

**PORTFOLIO COMMITTEE :
INFRASTRUCTURE & PLANNING**

Chairperson :

Cllr K Brice

Committee Members :

**Cllrs D Botha, F Krige,
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :
INFRASTRUKTUUR & BEPLANNING**

Voorsitter :

Rdl K Brice

Komiteelede :

**Rdle D Botha, F Krige,
S Tebele & V Pungupungu**

INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE
INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE

19 February 2019

I N D E X

<u>ITEM</u>		<u>PAGE NUMBER</u>
	APPLICATIONS FOR LEAVE OF ABSENCE	
1.	TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2018 – JANUARY 2019	1
2.	STANFORD, A PORTION OF ERF 294:LEASE OF MUNICIPAL PROPERTY TO VODACOM (PTY) LTD	374
3.	TRANSFER OF A PORTION OF THE REMAINDER OF ERF 241 HERMANUS, ADJACENT TO ERF 239 HERMANUS, (± 248m² IN EXTENT) TO DG JORDAAN	380
4.	HERMANUS: UNREGISTERED ERF 12273 (A PORTION OF ERF 243) HERMANUS SITUATED IN MOUNT PLEASANT: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO THE RATHFELDER FAMILY CHARITABLE TRUST	390
5.	HERMANUS, A PORTION OF ERF 775 FISHERHAVEN: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO LAKE MARINA YACHT AND BOAT CLUB	397
6.	GANSBAAI, A PORTION OF ERF 2022 GANSBAAI SITUATED IN MASAKHANE: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO GOOD HOPE EARLY CHILDHOOD DEVELOPMENT CENTRE	406
7.	HERMANUS: IN PRINCIPLE APPROVAL FOR THE DIRECT ALIENATION OF ERF 2350 AND A PORTION OF ERF 2352 VERMONT, TO THE AUVERGNE HOMEOWNERS ASSOCIATION	413
8.	HERMANUS: A PORTION OF THE REMAINDER OF ERF 243, ROTARY WAY: LEASE OF MUNICIPAL PROPERTY TO MAX INTERNET TECHNOLOGIES CC T/A MAXITEC	424
9.	HERMANUS: A PORTION OF ERF 257 HERMANUS SITUATED IN MOUNT PLEASANT: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO CHILD WELFARE SOUTH AFRICA: HERMANUS	430
10.	HERMANUS: ERF 9212 HERMANUS, SITUATED IN ZWELIHLE: LEASE OF MUNICIPAL PROPERTY TO SIYAKHA COMMUNITY EDUCARE CENTRE AND ENRICHMENT PROJECT	437
11.	HERMANUS, ALIENATION OF UNREGISTERED ERF 1936 (A PORTION OF REMAINDER OF ERF 314) ZWELIHLE: AMENDMENT OF IN PRINCIPLE APPROVAL FOR DIRECT ALIENATION AS WELL AS TRANSFER TO THE WESTERN CAPE GOVERNMENT (DEPARTMENT OF TRANSPORT AND PUBLIC WORKS)	444

12.	HERMANUS: IN PRINCIPLE APPROVAL FOR THE DIRECT ALIENATION OF A PORTION OF THE REMAINDER OF ERF 313 ZWELIHLE, ADJACENT TO ERF 5 ZWELIHLE, TO LT MBOYIYA	457
13.	GANSBAAI, A PORTION OF ERF 1969 PEARLY BEACH SITUATED IN ELOXULWENI: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO FLOWER VALLEY CONSERVATION TRUST	466
14.	PROPOSED URBAN EXTENSION OF BUFFELJAGSBAAI	473
15.	REQUEST FOR DISCOUNT OR EXEMPTION TO PAY FEES FOR ZONING CERTIFICATES : CHILD WELFARE SOUTH AFRICA	515

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2018 –
JANUARY 2019**

15/3/11

R van Antwerp
10 January 2019

(028) 313 8039

Hermanus Administration

1. Executive Summary

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 23 October 2018 – 10 January 2019.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

RECOMMENDATION:

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 23 October 2018 – 10 January 2019:

Spatial Land Use Management Act (SPLUMA) Approvals

1.	Erf 6416, Mount Pleasant	24 October 2018
2.	Erf 10317, Hermanus	24 October 2018
3.	Erf 783, Pringle Bay	24 October 2018
4.	Farm Weltevrede No 764	24 October 2018
5.	Erf 900, Vermont	24 October 2018
6.	Erven 4075 and 4771, Hermanus	25 October 2018
7.	Portion 20 of Farm 711	25 October 2018
8.	Erf 566, Stanford	5 November 2018
9.	Erf 4583, Onrustrivier	5 November 2018
10.	Erf 5854, Hermanus	5 November 2018
11.	Erf 3785, Onrustrivier	5 November 2018
12.	Erf 329, Pearly Beach	5 November 2018
13.	Erf 3288, Onrustrivier	12 November 2018
14.	Erf 8446, Zwelihle	12 November 2018
15.	Erf 2282, Stanford	12 November 2018
16.	Erf 2142, Hermanus	12 November 2018
17.	Remainder Erf 2303 and Erf 2505, Hermanus	19 November 2018
18.	Portions 50 and 51 of farm Wolven Gat No. 297	19 November 2018
19.	Erf 1190, Franskraal	19 November 2018
20.	Erf 2604, Pearly Beach	19 November 2018
21.	Erf 5500, Hermanus	26 November 2018
22.	Erf 1061, Vermont	26 November 2018
23.	Erf 3790, Kleinmond	26 November 2018
24.	Erf 2812, Gansbaai	26 November 2018
25.	Erf 505, Sandbaai	26 November 2018
26.	Erf 2173, Vermont	26 November 2018
27.	Erf 764, Vermont	26 November 2018
28.	Erf 8274, Hemel & Aarde, Hermanus	26 November 2018

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

29.	Erf 4711, Kleinmond	27 November 2018
30.	Erf 2634, Sandbaai	27 November 2018
31.	Erf 8, Pearly Beach	29 November 2018
32.	Erf 739, Hermanus	29 November 2018
33.	Erf 4358, Betty's Bay	29 November 2018
34.	Erven 4453 & 4410, Hermanus	29 November 2018
35.	Erf 4056, Kleinmond	29 November 2018
36.	Erf 3431, Kleinmond	29 November 2018
37.	Erf 2987, Onrustrivier	30 November 2018
38.	Erf 4831, Hermanus	5 December 2018
39.	Erf 504, Fisherhaven	12 December 2018
40.	Portions of the farm Benguela Cove 575	12 December 2018
41.	Erf 2035, Onrustrivier	12 December 2018
42.	Erf 5065, Kleinmond	12 December 2018
43.	Erf 753, Hermanus	12 December 2018
44.	Erf 1174, Hermanus	12 December 2018
45.	Erf 846, Stanford	13 December 2018
46.	Erf 1021, Stanford	13 December 2018
47.	Erf 1180, Stanford	13 December 2018
48.	Erf 5692, Hermanus	14 December 2018
49.	Erf 8, Hermanus	14 December 2018
50.	Erf 2428, Onrustrivier	14 December 2018
51.	Erf 4261, Kleinmond	14 December 2018
52.	Erven 3340 and 3341, Onrustrivier	14 December 2018
53.	Portion 6 of the farm Benguela Cove 575	14 December 2018

Municipal Planning Tribunal

1.	Erf 113, De Kelders	1 November 2018
2.	Portion 2 of the farm Langkloof No. 725	1 November 2018
3.	Erf 1, Sandbaai	1 November 2018
4.	Erf 4013, Betty's Bay	29 November 2018
5.	Erven 1154, 1157 and 1300, De Kelders	29 November 2018

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

13 MARCH 2019

TARGET DATE TO INFORM APPLICANT :

N/A

TARGET DATE TO INFORM OBJECTOR :

N/A

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: OCTOBER 2018 –
JANUARY 2019**

**15/3/11
R van Antwerp
10 January 2019**

(028) 313 8039

Hermanus Administration

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON
19 FEBRUARY 2019, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

RESPONSIBLE OFFICIAL :	R VAN ANTWERP
TARGET DATE FOR IMPLEMENTATION :	13 MARCH 2019
TARGET DATE TO INFORM APPLICANT :	N/A
TARGET DATE TO INFORM OBJECTOR :	N/A

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

Spatial Land Use Management Act (SPLUMA) Approvals

**1. ERF 6416, 171 SONNEBLOM STREET, MOUNT PLEASANT, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: A AND C VLOTMAN**

6416 HMP (3891)

H Olivier

(028) 313 8900

Hermanus Administration

17 October 2018

Executive Summary

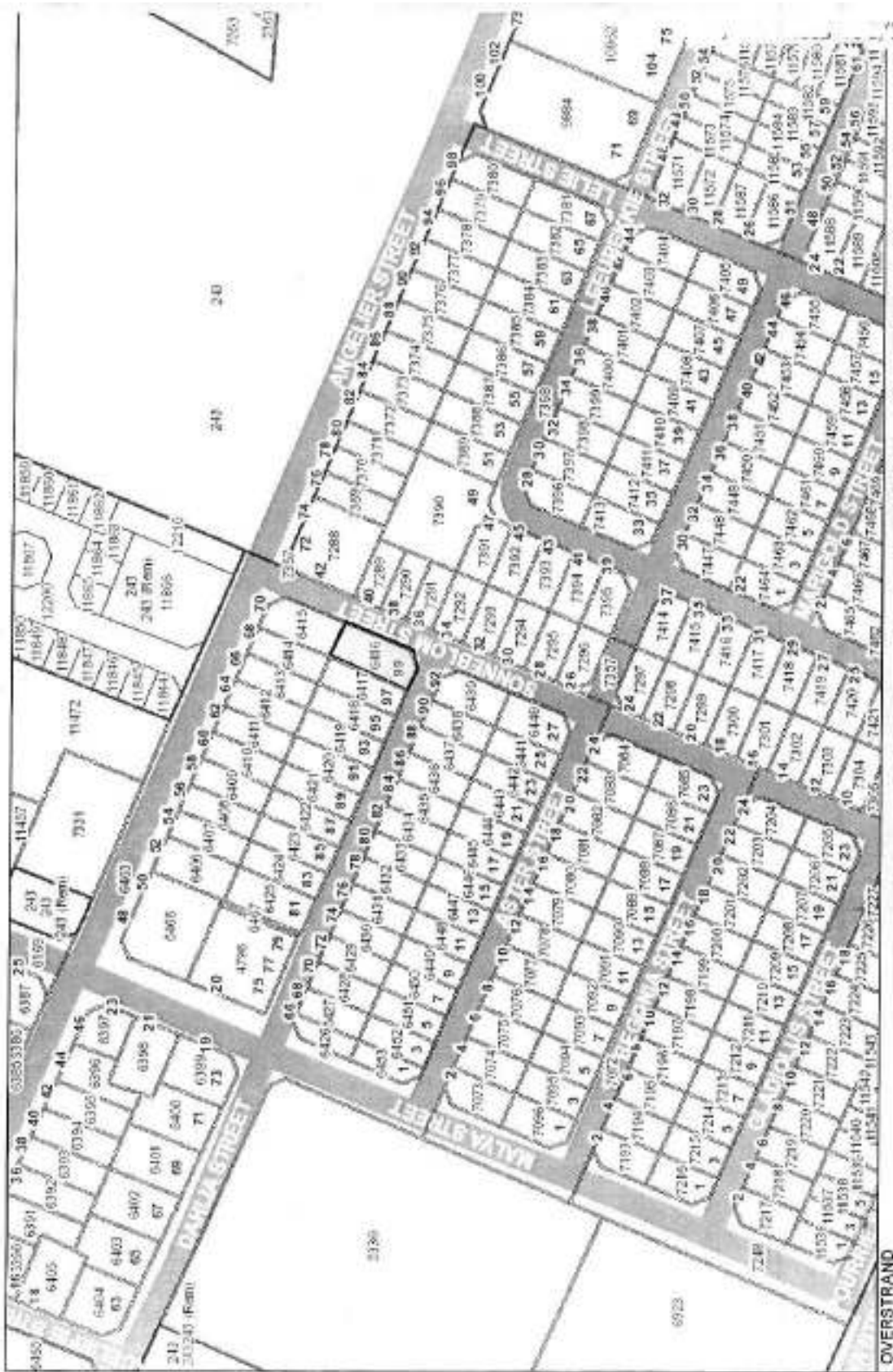
An application has been received on 9 January 2018 from A and C Vlotman on Erf 6416, Mount Pleasant for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the northern lateral building line from 2m to 1m to accommodate a garage and the southern street building line from 4m to 3m in order to accommodate an enclosed stoep.

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 6416, Mount Pleasant to relax the 4m street building line with Dahlia Street to 3m to accommodate an existing enclosed stoep, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. 2017/10/59 dated 30 October 2017, submitted with the application (excluding the garage);
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage, and
 - (e) that all the conditions by Telkom, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

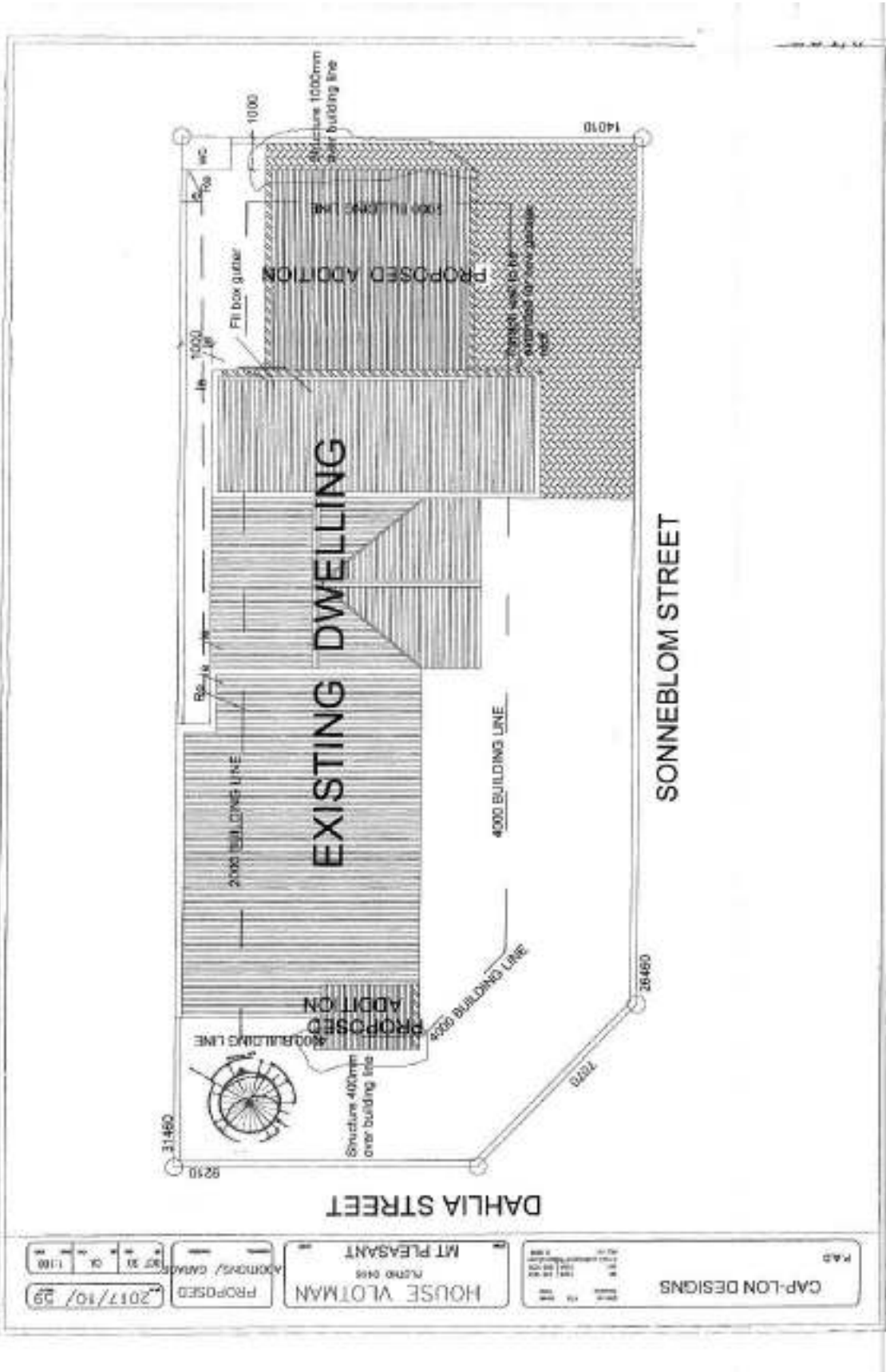
2. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 6416, Mount Pleasant to relax the northern lateral building line from 2m to 1m to accommodate a new garage, **not be approved** in terms of the provisions of Section 61 of the By-Law, due to the following reason:
 - (a) the proposed garage can not be constructed over the 2m building line as there are existing municipal sewer and water pipelines in such area.
3. that the applicant be notified of its right of appeal in terms of Section 62 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decisions.



