259,212$  ha), and
- ❖ **consolidation** in terms of Section 16(2)(e) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 of Portion A ( $\pm 30,2505$  ha) with Portion 1 of the Farm Belsvlei No. 830 to realign the farm boundaries and to enlarge the agricultural land for farming / conservation purposes.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(d) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 to subdivide Remainder Farm Glenfruin No. 578 into a Portion A ( $\pm 30,2505$  ha) and a Remainder ( $\pm 259,212$  ha), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16.(2)(e) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 to consolidate Portion A ( $\pm 30,2505$ ha) with Portion 1 of the Farm Belsvlei No. 830 to realign the farm boundaries and to enlarge the agricultural land for farming / conservation purposes, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals in Points 1. and 2. be subject to the following conditions:
  - (a) that this approval is only for the subdivision and consolidation as indicated on Plan No. farm 578-re-s.drw dated March 2021,

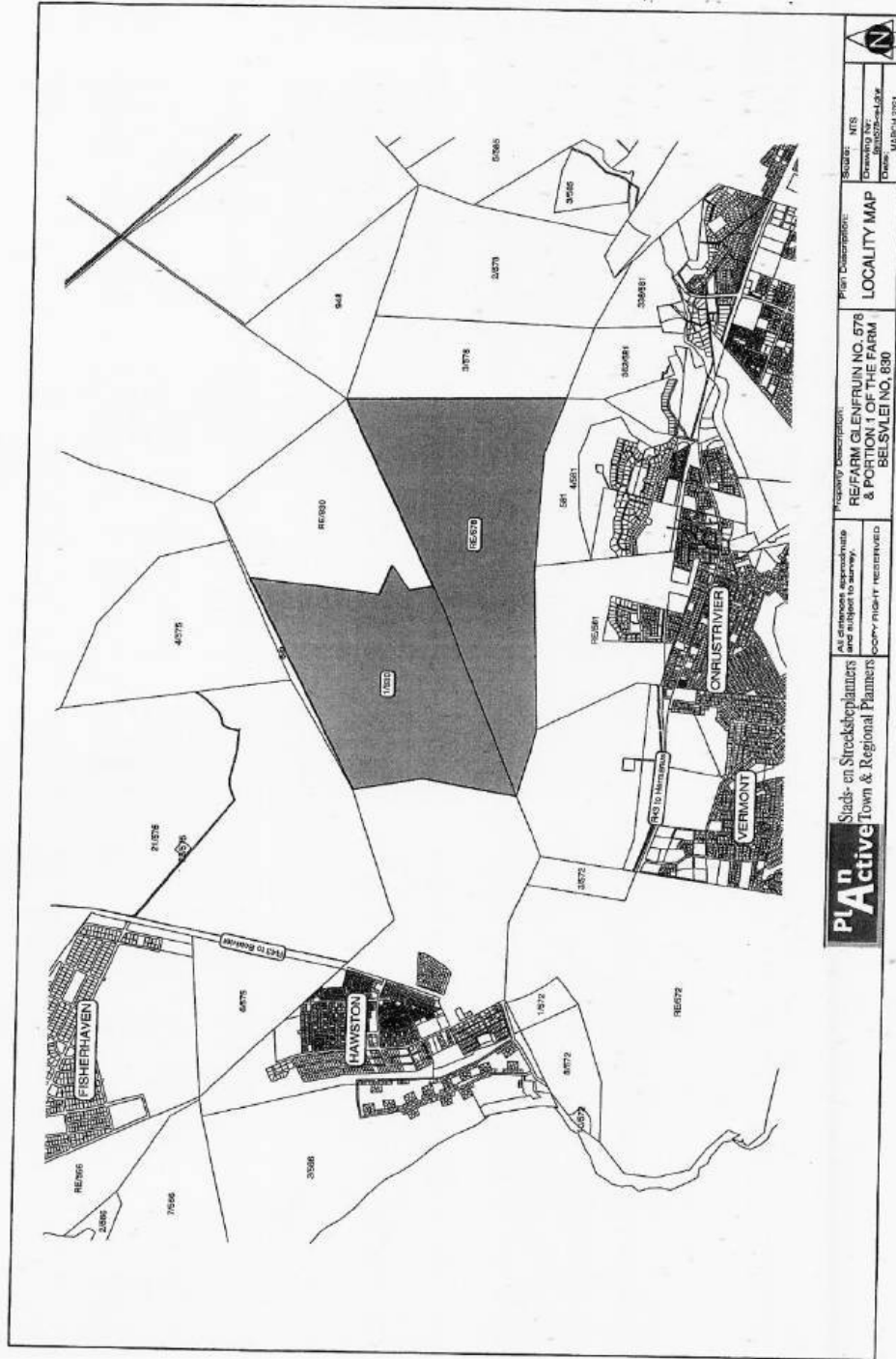
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- submitted with the application;
- (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (d) that all the conditions in the Services Report, be complied with;
  - (e) that the conditions imposed by BGCMA be complied with;
  - (f) that the conditions imposed by Telkom, be complied with;
  - (g) that the conditions imposed by Eskom, be complied with, and
  - (h) the conditions imposed by the Western Cape Government : Agriculture, be complied with.
4. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above decision.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ No new municipal services be required.
- ❖ The proposal is in line with the Planning Policies.
- ❖ This is only a realignment of property boundaries and includes no use changes.
- ❖ No negative impact on the character of the area as it will remain to be used for agricultural purposes.
- ❖ The application has no environmental or heritage impact.
- ❖ The application is in line with the Planning Principles.
- ❖ The application is desirable.



**PLA<sup>n</sup> Active**  
 Stads- en Streekscheplanners  
 Town & Regional Planners

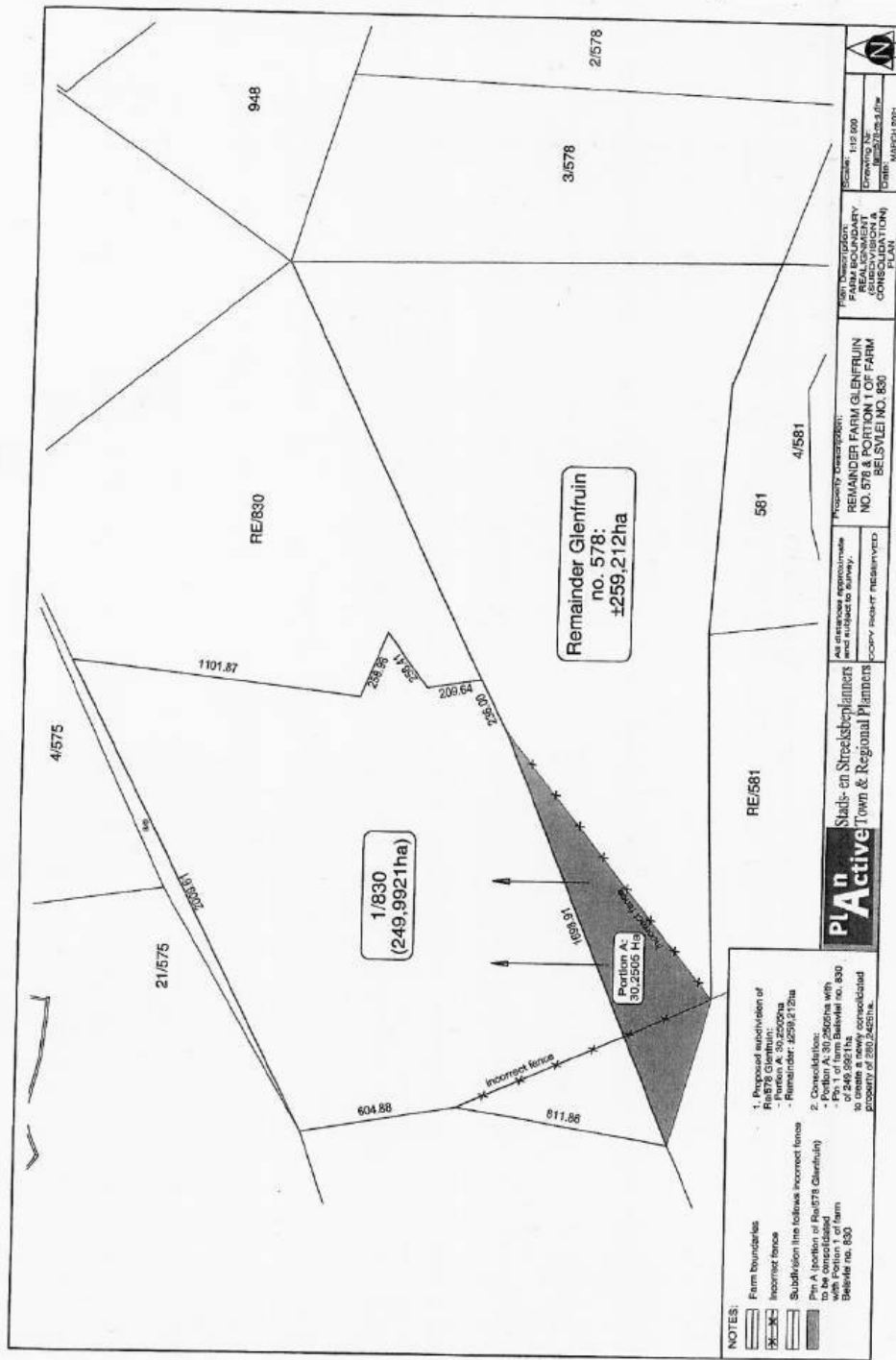
All dimensions approximate  
 and subject to survey.  
 PROPERTY RIGHTS RESERVED

Property Description:  
 REFARM GLENFRUIN NO. 578  
 & PORTION 1 OF THE FARM  
 BELSWLET NO. 890

Plan Number:  
**LOCALITY MAP**

Scale: NTS  
 Drawn: BRUNO DE LOR  
 Date: MARCH 1981





**NOTES:**

- ▬ Farm boundaries
- ▬ Incorrect fence
- ▬ Subdivision line follows incorrect fence
- ▬ Portion A (portion of RE/578 Glenfruin) to be consolidated with the portion B of farm Block no. 830

1. Proposed subdivision of RE/578 Glenfruin:  
 - Portion A: 30,230.8ha  
 - Remainder: ±259,212ha

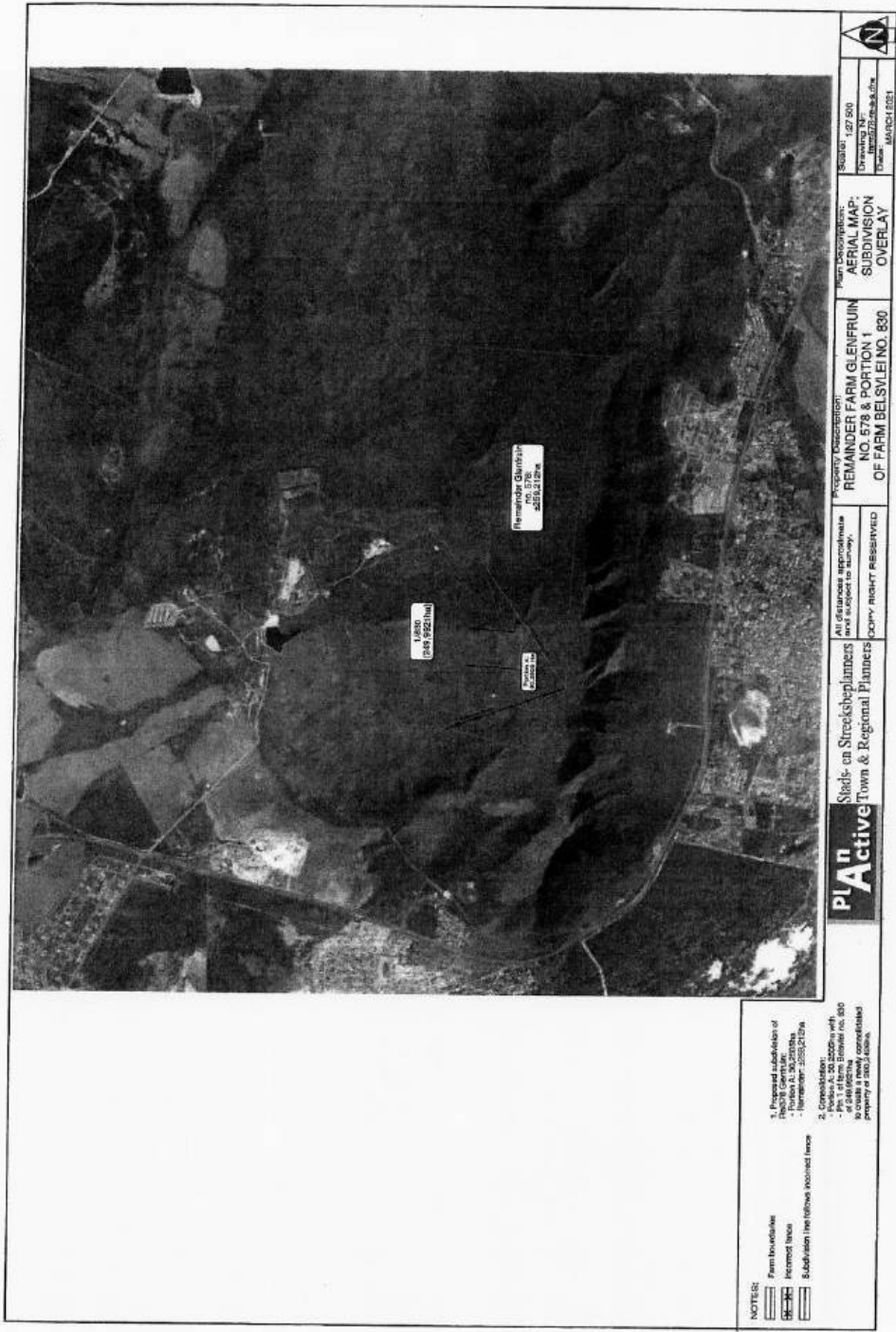
2. Consolidation:  
 - Portion A: 30,230.8ha with the portion B of farm Block no. 830 to create a newly consolidated property of 307,245.5ha.

**PLAN Active**  
 Stads- en Streeksplanning  
 Town & Regional Planners

Property description:  
 REMAINDER FARM GLENFRUIN NO. 578 & PORTION A OF FARM BLOCK NO. 830  
 BELUST NO. 830

Scale: 1:10,000  
 Drawing: 2012/05/08  
 DNB - MASQUELIER





**NOTES:**

- 1. Proposed subdivision of Parcel 1, 2 & 3 - Part of Farm Glenfruin, No. 578 & Portion 1 of Farm Belvyle No. 830 - Reference: 2555/2176
- 2. Consideration:
  - Part of Farm Glenfruin, No. 578 & Portion 1 of Farm Belvyle No. 830
  - Part of Farm Glenfruin, No. 578 & Portion 1 of Farm Belvyle No. 830
  - Part of Farm Glenfruin, No. 578 & Portion 1 of Farm Belvyle No. 830

**PLAN**  
Active  
Towns & Regional Planning

**Property Description:**  
REMAINDER FARM GLENFRUIN  
NO. 578 & PORTION 1  
OF FARM BELVYLE NO. 830

All distances approximate  
and subject to survey.  
COPYRIGHT RESERVED

**Map Description:**  
AERIAL MAP:  
SUBDIVISION  
OVERLAY

**Scale:** 1:27 500  
**Drawing No:** 2555/2176  
**Date:** MARCH 2021


**Author:** 1:27 500  
**Drawing No:** 2555/2176  
**Date:** MARCH 2021

### BEACON CERTIFICATE

PORTION 1 OF FARM BELSVLEI No. 830

Beacon Description:

- H....20mm Iron peg in cairn
- J....Wooden Fence Post
- L1,L2,L3....12mm Iron peg
- Glen-A....20mm Iron peg

  
SCALE 1 : 15 000



**VAN DYK**  
LAND SURVEYORS  
LANDMETERS

Surveyed in October 2020

L A van Dyk PLS 1069  
Professional Land Surveyor

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR SUBDIVISION & CONSOLIDATION: REMAINDER OF  
FARM GLENFRUIN NO. 578 AND PORTION 1 (JACKALS DANS) OF THE  
FARM BELSVLEI NO. 830, A DIVISION OF CALEDON**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure & Quality Control, Overstrand Municipality (Tel: 028 313 8972 ; e-mail - probinson@overstrand.gov.za);
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
6. that, the proposed development on Remainder of Farm 587 & Portion 1 of the Farm No. 830 be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services (Hermanus), and to which the sewer services on the development must connect to;
7. that, as no municipal sewerage removal services are rendered in the area, the owner is responsible for removal of all sewerage generated on the property, and disposal thereof at a licenced municipal sewerage treatment facility;

8. that alternatively, sewer treatment facilities that are approved by the Department of Water Affairs may be provided for disposal of sewer from the developments. Written proof of such approval is to be submitted to the Municipality;
9. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 140400 – P: 2010: Drainage.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**27. REMAINDER PORTION 102 OF FARM NO. 587 AND PORTION 105 OF FARM NO. 587, HEMEL EN AARDE VALLEY, CALEDON DIVISION, OVERSTRAND MUNICIPAL AREA : APPLICATION FOR SUBDIVISION (SERVITUDE): PLAN ACTIVE ON BEHALF OF DEPSTON 40 (PTY) LTD AND BOEKENHOUTSKLOOF WINERY (PTY) LTD**

**RCAL 102 & 105/587 (3878/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**10 December 2021**

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**Executive Summary**

An application was received on 18 January 2021 from Plan Active on behalf of Depston 40 (Pty) Ltd and Boekenhoutskloof Winery (Pty) Ltd in terms of Section 16.(2)(d) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for a subdivision to register a servitude area (water storage servitude) on Remainder Portion 102 of Farm No. 587 in favour of Portion 105 of Farm No. 587.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(d) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 for a subdivision to register a servitude area (water storage servitude) on Remainder Portion 102 of Farm No. 587 in favour of Portion 105 of Farm No. 587, **be approved** in terms of the provisions of Section 61, subject to the following conditions:
  - (a) that this approval is only for the subdivision (to register a water storage servitude) as indicated on the draft diagram dated November 2020, submitted with the application;
  - (b) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
  - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
  - (d) that the conditions in the Services Report, be complied with;
  - (e) that all the conditions by Department Agriculture: National, be complied with,
  - (f) that all the conditions imposed by BGCMA, be complied with;
  - (g) that all the conditions imposed by Telkom, be complied with, and

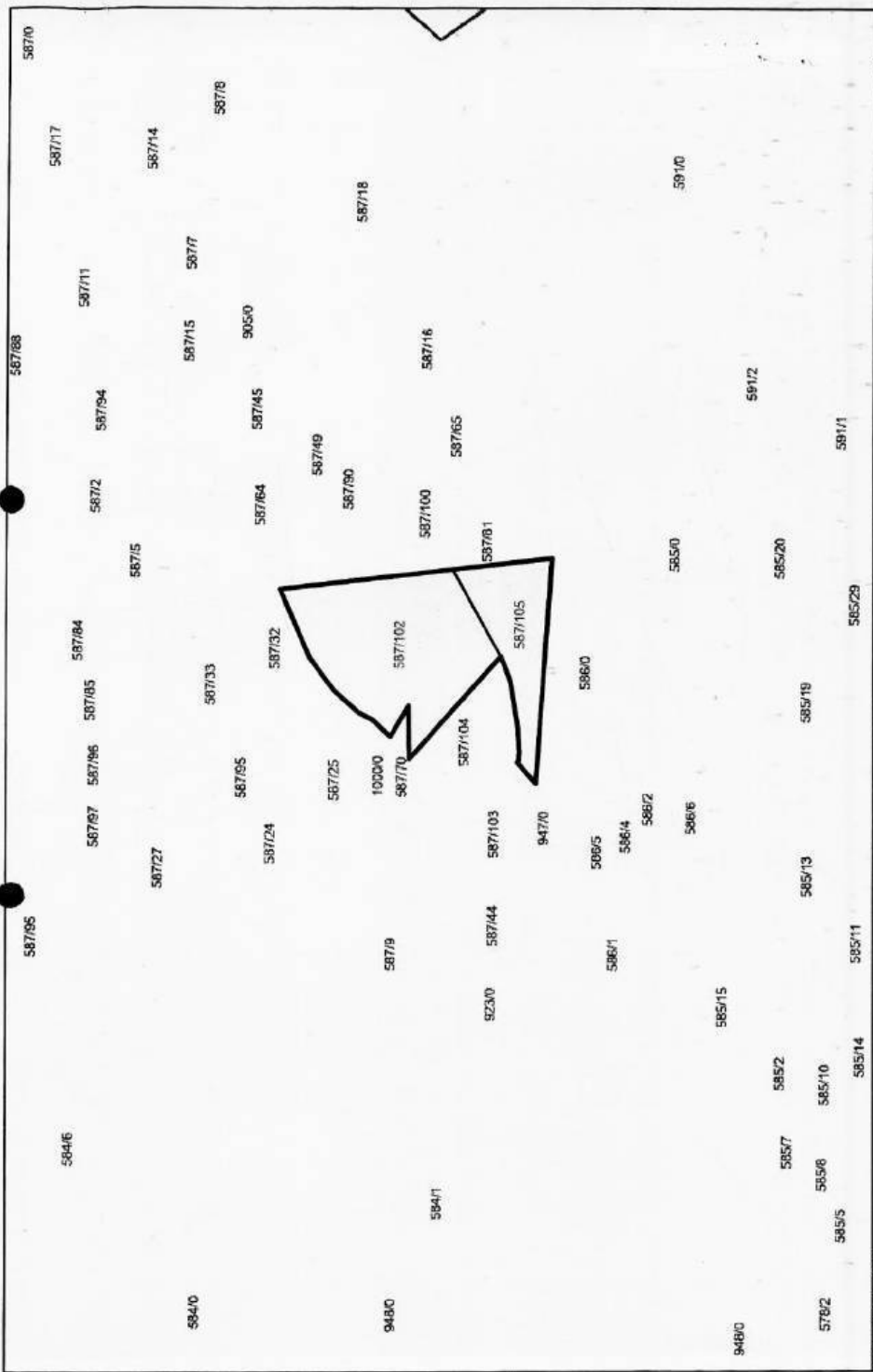
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (h) that all the conditions by Eskom, be complied with.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

**REASONS FOR RESOLUTION**

- ❖ The application has followed due procedure.
- ❖ No new municipal services will be needed.
- ❖ The proposed subdivision application is to register a water storage servitude over a dam to enable an adjacent farm owner to obtain his surface water rights.
- ❖ All relevant state and municipal departments support the application.
- ❖ No negative impact on the character of the area.
- ❖ No objections were received.

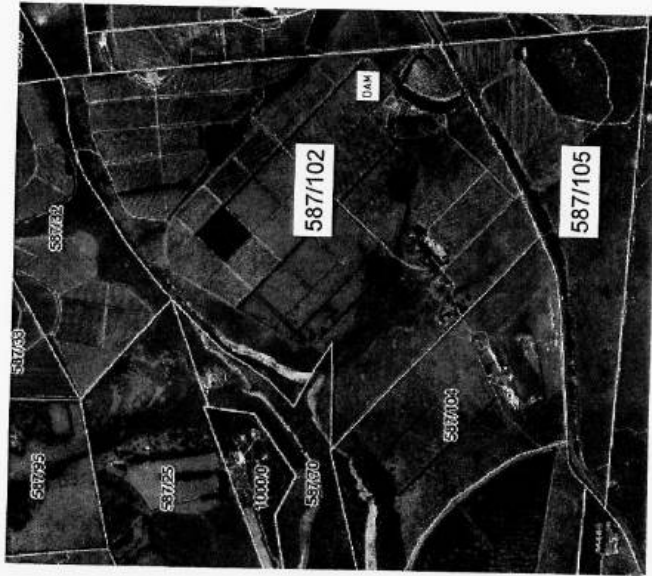


OVERSTRAND MUNICIPALITY

Locality Map

Remainder Portion 102 of Farm 587 & Portion 105 of Farm 587

Date: 2021/01/20



**PLAn**  
**Active**  
 Stads-en Streeksbeplanners  
 Town & Regional Planners

All distances approximate  
 and subject to survey.

COPY RIGHT RESERVED

Property Description:

REMAINDER PORTION 102 AND  
 PORTION 105 OF THE  
 FARM NR.587

Plan Description:

**AERIAL  
 PHOTOGRAPH**

Scale:

**NTS**

Drawing NF:

ntname00.dwg

Date:

NOVEMBER 2020





Thomas  
 03-01-2019

SIDES metres	ANGLES OF DIRECTION	CO-ORDINATES		SG No. 2736/2018
		Y	X	
		System: WG 19°		Approved <i>M. van Dyk</i> for SURVEYOR- GENERAL 27.12.2018
		Constants	0,00 +3 800 000,00	
AB	7,53	332.27.40	A -23 357,38	+3 500,34
BC	28,24	283.48.40	B -23 360,86	+3 507,02
CD	478,61	353.12.40	C -23 388,29	+3 513,76
DE	341,07	43.43.50	D -23 444,86	+3 989,02
EF	226,62	313.30.20	E -23 209,09	+4 235,47
FG	28,00	242.04.10	F -23 373,46	+4 391,48
GH	47,18	261.53.40	G -23 398,20	+4 378,37
HJ	76,86	282.57.00	H -23 444,91	+4 371,71
JK	16,68	309.55.50	J -23 519,82	+4 388,94
KL	10,94	238.52.20	K -23 532,61	+4 399,65
LM	23,61	249.57.30	L -23 541,98	+4 393,99
MN	12,63	273.36.00	M -23 564,16	+4 385,90
NP	26,24	291.21.00	N -23 576,76	+4 386,69
PQ	68,79	312.44.40	P -23 601,19	+4 396,25
QR	23,23	348.13.20	Q -23 651,71	+4 442,93
RS	162,06	42.54.00	R -23 656,45	+4 465,67
ST	3,30	330.36.50	S -23 546,13	+4 584,39
TA			T -23 547,75	+4 587,26
ERTJESVLEI		76	△ -26 938,17	+5 371,16
HERMANUSD		209	△ -23 972,57	+7 555,85

Sheet 1 of 2  
Sheets

BEACON DESCRIPTIONS  
 A, B, C, D, E, F, G, H, J, K, L, M, N, P, Q, R, S, T ... 16mm Iron peg

THIS PORTION IS SUBJECT TO  
 ACT 21/1940

APPROVED IN TERMS OF SECT. 4  
 OF ACT 70/1970  
 REF: 53831  
 DATE: 18/06/2018

Approved in to Section 61  
 Of Municipal Bylaw of Act 3/2014  
 Ref: RCAL34-35-36 & 37/587  
 Date: 12-11-2018

The line ABCDEFGHJKLMNPQRST  
 represents the centre line of a Pipeline Servitude 3,00m wide, over  
**The Remainder of Portion 10<sup>1</sup>/<sub>2</sub> of the Farm  
 HEMEL EN AARDE No. 587**

situate in the Overstrand Municipality  
 Administrative District of Caledon  
 Western Cape Province  
 Surveyed in May 2017 and September 2018  
 by me *LA van Dyk*  
 Professional Land Surveyor  
 Registration Number: PLS 1069

This Diagram is annexed to No.	The original diagram is S.G. No. 2735/2018	File: CLDN 581 V.3
		S.R. No. 1558/2018
Registrar of Deeds	Transfer No.	Comp AI-3BCC (3362)
		LPI No. C160042

VAN DYK & ASSOCIATES Inc. (V17043) (SERVITUDE PLAN)

# Pipeline Servitude over the Remainder of the Farm HEMEL EN AARDE No. 587

situate in the Overstrand Municipality  
Administrative District Caledon

SG No.  
2736/2018  
Approved

*Ntshane*

for  
SURVEYOR-  
GENERAL  
27.12.2018

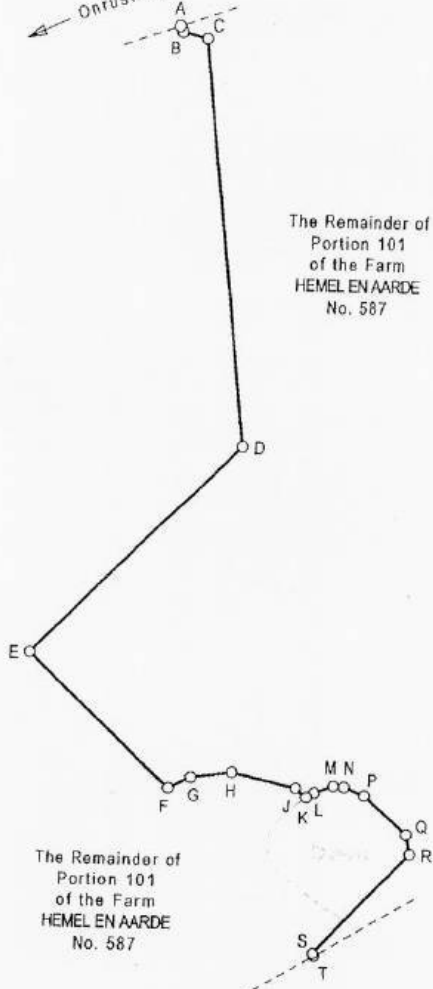
Sheet 2 of 2  
Sheets

*Handwritten:*  
03.01.2019

← Onrustrivier Left bank



The Remainder of  
Portion 101  
of the Farm  
HEMEL EN AARDE  
No. 587



The Remainder of  
Portion 101  
of the Farm  
HEMEL EN AARDE  
No. 587

Portion 104  
of the Farm  
HEMEL EN AARDE  
No. 587

Scale 1 / 5 000

Surveyed in May 2017 and September 2018  
by me

*LA van Dyk*  
Professional Land Surveyor  
Registration Number: PLS 1069

3736/2018 Servitude Diagram

03-01-2019  
 (Handwritten)

SIDES metres	ANGLES OF DIRECTION	CO-ORDINATES		SG No. 2739/2018
		Y	X	
		Constants	0,00	+3 800 000,00
AB	610,37 354.02.20	A	-23 669,17	+4 515,62
BC	1 416,44 93.48.38	B	-23 732,57	+5 122,69
CD	89,37 227.39.30	C	-22 319,26	+5 028,55
DE	42,56 221.10.50	D	-22 385,32	+4 968,36
EF	44,45 244.02.40	E	-22 413,34	+4 936,33
FG	48,73 264.00.00	F	-22 459,31	+4 916,88
GH	15,16 270.48.00	G	-22 501,77	+4 911,78
HJ	354,35 265.47.40	H	-22 516,93	+4 911,99
JK	125,70 263.08.00	J	-22 870,33	+4 886,01
KL	33,77 252.14.50	K	-22 995,12	+4 870,98
LM	232,53 244.34.20	L	-23 027,29	+4 860,69
MN	35,52 244.21.10	M	-23 237,29	+4 760,85
NP	120,21 241.57.20	N	-23 269,91	+4 745,47
PA	341,10 239.27.30	P	-23 375,40	+4 688,96
ERTJESVLEI		76	-26 938,17	+5 371,16
HERMANUS D		209	-23 972,57	+7 555,85

Approved  
*M. Stone*  
 for  
 SURVEYOR-GENERAL  
 27.12.2018  
 Sheet 1 of 2  
 Sheets

**BEACON DESCRIPTIONS**  
 A ... Drill hole on wall  
 B ... Iron Standard  
 C ... 12mm Iron peg  
 D,E,F,G,H,J,K,L,M,N,P ... Wooden fence post

**Servitude note**  
 The lines fghjkl and hm represents the centre line of a pipeline servitude 5,00m wide.  
 Vide Diagram No. 2368/2009; Annexes to D/T No.

APPROVED IN TERMS OF SECT. 4  
 OF ACT 70/1970  
 REF. 53831  
 DATE 18/06/2018

THIS PORTION IS SUBJECT TO  
 ACT 21/1940

The figure ABCDEFGHJKLMNP represents 37,7849 Hectares of land ,being  
**Portion 10<sub>5</sub>A (a Portion of Portion 10<sub>7</sub>) of the Farm HEMEL EN AARDE No. 587**

situate in the Overstrand Municipality  
 Administrative District of Caledon  
 Western Cape Province  
 Surveyed in May 2017 and September 2018  
 by me *LA van Dyk* Professional Land Surveyor  
 Registration Number: PLS 1069

Approved I.to Section 61  
 Of Municipal Bylaw of Act 3/2014  
 Ref: RCAL34.35.36 & 37/587  
 Date: 12.11.2018

This Diagram is annexed to No.	The original diagram is S. G. No.2735/2018	File:CLDN.587 v.3
	Registrar of Deeds	Transfer No.
		S. R. No. 1558/2018
		Comp AI-3ADD (3351) AI-3BCC (3362)
		LPI No. C160042 0130000

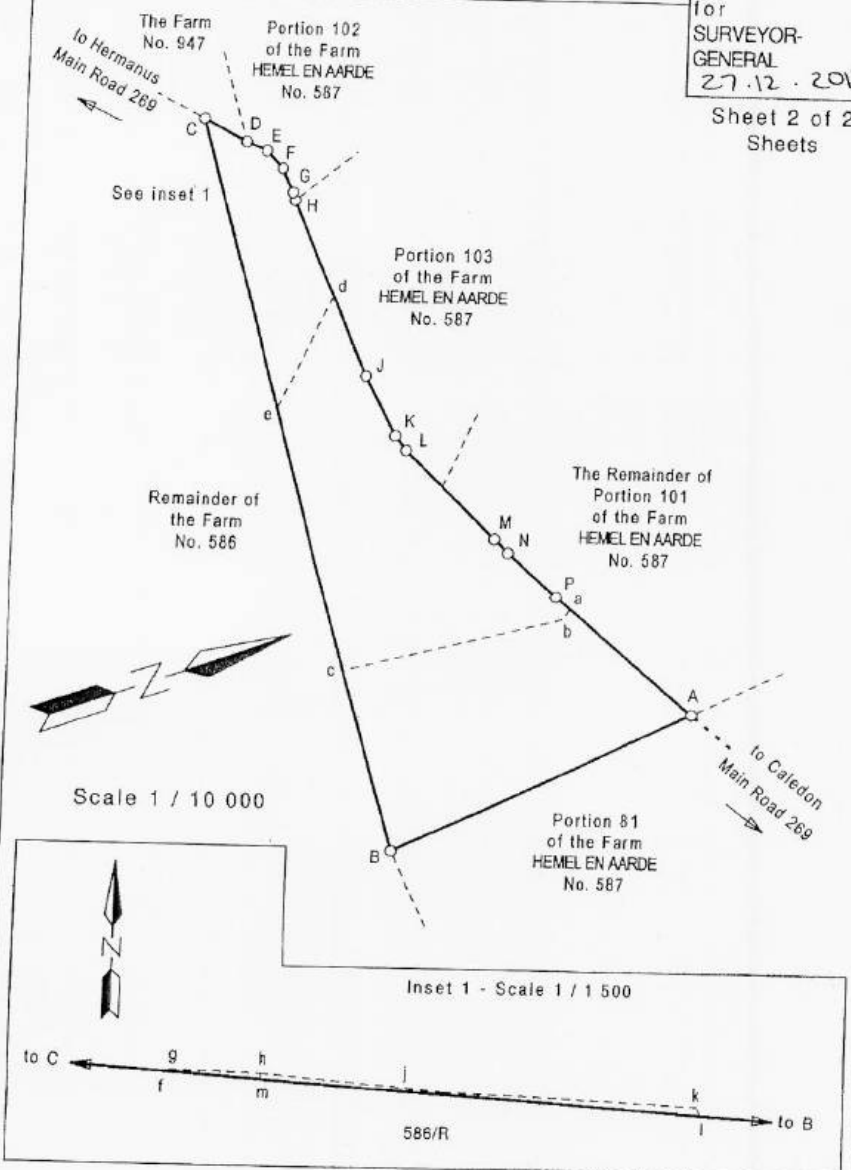
The Farm No. 587/10<sub>5</sub> Caledon

03.01.2019

Portion 104 (a Portion of Portion 101)  
 of the Farm HEMEL EN AARDE No. 587<sup>2</sup>  
 situate in the Overstrand Municipality  
 Administrative District Caledon

SG No.  
 2939/2018  
 Approved  
*[Signature]*  
 for  
 SURVEYOR-  
 GENERAL  
 27.12.2018

Sheet 2 of 2  
 Sheets

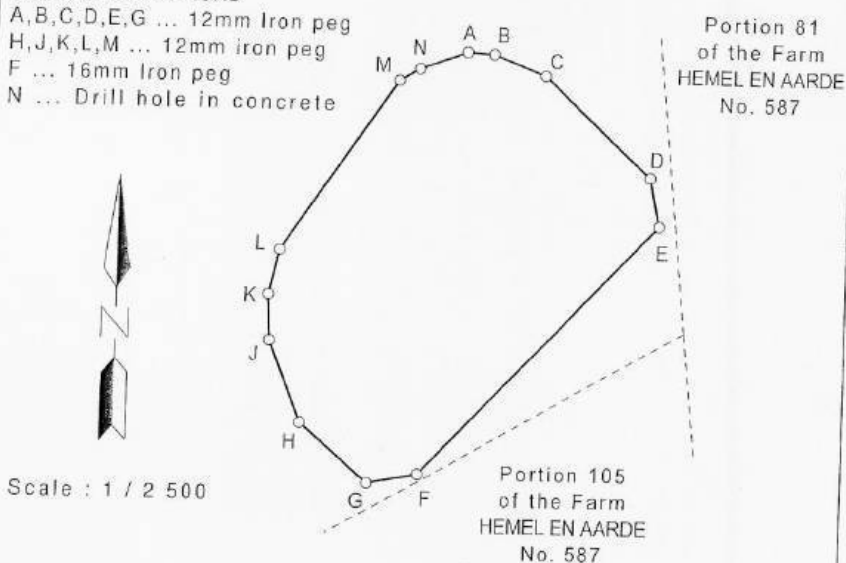


Surveyed in May 2017 and September 2018  
 by me  
 LA van Dyk  
 Professional Land Surveyor  
 Registration Number: PLS 1069  
 The Farm No. 587/104 Caledon

SIDES metres	ANGLES OF DIRECTION	CO-ORDINATES		SG No. 717
		Y System: WG 19°	X	
		Constants 0,00		Approved for SURVEYOR- GENERAL
AB	12,63 273.36.00	A	-23 564,16 +3 800 000,00	
BC	26,24 291.21.00	B	-23 576,76 +4 385,90	
CD	68,79 312.44.40	C	-23 601,19 +4 386,69	
DE	23,23 348.13.20	D	-23 651,71 +4 396,25	
EF	162,06 42.54.00	E	-23 656,45 +4 442,93	
FG	23,55 78.40.50	F	-23 546,13 +4 465,67	
GH	42,00 131.44.00	G	-23 523,04 +4 584,39	
HJ	41,62 158.36.00	H	-23 491,70 +4 589,01	
JK	21,60 177.17.30	J	-23 476,51 +4 561,05	
KL	21,46 192.26.20	K	-23 475,49 +4 522,30	
LM	95,79 213.14.00	L	-23 480,11 +4 500,73	
MN	10,94 238.52.20	M	-23 532,61 +4 479,77	
NA	23,61 249.57.30	N	-23 541,98 +4 399,65	
ERTJESVLEI		76	-26 938,17	+5 371,16
HERMANUS D		209	-23 972,57	+7 555,85

BEACON DESCRIPTIONS

- A,B,C,D,E,G ... 12mm Iron peg
- H,J,K,L,M ... 12mm iron peg
- F ... 16mm Iron peg
- N ... Drill hole in concrete



The figure ABCDEFGHJKLMN represents 2,2741 Hectares of land, being a Servitude Area over  
**REMAINDER OF PORTION 102 OF THE FARM**  
**HEMEL EN AARDE No. 587**  
 situate in the Overstrand Municipality  
 Administrative District of Caledon

Western Cape Province  
 Surveyed in November 2020 by me  
 LA van Dyk  
 Professional Land Surveyor  
 Registration Number: PLS 1069

This Diagram is annexed to No.	The original diagram is	File:
	S.G. No. 2735/2018	S.R. No.
Registrar of Deeds	Transfer No.	Comp AI-3BCC (3362)
		LPI No. C0130000

Servitude Diagram

## Annexure D 1/2

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR SUBDIVISION (SERVITUDE): REMAINDER PTN 102  
OF FARM NO. 587 & PTN 105 OF FARM NO. 587, HEMEL & AARDE  
VALLEY, CALEDON DIVISION**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure & Quality Control, Overstrand Municipality (Tel: 028 313 8972 ; e-mail - probinson@overstrand.gov.za);
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
6. that, the proposed development on Remainder Portion 102 of Farm No. 587 & Portion 105 of Farm No. 587 be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services (Hermanus), and to which the sewer services on the development must connect to;
7. that, as no municipal sewerage removal services are rendered in the area, the owner is responsible for removal of all sewerage generated on the property, and disposal thereof at a licenced municipal sewerage treatment facility;

8. that alternatively, sewer treatment facilities that are approved by the Department of Water Affairs may be provided for disposal of sewer from the developments. Written proof of such approval is to be submitted to the Municipality;
9. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 140400 – P: 2010: Drainage;
10. that access can be obtain from Provincial Road R321 via the existing access to the relevant Remainder Portion 102 of Farm No. 587 & Portion 105 of Farm No. 587. The Provincial Engineer must however provide comment in this regard;
11. that servitudes for municipal services be registered at the developer's cost in respect of all existing municipal services concerned crossing private property.

*D.P. R. Chappie*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*21/06/2021*  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**28. ERF 3079, 70 DF MALHERBE STREET, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: ADSQUARED ARCHITECTURE & DESIGN CC ON BEHALF OF JANINE LOURENS TRUST**

**3079 KKM (3690/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**7 December 2021**

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**Executive Summary**

An application was received on 14 June 2021 from ADSquared Architecture & Design CC on behalf Janine Lourens Trust on Erf 3079, Kleinmond in terms of Section 16.(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2020 for the following departures :

- ❖ To relax the street building line from 4m to 3,15m to accommodate the existing dwelling;
- ❖ To relax the northern lateral building line from 2m to 0,8m to accommodate a change of use of a garden storage to staff quarters, and
- ❖ To relax the eastern lateral building line from to 2m to 0,8m to accommodate the replacement of a roof structure.

**RESOLVED:**

1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 applicable to Erf 3079, Kleinmond in order to relax the following:

- ❖ street building line from 4m to 3,15m to accommodate the existing dwelling;
- ❖ northern lateral building line from 2m to 0,8m to accommodate a change of use of a garden storage to staff quarters, and
- ❖ eastern lateral building line from to 2m to 0,8m to accommodate the replacement of a roof structure

**be approved**, subject to Section 61 of the By-Law subject to the following conditions:

- (a) that this approval is only for the development as indicated on Plans Rev. 2-25 October 2021 dated APR 2021, as submitted with the application;
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;

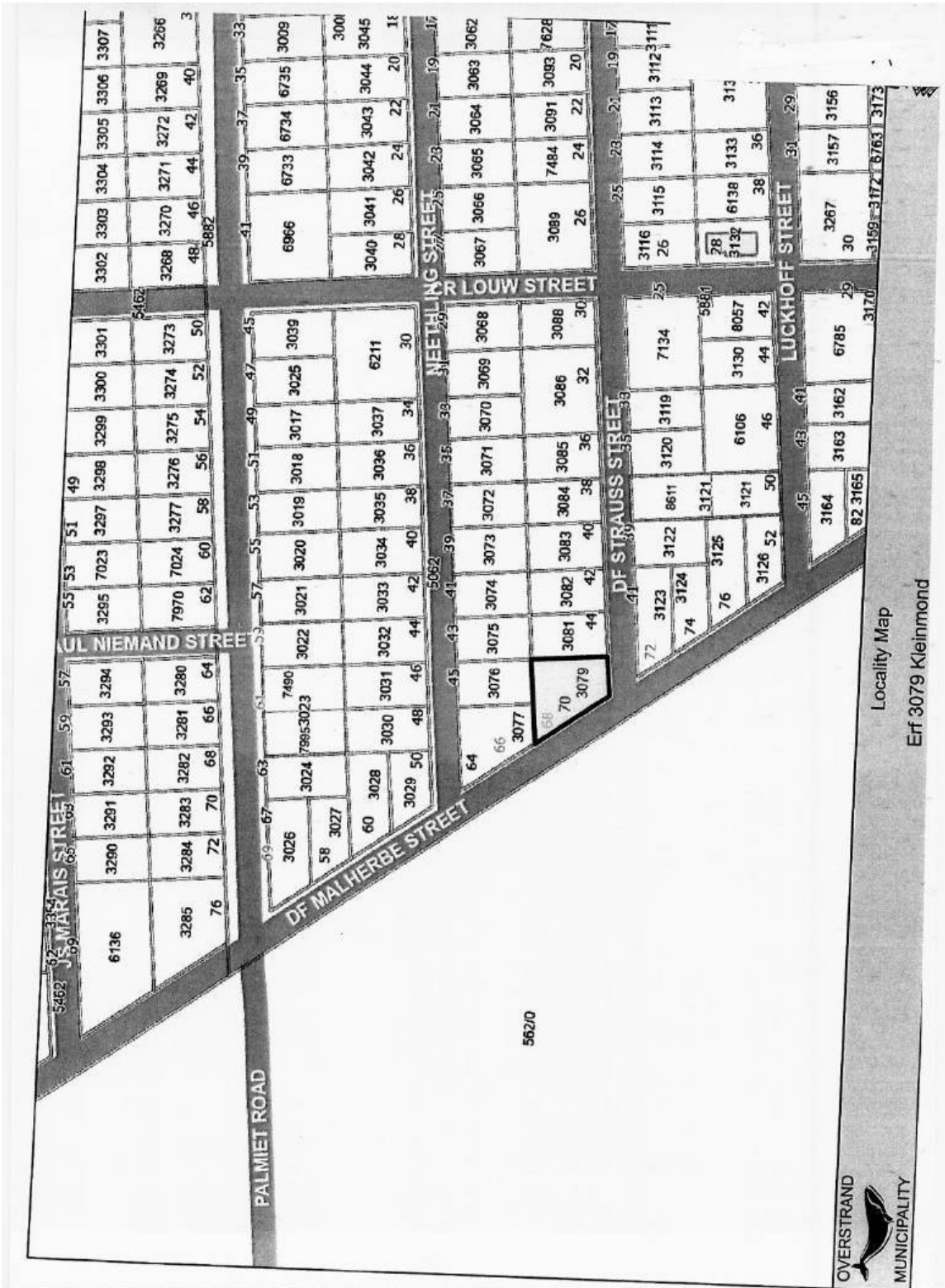
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (c) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
  - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above decision.

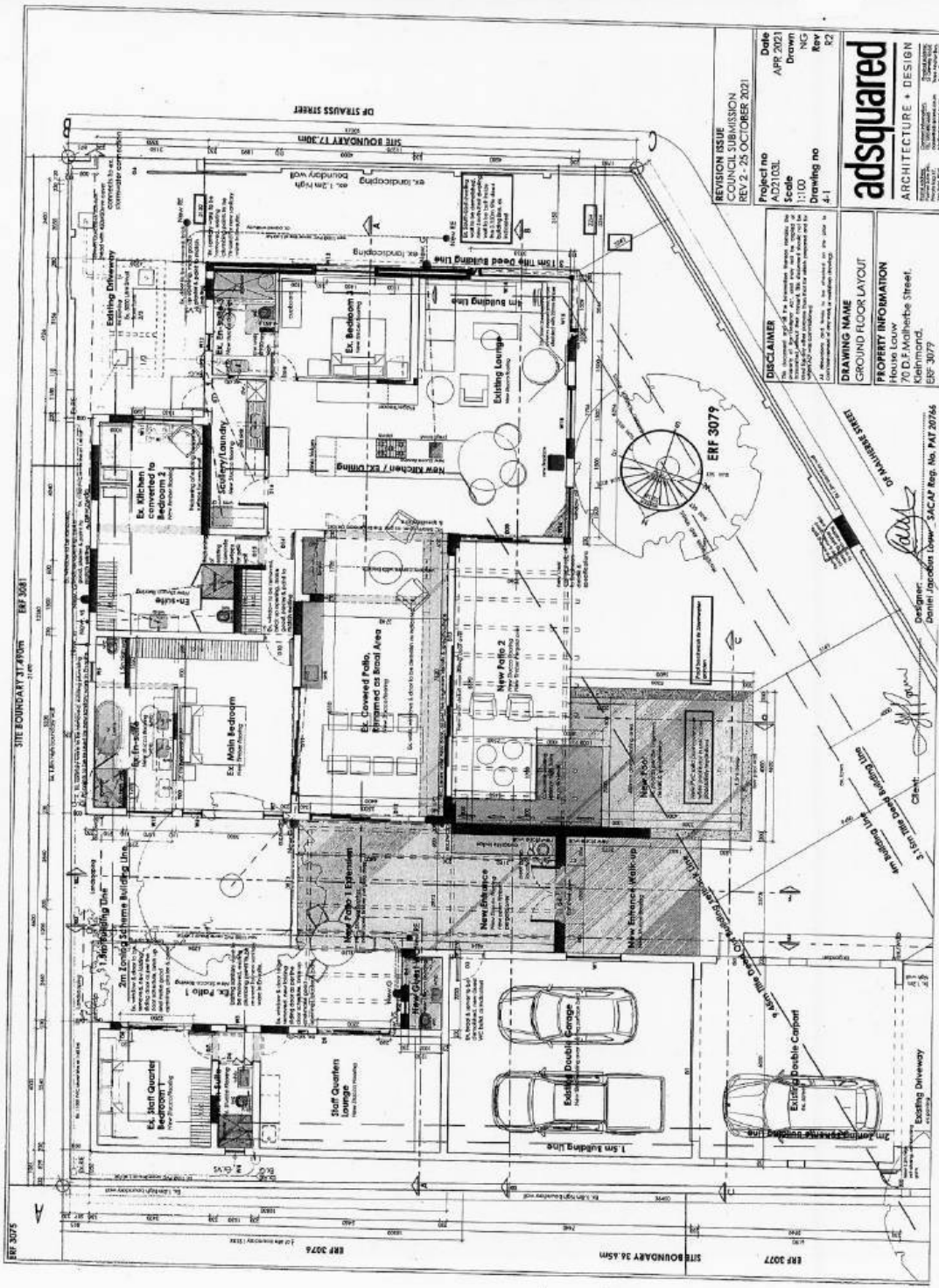
**REASONS FOR RESOLUTION**

- ❖ No objections were received from adjacent property owners.
- ❖ The application has followed due procedure.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ There will be no impact on services.
- ❖ The proposal will make all structures compliant with the National Building Regulations.









REVISION ISSUE  
COUNCIL SUBMISSION  
REV. 2 - 25 OCTOBER 2021

Project no  
A/21/03L

Scale  
1:100

Drawn  
NG

Key  
R2

Drawing no  
4.1

**adsquared**  
ARCHITECTURE + DESIGN

DISCLAIMER  
This drawing is the property of adsquared and is not to be used, copied, or reproduced in any form without the written consent of adsquared. The client is responsible for the accuracy of the information provided and for obtaining all necessary permits and approvals. The drawings are prepared on the basis of information provided by the client and are not to be used for any other purpose.

DRAWING NAME  
GROUND FLOOR LAYOUT

PROPERTY INFORMATION  
House Louw  
70 D.P. Martheb Street,  
Durbanville  
ERF 3077

Designer  
Dimitri Japordan lower SACAP Reg. No. NAT 20756

Client

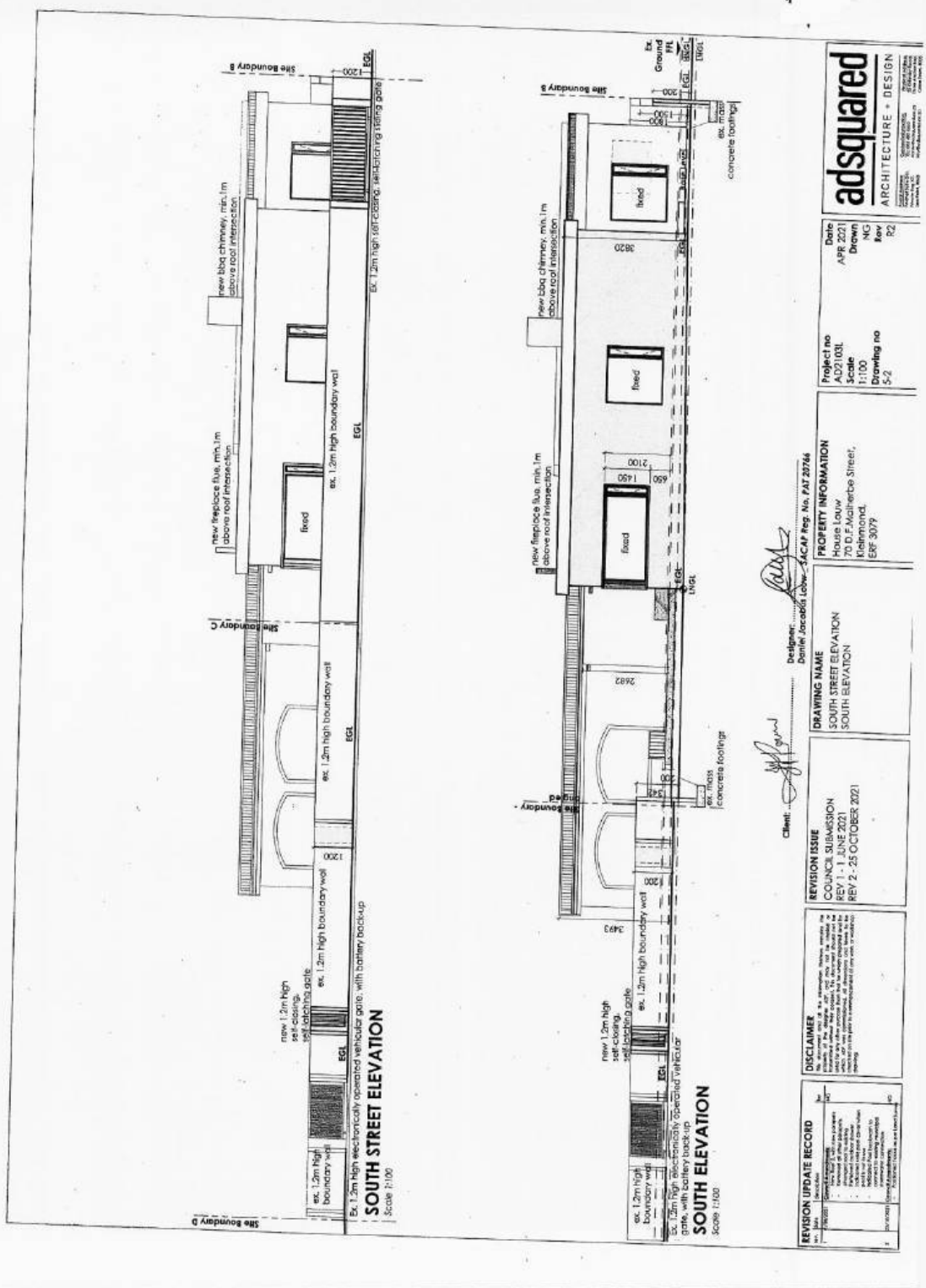
ERP 3076 SITE BOUNDARY 34.53M

ERP 3077 SITE BOUNDARY 37.30M

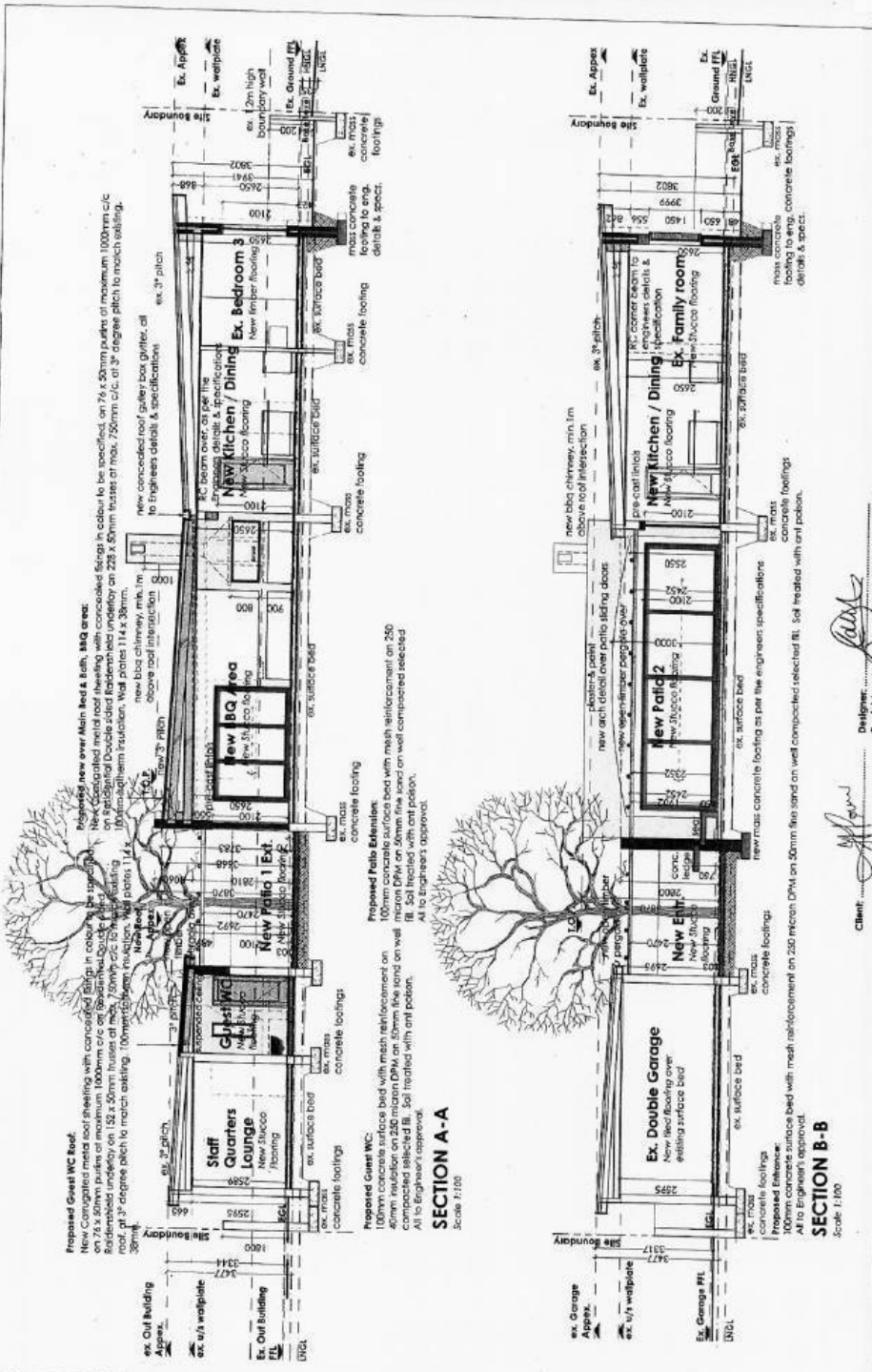
ERP 3078 SITE BOUNDARY 37.30M

ERP 3079 SITE BOUNDARY 37.30M









**Proposed Guest WC Roof:**  
New 100mm concrete roof sheathing with concealed fixings in concrete. 30% spray foam insulation on top of concrete. 100mm rigid insulation on top of spray foam. 40mm insulation on top of rigid insulation. 50mm DPM on top of insulation. 100mm concrete on top of DPM. All to Engineer's approval.

**Proposed Guest WC:**  
100mm concrete surface bed with mesh reinforcement on 40mm insulation on 250 micron DPM on 50mm fine sand on well compacted selected fill. Soil treated with ant poison. All to Engineer's approval.

**Proposed Patio Extension:**  
100mm concrete surface bed with mesh reinforcement on 250 micron DPM on 50mm fine sand on well compacted selected fill. Soil treated with ant poison. All to Engineer's approval.