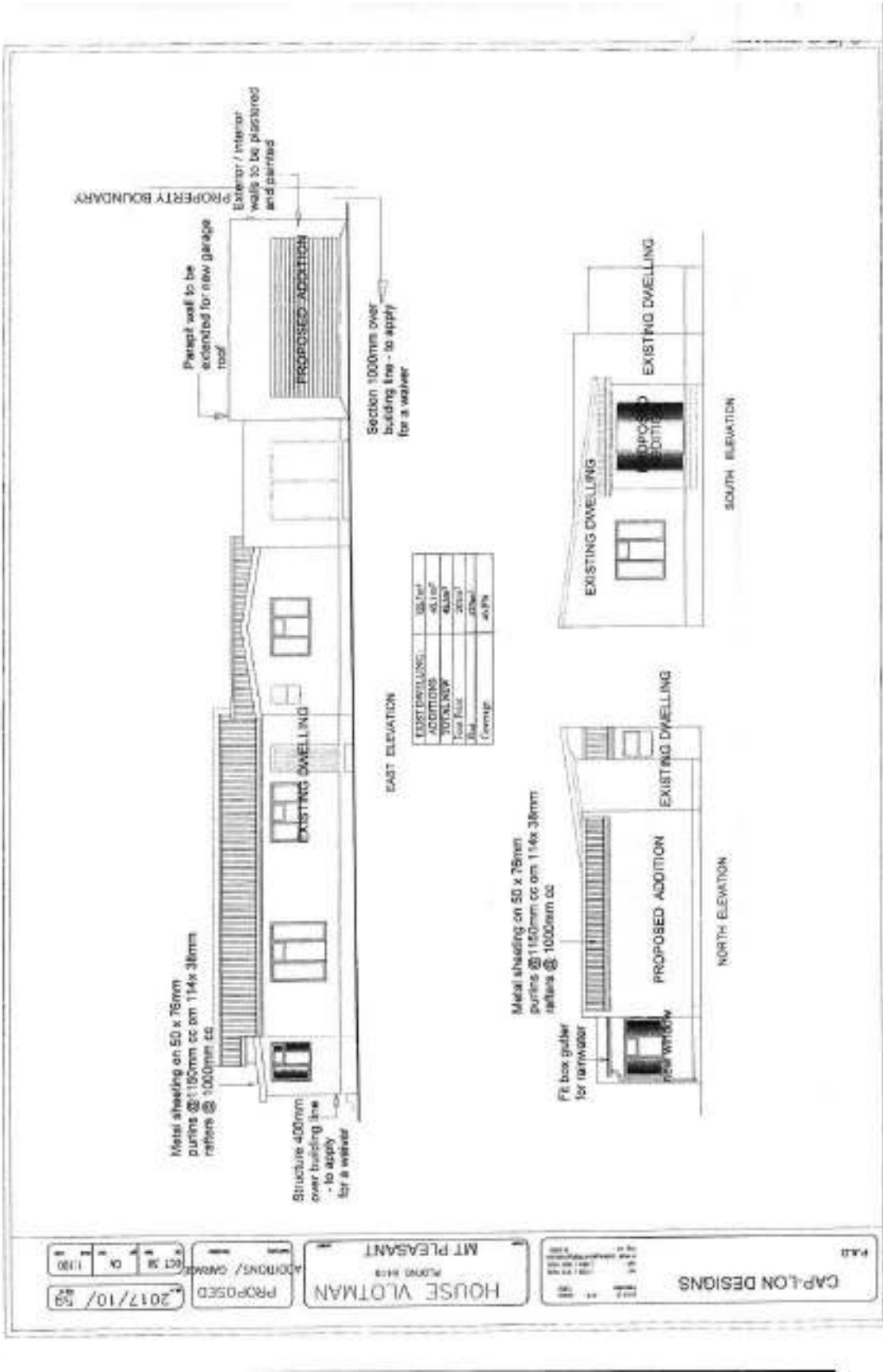
Erif 6416 HMP

Date: 2018-7





CAP-LON DESIGNS 2017/10/29 PROPOSED APPROVED/CAMD 307 30 OK 1:100		HOUSE VLOTMAN RENO HIS MT PLEASANT	MAP 1:100 10/2017 10/2017
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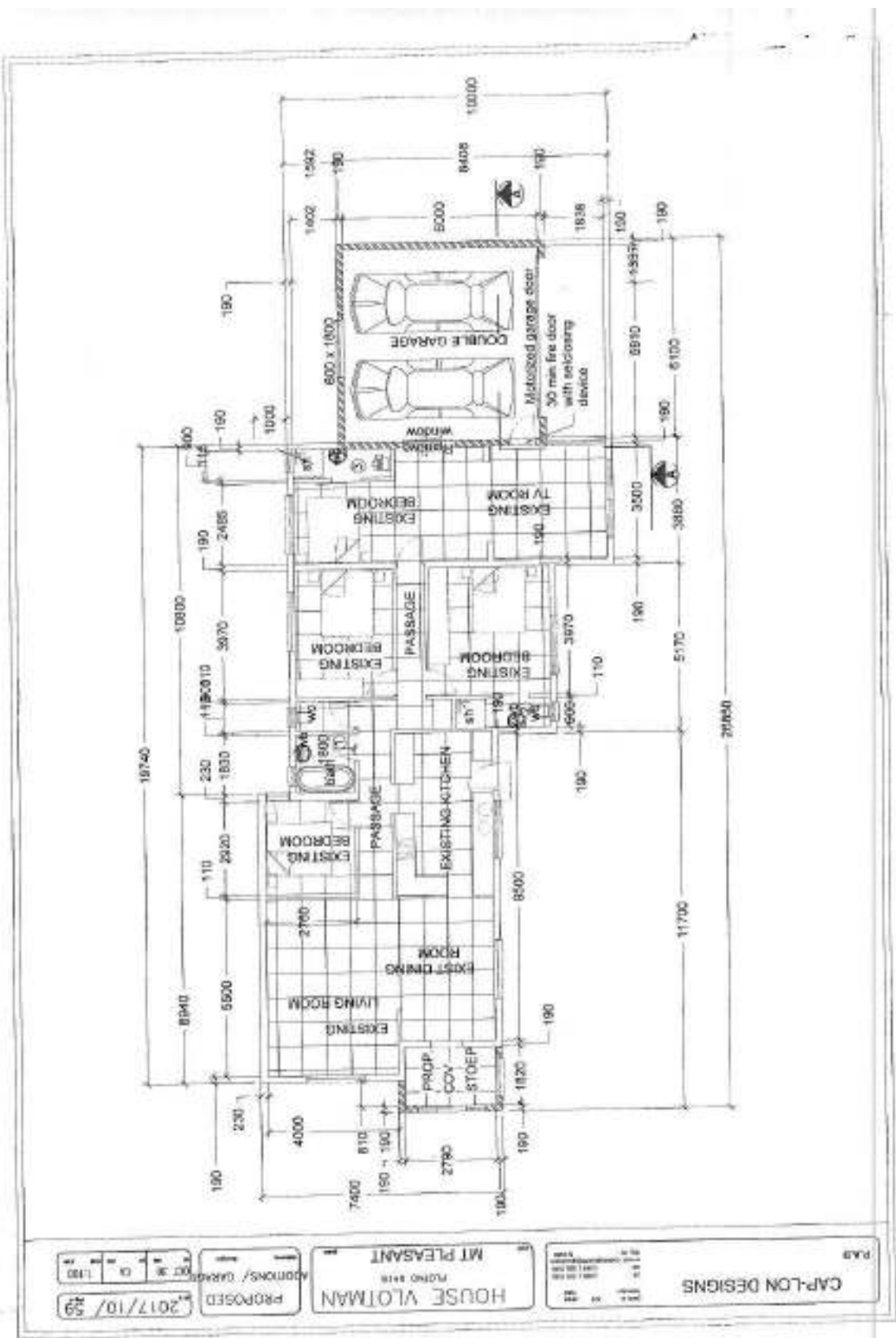
2017/10/59

PROPOSED ADDITIONS/CHANGES

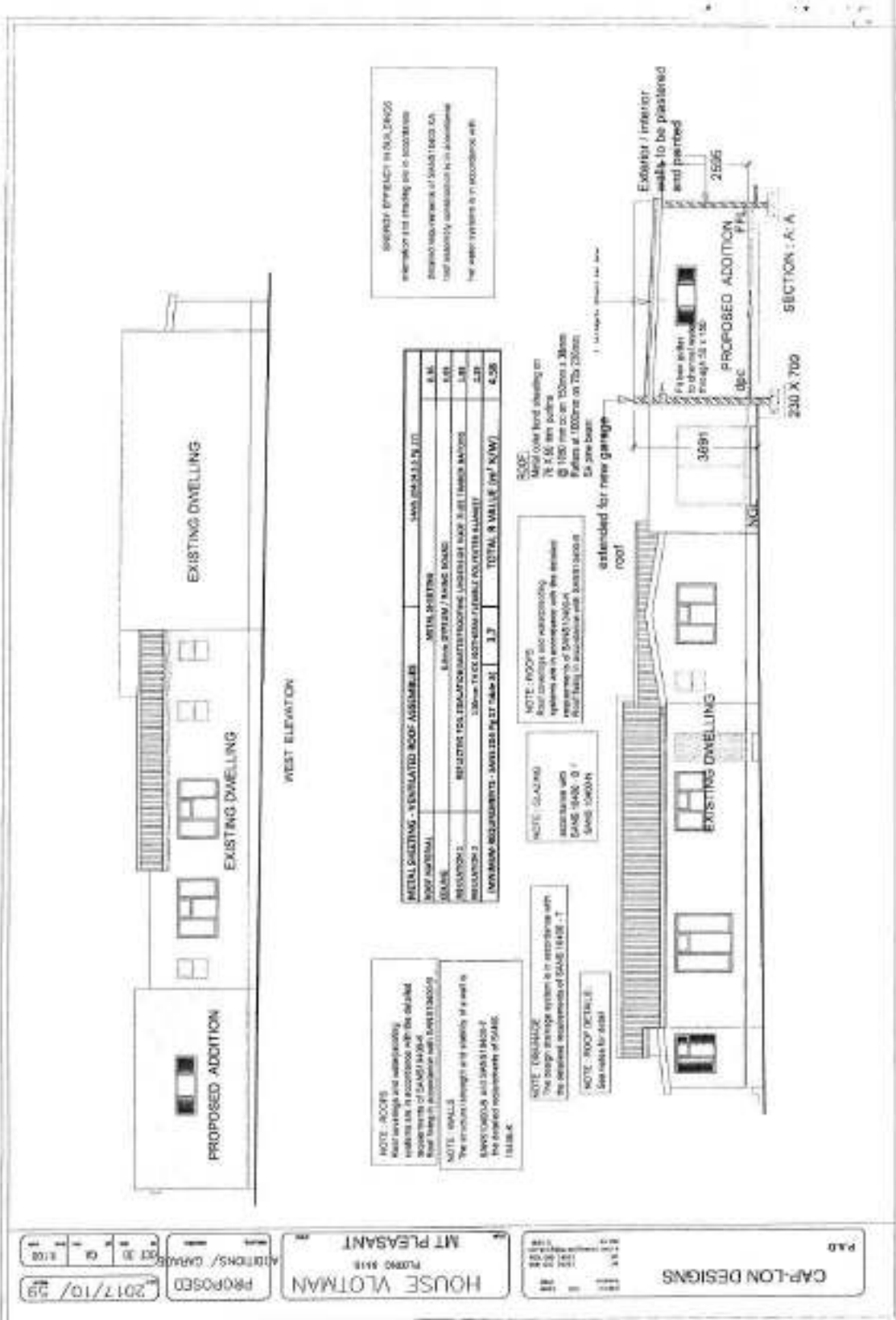
HOUSE VLOTMAN
 KLOOF HILL
 MT PLEASANT

DATE: 10/10/17
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

CAP-LON DESIGNS
 P.A. 20



<p>PROPOSED 2017/10/29</p> <p>ADDITIONS/ALTERATIONS</p>	<p>HOUSE VLOTMAN</p> <p>PLANNING</p> <p>MT PLEASANT</p>	<p>DATE</p> <p>NO.</p> <p>DESCRIPTION</p> <p>BY</p> <p>CHECKED</p>	<p>RAB</p> <p>CAPLON DESIGNS</p>
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CAP-LON DESIGNS P.A.O. 1011 1012 1013 1014 1015	HOUSE WLOTMAN PLOED 4418 MT PLEASANT	PROPOSED 2017/10/29 ADDITIONS/CHANGES CA 1/08
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2017/10/19
 PROPOSED
 ADJUSTED/CHANGED
 HOUSE PLOTMAN
 MT PLEASANT
 CAP-LON DESIGNS
 RAB

AN VENTILATION AND PERMEABLE AIR-LEAKAGE AS PER SANS2004
 The air infiltration and leakage measurement of SANS2004 requires that in outside zone a the ceiling, walls and doors shall be airtight. The test shall be conducted at 50Pa differential pressure. All joints and seal joints shall have a low air leakage or no air leakage and the joints shall be tested. The joints in external walls shall be tested.

REQUIREMENTS FOR EXTERNAL COOKING
 The kitchen of flat or open build - Built kitchen appliances shall be provided with a canopy or top that can be closed to seal the kitchen from the external environment. This shall not apply to gas and liquid fuel cooking systems.

REQUIREMENTS FOR EXTERNAL COOKING
 The kitchen of flat or open build - Built kitchen appliances shall be provided with a canopy or top that can be closed to seal the kitchen from the external environment. This shall not apply to gas and liquid fuel cooking systems.

REQUIREMENTS FOR EXTERNAL COOKING

Item	Minimum	Maximum	Points
1. Minimum	1.00	1.00	
2. Maximum	1.00	1.00	

DEFAULT WINDOW CONDUCTIVITY & SIZE

Orientation	U-value	Area	Total
WEST	0.4	0.6	0.24
NORTH	0.4	0.6	0.24
SOUTH	0.4	0.6	0.24
EAST	0.4	0.6	0.24
TOTAL			0.96

Hot Water
 The hot water system shall be designed to meet the requirements of SANS 2004. The hot water system shall be designed to meet the requirements of SANS 2004. The hot water system shall be designed to meet the requirements of SANS 2004.

NET FLOOR AREA: 150.0 m²
 15% OF NET FLOOR AREA:
 22.5 m²
 GLAZING AREA TO NET FLOOR AREA:
 20.0 m²
 NET FLOOR AREA: 20.0 m²
 GLAZING AREA: 20.0 m²

Item	Area	Points
1. Minimum	1.00	1.00
2. Maximum	1.00	1.00

CLEAR GLAZING SOLAR HEAT GAIN

ELEVATION	GLAZING			Solar exposure Factor		
	SHGC	SHGC	P/H	E	TOTAL	
WEST	0.4	0.4	1.4	1.4	0.8	
NORTH	0.4	0.4	0.54	0.54	1.5	
SOUTH	0.4	0.4	0.81	0.81	0.3	
EAST	0.4	0.4	1.59	1.59	7.9	
TOTAL	0.9	0.9	4.27	4.27	10.1	

PANELS VERSUS SHADING DESCRIPTION

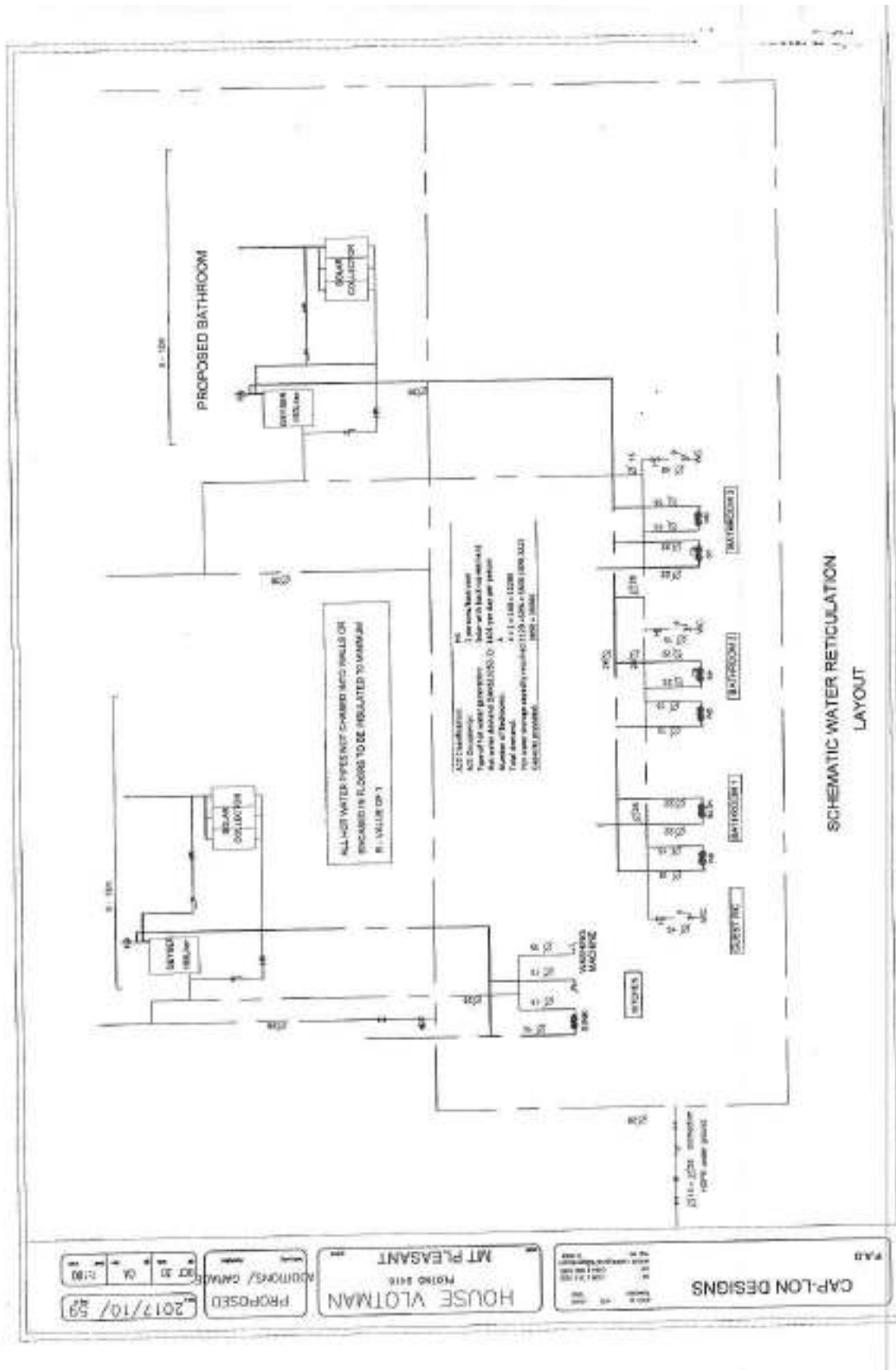
PANEL	FACING DIRECTION	AREA (m ²)	SHADING DESCRIPTION
1	WEST	0.4	Unshaded
2	NORTH	0.6	Unshaded
3	SOUTH	0.6	Unshaded
4	EAST	1.4	Unshaded
TOTAL		3.0	

METAL SHEETING - VENTILATED ROOF ASSEMBLIES

Item	Material	Value
1	METAL SHEETING	3.7
2	ROOF MATERIAL	3.7
3	GLASS	3.7
4	INSULATION 1	3.7
5	INSULATION 2	3.7
TOTAL R VALUE		14.5

CONCRETE FLOORS - WITHOUT HEATING SYSTEM

Item	Material	Value
1	CONCRETE FLOOR	0.14
TOTAL R VALUE		0.14



SCHMATIC WATER RETICULATION LAYOUT

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 6416, MOUNT PLEASANT (3891)**

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that the Department Engineering Services supports the recommendation from Operational Services to decline this application. Please refer to the relevant memorandum dated 18/06/2018.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES



DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. **ERF 10317, 6 CANTERBURY STREET, HERMANUS (WESTCLIFF) :
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS AND CONSENT USE, OVERSTRAND MUNICIPAL AREA :
MESSRS PLANACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF
OF HJ KRIKKE**

10317 HWC (3844)

H van der Stoep

(028) 313 8900

Hermanus Administration

9 October 2018

Executive Summary

An application has been received on 6 November 2017 from Messrs Planactive on behalf of HJ Krikke applicable to Erf 10317, Hermanus for the following:

Removal of restrictive title deed conditions

Application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for:

- ❖ the removal of restrictive title deed conditions B.(a), (b) and (d) as contained in Title Deed T49929/2017 applicable to the above erf in order to conduct a guesthouse from the property, as well as to be in line with the primary rights and development parameters applicable to single residential properties as set out in the Overstrand Zoning Scheme, and

Consent Use

- ❖ consent use for a guesthouse in terms of Section 16(2)(o) of the above By-Law in order to accommodate a five (5) bedroom guesthouse on the property.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed conditions B.(a), (b) and (d) as contained in Title Deed T49929/2017 applicable to Erf 10317, Hermanus (Westcliff) in order to conduct a guesthouse from the property, as well as to be in line with the primary rights and development parameters applicable to single residential properties as set out in the Overstrand Zoning Scheme Regulations, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
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2. that the application in terms of Section 16(2)(o) of the above By-Law for consent use to operate a four (4) bedroom guesthouse from Erf 10317, Westcliff, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals be subject to the following conditions:
 - (a) that the facility be utilized as a guest house only;
 - (b) that building plans be submitted to the Building Department for approval indicating the four (4) bedrooms, the owner's/manager's rooms, and the parking layout as agreed with Operational Services, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that a maximum of four (4) bedrooms to be let;
 - (d) that the owner/manager resides on the premises and be responsible for the proper management of the guest house;
 - (e) that the guest house is utilized as such – no self-catering will be permitted;
 - (f) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
 - (g) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;
 - (h) that a maximum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries;
 - (i) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (j) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
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- (k) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises, and that the existing flag pole be removed;
 - (l) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
 - (m) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
 - (n) that all conditions imposed by the Fire Department, be complied with and proof of compliance is submitted prior to the operation of the four (4) bedroom guest house;
 - (o) that all the conditions in the Engineering Report and Telkom, be complied with;
 - (p) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;
 - (q) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (r) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



PIAⁿ
Active

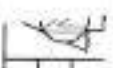
Stads- en Streetsplanners
 Town & Regional Planners

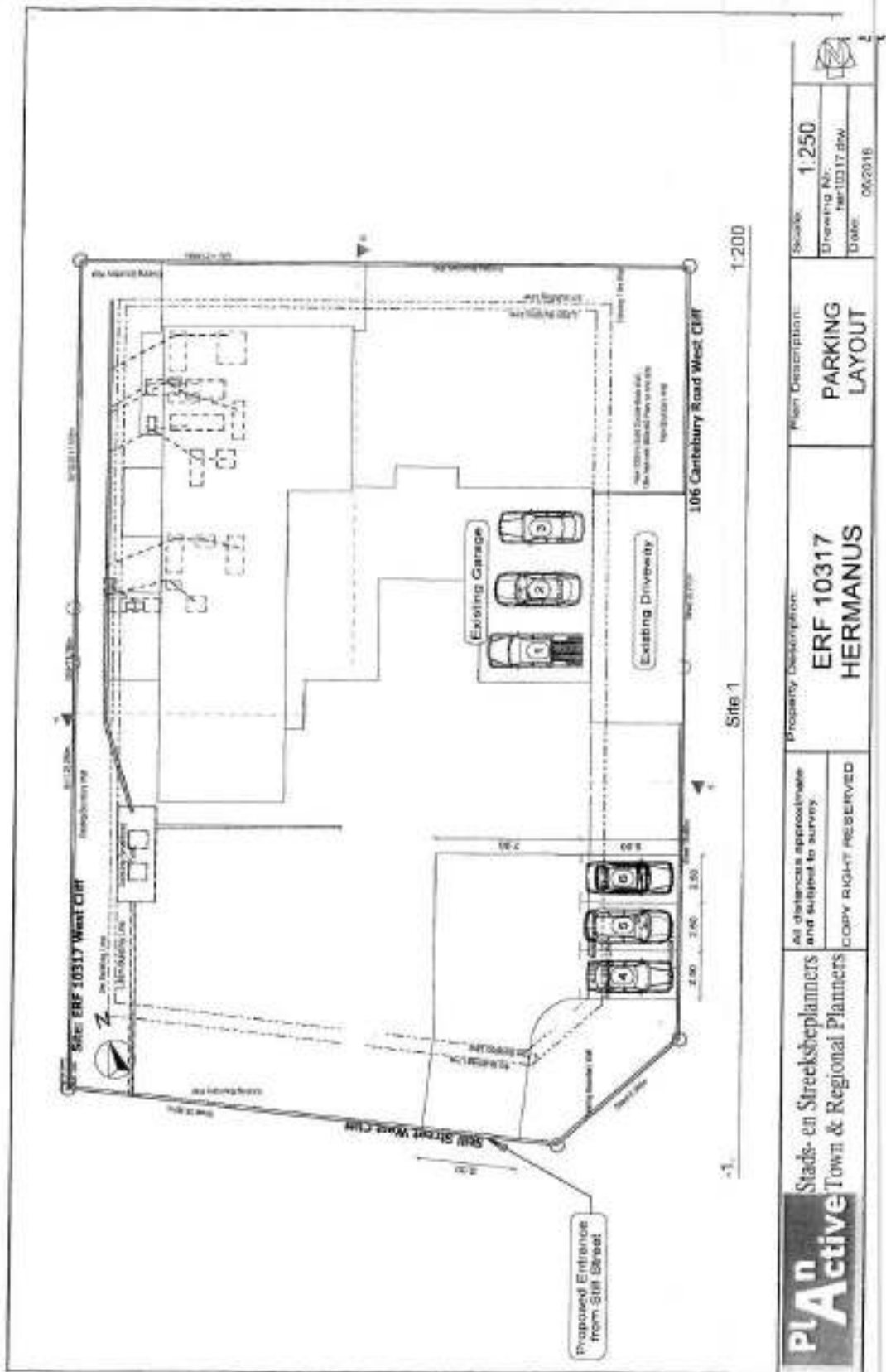
All distances approximate
 and subject to survey.
 COPY RIGHT RESERVED

Property Description:
**ERF 10317
 HERMANUS**

Plan Description:
LOCALITY MAP

Scale: **NTS**
 Drawing Nr: **HEH1317.dwg**
 Date: **10/2017**





Scale:	1:250
Drawing No.:	10317.dwg
Date:	06/2016

Plan Description:
PARKING LAYOUT

Property Description:
**ERF 10317
HERMANUS**

All dimensions approximate and subject to survey.
COPY RIGHT RESERVED

Stads-en Streeksheepplanners
Town & Regional Planners



1:200

Site 1

-1-

1. The owner shall provide all necessary permits and fees for the construction of the building.

2. The owner shall provide all necessary information for the design of the building, including but not limited to the following:

1. All applicable codes and regulations.
2. All applicable zoning and setback requirements.
3. All applicable utility lines and easements.
4. All applicable environmental and historical information.
5. All applicable geotechnical and foundation information.
6. All applicable survey information.
7. All applicable title and deed information.
8. All applicable insurance and bonding information.
9. All applicable contract documents.
10. All applicable construction schedule and program.
11. All applicable construction budget and cost estimate.
12. All applicable construction site access and parking information.
13. All applicable construction site safety and security information.
14. All applicable construction site environmental and sustainability information.
15. All applicable construction site social and community information.