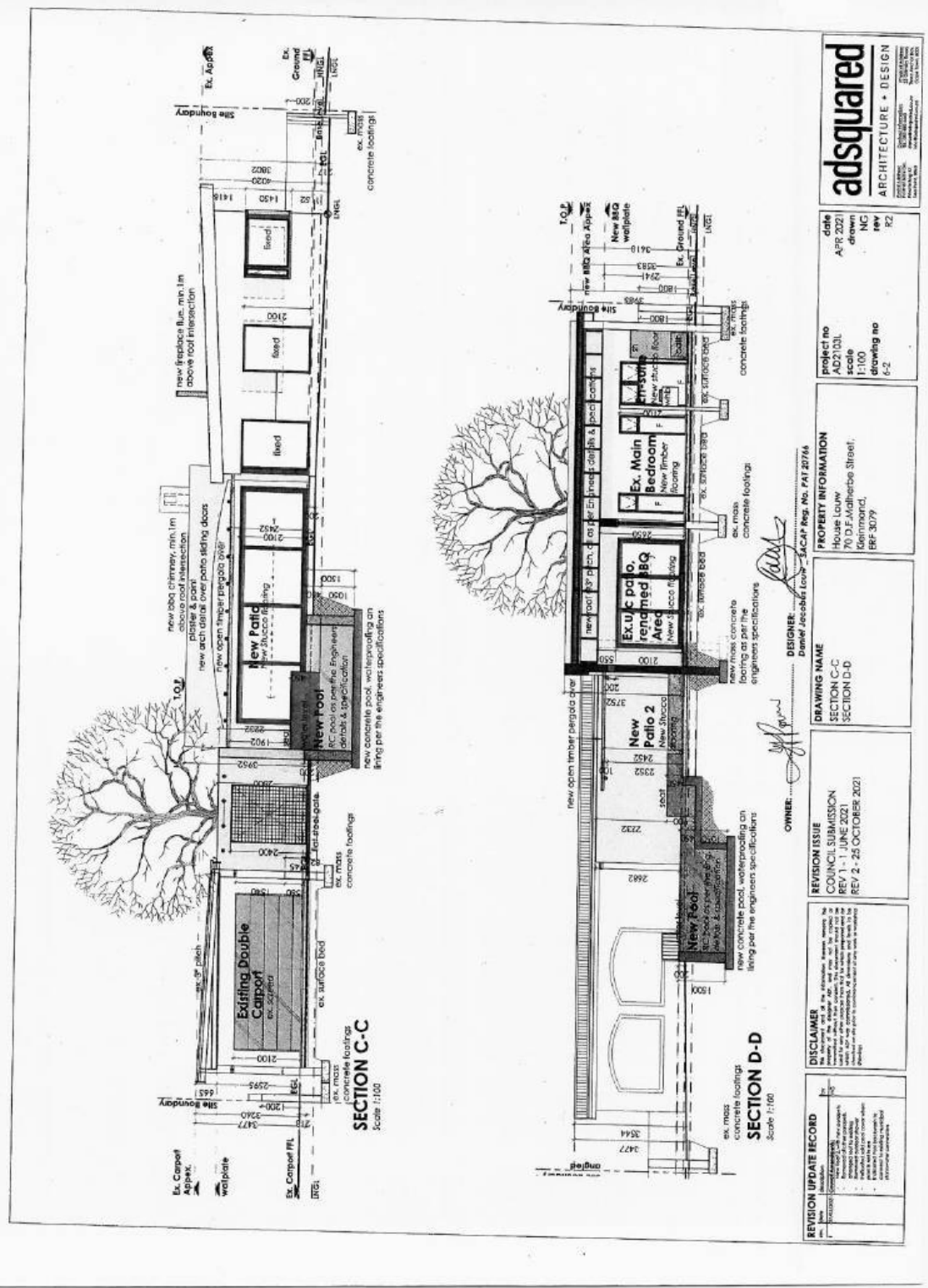
**Proposed New over Main Bed & Bath, MQ area:**  
New 100mm concrete roof sheathing with concealed fixings in concrete. 30% spray foam insulation on top of concrete. 100mm rigid insulation on top of spray foam. 40mm insulation on top of rigid insulation. 50mm DPM on top of insulation. 100mm concrete on top of DPM. All to Engineer's approval.

**SECTION A-A**  
Scale 1:100

**SECTION B-B**  
Scale 1:100

<b>REVISION UPDATE RECORD</b> No. 1 Date 11/06/21 Description 1. Revised all notes 2. Revised floor levels 3. Revised site plan 4. Revised all drawings 5. Revised all specifications	<b>REVISION ISSUE</b> COUNCIL SUBMISSION REV 1 - 1 JUNE 2021 REV 2 - 25 OCTOBER 2021	<b>DRAWING NAME</b> SECTION A-A SECTION B-B	<b>PROPERTY INFORMATION</b> House Lowy 70 D F McInnes Street, Kilmorrind, ERF 3079	<b>Project no</b> ADD103L <b>Scale</b> 1:100 <b>Drawing no</b> 6-1	<b>Date</b> APR 2021 <b>Drawn</b> NIC <b>Rev</b> R2

Client: *[Signature]* Designer: *[Signature]*  
 Daniel Jacobowitz, SACAP Reg. No. FAI 20746



**adsquared**  
ARCHITECTURE • DESIGN

date: APR 2023  
project no: AD2103L  
scale: 1:100  
drawing no: 6-2

PROPERTY INFORMATION  
House Louw  
70 D.F. Malherbe Street,  
Kleinmond,  
ERF 3079

DRAWING NAME  
SECTION C-C  
SECTION D-D

REVISION ISSUE  
COUNCIL SUBMISSION  
REV 1 - 1 JUNE 2021  
REV 2 - 25 OCTOBER 2021

DISCLAIMER  
We warrant that the drawings represent the design of the building as shown on the drawings and that we are not liable for any errors or omissions in the drawings or for any consequences of any such errors or omissions.

REVISION UPDATE RECORD

No.	Date	Description
1	2021/06/01	Initial Council Submission
2	2021/10/25	Revised drawings for Council Submission

OWNER: [Signature]  
DESIGNER: [Signature]  
DRAWN: [Signature]



DOOR NO.	DOOR TYPE	DESCRIPTION	FINISHES	NOTES
D1	Aluminium Sectional overhead garage door	Existing hardware frame	N/A	As per manufacturer
D2	Unique od style timber hardwood door	90x70 Hardwood with all to open inwards	N/A	As per manufacturer
D3	Existing hardwood door	Existing hardware frame	N/A	As per manufacturer
D4	90x70 Hardwood with all to open inwards	As per manufacturer	N/A	As per manufacturer
D5	2 panel aluminium sliding doors, stacking to the left.	Clear Double (3/6/3) safety glass as per national building regulations	Powder coated to colour as per finish schedule	As per manufacturer
D6	3 panel aluminium sliding doors, stacking to the left	Clear Double (3/6/3) safety glass as per national building regulations	Powder coated to colour as per finish schedule	As per manufacturer
D7	10mm PVC concentric folding door	90x70 Hardwood with NO sill	N/A	As per manufacturer
D8	10mm PVC concentric folding door	90x70 Hardwood with NO sill	N/A	As per manufacturer
D9	10mm PVC concentric folding door	90x70 Hardwood with NO sill	N/A	As per manufacturer
D10	Ex. hardwood door	As per manufacturer	N/A	As per manufacturer
D11	3 panel aluminium sliding doors, stacking to the left	Single-Clear safety glass as per national building regulations	Powder coated to colour as per finish schedule	As per manufacturer

**NOTE: ALL DOORS ARE VIEWED FROM THE OUTSIDE**

**DOOR SCHEDULE & GATE SCHEDULE**

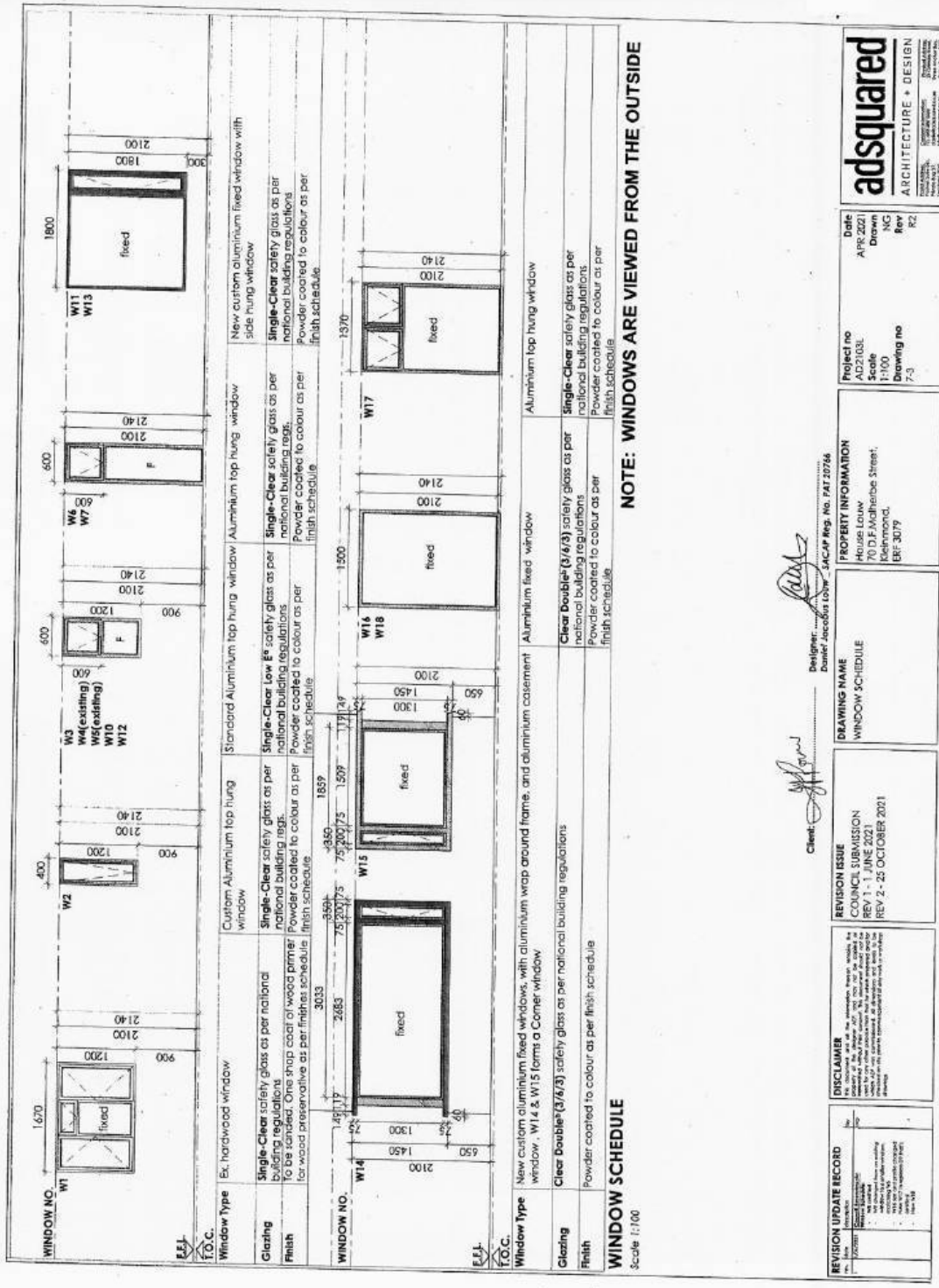
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Client: *[Signature]* Designer: *[Signature]*  
 Daniel Jacobs Interiors - SACAP Reg. No. PA1 20746

<p><b>REVISION UPDATE RECORD</b></p> <p>NO. 102</p> <p>DATE 10/03/21</p> <p>BY [Signature]</p> <p>REASON FOR CHANGE</p> <ul style="list-style-type: none"> <li>1. 10/03/21</li> <li>2. 10/03/21</li> <li>3. 10/03/21</li> </ul>	<p><b>DISCLAIMER</b></p> <p>The Architect is not responsible for the accuracy of the information provided in this drawing. The Architect is not responsible for the accuracy of the information provided in this drawing. The Architect is not responsible for the accuracy of the information provided in this drawing.</p>	<p><b>REVISION ISSUE</b></p> <p>COUNCIL SUBMISSION</p> <p>REV 1 - 1 JUNE 2021</p> <p>REV 2 - 25 OCTOBER 2021</p>	<p><b>DRAWING NAME</b></p> <p>DOOR SCHEDULE</p>	<p><b>PROPERTY INFORMATION</b></p> <p>House Lohy</p> <p>70 DF Mahatma Street,</p> <p>Kleinmond,</p> <p>ERF 3079</p>	<p><b>Project no</b></p> <p>AD2103L</p> <p><b>Scale</b></p> <p>1:100</p> <p><b>Drawing no</b></p> <p>7-1</p>	<p><b>Date</b></p> <p>APR 2021</p> <p><b>Drawn</b></p> <p>NC</p> <p><b>Rev</b></p> <p>R2</p>
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**NOTE: WINDOWS ARE VIEWED FROM THE OUTSIDE**

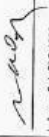
**WINDOW SCHEDULE**  
Scale 1:100

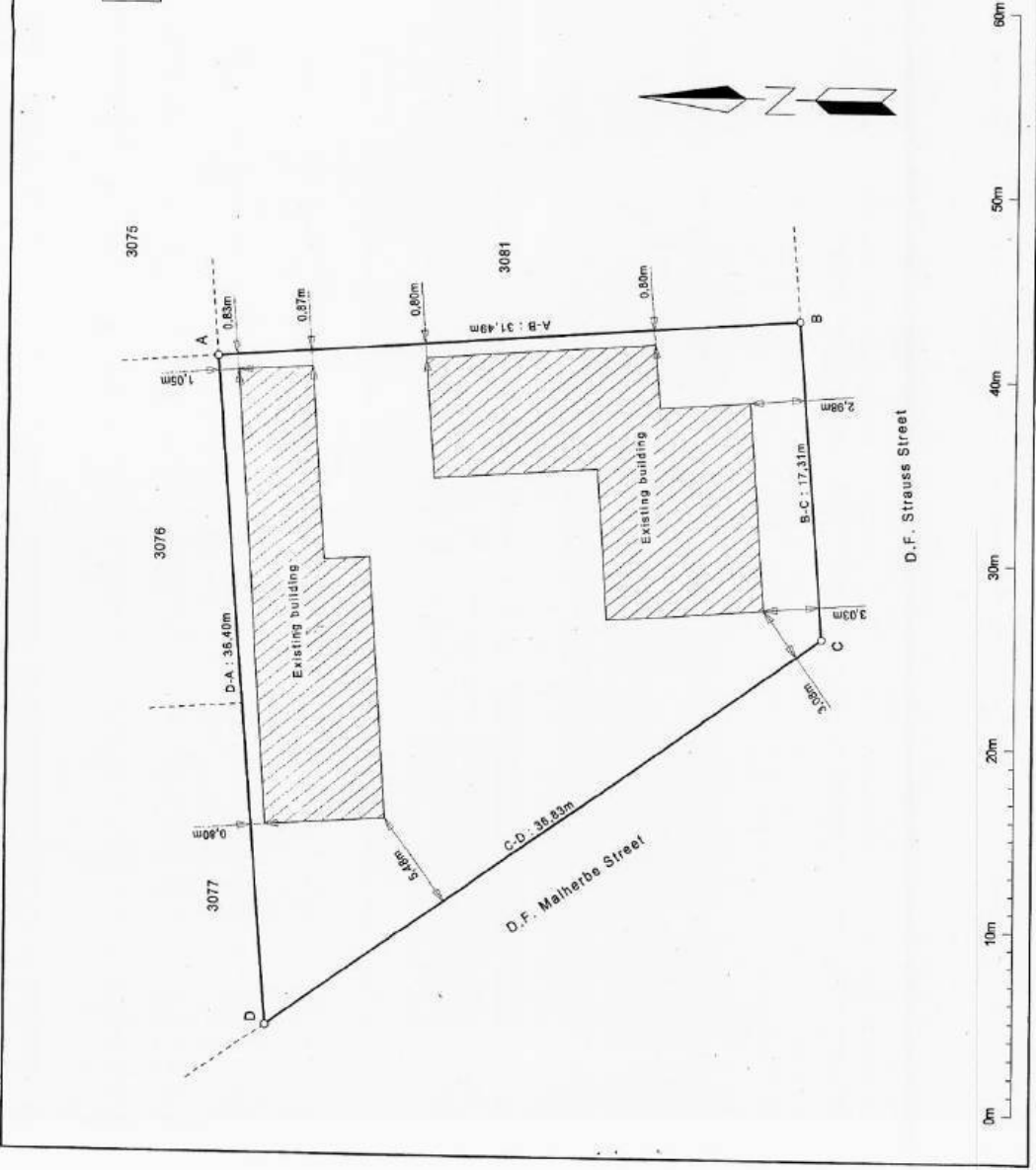
<p><b>REVISION UPDATE RECORD</b></p> <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td>1</td> <td>1/2/2021</td> <td>Issue for tender</td> </tr> <tr> <td>2</td> <td>1/10/2021</td> <td>Issue for council submission</td> </tr> <tr> <td>3</td> <td>1/10/2021</td> <td>Issue for council submission</td> </tr> <tr> <td>4</td> <td>1/10/2021</td> <td>Issue for council submission</td> </tr> <tr> <td>5</td> <td>1/10/2021</td> <td>Issue for council submission</td> </tr> </table>	No.	Date	Description	1	1/2/2021	Issue for tender	2	1/10/2021	Issue for council submission	3	1/10/2021	Issue for council submission	4	1/10/2021	Issue for council submission	5	1/10/2021	Issue for council submission	<p><b>DISCLAIMER</b></p> <p>The architect is not responsible for the accuracy of the information provided in this schedule. The architect is not responsible for the accuracy of the information provided in this schedule. The architect is not responsible for the accuracy of the information provided in this schedule.</p>	<p><b>REVISION ISSUE</b></p> <p>COUNCIL SUBMISSION REV 1 - 1 JUNE 2021 REV 2 - 25 OCTOBER 2021</p>	<p><b>DRAWING NAME</b></p> <p>WINDOW SCHEDULE</p>	<p><b>PROPERTY INFORMATION</b></p> <p>House Louw 70 DE Mairhe Street Kleinmond, BRF 3079</p>	<p><b>Project no</b> ADD103L</p> <p><b>Scale</b> 1:100</p> <p><b>Drawing no</b> 7-3</p>	<p><b>Date</b> APR 2021</p> <p><b>Drawn</b> NC</p> <p><b>Rev</b> R2</p>
No.	Date	Description																						
1	1/2/2021	Issue for tender																						
2	1/10/2021	Issue for council submission																						
3	1/10/2021	Issue for council submission																						
4	1/10/2021	Issue for council submission																						
5	1/10/2021	Issue for council submission																						

Client: *[Signature]* Designer: *[Signature]*  
Daniel Jacobus Louw - SACAP Reg. No. FAI 20766



Please note -  
Erf dimensions are according to asesses found  
and previous survey record SRE 502/2013 and not  
according to original erf diagram.

<b>Practitioner's Declaration</b> Registered Professional Land Surveyor A.B.C.D. ... Not applicable	
 L.A van Dyk PLS 1069 Professional Land Surveyor	
<b>VAN DYK &amp; ASS. INC.</b> P.O. Box 2026 HENRIKUS 7200 SOUTH AFRICA VAN DYK & ASS. INC. TEL: (021) 313 3077 VAN DYK & ASS. INC. E-MAIL: info@vandyksurvey.co.za	
State(s): WGS84 / Lo 19 Project System:	Project Name: Mr. Louw Project Title: ERF 3079 KLENMOND
Project Scale: 1 : 200 Date: October 2021 Client:	Project Title: ERF 3079 KLENMOND
Title: POSITIONING OF EXISTING BUILDING	
Drawing Number: VZ1626 Drawn by: DJP Rev:	
No. of Sheets: 1 of 1	

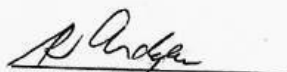


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 3079, KLEINMOND**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer investigates and determine the limitations of the site in terms of drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Directorate: Infrastructure and Planning;
5. that any additional and / or extended vehicle entrance will be for the owner's account;
6. that, upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Senior Manager: Operational Services (Kleinmond) for written approval;
7. that stormwater be allowed to discharge through Erf 3079 Kleinmond, unobstructed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

14/09/2021  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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29. **PORTION 76 (PORTION OF PORTION 4) OF THE FARM HERMANUS RIVER NO. 542, ARABELLA COUNTRY ESTATE, DIVISION OF CALEDON: APPLICATION FOR DEPARTURE, DEVIATION FROM ARABELLA COUNTRY ESTATE ARCHITECTURAL GUIDELINES AND DETERMINATION OF ADMINISTRATIVE PENALTY: PLAN ACTIVE ON BEHALF OF CL LE GRANGE**

**RCAL 76/542 (3790/2021)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**14 December 2021**

---

**Executive Summary**

An application was received on 6 September 2021 from Plan Active Town & Regional Planners on behalf of CL le Grange in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 for the following:

- ❖ **Departure** in terms of Section 16(2)(b) of the By-Law to relax the western lateral building line from 2,0m to 1,6m to accommodate an as-built bedroom 1.
- ❖ **Deviation** from the Arabella Country Estate Architectural Guidelines in terms of Section 16(2)(l) of the By-Law to relax the western lateral building line from 2,0m to 1,6m to accommodate an as-built bedroom 1, and to relax the 5m golf course boundary line to 4,8m to accommodate an as-built bedroom 2.
- ❖ Determination of an **administrative penalty** in terms of Section 16(2)(q) of the By-Law for the unauthorised land use activities stipulated above.

**RESOLVED:**

1. that the application for departure in terms of Section 16.(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law), applicable to Portion 76 of the Farm Hermanus River No. 542 in order to relax the western lateral building line from 2,0m to 1,6m to accommodate an as-built bedroom 1, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for the deviation from the Arabella Country Estate Architectural Guidelines in terms of Section 16.(2)(l) of the By-Law applicable to Portion 76 of the Farm Hermanus River No. 542 to relax the western lateral building line from 2,0m to 1,6m to accommodate an as-built bedroom 1, and to relax the 5m golf course boundary line to 4,8m to accommodate an as-built bedroom 2, **be approved** in terms of the provisions of Section 61 of the By-Law;

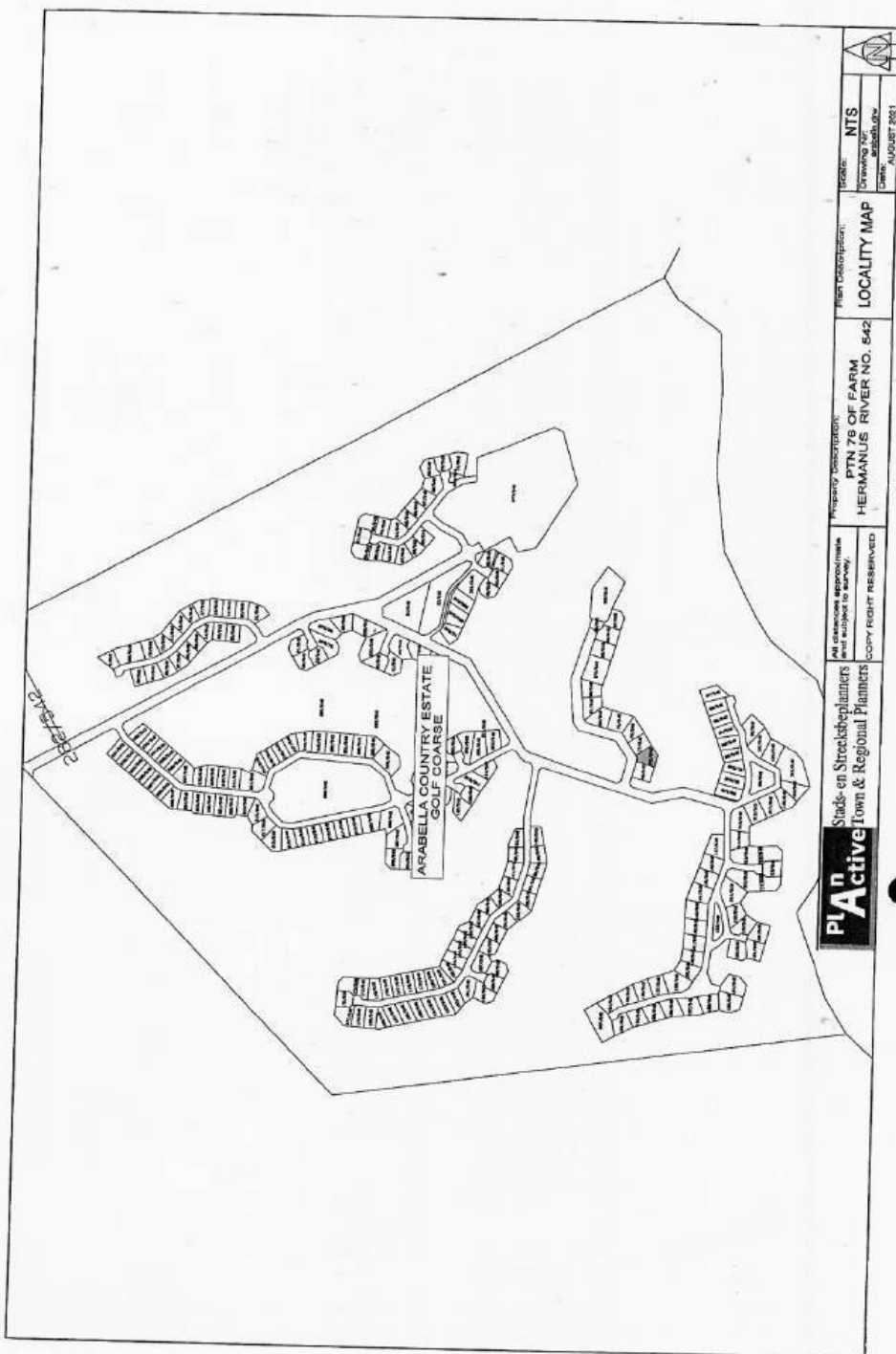
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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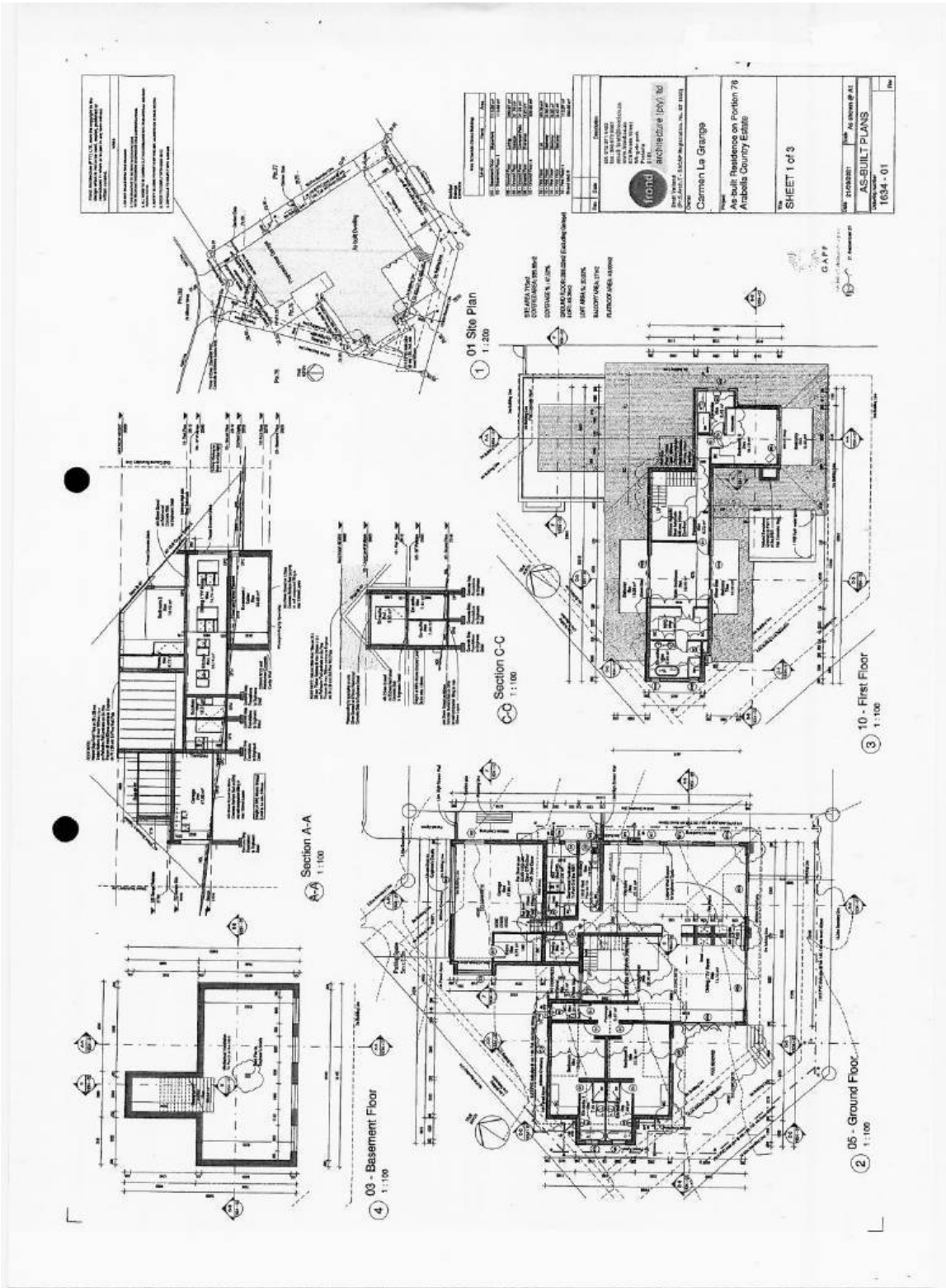
3. that the application for the determination of an **administrative penalty** in terms of Section 16.(2)(q) of the By-Law for the unauthorised land use activities stipulated above, **be exempted** from the payment of an administrative penalty in terms of Section 90(4) of the By-Law for the illegal building works;
4. that the approvals in 1., 2. and 3. above be subject to the following conditions:
  - (a) that this approval is only for the development as indicated on Plan numbers 1634-01, 1634-02 and 1634-03 dated 21 September 2021, as submitted with the application;
  - (b) that the conditions of Engineering Services, be complied with;
  - (c) that this approval does not absolve the landowners from compliance with any other relevant legislation, and
  - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
5. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 regarding the above decisions.

**REASONS FOR RESOLUTION**

- ❖ No objections were received from adjacent property owner and HOA.
- ❖ The proposal will not negatively impact on existing/vested rights of adjoining property owners.
- ❖ The proposed application fits in with the character of the surrounding area and is desirable.
- ❖ There will be no impact on services.
- ❖ The proposal will make all structures compliant with the National Building Regulations.



<b>PLA<sup>n</sup> Active</b> Stads- en Streeklanners Town & Regional Planners	All dimensions approved/maakt and subject to survey. COPY RIGHT RESERVED	Property description: PTN 78 OF FARM HERMANUS RIVER NO. 842	Plan description: <b>LOCALITY MAP</b>	Scale: Drawing No. 1:1000 Date: AUGUST 2011
		NTS		



ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
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Attention is drawn to the inclusion of the  
 effect of Public Works Authority's 15/19/2007

Material: Timber Cladding  
 Windows: Timber-framed  
 Doors: Timber-framed  
 External Walls: Brickwork  
 Internal Walls: Plasterboard  
 Floor: Timber Decking

Colour Schedule  
 1:100

Electrical Code	Symbol	Description
1	(Symbol)	Single Phase
2	(Symbol)	Three Phase
3	(Symbol)	Lighting
4	(Symbol)	Power
5	(Symbol)	Water
6	(Symbol)	Gas
7	(Symbol)	TV
8	(Symbol)	Telephone
9	(Symbol)	Internet
10	(Symbol)	Other

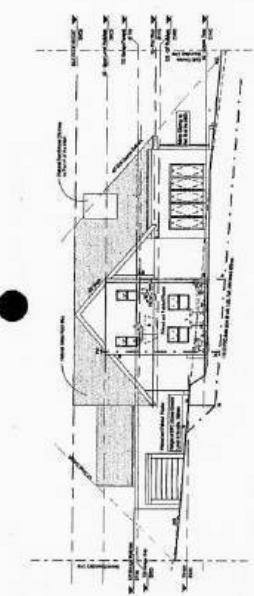
Electrical Legend  
 1:100

front architects (pty) ltd  
 2005-2007, 11-12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

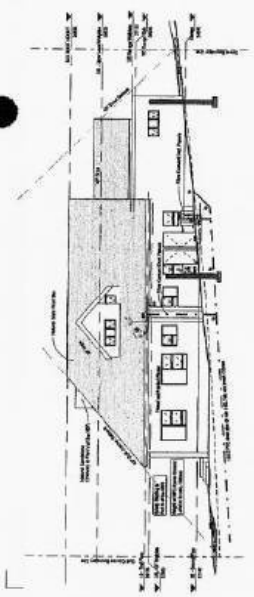
Carmen Lo Grange  
 As-built: Residence on Purton 19  
 Armois Country Estate

SHEET 2 of 3

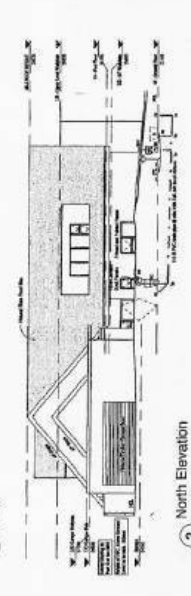
AS-BUILT PLANS  
 1834-02



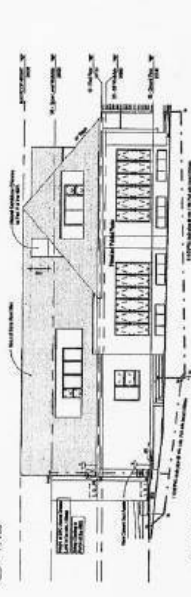
3 West Elevation  
 1:100



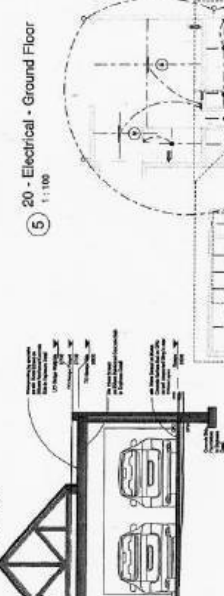
1 East Elevation  
 1:100



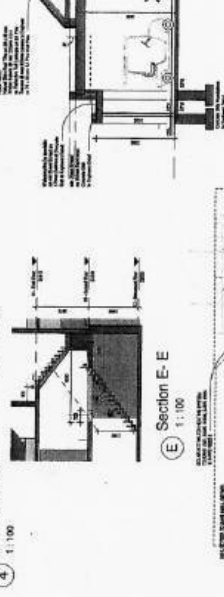
2 North Elevation  
 1:100



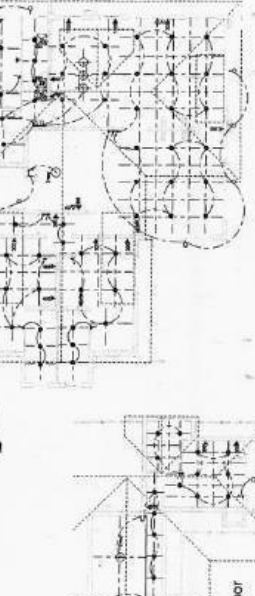
4 South Elevation  
 1:100



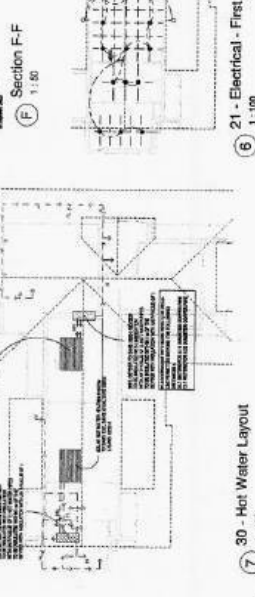
F Section F-F  
 1:50



E Section E-E  
 1:100



5 20 - Electrical - Ground Floor  
 1:100



7 30 - Hot Water Layout  
 1:100

6 21 - Electrical - First Floor  
 1:100

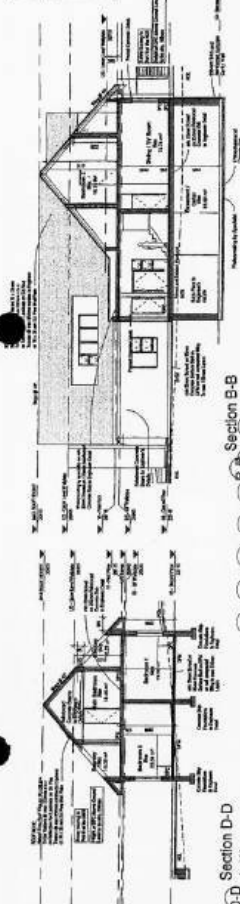
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.

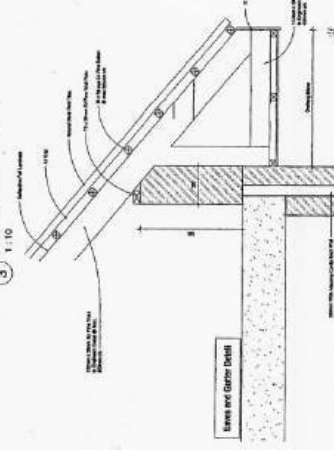
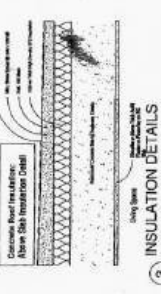


**Window Schedule**  
1:30

NO.	TYPE	FINISH	GLASS	SCREEN	OPERATION	LOCATION
1	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
2	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
3	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
4	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
5	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
6	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
7	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
8	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
9	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH
10	DOUBLE HUNG	WOOD	CLERESTORY	NO	MANUAL	FRONT PORCH

**Door Schedule**  
1:30

NO.	TYPE	FINISH	OPERATION	LOCATION
1	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
2	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
3	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
4	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
5	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
6	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
7	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
8	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
9	SLIP DOOR	WOOD	MANUAL	FRONT PORCH
10	SLIP DOOR	WOOD	MANUAL	FRONT PORCH



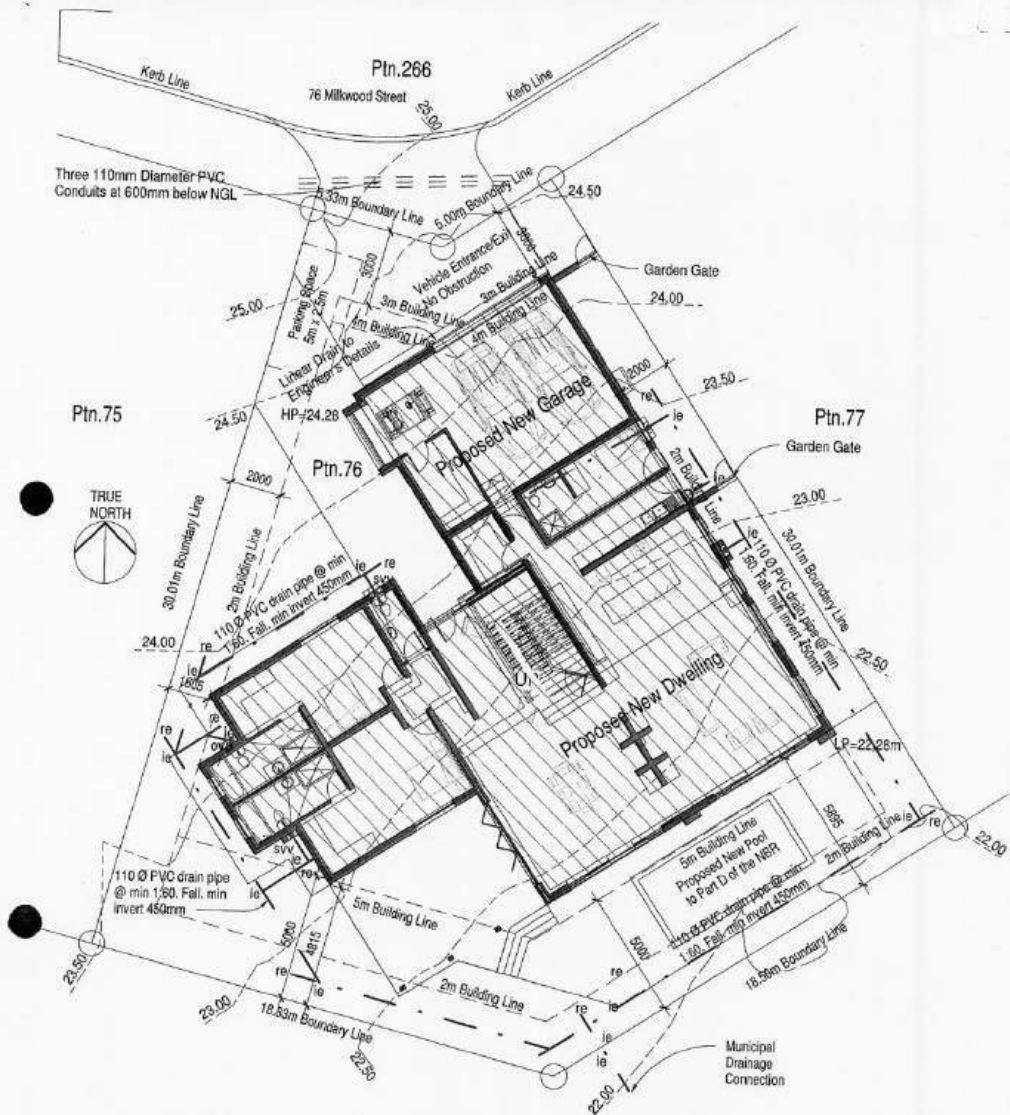
**found architecture (pvt) ltd**  
1001 10th Street, Suite 100, Fort Worth, TX 76102  
Phone: 817.332.1111  
www.foundarchitecture.com

**Client:** Carmen Lo Grings  
**Project:** As-built Residence on Fortson 76, Aransas County Estates

**DATE:** 10/15/2008  
**SCALE:** As shown @ 2/11

**AS-BUILT PLANS**  
1634 - 03

**SHEET 3 OF 3**



Name: Jerry & Carmen

1

01 Site Plan @ A4

1 : 200

Project: Proposed New Dwelling  
Portion 76, Arabella Country Estate

Date: 13/08/21



architecture (pty) ltd

Tel: 072 371 6452  
Fax: 086 672 6067  
E-mail: [brett@frond.co.za](mailto:brett@frond.co.za)  
URL: [www.frond.co.za](http://www.frond.co.za)

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE, DEVIATION FROM ARCHITECTURAL  
GUIDELINES & DETERMINATION OF ADMINISTRATIVE PENALTY: PORTION  
76 (PORTION OF PORTION 4) OF THE FARM HERMANUS RIVER NO. 542,  
ARABELLA COUNTRY ESTATE**

Water	:	No Service Available
Electricity	:	ESKOM to provide conditions
Sewer	:	No Service Available
Roadsand Traffic	:	No Service Available
Stormwater	:	No Service Available

**Conditions:**

1. that no additional Municipal services will be available;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any water and the distraction thereof;
3. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval prior to the land being put to the proposed use;
4. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

22/09/2021  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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Municipal Planning Tribunal

**1. ERF 45, 8 ONSE BAAI, VAN DYKSBAAI: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE: MESSRS WRAP PROJECT OFFICE ON BEHALF OF WEBB ELLIS HUIS (PTY) LTD**

**45 GKB**

**SW van der Merwe  
20 September 2021**

**(028) 313 8900 Hermanus Administration**

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**Executive Summary**

An application has been received on 21 September 2020 from Messrs WRAP Project Office on behalf of Webb Ellis Huis (Pty) Ltd in terms of the Overstrand Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) applicable to Erf 45, Van Dyksbaai for the following:

- ❖ application in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed conditions C.(2)(b) and C.(2)(d) as contained in the Title Deed T19705/2020;
- ❖ application for departure in terms of Section 16(2)(b) of the By-Law for the following:
  - relaxation of the south-western street building line from 4m to 0,269m and 0,533m respectively to accommodate the existing dwelling and stoep as well as a proposed enclosed patio/braai room.
  - relaxation of the south-western street building line from 4m to 3,749m to accommodate a proposed balcony overhang;
  - relaxation of the south-eastern lateral building line from 2m to 1,253m and 1,088m respectively to accommodate an existing bathroom, and
  - relaxation of the south-eastern lateral building line from 2m to 1,204m to accommodate the proposed fireplace/braai and enclosed stoep;
- ❖ application for determination of an administrative penalty in terms of Section 16(2)(q) of the By-Law to accommodate the existing building.

**RESOLVED:**

1. that the letters of objection and comment received be noted;
2. that the application in terms of Section 16(2)(f) of the Overstrand Municipality Amendment Bylaw on Land Use Planning, 2020 (By-Law) received from Messrs WRAP Project Office on behalf of Webb Ellis Huis (Pty) Ltd applicable to Erf 45, Van Dyksbaai for the removal of restrictive title deed conditions C.(2)(b) and C.(2)(d) as contained in Title Deed T19705/2020, be approved in terms of the provisions of Section 61 of the

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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By-Law;

3. that the application for departure in terms of Section 16(2)(b) of the By-Law for the encroachment of the south western street building line from 4m to 0,269m and 0,533m and the south eastern lateral building line from 2m to 1,253 and 1,088m to accommodate the existing dwelling (stoep and en-suite), be approved in terms of the provisions of Section 61 of the By-Law;
4. that the application for departure in terms of Section 16(2)(b) of the By-Law for the encroachment of the south western street building line from 4m to 3,749m to accommodate the proposed balcony overhang, be approved in terms of the provisions of Section 61 of the By-Law;
5. that the application for departure in terms of Section 16(2)(b) of the By-Law for the encroachment of the street building line from 4m to 0,269m and 0,533m and the 2m lateral building line to 1,204m to accommodate a proposed enclosed patio/braai room, be partially approved in terms of the provisions of Section 61 of the By-Law;
6. that the applicant be exempted from the payment of an administrative penalty in terms of Section 90(4) of the By-Law pertaining to the existing street- and lateral building line encroachments applicable to Erf 45, Van Dyksbaai;
7. that the decisions in paragraphs 2. to 5. above be subject to the following conditions:
  - (a) that a revised Site Development Plan be submitted for approval by the Authorised Official under delegated authority, indicating a reduced open canopy and fireplace which canopy and fireplace encroach the street and lateral building lines with 2m and 0,80m respectively;
  - (b) that the canopy and fireplace shall remain open and may not be enclosed;
  - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with at that stage
  - (d) that all the conditions in the Services Report be complied with.
  - (e) that all the conditions from Telkom be complied with
  - (f) that all other development parameters as prescribed in the relevant

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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Zoning Scheme, be complied with;

- (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation; and
8. that the applicant and objector/persons who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditions of approval.

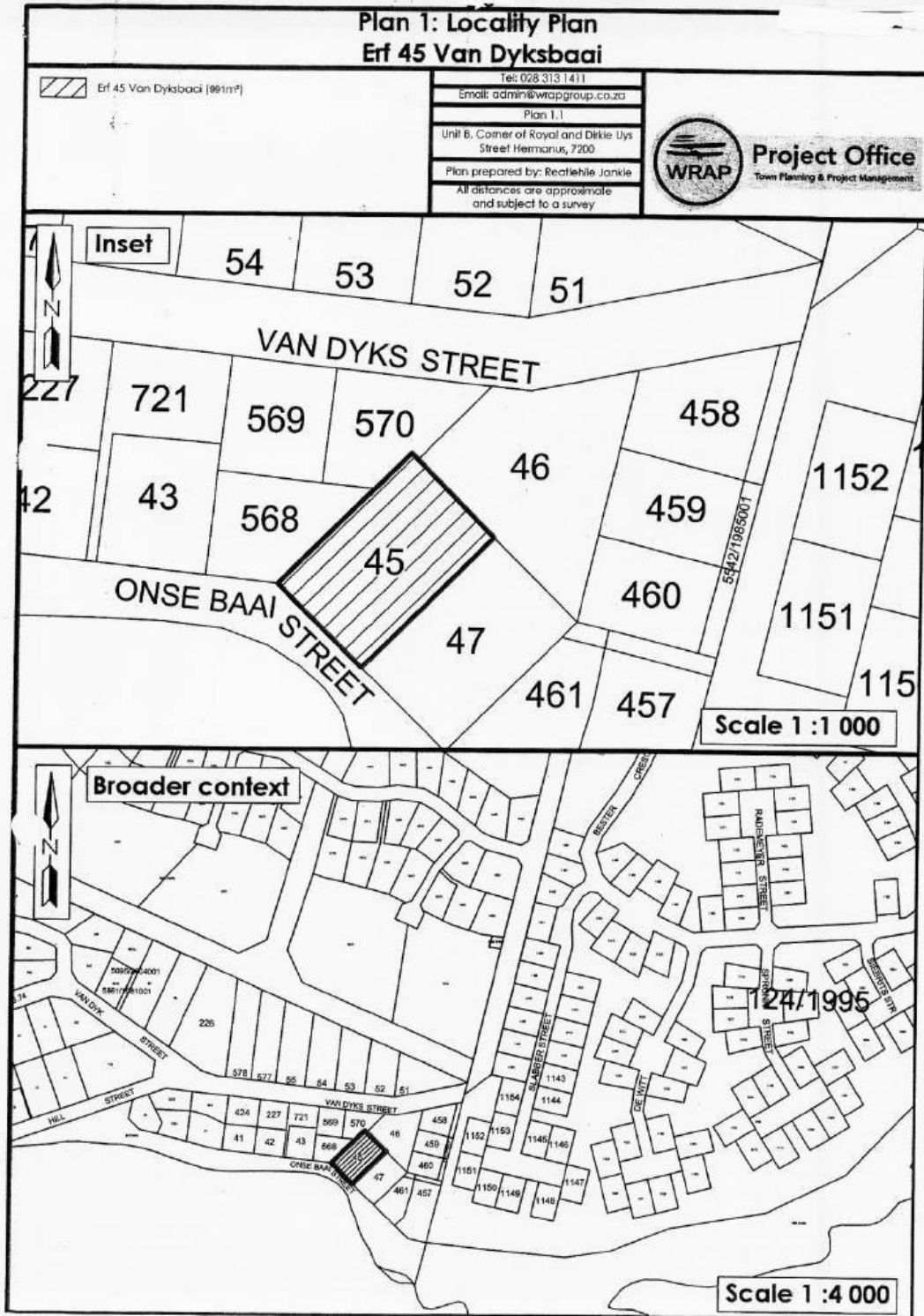
**REASONS FOR RESOLUTION**

Reasons for approval

- ❖ The application has followed due procedure.
- ❖ None of the relevant departments have any objection.
- ❖ The Overstrand Zoning Scheme Regulations has sufficient control measures in place when it comes to land use, coverage and building line controls.
- ❖ The proposal will not negatively impact on the existing/vested rights of adjoining property owners.
- ❖ The proposal is considered in line with the Municipality's SDF.
- ❖ The proposal is consistent with the planning principles in terms of LUPA and SPLUMA.

Reasons for partial approval of the enclosed patio/braai room

- ❖ The enclosed patio and braai room as proposed are not in line with the character and morphology of existing development within the cul-de-sac and is considered to adversely impact the character and visual amenity of the locality.
- ❖ An open canopy and fireplace encroaching the street- and lateral building lines with 2m and 0,8m respectively will have less visual impact and is not considered to unacceptably detract from the character of the street scape.



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- GENERAL:**
- All work to comply with NATIONAL BUILDING REGULATIONS.
  - All proposed levels to be checked by the client before any work commences.
  - All work to be carried out in accordance with local council requirements.
  - All work to be carried out in accordance with local council requirements.
  - All work to be carried out in accordance with local council requirements.
  - All work to be carried out in accordance with local council requirements.
  - All work to be carried out in accordance with local council requirements.
  - All work to be carried out in accordance with local council requirements.

**LEGEND:**

[Symbol]	New Brickwork
[Symbol]	New Timberwork - Plan view & Section
[Symbol]	New Bare Elements
[Symbol]	New Foundation/Concrete work
[Symbol]	Existing building/structures
[Symbol]	New Plasterwork - Elevations
[Symbol]	New Plasterwork - Sections & Elevations
[Symbol]	New Fire Protection Elements
[Symbol]	New Sewerage line - 150mm PVC
[Symbol]	New Waste line - 50mm PVC
[Symbol]	New Stormwater Line

**IMPORTANT NOTE:**  
THE FOLLOWING MUST BE STRICTLY ADHERED TO AND NOT VIOLATED BEFORE START OF WORKING!

- ALL GRADING ACCORDING TO RESTORATION CALCULATIONS
- ROOFING INSULATION IN ROOF VOID
- SEWAL OVERSIGHTS REVERSED

**PROJECT:**  
PROPOSED ADDITIONS ON ERF 45, HILL STREET 45, KLENBAAI, COASTAL DISTRICT MUNICIPALITY FOR WEBB ELLIS RUIS (PTY) LTD.

**SITE PLAN**

SHEET FORMAT:	A3
OCCUPATION:	H4
DRAWING #:	45/PK/20/1
SCALE:	As indicated
DRAWING DATE:	29 Sept 2020
DRAWN:	JLSSG
CHECKED:	JLSSG
DATE:	30 Oct 20 20:11:13

**ARCHITECTURE**  
www.gericke-architecture.co.za  
gericke@gericke-architecture.co.za  
SA 082 459 9516  
SA 082 459 9516  
SA 082 459 9516

**ENGINEERS DETAILS**

ERF 45 VANDYKSBAAI  
AREA 991.39 sqm

CADASTRAL INFO  
45A - 33232.678 3831864.816  
45B - 33250.716 3831836.986  
45C - 33278.512 3831854.811  
45D - 33250.679 3831862.639

JAVO WESTHUZEN  
BCSA 20120188

**REVISIONS:**

Submitted for Building Plans on 05 August 2020  
Date: 20 August 2020  
1. Added New garage  
2. Revised comments from building control on 18 September 2020.  
3. Approved all minor comments  
4. Added new entrance stairs  
5. Revised landscaping plan

Revised comments from building control on 18 September 2020.  
Date: 20 September 2020  
1. Approved all minor comments  
2. Added new entrance stairs  
3. Revised landscaping plan

Revised comments from building control on 18 September 2020.  
Date: 20 September 2020  
1. Approved all minor comments  
2. Added new entrance stairs  
3. Revised landscaping plan

**REVISIONS:**

Date: 29 September 2020  
1. Indicate existing retaining wall on road reserve as existing  
2. Added Eskom meter location and existing wall as NO access.  
3. Indicated electric meter and existing wall as NO access.  
4. Indicated Sleep FFL to NGL information.

Date: 30 October 2020  
1. Integrated building plan including all proposed work.  
2. Revised chimney  
3. Removed proposed retaining wall on road reserve.

**SCHEDULE OF RIGHTS**

PROPERTY DESCRIPTION  
Erf Number: 45  
Erf Area: 991m<sup>2</sup>

SH - Area ALENBAAI

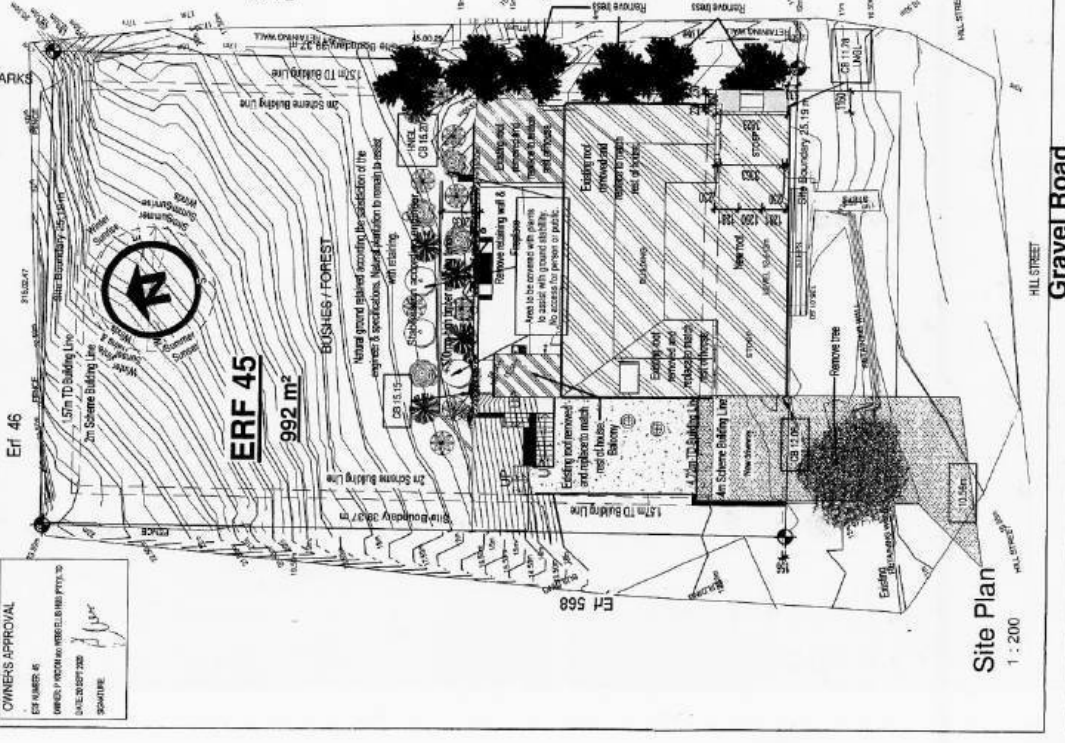
ZONING INFORMATION  
Town planning Scheme: OVERSTRAND  
Use Zone: GENERAL RESIDENTIAL ZONE 1: SINGLE RESIDENTIAL

DEVELOPMENT CONTROL MEASURES

Control	Actual	TOTAL AREA:
Height	3.40m	Existing ceiling
Coverage	27.88%	New garage
Floor Area	276.33m <sup>2</sup>	New existing & slabs
No Dwellings per Erf	1	New Garage
		3.50m <sup>2</sup>

The information provided above is hereby confirmed to be correct & precise

Name: J.E. GERICKE  
Date: 30 AUGUST 2020  
Signature: [Signature]  
Plan No: 45/PK/20/1



**OWNERS APPROVAL**

ERF NUMBER: 45  
DATE: 29/09/2020  
SIGNATURE: [Signature]

**ENGINEERS APPROVAL**

DATE: 30/08/2020  
SIGNATURE: [Signature]

**REVISIONS:**

Date: 29 September 2020  
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PROPERTY DESCRIPTION  
Erf Number: 45  
Erf Area: 991m<sup>2</sup>

SH - Area ALENBAAI

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Use Zone: GENERAL RESIDENTIAL ZONE 1: SINGLE RESIDENTIAL

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Height	3.40m	Existing ceiling
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Floor Area	276.33m <sup>2</sup>	New existing & slabs
No Dwellings per Erf	1	New Garage
		3.50m <sup>2</sup>

The information provided above is hereby confirmed to be correct & precise

Name: J.E. GERICKE  
Date: 30 AUGUST 2020  
Signature: [Signature]  
Plan No: 45/PK/20/1

**ARCHITECTURE**  
www.gericke-architecture.co.za  
gericke@gericke-architecture.co.za  
SA 082 459 9516  
SA 082 459 9516  
SA 082 459 9516

**CUT THROUGH NOTE**

THIS DRAWING IS SUBJECT TO THE NATIONAL BUILDING REGULATIONS. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS. THE DRAWING IS TO BE USED AS A GUIDE ONLY. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS. THE DRAWING IS TO BE USED AS A GUIDE ONLY. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

- GENERAL:**
- All work to comply with NATIONAL BUILDING REGULATIONS.
  - The drawing is to be used as a guide only. The client is responsible for the accuracy of the information provided.
  - All work is to be completed in accordance with the NATIONAL BUILDING REGULATIONS.
  - Refer to the relevant sections of the NATIONAL BUILDING REGULATIONS for further information.
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**LEGEND:**

	New Brickwork
	New Timberwork - Plan View & Section
	New Steel Elements
	New Foundations/Concrete work
	Existing buildings/structures
	New Plasterwork - Elevations
	New Timberwork - Sections & Elevations
	New Fire Protection Elements
	New Scaffolding - 11mm PVC
	New Wetall Ins - 50mm PVC
	New Stormwater Line

**IMPORTANT NOTE:**  
THE FOLLOWING IS TO BE STRICTLY ADHERED TO AND INSTALLED BEFORE START OF SHEETING

- ALL GLAZING ACCORDING TO DIMENSION CALCULATIONS
- ROOF INSULATION IN ROOF VOID
- GROUND RESISTANCE TEST

**PROJECT:**  
PROPOSED ADDITIONS ON ERF 45, HILL STREET  
45, KLEINBAAL, OVERSTRAND FOR WEBB BILLS  
HUS (PTY) LTD.

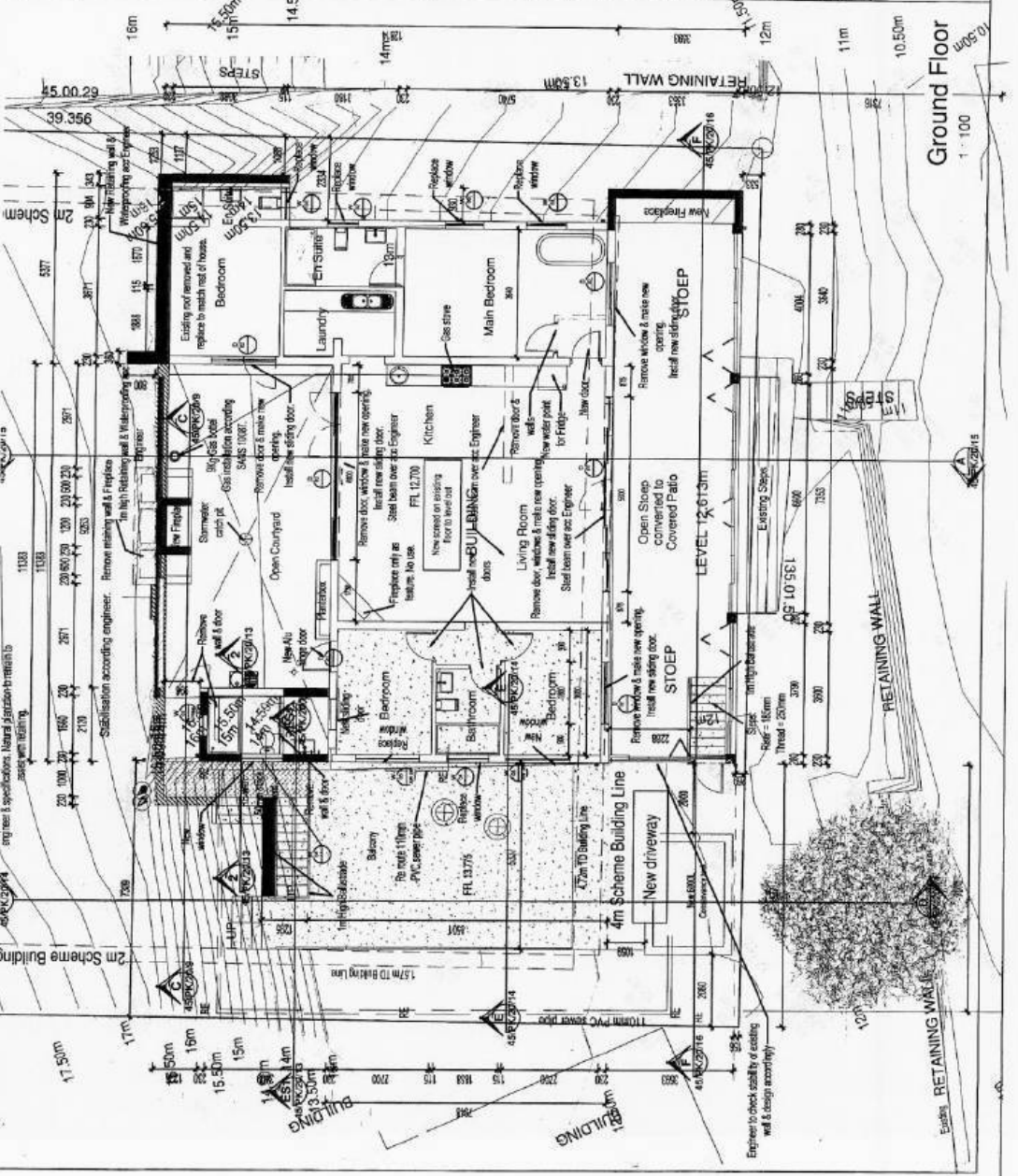
**DESCRIPTION:**  
GROUND FLOOR LAYOUT

**SHEET FORMAT:**  
A3  
**OCCUPATION:**  
H4

**SCALE:**  
1 : 100  
**DRAWING DATE:**  
29 Sept 2020  
**DRAWING #:**  
45/PK/20/2

**DRAWN:**  
Author  
**CHECKED:**  
Checker  
**PLUT DATE:**  
30-Oct-20 2:01:19 PM

**SIGNATURE:**  
*[Signature]*  
**www.gerlock-architecture.co.za**  
**gerlock@gerlock-architecture.co.za**  
**Tel: 028 364 1659 Fax: 082 463 8554**  
**SACAP : DEASS Prof Arch Drought**



**GENERAL NOTE**

THIS DRAWING IS SUBJECT TO APPROVAL BY THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES.

**GENERAL:**

- 1. ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS.
- 2. THE DRAWING IS TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPLICABLE LOCAL AND NATIONAL REGULATORY AUTHORITIES.

**LEGEND:**

- New Brickwork
- New Timberwork - Plan View & Section
- New Steel Elements
- New Foundation/Concrete work
- Existing building/structures
- New Timberwork - Elevations
- New Fire Protection Elements
- New Fire Protection Elements
- New Waste Line - 150mm PVC
- New Waste Line - 50mm PVC
- New Stormwater Line

**IMPORTANT NOTE:**

- 1. ALL WORKING MUST BE STRICTLY ADVISED TO AND INSTALLED BEFORE START OF CONSTRUCTION.
- 2. ALL WORKING MUST BE STRICTLY ADVISED TO AND INSTALLED BEFORE START OF CONSTRUCTION.
- 3. ALL WORKING MUST BE STRICTLY ADVISED TO AND INSTALLED BEFORE START OF CONSTRUCTION.

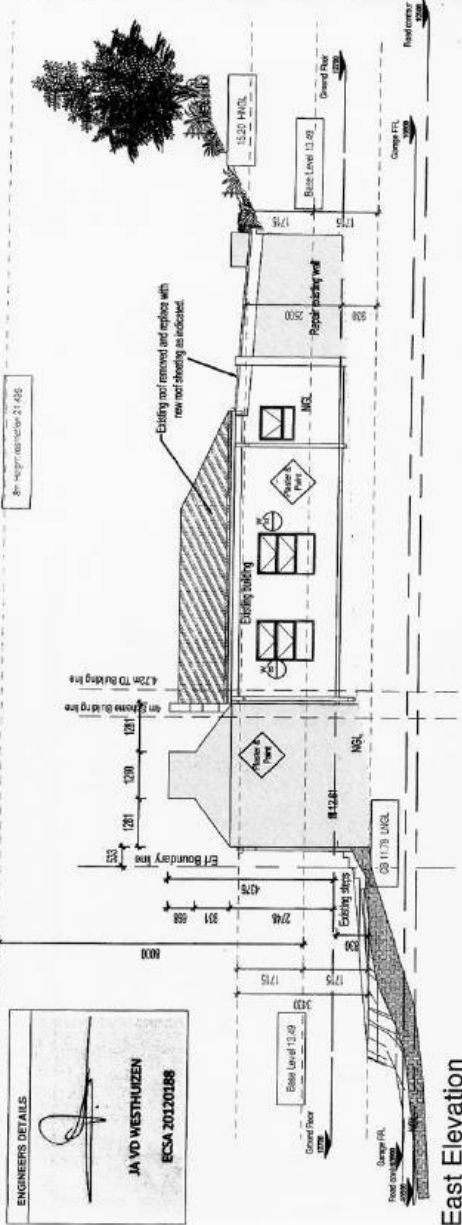
PROJECT: PROPOSED ADDITIONS ON ERF 45, HILL STREET 45, KLEINBAAI, OVERSTRAND FOR WEBB ELLIS - HUIS (PTY) LTD.

**DESCRIPTION:**

**ELEVATIONS 1**

SHEET FORMAT: A3	OCCUPATION: H4
SCALE: As indicated	DRAWING #: 45/PK/20/6
DRAWING DATE: 29 Sept 2020	DRAWN: Author
CHECKED: Checker	PLACED DATE: 30-Oct-20 2:01:46 PM

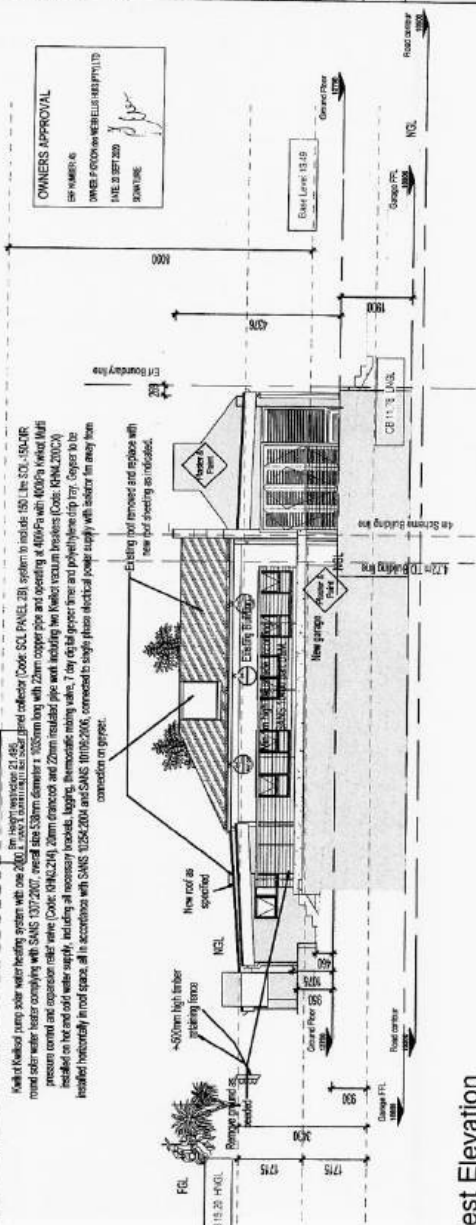
Signature: [Handwritten Signature]  
 Project: Hillside Architecture  
 Tel: 0868 364 3559  
 Fax: 0868 459 8554  
 Email: info@hillside.co.za



East Elevation  
1 : 100

**ENGINEERS DETAILS**

**JA VO WESTHUIZEN**  
 ECSA 20120188



West Elevation  
1 : 100

In terms of the National Building Regulations and Building Standards Act, 1977 (Act No. 107 of 1977) as amended, the applicant hereby declares that the proposed additions on Erf 45, Hill Street 45, Kleinbaai, Overstrand for Webb Ellis - Huis (Pty) Ltd. are in accordance with the approved plans and specifications. The applicant hereby declares that the proposed additions are in accordance with the approved plans and specifications. The applicant hereby declares that the proposed additions are in accordance with the approved plans and specifications.



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED  
CONDITIONS & DEPARTURE: ERF 45, VAN DYKSBAAI**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing, standard electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 45, Van Dyksbaai, unobstructed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

**2. ERF 1132, HAWSTON, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE AND DEPARTURES: MESSRS HIGHWAVE CONSULTANTS ON BEHALF OF HAWSTON SECONDARY SCHOOL FOR PROVINCIAL GOVERNMENT: WESTERN CAPE**

**1132 HHW**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**23 September 2021**

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**Executive Summary**

An application was received on 4 December 2020 from Messrs Highwave Consultants on behalf of Hawston Secondary School for Provincial Government: Western Cape on Erf 1132, Hawston for an application in terms of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the following:

- ❖ Consent use in terms of Section 16(2)(b) of the By-Law to erect a 25m high transmission apparatus on the property.
- ❖ Departures in terms of Section 16(2)(b) of the By-Law for the following:
  - To relax the 5m rear and northern lateral building line to 0m to accommodate the proposed transmission apparatus.
  - To exceed the applicable 10,5m height restriction in order to accommodate a proposed 25m high transmission apparatus.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 on Erf 1132, Hawston for a consent use to allow the construction of a 25m high transmission apparatus, be approved in terms of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 on Erf 1132, Hawston for the following departures to accommodate the proposed transmission apparatus,
  - ❖ to relax the 5m rear and northern lateral building line to 0m, and
  - ❖ to exceed the applicable height restriction from 10,5m to 25m;

**be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

3. that the approvals in 1. and 2. above be subject to the following conditions:
  - (a) that the transmission apparatus be restricted to the development indicated on Plan 2953-D-003RevE(undated), 2953-D-005RevE(undated) and elevation plan 2953-D-006RevE(undated) submitted with the application;
  - (b) that should the transmission tower becomes defunct, the structures be removed to an approved landfill site;
  - (c) that all the conditions in the Service Report be complied with;
  - (d) that the conditions in the letter from Telkom be complied with;
  - (e) that the conditions in the letter from Eskom be complied with;
  - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (g) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with; and
  - (h) that building plan be submitted to the Building Department for approval.
  
4. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above-mentioned approval.

**REASONS FOR RESOLUTION**

- ❖ All relevant departments and institutions support the application.
- ❖ The position of the transmission tower will not be close to residential or other development and would not impact on the character of such areas.
- ❖ The position of the 25m tower is a fair distance from the R43 District Road and on a much lower contour height, which will limit its visual impact.
- ❖ The objections received relate to the benefit to the community. The applicant did successfully address the objections indicating that during the construction of the tower local labour could be used.
- ❖ It is a relatively high tower (25m), but this will help ensure that a wider area can be served.
- ❖ The departures for building lines will ensure that limited school yard space will be used to accommodate the transmission apparatus.
- ❖ The application is desirable.



ERF 1132, HAWSTON  
LOCALITY PLAN



CHURCH STREET (271)

ACACIA CRESCENT (1651)

GARDENIA STREET (528)

ESSEX ROAD (458)

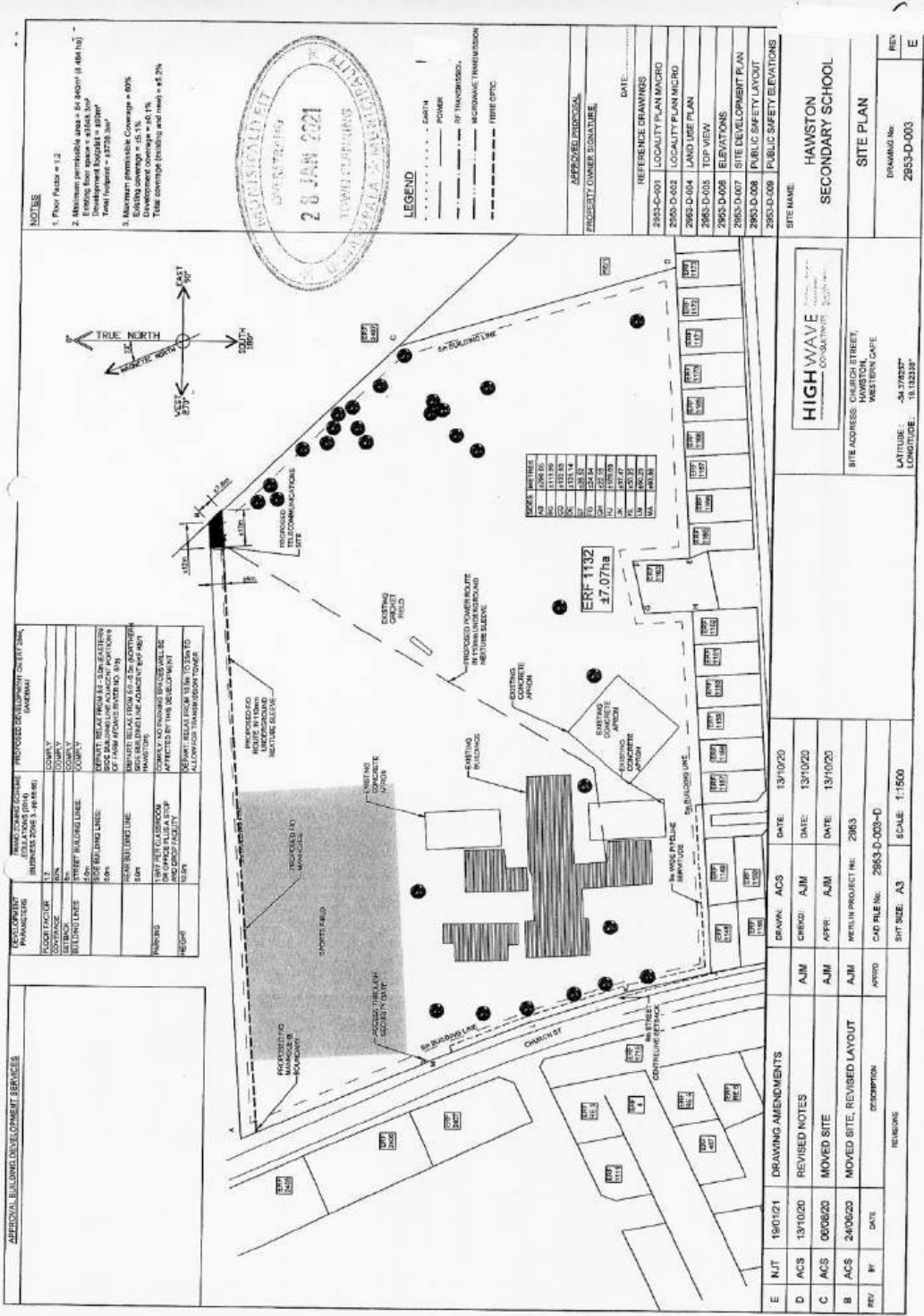
WOODLANDS ROAD (1533)

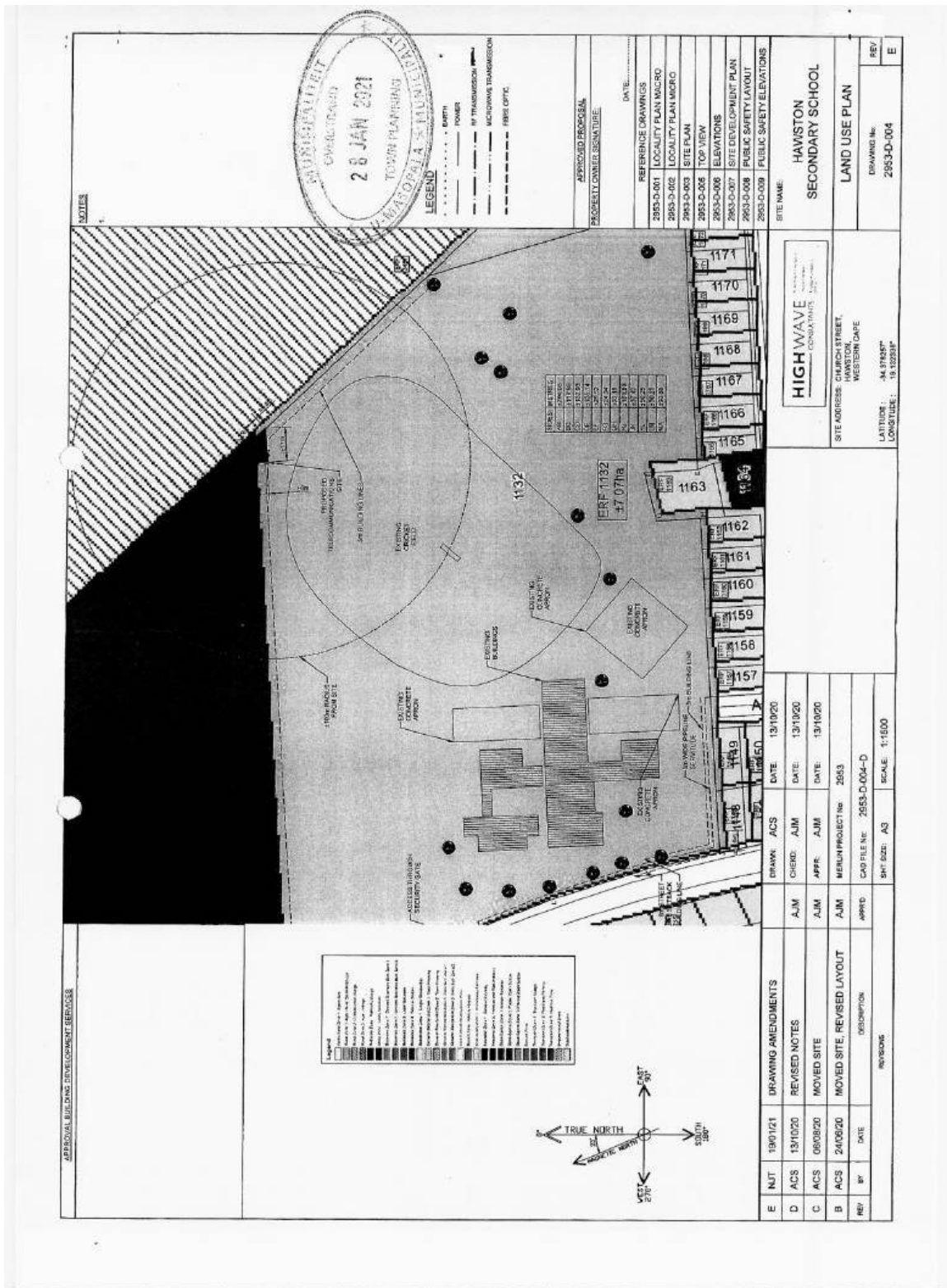
DOWNING STREET (392)

1132

575/6

2394



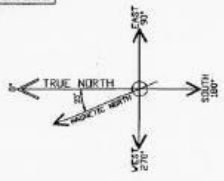


NOTES

APPROVAL BUILDING DEVELOPMENT SERVICES

Legend

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[Symbol]	EXISTING BUSH
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APPROVED PROPOSED

PROPERTY OWNER SIGNATURE

DATE

REFERENCE DRAWINGS

2053-D-001	LOCALITY PLAN MACRO
2053-D-002	LOCALITY PLAN MICRO
2053-D-003	SITE PLAN
2053-D-004	TOP VIEW
2053-D-005	ELEVATIONS
2053-D-007	SITE DEVELOPMENT PLAN
2053-D-008	PUBLIC SAFETY LAYOUT
2053-D-009	PUBLIC SAFETY ELEVATIONS

SITE NAME

HAWSTON SECONDARY SCHOOL

LAND USE PLAN

DRAWING No: 2053-D-004

REV: E

HIGH WAVE CONSULTANTS

SITE ADDRESS: CHURCH STREET, HAWSTON, WESTERN CAPE

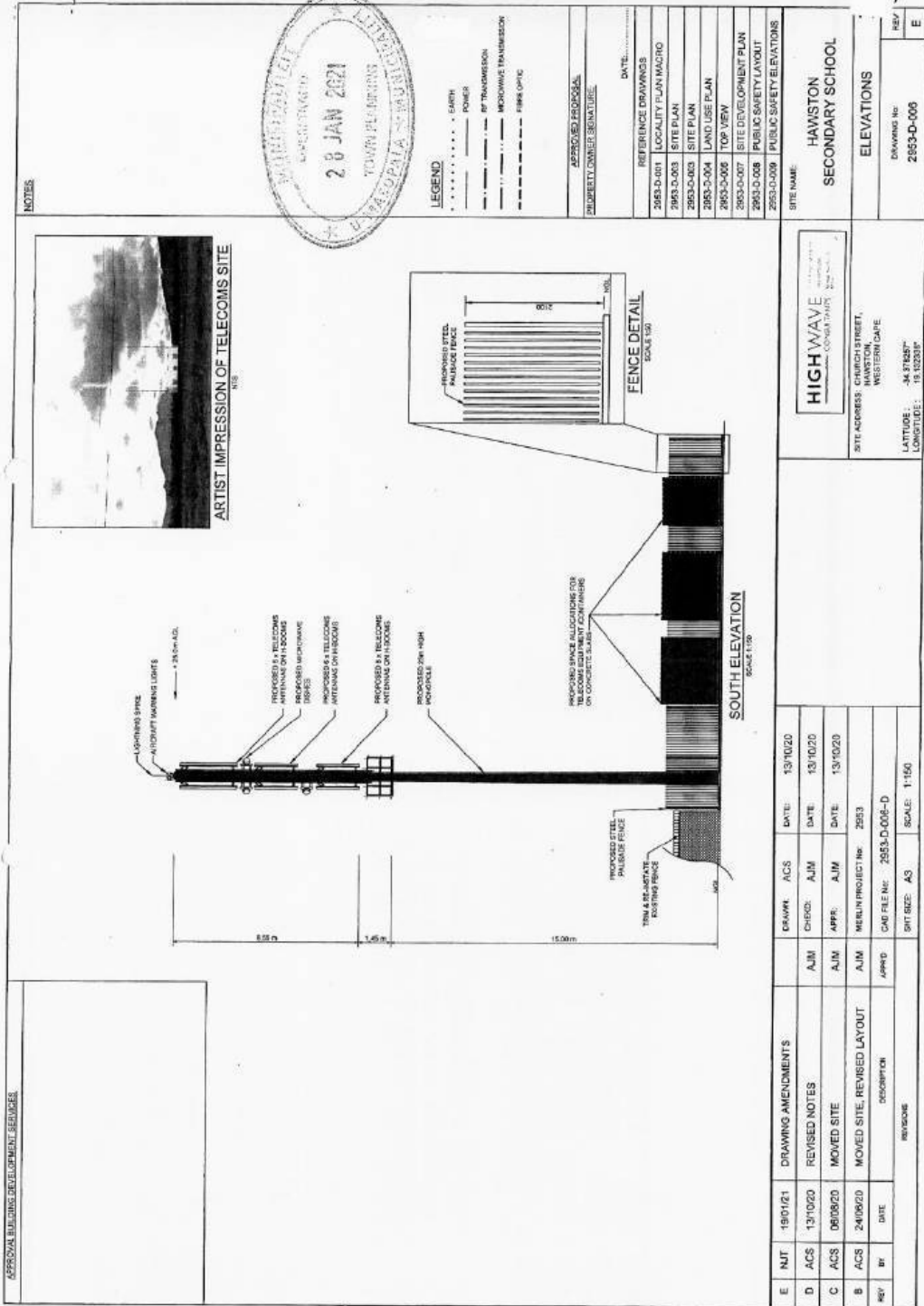
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LONGITUDE: 19.12239°

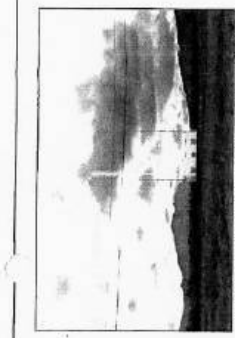
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CHECKED	AJM	DATE	13/10/20
APPR	AJM	DATE	13/10/20
MEMO PROJECT NO	2053		
CAD FILE NO	2053-D-004-D		
SHEET SIZE	A3		
SCALE	1:1600		

REV	BY	DATE	DESCRIPTION
E	NJT	19/01/21	DRAWING AMENDMENTS
D	ACS	13/10/20	REVISED NOTES
C	ACS	08/08/20	MOVED SITE
B	ACS	24/06/20	MOVED SITE, REVISED LAYOUT
APPR	APPR		





NOTES



**LEGEND**

- ..... GARTH
- ..... POWER
- ..... RF TRANSMISSION
- ..... MICROWAVE TRANSMISSION
- ..... FIBRE OPTIC

APPROVED PROPOSALS

PRIORITY OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

2953-D-001	LOCALITY PLAN MACRO
2953-D-003	SITE PLAN
2953-D-003	SITE PLAN
2953-D-004	LAND USE PLAN
2953-D-006	TOP VIEW
2953-D-007	SITE DEVELOPMENT PLAN
2953-D-008	PUBLIC SAFETY LAYOUT
2953-D-009	PUBLIC SAFETY ELEVATIONS

SITE NAME: **HAWSTON SECONDARY SCHOOL**

ELEVATIONS

DRAWING NO: 2953-D-006

REV: E

APPROVAL BUILDING DEVELOPMENT SERVICES

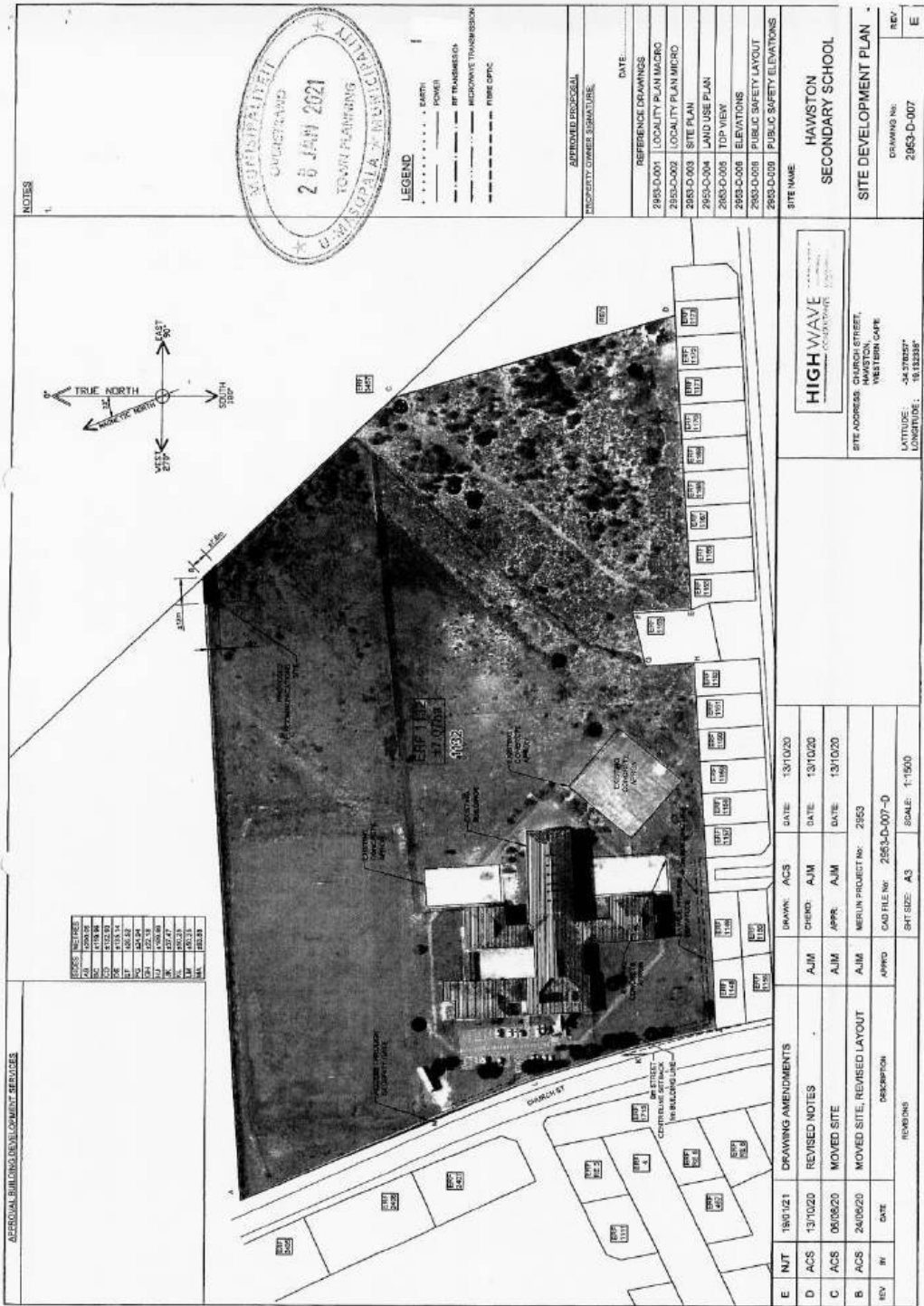
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D	13/10/20	REVISED NOTES	ALM	13/10/20	
C	05/09/20	MOVED SITE	ALM	13/10/20	
B	24/06/20	MOVED SITE, REVISED LAYOUT	ALM	2953	
REV	BY	DATE	DESCRIPTION	APPROD	SCALE

CAD FILE NO: 2953-D-006-D  
SHT SIZE: A3

**HIGH WAVE**  
CONSULTANTS

SITE ADDRESS: CHURCH STREET,  
HAWSTON,  
WESTERN DISTRICT

LATITUDE: -34.57625°  
LONGITUDE: 15.10231°



NOTES

REV	DATE	DESCRIPTION
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A2	13/10/20	ISSUED FOR PERMIT
B1	13/10/20	ISSUED FOR PERMIT
B2	13/10/20	ISSUED FOR PERMIT
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B100	13/10/20	ISSUED FOR PERMIT



**LEGEND**  
 - - - - - DRAIN  
 - - - - - POWER  
 - - - - - RF TRANSMISSION  
 - - - - - MICROWAVE TRANSMISSION  
 - - - - - FIBRE OPTIC

APPROVED PROFESSIONAL PROPERTY OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

REFERENCE DRAWINGS:  
 2853-D-001 LOCALITY PLAN MACRO  
 2853-D-002 LOCALITY PLAN MICRO  
 2853-D-003 SITE PLAN  
 2853-D-004 LAND USE PLAN  
 2853-D-005 TOP VIEW  
 2853-D-008 ELEVATIONS  
 2853-D-008 PUBLIC SAFETY LAYOUT  
 2853-D-008 PUBLIC SAFETY ELEVATIONS

SITE NAME: **HAWSTON SECONDARY SCHOOL**

SITE DEVELOPMENT PLAN

DRAWING NO: 2853-D-007

REV: E

**HIGH WAVE CONSULTANTS**  
 SITE ADDRESS: CHURCH STREET, WESTERN GATE  
 LATITUDE: -44.570257  
 LONGITUDE: -10.132298

REV	DATE	DESCRIPTION	APPROV	DATE	DESCRIPTION
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D	13/10/20	REVISED NOTES	AJM	13/10/20	
C	06/06/20	MOVED SITE	AJM	13/10/20	
B	24/05/20	MOVED SITE, REVISED LAYOUT	AJM	2853	

REV	DATE	DESCRIPTION	APPROV	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION	APPROV	DATE	DESCRIPTION
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B	24/05/20	MOVED SITE, REVISED LAYOUT	AJM	2853	

CAD FILE NO: 2853-D-007-D  
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 SCALE: 1:1500



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 1132, HAWSTON**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Senior Operational Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1132, Hawston, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

  
**DENNIS HENDRIKS**  
**SENIOR MANAGER: ENGINEERING SERVICES**

  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

---

**3. PORTION 4 (PORTION OF PORTION 1) OF FARM KLEIN RIVIER KLOOF NO. 660, CALEDON DIVISION, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE AND AMENDMENT OF THE APPROVED SITE DEVELOPMENT PLAN: MESSRS WRAP PROJECT OFFICE ON BEHALF OF WHITE WATER FARM CC**

**Prt 4 of 660**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**9 September 2021**

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**Executive Summary**

An application in terms of the provisions of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) has been received on 17 September 2020 from Messrs WRAP Project Office on behalf of White Water Farm CC.

- consent use in terms of Section 16(2)(o) to accommodate a place of entertainment, additional dwelling unit, tourist accommodation and wellness centre (micro spa) on the property, and
- amendment of the approved Site Development Plan in terms of Section 16(2)(l) to accommodate a place of entertainment as well as the proposed consent uses.

**RESOLVED:**

1. that the comments be noted;
2. that the application received on Portion 4 of the Farm No. 660, Division Caledon for the following
  - consent use in terms of Section 16(2)(o) of the By-law to accommodate a place of entertainment, additional dwelling unit, tourist accommodation and wellness centre (micro spa) on the property, and
  - amendment of the approved Site Development Plan in terms of Section 16(2)(l) of the By-law to accommodate a place of entertainment as well as the proposed consent uses, be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
    - (a) that the development be restricted as indicated on the revised Site Development Plan; Plan no 3.2.1, as submitted with the application;
    - (b) that the functions to be held on the farm be limited to the inside of the new entertainment venue;
    - (c) that the functions held on the farm be limited to 64 people;

**AGENDA of the  
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- (d) that should complaints be received from the adjacent property owners, then the property owner of Portion 4 of the Farm No. 660, Division Caledon will have to soundproof the structure. Should additional complaints be received a noise level test must be done at the account of the property owner to determine the noise levels, and additional measures be implemented, if required;
  - (e) that building plans be submitted to the Building Department for approval and that any conditions by the Building Department and Fire Services at the time, be adhered to;
  - (f) that the conditions of Fire Services, Department of Transport and Public Works, Engineering Services and Open Service be adhered to;
  - (g) that the venue may only be used between 7:00am and 24:00pm, but preparation of the venue may take place before the set times;
  - (h) that a Certificate of Acceptability from the Health Section of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
  - (i) that no accumulation of refuse occurs on the premises and that refuse be disposed of at the Municipal transfer station;
  - (j) that this approval does not absolve the applicant from compliance with any other relevant legislation; and
  - (k) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
3. that the applicant and persons who commented be notified of their right to appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above conditional approval.

**REASONS FOR THE RESOLUTION:**

- ❖ The application has followed due procedure.
- ❖ None of the internal departments have any objection.
- ❖ The proposal is regarded as being compatible with the existing land uses and zoning of the property.
- ❖ The development is regarded as being desirable from a town planning perspective.

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- ❖ The proposed development will not impact the natural environment.
- ❖ The proposed development will not have a negative impact on the of the surrounding area.
- ❖ The proposal is consistent with the SDF, 2020.

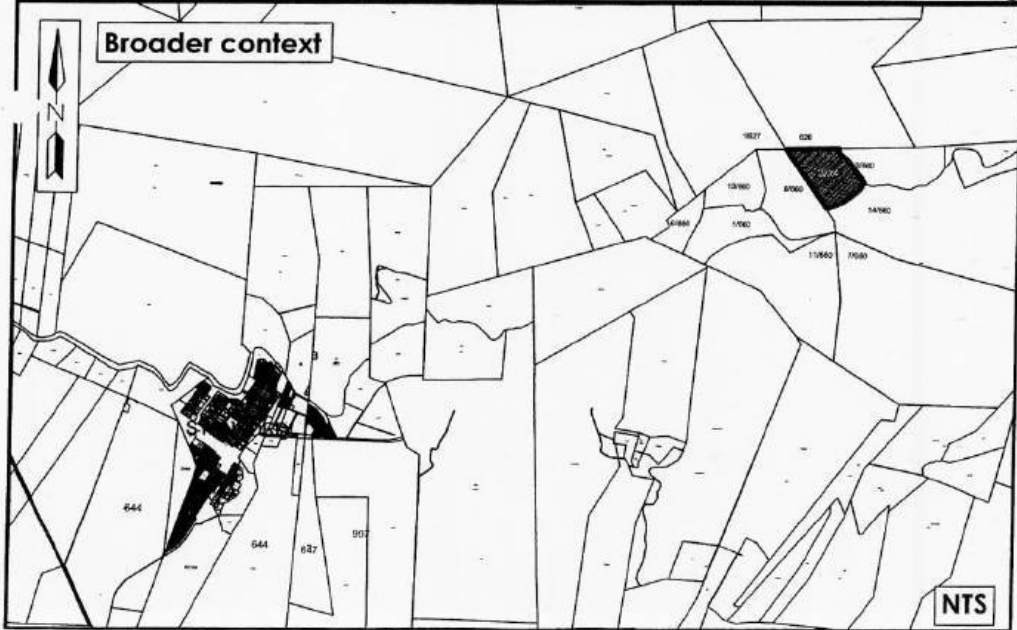
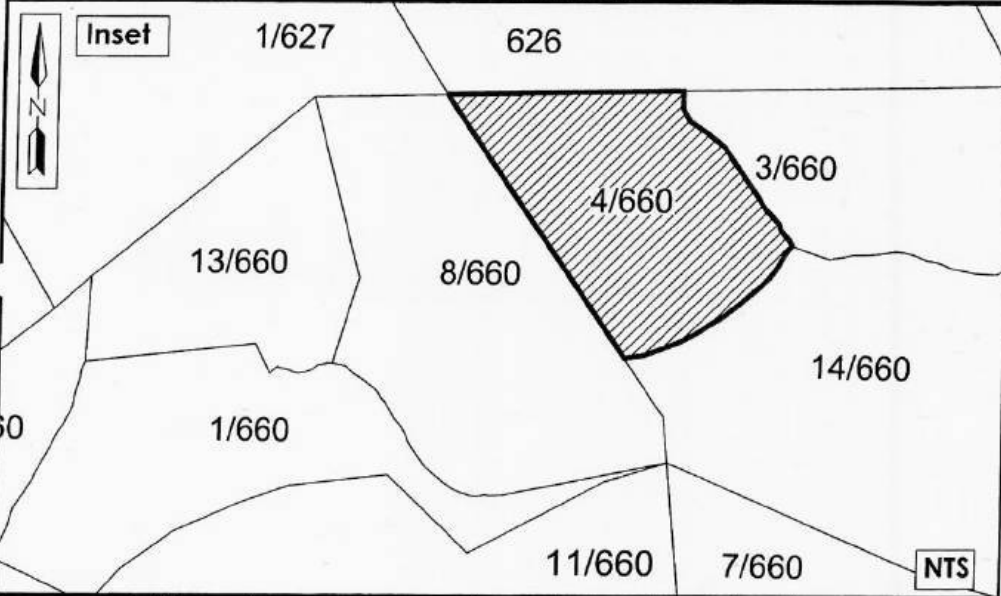
### Plan 1: Locality Plan Portion 4 of Farm Kleinrivier Kloof 660, Caledon

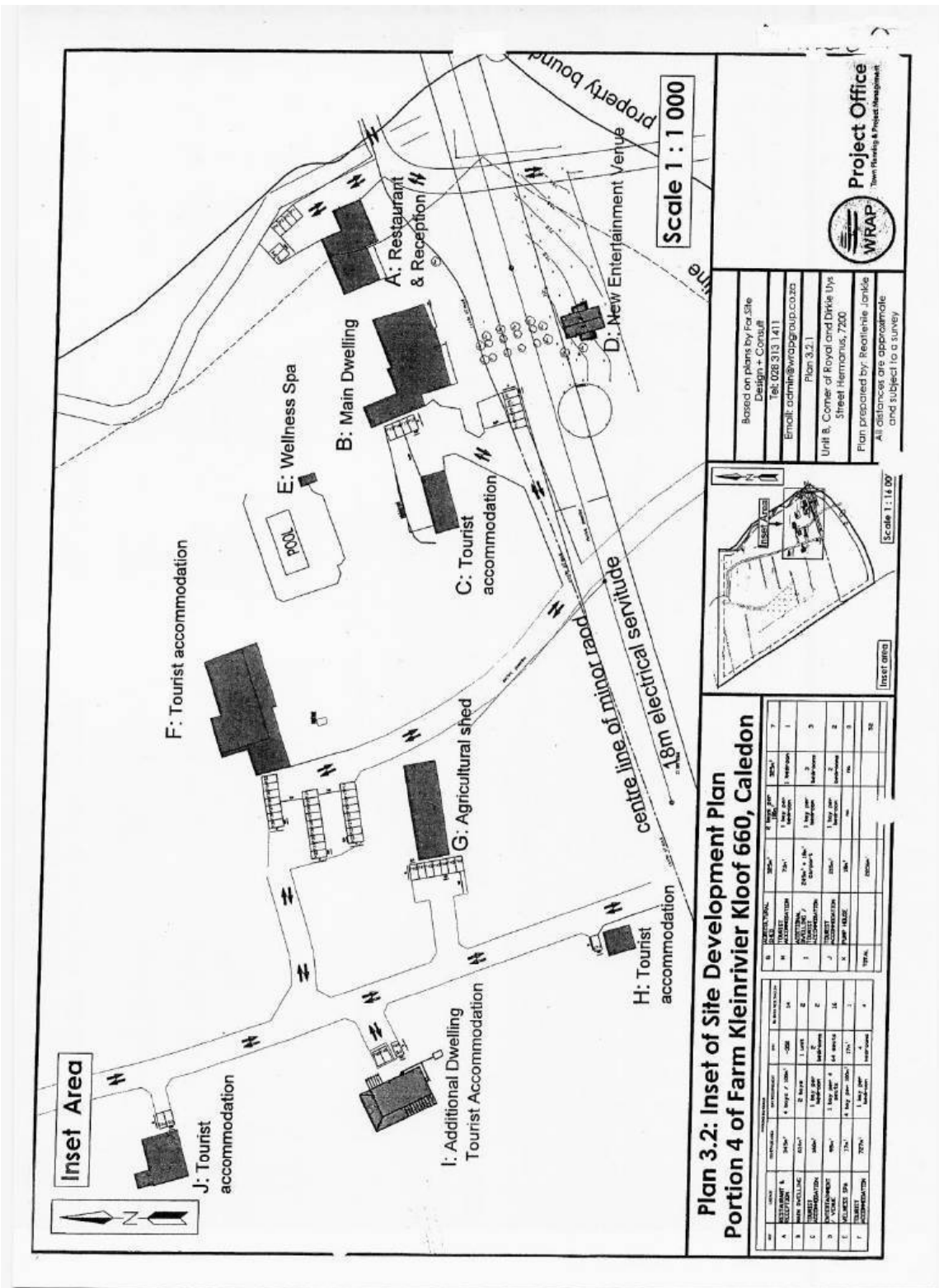
 Subject property (50,3843 ha)

Tel: 028 313 1411  
Email: admin@wrapgroup.co.za  
Plan 1.1  
Unit 8, Corner of Royal and Dikkie Uys  
Street Hermanus, 7200  
Plan prepared by: RealEstate Janke  
All distances are approximate  
and subject to a survey



**Project Office**  
Town Planning & Project Management





**Plan 3.2: Inset of Site Development Plan  
Portion 4 of Farm Kleinrivier Kloof 660, Caledon**

NO	AREA	DESCRIPTION	AREA (m <sup>2</sup> )	PERCENTAGE	NO	AREA	DESCRIPTION	AREA (m <sup>2</sup> )	PERCENTAGE
A	RESTAURANT & RECEPTION	250m <sup>2</sup>	25%	1	1	1	1	1	1
B	MAIN DWELLING	400m <sup>2</sup>	40%	2	2	2	2	2	2
C	WELLNESS SPA	100m <sup>2</sup>	10%	3	3	3	3	3	3
D	TOURIST ACCOMMODATION	100m <sup>2</sup>	10%	4	4	4	4	4	4
E	POOL	100m <sup>2</sup>	10%	5	5	5	5	5	5
F	TOURIST ACCOMMODATION	100m <sup>2</sup>	10%	6	6	6	6	6	6
G	AGRICULTURAL SHED	100m <sup>2</sup>	10%	7	7	7	7	7	7
H	TOURIST ACCOMMODATION	100m <sup>2</sup>	10%	8	8	8	8	8	8
I	ADDITIONAL DWELLING	100m <sup>2</sup>	10%	9	9	9	9	9	9
J	TOURIST ACCOMMODATION	100m <sup>2</sup>	10%	10	10	10	10	10	10
TOTAL		1000m <sup>2</sup>	100%						



**Project Office**  
Town Planning & Project Management

Based on plans by Eco Site Design + Consult  
Tel: 028 313 1411  
Email: admin@wrapproj.co.za  
Plan 3.2.1  
Unit 8, Corner of Royal and Bible Dye Street, Hermanus, 7200  
Plan prepared by: Reonnie Janke  
All distances are approximate and subject to a survey

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE & AMENDMENT OF SITE  
DEVELOPMENT PLAN: FARM NO.660/4, KLEIN RIVIER KLOOF**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water and sewer services from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
6. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma.

*p.p. R. Coblen*  
DENNIS HENDRIKS

SENIOR MANAGER: ENGINEERING SERVICES

*11/03/2021*  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**4. ERF 6180, 8 HARBOUR ROAD, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: HIGHWAVE CONSULTANTS (PTY) LTD ON BEHALF OF IMMENHOF HOMESTEAD APIARY CC**

**6180 KKM**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**25 September 2021**

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**Executive Summary**

An application has been received on 25 October 2019 from Highwave Consultants on behalf of Blue Sky Towers on Erf 6180, Kleinmond in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following departures to accommodate the proposed transmission tower:

- ❖ to exceed the applicable 12m height restriction in order to accommodate the proposed 15m high transmission tower on the above property;
- ❖ to relax the northern lateral building lines from 2m to 0m, and
- ❖ to relax the rear building line from 2m to 0m.

**RESOLVED:**

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 6180, Kleinmond for the following departures to accommodate the proposed transmission tower:

- ❖ to exceed the applicable 12m height restriction in order to accommodate the proposed 15m high transmission tower on the above property;
- ❖ to relax the northern lateral building lines from 2m to 0m, and
- ❖ to relax the rear building line from 2m to 0m.

**not be approved**, in terms of the provision of the section 61 of the Municipal Bylaw.

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

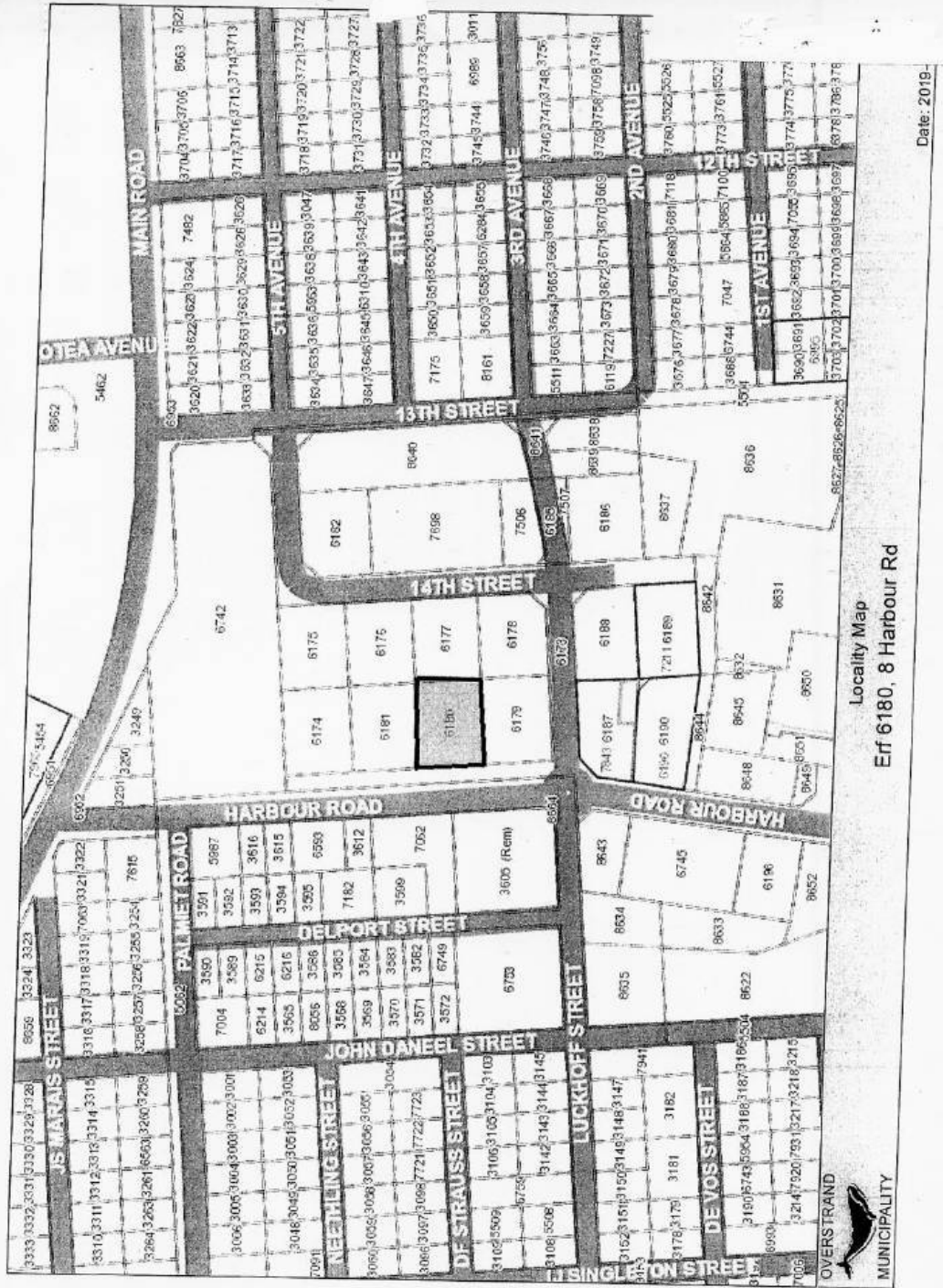
**REASONS FOR THE RESOLUTION:**

- ❖ The need and desirability has not been proven by the applicant.
- ❖ The aspect of co-location has not been addressed.

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- ❖ The impact of the 20m transmission tower on Erf 4894 has not been addressed.
- ❖ All the towers in Kleinmond have not been identified and discussed, so as to properly evaluate the application on the table.



Date: 2019-

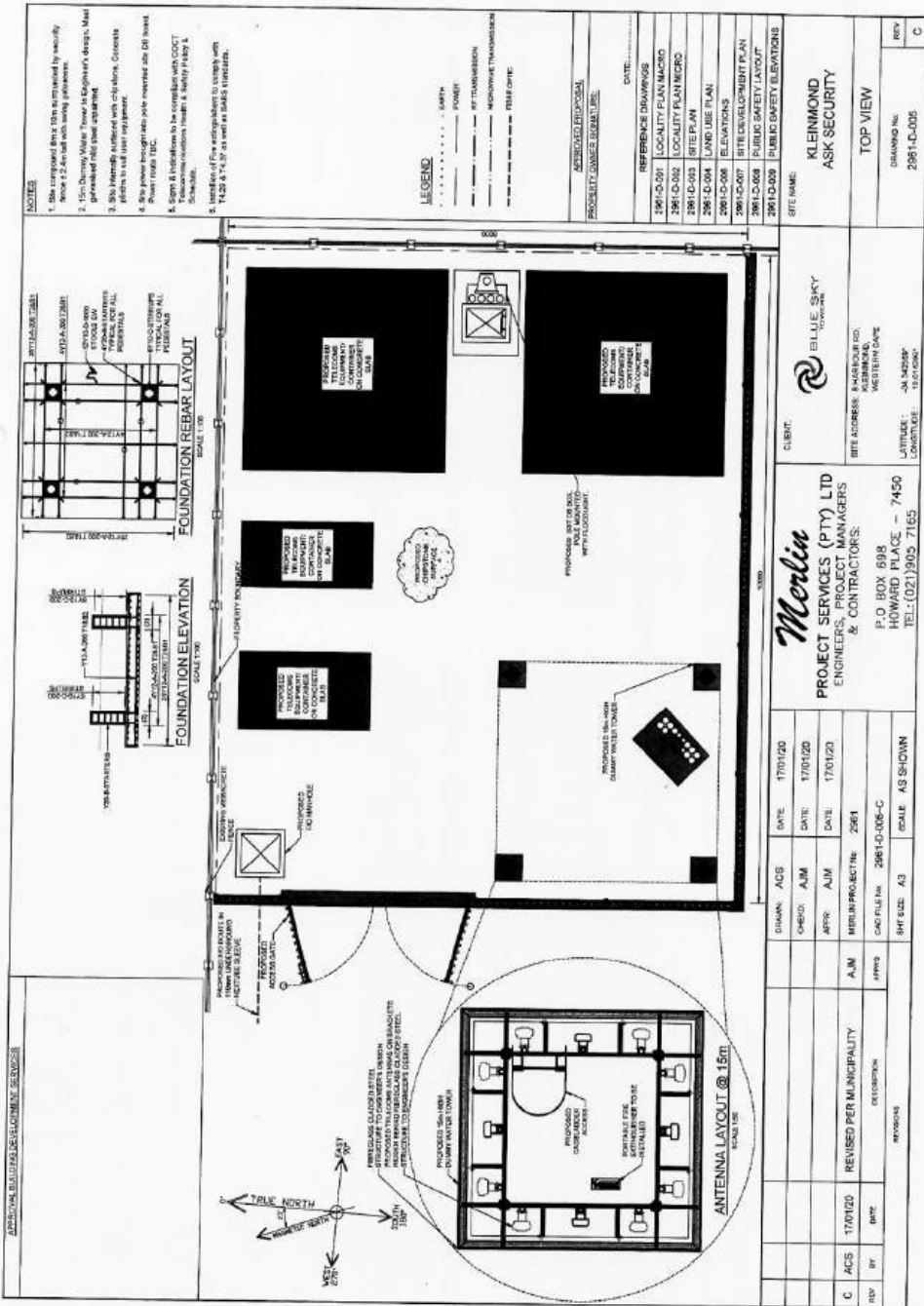
Locality Map  
Erf 6180, 8 Harbour Rd

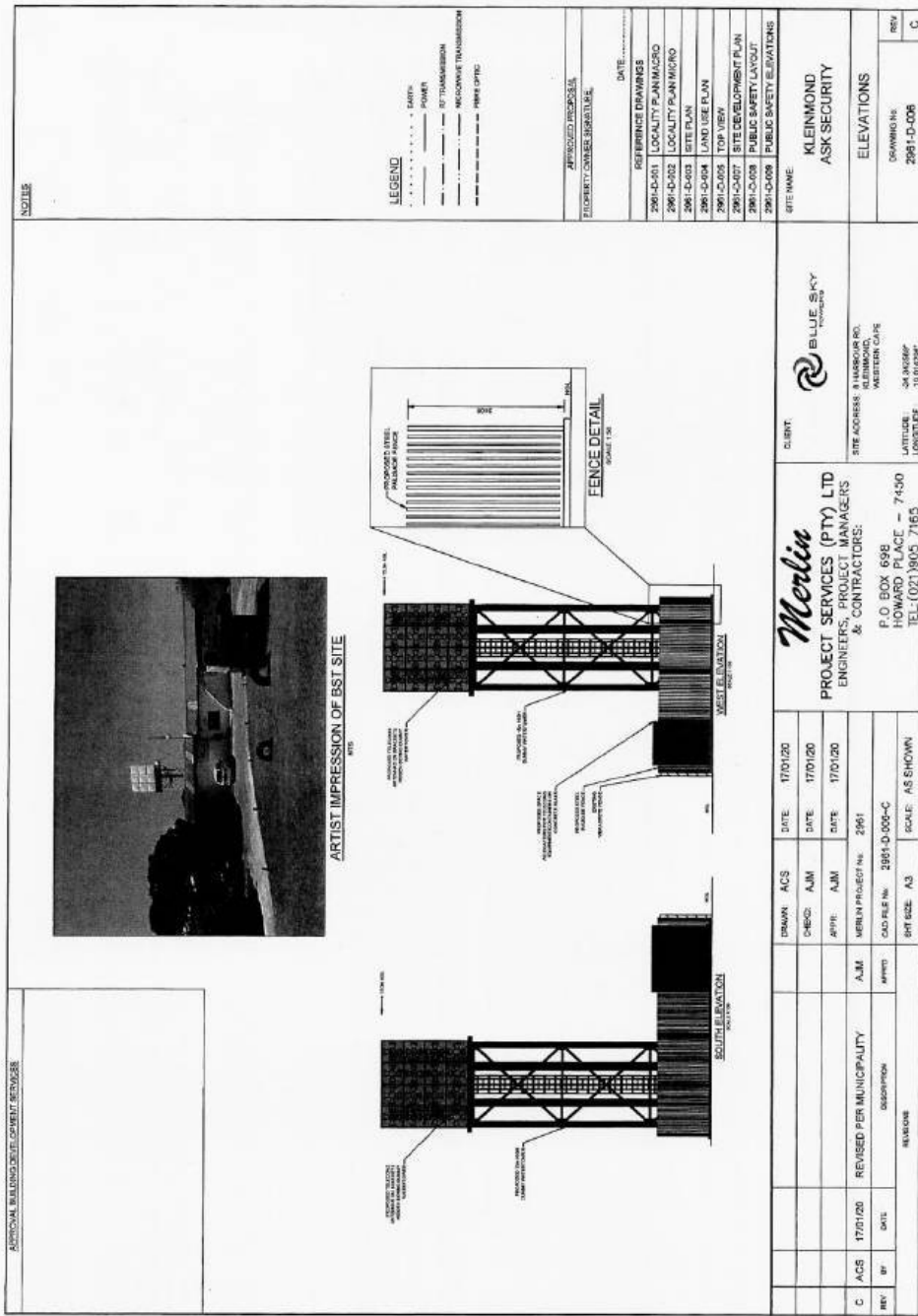


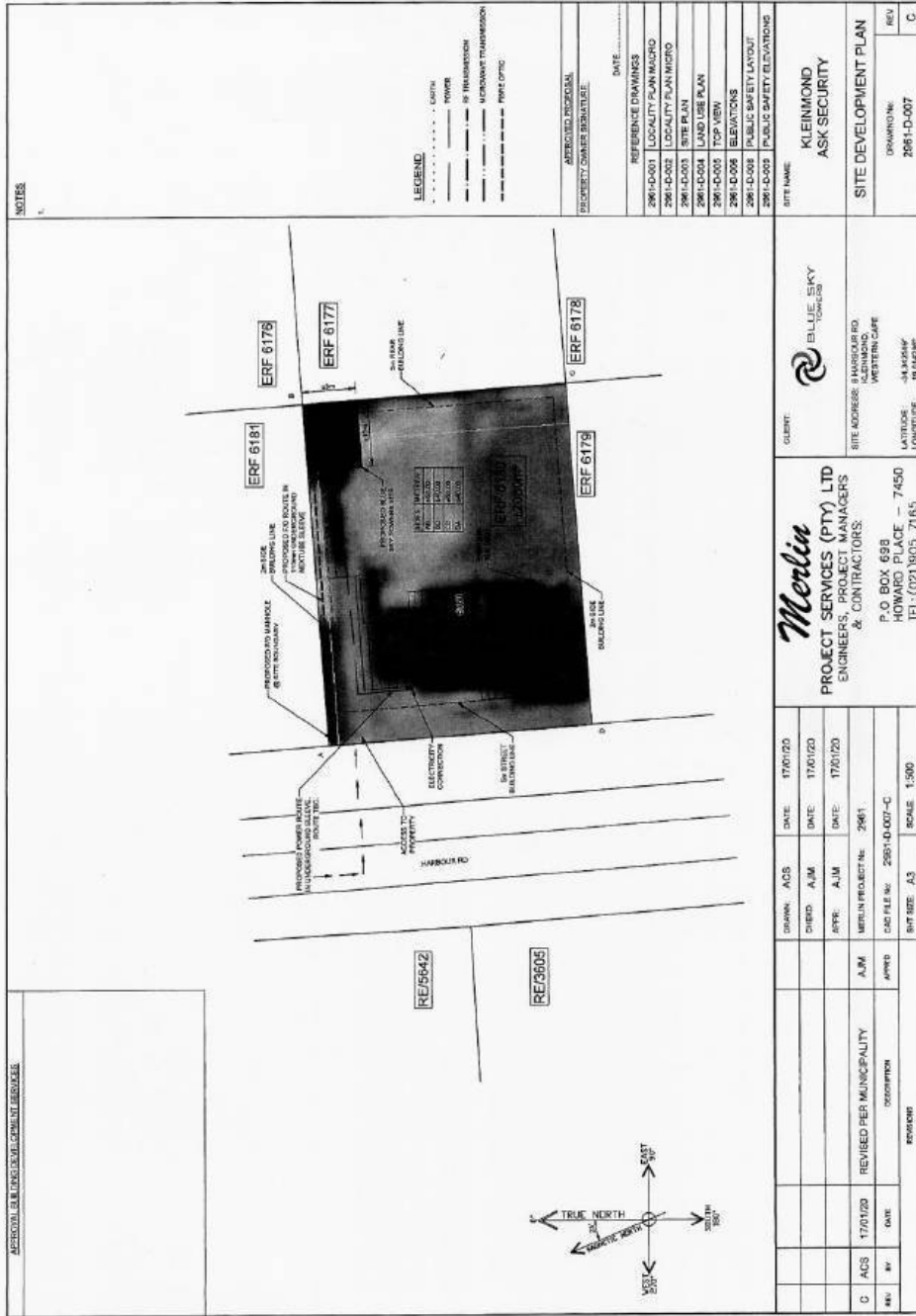
MUNICIPALITY











NOTES

MERLIN DEVELOPMENT SERVICES

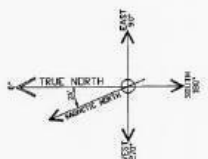
APPROVED PROPOSAL	DATE
PROPERTY OWNER SIGNATURE	
<b>REFERENCE DRAWINGS</b>	
2961-D-001	LOCALITY PLAN MACRO
2961-D-002	LOCALITY PLAN MICRO
2961-D-003	SITE PLAN
2961-D-004	LAND USE PLAN
2961-D-005	TOP VIEW
2961-D-006	ELEVATIONS
2961-D-008	PUBLIC SAFETY LAYOUT
2961-D-009	PUBLIC SAFETY ELEVATIONS