3. The owner shall provide all necessary information for the construction of the building, including but not limited to the following:

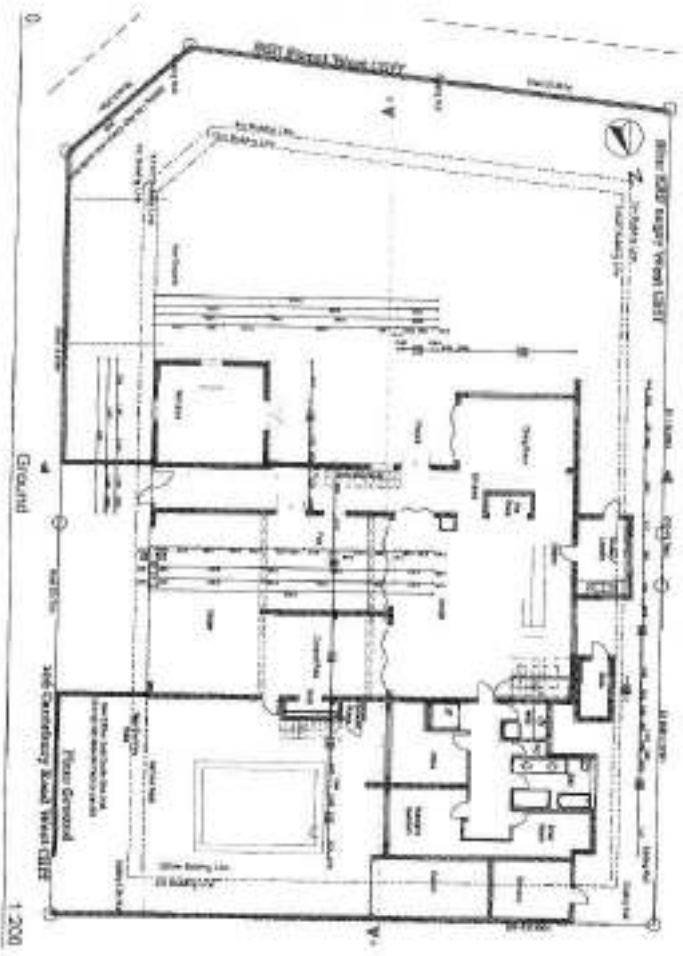
1. All applicable construction documents and specifications.
2. All applicable construction schedule and program.
3. All applicable construction budget and cost estimate.
4. All applicable construction site access and parking information.
5. All applicable construction site safety and security information.
6. All applicable construction site environmental and sustainability information.
7. All applicable construction site social and community information.

4. The owner shall provide all necessary information for the operation and maintenance of the building, including but not limited to the following:

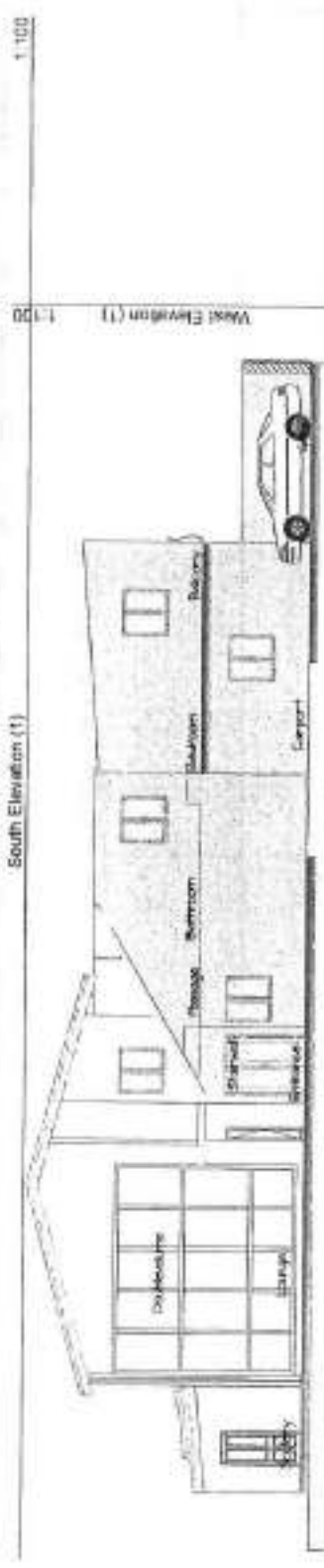
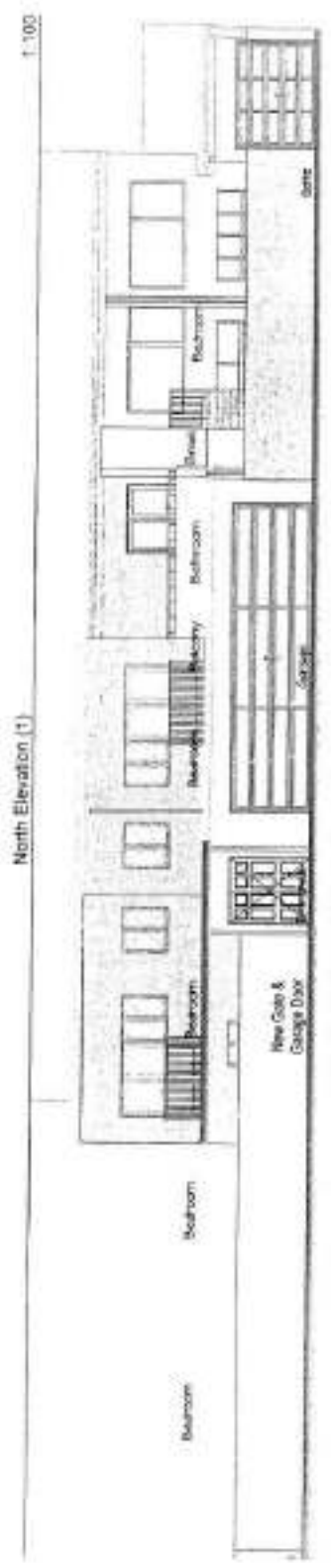
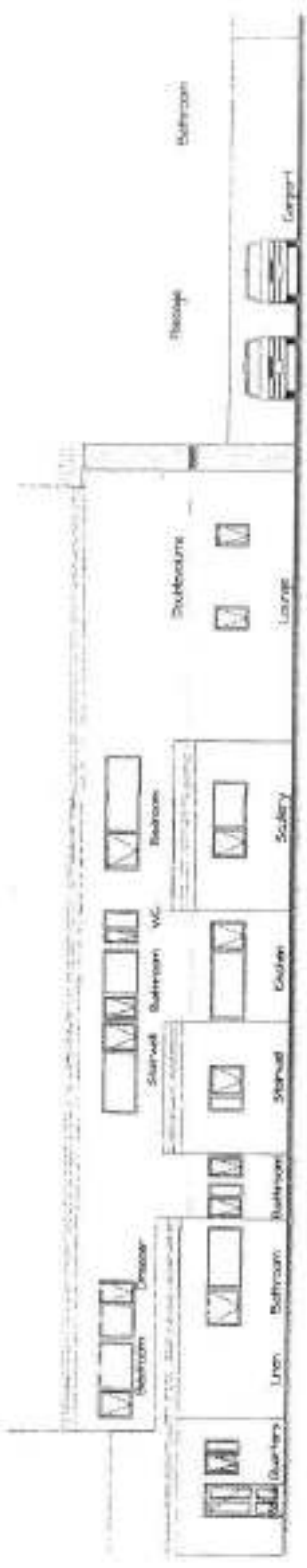
1. All applicable operation and maintenance manuals and specifications.
2. All applicable operation and maintenance schedule and program.
3. All applicable operation and maintenance budget and cost estimate.
4. All applicable operation and maintenance site access and parking information.
5. All applicable operation and maintenance site safety and security information.
6. All applicable operation and maintenance site environmental and sustainability information.
7. All applicable operation and maintenance site social and community information.

5. The owner shall provide all necessary information for the demolition and disposal of the building, including but not limited to the following:

1. All applicable demolition and disposal manuals and specifications.
2. All applicable demolition and disposal schedule and program.
3. All applicable demolition and disposal budget and cost estimate.
4. All applicable demolition and disposal site access and parking information.
5. All applicable demolition and disposal site safety and security information.
6. All applicable demolition and disposal site environmental and sustainability information.
7. All applicable demolition and disposal site social and community information.



<p>Job Details</p> <p>Project: 1705 Hank & Jane Kriska</p> <p>Location: 1705 Hank & Jane Kriska</p> <p>Architect: ImageStudio</p>	<p>ImageStudio</p> <p>15 Colburne Street Baltimore, MD 21201 410.524.1111 www.imagestudio.com</p>	<p>1705 Hank & Jane Kriska</p> <p>1705 Hank & Jane Kriska, Baltimore, MD 21201 1705 Hank & Jane Kriska 1705 Hank & Jane Kriska www.1705hank.com</p>	<p>Ground</p> <p>1:300</p> <p>Submission Drawings Only</p>	<p>ImageStudio</p> <p>Architectural Plans: 041 041 097</p> <p>Drawn by: [Name]</p> <p>Checked by: [Name]</p> <p>041 041 097</p> <p>Monday, July 10, 2017</p>
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<p>ImageStudio A.Y. C.H.I.E.S. & A.I. P.L.L.C. 1705 Hunt St. S. Suite 400 Atlanta, GA 30334 Phone: 404.525.1234 Fax: 404.525.1235 Email: info@imagestudio.com</p>	<p>Job Details Name: A.01.4 Project: 1705 Hunt St. S. City: Atlanta, GA State: GA Date: 07/15/08</p>	<p>off 10317 Westchiff Address: 10317 Westchiff City: Atlanta, GA State: GA Zip: 30338</p>	<p>North Elevation (1), South Elevation (1), West Elevation (1) Scale: 1:100 Submission Drawings Only</p>
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS &
CONSENT USE: ERF 10317, WESTCLIFF (3844)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order



Conditions:

1. that the existing water connection on Erf 10317 shall be used to service Erf 10317;
2. that Erf 10317 should be provided with adequate sewer conservancy tanks;
3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
4. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
8. that access to the property over the sidewalk be limited to a maximum width of 6m wide, so as to limit the impact on pedestrian traffic- and development of driveways over sidewalks and / or services;
9. that stormwater be allowed to discharge through Erf 10317, Westcliff, unobstructed;

10. that the proposed development on Erf 10317 be provided with a central refuse collection facility, which must comply with the standards of the Department: Operational (Hermanus);
11. that refuse will be removed from sidewalks as per municipal arrangement;
12. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

3. ERF 783, 13 VIVIAN ROAD, PRINGLE BAY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: A ISEMONGER

783 KPRB (3730)

**H van der Stoep
12 October 2018**

(028) 313 8900

Hermanus Administration

Executive Summary

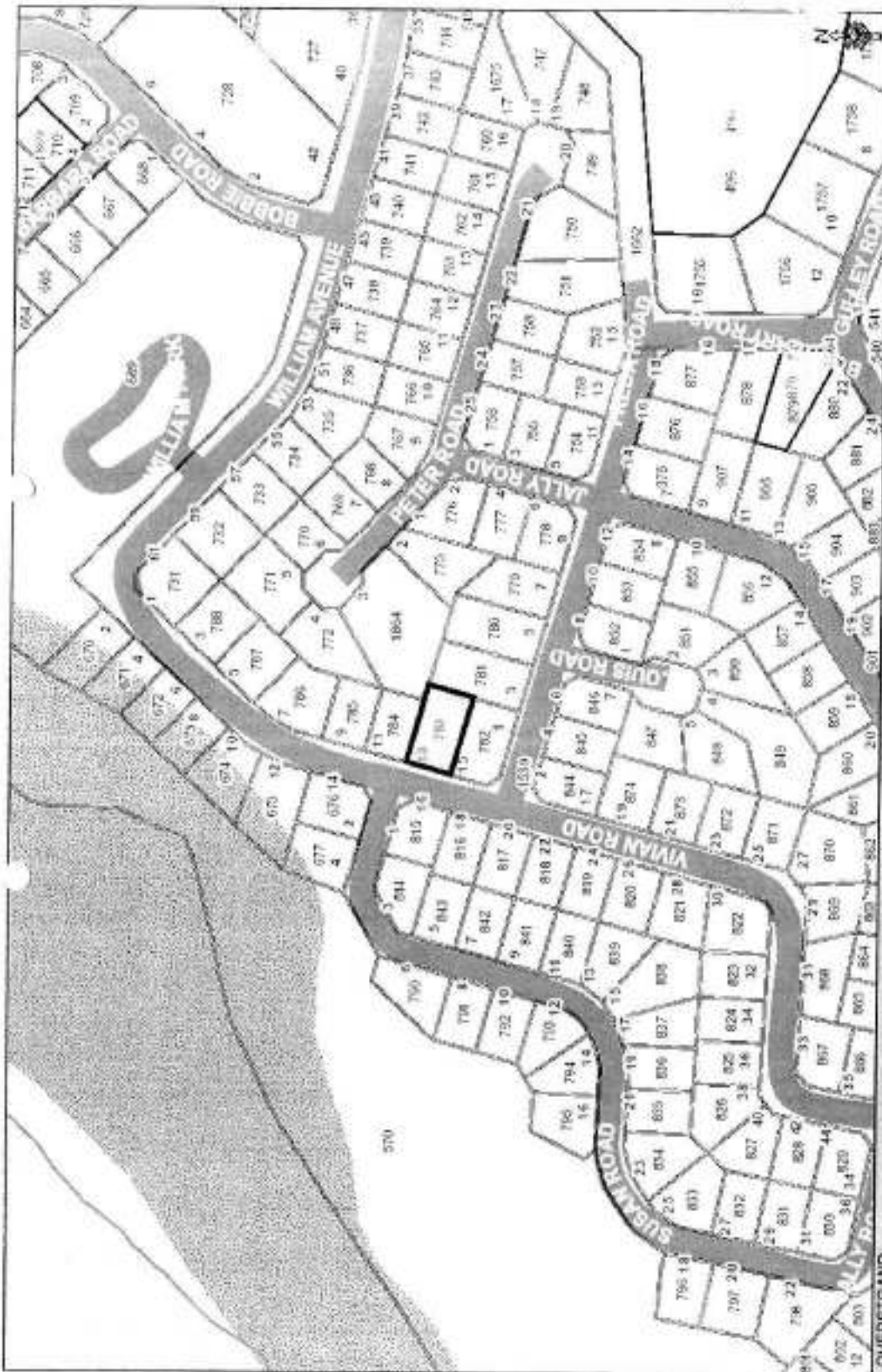
An application has been received on 3 July 2017 from Mr. A Isemonger on Erf 783, Pringle Bay for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the lateral building line with Erf 782 from 2m to 1,85m to enable the property owner to use the existing garage as a guest suite.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 783, Pringle Bay for a departure to relax the lateral building line with Erf 782 from 2m to 1,85m to enable the property owner to use the existing garage as a guest suite, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the relaxation of the 2m lateral building line to 1,85m lateral building line is restricted to the guest suite as indicated on the plan ERF:783-7, as submitted with the application;
 - (b) that no further extension of the proposed guest suite is allowed over the 2m lateral building line;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



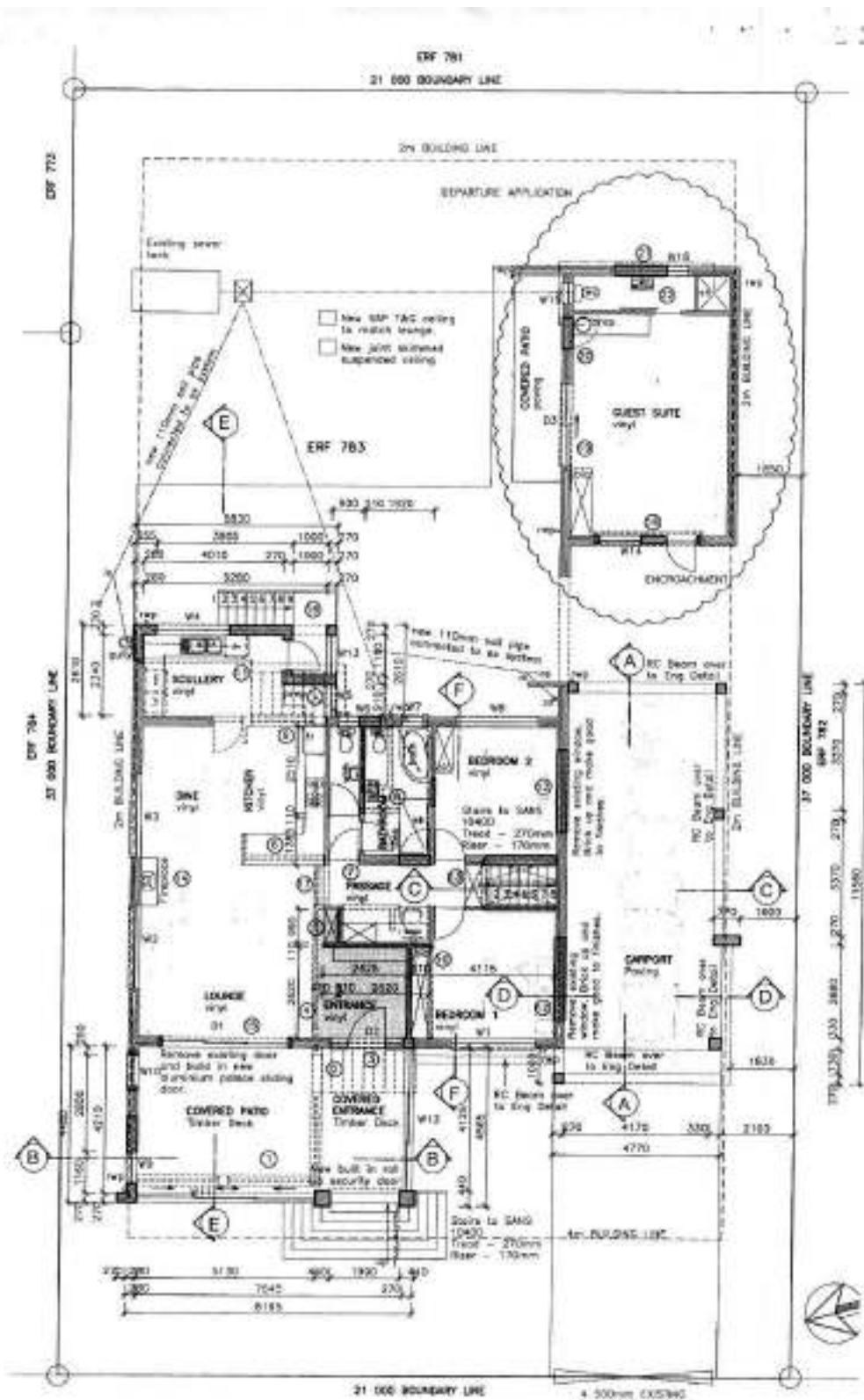
Erf 783 Pringle Bay

Overstrand Municipality



Overstrand Municipality

Date: 2016-03-15



GROUND STOREY ON SITE PLAN
SCALE 1 : 1 0 0

BUILDING AREA
ERF-761

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 783, PRINGLE BAY (3730)**

Electricity	:	Eskom Area
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 783, Pringle Bay, unobstructed;
4. that no on-street parking be allowed;


**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

23 | 05 | 2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

4. FARM NO. 764, DIVISION OF CALEDON, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: MESSRS PLAN ACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF STANFORD HILLS ESTATE (PTY) LTD

RCAL 764 (3965)

P Roux

5 October 2018

(028) 313 8900

Hermanus Administration

Executive Summary

To consider an application received on 29 March 2018 from Messrs Plan Active Town- and Regional Planners on behalf of the owner of Farm 764, Division of Caledon, Stanford Hills Estate (Pty) Ltd, for a consent use in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to accommodate a place of instruction for children with special needs on the farm.