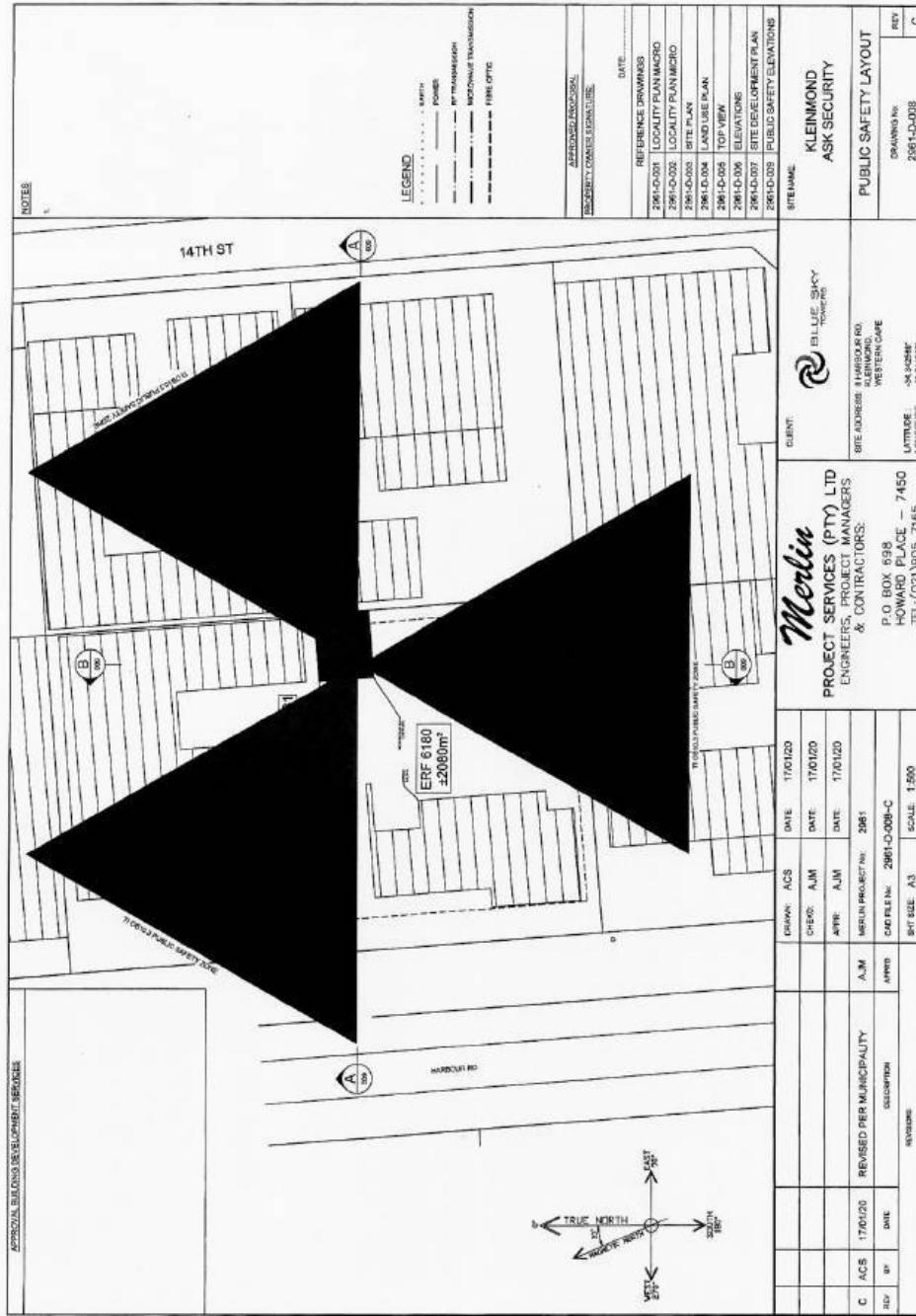
**CLIENT:** **ELLIE SKY TOWERS**  
 RITE ADDRESS: 8 HARBOUR RD.  
 WESTERN CAPE  
 LATITUDE: -34.32344  
 LONGITUDE: 18.64838

**Merlin**  
**PROJECT SERVICES (PTY) LTD**  
 ENGINEERS, PROJECT MANAGERS  
 & CONTRACTORS:  
 P.O. BOX 698  
 HOWARD PLACE - 7450  
 TEL: (021) 805 7165

DRAWN: ACS	DATE: 17/01/20
CHECKED: A.J.M.	DATE: 17/01/20
APPR: A.J.M.	DATE: 17/01/20
MERLIN PROJECT No: 2961	
CAD FILE No: 2961-D-007-C	
SHT NO: AS	SCALE: 1:500

REV	BY	DATE	DESCRIPTION
0	ACS	17/01/20	REVISED PER MUNICIPALITY
			DISCUSSION
			REVISION





NOTES

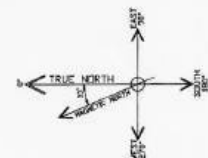
**LEGEND**  
 - - - - - SAFETY  
 - - - - - POWER  
 - - - - - SITE MANAGEMENT  
 - - - - - MODIFIED TRANSMISSION  
 - - - - - FIRE OFFICE

APPROVED/ENDORSED: SIGNATURE: _____	
DATE: _____	
REFERENCE DRAWINGS	
2061-0-01	LOCALITY PLAN/MICRO
2061-0-02	LOCALITY PLAN/MICRO
2061-0-03	SITE PLAN
2061-0-04	LAND USE PLAN
2061-0-05	TOP VIEW
2061-0-06	ELEVATIONS
2061-0-07	SITE DEVELOPMENT PLAN
2061-0-08	PUBLIC SAFETY ELEVATIONS

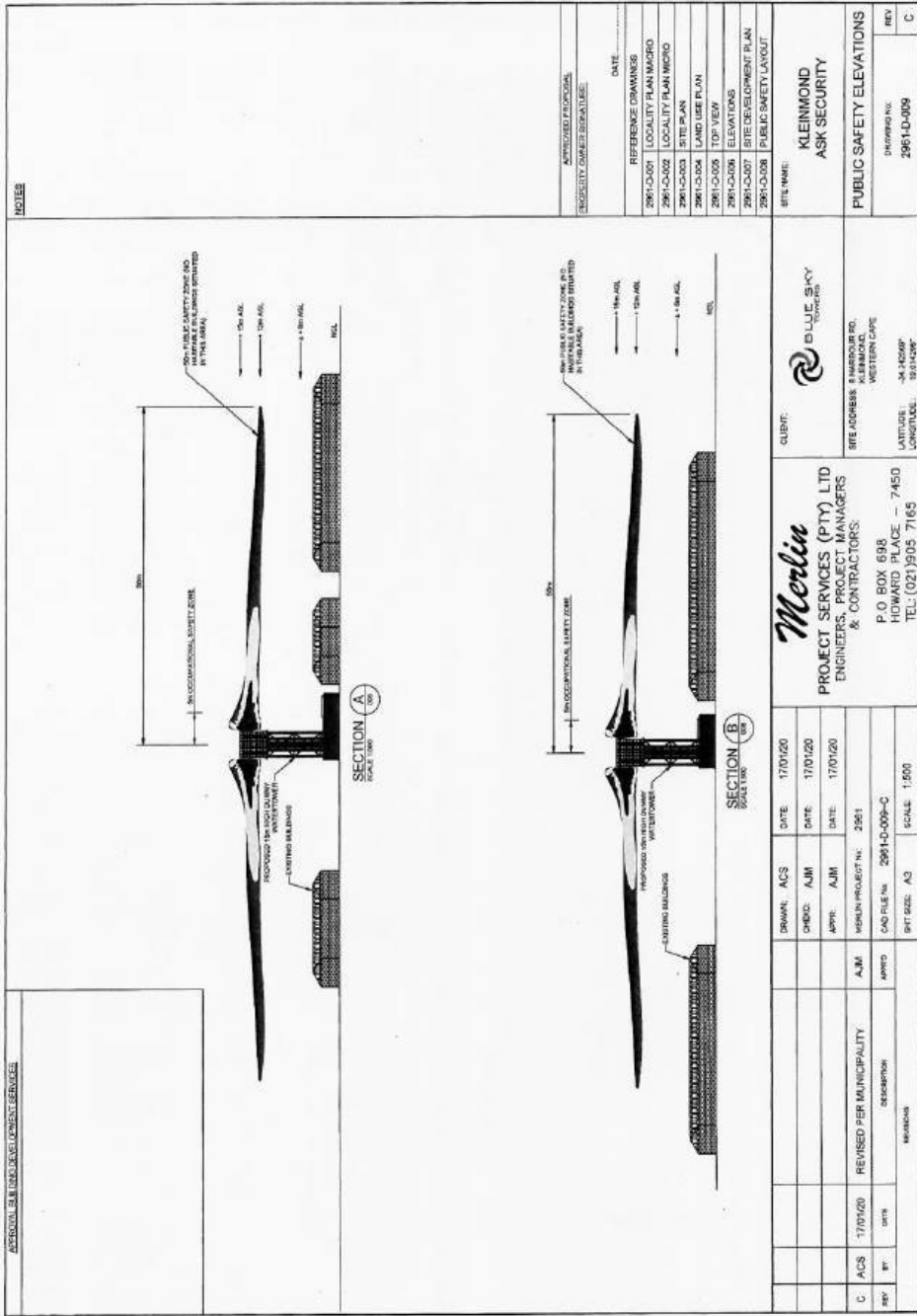
SITE NAME <b>KLEINMOND ASK SECURITY</b>	
CLIENT <b>EBL LIC SKY TOWN/PRO</b>	
SITE ADDRESS: HARBOUR RD KLEINMOND WESTERN CAPE	
LOT/BLK: 14-3048 LOCALITY: TB-CL1507	
DRAWING No.	2061-0-08
REV	C

<b>Merlin</b> PROJECT SERVICES (PTY) LTD ENGINEERS PROJECT MANAGERS & CONTRACTORS P.O. BOX 698 HOWARD PLACE - 7450 TEL: (021)905 7165	
DATE	17/01/20
DATE	17/01/20
DATE	2061
DATE	2061-0-08-C
SCALE	1:500

NO.	REV	BY	DATE	DESCRIPTION
C	ACS		17/01/20	REVISED PER MUNICIPALITY



APPROVAL BUILDING DEVELOPMENT: NIKHILK



NOTES

APPROVAL SIGNATURE/COMPONENT SERVICES

APPROVED PROFESSIONAL	DATE
SECURITY ZONES/RESPONSIBILITY	
REFERENCE DRAWINGS	
2961D-001 LOCALITY PLAN MACRO	
2961D-002 LOCALITY PLAN MICRO	
2961D-003 SITE PLAN	
2961D-004 LAND USE PLAN	
2961D-005 TOP VIEW	
2961D-006 ELEVATIONS	
2961D-007 SITE DEVELOPMENT PLAN	
2961D-008 PUBLIC SAFETY LAYOUT	

CLIENT:	
PROJECT SERVICES (PTY) LTD	
ENGINEERS, ARCHITECTS, INTERIORS & CONTRACTORS	
P.O. BOX 698	
HOWARD PLACE - 7450	
TEL: (021) 905 7165	
SITE ADDRESS: 8 MARSDEN RD.	
WESTERN CAPE	
KLEINMOND	
LATITUDE: 34.14000°	
LONGITUDE: 18.71400°	

DRAWN: ACS	DATE: 17/01/20
CHECKED: AJM	DATE: 17/01/20
APPROVED: AJM	DATE: 17/01/20
VERSION PROJECT N: 2961	
CAD FILE No: 2961D-008-C	
SHEET SIZE: A3	SCALE: 1:200

REVISIONS			
NO.	DATE	DESCRIPTION	
C	ACS	17/01/20	REVISED PER MUNICIPALITY
B	AJM	17/01/20	REVISION

DATE	17/01/20
DATE	17/01/20
DATE	17/01/20
DATE	2961
DATE	2961D-008-C
DATE	SCALE: 1:200

DATE	17/01/20
DATE	17/01/20
DATE	17/01/20
DATE	2961
DATE	2961D-008-C
DATE	SCALE: 1:200

DATE	17/01/20
DATE	17/01/20
DATE	17/01/20
DATE	2961
DATE	2961D-008-C
DATE	SCALE: 1:200

DATE	17/01/20
DATE	17/01/20
DATE	17/01/20
DATE	2961
DATE	2961D-008-C
DATE	SCALE: 1:200

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE: ERF 6180, KLEINMOND**

Stormwater (SW) : In order  
Electricity : In order  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 6180, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**5. ERF 3456, 4 STRAIGHT STREET, BETTY'S BAY, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITION AND SUBDIVISION: MESSRS PLAN ACTIVE ON BEHALF OF FA VAN RENSBURG AND G TURCK**

**3456 KBB**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**17 September 2021**

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**Executive Summary**

An application has been received on 13 November 2020 from Messrs Plan Active Town and Regional Planners on behalf of FA van Rensburg & G Turck on Erf 3456, Betty's Bay for the following:

- ❖ Removal of Restrictive Title Deed Conditions in terms of Section 16(2)(f) of the By-Law for the removal of restrictive Title Deed condition I.C.B.(e) as contained in Title Deed T24463/2020 to permit the proposed application. The restrictive Title Deed condition I.C.B.(e) read as follows:  
*"That this erf be not subdivided except with the consent in writing of the Administrator"*
- ❖ Subdivision in terms of Section 16(2)(d) of the By-Law to subdivide the property into two (2) portions, namely Portion A ( $\pm 1225\text{m}^2$ ) and the Remainder ( $\pm 1458\text{m}^2$ ).

**RESOLVED:**

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the removal of restrictive Title Deed condition I.C.B.(e) as contained in Title Deed T24463/2020 to permit the proposed application, **not be approved** in terms of the provisions of Section 61,
2. that the application in terms of Section 16(2)(d) of the By-Law to subdivide Erf 3456, Betty's Bay into two (2) portions, namely Portion A ( $\pm 1225\text{m}^2$  in extent) and the Remainder ( $\pm 1446\text{m}^2$  in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in Point 2 be subject to the following conditions:
  - (a) that subdivision be in line with Drawing Nr. 3456subdivision.drw dated October 2020 submitted with this application;
  - (b) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;

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- (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
  - (d) that all the conditions in the Services Report be complied with;
  - (e) that all the conditions imposed by Telkom be complied with; and
  - (f) that all the conditions imposed by Eskom be complied with.
4. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

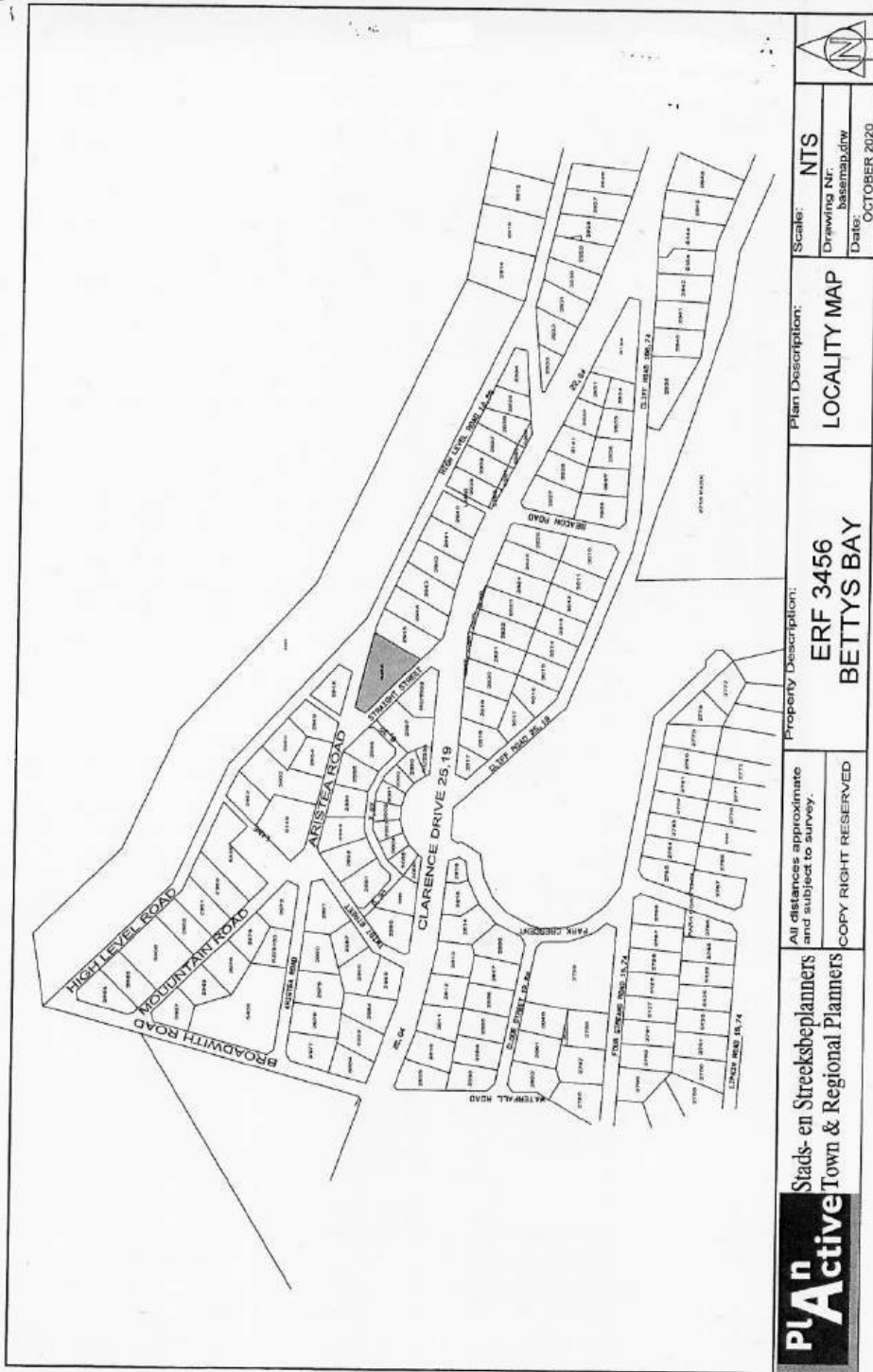
**REASONS FOR THE RESOLUTION:**

Reasons for approval

- ❖ The application is in line with forward planning documents.
- ❖ The extent of the two (2) residential erven is in line with the surrounding erven sizes and will not be to the detriment of the character of the area.

Reason for non-approval

The application for the removal of the restrictive condition is not necessary since the condition was not transferred to the consolidated Title Deed.



**PLAN**  
Active

Stads- en Streeksbeplanners  
Town & Regional Planners

All distances approximate  
and subject to survey.  
COPY RIGHT RESERVED

Property Description:  
**ERF 3456  
BETTYS BAY**

Plan Description:  
**LOCALITY MAP**

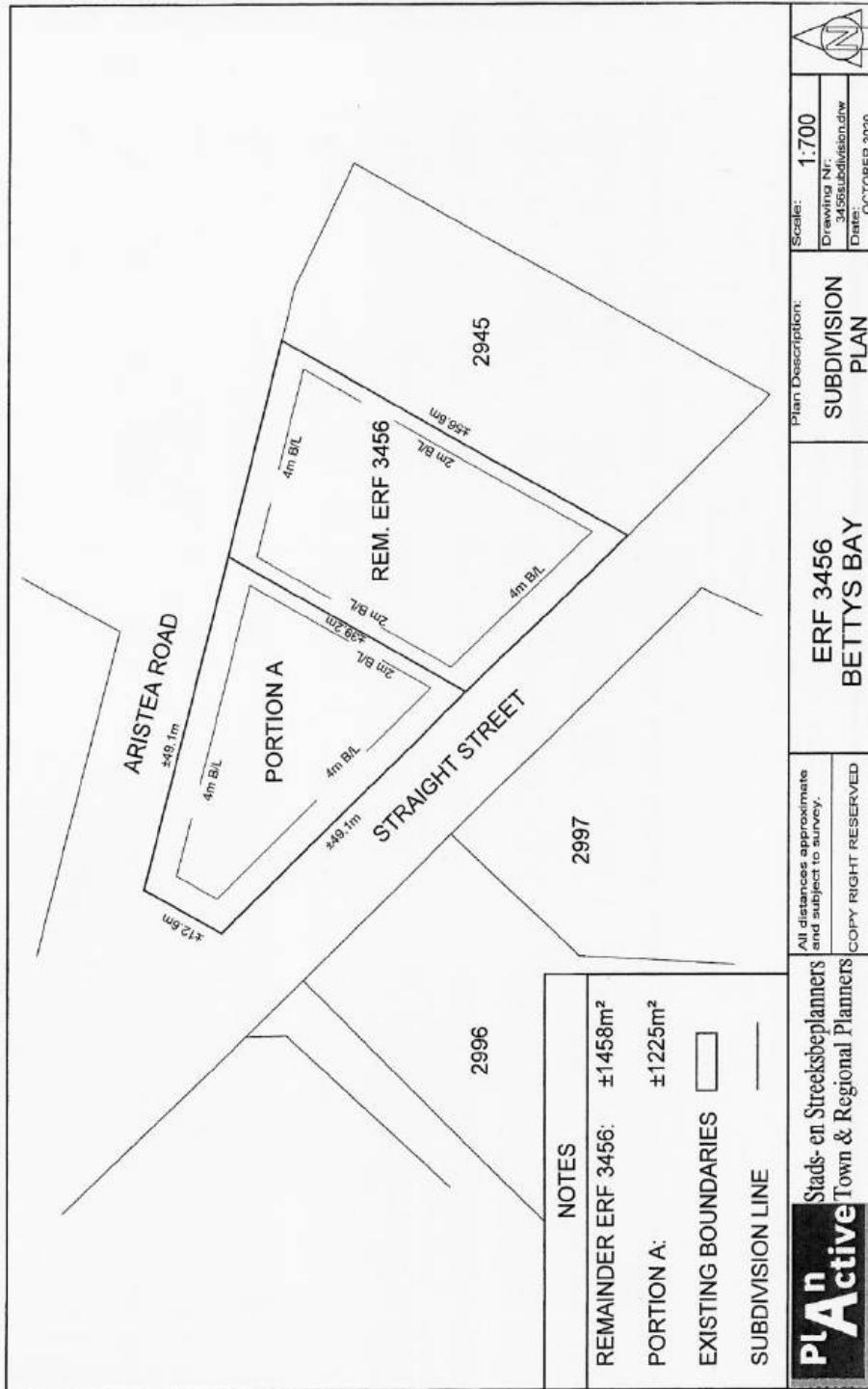
Scale: **NTS**  
Drawing Nr:  
basemap.dwg  
Date:  
OCTOBER 2020





NOTES	
REMAINDER ERF 3456:	±1458m <sup>2</sup>
PORTION A:	±1225m <sup>2</sup>
EXISTING BOUNDARIES	<input type="checkbox"/>
SUBDIVISION LINE	—

<b>PLAN</b> Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	ERF 3456 BETTYS BAY	Plan Description: AERIAL PHOTOGRAPH	Scale: 1:700 Drawing Nr: 3456photograph.dwg Date: OCTOBER 2020
		North Arrow		



NOTES	
REMAINDER ERF 3456:	±1458m <sup>2</sup>
PORTION A:	±1225m <sup>2</sup>
EXISTING BOUNDARIES	
SUBDIVISION LINE	

	All distances approximate and subject to survey. COPY RIGHT RESERVED	ERF 3456 BETTYS BAY	Plan Description: SUBDIVISION PLAN	Scale: 1:700 Drawing Nr: 3456subdivision.dwg Date: OCTOBER 2020
		PLAN ACTIVE		

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITION &  
SUBDIVISION: ERF 3456, BETTY'S BAY**

Stormwater (SW) : In Order  
Electricity : Eskom Area  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

**1.1 Developments containing Sectional Title Units/ Commercial Buildings**  
(non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

**1.2 Developments with free standing properties** (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2020/2021) is as follows:

**Freehold erven:**

Water	R 23 957.00 x 1	=	R 23 957.00
Sewerage	R 16 153.00 x 1	=	R 16 153.00
Roads	R 7 243.00 x 1	=	R 7 243.00
Stormwater	R 8 357.00 x 1	=	R 8 357.00
Solid Waste	R 1 448.00 x 1	=	<u>R 1 448.00</u>
<b>TOTAL (inclusive of VAT)</b>		=	<b>R 57 158.00</b>

Note:

- 1.3 The above figures are estimates**  
**1.4 The above figures do not include evaluation/investigation levies and connection fees**
2. that each property should have their own water connection and conservancy tanks as per Municipal specification;

3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the owner's account;
5. that stormwater be allowed to discharge through the proposed Erven, Betty's Bay, unobstructed;
6. that no on-street parking be allowed.

*p.p. R. Hendriks*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*03/11/2021*  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**6. PORTION 8 OF THE FARM DE DRAAY NO 563, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE AND EXEMPTION OF SUBDIVISION (REGISTRATION OF SERVITUDE RIGHT-OF-WAY): MESSRS PLAN ACTIVE ON BEHALF OF THE EXECUTOR OF THE ESTATE OF LATE WJC MITCHELL**

**RCAL 8/563**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**27 September 2021**

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**Executive Summary**

An application was received on 29 October 2019 on Portion 8 of farm De Draay No 563 from Messrs Plan Active Town and Regional Planners on behalf of the executor of the estate of the late WJC Mitchell, Kleinmond for the following:

- ❖ Consent Use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate the following:
  - Tourist facilities to accommodate the following:
    - Function and conference venue of  $\pm 350\text{m}^2$  in extent to accommodate a maximum of 120 people.
    - Wedding chapel of  $\pm 132\text{ m}^2$  in extent to accommodate a maximum of 120 people.
  - Tourist accommodation to accommodate four (4) semi-detached units [total of eight (8) self-catering units] offering a total of 18 beds for a maximum of 22 guests.
- ❖ Exemption of subdivision of Portion 3 of the farm De Draay No. 563 in terms of Section 26(1)(g)(v) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to register a 3m servitude right-of-way over the subject property in favour of Portion 8 of the farm De Draay No 563.

**RESOLVED:**

1. that the application for that the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to accommodate the following:
  - tourist facilities to accommodate the following:
    - Function and conference venue of  $\pm 350\text{m}^2$  in extent to accommodate a maximum of 120 people.
    - Wedding chapel of  $\pm 132\text{ m}^2$  in extent to accommodate a maximum of 120 people.
  - tourist accommodation to accommodate four (4) semi-detached units

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[total of eight (8) self-catering units = 355m<sup>2</sup>] offering a total of 18 beds for a maximum of 22 guests

**be approved**, in terms of Section 61 of the By-Law subject to the following conditions:

- (a) that this approval is restricted to the development as indicated on the plans dated June 2020 (3 plans), as submitted with the application;
- (b) that the operating hours be restricted as follows:
  - Monday to Thursday, Sunday to 23:00;
  - Friday to Saturday to 1:00;
- (c) that the tourist facilities (function and conference venue) may only have access from the alternative route over Portion 3 of Farm 563;
- (d) that adequate provision be made to manage the behaviour of patrons and staff (both inside and outside the building);
- (e) that a Certificate of Acceptability and Health Certificate from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (f) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (g) that building plans be submitted to the Building Department for approval, and that all conditions of the Building and the Fire Departments be complied with at that stage;
- (h) that this approval does not absolve the applicant from compliance with any other relevant legislation;
- (i) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
- (j) that all the conditions in the Services Report be complied with;
- (k) that all the conditions imposed by Western Cape Government: Transport and Public Works be complied with; and

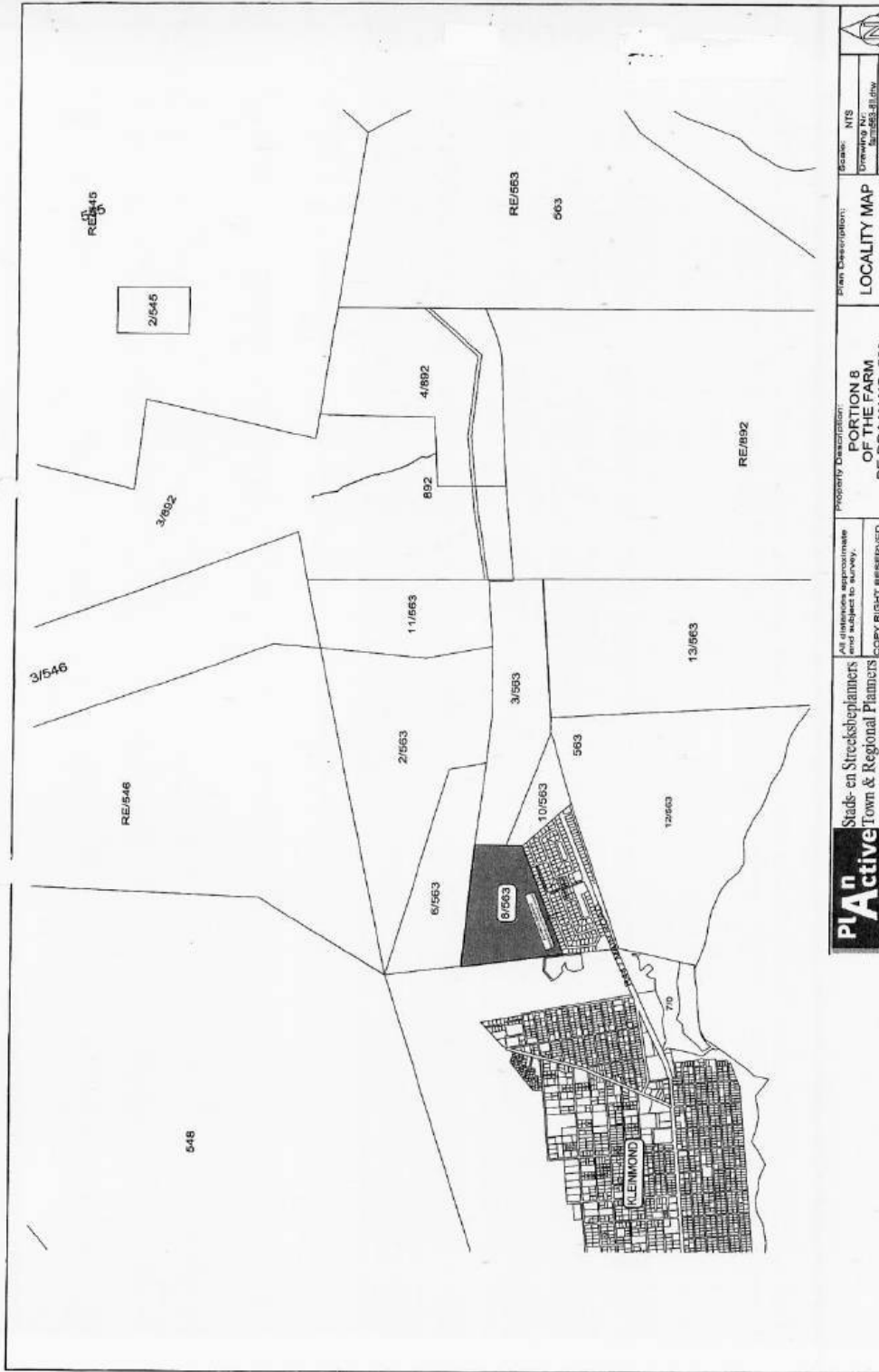
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- (l) that all the conditions imposed in the Sound Impact Assessment, including the installation of acoustic foam and Vibra blocks cladding along the width of the warehouse walls and hanging baffles to be installed along the ceiling, be complied with.
2. that, in terms of Section 26(1)(g)(v) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, Portion 3 of the Farm De Draay No 563, **be exempted** from the subdivision process to register a 3m right-of-way servitude in favour of Portion 8 of the Farm De Draay No 563 to accommodate the alternative route for the tourism facilities; and
3. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

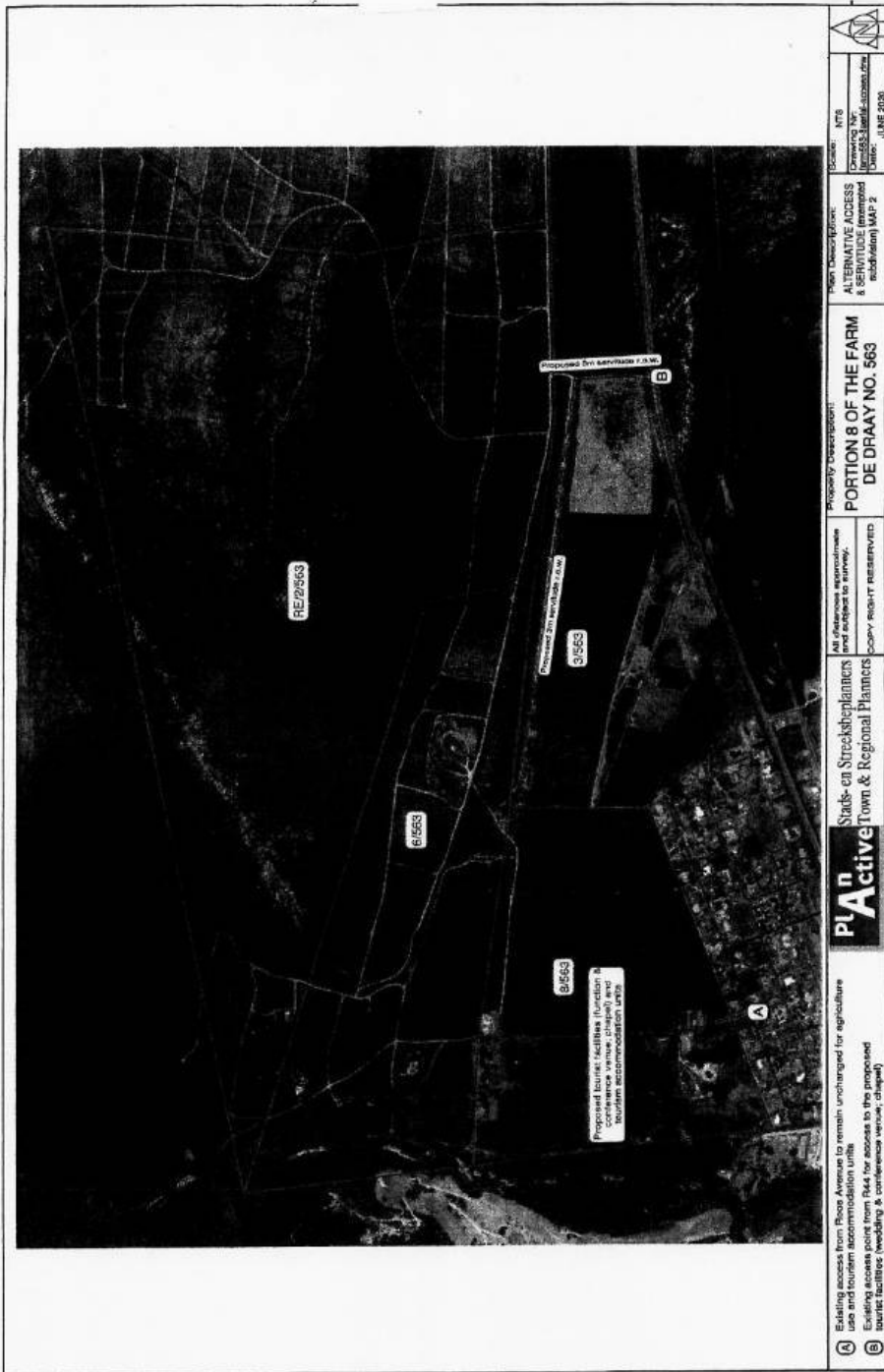
**REASONS FOR THE RESOLUTION:**

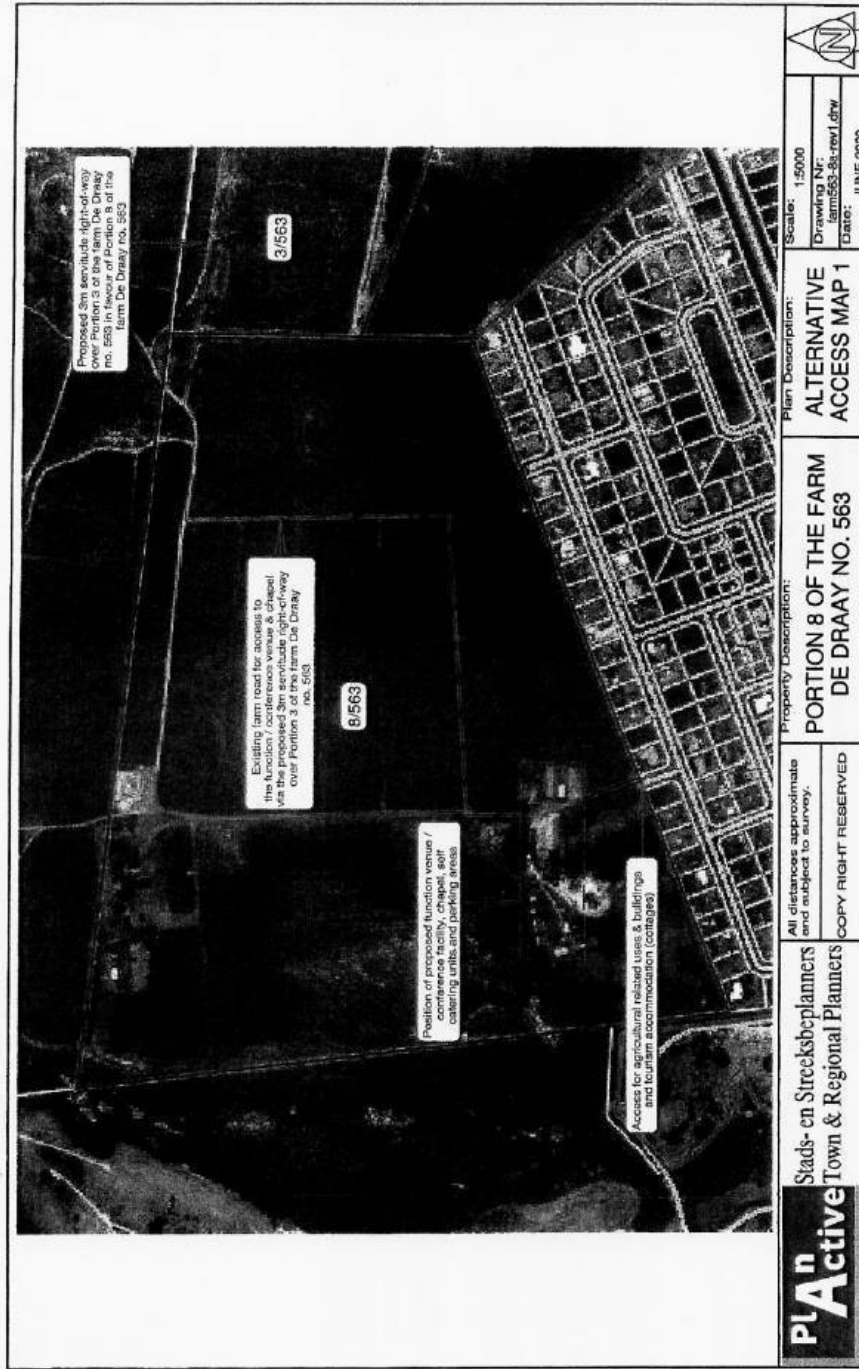
- ❖ The proposed development is in line with planning policies.
- ❖ The land uses applied for are located within existing structures which have approved building plans.
- ❖ The impact on the environment and agricultural land is minimal.
- ❖ The character of the area will not be impacted upon due to the low-keyed nature of the development.



	Studs-en Streekscheplanners Town & Regional Planners	All dimensions approximate and subject to survey. COPYRIGHT RESERVED	Property Description: <b>PORCION B          OF THE FARM          DE DRAAY NO. 563</b>	Plan Description: <b>LOCALITY MAP</b>	Scale: NIS Drawing No: 871-563-01.thw Date: OCTOBER 2019
	(Empty space for additional notes or details)				







**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: PORTION 8 OF THE FARM DE  
DRAAY NO. 563 (3492/2019)**

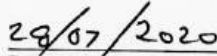
Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality (Telephone: 028 313 8972);
4. that no sewerage service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any sewage disposal;
5. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility;
6. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;
7. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
8. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;

9. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
10. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
11. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.

  
DENNIS HENDRIKS

  
DATE

**SENIOR MANAGER: ENGINEERING SERVICES**

**AGENDA of the  
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(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**7. PORTION 2 (A PORTION OF PORTION 1) (OLD OAK) OF THE FARM OUDE BOSCH NO. 637, DIVISION OF CALEDON, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS WRAP PROJECT OFFICE ON BEHALF OF CRYSTAL KLOOF (PTY) LTD**

**Ptn 2 of Farm 637 RCAL**

**P Roux**

**(028) 313 8900**

**Hermanus Administration**

**15 September 2021**

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**Executive Summary**

An application was received on 16 July 2020 from Messrs WRAP Project Office on behalf of Crystal Kloof (Pty) Ltd on Portion 2 of the Farm Oude Bosch No. 637, Division Caledon in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) for consent use in order to accommodate a restaurant, place of entertainment and tourist building (farm shop/stall) on the property.

**RESOLVED:**

1. that the comments received be noted;
2. that the application on Portion 2 of the Farm Oude Bosch No. 637, Division Caledon in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) for consent use in order to accommodate a restaurant, place of entertainment and tourist building (farm shop/stall) on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval only pertains to the proposed Site Development Plans, as submitted with the application dated July 2020;
  - (b) that proper management is undertaken to ensure that the proposed use will not be detrimental to the peacefulness and amenity of the surrounding area (ie noise, etc);
  - (c) that alternative eco-friendly ways to capture water be investigated and implemented by the property owner in order to lessen the dependence on the river water;
  - (d) that the use of the venue be restricted to events and functions such as weddings and celebrations with an occupancy of no more than 100 people;
  - (e) that the selling or serving of liquor on the property will be subject to the owner obtaining the necessary Liquor Licence;

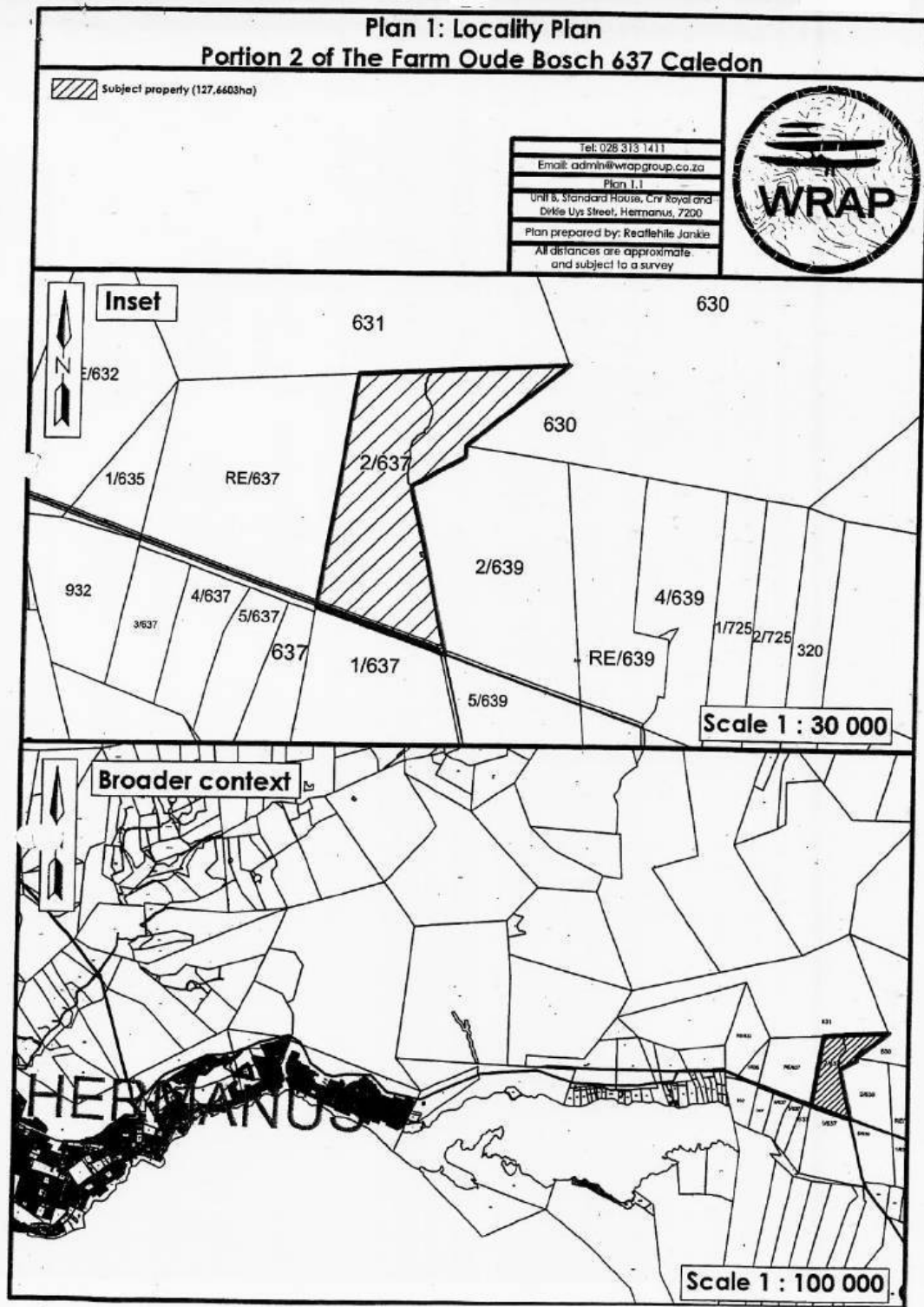
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- (f) that the applicable rates and service tariffs, as determined by the annual budget is applicable, which tariffs are automatically adjusted in terms of the annual budget;
  - (g) that the venue complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
  - (h) that signage complies with the Municipal By-Law on Signage, may be displayed on the premises;
  - (i) that the conditions of Fire Services and Engineering Services be complied with;
  - (j) that the conditions of Eskom, Open Serve , Breede-Gouritz Catchment Management Agency and CapeNature be complied with;
  - (k) that the parking area, as per the plans submitted with the application, must be properly demarcated;
  - (l) that this approval does not absolve the landowner from compliance with any other relevant legislation, and
  - (m) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
3. that the applicant and persons who commented, within the permitted timeframe, be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.

**REASONS FOR THE RESOLUTION:**

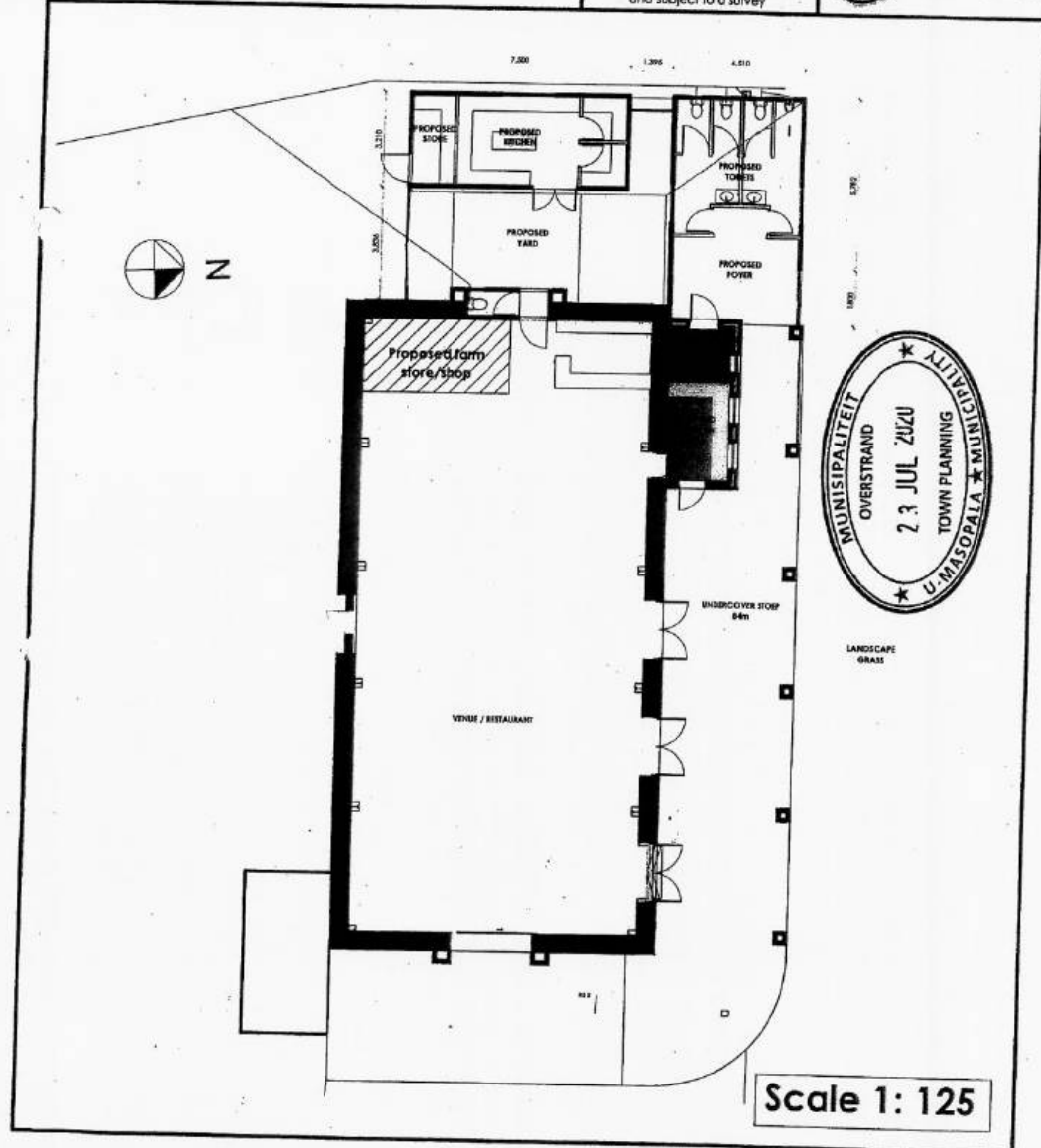
- ❖ The application has followed due procedure.
- ❖ No objections were received from the departments.
- ❖ Ample and practical parking for the guests can be provided on the property.
- ❖ The proposed use of the property does not have a negative effect on the character of the area.
- ❖ The proposed use will diversify the uses on the farm in order to make the farm more financially sustainable.
- ❖ The proposal will aim to use the scenic and natural environment to promote the tourism industry, thus in line with the forward planning documentation of the Municipality.
- ❖ The use is not regarded as being undesirable from a town planning point of view.

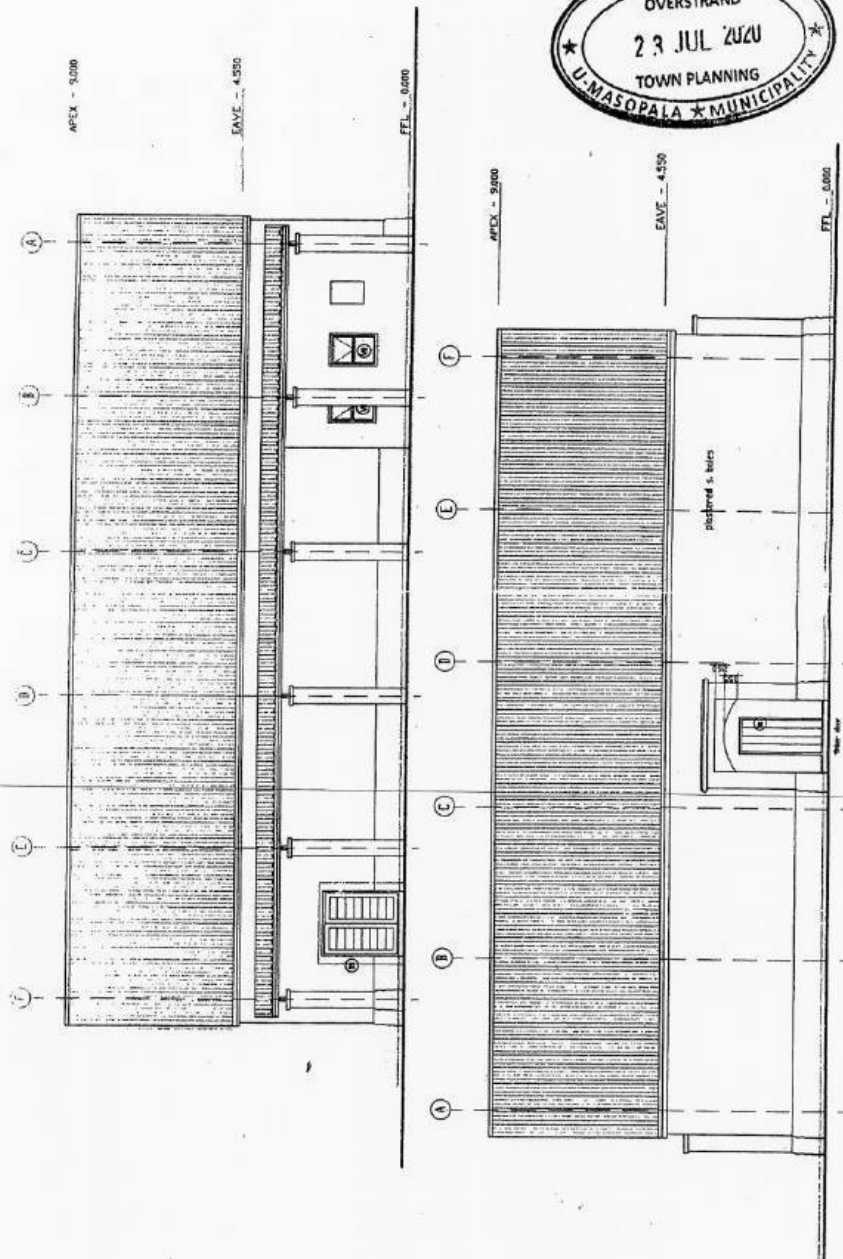


**Proposed Farm Store/Stall, Place of Entertainment (Venue) and Restaurant  
Portion 2 of The Farm Oude Bosch 637 Caledon**

<b>Farm store/stall</b>	
NEW COVERED FLOOR AREA:	77m <sup>2</sup>
EXISTING GROUND FLOOR:	
VENUE, RESTAURANT AND	
FARM STALL/SHOP	204m <sup>2</sup>
DISABLED WC	4m <sup>2</sup>
UNDERCOVER STOEP	84m <sup>2</sup>
OPEN STOEP	67m <sup>2</sup>
TOTAL AREAS:	361m <sup>2</sup>

Based on drawings by  
Finlayson van der Merwe  
Tel: 028 313 1411  
Email: admin@wraggroup.co.za  
Plan 1.1  
Unit B, Standard House, Cnr Royal and  
Dikke Oys Street, Hermanus, 7200  
Plan prepared by: Reallehite Jankie  
All distances are approximate  
and subject to a survey





**Andrew Finlayson**  
ARCHITECT

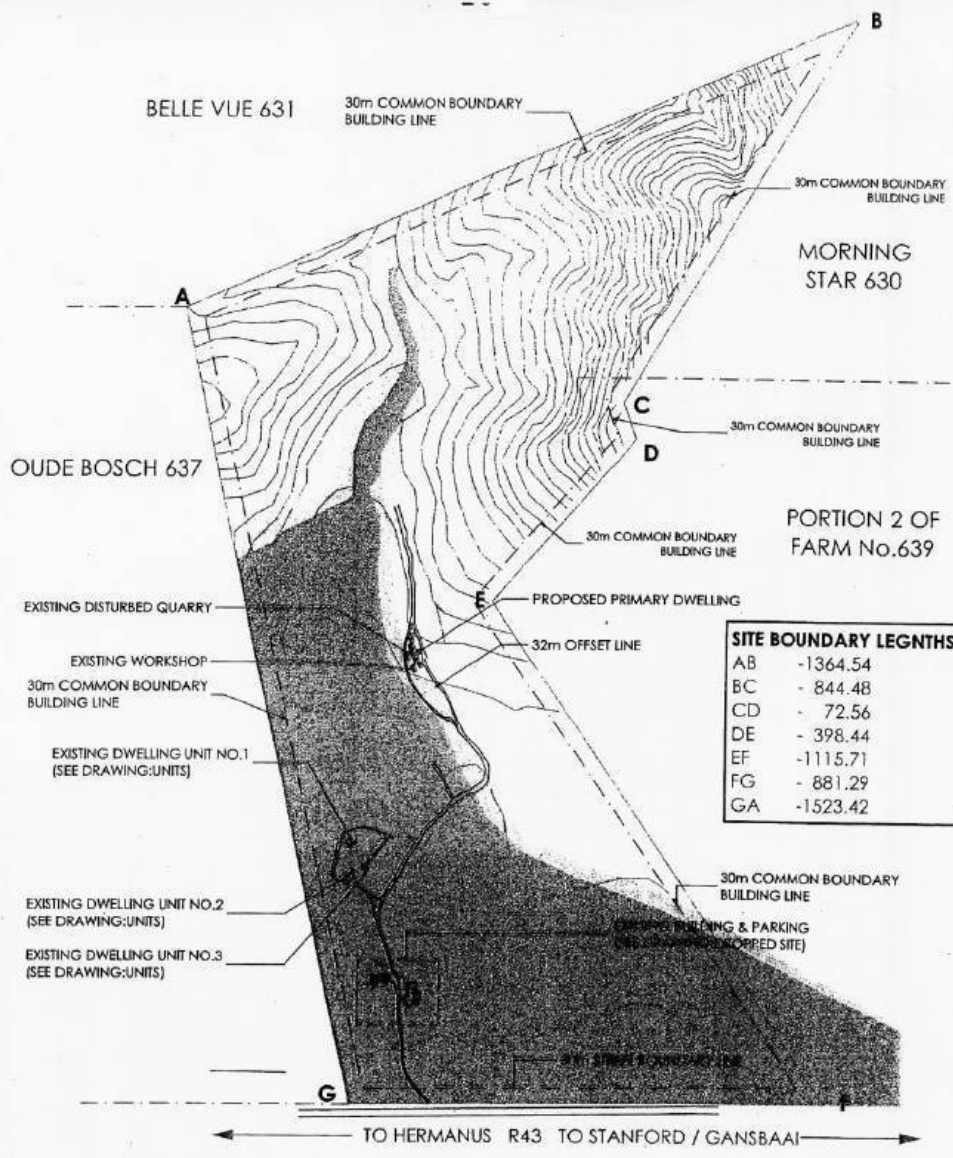
1. Completed in accordance with the provisions of the Building Act, 2003, and the Building Regulations, 2004, as amended.  
2. The drawings are the property of Andrew Finlayson Architect and shall remain his property.



DATE	09/06/08	BY	AF
DRAWING NO.	0507A12	SCALE	1/100
PROJECT NO.	0708		
PROJECT NEW WINERY ON CRYSTAL KLOOF			

**NORTH & SOUTH ELEVATIONS**



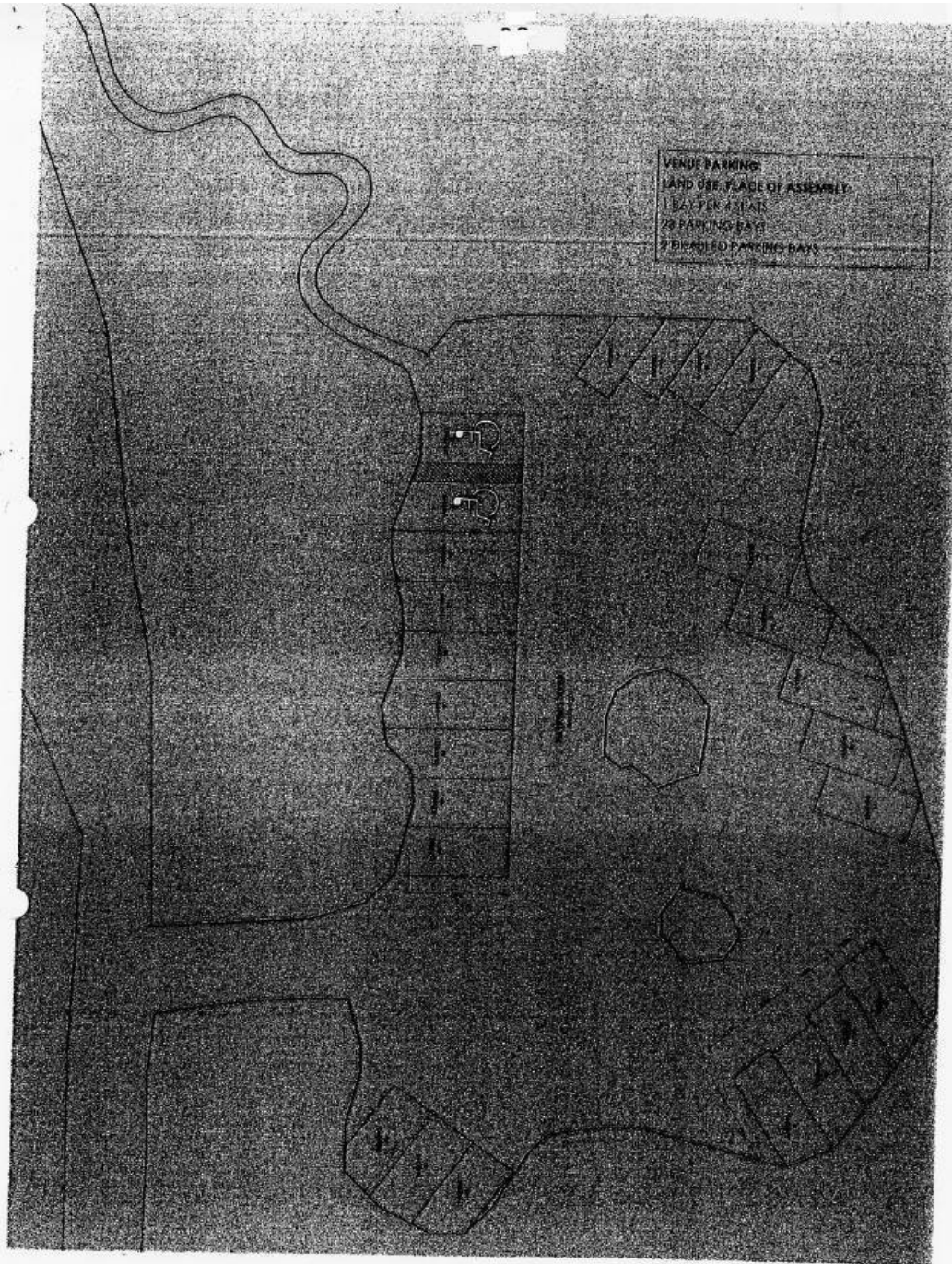


**SITE PLAN LAYOUT**  
SCALE:1:10 000

LEGEND:  
WETLANDS

**CRYSTAL KLOOF | SITE LAYOUT**  
Scale 1:200 | JULY 2020

**FINLAYSON**  
**VAN DER MERWE**  
ARCHITECTS



**CRYSTAL KLOOF | PARKING LAYOUT**  
Scale 1:250 | JULY 2020

**FINLAYSON**  
**VAN DER MERWE**  
ARCHITECTS

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: PORTION 2 OF THE FARM 637,  
OUDE BOSCH**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure & Quality (Tel: 028 313 5046), Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
6. that, as there is currently no municipal sewer network in the vicinity, Portion 2 of the Farm 637 must be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services (Hermanus), and to which the sewer services on the development must connect to;
7. that the Municipality does not have the capacity to service the proposed development with regards to removal of sewerage from the property. The owner is therefore responsible for removal of sewerage from the property, and thereof at a licensed municipal sewerage treatment facility;

8. that alternatively, sewer treatment facilities that are approved by the Department of Water Affairs may be provided for disposal of sewer from the developments. Written proof of such approval is to be submitted to the Municipality;
9. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 140400 – P: 2010: Drainage;
10. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or-waste disposal facility;
11. that on-site parking facilities are provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
12. that access can be obtain from the existing access to Ptn 2 of the Farm 637, Oude Bosch.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

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**AGENDA of the  
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**8. REMAINDER FARM NO. 700 (BLOMERIS), DIVISION CALEDON,  
OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE:  
MESSRS WRAP PROJECT OFFICE ON BEHALF OF CJU SWART**

**Rem Farm 700 RCAL  
SW van der Merwe  
25 October 2021**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application was received on 19 March 2019 from Messrs WRAP Project Office on behalf of CJU Swart on Remainder Farm No. 700 (Blomeris), Division Caledon for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a guest house and tourism accommodation comprising 7 caravan / camp sites.

**RESOLVED:**

1. that the comments be noted;
2. that the application in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Remainder Farm No. 700 (Blomeris), Division Caledon for consent use in terms of Section 16(2)(o) to accommodate a proposed guest house and tourism accommodation (seven caravan/camping sites, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions
  - (a) that a detailed Site Development Plan be submitted indicating the location and area of the seven camp/caravan sites and associated facilities with coordinates maintaining the 32m wetland buffer, designated fire area for each caravan/camp site, all existing milk wood trees, wetland edge and onsite parking area, prior to the implementation of the development;
  - (b) that the application for consent use for tourism accommodation be limited to a 5-bedroom guest house and seven (7) camp/caravan sites only;
  - (c) that the development of the camp/caravan site be carried out strictly in accordance with the approved SDP;
  - (d) that the maximum number of occupants of the camp sites be limited to 14 people and that a register recording the details of all guests making use of the camp/caravan site be kept on site and at all times be available for inspection by the Municipality

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- (e) that the building plans be submitted to the Building Department for any new buildings and that all conditions of the Building and the Fire Department be complied with at that stage;
- (f) that all the conditions of Eskom, District Health, Department of Transport and Public Works, Open Serve, Department of Environmental Affairs and Development Planning: *Component Planning*, Environmental Affairs and Development Planning: *Component Environmental*, Breede-Gouritz Catchment Management Agency and Department of Agriculture be complied with;
- (g) that all the conditions imposed by Waste Management, Services Report and Environmental Services be complied with;
- (h) that the use of amplified music by visitors of the campsites be prohibited;
- (i) that the owner/manager shall reside on the premises and be responsible for the proper management of the guest house and camp / caravan sites;
- (j) that the guestrooms may not be converted to or used as separate dwelling units/self-catering units;
- (k) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;
- (l) that no facilities (bar/restaurant or any other) be provided for non-residents of the guest house and that these facilities only be used by bona-fide guests of the establishment;
- (m) that the selling or serving of liquor on the property will be subject to the owner obtaining the necessary Liquor Licence;
- (n) that a minimum of one (1) permanently demarcated parking bay per guestroom, two (2) for the owner/manager be provided within the erf boundaries in accordance with the parking layout;
- (o) that the applicable rates and service tariffs, as determined by the annual budget be applicable, which rates and tariffs are automatically adjusted in terms of the annual budget;
- (p) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular

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- inspections by the Fire Control Co-ordinator and the Health Inspector;
- (q) that only a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
  - (r) that the guesthouse and campsites be operated in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
  - (s) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
  - (t) that the property may not be utilised for the purposes of conducting a home occupation;
  - (u) that no disturbance from loud music or any other sources be permitted after 22:00;
  - (v) that the keeping of pets by campers be prohibited;
  - (w) that this approval does not absolve the landowner from compliance with any other relevant legislation;
  - (x) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with; and
  - (y) that an Environmental Management Plan in respect of the construction and operational management phase of the campsite be submitted for municipal approval.
3. that the applicant and persons who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

**REASONS FOR THE RESOLUTION:**

- ❖ The application has followed due procedure.
- ❖ None of the internal and external government departments have objected to the application.
- ❖ No new municipal services will be required.
- ❖ The application is in line with SPLUMA principles.
- ❖ The application is in line with the SDF.
- ❖ The application will not detract from the character of the rural area.


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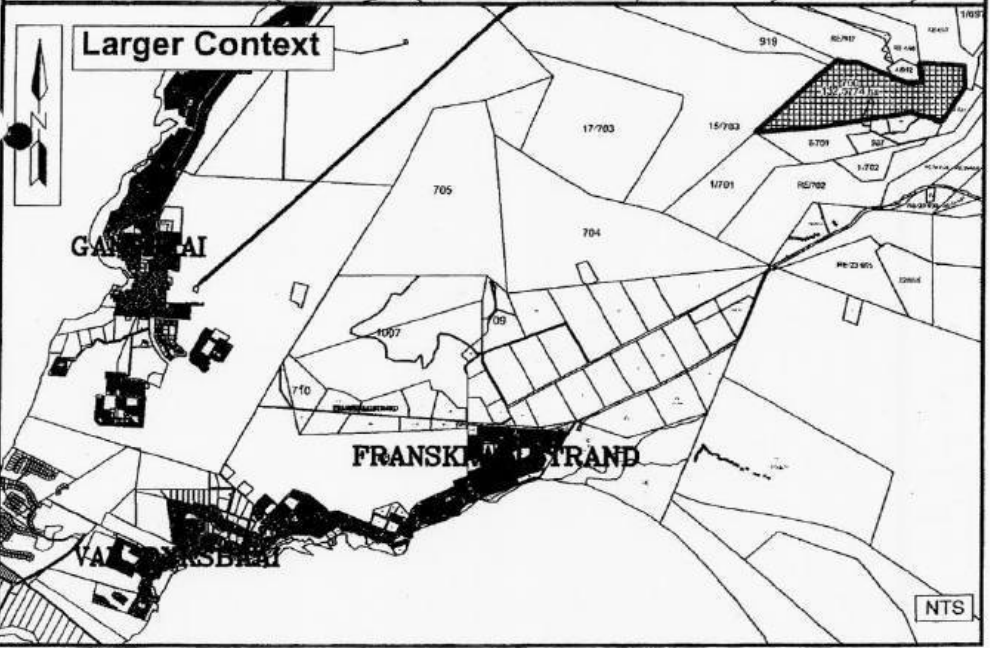
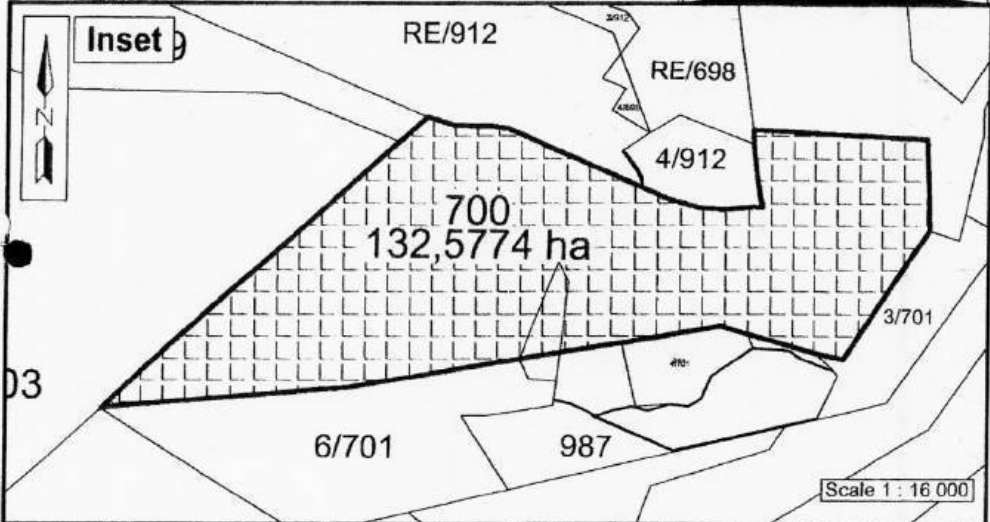
- ❖ The surrounding area is characterised by tourist related uses (i.e. tourist facilities, tourist accommodation such as guest houses, guest lodges and self-catering).

**Plan 1: Locality Plan**  
**Farm Blomeris Number 700 Caledon**

File number 18/139(A)  
This plan was prepared in February 2019  
Plan prepared by: Realtekile Jonks  
All distances are approximate  
and subject to a survey



**WRAP**





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: FARM 700 BLOMERIS, CALEDON  
DIVISION (2989/2019)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Senior Manager : Engineering Services, Overstrand Municipality;
4. that no sewerage service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any sewage disposal;
5. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility.
6. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;
7. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility.
8. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;

9. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
10. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
11. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.

*p.p. R. Hendriks*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*12/06/2019*  
**DATE**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
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(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**9. PORTION 13 OF FARM DE DRAAY NO. 563, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS WRAP ON BEHALF OF THE MELKBOS TRUST, EC MOLTENO AND CL YOUNG**

**RCAL 13/563 (2834/2018)**

**H van der Stoep**

**(028) 313 8900**

**Hermanus Administration**

**18 October 2021**

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**Executive Summary**

An application was received on 14 December 2018 on Portion 13 of farm De Draay No. 563 from Messrs WRAP on behalf of the Melkbos Trust, EC Molteno and CL Young, for a consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate five (5) additional dwellings (250m<sup>2</sup> each) intended for tourist accommodation.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Portion 13 of farm De Draay No 563 for a consent use to accommodate five (5) additional dwellings (250m<sup>2</sup> each) intended for tourist accommodation, **be approved** in terms of Section 61 of the By-Law, subject to the following conditions:
  - (a) that this approval is restricted to the development as indicated on the undated plans Plan 4 : SDP and Plan 5 : Access Plan, as submitted with the application;
  - (b) that the five (5) dwelling units be limited to single storey;
  - (c) that the access over Portion 3 of Farm De Draay No. 563, as per agreement, be registered as a right of way servitude in favour of Portion 13 of farm De Draay No. 563 and submitted with the building plans for record purposes;
  - (d) that applicable rates and service tariffs as determined by the annual budget, be made applicable, which rates and tariffs are automatically adjusted in terms of the annual budget;
  - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department, be complied with at that stage;
  - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;

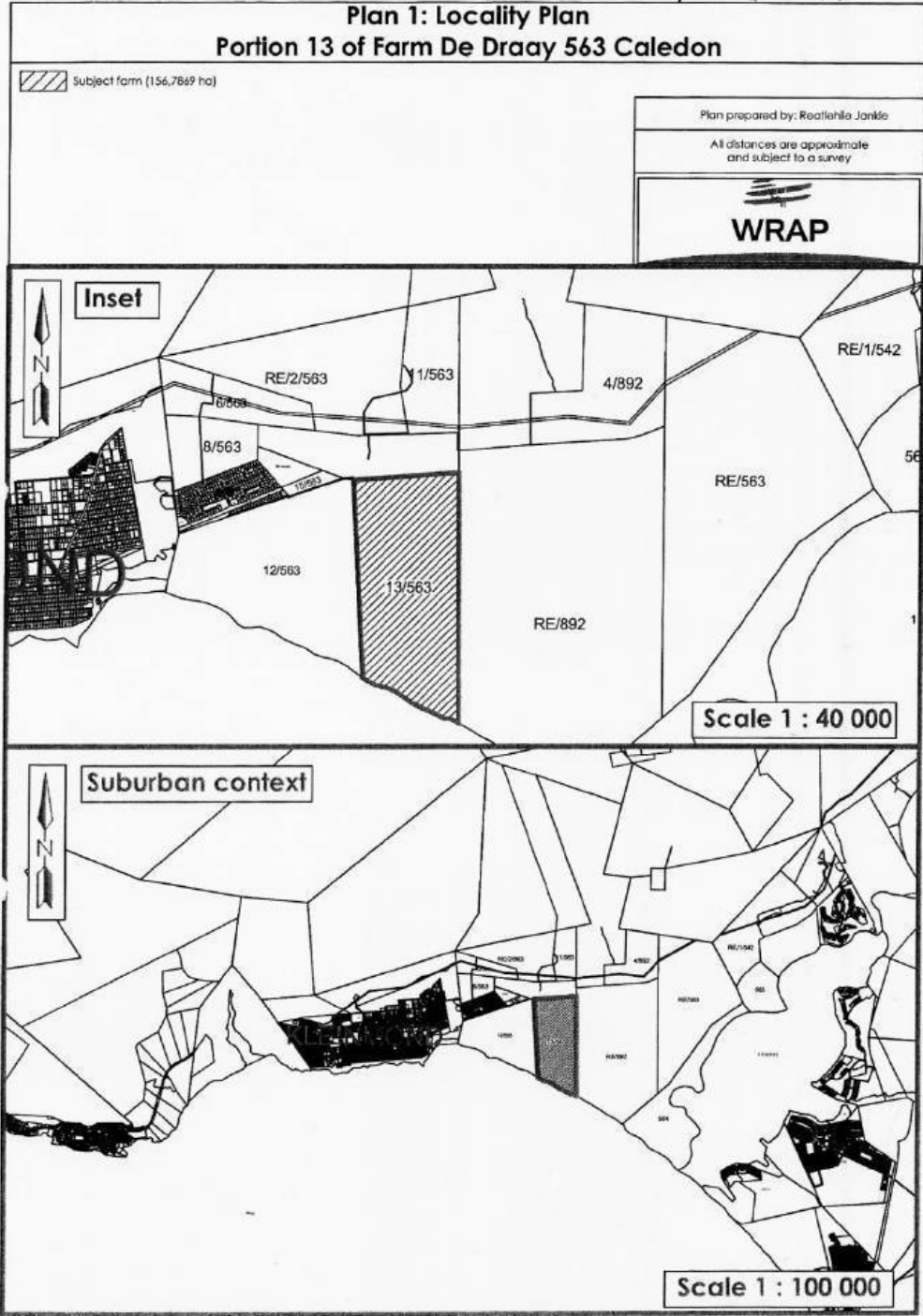
**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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- (g) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
  - (h) that all the conditions in the Services Report be complied with;
  - (i) that all the conditions imposed by Western Cape Government: EADP (Environmental) – EIA ROD be complied with;
  - (j) that all the conditions imposed by Western Cape Government: Transport & Public Works be complied with; and
  - (k) that all the conditions imposed by BGCMA be complied with.
2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

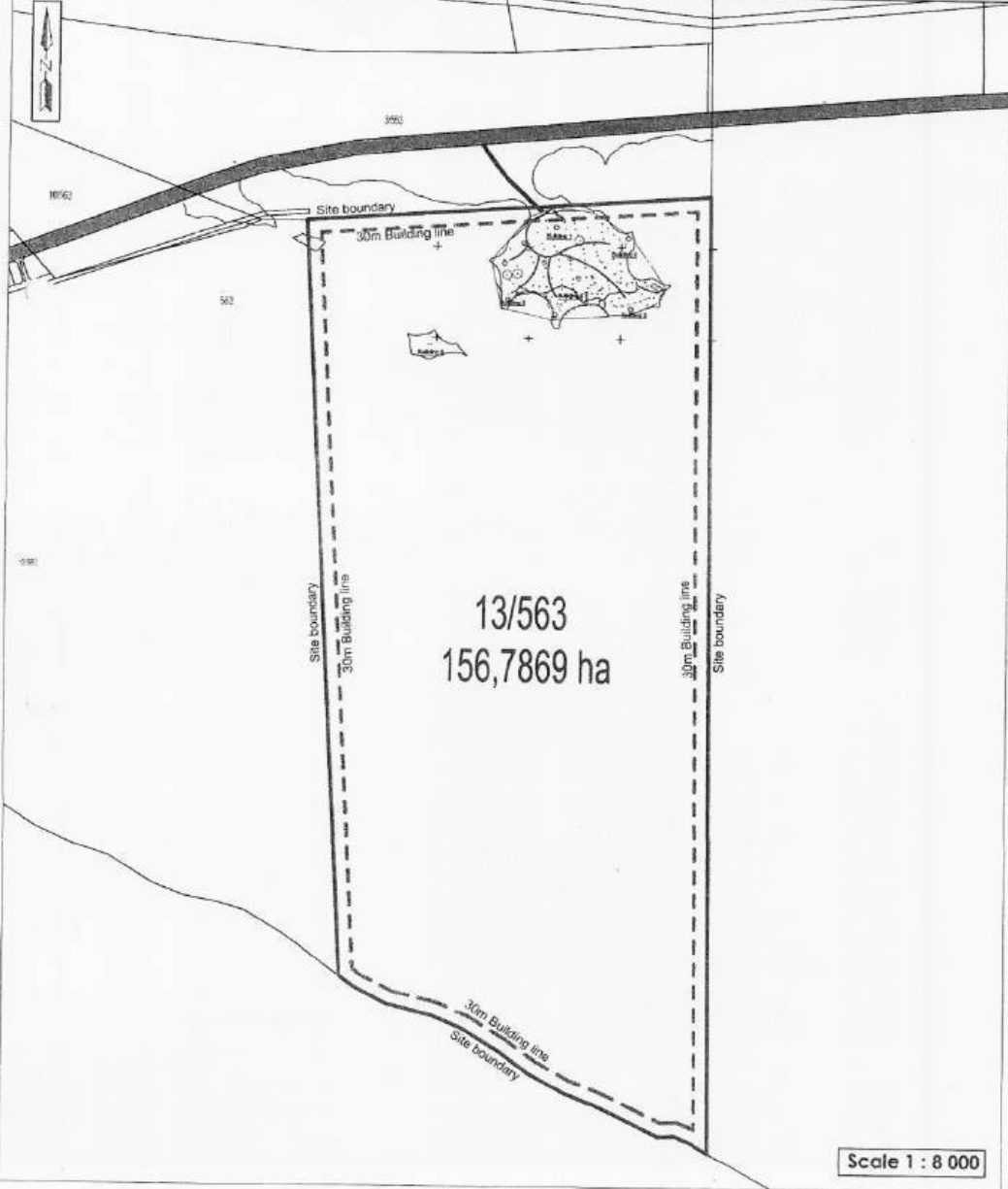
**REASONS FOR THE RESOLUTION:**

- ❖ The proposed development is in line with planning policies.
- ❖ The impact on the environment and agricultural land is minimal.
- ❖ The character of the area will not be impacted upon due to the low-keyed nature of the development.



### Plan 4: SDP of Portion 13 of Farm De Draay 563 Caledon

<ul style="list-style-type: none"> <li> Wetland delineation</li> <li> 32m Offset distance from the wetland delineation</li> <li> Provincial Road</li> <li> Proposed right of way servitude</li> </ul>	<p><b>Proposed building footprint</b></p> <ul style="list-style-type: none"> <li>Building 1 (additional dwelling unit 1) = 250m<sup>2</sup></li> <li>Building 2 (additional dwelling unit 2) = 250m<sup>2</sup></li> <li>Building 3 (additional dwelling unit 3) = 250m<sup>2</sup></li> <li>Building 4 (additional dwelling unit 4) = 250m<sup>2</sup></li> <li>Building 5 (additional dwelling unit 5) = 250m<sup>2</sup></li> <li>Building 6 Main house = 550m<sup>2</sup></li> </ul>	<p>Plan prepared by: Realiehle Jankie Based on a plan prepared by Natural Architecture</p> 
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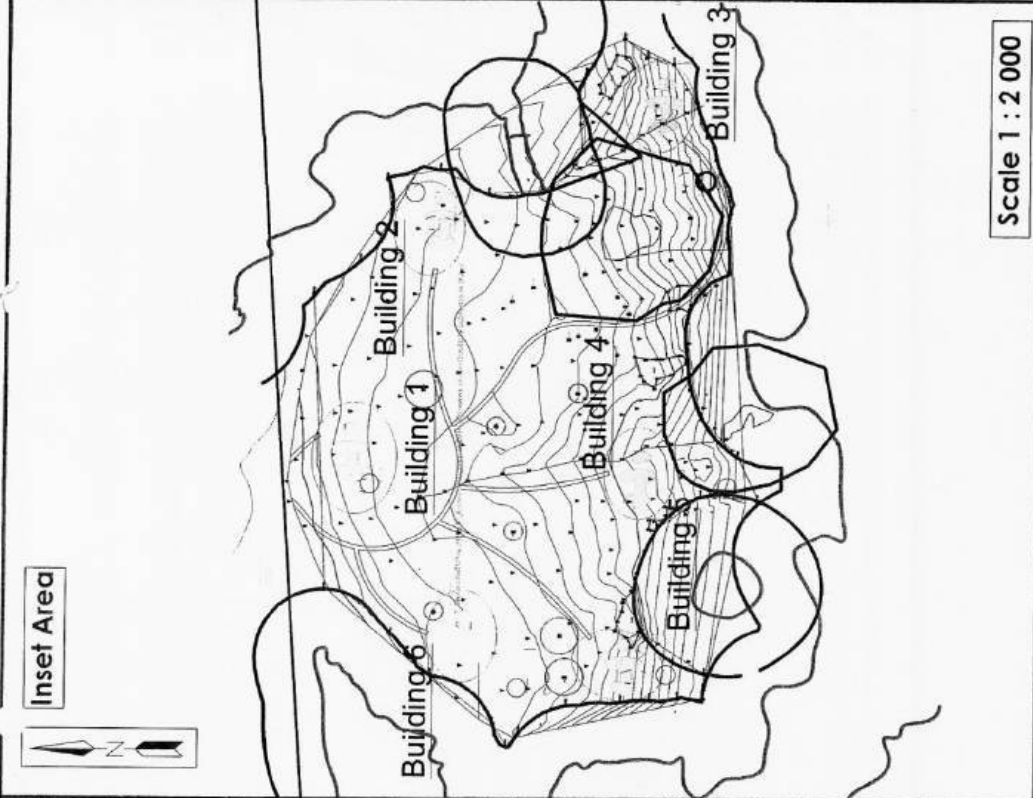
**Site Development Plan**  
**Portion 13 of Farm De Draay 563 Caledon**

-  Subject property
-  Wetland
-  32m Buffer from the Wetland

Tel: 028 313 1411  
 Email: admin@wrapgroup.co.za  
 Final Amended Plan  
 Corner of Royal and Dicks Uys Street  
 Hennons, 7900  
 Plan prepared by: Reallele Janke  
 All distances are approximate and subject to a survey.

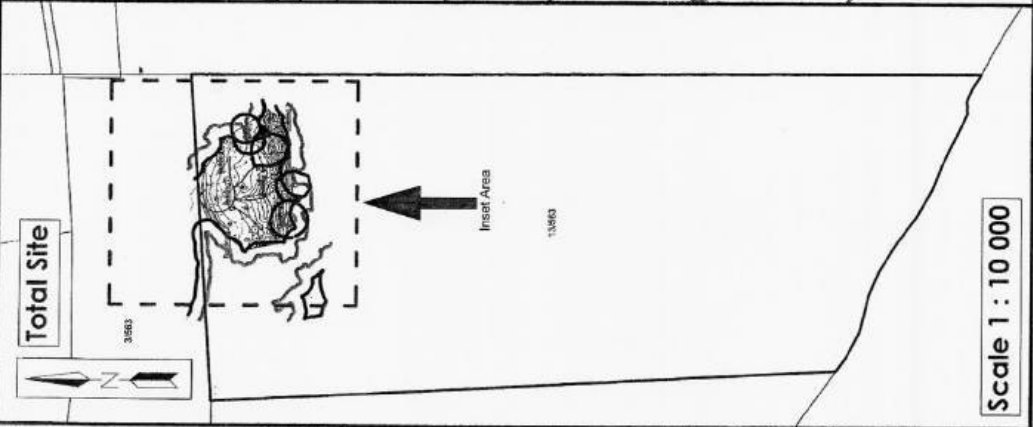
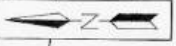


**Inset Area**







**Scale 1 : 2 000**

**Total Site**



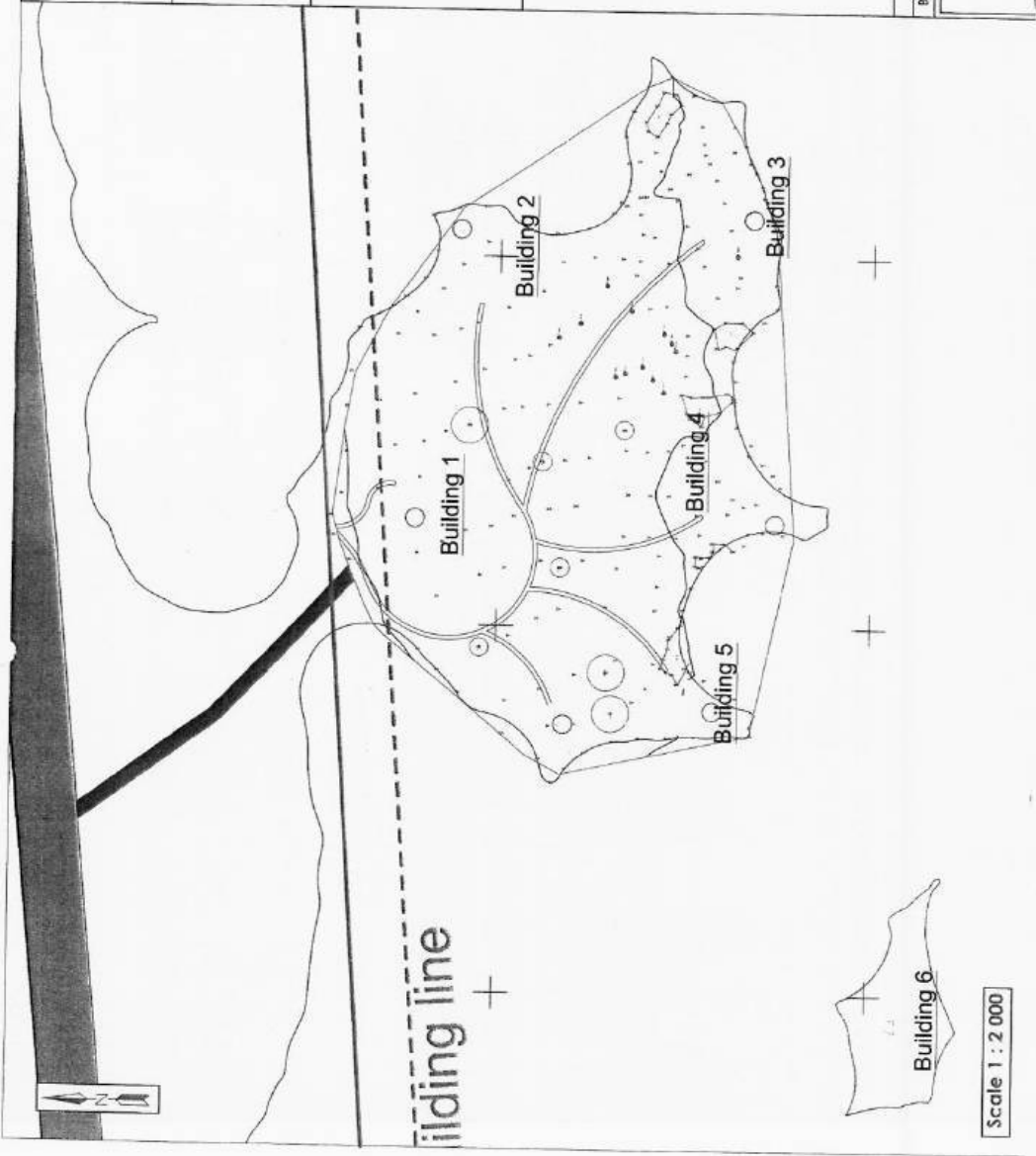
**Scale 1 : 10 000**

**Plan 4: Inset of the SDP  
Plan of Portion 13 of  
Farm De Draay 563  
Caledon**

-  Wetland delineation
-  32m Offset distance from the wetland delineation
-  Proposed right of way servitude
-  Provincial Road number TR02701

**Proposed building footprint**

- Building 1 (additional dwelling unit 1) = 250m<sup>2</sup>
- Building 2 (additional dwelling unit 2) = 250m<sup>2</sup>
- Building 3 (additional dwelling unit 3) = 250m<sup>2</sup>
- Building 4 (additional dwelling unit 4) = 250m<sup>2</sup>
- Building 5 (additional dwelling unit 5) = 250m<sup>2</sup>
- Building 6 Main house = 550m<sup>2</sup>



Plan prepared by: Reathlele Janhe  
Based on a plan prepared by Natural Architecture

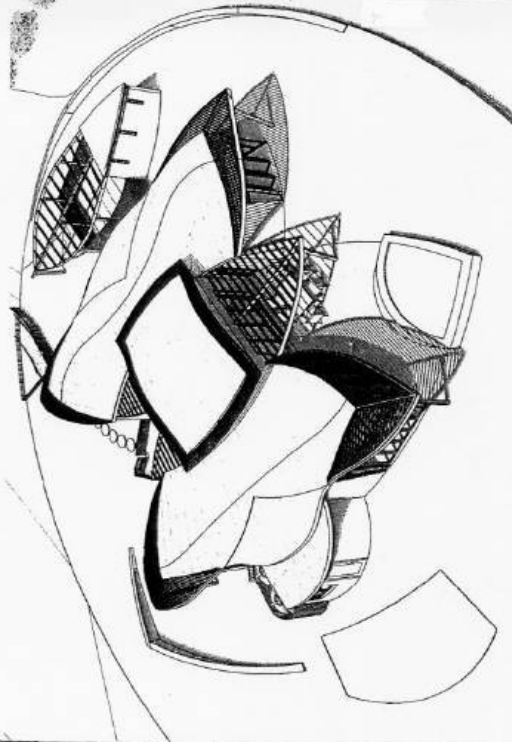
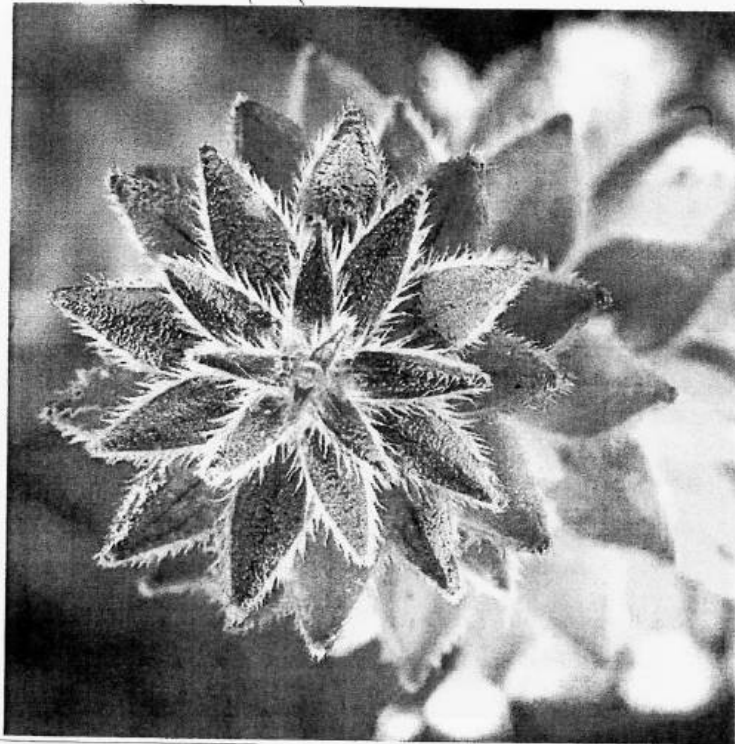


# Plan 5: Access Plan to Portion 13 of Farm De Draay 563 Caledon

- Wetland delineation
- 32m Offset distance from the wetland delineation
- Road number 1802701
- Proposed right of way servitude

Plan prepared by: Realfhile Janke  
Based on a plan prepared by Natural Architecture





1 **Pagoda House**  
Scale:

**NATURAL ARCHITECTURE**  
Tel: +27 21 754 7655  
16 Bl. Joseph Road  
Plumstead, Cape Town  
[www.naturalarchitecture.co.za](http://www.naturalarchitecture.co.za)

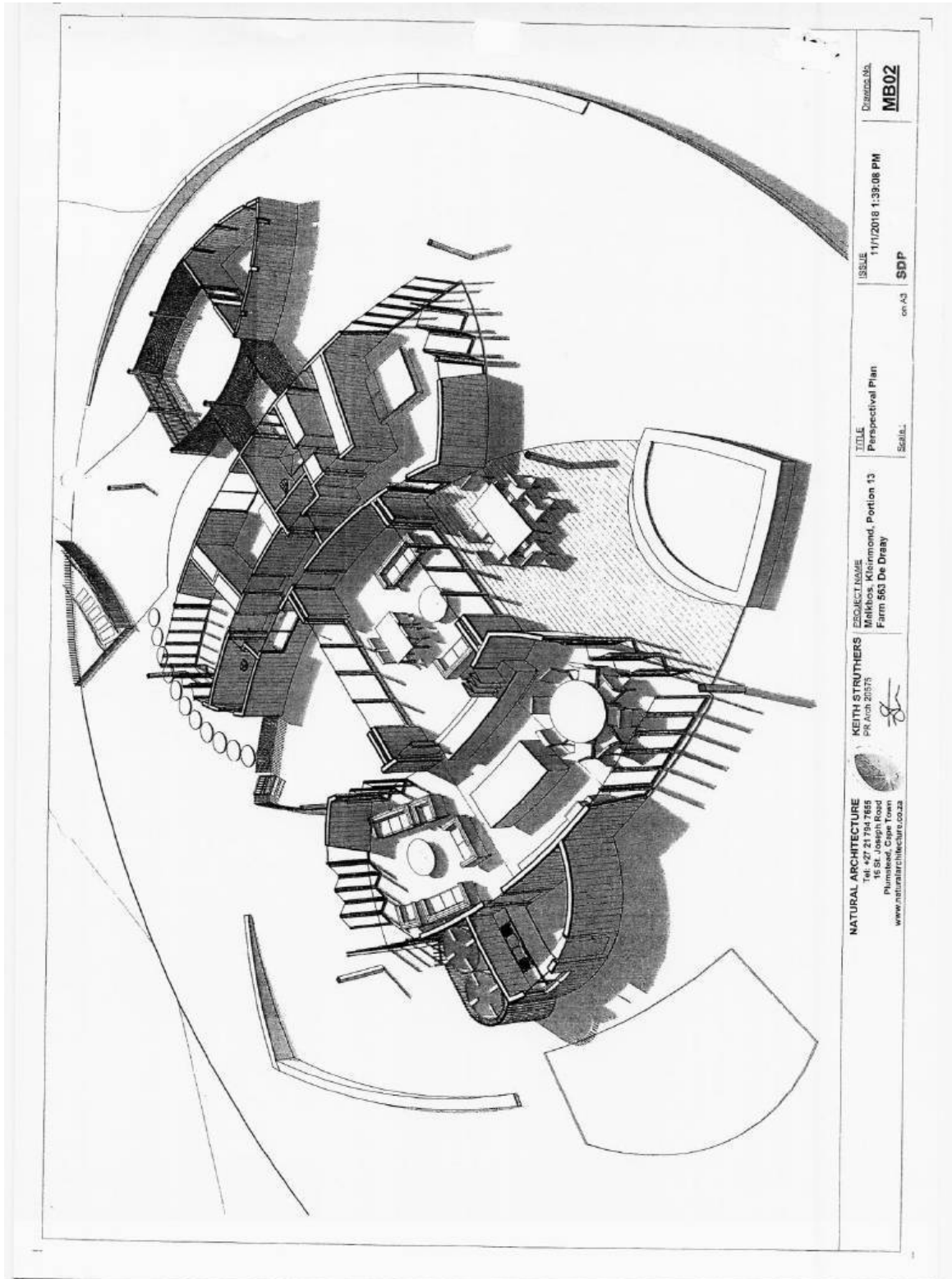
**KEITH STRUTHERS**  
PR Arch. 2007/5  


**PROJECT NAME**  
Melkies, Kleinmond, Portion 13  
Farm 563 De Draay

**TITLE**  
Flower Power

**ISSUE**  
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on A3 **SDP**

**MB01**



Drawings No.  
**MB02**

ISSUE  
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SDP

TITLE  
Perspective Plan  
Scale:

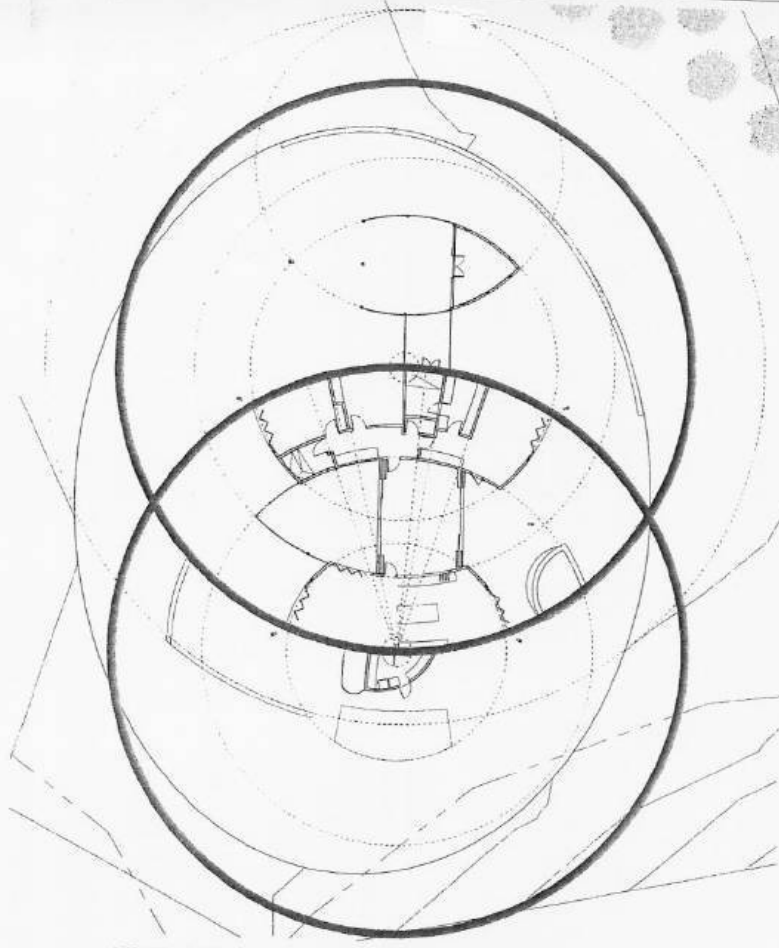
PROJECT NAME  
Blikkies, Kluemmond, Portion 13  
Farm 503 De Dray

KEITH STRUTHERS  
PR Arch 2017/8

NATURAL ARCHITECTURE  
141 427 2155  
16 St. Joseph Road  
Pumslade, Cape Town  
www.naturalarchitecture.co.za



**Geometry**  
Scale: 1 : 120



**1 06-Ground Storey Setting Out**  
Scale: 1 : 250

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16 91, Joseph Road  
Plimstead, Cape Town  
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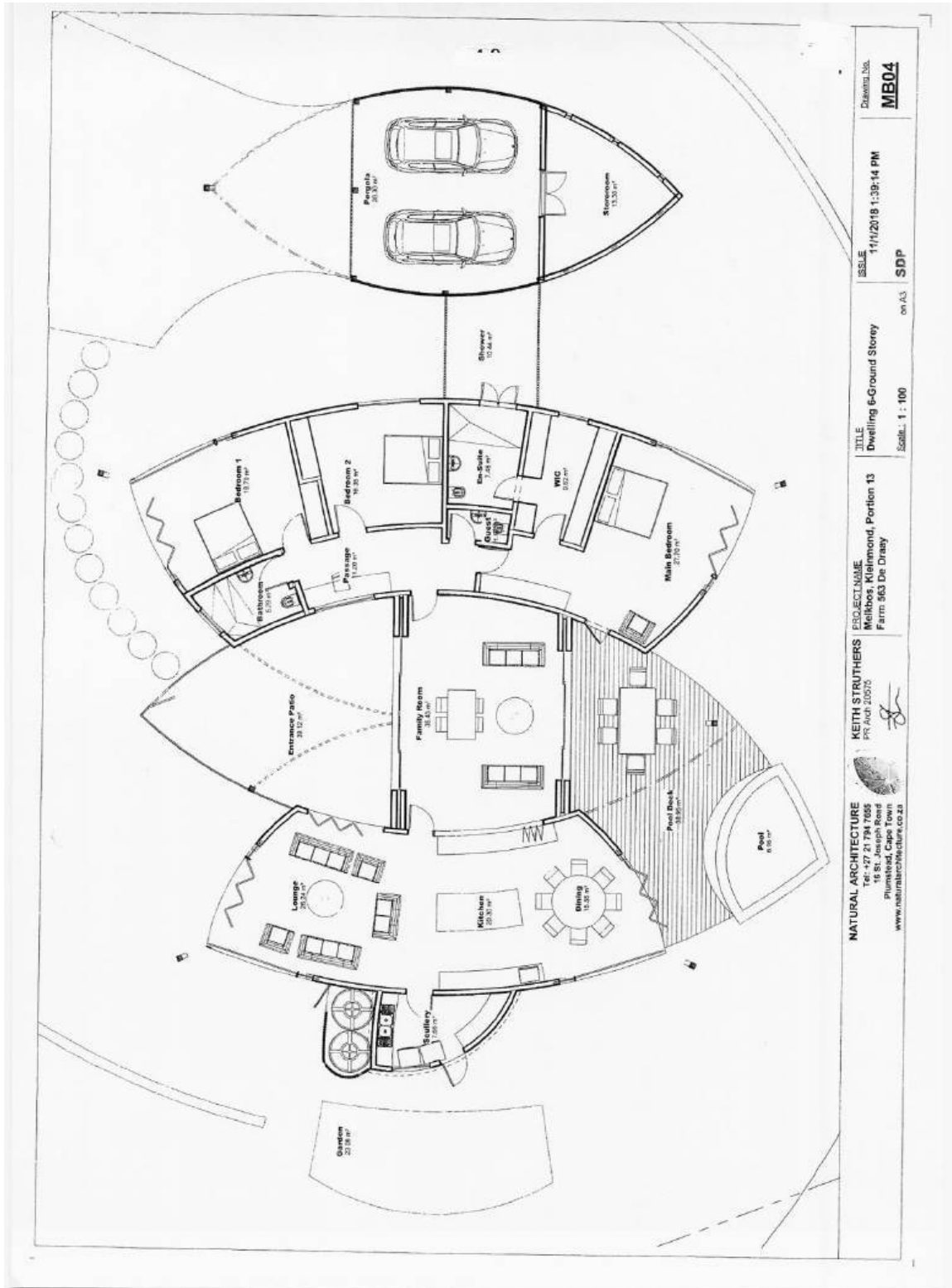
**KETH STRUTHERS**  
PRAC 20573

**PROJECT NAME**  
Makbos, Kleinmond, Portion 13  
Farm 963 De Dray

**TITLE**  
Ground Storey - Setting Out  
Plan  
Scale: As Indicated

**ISSUE**  
11/12018 1:38:11 PM  
SDP

**Drawn By**  
**MB03**



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 16 St. Joseph Road  
 Pinelands, Cape Town  
 www.naturalarchitecture.co.za

**PROJECT NAME**  
 Melkboos, Kleinmond, Portion 13  
 Farm 563 De Dray

**ARCHITECT**  
 KEITH STRUTHERS  
 PR Arch 20075

**TITLE**  
 Dwelling 6-Ground Storey

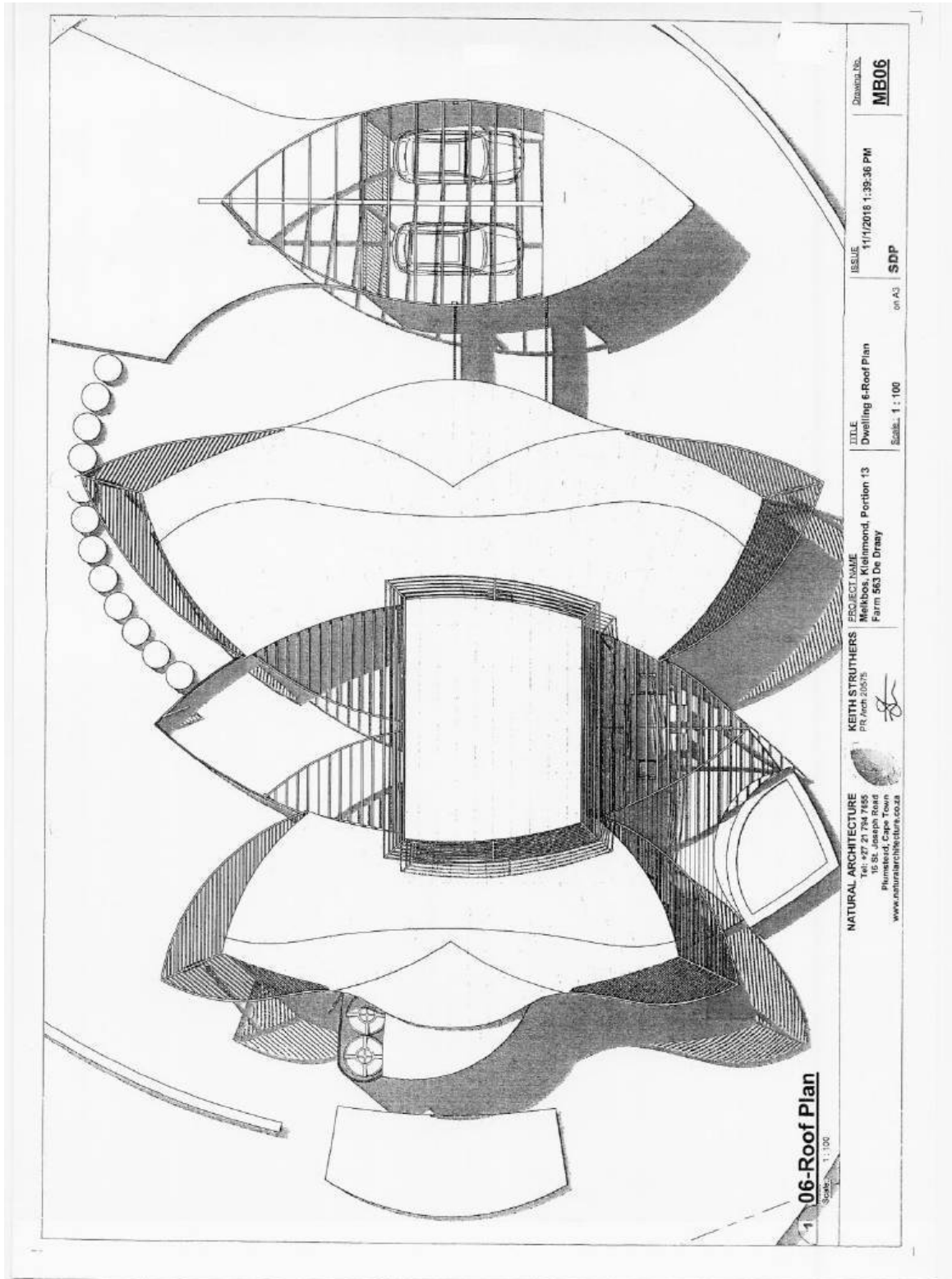
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**DATE**  
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**PROJECT NO.**  
 MB04

**STATUS**  
 on AS  
 SDP





1  
06-Roof Plan  
Scale: 1 : 100

**NATURAL ARCHITECTURE**  
 Tel: +27 21 704 7155  
 16 St. Joseph Road  
 Plumstead, Cape Town  
 www.naturalarchitecture.co.za

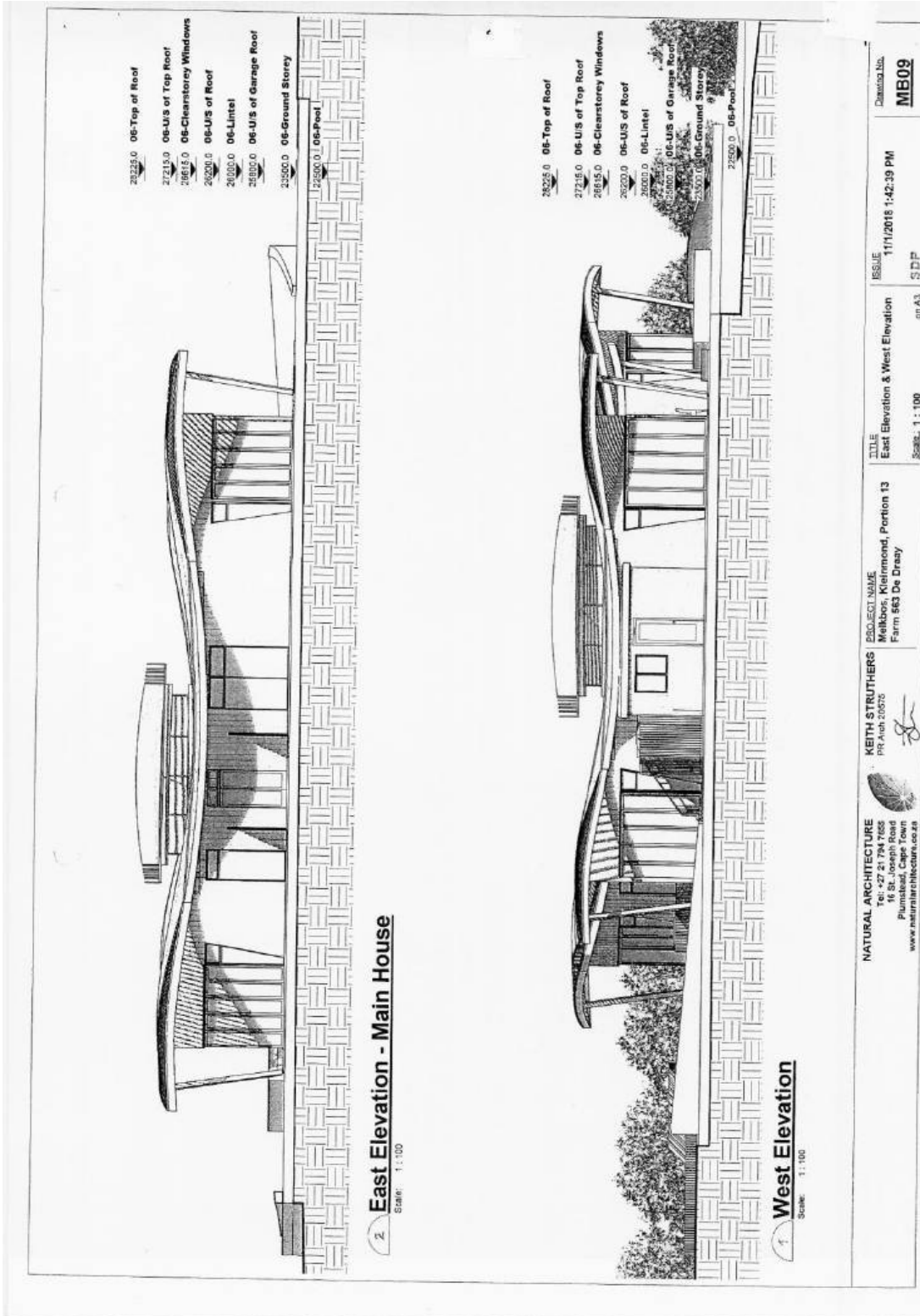
**KEITH STRUTHERS**  
 PR Arch 20575

**PROJECT NAME**  
 Melkbos, Kleinmond, Portion 13  
 Farm 563 De Druy

**TITLE**  
 Dwelling 6-Roof Plan  
 Scale: 1 : 100

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 on A3

**CLASSIFICATION**  
**MB06**  
**SDP**



2 **East Elevation - Main House**  
Scale: 1 : 100

1 **West Elevation**  
Scale: 1 : 100

**NATURAL ARCHITECTURE**  
14, 17 & 19, PICES  
16, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**KEITH STRUTHERS**  
PR Arch 20576

**PROJECT NAME**  
Melkbos, Kleinmond, Portion 13  
Farm 563 De Drey

**TITLE**  
East Elevation & West Elevation

**ISSUE**  
11/1/2018 1:42:39 PM

**Scale:** 1 : 100

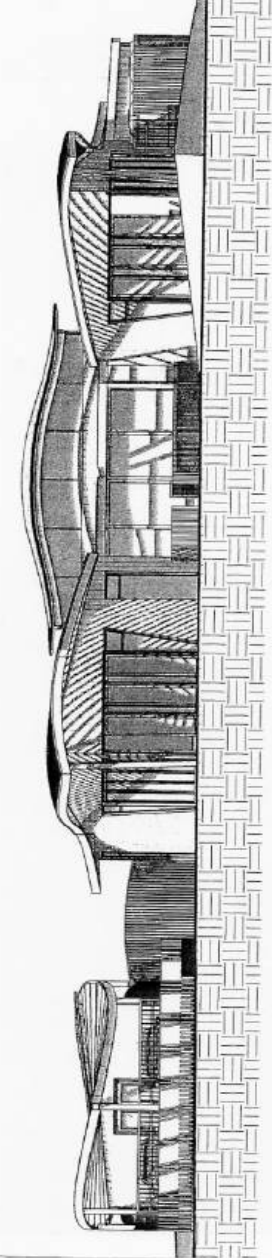
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**PROJECT NO.**  
MB09

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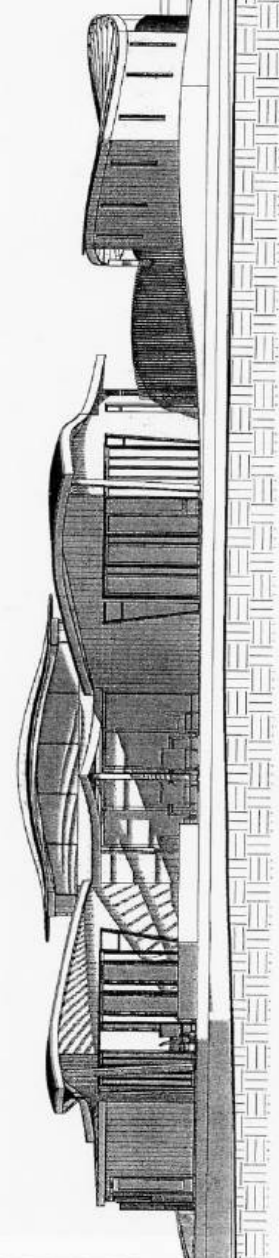
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 27215.0 06-U/S of Top Roof  
 26615.0 06-Clearstorey Windows  
 26200.0 06-U/S of Roof  
 26000.0 06-Lintel  
 25800.0 06-U/S of Garage Roof  
 23600.0 06-Ground Storey  
 23000.0 06-Pool



1. **North Elevation**  
 Scale: 1 : 100

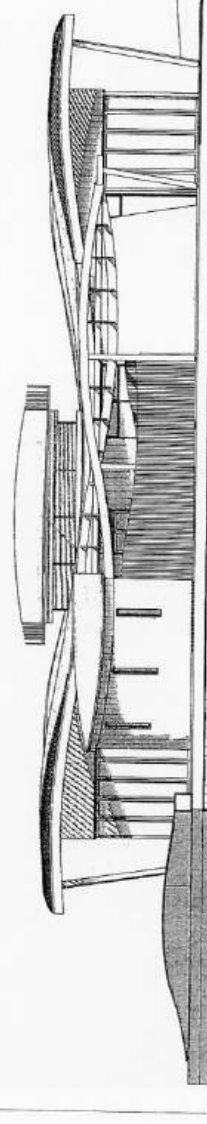
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 26000.0 06-Lintel  
 25800.0 06-U/S of Garage Roof  
 23600.0 06-Ground Storey  
 23000.0 06-Pool



2. **South Elevation**  
 Scale: 1 : 100

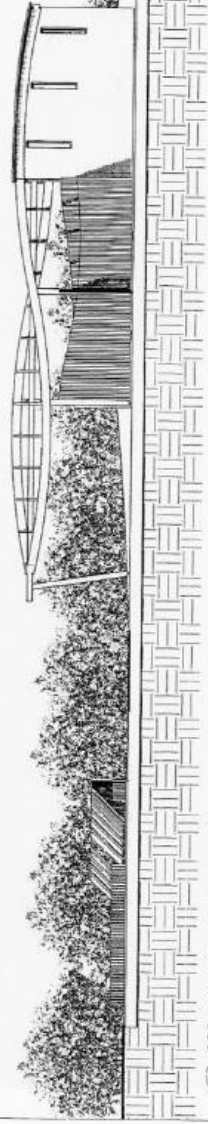
<p><b>NATURAL ARCHITECTURE</b>                  Tel: +27 794 7600                  111 Main Road                  Plumstead, Cape Town, SA                  www.naturalarchitecture.co.za</p>	<p><b>KETH STRUTHERS</b>                  PR Arch 20575</p> 	<p><b>PROJECT NAME</b>                  Welkbos, Kleinmond, Portion 13                  Farm 563 De Draai</p>	<p><b>TITLE</b>                  North Elevation &amp; South                  Elevation</p>	<p><b>ISSUE</b>                  11/1/2018 1:42:50 PM</p>	<p><b>Drawing No.</b>  <b>MB10</b></p>
		<p>Scale: 1 : 100</p>	<p>in A3</p>	<p>SDP</p>	

- 26225.0 06-Top of Roof
- 27215.0 06-US of Top Roof
- 26815.0 06-Clearstorey Windows
- 26200.0 06-US of Roof
- 26200.0 06-Lintel
- 25100.0 06-US of Garage Roof
- 23000.0 06-Ground Storey
- 22600.0 06-Pool



4 **East Elevation**  
Scale: 1 : 100

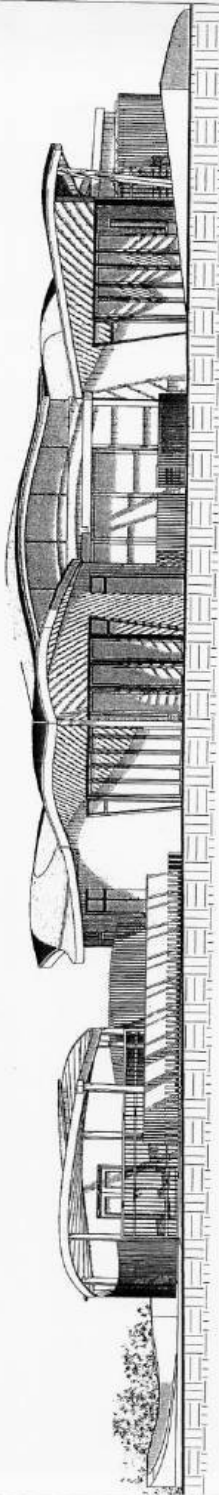
- 26225.0 06-Top of Roof
- 27215.0 06-US of Top Roof
- 26815.0 06-Clearstorey Windows
- 26200.0 06-US of Roof
- 26200.0 06-Lintel
- 26000.0 06-US of Garage Roof
- 23000.0 06-Ground Storey
- 22600.0 06-Pool



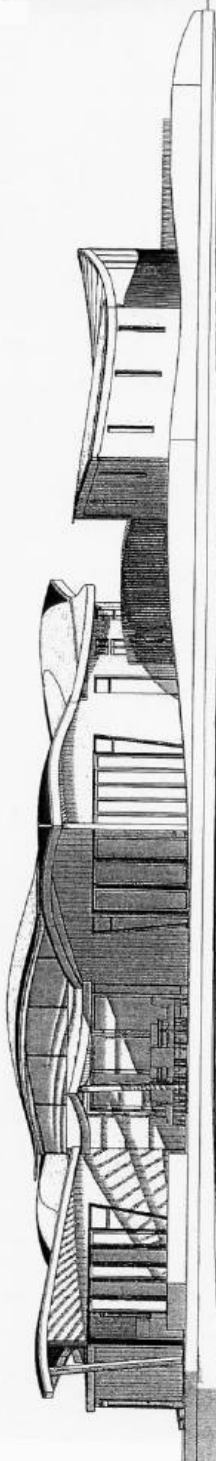
5 **West Elevation - Garage**  
Scale: 1 : 100

<p><b>NATURAL ARCHITECTURE</b> Tel: +27 21 784 7655 16 St. Joseph Road Pinelands, Cape Town www.naturalarchitecture.co.za</p>	<p><b>KEITH STRUTHERS</b> PR Arch 20275</p> 	<p><b>PROJECT NAME</b> Melkbos, Kleinmond, Portion 13 Farm 583 De Dray</p>	<p><b>TITLE</b> Garage - East Elevation &amp; West Elevation Scale: 1 : 100</p>	<p><b>ISSUE</b> 11/1/2018 1:42:58 PM</p>	<p>Drawn by:</p>
					<p><b>MB11</b></p>





1 **North East Elevation**  
Scale: 1 : 100



2 **South East Elevation**  
Scale: 1 : 100

**NATURAL ARCHITECTURE**  
Tel: +27 21 794 7985  
Fax: +27 21 794 7986  
Plumstead, Cape Town  
www.naturalarchitecture.co.za

**KEITH STRUTHERS**  
PR Act 20075

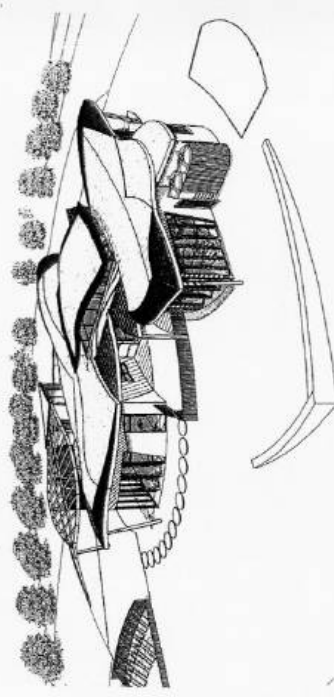
**PROJECT NAME**  
Melkboos, Kikimond, Portion 13  
Farm 563 De Dray

**TITLE**  
North East Elevation & South  
East Elevation  
Scale: 1 : 100

**ISSUE**  
11/1/2018 1:43:19 PM

**MB13**  
Drawings No.

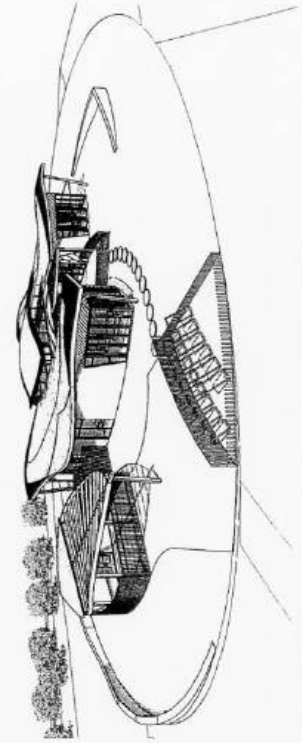
on A3  
S.D.P.