RESOLVED :

1. that in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Farm 764, Division of Caledon, in order to accommodate a place of instruction for children with special needs on the farm, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval only relates to the proposed Site Development Plan as submitted with the application;
 - (b) that a Site Development Plan be submitted to the Senior Manager: Town and Spatial Planning indicating the design of the school and sufficiently accessible parking bays and walk ways for special needs children to the satisfaction of the Senior Manager: Town and Spatial Planning;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with.
 - (d) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises;
 - (e) that all the conditions in the Services Report, be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (f) that all the conditions compiled by the Department of Environmental Affairs and Development Planning, Department of Transport and Public Works, Eskom, Cape Nature, Fire Services, Breede-Gouritz Catchment Management Agency, and Telkom, be complied with;
 - (g) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget, and
 - (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

THE FARM WELTEVREDE
NR. 764

LOCALITY MAP

Sheet
Scale 1:75



The farm

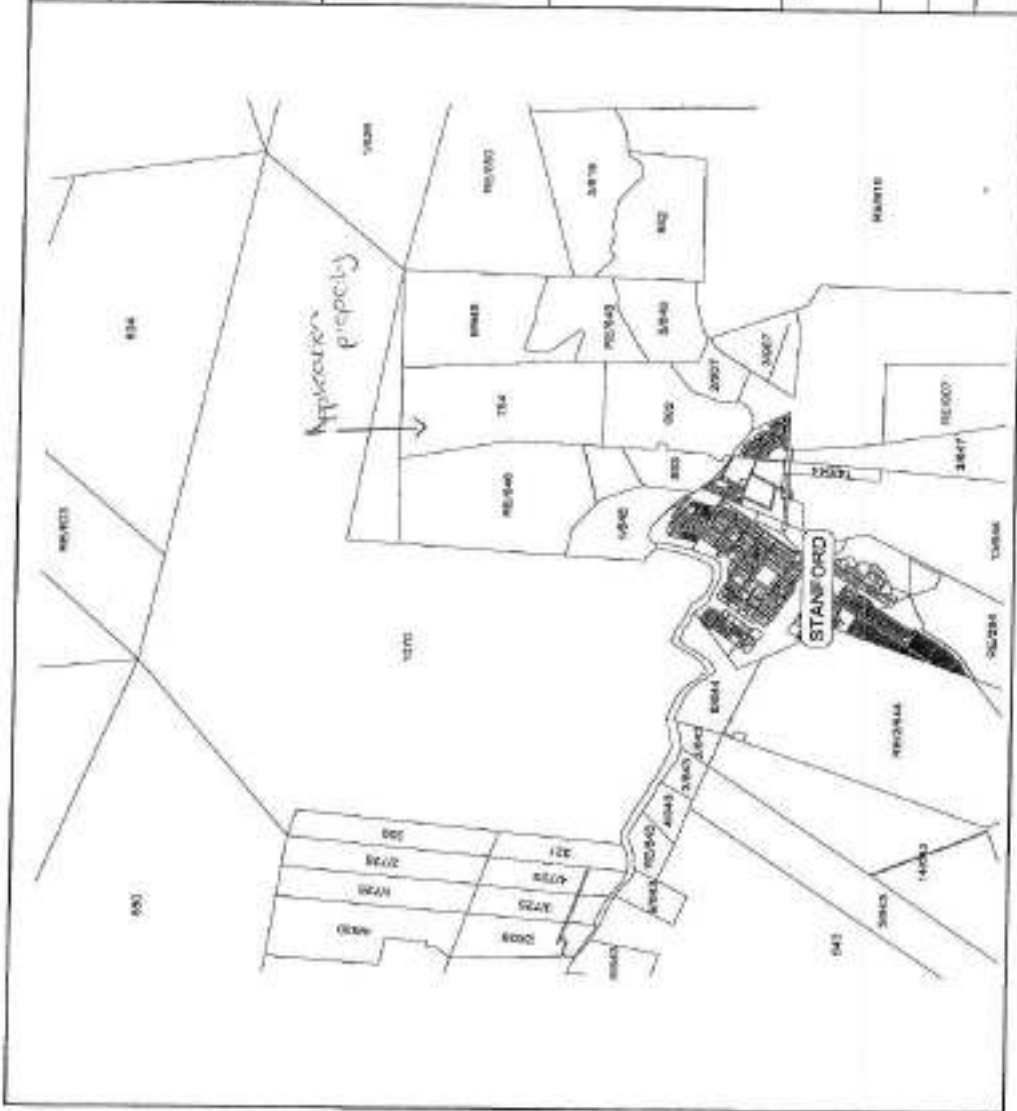
PL n
The word 'Plaan' (Plan) is
not used in the title
active

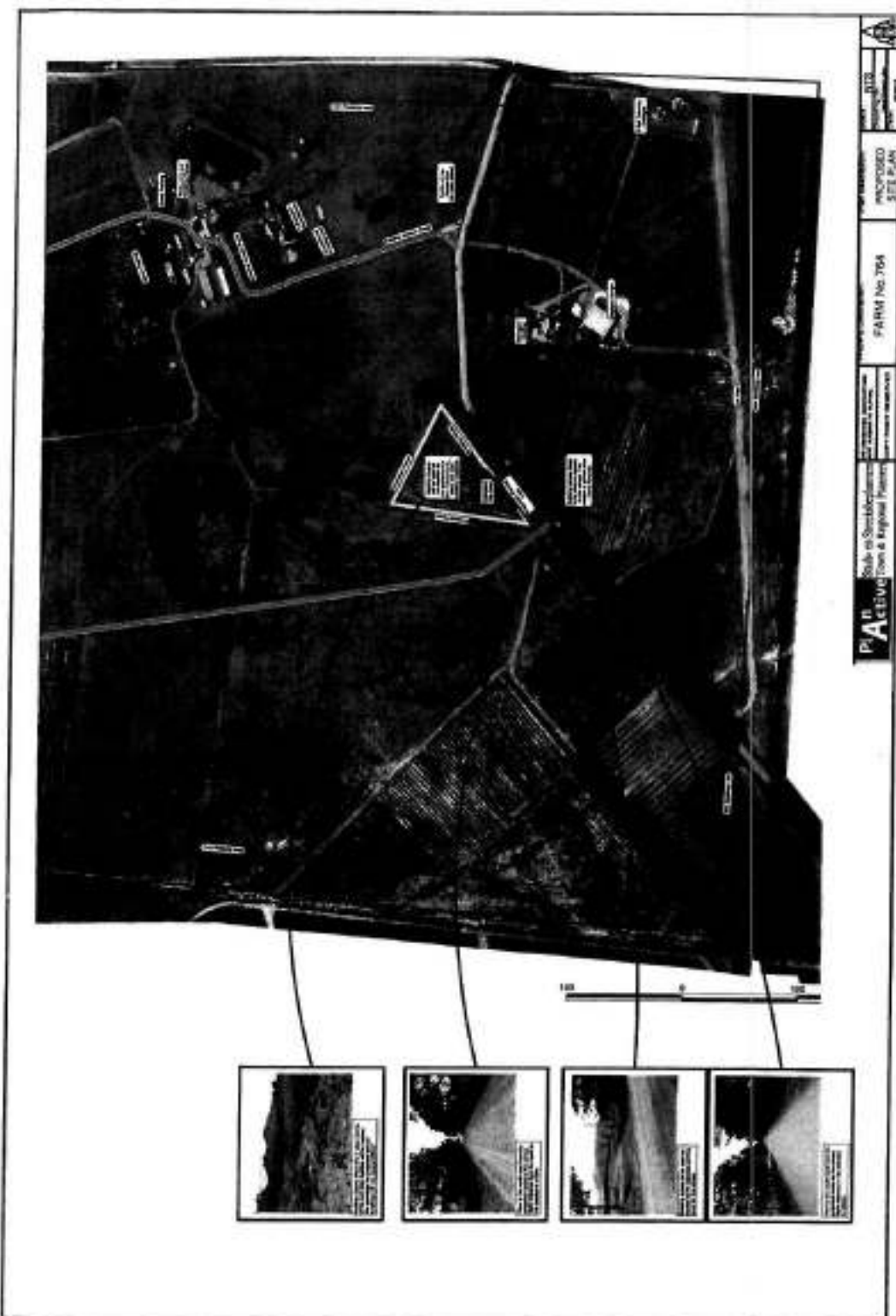
Copyright reserved

Notes:
- ALL DISTANCES APPROXIMATE
AND SUBJECT TO SURVEY

DRAWN	PLAN NUMBER
P.A.	Surveyed area

DATE: March 2015



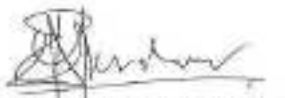


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: FARM NO.764, STANFORD HILLS
ESTATE, STANFORD (3965)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
3. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that the proposed development on Farm 764 is provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services, and to which the sewer services of the development must connect to;
6. that, as no municipal sewerage removal services are rendered in the area, the owner is responsible for removal of all sewerage generated on the property, and disposal thereof at a licensed municipal sewerage treatment facility.
7. that, as no municipal refuse removal services are rendered in the area, the developer is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

13/6/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

5. ERF 900, 27 VERMONT AVENUE, VERMONT, OVERSTRAND MUNICIPAL AREA: REMOVAL AND AMENDMENT OF RESTRICTONS AND DEPARTURE: MESSRS PLAN ACTIVE ON BEHALF OF PP JAJCOBS

900 HVM (3879)

H Olivier

(028) 313 8900

Hermanus Administration

16 October 2018

Executive Summary

An application has been received on 12 December 2017 from Messrs Plan Active on behalf of PP Jacobs on Erf 900, Vermont for the following:

- ❖ Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2016 for the removal of the restrictive condition in Title Deed T59503/2014, Page 3, Paragraph E.a.:

“E. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No. T12663/1959 in favour of South Western Districts Land and Finance Corporation Limited (hereinafter referred to as the Transferor Company) in favour of itself and its successors-in-title as owner of the Remainder of the land held under Deed of Transfer No 7023/1935 namely:

- a. Save with the consent of the Transferor Company in writing no building or structure or any portion thereof except boundary walls and fences shall be erected nearer than 3.15 metres to the street line which forms a boundary of the said property, and no such building or structure shall be situate within 1.57 metres of the lateral boundary common to any adjoining Lot, nor save with the consent aforesaid, may the property (or any lot if the property sold comprises more than one Lot) be subdivided:”*

- ❖ Amendment of restrictive conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the amendment of the restrictive conditions in Title Deed No 59503/2014, Page 3, paragraph E.b. by removal of the wording indicated in bold letters, as follows:

“E. SUBJECT FURTHER to the following conditions contained in Deed of Transfer No. T12663/1959 imposed by South Western District Land and Finance Corporation Limited (herein after referred to as the “Transferor Company”) in favour of itself and its successors in title as

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

owner of the remainder of the land held under Deed of Transfer Number T7023/1935, namely:

No building shall be erected on the said property unless plans (including one showing siting of proposed buildings) and specifications have been previously submitted and are approved by **the Transferor Company in writing in additions to the requirements** of any Local Authority in control over the area of the Township.”

- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the southern lateral building line from 2m to 1,55m to accommodate a use change of a garage to bedrooms and from 2m to 1,019m to accommodate the proposed new double garage and laundry.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 900, Vermont for the removal of restrictive Condition E.a. from Title Deed T59503/2014, **be approved**,
2. that the application in terms of Section 16(2)(f) of the above By-Law on Erf 900, Vermont to amend restrictive Condition E.b. in Title Deed T59503/2014 as follows:

“no building shall be erected on the said property (including one showing siting of proposed buildings) and specifications have been previously been submitted and are approved by any local authority in control over the township”

be approved;

3. that the application in terms of Section 16(2)(b) of the above By-Law on Erf 900, Vermont for a departure to relax the southern lateral building line from 2m to 1,55m to accommodate a used change of a garage to dwelling and also the relaxation of the same building line from 2m to 1,019m to accommodate a new garage, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the approvals in Points 1. and 3. be subject to the following conditions:
 - (a) that the approval for the departure is only for the building line relaxations as indicated on Plan No. DRG No 1.2 dated 16/11/17 as submitted with the application;

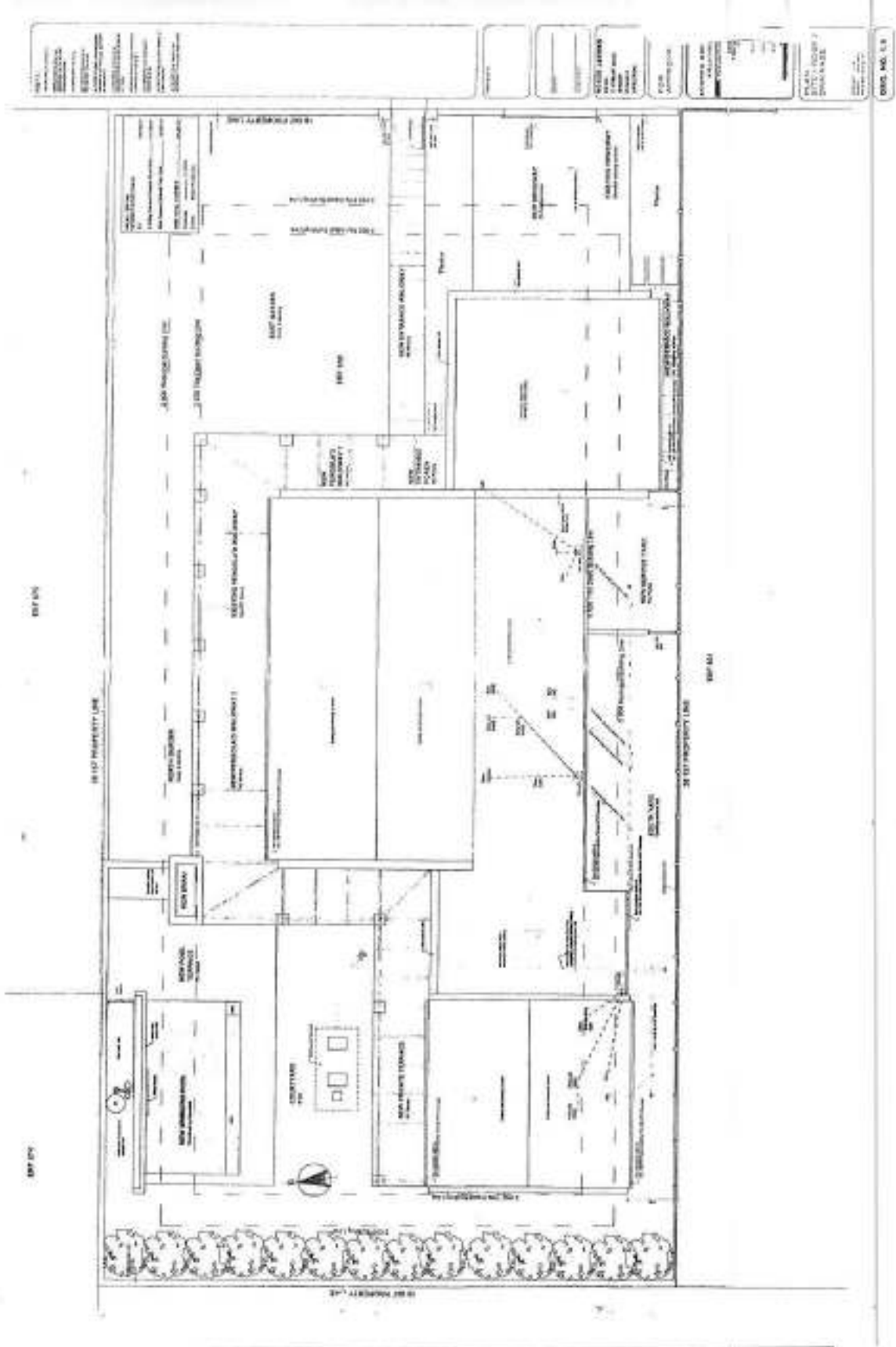
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

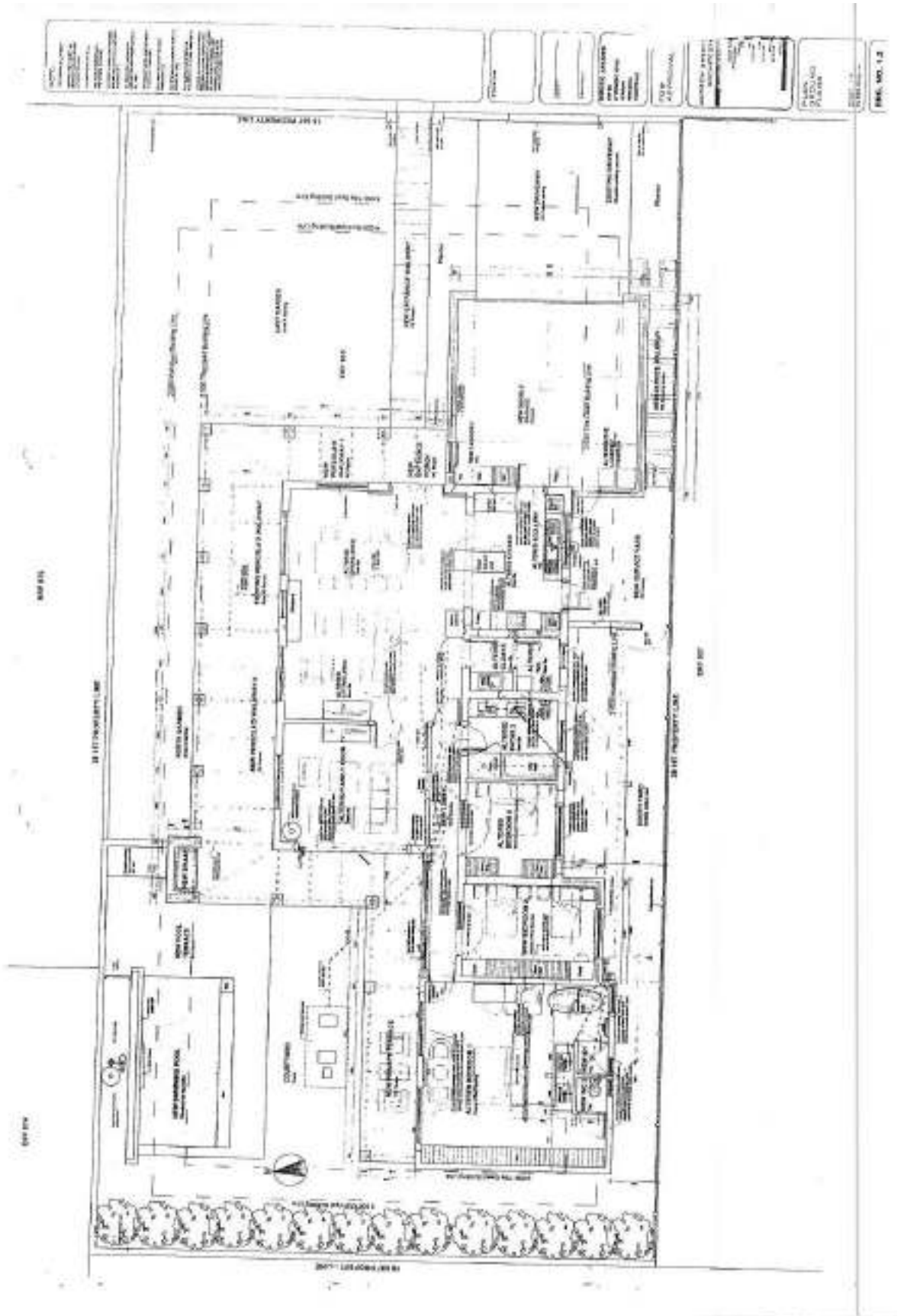
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that all the conditions in the Services Report, be complied with, and
 - (f) that all the conditions of Eskom, be complied with.
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



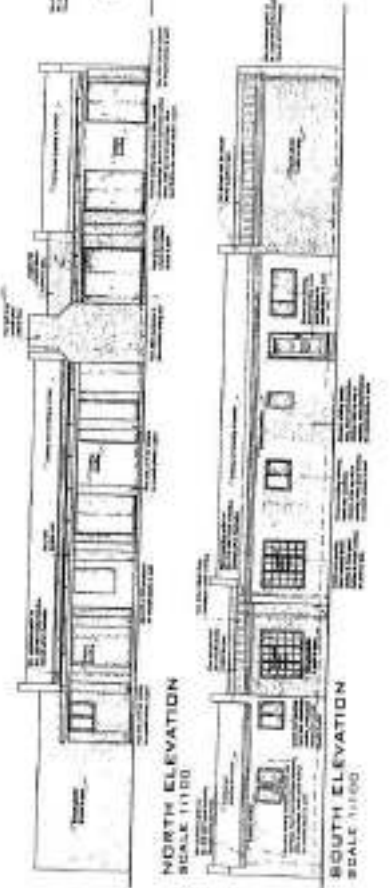
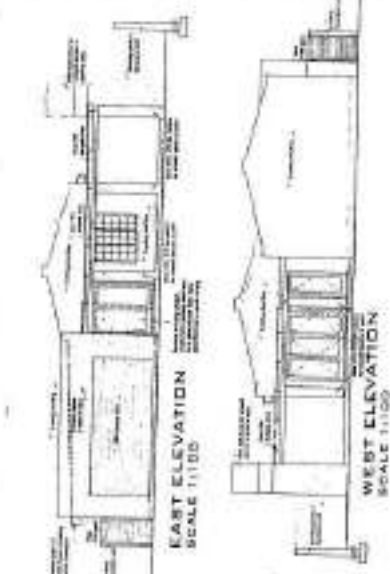
Erf 900 Vermont







NOTES:
 1. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL MATERIALS TO BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
 3. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS LIQUID HANDLING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS GAS HANDLING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS SOLID HANDLING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS WASTE HANDLING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDLING CODE AND ALL APPLICABLE LOCAL ORDINANCES.



REVISIONS:

NO.	DESCRIPTION

NO. 001
 1. INITIAL DESIGN
 2. REVISED DESIGN
 3. REVISED DESIGN
 4. REVISED DESIGN

FOR APPROVAL

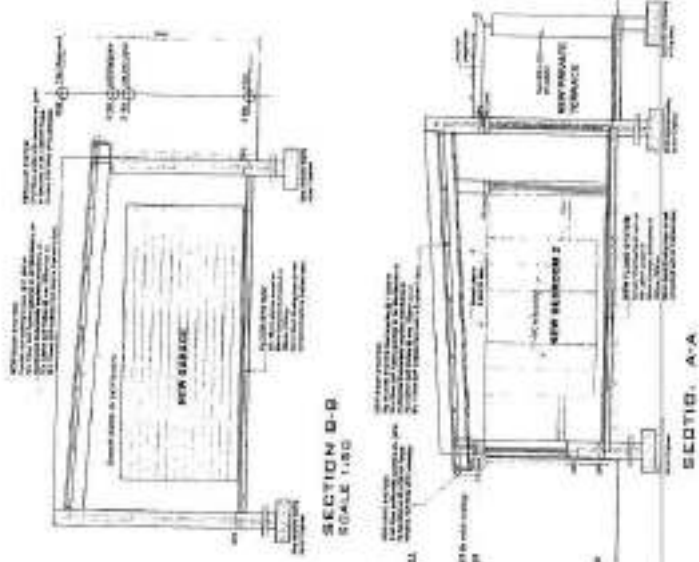
ANDREW GRECH ARCHITECTS
 10000 100th Ave. S.E.
 Bellevue, WA 98004
 Phone: (206) 835-1234
 Fax: (206) 835-1235
 Email: andrew@andrewgrech.com

ELEVATIONS:
 NORTH 1:100
 SOUTH 1:100
 EAST 1:100
 WEST 1:100

SECTIONS:
 A-A 1:1
 B-B 1:1

DETAILS:
 1-1 1:1
 2-2 1:1

DATE: 10/15/2010



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE, ROR & AMENDMENT OF TITLE DEED
RESTRICTIONS: ERF 900, VERMONT (3879)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements if SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 900, Vermont, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

13/6/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

6. REMAINDER ERF 4771 AND ERF 4075, C/O SEVENTEENTH AVENUE AND NINTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: ROAD CLOSURE, SUBDIVISION, REZONING, CONSOLIDATION AND AMENDMENT OF GENERAL PLAN: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF PM AND B LEWIN AND OVERSTRAND MUNICIPALITY

Rem 4771 & 4075 HVK (3597)

**S van der Merwe
23 October 2018**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 17 February 2017 from Messrs Plan Active Town and Regional Planners on behalf of PM and B Lewin applicable to Remainder Erf 4771 and Erf 4075, Hermanus (Voëlklip) for the following:

- ❖ closure in terms of Section 16(2)(n) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) of a portion of $\pm 205\text{m}^2$ of Remainder Erf 4771, Hermanus (portions of Seventeenth Avenue and Ninth Street, Voëlklip);
- ❖ subdivision in terms of Section 16(2)(d) of the above By-Law of Remainder Erf 4771, Hermanus (portions of Seventeenth Avenue and Ninth Street, Voëlklip) into two (2) portions, namely Portion A $\pm 205\text{m}^2$ in extent and the Remainder $\pm 215,41$ ha in extent;
- ❖ rezoning in terms of Section 16(2)(a) of the above By-Law of the above Portion A from Transport Zone 2: Road and Parking to Residential Zone 1: Single Residential;
- ❖ consolidation in terms of Section 16(2)(e) of the above By-Law of the above Portion A with Erf 4075, Hermanus; and
- ❖ amendment of General Plan No. M56B (2831) by the additions of the above portions of road as one (1) additional erf.

RESOLVED :

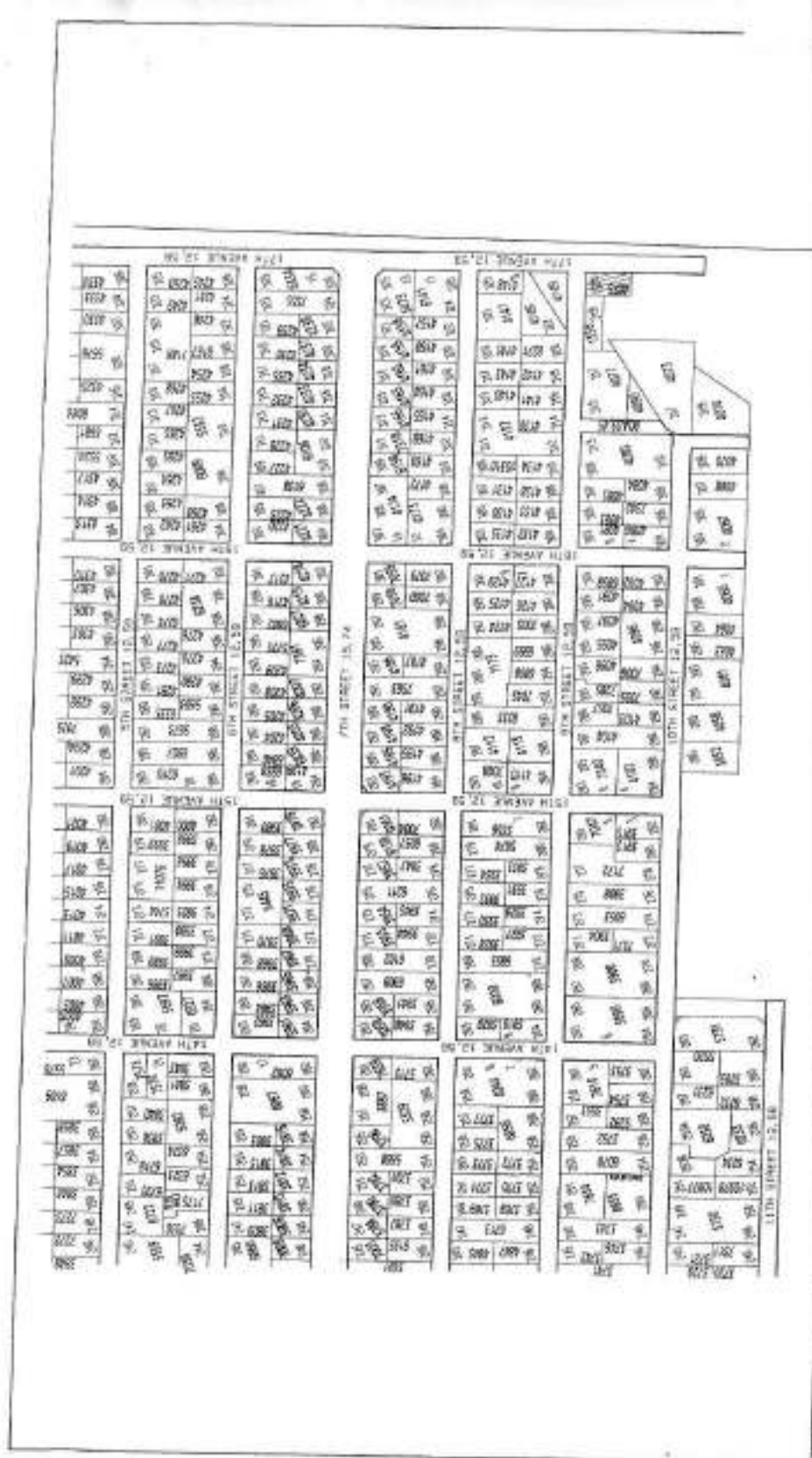
1. that the applications received from Messrs Plan Active Town and Regional Planners on behalf of PM and B Lewin applicable to Remainder Erf 4771 and Erf 4075, Hermanus (Voëlklip) for the following:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- ❖ closure in terms of Section 16(2)(n) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) of a portion of $\pm 205\text{m}^2$ of Remainder Erf 4771, Hermanus (portions of Seventeenth Avenue and Ninth Street, Voëlklip);
- ❖ subdivision in terms of Section 16(2)(d) of the above By-Law of Remainder Erf 4771, Hermanus (portions of Seventeenth Avenue and Ninth Street, Voëlklip) into two (2) portions, namely Portion A $\pm 205\text{m}^2$ in extent and the Remainder $\pm 215,41$ ha in extent;
- ❖ rezoning in terms of Section 16(2)(a) of the above By-Law of the above Portion A from Transport Zone 2: Road and Parking to Residential Zone 1: Single Residential;
- ❖ consolidation in terms of Section 16(2)(e) of the above By-Law of the above Portion A with Erf 4075, Hermanus; and
- ❖ amendment of General Plan No. M56B (2831) by the additions of the above portions of road as one (1) additional erf,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that those sections acquired by the landowners may solely be utilized for gardening purposes;
 - (b) that all the conditions of Telkom, Environmental Services and Engineering Services, be complied with;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



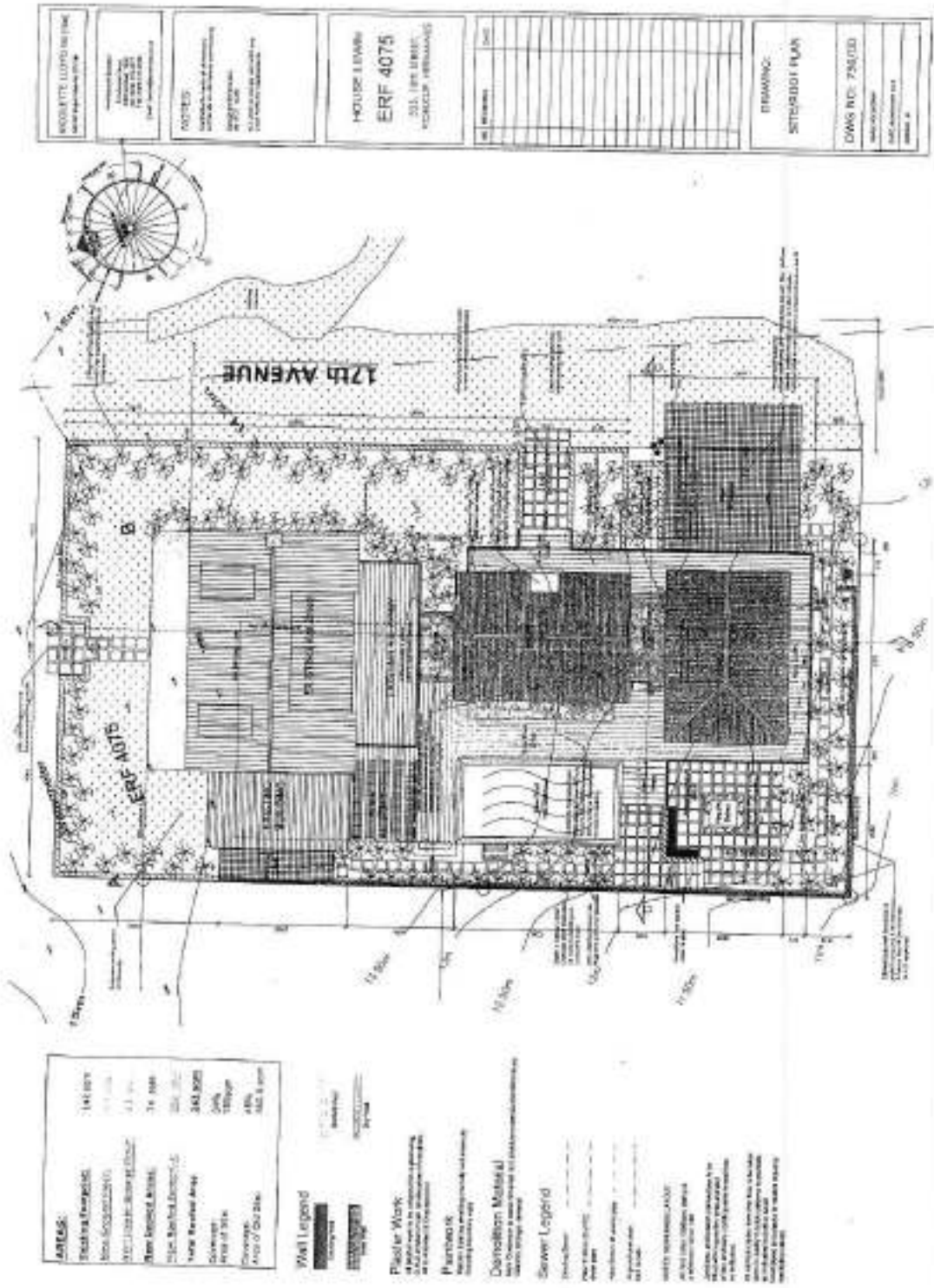
PLAⁿ Active
Stads- en Streekscheplanners
Town & Regional Planners

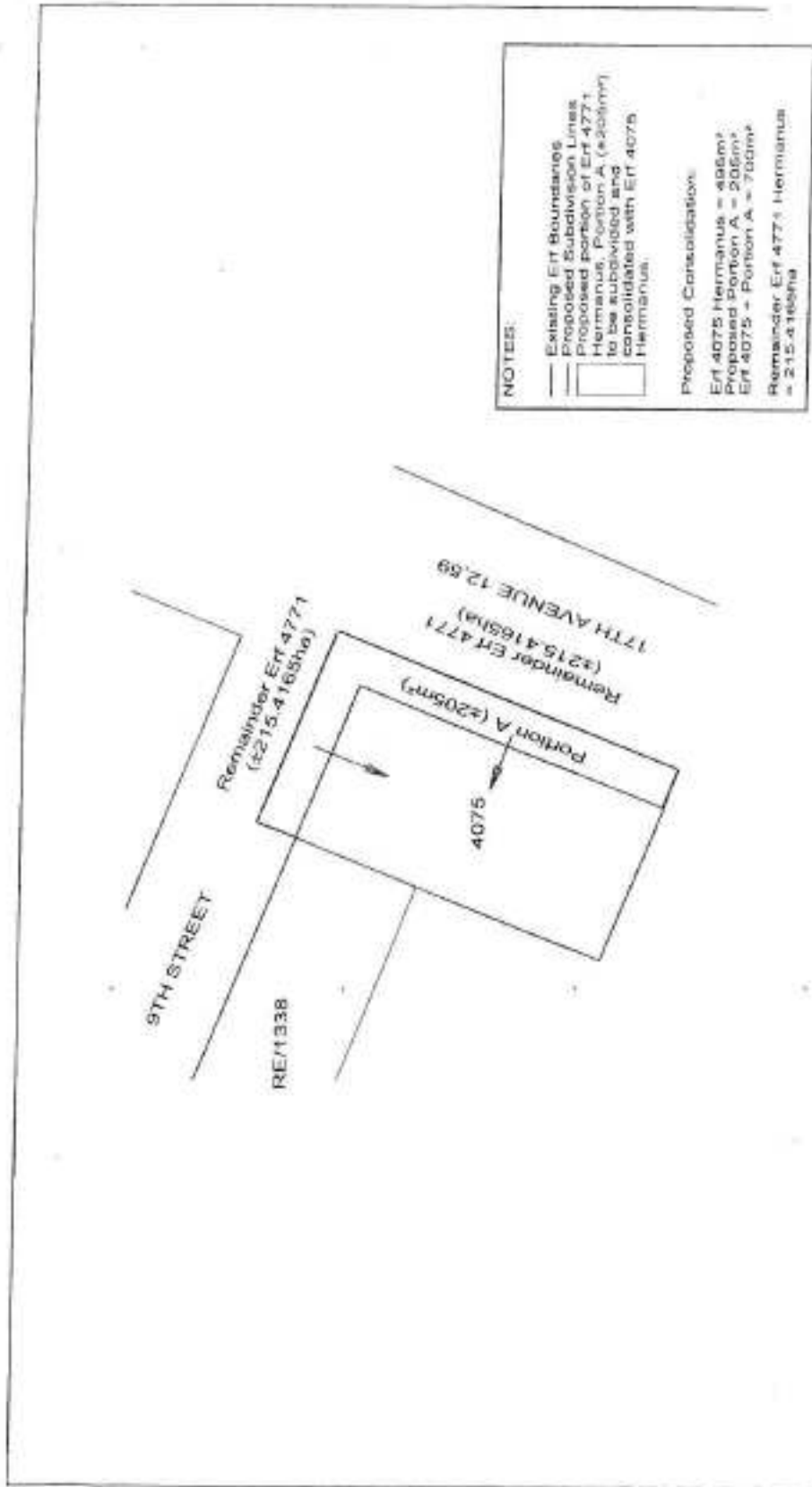
Property Description:
ERF 4075
HERMANUS

Scale: NTS
Drawing Nr.: Her4075L.dwg
Date: 01/2017

All distances approximate and subject to survey.

COPY RIGHT RESERVED





NOTES:

- Existing Erf Boundaries
- Proposed Subdivision Lines
- Proposed portion of Erf 4771 Hermanus, Portion A (±205m²) to be subdivided and consolidated with Erf 4075 Hermanus.

Proposed Consolidations:

- Erf 4075 Hermanus = 495m²
- Proposed Portion A = 205m²
- Erf 4075 + Portion A = 700m²
- Remainder Erf 4771 Hermanus = 215.4163ha

PLAN Stads- en Streeksbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERVEN 4075 & 4771 HERMANUS	Plan Description: SUBDIVISION PLAN	Scale: 1:500 Drawing No: her075.dwg Date: 12/2016

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION, REZONING & CONSOLIDATION:
ERVEN 4771 & 4075, VOELKLIP (3597)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P: 2010: Drainage;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through proposed erven, Voelklip, unobstructed;
6. that the access to the proposed development be obtained from 17th Avenue, and that should any improvement be done to the existing access, that it must be done in accordance with the specifications of the Overstrand Municipality at the owner/developer's cost;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

23/10/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

7. DUIKERSFONTEIN, OVERSTRAND MUNICIPAL AREA: PROPOSED SITE DEVELOPMENT: DUIKERSFONTEIN HOME OWNERS ASSOCIATION

**Erf 1366 GVD
(20/711 RCAL) (3912)**

**S van der Merwe
18 October 2018**

(028) 313 8900

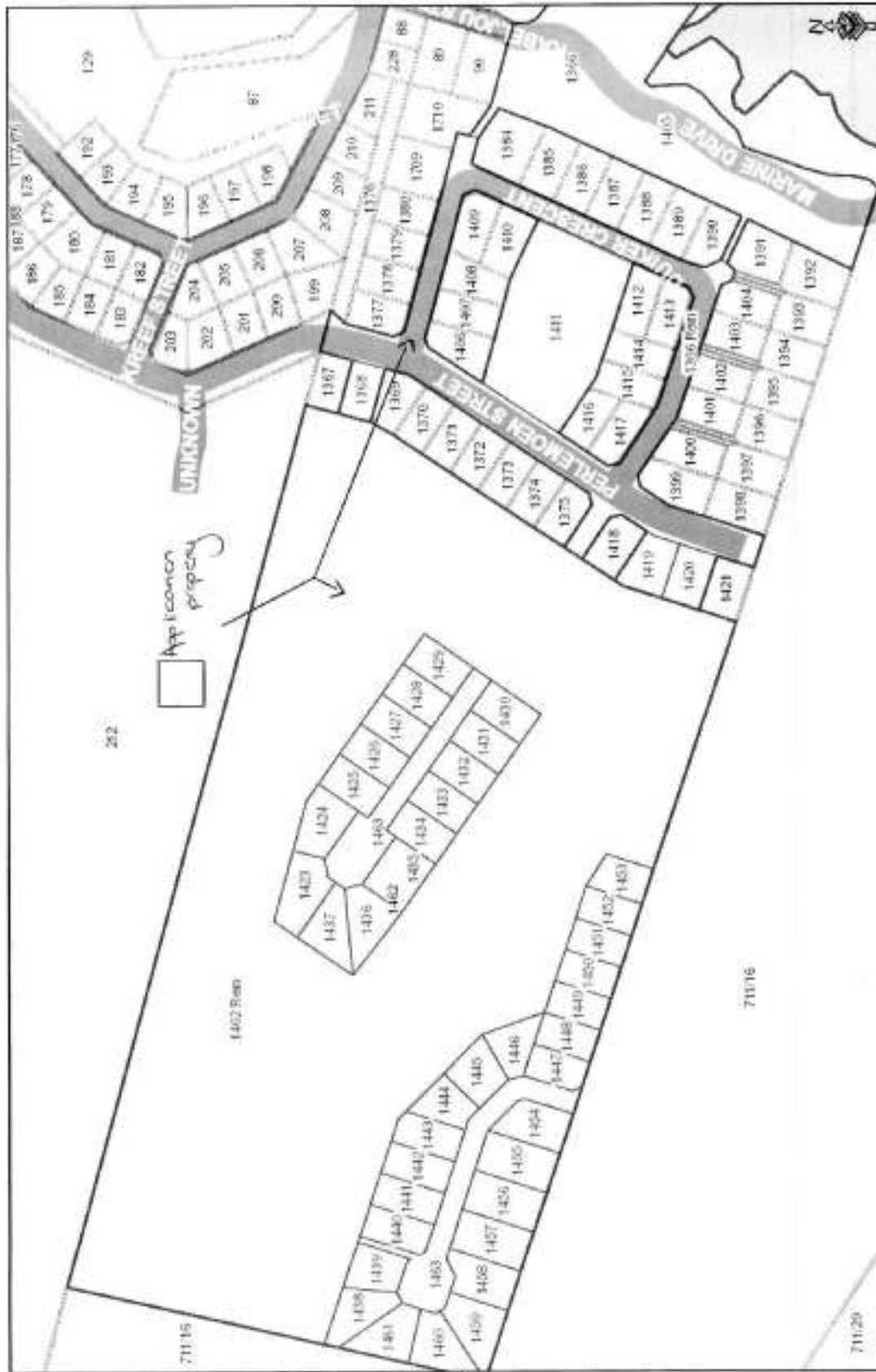
Hermanus Administration

Executive Summary

To consider an application received on 13 February 2018 from the Duikersfontein Home Owners Association for the amendment of the Constitution of the Duikersfontein Home Owners Association in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

RESOLVED :

1. that the association will maintain Erf 1405, a portion of Erf 1366 until the date of registration and transfer of Erf 1405, portion Erf 1366 in the name of the Municipality in the deeds office.