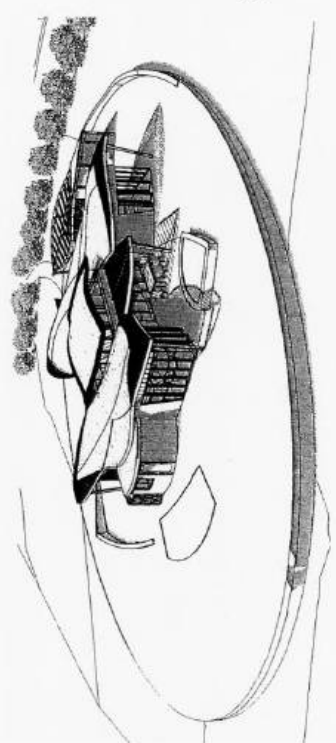
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Scale:



4 **SE-Corner**  
Scale:

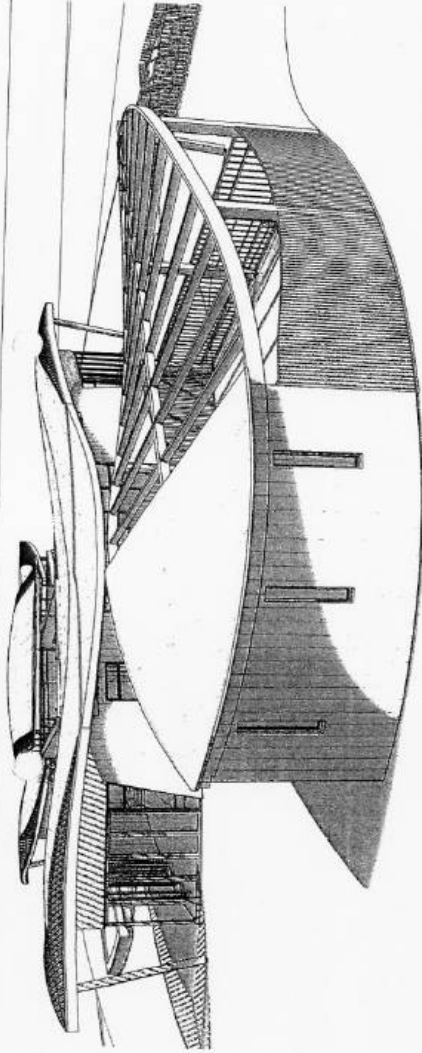


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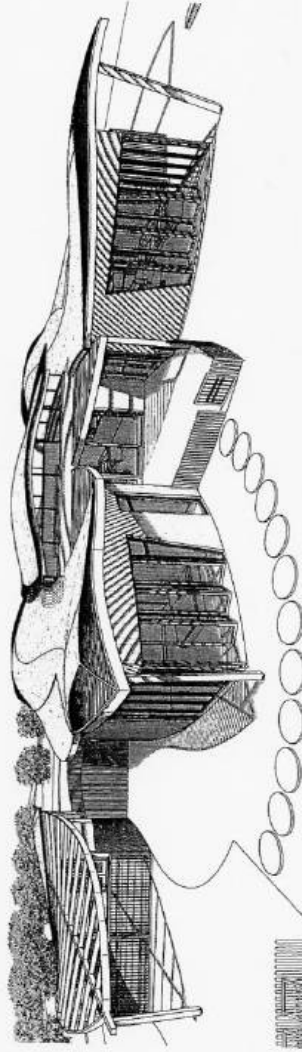


3 **SW-Corner**  
Scale:

<p><b>NATURAL ARCHITECTURE</b> Tel: +27 21 784 7885 16 St. Joseph Road Plainsbad, Cape Town www.naturalarchitecture.co.za</p>	<p><b>KEITH STRUTHERS</b> PR Act 20575</p>	<p><b>PROJECT NAME</b> Melkies, Richmond, Portion 13 Farm 563 De Dray</p>	<p><b>TITLE</b> Aerial Perspective Views</p>	<p><b>ISSUE</b> 11/1/2016 1:46:04 PM</p>	<p><b>DRAWING No.</b> <b>MB14</b></p>
				<p>on A3</p>	<p><b>Scale:</b> S.D.P.</p>



1 **Garage Perspective**  
Scale:



2 **Entrance Perspective**  
Scale:

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**KEITH STRUTHERS**  
PR Arch 20375

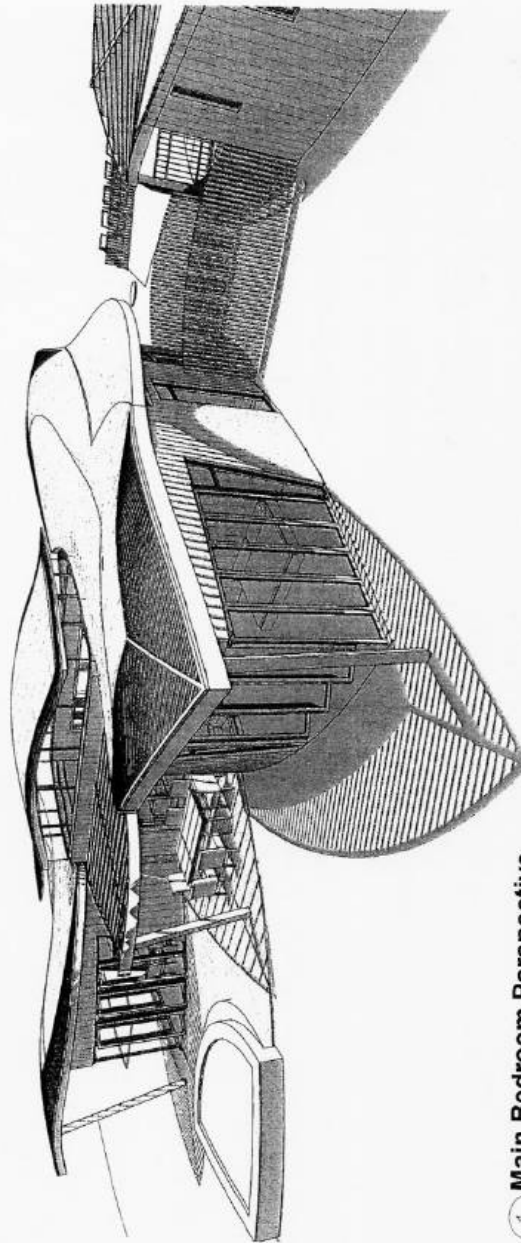
**PROJECT NAME**  
Melkies, Krimmond, Portion 13  
Farm 563 De Dray

**TITLE**  
Perspective Views 3  
Scale:

**ISSUE**  
11/12018 1:46:17 PM

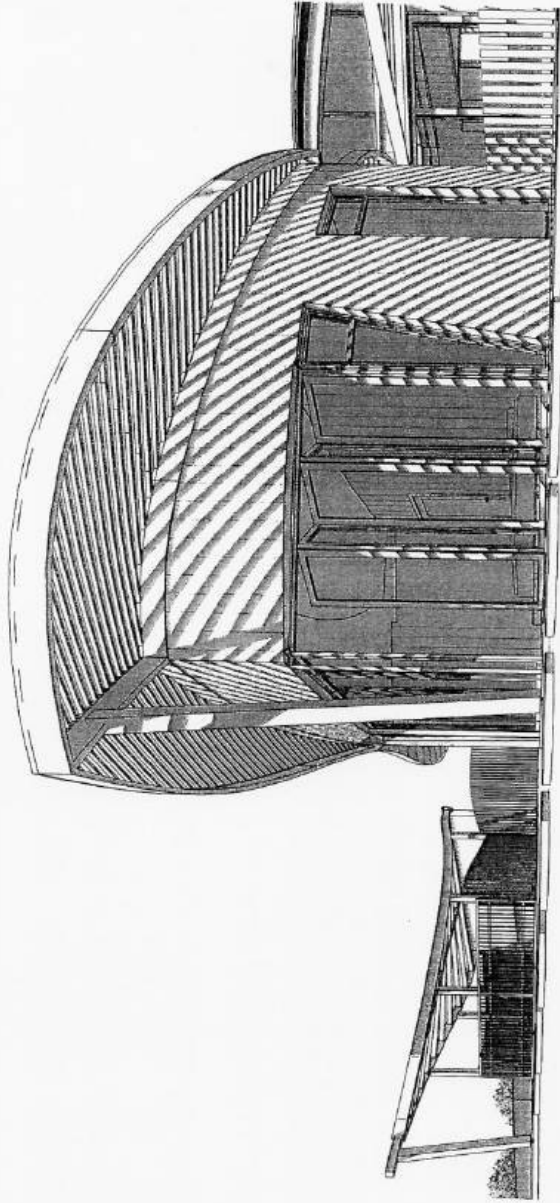
on A3 SD F

Danette Ltd.  
**MB17**



1 Main Bedroom Perspective  
Scale:

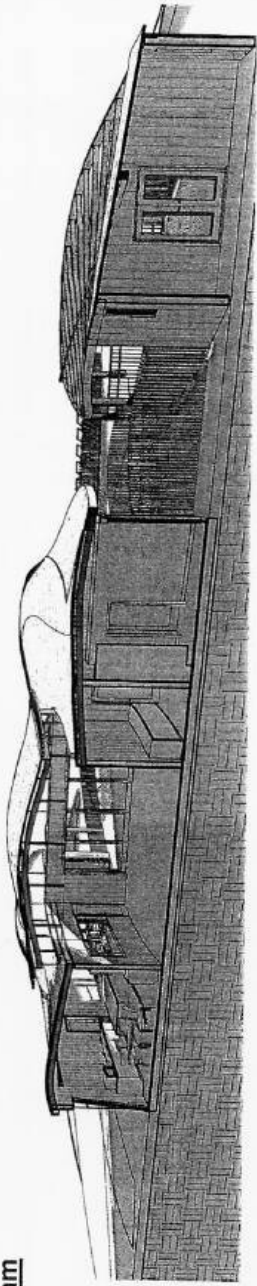
<p><b>NATURAL ARCHITECTURE</b> Tel: +27 21 784 7686 16 St. Joseph Road Philippi, Cape Town www.naturalarchitecture.co.za</p>	<p><b>KEITH STRUTHERS</b> PR Arch. 20075</p>	<p><b>PROJECT NAME</b> Melkbos, Kleinmond, Portion 13 Farm 563 De Draai</p>	<p><b>TITLE</b> Perspective Views 8</p>	<p><b>DATE</b> 11/2016 1:46:23 PM</p>	<p><b>SCALE</b> on A3</p>	<p><b>STATUS</b> SDP</p>	<p><b>CLIENT NO.</b> MB22</p>
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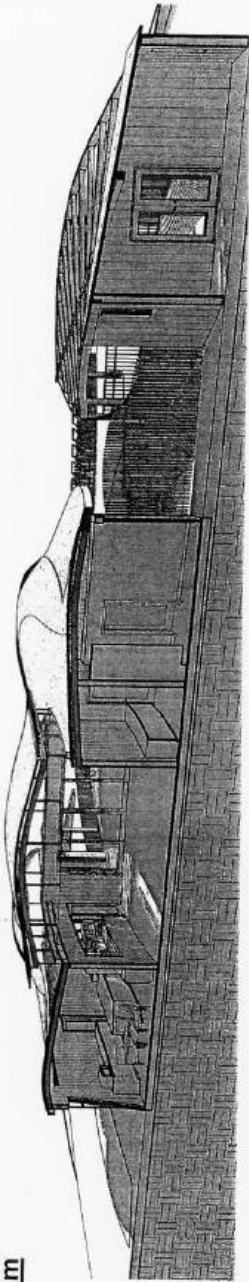
1 Bedroom 1 Perspective  
Scale:

<p><b>NATURAL ARCHITECTURE</b>          Tel: +27 21 794 7555          16 St. Joseph Road          Plumstead, Cape Town  <a href="http://www.naturalarchitecture.co.za">www.naturalarchitecture.co.za</a></p>		<p><b>KEITH STRUTHERS</b>          PR ARCH 20673</p>	<p><b>PROJECT NAME</b>          Melkies, Kleinmond, Portion 13          Farm 663 De Dray</p>	<p><b>TITLE</b>          Perspective Views 9          Scale:</p>	<p><b>ISSUE</b>          11/1/2018 1:46:29 PM          on A3 SDP</p>	<p><b>Drawing No.</b>  <b>MB23</b></p>
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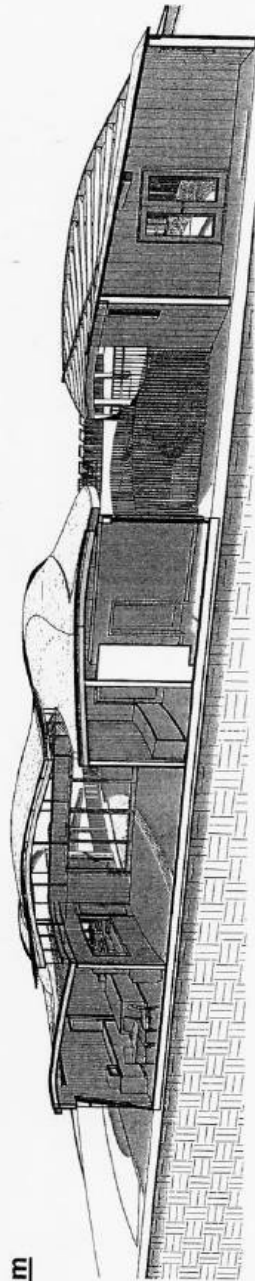
1 **Jun-9am**  
Scale:



2 **Sep-9am**  
Scale:



3 **Dec-9am**  
Scale:



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**KEITH STRUTHERS**  
 PR Arch 20575

**PROJECT NAME**  
 Melkbos, Kleinmond, Portion 13  
 Farm 663 De Driay

**TITLE**  
 Solar Study - 9am

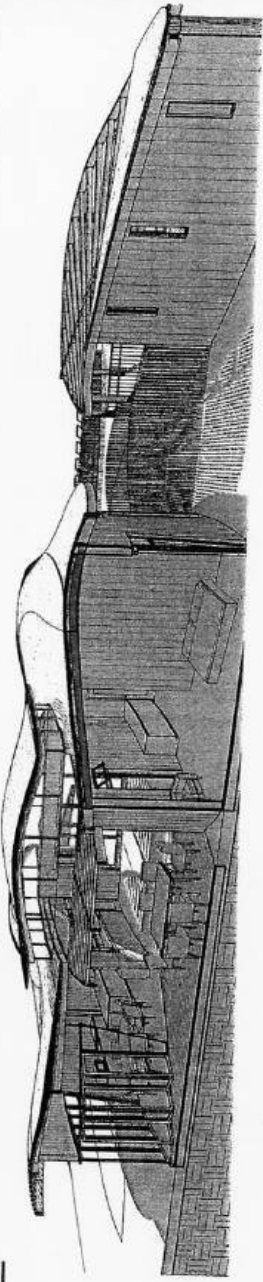
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**ISSUE**  
 \$DP

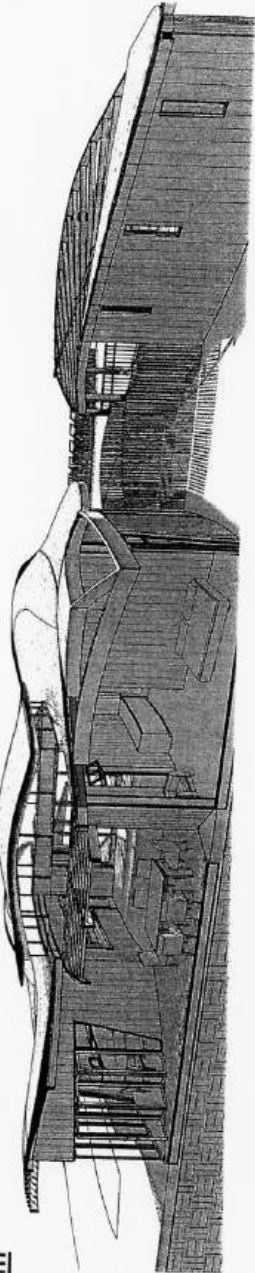
**Drawings No.**  
**MB24**

on A3

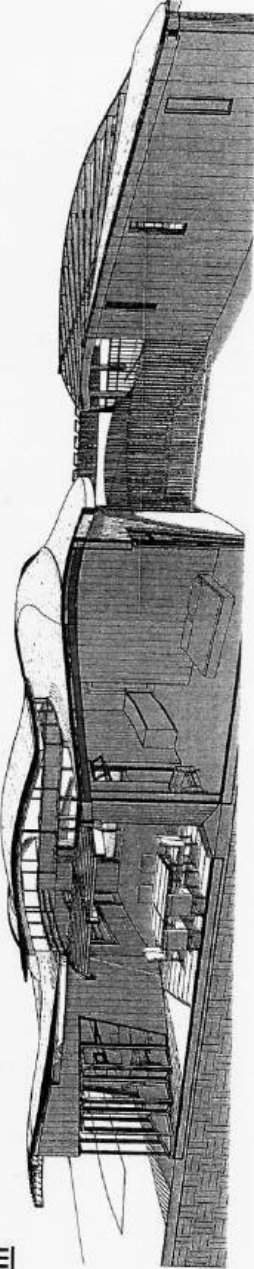
1 Jun-12pm  
Scale:



2 Sep-12pm  
Scale:



3 Dec-12pm  
Scale:



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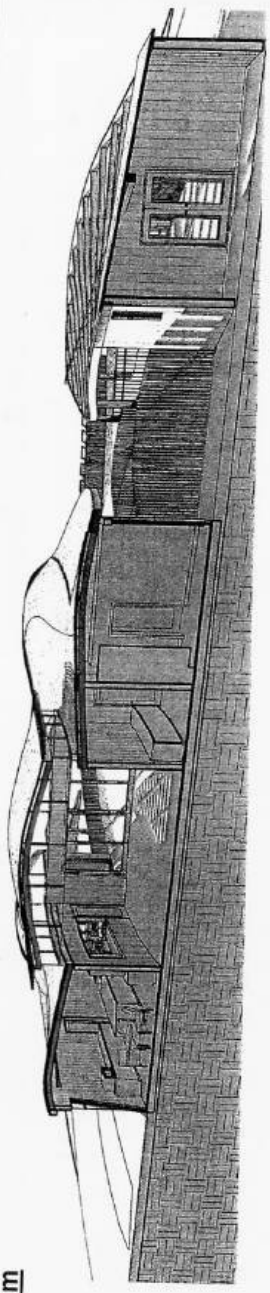
KEITH STRUTHERS  
PR/Arch: 20175  
PROJECT NAME  
Meikbos, Klermond, Porton 13  
Farm 662 De Drey

TITLE  
Solar Study - 12pm  
Scale:

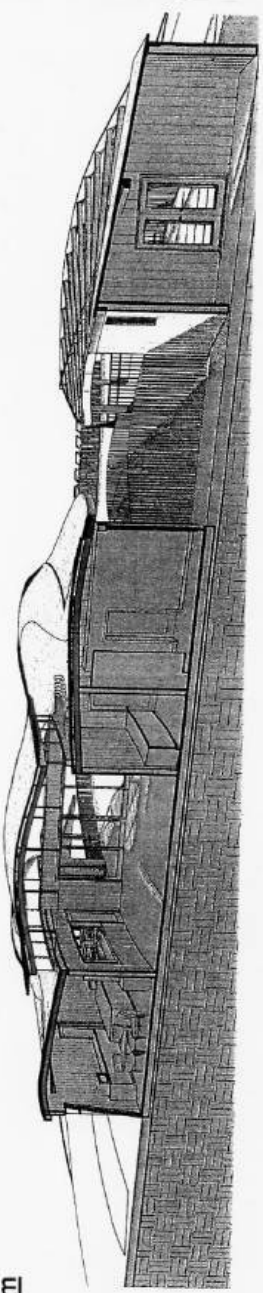
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Drawn No.  
MB25

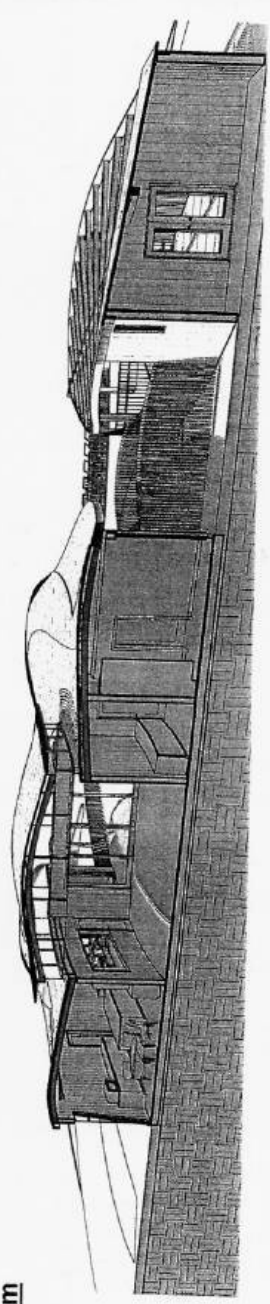
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2 **Sep-3pm**  
Scale:



3 **Dec-3pm**  
Scale:



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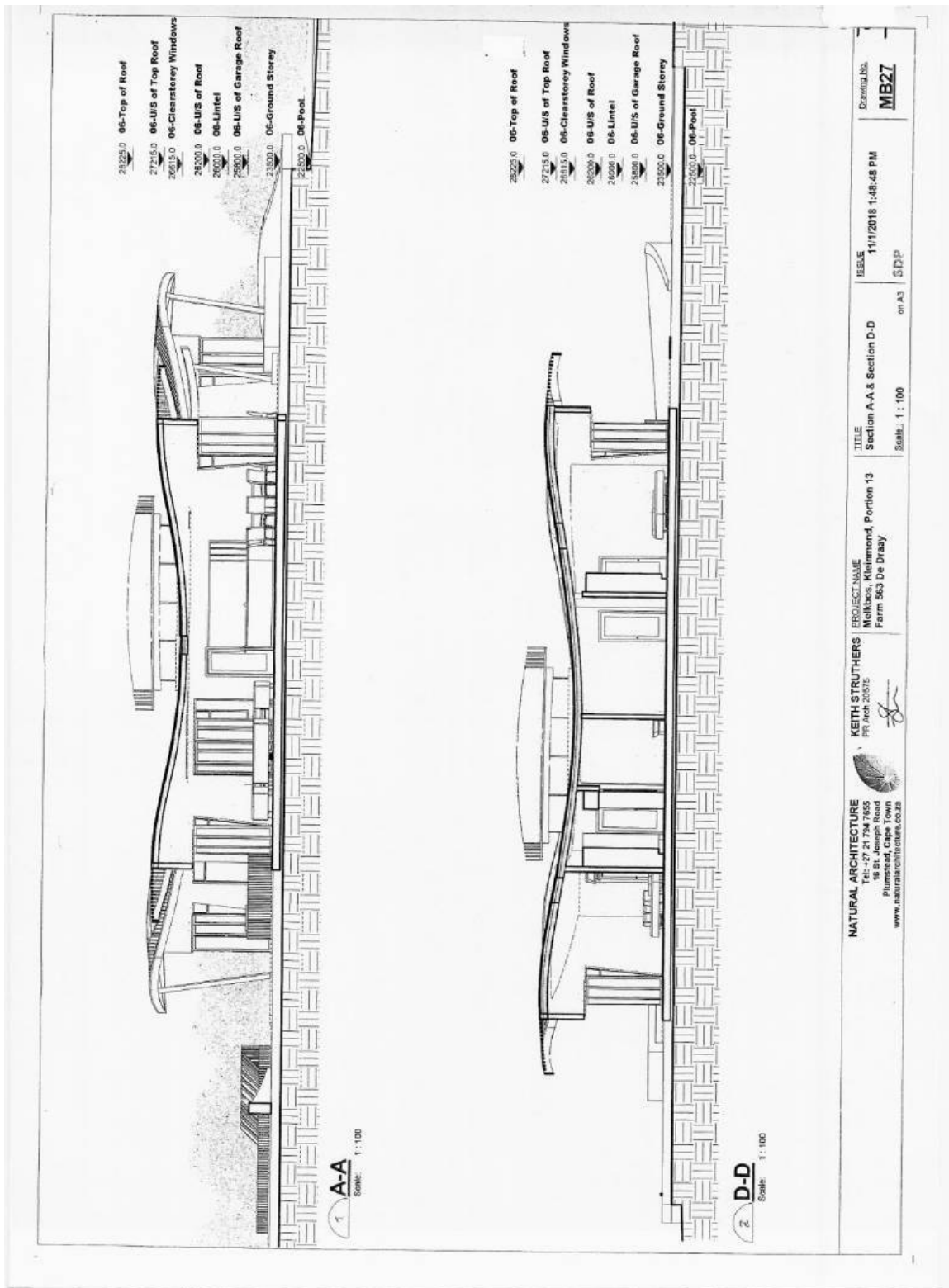
**KEITH STRUTHERS**  
 PR. ARCH. 20075

**PROJECT NAME**  
 Bakkibos, Kleinmond, Portion 13  
 Farm 563 De Draai

**TITLE**  
 Solar Study - 3pm  
 Scale:

**ISSUE**  
 11/12/2018 1:48:33 PM  
 on A3 S.D.P.

**Drawn by:**  
**MBZ6**



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**KEITH STRUTHERS**  
PR Arch 20075

**PROJECT NAME**  
Melkbos, Klaimond, Portion 13  
Farm 563 De Dray

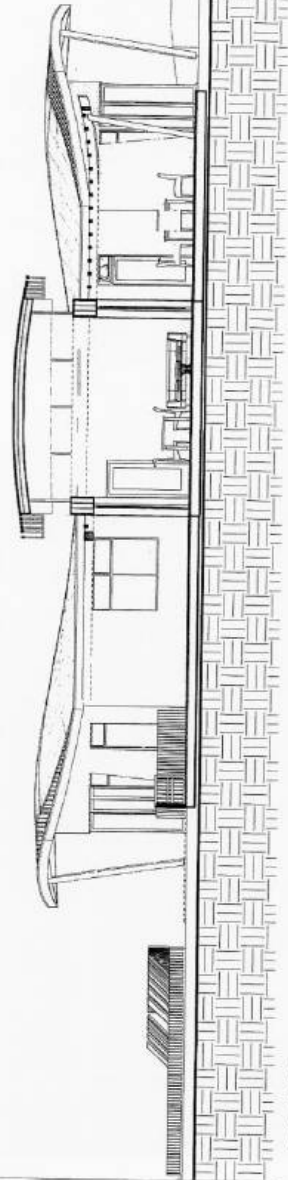
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on A3  
SDP

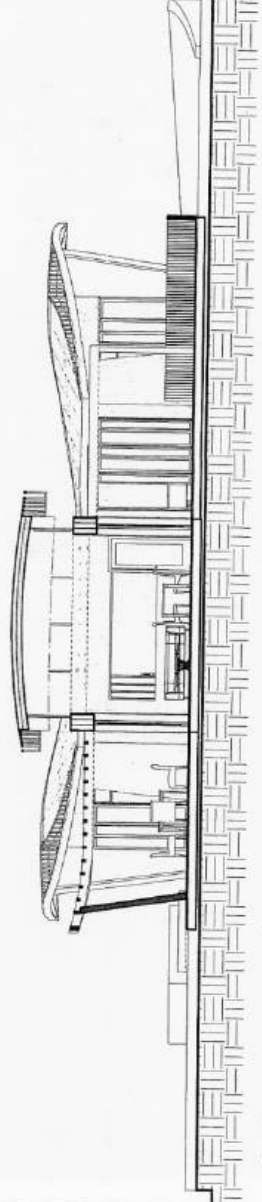
Drawing LNo.  
**MBZ7**

- 28225.0 06-Top of Roof
- 27215.0 06-UIS of Top Roof
- 26815.0 06-Clearstorey Windows
- 26200.0 06-UIS of Roof
- 26000.0 06-Lintel
- 25800.0 06-UIS of Garage Roof
- 25400.0 06-Ground Storey
- 22900.0 06-Pool



1 **B-B**  
Scale: 1 : 100

- 28225.0 06-Top of Roof
- 27215.0 06-UIS of Top Roof
- 26815.0 06-Clearstorey Windows
- 26200.0 06-UIS of Roof
- 26000.0 06-Lintel
- 25800.0 06-UIS of Garage Roof
- 25400.0 06-Ground Storey
- 22900.0 06-Pool



2 **C-C**  
Scale: 1 : 100

PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

PROJECT NUMBER  
11/12018 1:46:53 PM

DATE  
11/12/2018 1:46:53 PM

SECTION  
Section B-B & Section C-C

SCALE  
Scale: 1 : 100

PROJECT NUMBER  
MB28

PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

PROJECT NUMBER  
11/12018 1:46:53 PM

DATE  
11/12/2018 1:46:53 PM

SECTION  
Section B-B & Section C-C

SCALE  
Scale: 1 : 100

PROJECT NUMBER  
MB28

PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

PROJECT NUMBER  
11/12018 1:46:53 PM

DATE  
11/12/2018 1:46:53 PM

SECTION  
Section B-B & Section C-C

SCALE  
Scale: 1 : 100

PROJECT NUMBER  
MB28

PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

PROJECT NUMBER  
11/12018 1:46:53 PM

DATE  
11/12/2018 1:46:53 PM

SECTION  
Section B-B & Section C-C

SCALE  
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PROJECT NUMBER  
MB28

PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

PROJECT NUMBER  
11/12018 1:46:53 PM

DATE  
11/12/2018 1:46:53 PM

SECTION  
Section B-B & Section C-C

SCALE  
Scale: 1 : 100

PROJECT NUMBER  
MB28

PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

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11/12/2018 1:46:53 PM

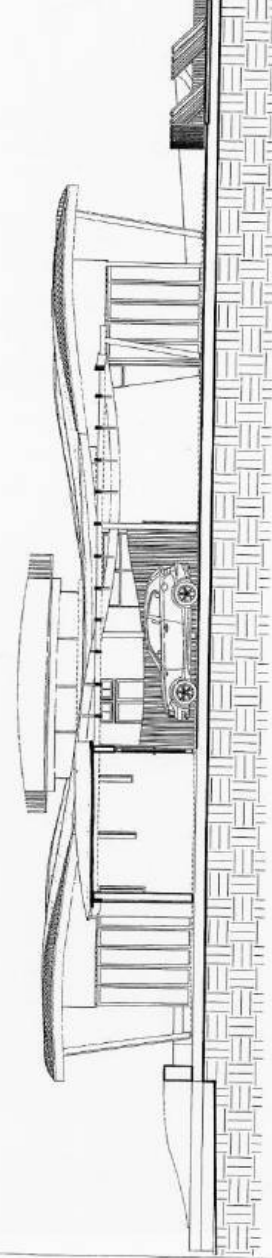
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SCALE  
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PROJECT NUMBER  
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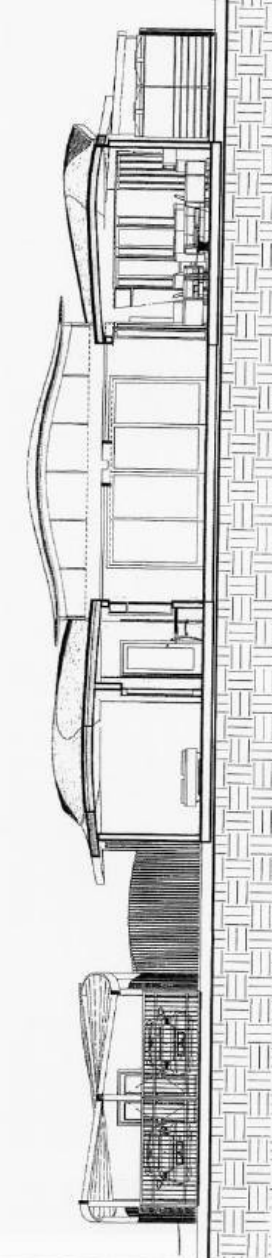
PROJECT NAME  
Melibos, Kleinmond, Portion 13  
Farm 563 De Draay

26225.0 06-Top of Roof  
 27215.0 06-US of Top Roof  
 26615.0 06-Clearstorey Windows  
 26300.0 06-US of Roof  
 26000.0 06-Lintel  
 25900.0 06-US of Garage Roof  
 23250.0 06-Ground Storey  
 22900.0 06-Pool



1 **E-E**  
Scale: 1:100

26225.0 06-Top of Roof  
 27215.0 06-US of Top Roof  
 26615.0 06-Clearstorey Windows  
 26300.0 06-US of Roof  
 26000.0 06-Lintel  
 25900.0 06-US of Garage Roof  
 23250.0 06-Ground Storey  
 22900.0 06-Pool



2 **E-F**  
Scale: 1:100

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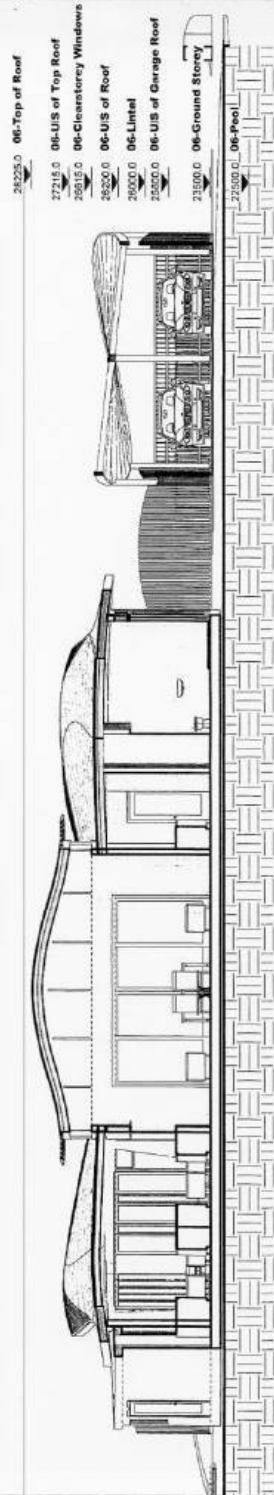
**KEITH STRUTHERS**  
 PR Arch 20575

**PROJECT NAME**  
 Melkbos Kloof, Portion 13  
 Farm 563 De Drans

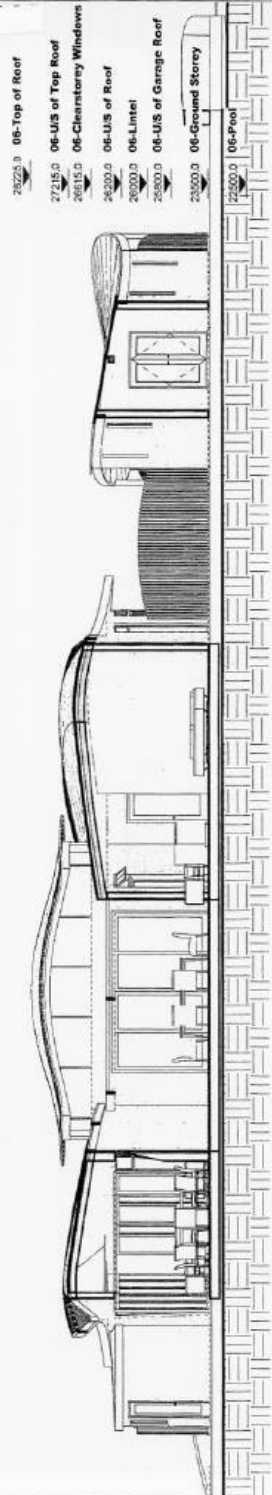
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 Section E-E & Section F-F  
 Scale: 1:100

**ISSUE**  
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 on A3 S.D.P.

Drawing No. **MB29**



1 G-G  
Scale: 1:100



2 H-H  
Scale: 1:100

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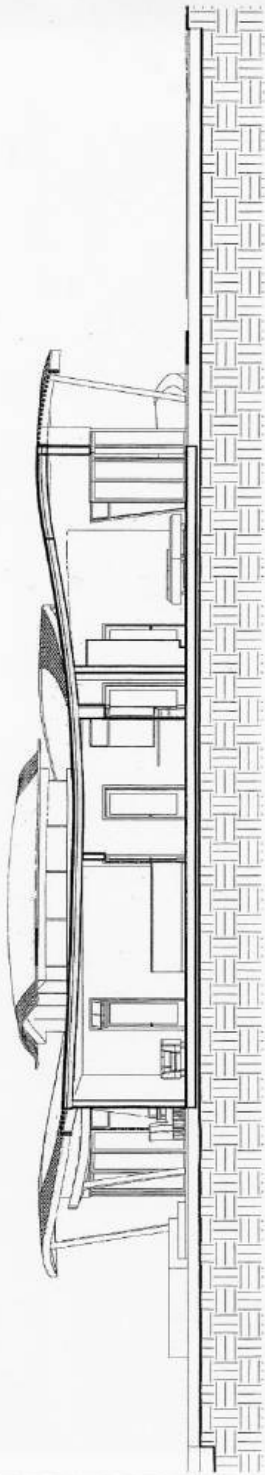
**KEITH STRUTHERS**  
PR Arch 20575

**PROJECT NAME**  
Melkboos, Kleinmond, Portion 13  
Farm 563 De Draai

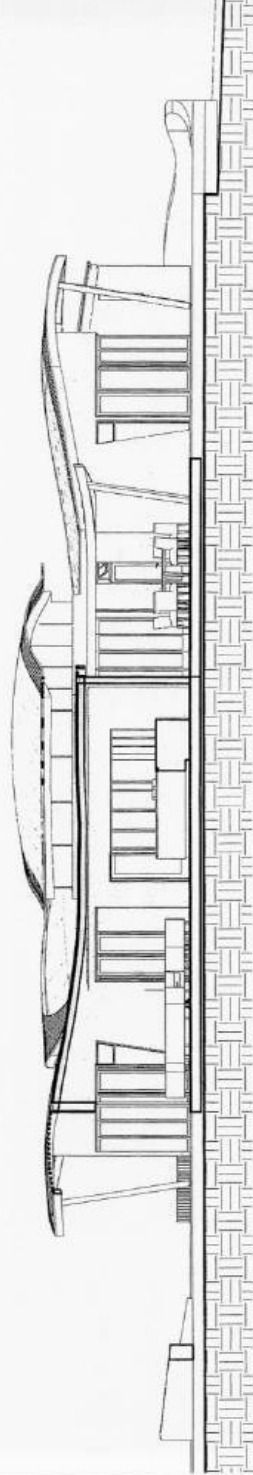
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en-A3 SDP

**Drawings No.**  
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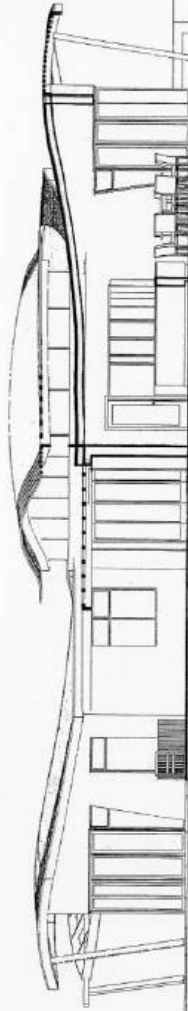


1 SE Section  
Scale: 1:100

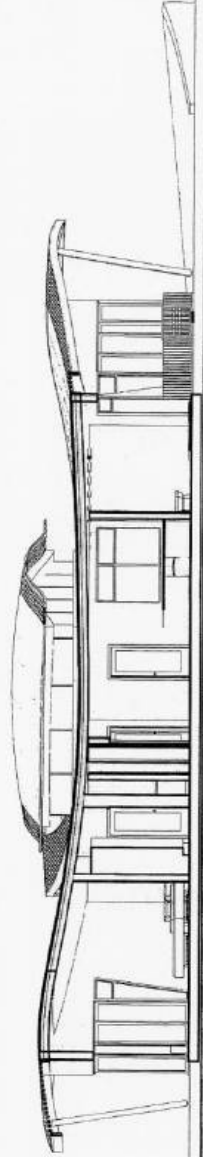


2 SW Section  
Scale: 1:100

<b>NATURAL ARCHITECTURE</b> Tel: +27 21 794 7655 16 St. Joseph Road Plumstead, Cape Town www.naturalarchitecture.co.za	<b>KETH STRUTHERS</b> PR. Arch 2007/5 	<b>PROJECT NAME</b> Melkbos, Kleinmond, Portion 13 Farm 653 De Draay	<b>TITLE</b> Diagonal Sections 1 Scale: 1:100	<b>ISSUE</b> 11/1/2018 1:46:20 PM on A3 SDP	<b>Drawing No.</b> <b>MB31</b>
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1  
**NW Section**  
Scale: 1:100



2  
**NE Section**  
Scale: 1:100

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**KEITH STRUTHERS**  
PR Arch 20575

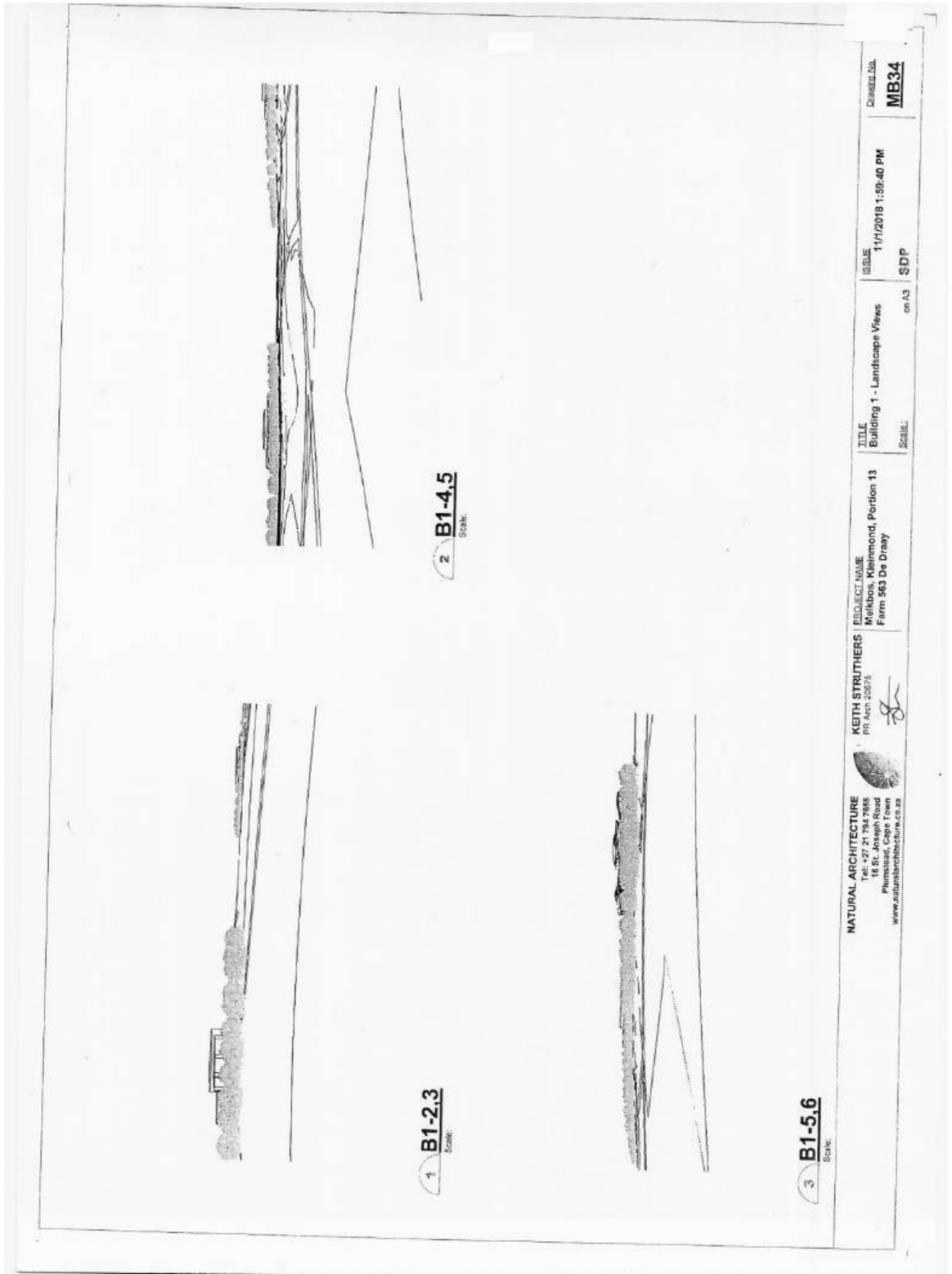
**PROJECT NAME**  
Melkbos, Kleinmond, Portion 13  
Farm 563 De Draay

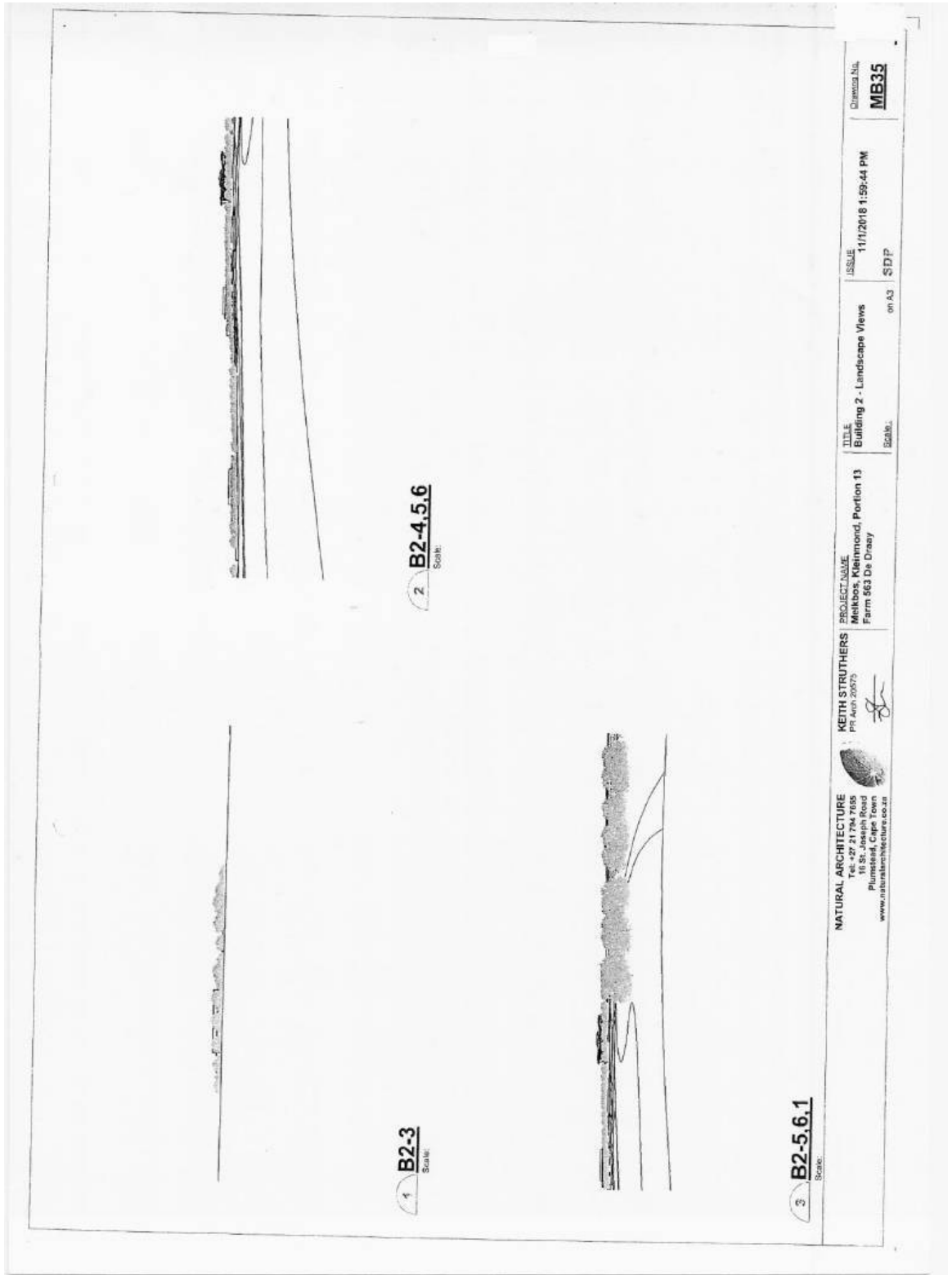
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**Drawing No.**  
**MB32**

on A3 | SDF



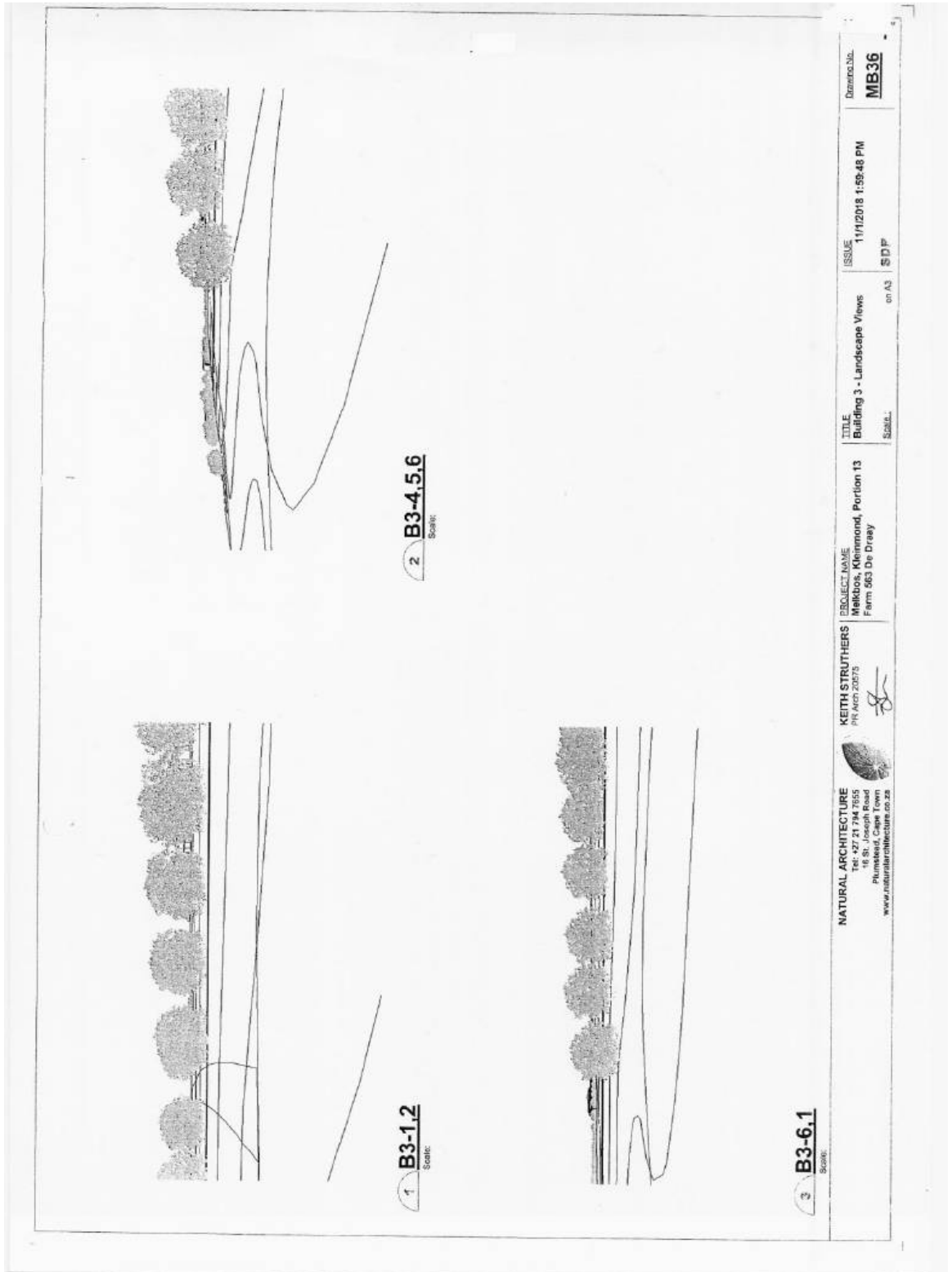


1 **B2-3**  
Scale:

2 **B2-4,5,6**  
Scale:

3 **B2-5,6,1**  
Scale:

<b>NATURAL ARCHITECTURE</b> Tel: +27 21 794 7085 16 St. Leonards Plumstead, Cape Town <a href="http://www.naturalarchitecture.co.za">www.naturalarchitecture.co.za</a>	<b>KEITH STRUTHERS</b> PR Arch. 20575 	<b>PROJECT NAME</b> Melkbos, Kleinmond, Portion 13 Farm 563 De Draai	<b>TITLE</b> Building 2 - Landscape Views Scale:	<b>ISSUE</b> 11/12/2018 1:59:44 PM on A3 SDP	Director's Sign. <b>MB35</b>



1 **B3-1.2**  
Scale:

2 **B3-4.5.6**  
Scale:

3 **B3-6.1**  
Scale:

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**KEITH STRUTHERS**  
PR Arch 2007/9

**PROJECT NAME**  
Mekkos, Kleinmond, Portion 13  
Farm 663 De Dray

**TITLE**  
Building 3 - Landscape Views

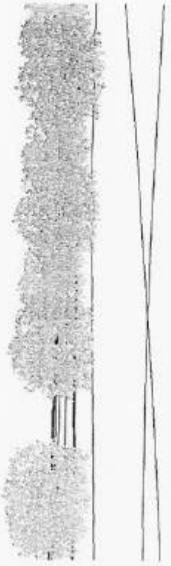
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on A3 | S/D P

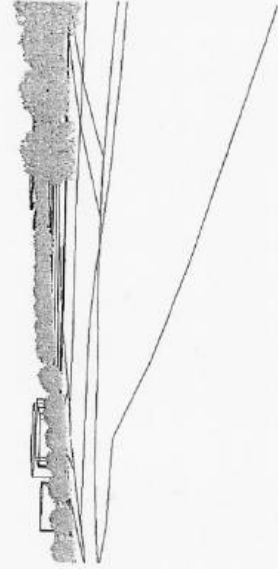
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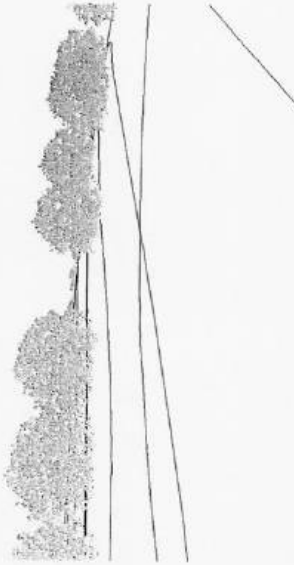
1 B4-1  
Scale:



2 B4-2  
Scale:



3 B4-3  
Scale:



4 B4-5.6  
Scale:

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**KEITH STRUTHERS**  
 PR Arch 2007/5

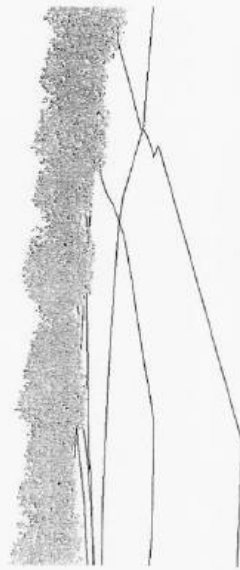
**PROJECT NAME**  
 Welkobs, Kilmind, Porton 13  
 Farm 563 De Dray

**TITLE**  
 Building 4 - Landscape Views

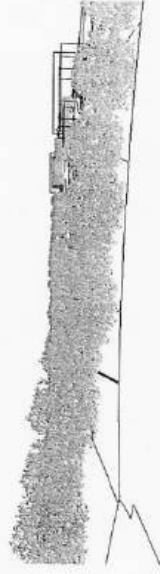
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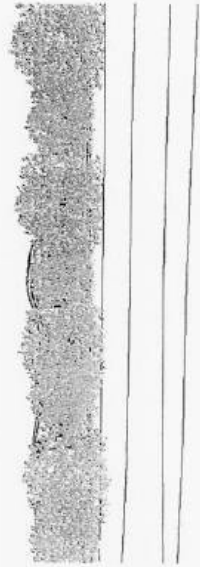
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1 **B5-1.2**  
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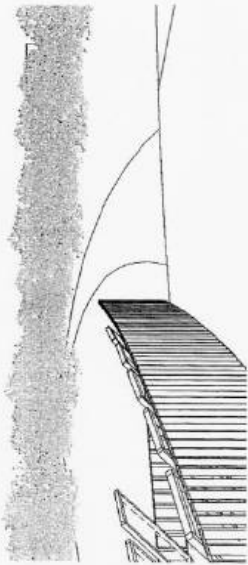


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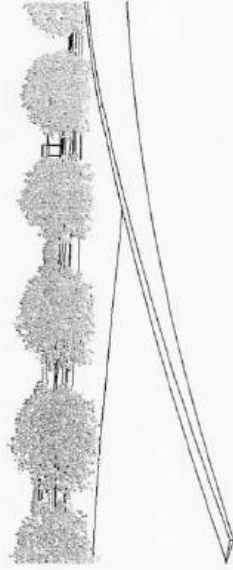


3 **B5-6**  
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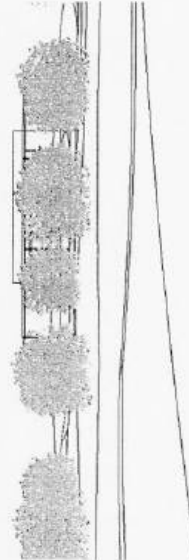
<b>NATURAL ARCHITECTURE</b> Tel: +27 21 794 7855 P.O. Box 1000, Joseph Road Plumstead, Cape Town, South Africa www.naturalarchitecture.co.za		<b>KEITH STRUTHERS</b> PR. ARCH 2017/5 		<b>PROJECT NAME</b> Melkies, Kleinmond, Portion 13 Farm 563 De Driey		<b>TITLE</b> Building 5 - Landscape Views Scale:		<b>ISSUE</b> 11/1/2018 1:59:55 PM on A3   <b>SDP</b>		<b>Drawing No.</b> <b>MB38</b>	
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1 **B6-1.2**  
Scale:



2 **B6-3.4**  
Scale:



3 **B6-5**  
Scale:

<p><b>NATURAL ARCHITECTURE</b> Tel: 427 21 794 7655 18 St. Joseph Road Plymouth, Victoria www.naturalarchitecture.co.za</p>	<p><b>KEITH STRUTHERS</b> PR Arch 20073</p> 	<p><b>PROJECT NAME</b> Minktos, Kleinmond, Portion 13 Farm 963 De Draai</p>	<p><b>TITLE</b> Building 6 - Landscape Views Scale:</p>	<p><b>ISSUE</b> 11/1/2018 1:58:57 PM</p>	<p><b>Drawn No.</b> <b>MB39</b></p>
				<p>on A3 SDP</p>	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: PORTION 13 OF FARM NO. 563,  
DIVISION OF CALEDON (2834/2018)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality (Telephone: 028 313 8972);
4. that no sewerage service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, etc.) for the use of any sewage disposal;
5. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility;
6. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;
7. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
8. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;

9. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
10. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
11. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.