LOCALITY PLAN: PTN 20 OF THE FARM 7.11

Date: 2018-11-13

711:20



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

8. ERF 566, 50 DANEEL STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: NF CLAASSEN ON BEHALF OF LR & KA PITOT

566 SSS (3979)

P ROUX

(028) 313 8900

Hermanus Administration

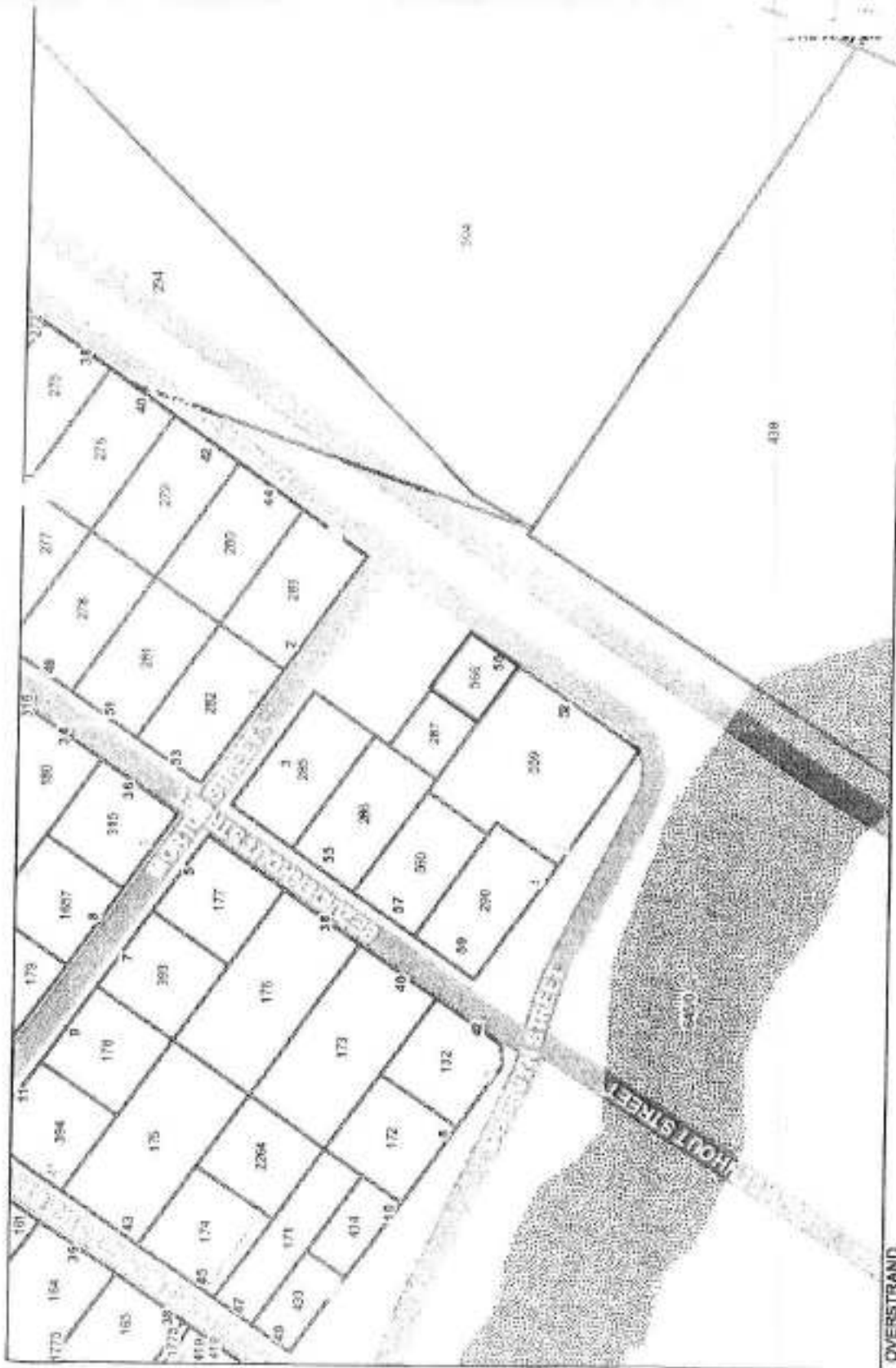
5 October 2018

Executive Summary

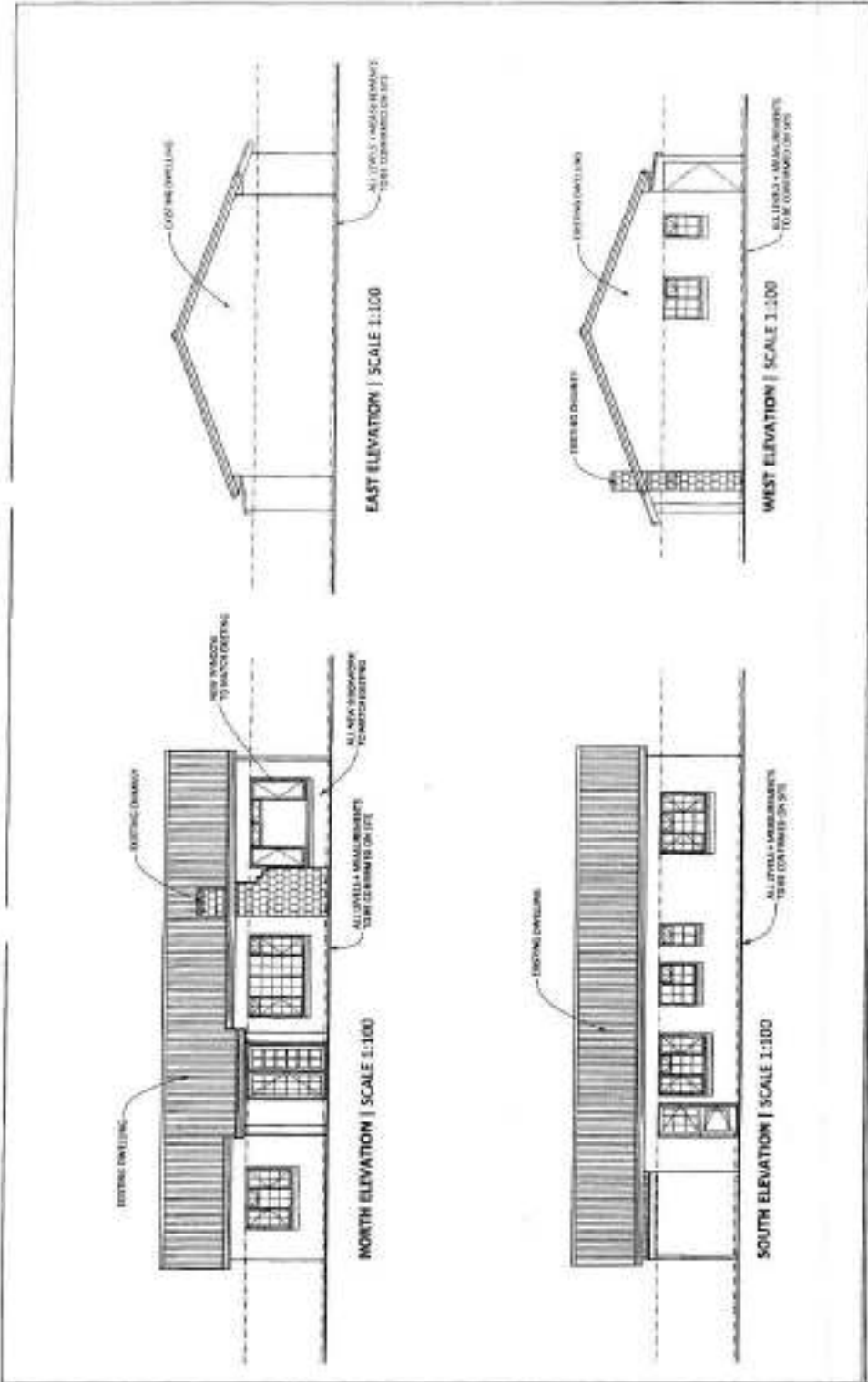
To consider an application received on 17 April 2018 from NF Claassen on behalf of the owners of Erf 566, Stanford, LR & KA Pitot, for a departure in terms of Section 16(2)(b) in order to relax the lateral building line from 2m to 1m to legalise a bathroom.

RESOLVED :

1. that in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 566, Stanford to relax the lateral building line from 2m to 1m to legalise the renovation of the bathroom, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan, as submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions compiled by the Fire Department, be complied with, and
 - (f) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ERF 566, STANFORD



GENERAL NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE LOCAL COUNCIL REGULATIONS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE LOCAL COUNCIL REGULATIONS.
3. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE LOCAL COUNCIL REGULATIONS.
4. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE LOCAL COUNCIL REGULATIONS.
5. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL APPLICABLE LOCAL COUNCIL REGULATIONS.

CLIENT: MUNICIPAL SUBMISSION

PROJECT: MUNICIPAL SUBMISSION

DATE: 2024

SCALE: AS SHOWN

DRAWING NO.: 2024-001

PROJECT NO.: 2024-001

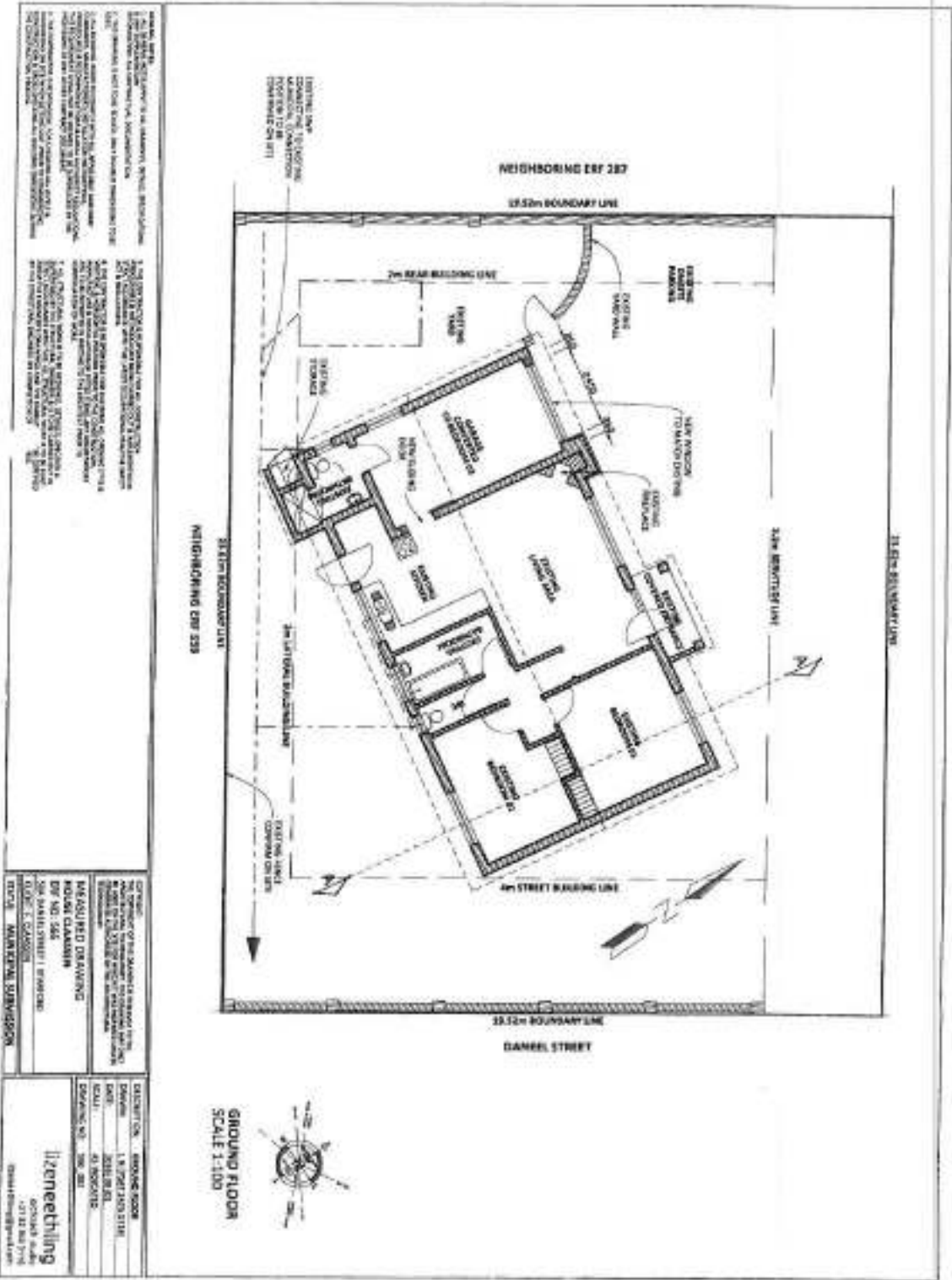
PROJECT NAME: MUNICIPAL SUBMISSION

PROJECT ADDRESS: 123 MAIN ST, AUCKLAND

PROJECT CONTACT: 09 123 4567

PROJECT CONTACT EMAIL: info@lizenething.com

PROJECT CONTACT WEBSITE: www.lizenething.com



GROUND FLOOR
SCALE 1:100

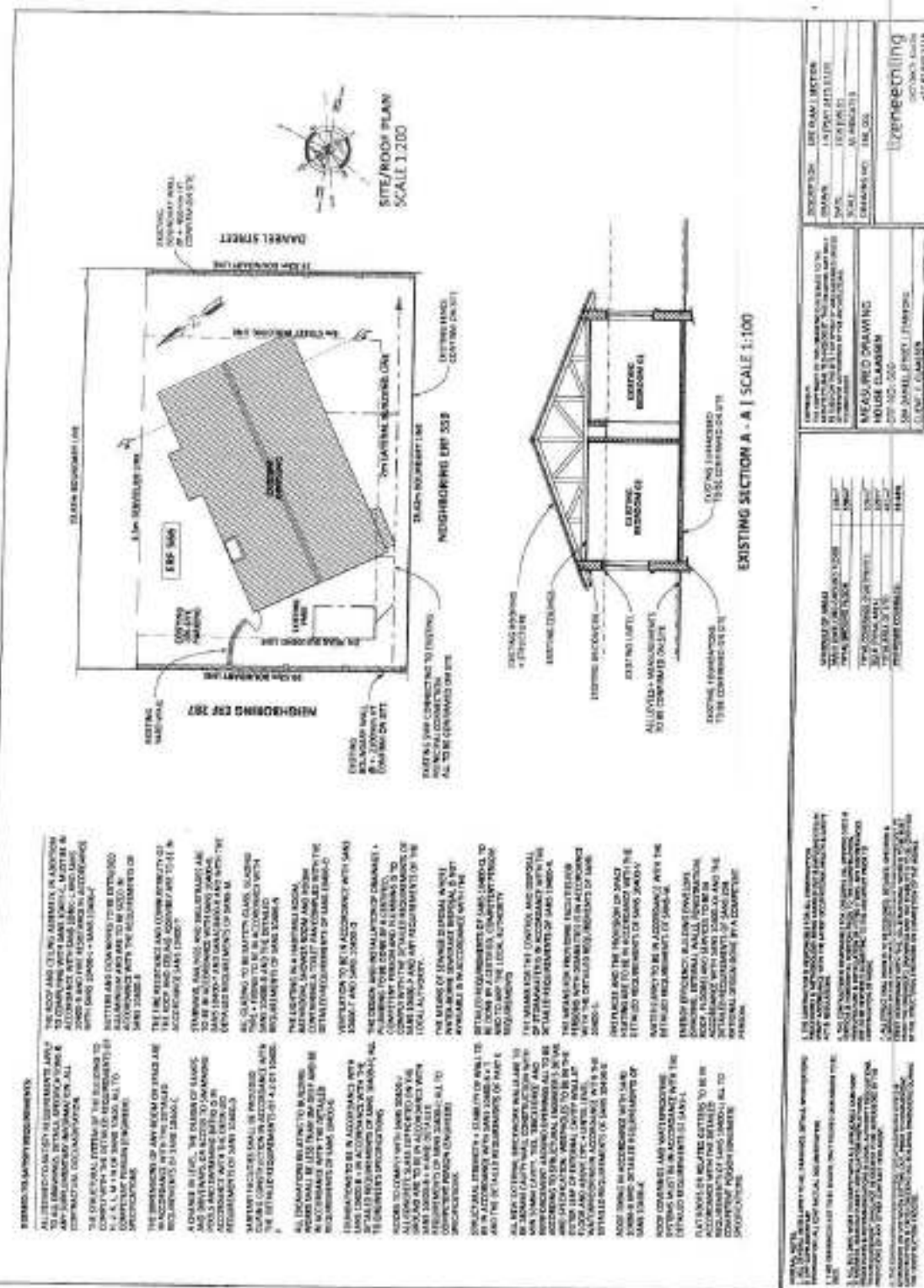
THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT IN ACCORDANCE WITH THE BUILDING ACT 2004 AND THE BUILDING REGULATIONS 2006. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PLANS SINCE THEY WERE SUBMITTED TO THE COUNCIL. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PLANS SINCE THEY WERE SUBMITTED TO THE COUNCIL. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PLANS SINCE THEY WERE SUBMITTED TO THE COUNCIL.

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DATE OF PLAN: 20/04/2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1:100
 DRAWING NO: 200-001

liceneethling
 ARCHITECTS & ENGINEERS
 47-51 BRIDGE STREET
 DUNEDIN 9013



TERMINOLOGY REQUIREMENTS

ALL DIMENSIONS IN THIS DRAWING ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

THE ROOF AND CEILING SYSTEMS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS. THE ROOF SHALL BE A GABLE ROOF WITH A MINIMUM PITCH OF 12:12. THE ROOF SHALL BE COVERED WITH 18 GAUGE GALVALUMED STEEL SHEETING OVER 1/2" OSB DECKING. THE ROOF SHALL BE FLASHED AT ALL PENETRATIONS AND SHALL BE PROTECTED AGAINST WEATHER AND INTRUSION. THE ROOF SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

THE CEILING SHALL BE A SUSPENDED CEILING SYSTEM WITH 2" X 4" GRID AND 1/2" MIN. THICK GYPSUM BOARD. THE CEILING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

ALL INTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION. THE FINISHES SHALL BE REPAIRED OR REPLACED AS NECESSARY. THE FINISHES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

ALL EXTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION. THE FINISHES SHALL BE REPAIRED OR REPLACED AS NECESSARY. THE FINISHES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

ALL STRUCTURAL MEMBERS SHALL BE PROTECTED DURING CONSTRUCTION. THE MEMBERS SHALL BE REPAIRED OR REPLACED AS NECESSARY. THE MEMBERS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION. THE SYSTEMS SHALL BE REPAIRED OR REPLACED AS NECESSARY. THE SYSTEMS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

ALL WATER AND SEWER SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION. THE SYSTEMS SHALL BE REPAIRED OR REPLACED AS NECESSARY. THE SYSTEMS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

ITEM NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	ROOFING - GALVALUMED STEEL SHEETING	SQ. FT.	1,200	0.15	180.00
2	ROOFING - OSB DECKING	SQ. FT.	1,200	0.20	240.00
3	CEILING - GYPSUM BOARD	SQ. FT.	1,200	0.12	144.00
4	CEILING - SUSPENDED SYSTEM	SQ. FT.	1,200	0.08	96.00
5	WALLS - GYPSUM BOARD	SQ. FT.	1,200	0.15	180.00
6	WALLS - FINISHES	SQ. FT.	1,200	0.10	120.00
7	FLOORS - GYPSUM BOARD	SQ. FT.	1,200	0.12	144.00
8	FLOORS - FINISHES	SQ. FT.	1,200	0.10	120.00
9	DOORS - INTERIOR	EA	1	100.00	100.00
10	WINDOWS - INTERIOR	EA	1	100.00	100.00
11	MECHANICAL - VENTILATION	EA	1	100.00	100.00
12	ELECTRICAL - WIRING	EA	1	100.00	100.00
13	ELECTRICAL - SWITCHES	EA	1	100.00	100.00
14	ELECTRICAL - OUTLETS	EA	1	100.00	100.00
15	ELECTRICAL - PANELS	EA	1	100.00	100.00
16	ELECTRICAL - CABLES	EA	1	100.00	100.00
17	ELECTRICAL - TRAYS	EA	1	100.00	100.00
18	ELECTRICAL - CONDUITS	EA	1	100.00	100.00
19	ELECTRICAL - FITTINGS	EA	1	100.00	100.00
20	ELECTRICAL - LABOR	EA	1	100.00	100.00

PROPERTY: 1540 DANIEL STREET, ANN ARBOR, MI 48106
 OWNER: J. SMITH
 DATE: 12/15/2023
 SCALE: AS SHOWN
 DRAWING NO: 1540-D-001

MEASURED DRAWING HOUSE CLASSEM
 DATE: 12/15/2023
 BY: J. SMITH

licensing
 J. SMITH, ARCHITECT
 1540 DANIEL STREET, ANN ARBOR, MI 48106
 TEL: 734.769.1234

PROJECT INFORMATION

PROJECT NO: 1540-D-001

DATE: 12/15/2023

SCALE: AS SHOWN

DRAWING NO: 1540-D-001

MEASURED DRAWING HOUSE CLASSEM

DATE: 12/15/2023

BY: J. SMITH

PROJECT OWNER: J. SMITH

PROJECT ADDRESS: 1540 DANIEL STREET, ANN ARBOR, MI 48106

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL FINISHES ARE TO BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

3. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION.

4. ALL WATER AND SEWER SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION.

5. ALL STRUCTURAL MEMBERS SHALL BE PROTECTED DURING CONSTRUCTION.

6. ALL INTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

7. ALL EXTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

9. ALL FINISHES ARE TO BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

10. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION.

11. ALL WATER AND SEWER SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION.

12. ALL STRUCTURAL MEMBERS SHALL BE PROTECTED DURING CONSTRUCTION.

13. ALL INTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

14. ALL EXTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

NOTES

- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL FINISHES ARE TO BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.
- ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE PROTECTED DURING CONSTRUCTION.
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- ALL STRUCTURAL MEMBERS SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL INTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL EXTERIOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 566, STANFORD (3631)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that should any electrical services be relocated, costs will be for the developer's account;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 566, Stanford, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

9. ERF 4583, 9 CHIAPPINI STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS WRAP ON BEHALF OF ME GERBER

4583 HON (4002)

H Olivier

(028) 313 8900

Hermanus Administration

19 October 2018

Executive Summary

An application has been received on 18 May 2018 from Messrs WRAP on behalf of ME Gerber on Erf 4583, Onrustrivier for an application for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the following:

- Rear building line from 2m to 1,2m, 0,65m and 0,45m respectively to accommodate an existing passage, toilet and garage; and
- Western lateral building line from 2m to 1,48m and 0,75m respectively to accommodate an existing lounge and covered stoep with braai.

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 4583, Onrustrivier for a departure to relax the following :

- rear building line from 2m to 1,2m, 0,65m and 0,45m respectively to accommodate an existing passage, toilet and garage; and
- western lateral building line from 2m to 1,48m and 0,75m respectively to accommodate an existing lounge and covered stoep with braai,


be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plans Plan 3 and Plan 4, submitted with the application;
- (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
- (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

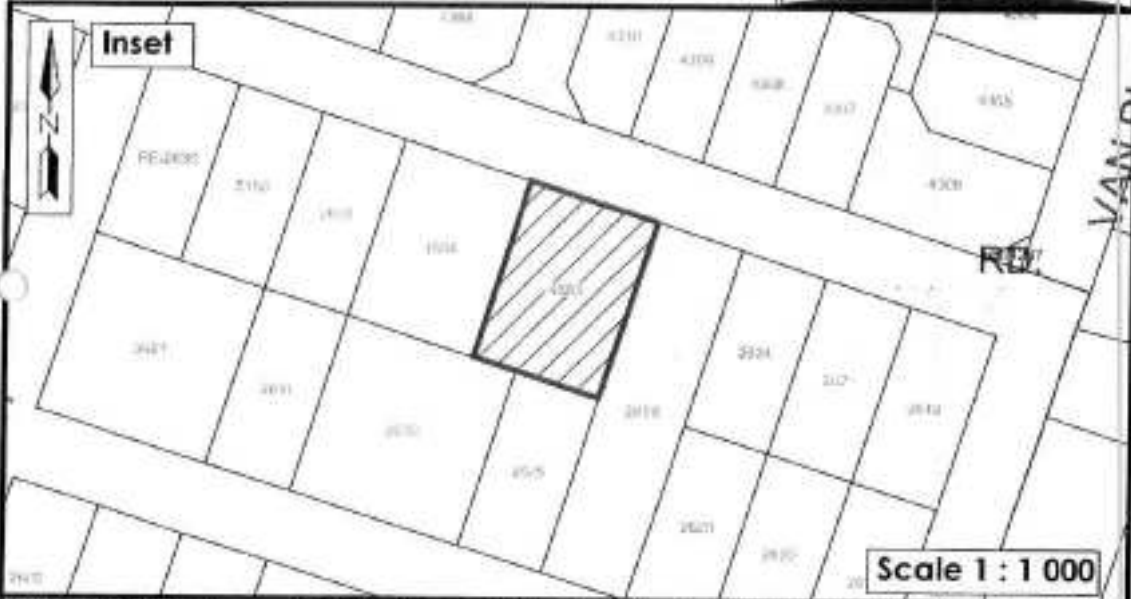
- (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions imposed by Telkom, be complied with, and
 - (f) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

Plan 1: Locality Plan Erf 4583 Onrustrivier

 Subject property (Erf 4583)

Plan prepared by: RealEstate Junkie

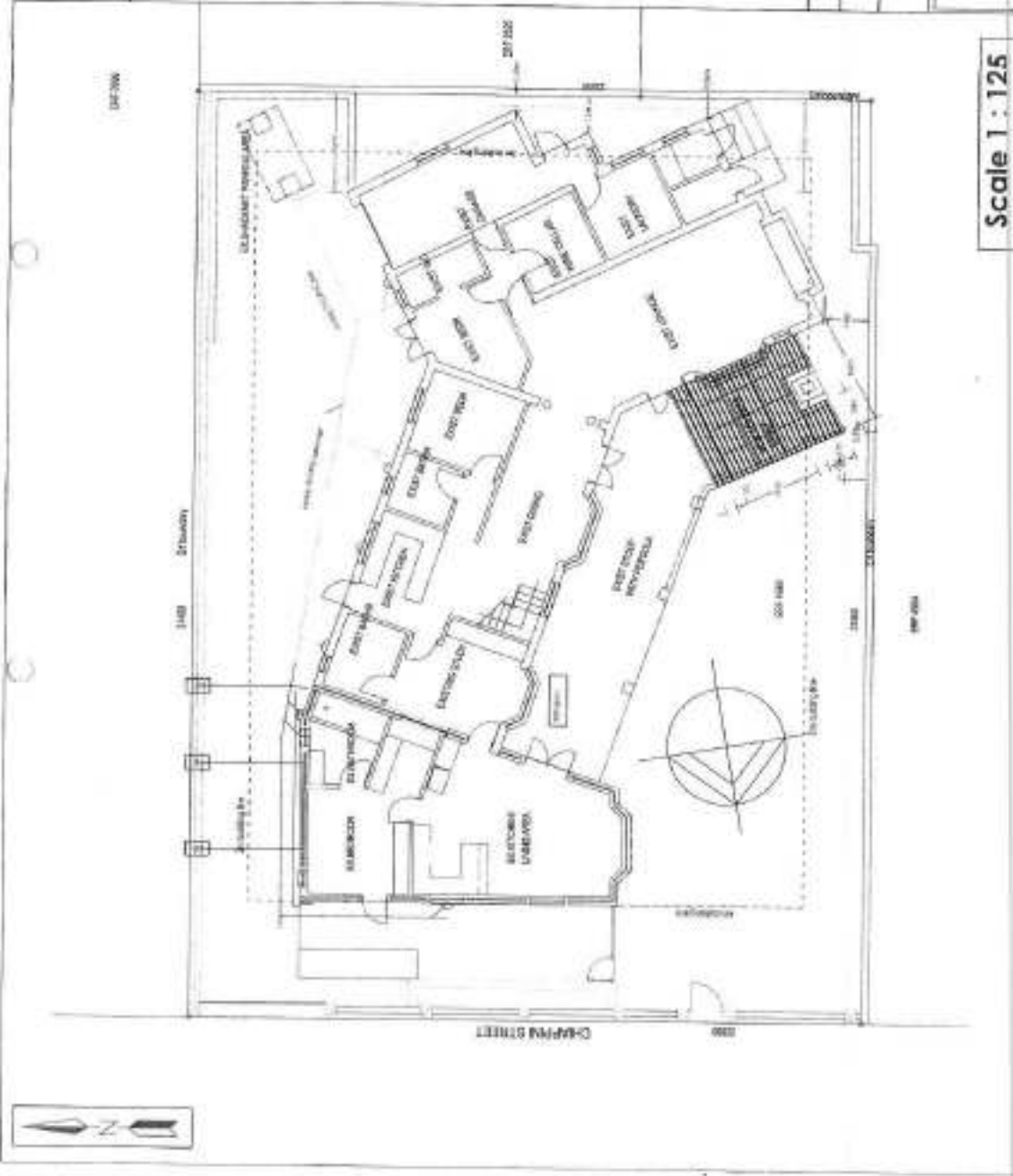
All distances are approximate
and SUBJECT TO A SURVEY



Plan 3 Site Development Plan Erf 4583 Orrustrivier

- Subject property (14.4m²)
- Building line

Based on plans by Ingrid Jansen Project
 Plans prepared by Bechtelma Jansen
 All distances are approximations
 and subject to a survey.



Scale 1 : 125

**Plan 4: Elevations Plan
Erf 4583 Onrustvriër**

Based on plans by Ingrid Jones Project

Plan prepared by: Ingrid Jones

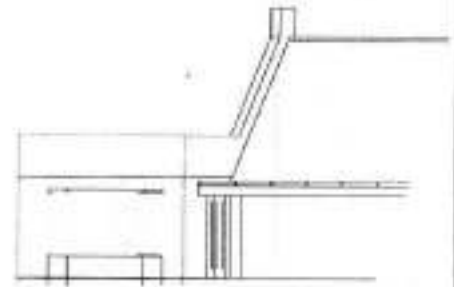
All distances are approximate
and subject to a survey



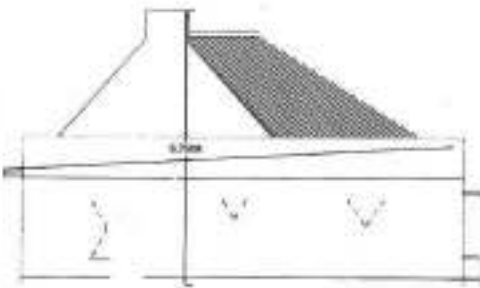
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SECTION A - A



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SHADENET CARPORT

Scale 1 : 100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4583, ONRUS RIVER (4002)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4583, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

07/08/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

10. ERF 5854, 24 RAED-NA-GAEL STREET, HERMANUS (HERMANUS HEIGHTS): PROPOSED DEPARTURE: MESSRS INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF P FINDEISEN & I LEHR)

5854 HHH (4067)

P Roux

(028) 313 8900

Hermanus Administration

10 October 2018

Executive Summary

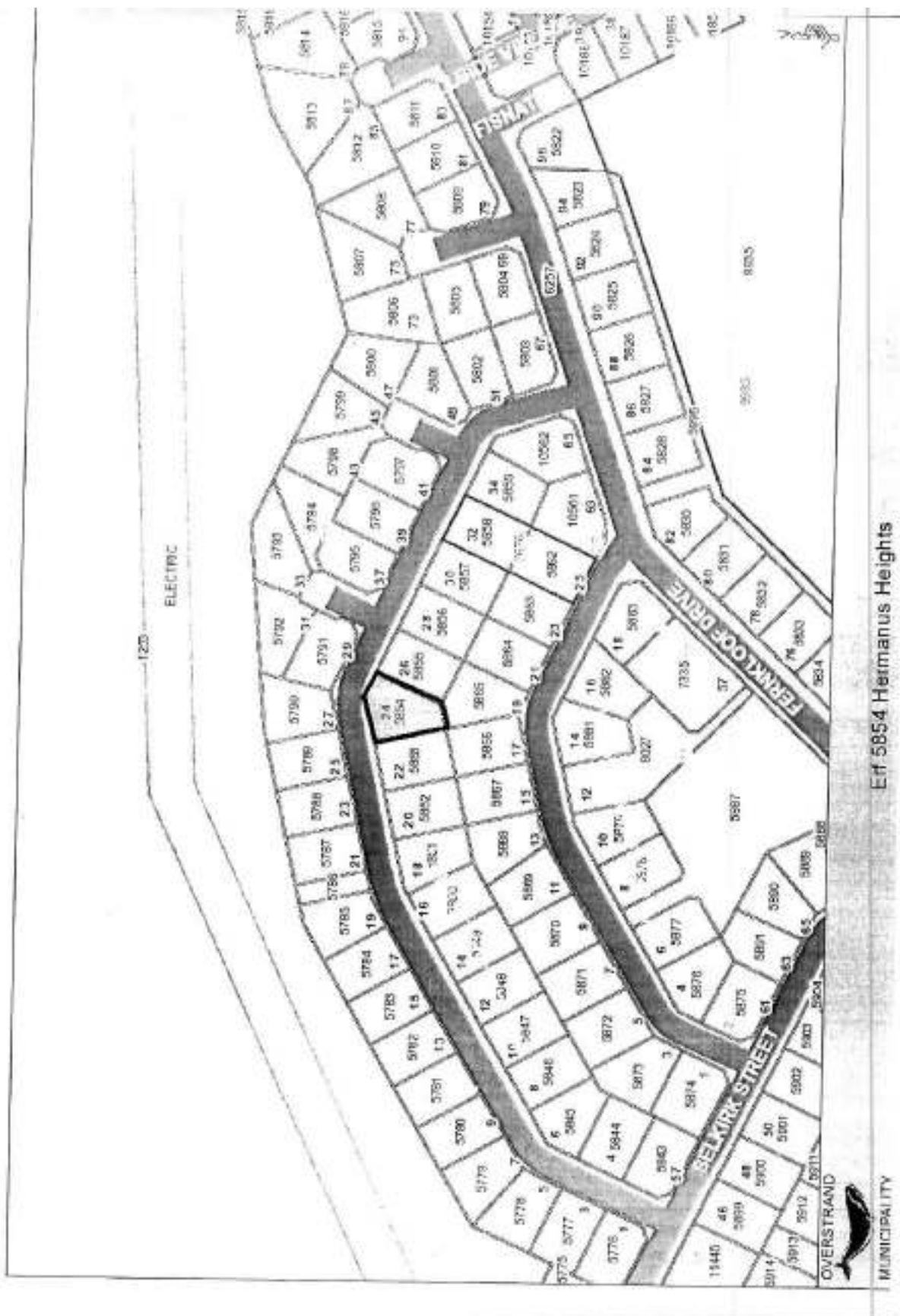
To consider an application received on 27 June 2018 (complete application was received on 13 July 2018) from Messrs Interactive Town and Regional Planning on behalf of the property owners of Erf 5854, Hermanus Heights (P Findeisen and I Lehr) for departure in terms of Section 16(2)(b) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to relax the eastern lateral building line from 2m to 0m and 1,7m respectively and to exceed the permissible size of a second dwelling unit to 125m².

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 5854, Hermanus (Hermanus Heights) for departure in order to relax the eastern lateral building line from 2m to 0m and 1,7m respectively and to exceed the permissible size of a second dwelling unit to 125m², **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan, as submitted with the application and attached hereto;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (c) that all the conditions in the Services Report, be complied with;
 - (d) that all the conditions compiled by Telkom, be complied with;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

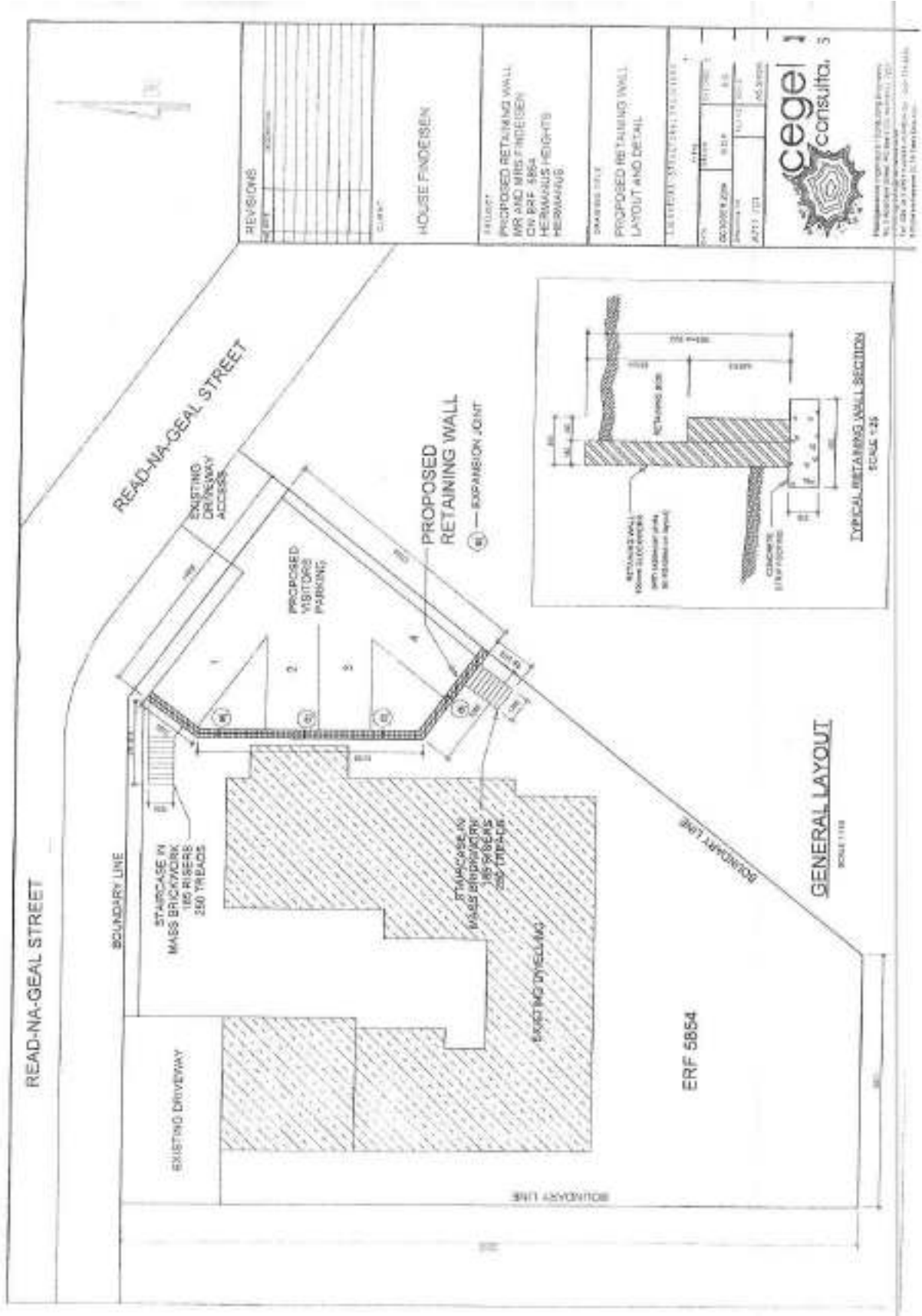
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