*D.P. Hendriks*  
DENNIS HENDRIKS

*26/08/2019*  
DATE

**SENIOR MANAGER: ENGINEERING SERVICES**

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**10. PORTION 94 OF FARM 587, HEMEL-EN-AARDE VALLEY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURES AND AMENDMENT OF CONDITIONS OF APPROVAL: MESSRS WRAP ON BEHALF OF HAYGROVE HEAVEN (PTY) LTD**

**94/587 RCAL (3274/2019)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**22 September 2021**

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**Executive Summary**

The application on Portion 94 of Farm 587, Hemel-en-Aarde Valley is in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the amendment of the conditions in a previous approval for intensive horticulture to expand the existing tunnels and also some departures, including the following:

- Application is made in terms of Section 16(2)(h) of the By-Law to amend a condition of approval to allow for the expansion of the horticulture tunnels from 5,8727 ha to 17,5464 ha.
- Application is also made in terms of Section 16(2)(b) of the By-Law for a departure to relax the following:
  - Eastern lateral building line from 30m to 3m to accommodate the proposed intensive horticulture tunnels.
  - Southern lateral building line from 30m to 5m to accommodate the proposed intensive horticulture tunnels.
  - Western lateral building line from 30m to 2m to accommodate the proposed intensive horticulture tunnels.
  - Northern lateral building line from 30m to 5m to accommodate the proposed intensive horticulture tunnels.
- Departure from the maximum 5000m<sup>2</sup> allowable floor space for all buildings on the land unit to allow floor space of 17,8444 ha to accommodate intensive horticulture tunnels.

**RESOLVED:**

1. that the application in terms of Section 16(2)(h) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Portion 94 of Farm 587 Hemel-en-Aarde Valley to amend condition of approval 3(a) in the letter dated 9 February 2016 to allow for the expansion of the horticulture tunnels from 5,827 ha to 17,5464 ha, **be approved** in terms of the provisions of Section 61 of the By-Law and that

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the condition now reads as follows:

*“3.(a) that the placement of the intensive horticulture tunnels be in line and limited to the tunnels indicated on the Site Development Plan, submitted with the application, and an application will have to be made for any possible future tunnels”*

2. that the applications in terms of Section 16(2)(b) in terms of the By-Law -
  - for departures to relax the following:
    - eastern lateral building line from 30m to 3m to accommodate the proposed intensive horticulture tunnels;
    - southern lateral building line from 30m to 5m to accommodate the proposed intensive horticulture tunnels;
    - western lateral building line from 30m to 2m to accommodate the proposed intensive horticulture tunnels;
    - northern lateral building line from 30m to 12m to accommodate the proposed intensive horticulture tunnels; and
  - departure from the maximum 5000m<sup>2</sup> allowable floor space for all buildings on the land unit to allow floor space of 17,8444 ha to accommodate additional intensive horticulture tunnels,

**be partially approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that building plans be submitted for approval for the horticulture tunnels as approved on 9 February 2016, and that all such tunnels be covered with non-reflective netting prior to the applicant acting on the above approvals;
- (b) that the western lateral building line only be relaxed to 5m, and that the Site Development Plan be amended accordingly;
- (c) that all the previous conditions of approval of 9 February 2016 and the new Site Development Plan (amended as in Point 1 above), be complied with;
- (d) that detailed building plans be submitted to the Building Department for approval;
- (e) that this approval does not absolve the applicant/owner from compliance with any relevant legislation;
- (f) that all the development parameters as prescribed in the By-Law

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Land Use Regulations be retained;

- (g) that all the conditions imposed by Telkom be complied with;
  - (h) that all the conditions imposed by BGCMA be complied with;
  - (i) that all the conditions in the Services Report be complied with;
  - (j) that all the conditions imposed by Eskom be complied with;
  - (k) that all the conditions by the Heritage Western Cape be complied with; and
  - (l) that non-reflective shade netting be placed over all new horticulture tunnels to limit glare.
3. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

**REASONS FOR THE RESOLUTION:**

**Reasons for support**

- ❖ The new proposed horticulture tunnels are part of the fabric of agricultural areas, and the objections regarding visual impact and scale are not supported, as all relevant state and municipal departments being Heritage Western Cape, EA&DP: Planning Directorate, EA&DP: Environmental Branch and the Municipal Environmental Branch supports the applications.
- ❖ The berry fields are already covered with shade netting and the addition of tunnels under the shade netting will, therefore, have a limited impact. The existing trees on the farm will also help lessen visual impact and glare.
- ❖ The new proposed horticulture tunnels will help improve yield and would help reduce crop spraying.
- ❖ The concerns regarding additional water use, increase in storm water, traffic and possible fire safety do not show the application to be undesirable, as the relevant municipal and state departments who specialise in these fields, being the Breede-Gouritz Catchment Management Agency (BGCMA), the Municipal Engineering and Fire Departments and Department of Transport and Public Works support the application, and consider the impacts to be acceptable.
- ❖ The Hemel-en-Aarde Valley is an agricultural area with environmentally sensitive areas on the mountain slope. Although this area is a tourist destination, the main use is still agricultural and applications to improve agricultural productivity therefore should receive priority. The comments regarding loss in property value, increased crime and loss of right of

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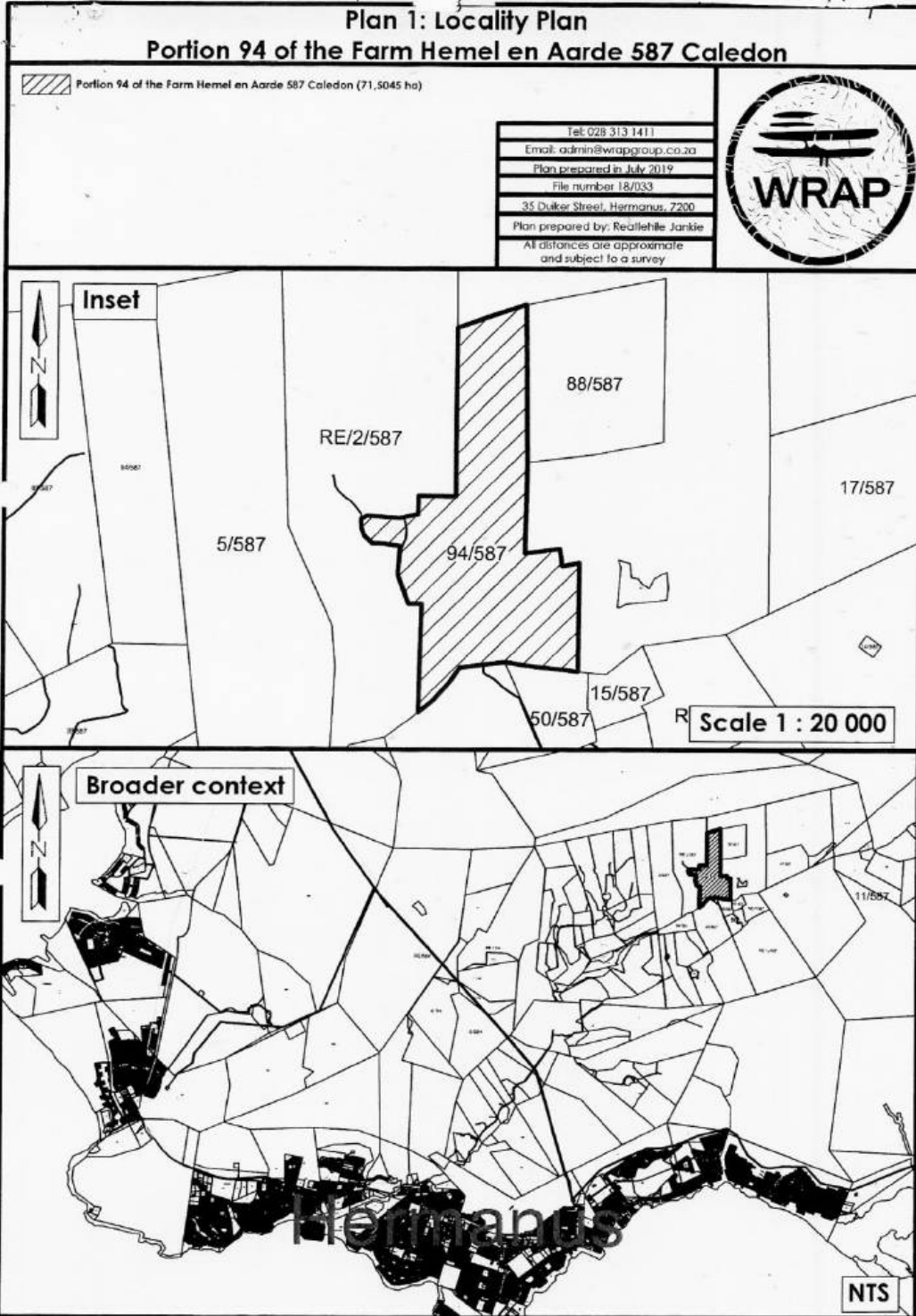
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enjoyment of surrounding property owners are not supported, as the proposed activity fits in with the main function of the valley, being agricultural.

- ❖ The horticulture tunnels will increase food production.
- ❖ The application went through a proper public participation process and additional information was not required relating to the impact of Covid-19, a good administrative process was followed.
- ❖ The building line relaxations as supported comply with the Fire Management Plan, and the berry fields are visually blocked from the directly adjacent neighbours by pine trees.

**Reasons for non-support**

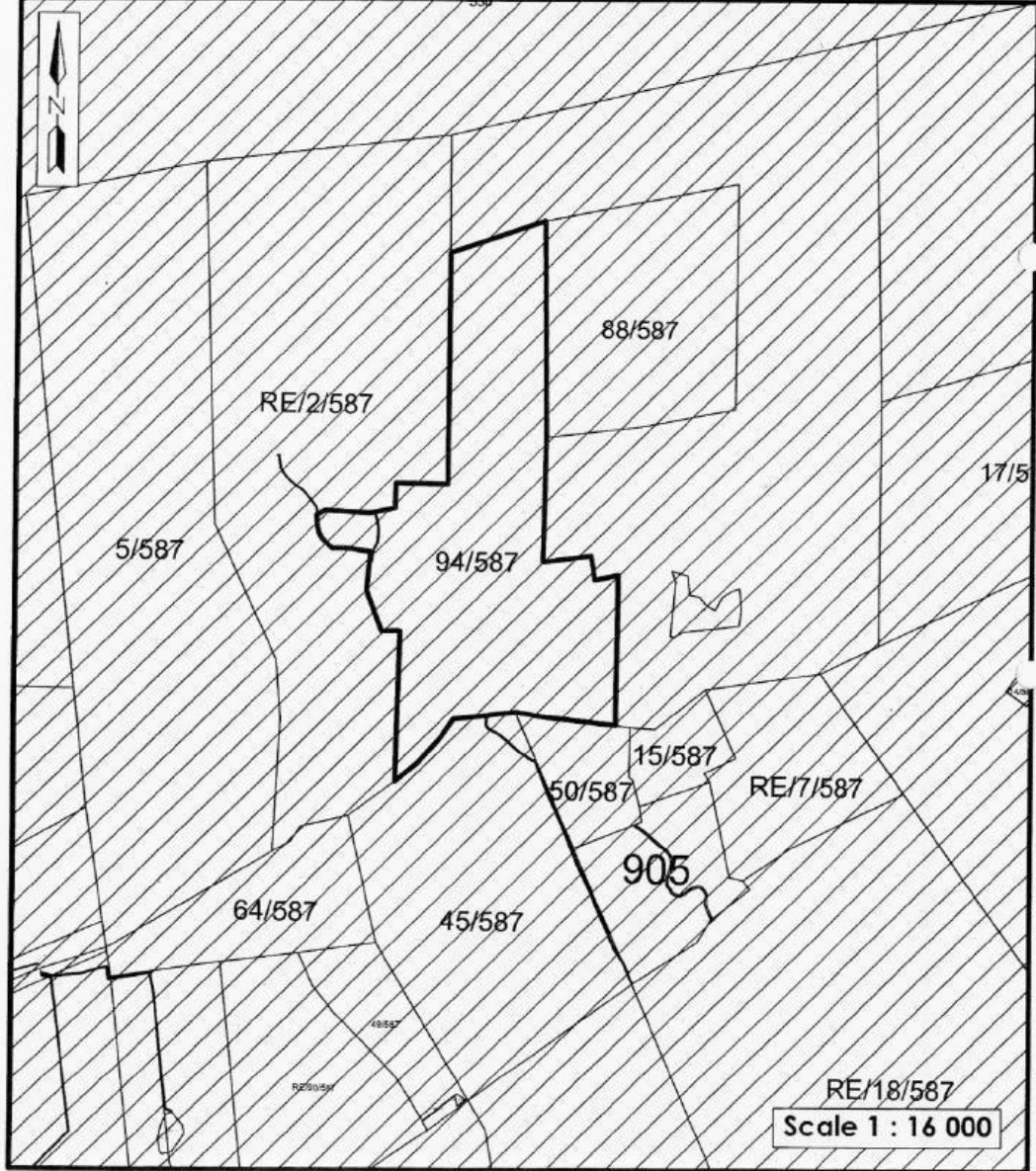
- ❖ In terms of the Fire Management Plan, the relevant western boundary line must have a 3 - 5 metre fire break. The relaxation of the western lateral building line to 2m, therefore, could compromise fire safety.



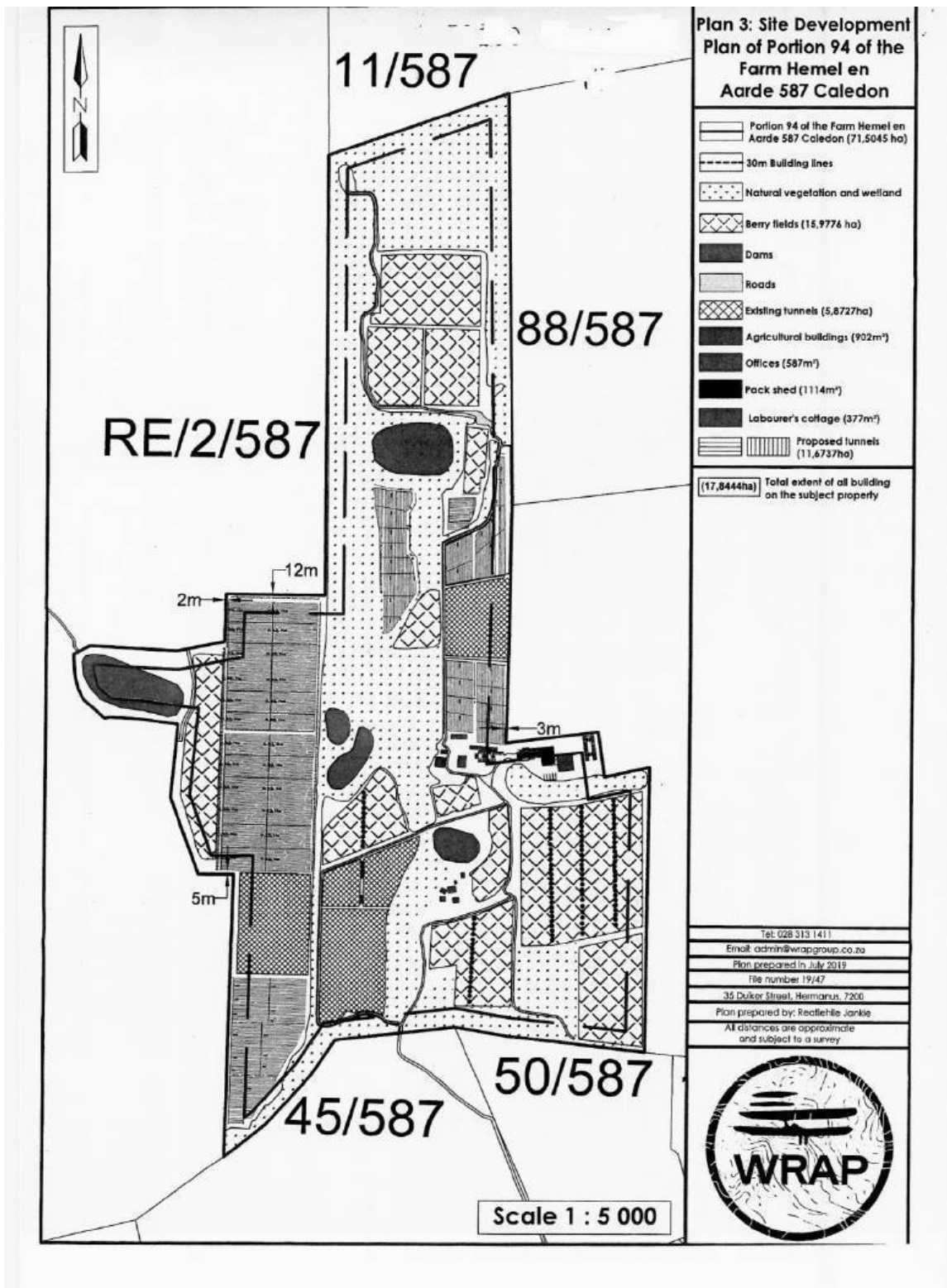
### Plan 2: Zoning Plan Portion 94 of the Farm Hemel en Aarde 587 Caledon

-  Portion 94 of the Farm Hemel en Aarde 587 Caledon (71,5045 ha)
-  Agriculture Zone 1: Agriculture

Tel: 028 313 1411  
Email: admin@wrapgroup.co.za  
Plan prepared in July 2019  
File number 18/033  
35 Duiker Street, Hermanus, 7200  
Plan prepared by: Realfleite Jankie  
All distances are approximate  
and subject to a survey



Scale 1 : 16 000



### Plan 4: Access Plan Portion 94 of the Farm Hemel en Aarde 587 Caledon

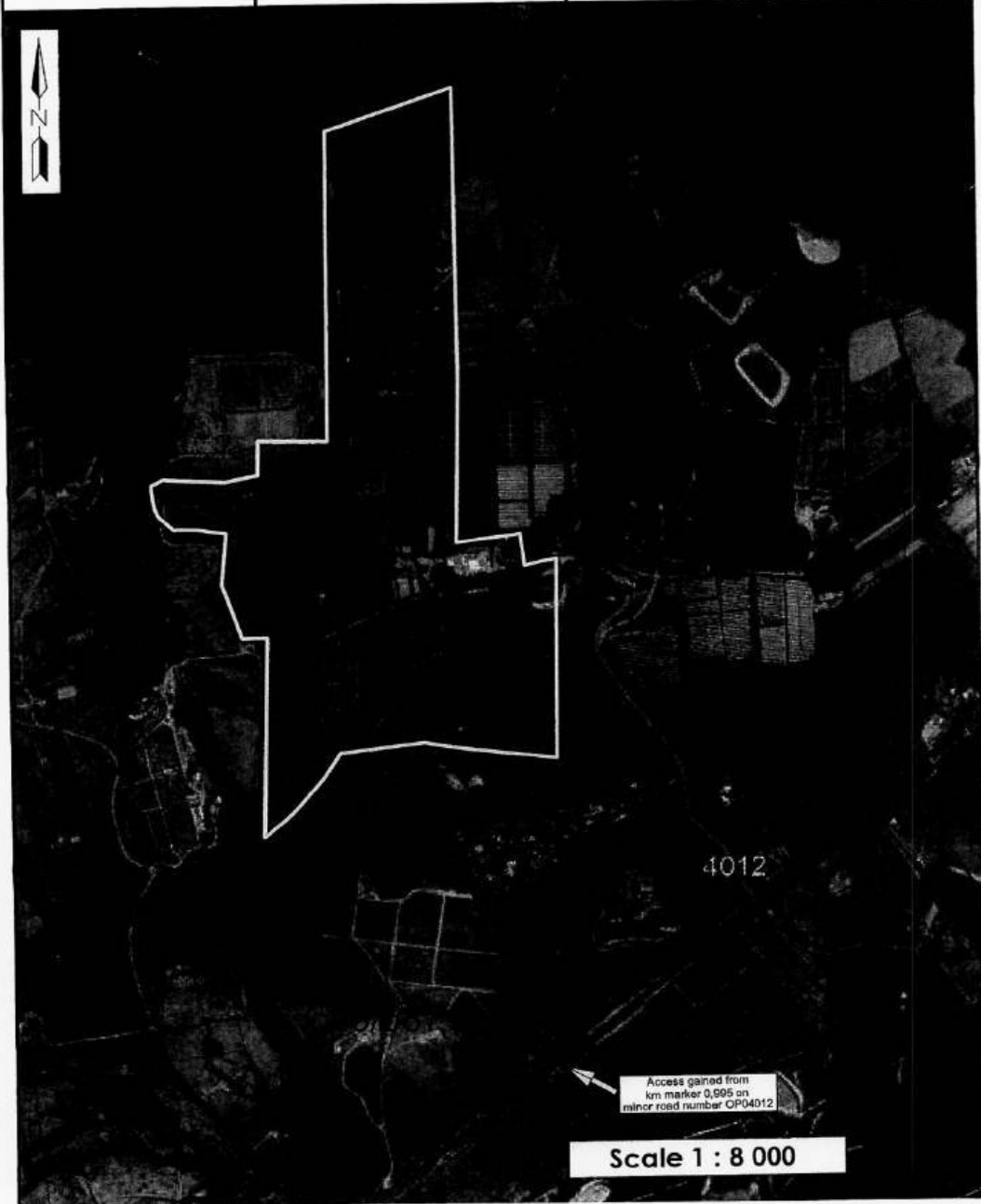
Portion 94 of the Farm Hemel en  
Aarde 587 Caledon (71,5045 ha)

Main road number MR00267

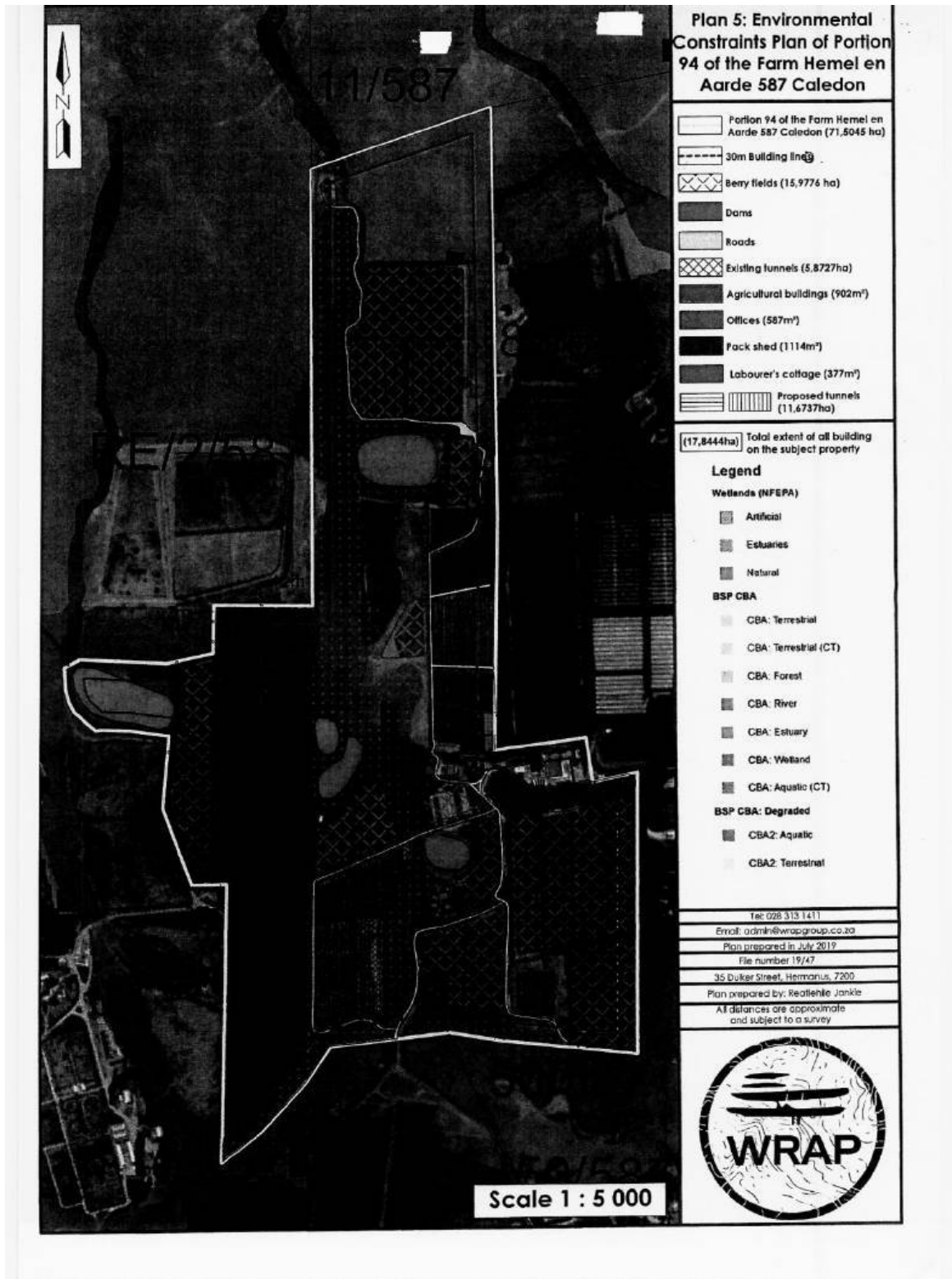
Existing access road to the subject property

Minor road number OP04012

Tel: 028 313 1411  
Email: admin@wrapgroup.co.za  
Plan prepared in June 2019  
File number 18/033  
35 Duiker Street, Hermanus, 7200  
Plan prepared by: Reafohle Janke  
All distances are approximate  
and subject to a survey

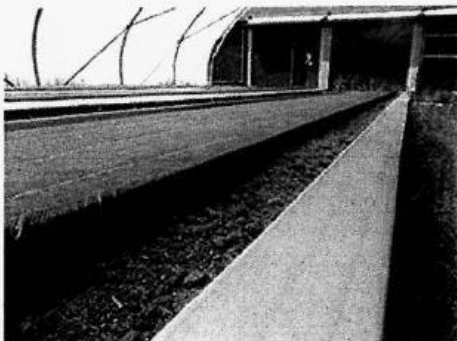
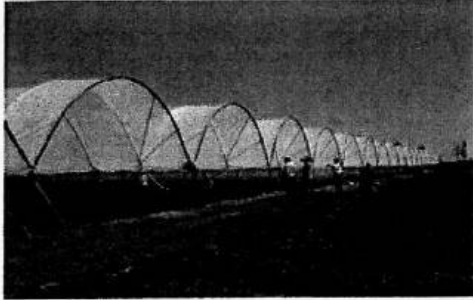


Scale 1 : 8 000



Plan 6: Photo Plan 584  
Portion 94 of the Farm Hemel en Aarde 587 Caledon

Source:  
<http://www.haygrove.co.za/polytunnels/>  
Tel: 028 313 1411  
Email: [admin@wrapgroup.co.za](mailto:admin@wrapgroup.co.za)  
Plan prepared in July 2019  
File number 18/033  
35 Duiker Street, Hermanus, 7200  
Plan prepared by: Reallehile Janke  
All distances are approximate  
and subject to a survey



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: PTN 94 OF FARM 587, HEMEL &  
AARDE (3297)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

**Conditions:**

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma;
6. that, the proposed development on Portion 94 of Farm 587 be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services (Hermanus), and to which the sewer services on the development must connect to;
7. that, as no municipal sewerage removal services are rendered in the area, the owner is responsible for removal of all sewerage generated on the property, and disposal thereof at a licenced municipal sewerage treatment facility;
8. that alternatively, sewer treatment facilities that are approved by the Department of Water Affairs may be provided for disposal of sewer

from the developments. Written proof of such approval is to be submitted to the Municipality;

9. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 140400 – P: 2010: Drainage;
10. that access can be obtain from the entrance to the property located on the eastern side of the property, situated on the Hemel en Aarde Road The Provincial Engineer must however provide comment in this regard.

*p.p. R. Chryse*  
**DENNIS HENDRIKS**  
**SENIOR MANAGER:**  
**ENGINEERING SERVICES**

*29/07/2020*  
**DATE**

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**11. PORTION 11 OF FARM 587, HEMEL-EN-AARDE VALLEY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE AND AMENDMENT OF CONDITIONS OF APPROVAL: MESSRS WRAP ON BEHALF OF HAYGROVE HEAVEN (PTY) LTD**

**11/587 RCAL (3274/2019)**

**H Olivier**

**(028) 313 8900**

**Hermanus Administration**

**22 September 2021**

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**Executive Summary**

An application was received on 14 August 2019 from Messrs WRAP on behalf of Haygrove Heaven Pty Ltd on Portion 11 of Farm 587, Hemel-en-Aarde Valley for the following:

- Amendment of a condition of approval in terms of Section 16(2)(h) Overstrand Municipality By-Law on Land Use Planning, 2015 (By-Law) to allow for the expansion of the horticulture tunnels from 13,8209 ha to 33,9871 ha.
- Departures in terms of Section 16(2)(b) of the By-Law to relax the following building lines:
  - Eastern lateral building line from 30m to 2m to accommodate the proposed intensive horticulture tunnels.
  - Southern lateral building line from 30m to 3m to accommodate the proposed intensive horticulture tunnels.
  - Western lateral building line from 30m to 10m to accommodate the proposed intensive horticulture tunnels.
  - Northern lateral building line from 30m to 5m to accommodate the proposed intensive horticulture tunnels.
- Departure in terms of Section 16(2)(b) of the By-Law to relax the maximum allowable floor space for all buildings on the land unit from 5000m<sup>2</sup> to allow floor space of 35,0663 ha, to accommodate the additional intensive horticulture tunnels.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(h) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Portion 11 of Farm 587 Hemel-en-Aarde Valley to amend a condition of approval 3.(a) in a letter dated 21 January 2016 to allow for the expansion of the horticulture tunnels from 13,8209 ha to 33,9871 ha, **be approved** in terms of the provisions of Section 61 of the By-Law, and that the condition

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now reads as follows:

*“3.(a) that the placement of the intensive horticulture tunnels be in line and limited to the tunnels indicated on the Site Development Plan, submitted with the application, and an application will have to be made for any possible future tunnels”*

2. that the applications in terms of Section 16(2)(b) in terms of the By-Law -
  - for departures to relax the following:
    - southern lateral building line from 30m to 3m to accommodate the proposed intensive horticulture tunnels;
    - western lateral building line from 30m to 10m to accommodate the proposed intensive horticulture tunnels;
    - northern lateral building line from 30m to 5m to accommodate the proposed intensive horticulture tunnels; and
  - departure from the maximum 5000m<sup>2</sup> allowable floor space (intensive horticulture tunnels and other buildings) for all buildings on the land unit to allow floor space of 35,0663 ha to accommodate the new horticulture tunnels,

**be approved** in terms of the provisions of Section 61 of the By-Law;

3. that the application in terms of Section 16(2)(b) in terms of the By-Law for a departure to relax the eastern lateral building line from 30m to 2m to accommodate the proposed intensive horticulture tunnels, **be partially approved** in terms of the provision of Section 61 of the By-Law, and that the eastern lateral building line not be relaxed from 30m to 2m, but only up to 10m.
4. that the approvals in 1 – 3 above be subject to the following conditions:
  - (a) that building plans be submitted for approval for the horticulture tunnels as approved in the letter dated 21 January 2016, and that all such tunnels be covered with non-reflective netting prior to the applicant acting on the above approvals;
  - (b) that this approval is only for the horticulture tunnels as indicated on Site Development Plan No 19/47 dated July 2019, with only the limitation that the horticulture tunnels over the eastern building line only be allowed to be constructed up to 10m from such boundary;
  - (c) that detailed building plans be submitted to the Building Department for approval;

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- (d) that this approval does not absolve the applicant/owner from compliance with any relevant legislation;
  - (e) that all the development parameters as prescribed in the By-Law Land Use Regulations be retained;
  - (f) that all the conditions imposed by Telkom be complied with;
  - (g) that all the conditions imposed by BGCMA be complied with;
  - (h) that all the conditions in the Services Report be complied with;
  - (i) that all the conditions imposed by Eskom be complied with;
  - (j) that all the conditions by the Heritage Western Cape be complied with; and
  - (k) that non-reflective shade netting be placed over all new horticulture tunnels to limit glare.
5. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

**REASONS FOR THE RESOLUTION:**

**APPROVED (POINTS 1 & 2)**

- ❖ The new proposed horticulture tunnels are part of the fabric of agricultural areas, and the objections regarding visual impact and scale are not supported, as all relevant state and municipal departments being Heritage Western Cape, EA&DP: Planning Directorate, EA&DP: Environmental Department and the Municipal Environmental Management Department supports the applications.
- ❖ Existing berry fields are already covered with shade netting or horticulture tunnels, and only an additional 6 ha of berry fields will now be covered, which will have a limited impact on the surrounding area. Existing trees on the farm will also help lessen visual impact and glare.
- ❖ The new proposed horticulture tunnels will help improve yield and would help reduce crop spraying.
- ❖ The concerns regarding additional water use, increase in storm water, traffic and possible fire safety does not prove the application to be undesirable, as the relevant municipal and state departments who specialise in these fields, being the Breede-Gouritz Catchment Management Agency (BGCMA) and the Department of Transport and

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Public Works (DOT), the Municipal Engineering Services and Fire Departments, support the application and consider the impacts to be acceptable.


- ❖ The Hemel-en-Aarde Valley is an agricultural area with environmentally sensitive areas on the mountain slopes. Although this area is a tourist destination, the main use is still agriculture and applications to improve agricultural productivity should therefore receive priority. The comments regarding loss in property value, increased crime and loss of right of enjoyment of surrounding property owners are not supported, as the proposed activity fits in with the main function of the Hemel-en-Aarde Valley, being agriculture.
- ❖ The horticulture tunnels will increase food production.
- ❖ The proposal is labour intensive and will create additional employment opportunities.

**PARTIALLY APPROVED (POINT 3)**

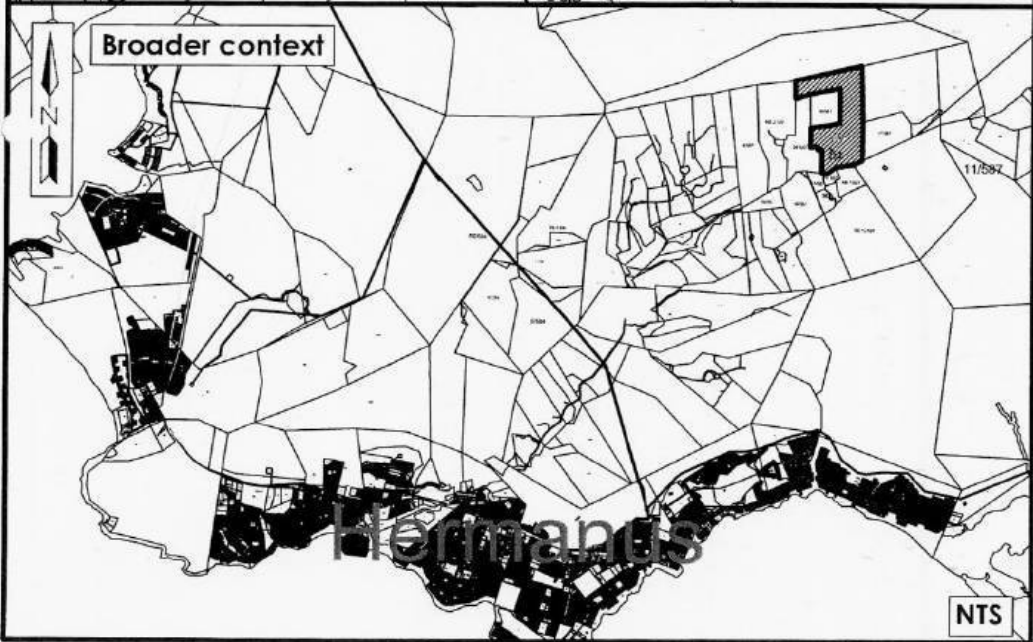
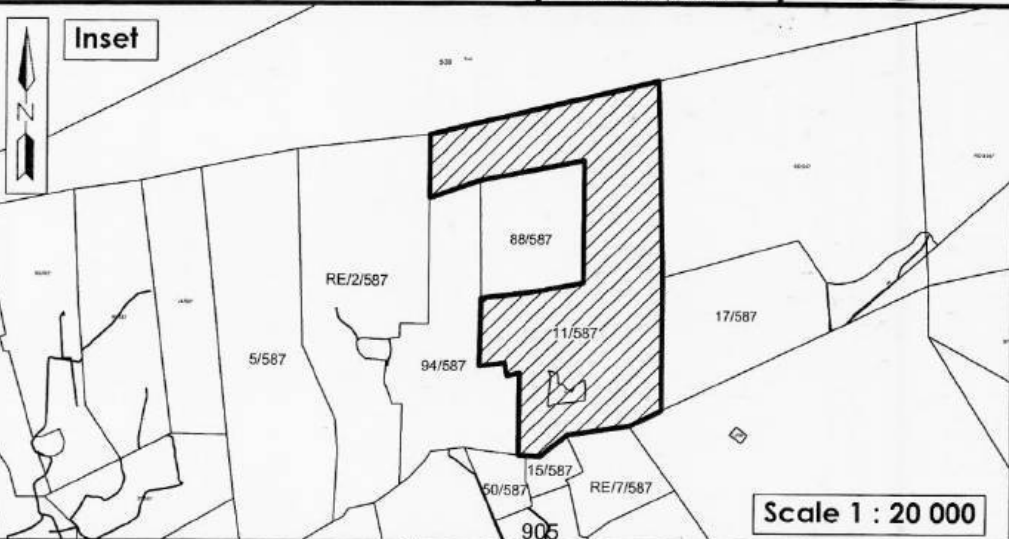
- ❖ The concern by an objector as to why 10m building lines are required in terms of the Veld and Forest Act was not sufficiently addressed in terms of the relaxation of the eastern building line from 30m to 2m. The grow tunnels were not indicated on the Fire Management Plan (FMP) submitted by the applicant in response to the objections and concerns regarding fire belts, and it is therefore not clear whether the impact of such grow tunnels on fire safety was considered by the professional person who prepared the FMP.
- ❖ It is the opinion that a 10m building line would be an acceptable distance to implement, as it would comply with the Veld and Forest Act.

### Plan 1: Locality Plan

#### Portion 11 of the Farm Hemel en Aarde 587 Caledon

 Portion 11 of the Farm Hemel en Aarde 587 Caledon (155,0487 ha)

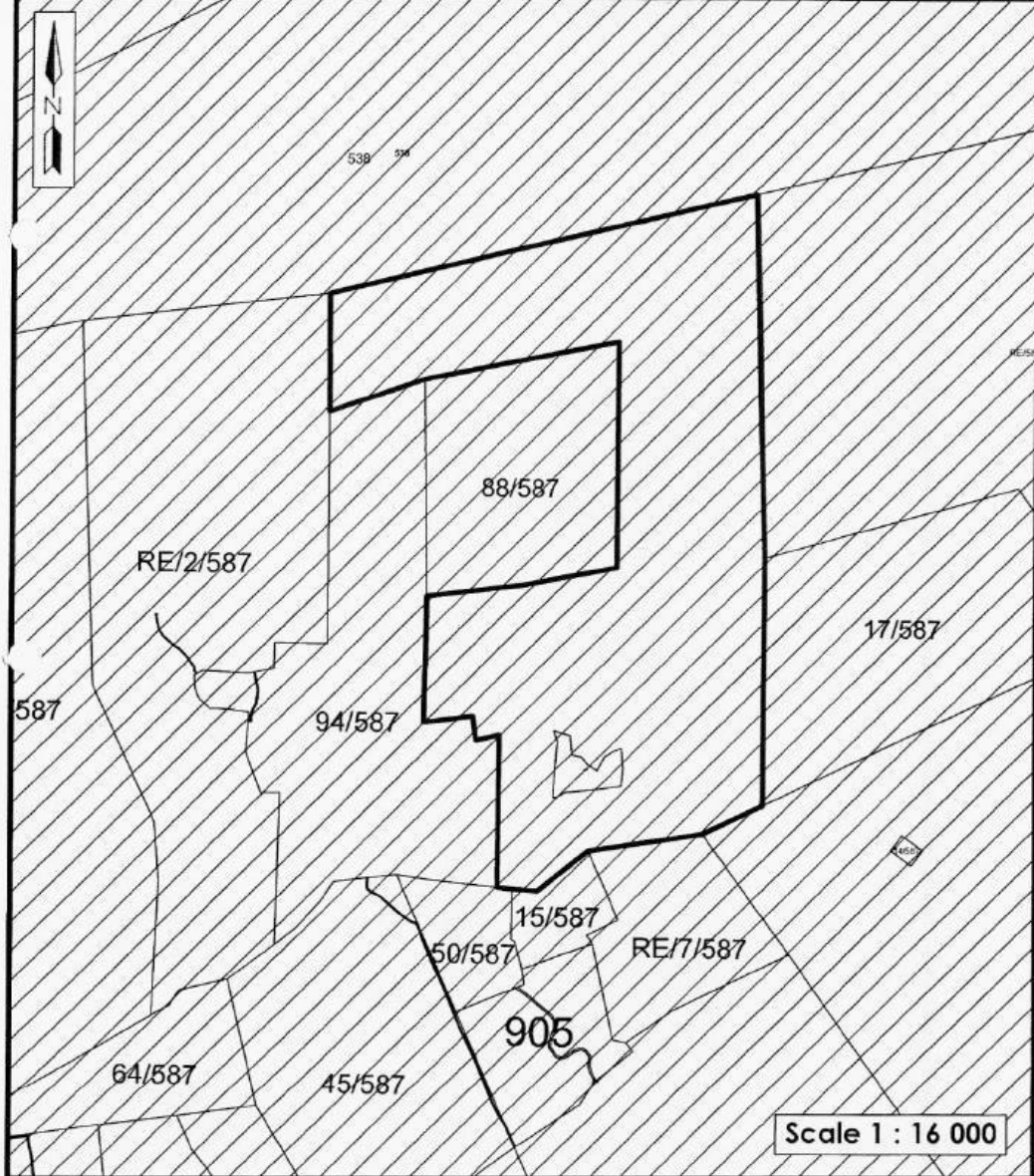
Tel: 026 313 1411
Email: admin@wrapgroup.co.za
Plan prepared in July 2019
File number 18/033
35 Duiker Street, Hermanus, 7200
Plan prepared by: Realetjie Jankie
All distances are approximate and subject to a survey

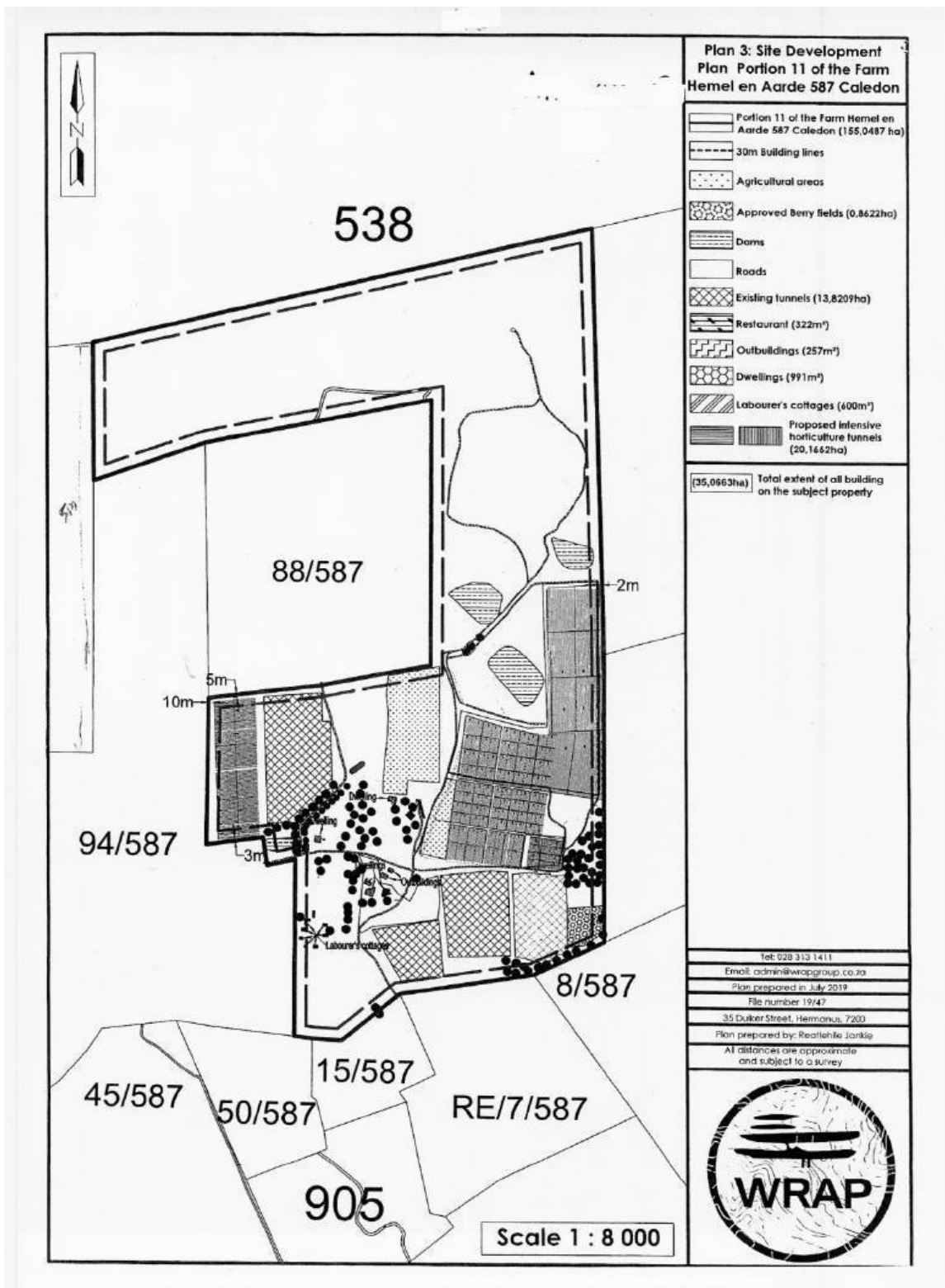


### Plan 2: Zoning Plan Portion 11 of the Farm Hemel en Aarde 587 Caledon

-  Portion 11 of the Farm Hemel en Aarde 587 Caledon (155,0487 ha)
-  Agriculture Zone 1: Agriculture

Tel: 028 313 1411
Email: admin@wrapgroup.co.za
Plan prepared in July 2019
File number 18/033
35 Duiters Street, Hermanus, 7200
Plan prepared by: Reatlehle Jankie
All distances are approximate and subject to a survey



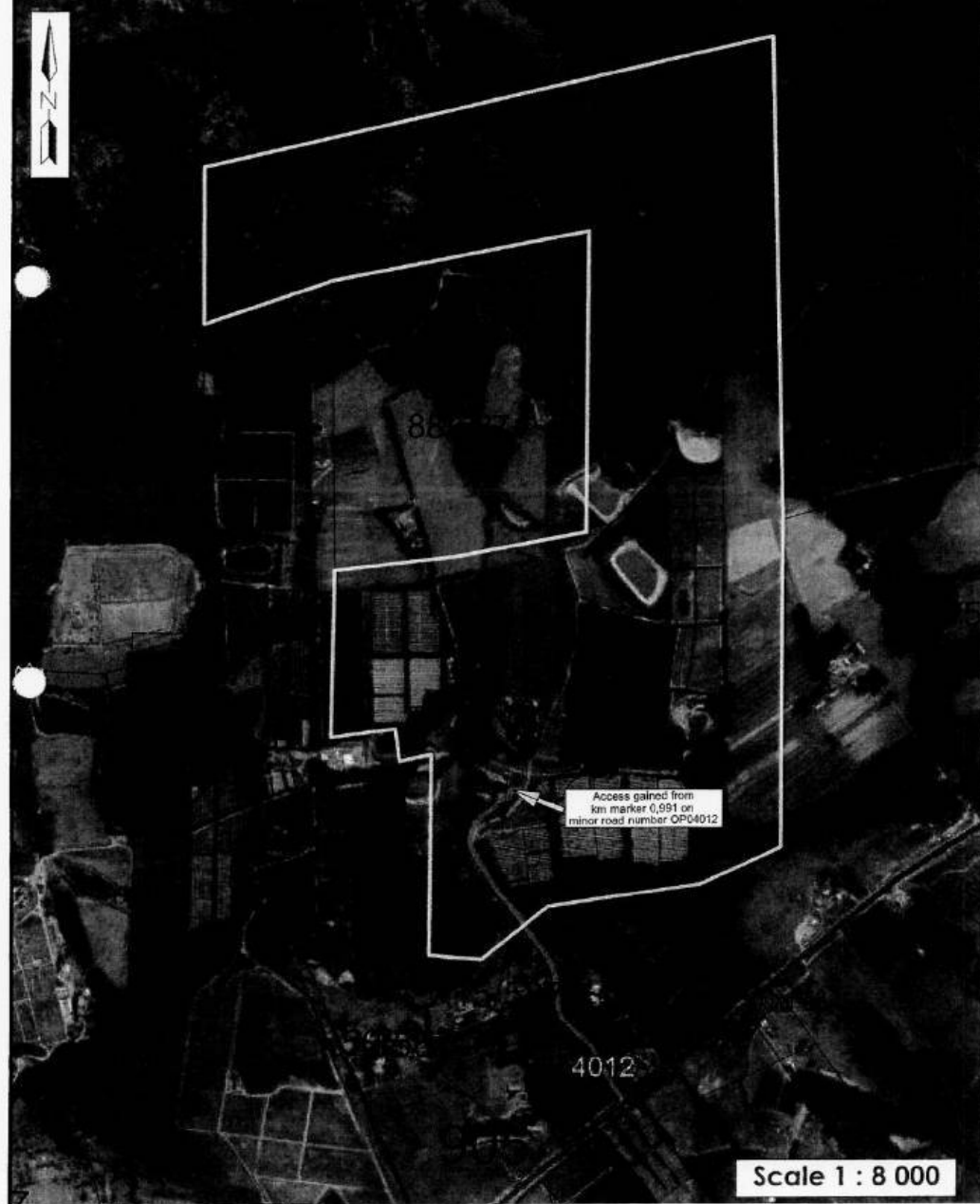


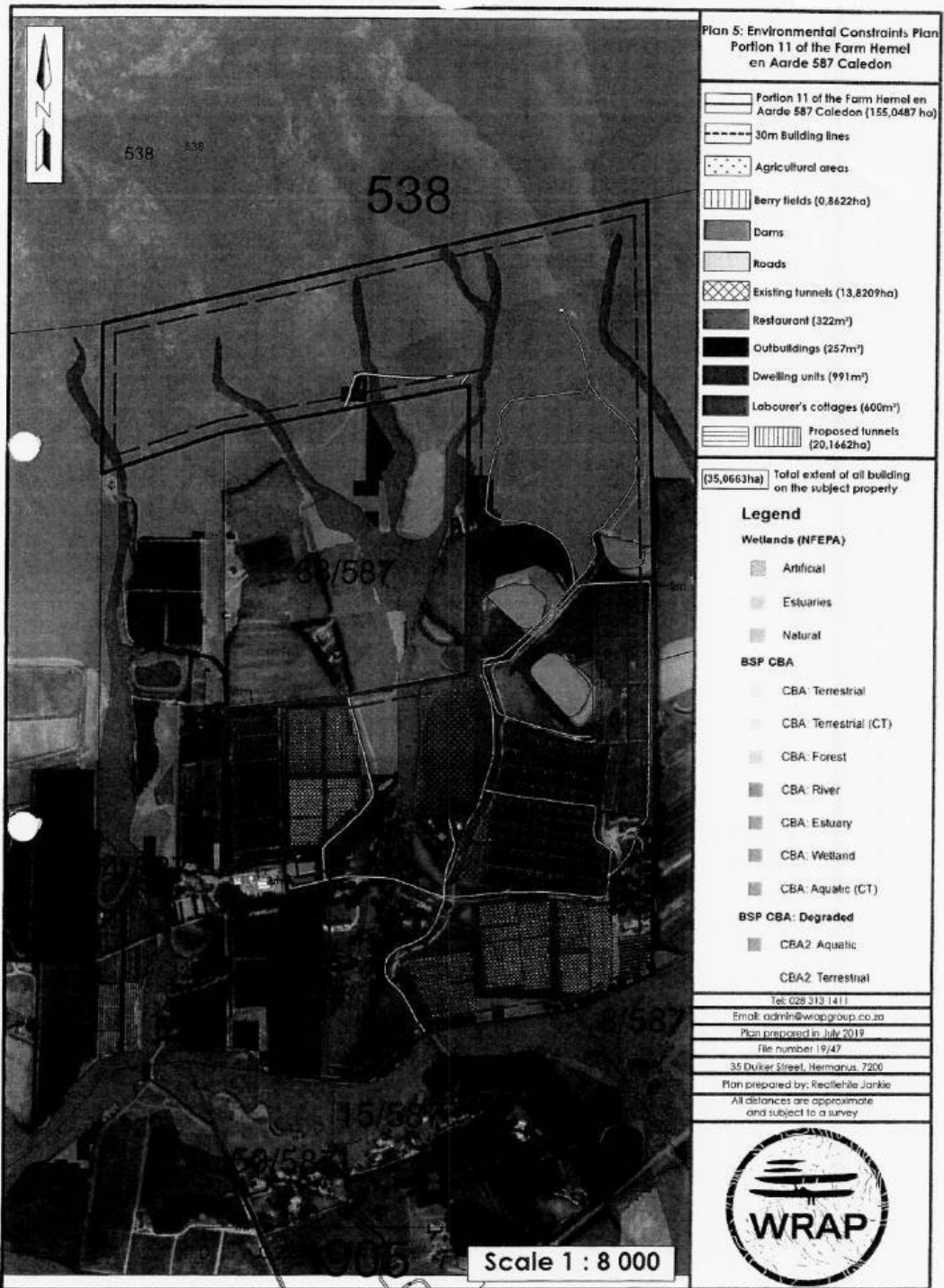
**Plan 4: Access Plan**  
**Portion 11 of the Farm Hemel en**  
**Aarde 587 Caledon**

Tel: 028 313 1411  
 Email: admin@wrapgroup.co.za  
 Plan prepared in July 2019  
 File number 18/033  
 35 Dulker Street, Hermanus, 7200  
 Plan prepared by: Reallehle Jankie  
 All distances are approximate  
 and subject to a survey



- Portion 11 of the Farm Hemel en Aarde 587 Caledon (155,0487 ha)
- Minor road number OP04012
- 30m Building lines
- Main road number MR00269





**Plan 5: Environmental Constraints Plan**  
**Portion 11 of the Farm Hemel en Aarde 587 Caledon**

- Portion 11 of the Farm Hemel en Aarde 587 Caledon (155,0487 ha)
- 30m Building lines
- Agricultural areas:
- Berry fields (0,8622ha)
- Dams
- Roads
- Existing tunnels (13,8209ha)
- Restaurant (322m<sup>2</sup>)
- Outbuildings (257m<sup>2</sup>)
- Dwelling units (991m<sup>2</sup>)
- Labourer's cottages (400m<sup>2</sup>)
- Proposed tunnels (20,1662ha)

(35,0663ha) Total extent of all building on the subject property

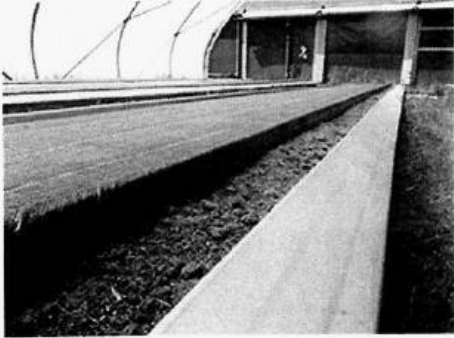
- Legend**
- Wetlands (NFEPA)**
- Artificial
  - Estuaries
  - Natural
- BSP CBA**
- CBA: Terrestrial
  - CBA: Terrestrial (CT)
  - CBA: Forest
  - CBA: River
  - CBA: Estuary
  - CBA: Wetland
  - CBA: Aquatic (CT)
- BSP CBA: Degraded**
- CEA2: Aquatic
  - CBA2: Terrestrial

Tel: 028 313 1411  
 Email: admin@wrapgroup.co.za  
 Plan prepared in July 2019  
 File number 19/47  
 35 Duiker Street, Hermanus, 7200  
 Plan prepared by: Reelie/le Jankie  
 All distances are approximate and subject to a survey.



**Plan 6: Photo Plan**  
**Portion 11 of the Farm Hemel en Aarde 587 Caledon**

Source:  
<http://www.haygrove.co.za/polytunnels/>  
Tel: 028 313 1411  
Email: [admin@wrapgroup.co.za](mailto:admin@wrapgroup.co.za)  
Plan prepared in: July 2019  
File number: 18/033  
35 Duker Street, Hermanus, 7200  
Plan prepared by: Realettie Janke  
All distances are approximate  
and subject to a survey



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR DEPARTURE & AMENDMENT OF CONDITION OF  
APPROVAL: REMAINDER OF PORTION 11 OF THE FARM HEMEL & AARDE  
NO. 587 (3274/2019)**

Stormwater (SW) : In Order  
Electricity : Eskom Area  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. that only the existing municipal services will be available to the development, should any additional services or larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Ptn 11/587, Hemel & Aarde, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE

**AGENDA of the  
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- 12. ERVEN 7286 AND 7287, 2 ALBERTYN STREET AND 1 MARINE DRIVE, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REZONING, CONSOLIDATION, CONSENT USE AND DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF CAPEFAM GUESTHOUSE CC**

**7286 & 7287 HWC**

**(H Boshoff)**

**S van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**22 November 2021**

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**Executive Summary**

An application has been received on 7 December 2020 (amended) from Messrs PlanActive Town and Regional Planners on behalf of Capefam Guesthouse CC applicable to Erven 7286 and 7287, Hermanus for the following:

- (a) application in terms of Section 16(2)(a) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the rezoning of Erven 7286 and 7287, Hermanus from Residential Zone 1: Single Residential (SR1) to General Residential Zone 3: Flats, Bulk Zone 2 (GR4);
- (b) application in terms of Section 16(2)(e) of the By-Law for the consolidation of Erven 7286 and 7287, Hermanus;
- (c) application in terms of Section 16(2)(o) of the By-Law for consent use to develop a boutique hotel on the consolidated property in (b) above that consists of 16 (sixteen) en-suite hotel rooms, a breakfast buffet, two (2) spa treatment rooms, a bar for resident guests, a conference room and associated uses, as well as an outdoor recreational area with two (2) swimming pools;
- (d) application for departure in terms of Section 16(2)(b) of the By-Law to deviate from the minimum erf size of 3000m<sup>2</sup> applicable for densification to allow for the boutique hotel development on the consolidated erf with a size of 1282m<sup>2</sup>;
- (e) application for departure in terms of Section 16(2)(b) of the By-Law for the following:

(departures applicable to the new development on the consolidated property (the property) in (b) above)

- (i) relaxation of the northern lateral building line of the property from 4,5m to 3m to:

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- at ground floor level, accommodate a portion of the covered parking area;
  - at first floor level, accommodate portions of two balconies, and two en-suite hotel rooms; and
  - at second floor level, accommodate portions of two balconies;
- (ii) relax of the eastern lateral building line of the property from 4,5m to 3,03m, 2,75m and 0m to:
- at ground floor level, accommodate a portion of the covered parking area, a portion of the staff toilet facilities, a portion of the bar area, a portion of a lounge, and an existing approved laundry of which the roof is to be converted into a roof garden;
  - at first floor level, accommodate portions of three (3) balconies, portions of three (3) en-suite hotelrooms, and two (2) spa treatment rooms for guests; and
  - at second floor level, accommodate three (3) balconies, portions of three (3) en-suite hotel rooms and a terrace; and the
- (iii) relaxation of the western street building line of the property from 4m to 3,28m and 3m to:
- at ground floor level, accommodate a portion of a pedestrian entrance, a reception, an internal staircase, a refuse yard, and a portion of a covered parking area;
  - at first floor level, accommodate a portion of the administrative office, staircase, conference room, linen storage room, a hotel room and a balcony; and
  - at second floor level, accommodate a portion of a terrace, the internal staircase, two (2) balconies and an en-suite hotel room;
- (departures applicable to the existing guesthouse development on the property that is to be incorporated with the new boutique hotel development on the consolidated property)
- (iv) relaxation of the eastern lateral building line from 4,5m to 2m to:
- at ground floor level, accommodate a portion of the dining patio/pergola, dining room, en-suite guest room, and covered patio of the existing guesthouse;
  - at first floor level, accommodate a portion of a terrace, en-suite guestroom, and balcony of the existing guesthouse; and
  - at second floor level, accommodate an en-suite guestroom, and a covered deck of the existing guesthouse.

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**RESOLVED:**

1. that the application in terms of Sections 16(2)(a) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for the rezoning of Erven 7286 and 7287, Hermanus from Residential Zone 1: Single Residential (SR1) to General Residential Zone 3: Flats, Bulk Zone 2 (GR4), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(e) of the By-Law for the consolidation of Erven 7286 and 7287, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(o) of the By-Law for consent use to develop a boutique hotel on the consolidated property in 2. above that consists of 16 (sixteen) hotel rooms, a breakfast buffet, spa treatment rooms, a bar for resident guests, a conference room and associated uses, as well as an outdoor recreational area with two (2) swimming pools, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application for departure in terms of Section 16(2)(b) of the By-Law to deviate from the minimum erf size of 3000m<sup>2</sup> applicable for densification to allow for the boutique hotel development on the consolidated erf with a size of 1282m<sup>2</sup>, **be approved** in terms of the provisions of Section 61 of the By-Law;
5. that the application for departure in terms of Section 16(2)(b) of the By-Law to allow for a rooftop garden on the existing laundry at ground floor area, **be approved** in terms of the provisions of Section 61 of the By-Law; and
6. that the application for departure in terms of Section 16(2)(b) of the By-Law for the following:
 

(departures applicable to the new development on the consolidated property (the property) in 2. above)

  - (i) relaxation of the northern lateral building line of the property from 4,5m to 3m to:
    - at ground floor level, accommodate a portion of the covered parking area;
    - at first floor level, accommodate portions of two (2) balconies, and two (2) en-suite hotel rooms; and

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- at second floor level, accommodate portions of two (2) balconies;
- (ii) relax of the eastern lateral building line of the property from 4,5m to 3,03m, 2,75m and 0m to:
- at ground floor level, accommodate a portion of the covered parking area, a portion of the staff toilet facilities, a portion of the bar area, a portion of a lounge, and an existing approved laundry;
  - at first floor level, accommodate portions of three (3) balconies, portions of three (3) en-suite hotel rooms, and two (2) spa treatment rooms for guests; and
  - at second floor level, accommodate three (3) balconies, portions of three (3) en-suite hotel rooms and a terrace; and the
- (iii) relaxation of the western street building line of the property from 4m to 3,28m and 3m to:
- at ground floor level, accommodate a portion of a pedestrian entrance, a reception, an internal staircase, a refuse yard, and a portion of the covered parking area;
  - at first floor level, accommodate a portion of an administrative office, an internal staircase, a conference room, a linen storage room, a hotel room and a balcony; and
  - at second floor level, accommodate a portion of a terrace, an internal staircase, two (2) balconies and a hotel room;

(departures applicable to the existing guesthouse development on the property that is to be incorporated with the new boutique development on the consolidated property)

- (iv) relaxation of the eastern lateral building line from 4,5m to 2m to:
- at ground floor level, accommodate a portion of the dining patio/pergola, dining room, an en-suite hotel room and a covered patio of the existing building (previous approved guesthouse);
  - at first floor level, accommodate a portion of a terrace, an en-suite hotel room, and a balcony; and
  - at second floor level, accommodate an en-suite hotel room, and a covered deck;

**be approved** in terms of the provisions of Section 61 of the By-Law;

7. that the above approvals be subject to the following conditions:
- (a) that the development of the consolidated property be restricted to a

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- boutique hotel together with the ancillary uses as indicated on the layout plans that were submitted with the application;
- (b) that the hotel rooms on the consolidated property be restricted to sixteen (16) hotel rooms;
  - (c) that none of the hotel rooms may be utilised as self-catering units;
  - (d) that no sectional title/own title of the hotel rooms be allowed;
  - (e) that no kitchenettes or cooking facilities be allowed in the guestrooms – kettles or alike and bar type fridges are allowed;
  - (f) that the necessary liquor license be obtained from the Liquor Authority for on-site consumption;
  - (g) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
  - (h) that the proposed designated waste storage area complies with the refuse room standards as per Chapter 17.4.1 of the Overstrand Land Use Scheme;
  - (i) that the rooftop garden may solely be used as a roof garden that is linked to the two (2) spa treatment rooms and not as a gathering or entertainment area - the landowners must therefore ensure that it may not be used as a gathering or entertainment area by means of a proper notice and that the garden is only tied to the two (2) spa-treatment rooms;
  - (j) that should it be found that the roof garden turns into a nuisance or impact on the privacy of surrounding property owners, it must be removed, and access thereto must be completely closed up;
  - (k) that the management/owners of the establishment implement noise control measures within the establishment, as well as the outside area to reduce noise levels of any kind to the minimum;
  - (l) that the establishment be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area and no activities constituting a public nuisance shall be carried out on the property;
  - (m) that a balustrade be affixed at the eastern side of the terrace at second storey level on the 4,5m lateral building line;

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- (n) that the consolidation in 2. above must be registered prior to the submission of building plans;
  - (o) that the building design (building plans) first be submitted to the Overstrand Heritage Committee for scrutiny prior to the approval thereof.
  - (p) that any conditions imposed by the Fire and Building Departments when considering the building plans, be complied with;
  - (q) that the development complies with the provisions of SANS 10400-A2016, SANS-T:2020 and the By-Law Relating to Community Fire Safety: Guesthouse / Bed & Breakfast Accommodation SANS-T-4.59;
  - (r) that the parking bays be properly demarcated and provided with a hard surface to the satisfaction of the Municipality and provision be made for the run-off of rain/stormwater;
  - (s) that the hotel establishment comply with all applicable Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
  - (t) that no on-street parking be allowed whatsoever;
  - (u) that no advertising on the property shall be displayed without the approval of the Municipality (Building Department);
  - (v) that the conditions of Engineering Services be complied with;
  - (w) that this approval does not absolve the applicant from compliance with any other relevant legislation;
  - (x) that all other development parameters as prescribed in the relevant Land Use Scheme be complied with;
  - (y) that the applicant/landowners provide proof of compliance with the above conditions (g), (n), (q), (s), and (v) prior to operating the establishment; and
  - (z) that auxiliary services only be available for use by guests of the boutique hotel.
8. that the applicant, as well as the objectors be notified of their respective appeal rights in terms of Section 78 of the By-Law with regard to the

**AGENDA of the  
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above decisions.

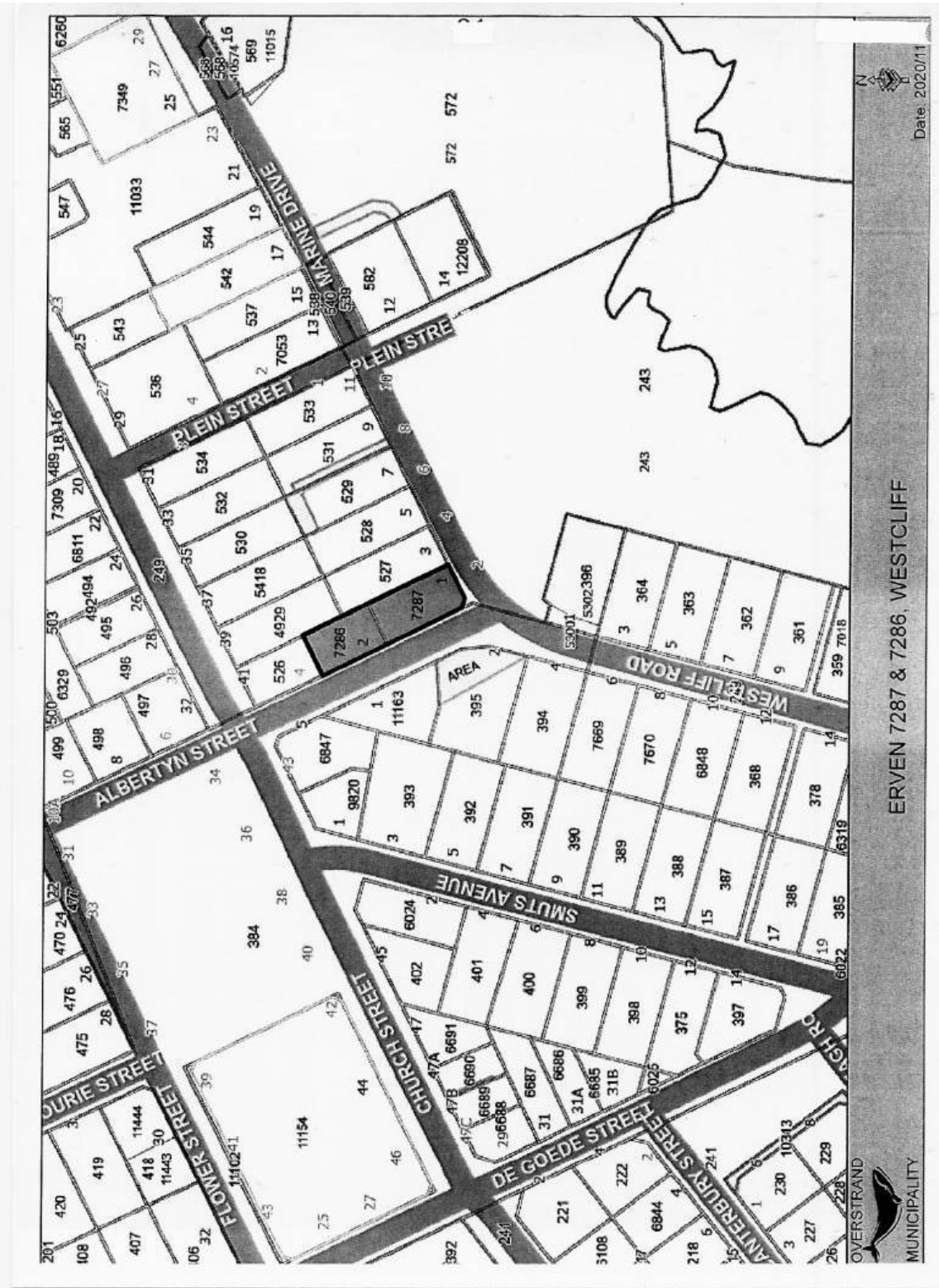
**REASONS FOR THE RESOLUTION:**

Rezoning, consolidation, consent use, and departures (rooftop garden and deviation from the 3000m<sup>2</sup> minimum allowable erf size for development

- ❖ The applicant's motivation and response to the objection is supported.
- ❖ No objections from internal departments were received.
- ❖ The establishment will promote the tourism industry in the area, which is in line with the forward planning documents of the Municipality.
- ❖ The property (consolidated) falls within an area with numerous tourist establishments, as well as recently approved tourist establishments, and the proposal is therefore in line with the land use character of the area.
- ❖ Only one (1) objection was received of which the points of objection were adequately addressed by the applicant.
- ❖ The establishment will create much wanted job opportunities.
- ❖ The proposed development is regarded as desirable from a town planning point of view.

Departure (building lines)

- ❖ The encroachments are not regarded as undesirable from a town planning perspective because the encroachments are not regarded as excessive.
- ❖ It will ensure that a practical parking area can be developed for guests of the establishment.
- ❖ The impact thereof on surrounding property owners is minimal.
- ❖ It does not impact negatively on the built environment or character of the area.
- ❖ It will not result in a bulky development of the property since the proposed coverage is 44% in lieu of the allowable 80% coverage, as well as the proposed floor factor of 0,98 in lieu of the allowable floor factor of 1,5.
- ❖ It will not impact on the street scapes.



ERVEN 7287 & 7286, WESTCLIFF

Date: 2020/11











**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REZONING, CONSOLIDATION, CONSENT USE &  
DEPARTURE: ERVEN 7286 & 7287, WESTCLIFF**

Stormwater (SW) : In Order  
Electricity : In Order  
Water : In Order  
Sewer : In Order  
Roads and traffic : In Order

**Conditions:**

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

**1.1 Developments containing Sectional Title Units/ Commercial Buildings**  
(non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

**1.2 Developments with free standing properties** (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2021/2022) is as follows:

**Freehold erven:**

Water	R 24 915.00 x 1.2	= R 29 898.00
Sewerage	R 16 799.12 x 1.2	= R 20 158.94
Roads	R 7 532.72 x 10.30769	=R 77 644.94
Stormwater	R 8 691.28 x 1.281833	= R 11 140.77
Solid Waste	R 1 505.92 x 1.2	= R 1 807.10
<b>TOTAL (inclusive of VAT)</b>		<b>= R 140 649.75</b>

**Note:**

- a) The above figures are estimates  
b) That Overstrand Municipality's Electrical Department be contacted regarding the bulk electricity cost.  
c) The cost exclude investigation and connection fees.
2. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;

3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
  - 4.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
  - 4.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
  - 4.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
5. that any additional cost related to the upgrading of bulk civil services will be for the developer's account;
6. that no on-street parking will be allowed;
7. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer;
8. that only the existing municipal service connections will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
9. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
10. that on-site parking facilities be provided as per Planning Schedule, and to the satisfaction of the Department: Operational Services;
11. that any additional and / or extended vehicle entrances will be for the owner's account;
12. that the proposed development on Erven 7286 & 7287 be provided with a central refuse collection facility, which must comply with the standards of the Department Services (Hermanus)
13. that an approved refuse collection area/room to sufficiently accommodate the refuse generated by the development and which is to be proved with the following is provided:
  - a. properly ventilated;
  - b. a cement floor;

- c. a tap and running water, as well as a drainage point which is connected to the sewer network;
  - d. at a position nearest to an access road for the development and be accessible for the refuse truck at all times, to the satisfaction of the Director: Infrastructure and Planning;
14. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval.

*p.p. M. Cohen*  
\_\_\_\_\_  
DENNIS HENDRIKS

SENIOR MANAGER: ENGINEERING SERVICES

*29/07/2021*  
\_\_\_\_\_  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
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(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**13. PORTION 164 OF THE FARM BAARDSCHEERDERS BOSCH NO. 213, DIVISION BREDASDORP, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: MESSRS PLANACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF JJ NEL AND AL RABIE**

**Ptn 164/213 GRBRE**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**5 December 2021**

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**Executive Summary**

An application has been received on 16 August 2021 from Messrs PlanActive Town & Regional Planners on JJ Nel and AL Rabie, the owners of Portion 164 of the Farm Baardscheerders Bosch No. 213, Division Caledon for consent use in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) for tourist facilities, intensive horticulture, agricultural industry, farm store, nursery and tourist accommodation.

An application was received on 7 December 2020 from Messrs PlanActive Town

**RESOLVED:**

1. that the objections / comments be noted;
2. that the application in terms of Section 16(2)(o) of the Overstrand Municipality Amendment By-Law on Municipal Land Use Planning, 2020 (By-Law) on Portion 164 of the Farm Baardscheerders Bosch No. 213, Division Bredasdorp for consent use for tourist facilities, intensive horticulture, agricultural industry, farm store, nursery and tourism accommodation (self-catering unit), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
  - (a) that a detailed Site Development Plan (SDP), in accordance with the provisions of the Scheme Regulations, be submitted for approval to the Authorized Official, prior to the submission of building plans;
  - (b) that on-site parking be provided in accordance with the SDP as per paragraph (a) above;
  - (c) that the building plans be submitted to the Building Control Department prior to commencement of the development;
  - (d) that the use of the building indicated as F on the SDP be limited to either a self-catering unit or a spa;

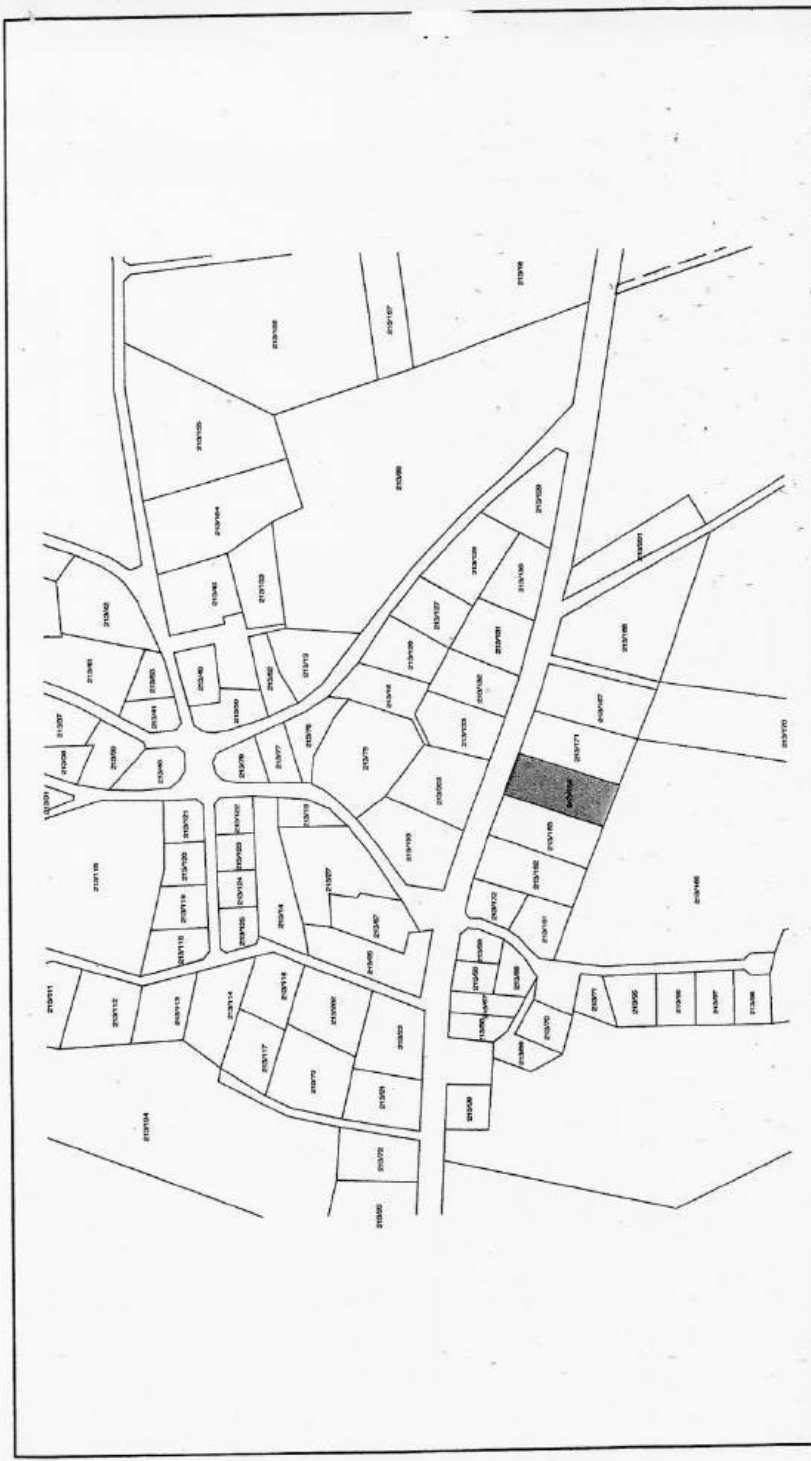
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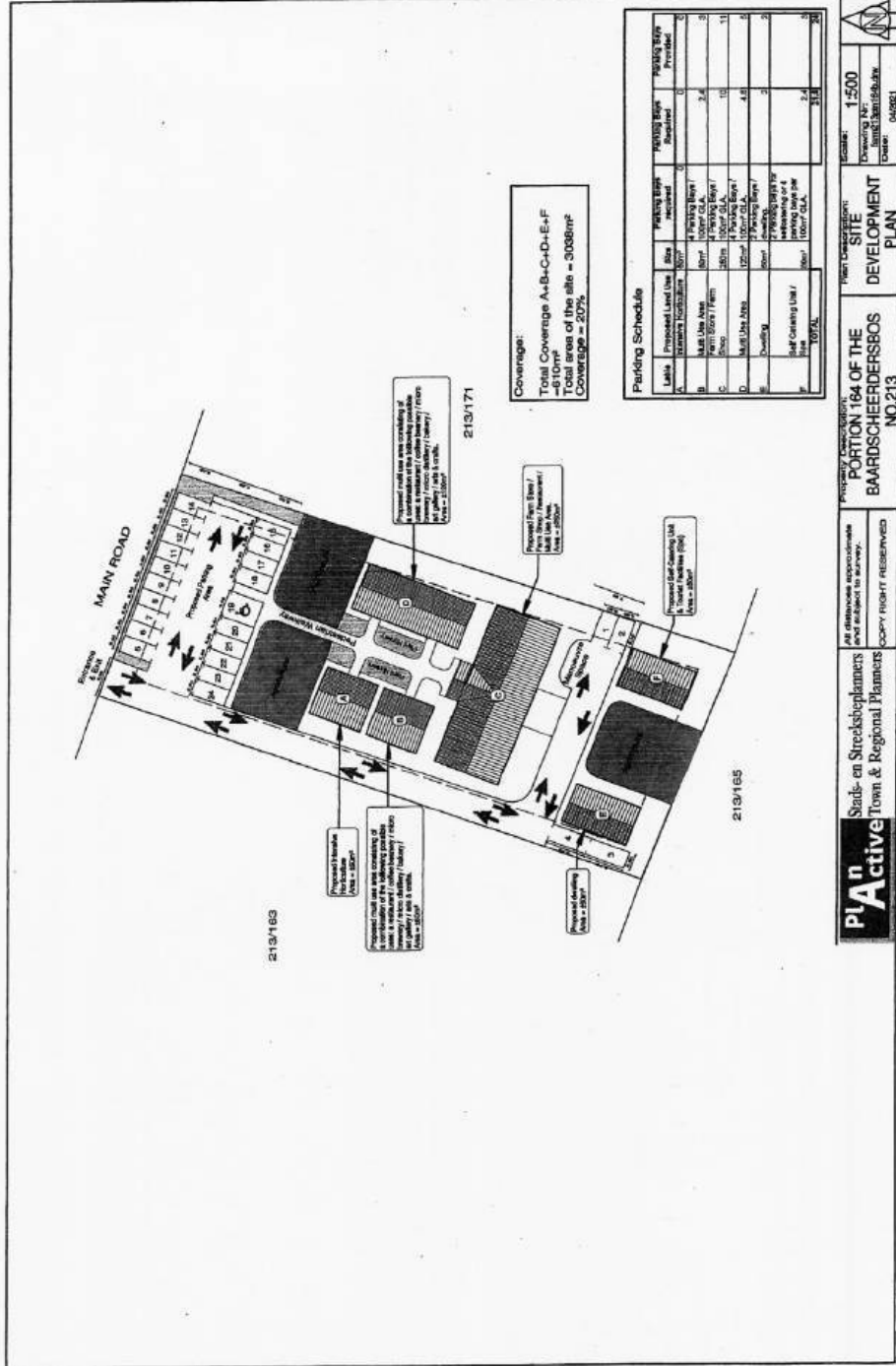
- (e) that details of the proposed grey water system be submitted for municipal approval and that any conditions or requirements regarding the maintenance and operation thereof be adhered to;
  - (f) that all the conditions in the Services Report be complied with;
  - (g) that all the conditions of Eskom, Open Serve and Department of Transport and Public Works be complied with;
  - (h) that commercial rates and service tariffs as determined by the annual budget be made applicable, which rates and tariffs are automatically adjusted in terms of the annual budget;
  - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
  - (j) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
3. that the applicant and persons who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.

**REASONS FOR THE RESOLUTION:**

- ❖ The proposal is consistent with the SDF and Baardskeerdersbos Precinct Plan.
- ❖ The proposal is at a scale that will not detract from the rural character of the area.
- ❖ The proposal promotes tourism and economic development.
- ❖ The proposal will provide much needed employment opportunities.
- ❖ The proposal is not considered to unacceptably detract from the character of Baardskeerdersbos.
- ❖ The proposal is consistent with the planning principles in terms of LUPA and SPLUMA.



	<b>Stads- en Streetsbeplanners Town &amp; Regional Planners</b>	All distances approximate and subject to survey.	Property Description: <b>PORTION 164 OF THE FARM NR.213</b>	Plan Description: <b>LOCALITY MAP</b>	Scale: <b>NTS</b> Drawing Nr: Farm213part164.dwg Date: 05/2021	



**Plan Active** **Shade- en Streeke planners** **Town & Regional Planners**  
 All drawings approximate and subject to survey. **COPY RIGHT RESERVED**  
 Property Description: **PORTION 164 OF THE SITE BAARDSCHEERDERSBOS NO.213**  
 Plan Description: **SITE DEVELOPMENT PLAN**  
 Scale: **1:500**  
 Drawing No: **Jan2018/2018/01**  
 Date: **04/09/18**

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR CONSENT USE: PORTION 164 OF THE FARM 213,  
BAARDSCHEERDERS BOSCH, DIVISION BREDASDORP**

Stormwater (SW) : In order  
Electricity : Eskom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions:**

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

**1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)**

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

**1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).**

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2021/2022) is as follows:

**Freehold erven:**

Water	R 24 915.00 x 1.96 =	R 48 833.40
Sewerage	R 16 799.12 x 1.96 =	R 32 926.28
Solid Waste	R 1 505.92 x 7.59499=	<u>R 11 437.45</u>
<b>TOTAL (inclusive of VAT)</b>	<b>=</b>	<b>R 93 197.13</b>

**Note:**

- 1.3 **The above figures are estimates**  
1.4 **The above figures do not include evaluation/investigation levies and connection fees**

2. that, should the applicant require water to Portion 164 of Farm 213, Portion of Farm 213 be provided with a municipal water meter as per detail and requirements stipulated;

3. that the proposed development on Portion 164 of Farm 213 be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services, and to which the sewer services of the development must connect to;
4. that the sewer conservancy tanks must be accessible to the municipal sewer tankers from one of the adjacent public roads, with parking areas for the sewer tankers provided with permanent surfaces and to the layout and specification of the Department: Operational Services;
5. that, alternatively, sewer treatment facilities that are approved by the Department of Water Affairs may be provided for disposal of sewer from the developments, and written proof of such approval be submitted to the Municipality;
6. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
7. that the above stormwater management plan include the following:
  - 7.1 pre-development run-off from the catchment area;
  - 7.2 post-development run-off from catchment area;
  - 7.3 existing stormwater reticulation system and the capacity thereof;
  - 7.4 connection of internal stormwater reticulation system;
  - 7.5 overland escape routes
8. that the connection to the stormwater reticulation system be provided according to the stormwater management plan, by the developer at his cost and approved by Overstrand Municipality;
9. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
10. that on site parking facilities be provided as per the Planning Schedule, and to the satisfaction of Department: Operational Services;
11. that any additional and / or extended vehicle entrances will be for the owner's account;
12. that stormwater be allowed to discharge through Ptn 164 of farm 213, unobstructed.

*p.p. D. Hendriks*  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

*07/12/2021*  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
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**14. ERF 47, 36 VAN BLOEMENSTEIN STREET, BIRKENHEAD: APPLICATION FOR AMENDMENT OF RESTRICTIVE TITLE CONDITIONS, CONSENT USE AND DEPARTURE: MESSRS WARREN PETTERSON PLANNING ON BEHALF OF WJ VERMEULEN**

**47 GBH (3504/2019)**

**SW van der Merwe**

**(028) 313 8900**

**Hermanus Administration**

**30 November 2021**

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**Executive Summary**

To consider an application received on 18 November 2019 from Messrs Warren Petterson Planning on behalf of WJ Vermeulen applicable to Erf 47, Birkenhead in terms of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) for the following:

- ❖ amendment of restrictive title deed conditions B(a) and B(b) contained in Title Deed T19974/1997 in terms of Section 16(2)(f) of the By-Law in order to accommodate a transmission tower;
- ❖ application for consent use in terms of Sections 16(o) of the By-Law to construct a transmission tower, and
- ❖ application for departure in terms of Section 16(2)(b) of the By-Law from a height of 10,5m to 25m to accommodate a transmission tower.

**RESOLVED:**

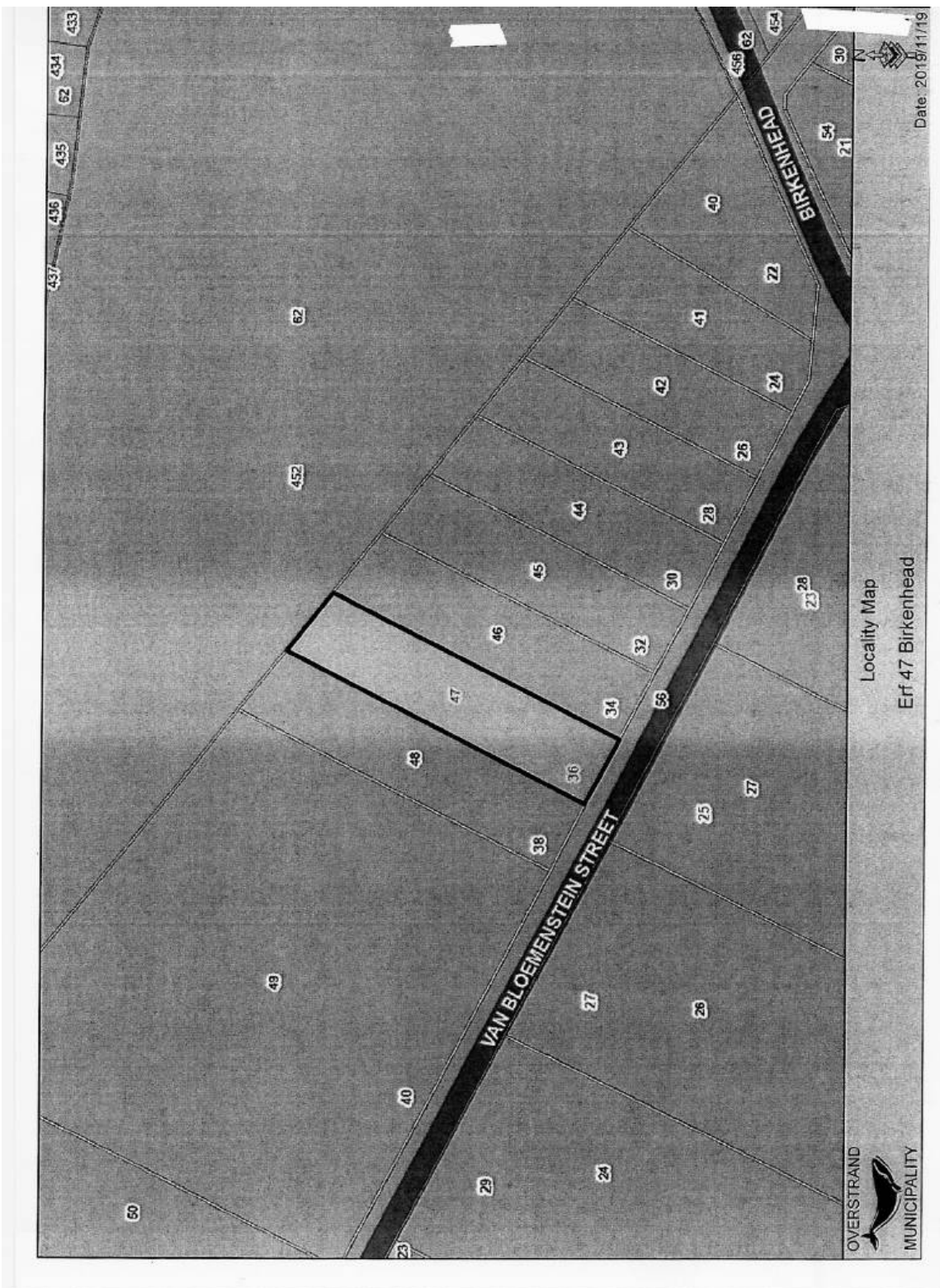
1. that the comment be noted;
2. that the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a consent use to permit a 25m high transmission tower (lattice mast) and associated equipment compound as well as departure in terms of Section 16(2)(b) of the By-Law to encroach the 10,5m height restriction to 25m on Erf 47, Birkenhead, **not be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(f) of the By-Law for amendment of restrictive title conditions B(a) and B(b) contained in Title Deed T19974/1997 applicable to Erf 47, Birkenhead, **not be approved** in terms of the provisions of Section 61 of the By-Law, and
4. that the applicant and persons who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.

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**REASON FOR THE RESOLUTION:**

- ❖ The applicant failed to prove the need and desirability of the proposed development.





**ATLAS TOWER**  
URL: [www.atlastower.com](http://www.atlastower.com)

ATLAS TOWER SITE ID: AT191073  
 ATLAS TOWER SITE NAME: BIRKENHEAD  
 PROPERTY DESCRIPTION: EPF 47, BIRKENHEAD  
 ADDRESS: VAN BLOMENSTEIN STREET, BIRKENHEAD, WESTERN CAPE  
 CO-ORDINATES: ELEVATIONS: 25m  
 Lat: -34.616370° Long: 18.33184°



PROJECT: PROPOSED NEW ATLAS TOWER 25m LATTICE MAST WITH 6m X 8m BASE STATION  
 APPROVED MAST: 25m LATTICE MAST

NOTES:  
 A) NEW 25m LATTICE MAST  
 B) 6m X 8m PALLSADE FRIDGE  
 C) 7m PALLSADE FRIDGE  
 D) BASE STATION: CHIP STONE SURFACE

DATE	DESCRIPTION	REVISION
22-08-2018	1st Issue	0

DRAWING NUMBER	SHEET
ATSA1073	2 OF 4

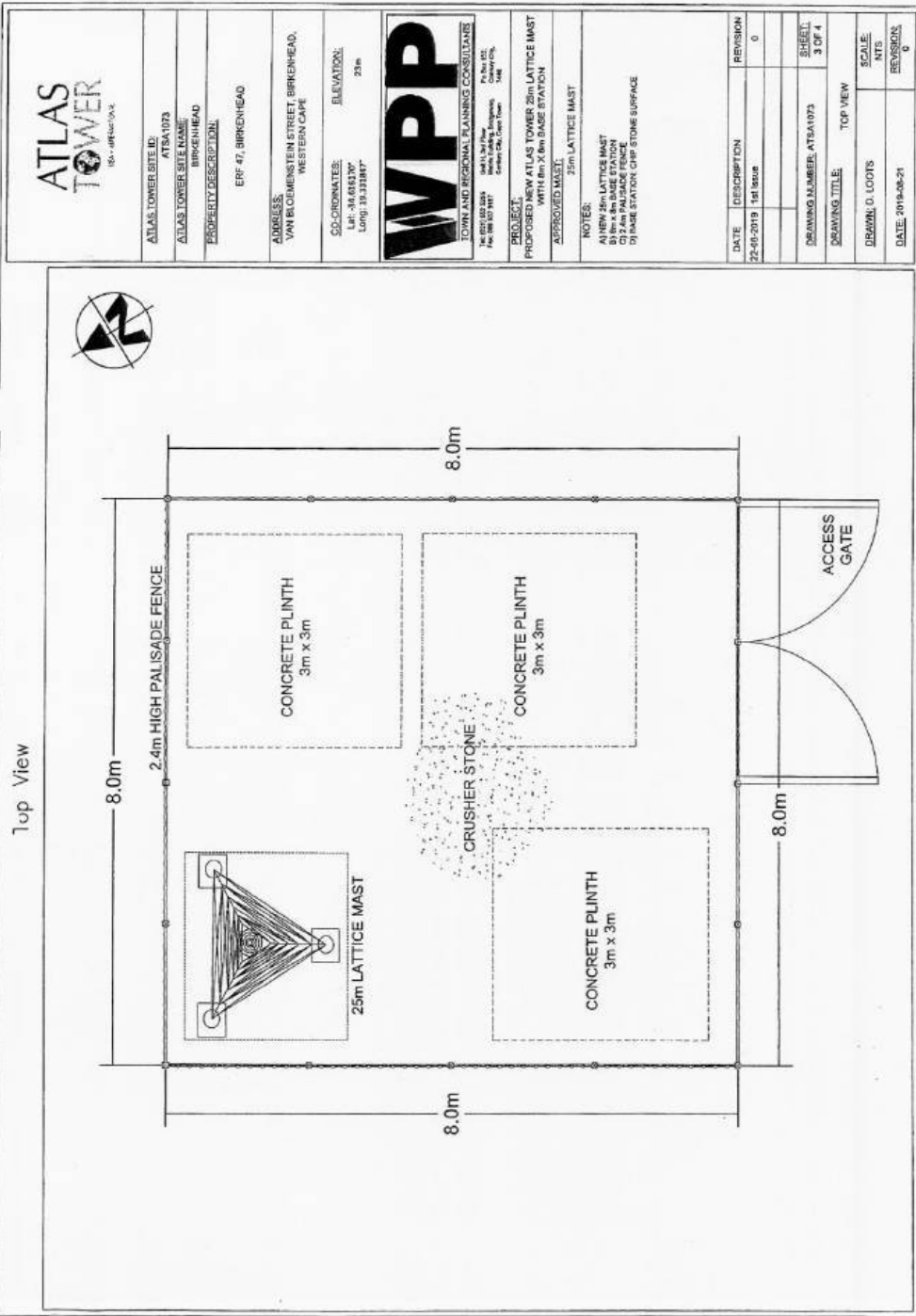
DRAWING TITLE	SCALE
SITE PLAN	1:1000

DRAWN D. LOOTS	REVISION
	0

DATE	DATE
2019-08-21	



ATLAS TOWER SITE ID: ATSA1073  
 ATLAS TOWER SITE NAME: BIRKENHEAD  
 PROPERTY DESCRIPTION: ERF 47, BIRKENHEAD

ADDRESS: VAN REEDENSTEN STREET, BIRKENHEAD,  
 WESTERN CAPE

SD-COORDINATE: ELEVATION:  
 Lat: -34.01433° 23m  
 Long: 18.33887°



TOWN AND REGIONAL PLANNING CONSULTANTS  
 15001 15th Street, Suite 100, Cape Town  
 Tel: 021 462 1000 Fax: 021 462 1001  
 www.wpp.co.za

PROJECT: PROPOSED NEW ATLAS TOWER 25m LATTICE MAST  
 WITH 2.4m HIGH PALISADE FENCE

APPROVED MAST: 25m LATTICE MAST

NOTES:  
 A) NEW 25m LATTICE MAST  
 B) NEW 2.4m HIGH PALISADE FENCE  
 C) 2.4m PALISADE FENCE  
 D) MAST STATION: CHIPSTONE SURFACE

DATE	DESCRIPTION	REVISION
22-10-2019	1st Issue	0

DRAWING NUMBER	SHEET
ATSA1073	3 OF 4

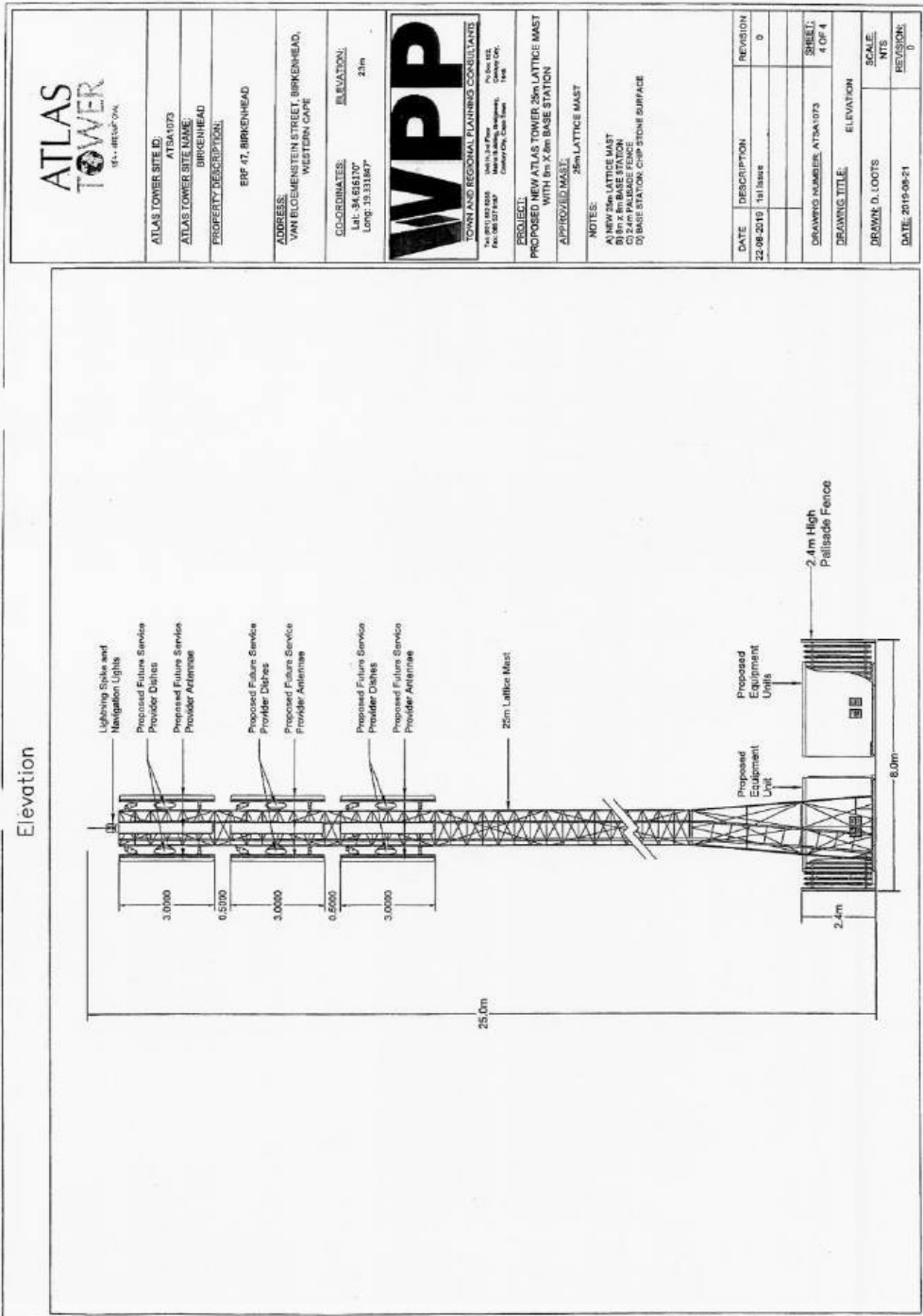
DRAWING TITLE	SCALE
TOP VIEW	NTS

DRAWING DATE	SCALE
2019-08-21	NTS

DATE	REVISIONS
2019-08-21	0



**ATLAS TOWER**  
SITE ELEVATION

ATLAS TOWER SITE ID: ATSA1073  
 ATLAS TOWER SITE NAME: BIRKENHEAD  
 PROPERTY DESCRIPTION: ERP 47, BIRKENHEAD

ADDRESS: VAN ELOEMENSTEIN STREET, BIRKENHEAD,  
 WESTERN CAPE

COORDINATES: ELEVATION:  
 Lat: -34.61617° 23m  
 Long: 18.131867°



TOWN AND REGIONAL PLANNING CONSULTANTS  
 100 WILSON ROAD, SUITE 101, WILSON  
 BIRKENHEAD, WESTERN CAPE  
 TEL: 021 937 1144  
 FAX: 021 937 1145  
 WWW.WPP.CO.ZA

PROJECT:  
 PROPOSED NEW ATLAS TOWER 25m LATTICE MAST  
 WITH 8m X 8m BASE STATION

APPROXIMATE WALL:  
 25m LATTICE MAST

NOTES:  
 A) NEW 25m LATTICE MAST  
 B) 8m X 8m BASE STATION  
 C) 2.4m PALISADE FENCE  
 D) BASE STATION: CHIP STONE SURFACE

DATE	DESCRIPTION	REVISION
22-08-2015	1st Issue	0

DRAWING NUMBER	SHEET
ATSA1073	4 OF 4

DRAWING TITLE	ELEVATION	SCALE	NTS

DRAWING D. LOOTS	DATE
	2015-08-21

REVISION
0

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS,  
CONSENT USE & DEPARTURE: ERF 47, BIRKENHEAD (3504/2019)**

Electricity : In order  
Water : In order  
Sewer : In order  
Stormwater : In order  
Roads and traffic : In order

**Conditions:**

1. that, should the applicant require water, Erf 47 be provided with a municipal water meter as per detail and requirements stipulated;
2. that the existing sewer conservancy tank to Erf 47 shall be used to service Erf 47;
3. that no electricity is currently available for the development and that should an electrical connection be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost. Bulk levies will be applicable.
4. that the transformer that supplies the property will need to be upgraded, the applicant will also need to install the cable from the transformer to the point of supply;
5. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
6. that the on-site parking facilities are provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
7. that any additional and / or extended vehicle entrances will be for the developer's account;
8. that stormwater be allowed to discharge through Erf 47, Birkenhead, unobstructed.

  
DENNIS HENDRIKS  
SENIOR MANAGER: ENGINEERING SERVICES

29/07/2020  
DATE

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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**15. ERF 1619, 9 CAESAR ROAD, PRINGLE BAY: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE: WRAP ON BEHALF OF SERFIE SERFONTEIN TRUST**

**1619 KPRB (3908/2021)**

**H van der Stoep  
2 November 2021**

**(028) 313 8900**

**Hermanus Administration**

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**Executive Summary**

An application has been received on 15 December 2020 from WRAP on behalf of Serfie Serfontein Trust on Erf 1619, Pringle Bay for the following:

- ❖ **Removal of Restrictive Title Conditions** in terms of Section 16.(2)(f) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with reference to Clauses B.6.(a), B.6.(b), B.6.(b)(i) and B.6.(b)(ii) of Title Deed T123280/97 to permit the proposed application.

*The restrictive title deed conditions read as follows:*

*“B. SUBJECT FURTHER to the following conditions contained in the Deed of Transfer No. T.46848/1981 imposed by the Administrator when approving the establishment of Pringle Bay Township Extension No. 3 in terms of Ordinance 33 of 1934, namely:-*

- 6.(a) This erf shall be used solely for the purpose of erecting thereon one dwelling or other buildings for such purposes as the Administrator may, from time to time after reference to the Townships Board and the local authority, approve, provided that if the erf is included within the area of a Town Planning Scheme, the local authority may permit such other buildings as are permitted by the Scheme subject to the conditions and restrictions stipulated in the scheme.*
- (b) No building or structure or any portion thereof except boundary walls and fences, shall except with the consent of the Administrator, be erected nearer than 5m to the street line which forms a boundary of this erf, nor within 3m of the rear of 1.5m of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority -*
  - (i) an outbuilding used solely for the housing of motor vehicles and not exceeding 3m in height, measured from the ground floor of the outbuilding to the wall-plate thereof, may be erected within such side and rear spaces, and any other*

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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*outbuilding of the same height may be erected within the rear space and side space for a distance of 12m measured from the rear boundary of the erf, provided that in the case of a corner erf the distance of 12m shall be measured from the point furthest from the street abutting the erf.*

*(ii) an outbuilding in terms of sub-paragraph (i) may only be erected nearer to a lateral or rear boundary of a site than the above prescribed spaces, if no windows or doors are inserted in any wall facing such boundary.*

- ❖ **Departure** in terms of Section 16(2)(b) of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 to relax the southwestern lateral building line from 2m to 0,02m to accommodate a portion of the existing dwelling.

**RESOLVED:**

1. that the application in terms of Section 16.(2)(f) of the Overstrand Amendment Municipal By-Law on Municipal Land Use Planning, 2020 for the removal of restrictive title deed Clauses B.6.(a), B.6.(b), B.6.(b)(i) and B.6.(b)(ii) of Title Deed T123280/97 applicable to Erf 1619 Pringle Bay, **be approved** in terms of the provisions of Section 61, subject to the following conditions:
  - (a) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
  - (b) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with; and
  - (c) that all the conditions in the Services Report be complied with.
2. that the application in terms of Section 16.(2)(b) of the Overstrand Municipal Amendment By-Law on Municipal Land Use Planning, 2020 on Erf 1619, Pringle Bay for a departure to relax the southwestern lateral building line from 2m to 0,02m to accommodate a portion of the existing dwelling, **not be approved**, in terms of Section 61 of the By-Law;
3. that the portion of the existing building that encroaches the building line, be demolished within 18 months from date of decision letter;
4. that a rider building plan for the existing dwelling, be submitted within six (6) months from the date of the decision letter to adhere to the building lines;
5. that the building be built according to the building plan referred to in point

**AGENDA of the  
Portfolio Committee : Investment & Infrastructure  
2 February 2022  
(Also the agenda for the Mayoral Committee Meeting : 21 February 2022)**

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4 above within twelve (12) months after the building plan has been approved; and

6. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality Amendment By-Law on Land Use Planning, 2020 with regard to the above decision.

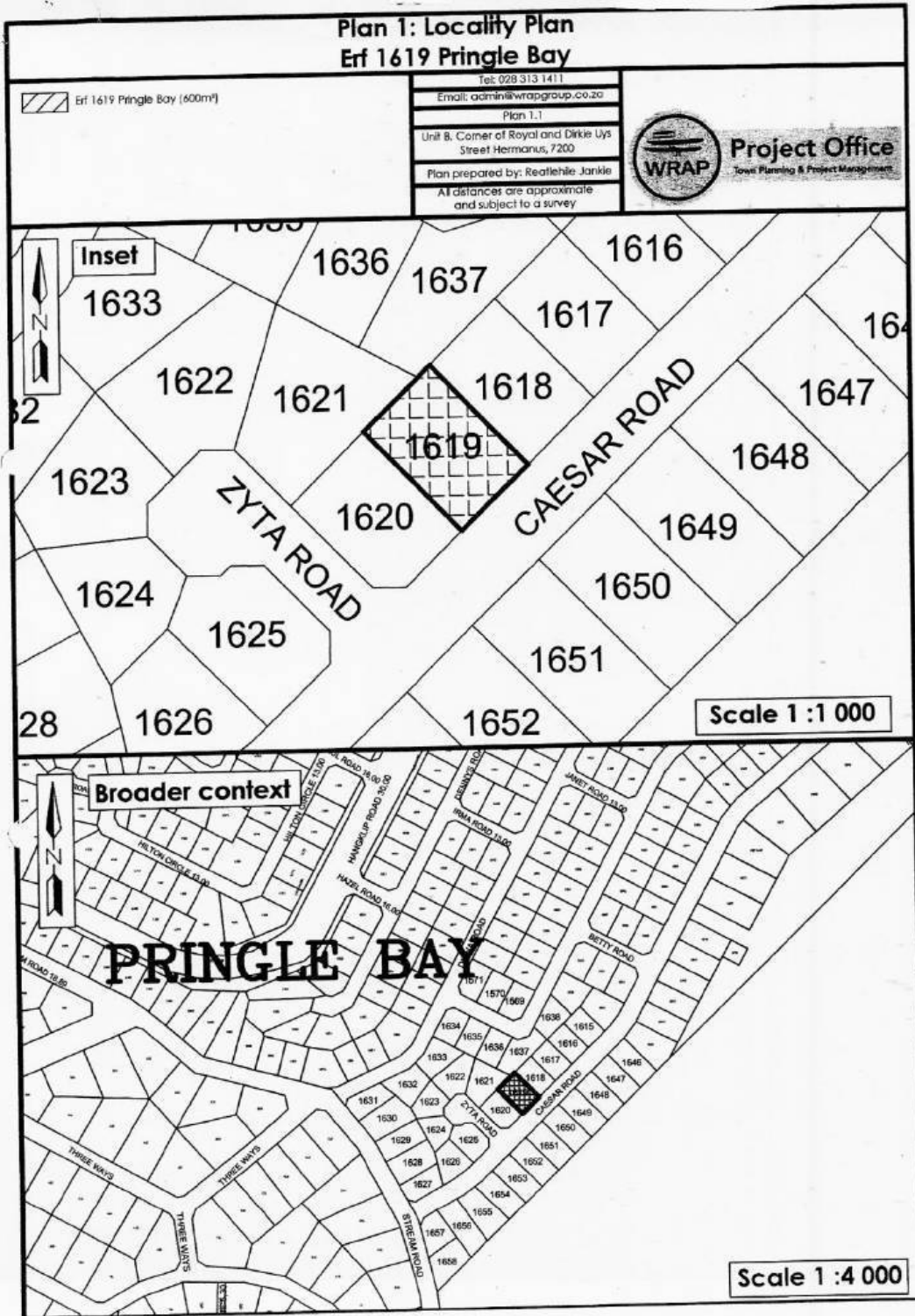
**REASONS FOR THE RESOLUTION:**

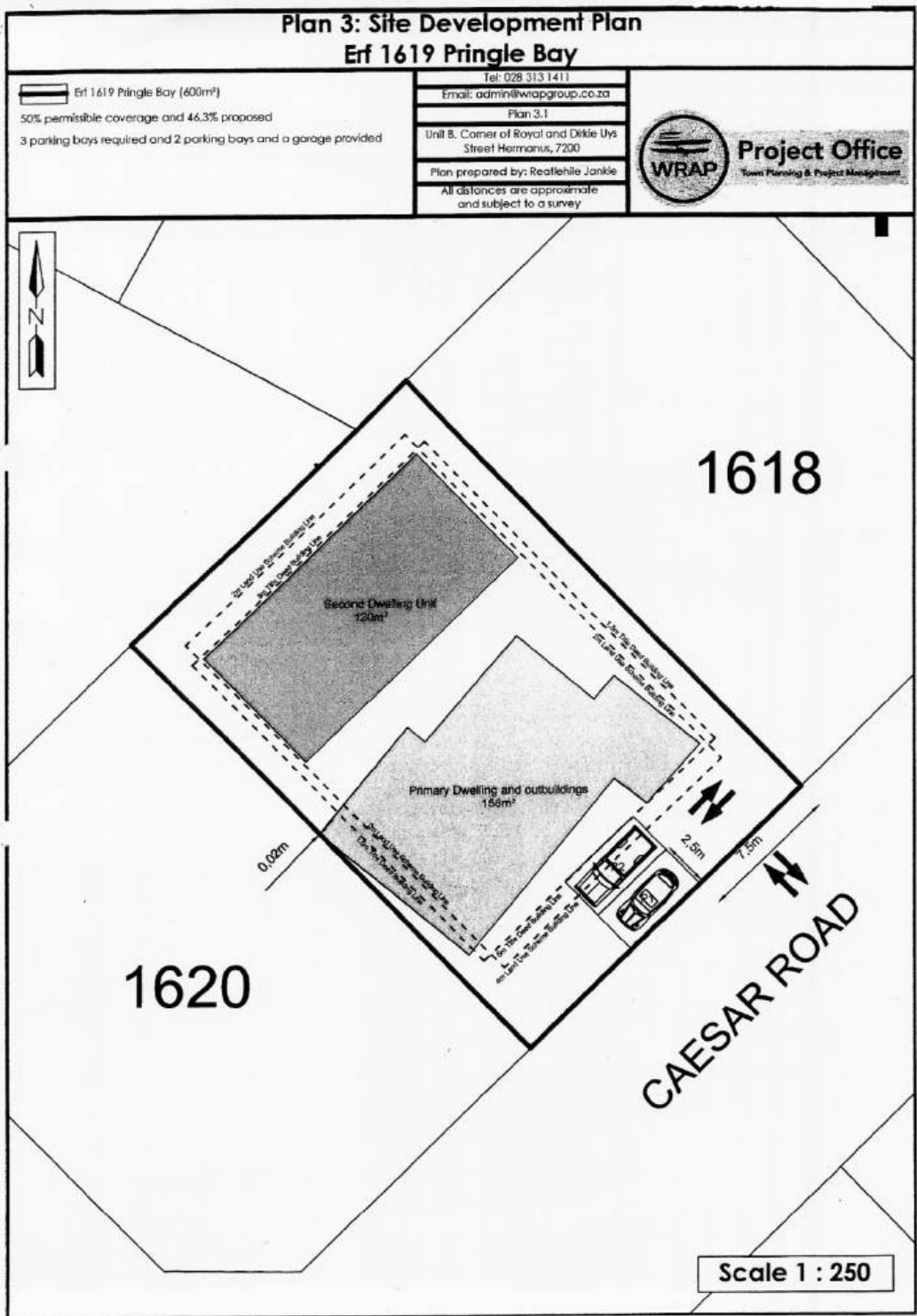
**POINT 1**

- ❖ The Title Deed conditions applied to be removed are sufficiently guided by the Overstrand Land Use Scheme.
- ❖ The restrictive conditions impede the construction of energy and water saving devices necessary to address climate change.

**POINT 2**

- ❖ There is no clarity with regard to the location of the foundations and, whether it transgresses the objector's property, which will result in illegal occupation of the adjacent erf.
- ❖ The dwelling is a double storey located 0,02m from the erf boundary and has an impact on the privacy of the objector's erf. It is irrelevant whether the windows facing the objector's erf are located in enclosed balconies not regularly in use. The balconies are used and will have an impact on the objector's living space.
- ❖ The impact of the house on natural light and air movement does impact on the developability of the objector's erf.
- ❖ The transgression of the applicant's dwelling over the building lines, affects the design and development of Erf 1620.
- ❖ The Fire Department did not support the application due to non-compliance of fire regulations.





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:  
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS &  
DEPARTURE: ERF 1619, PRINGLE BAY**

Stormwater (SW) : In order  
Electricity : Escom  
Water : In order  
Sewer : In order  
Roads and traffic : In order

**Conditions**

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigates and determine the limitations of the site in terms of drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Directorate: Infrastructure and Planning;
5. that any additional and / or extended vehicle entrance will be for the owner's account;
6. that, upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Senior Manager: Operational Services (Kleinmond) for written approval;
7. that stormwater be allowed to discharge through Erf 1619, Pringle Bay, unobstructed.

  
DENNIS HENDRIKS  
SENIOR MANAGER:  
ENGINEERING SERVICES

  
DATE