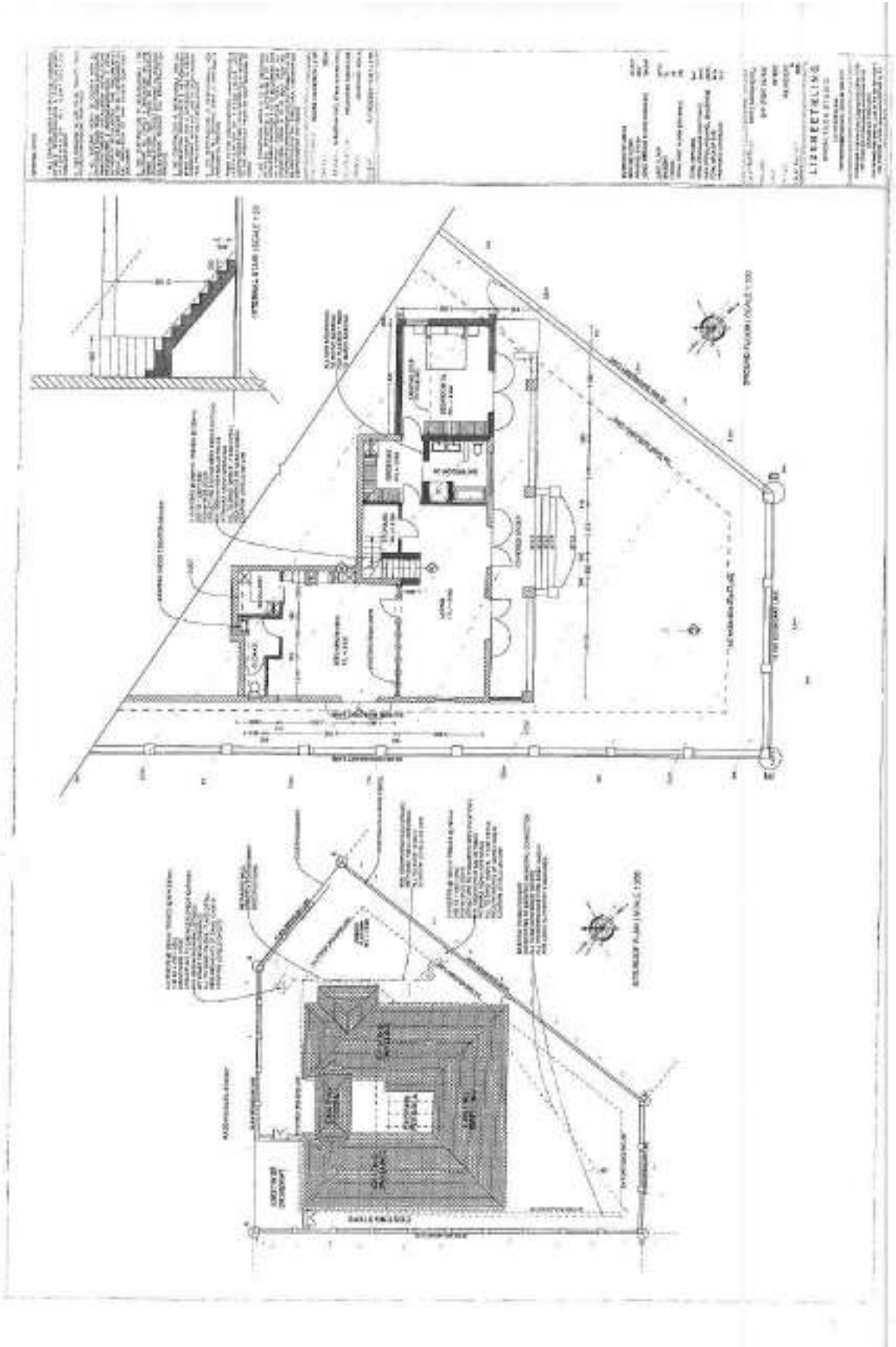
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

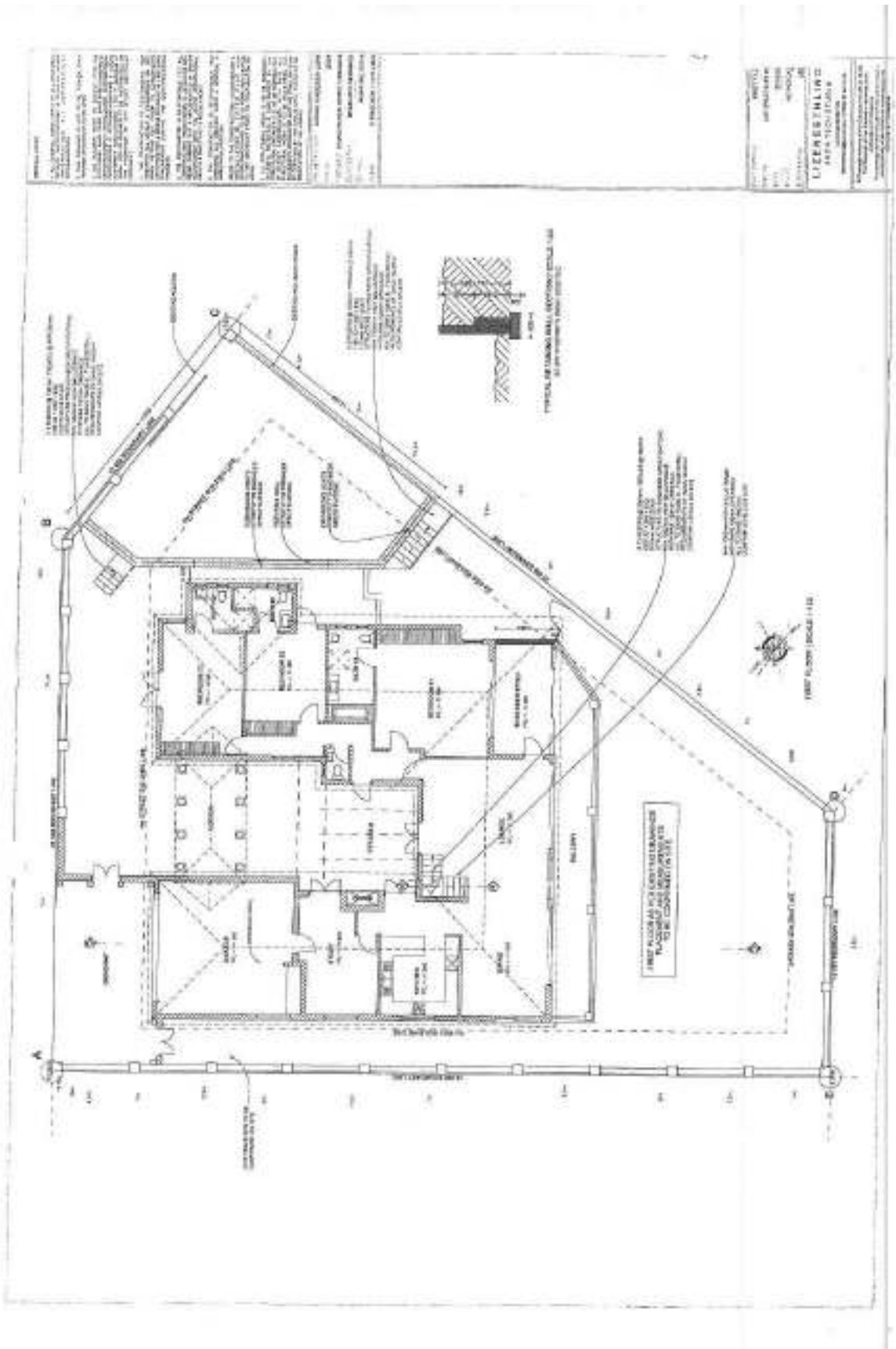


Erf 5854 Hermanus Heights



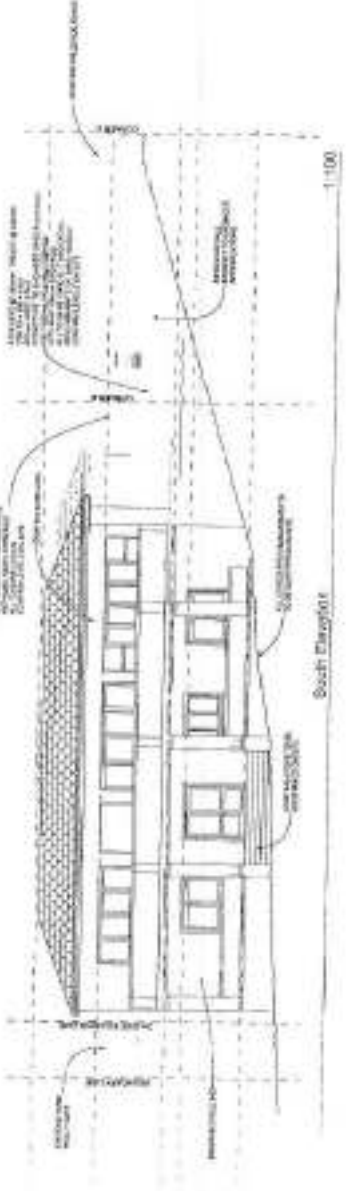
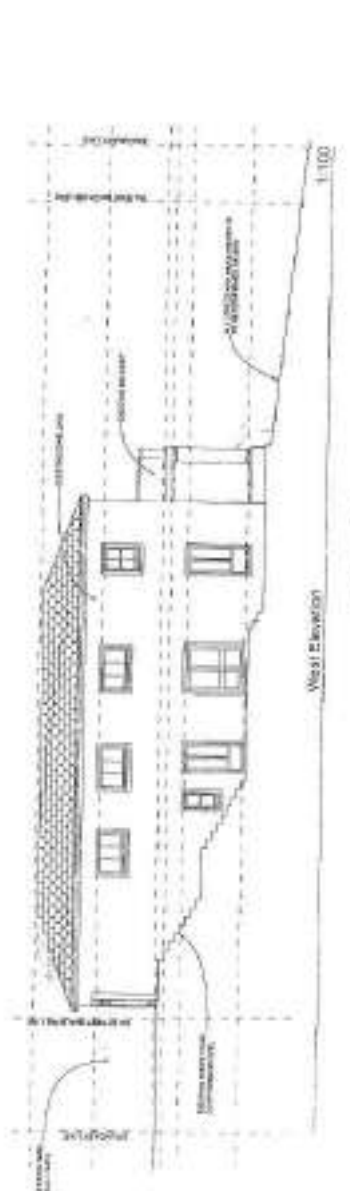
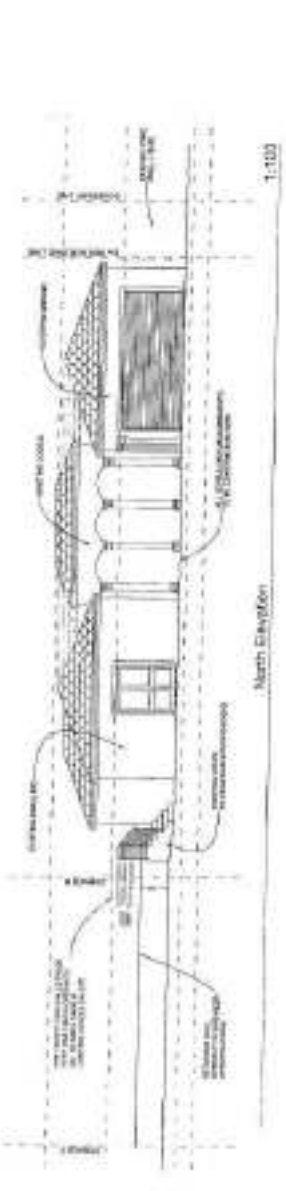






1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISH GRADE IS INDICATED BY DASHED LINES.
 3. EXISTING GRADE IS INDICATED BY DOTTED LINES.
 4. ALL WALLS TO BE CONCRETE UNLESS OTHERWISE NOTED.
 5. ALL ROOFS TO BE ASPH/FLT UNLESS OTHERWISE NOTED.
 6. ALL FLOORS TO BE 4" CONC. ON 12" O.C. JOISTS UNLESS OTHERWISE NOTED.
 7. ALL CEILING TO BE 5/8" GYP. BOARD UNLESS OTHERWISE NOTED.
 8. ALL INTERIORS TO BE PLASTER ON CONCRETE UNLESS OTHERWISE NOTED.
 9. ALL EXTERIORS TO BE STUCCO ON CONCRETE UNLESS OTHERWISE NOTED.
 10. ALL WINDOWS TO BE ALUMINUM UNLESS OTHERWISE NOTED.
 11. ALL DOORS TO BE ALUMINUM UNLESS OTHERWISE NOTED.
 12. ALL LIGHT FIXTURES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 13. ALL ELECTRICAL TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 14. ALL MECHANICAL TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 15. ALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 16. ALL MATERIALS TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 17. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
 18. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL AND ELECTRICAL CODES.
 19. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING AND HEATING CODES.
 20. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FIRE AND LIFE SAFETY CODES.
 21. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ENVIRONMENTAL AND ENERGY CODES.
 22. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACCESSIBILITY STANDARDS.
 23. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SUSTAINABLE DESIGN STANDARDS.
 24. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE GREEN BUILDING STANDARDS.
 25. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LEED STANDARDS.
 26. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WELL STANDARDS.
 27. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE EQUUS STANDARDS.
 28. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WELLER STANDARDS.
 29. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WELLER STANDARDS.
 30. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WELLER STANDARDS.

PROJECT: [REDACTED]
 CLIENT: [REDACTED]
 ARCHITECT: [REDACTED]
 DATE: [REDACTED]
 SHEET: [REDACTED] OF [REDACTED]
LIBRETTI INC.
 ARCHITECTS
 1000 [REDACTED] ST.
 [REDACTED] [REDACTED] [REDACTED]
 [REDACTED] [REDACTED] [REDACTED]



COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5854, HERMANUS HEIGHTS (4067)

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager, Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for owner's account;
6. that stormwater be allowed to discharge through Erf 5854, Hermanus Heights, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

11. ERF 3785, 19 DE KOCK CLOSE, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: J COLLER ON BEHALF OF J CANE

3785 HON (4000)

H Olivier

(028) 313 8900

Hermanus Administration

19 October 2018

Executive Summary

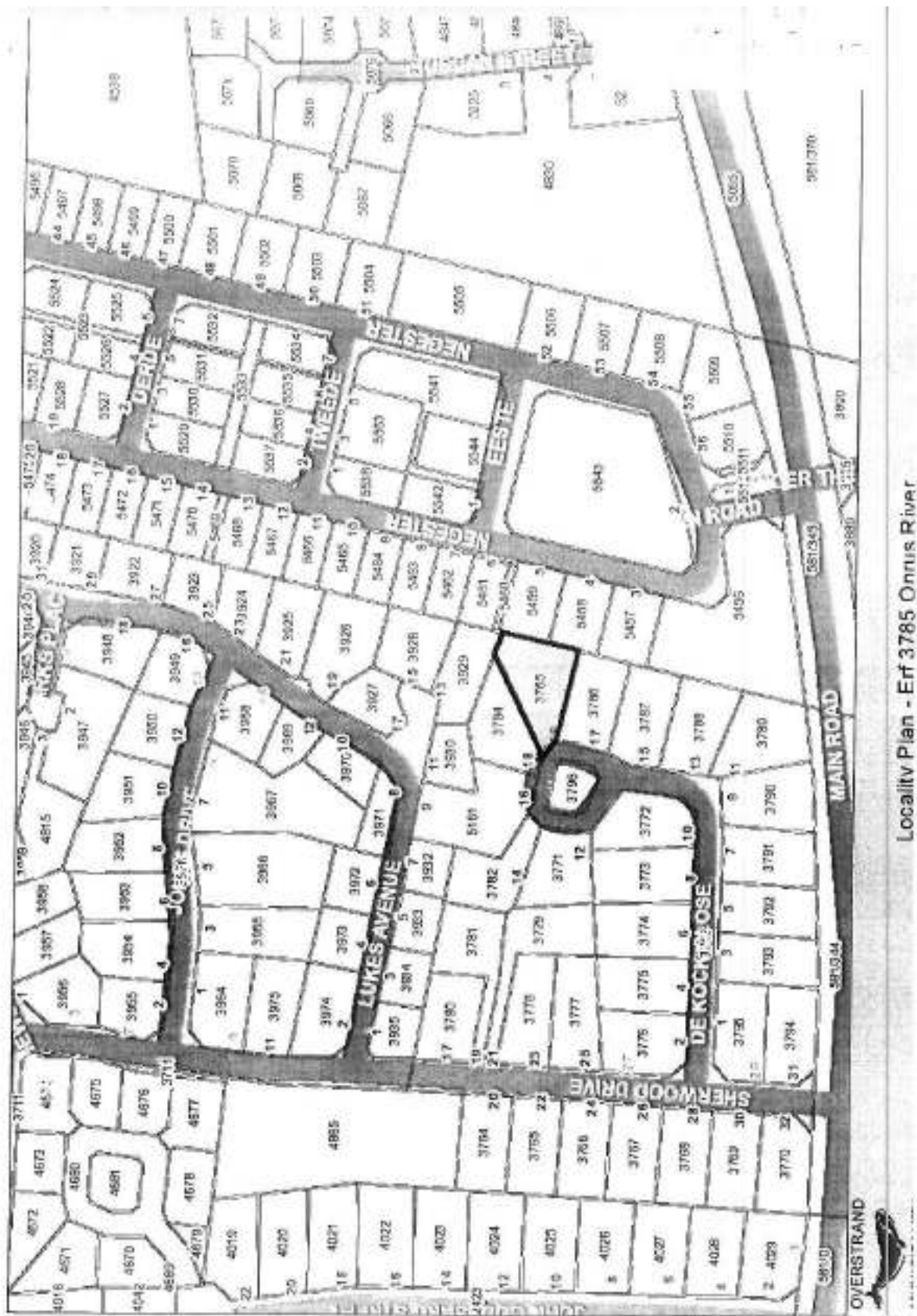
An application has been received on 15 May 2018 from Mr J Coller on behalf of Mr J Cane on Erf 3785, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the rear building line from 2m to 1,549m to accommodate a patio and portion of a bathroom.

RESOLVED :

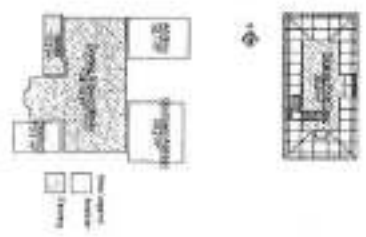
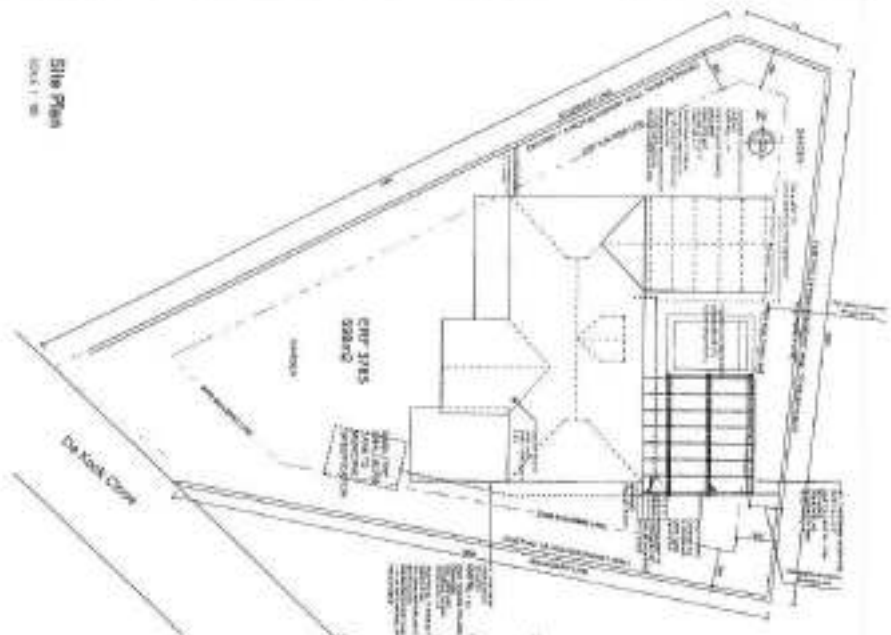
1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 3785, Onrustrivier to relax the rear building line from 2m to 1,549m to accommodate changes to the existing bathroom and a covered patio, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. D13.101 dated 25 April 2018, submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all conditions imposed by Telkom, be complied with, and
 - (f) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan - Erf 3785 Onrus River



Schedule of Rights

SCHEDULE OF RIGHTS			
PROPERTY INFORMATION			
ADDRESS:	LOT:	SECTION:	TOWNSHIP:
APPLICANT:	PROJECT:	DATE:	SCALE:
PROJECT TYPE:	PROPOSED USE:	EXISTING USE:	EXISTING ZONING:
PROPOSED ZONING:	PROPOSED SETBACKS:	PROPOSED HEIGHT:	PROPOSED AREA:
PROPOSED COVERAGE:	PROPOSED LOT AREA:	PROPOSED PERMITS:	PROPOSED FEES:
PROPOSED CONDITIONS:	PROPOSED NOTES:	PROPOSED COMMENTS:	PROPOSED SIGNATURE:
PROPOSED DATE:	PROPOSED TIME:	PROPOSED LOCATION:	PROPOSED CONTACT:
PROPOSED STATUS:	PROPOSED REVIEW:	PROPOSED ACTION:	PROPOSED RESULT:

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).
2. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY DATA OR THE EXISTING CONDITIONS SHOWN ON THESE PLANS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPROPRIATE AGENCIES.
4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
5. THE DESIGNER SHALL BE CONSULTED FOR ANY CHANGES TO THE PLANS AFTER THE PERMITTING PROCESS HAS BEGUN.
6. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR ANY DELAYS OR COST OVERRUNS.
7. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT UPON COMPLETION OF THE PERMITTING PROCESS.
8. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT UPON COMPLETION OF THE PERMITTING PROCESS.
9. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT UPON COMPLETION OF THE PERMITTING PROCESS.
10. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT UPON COMPLETION OF THE PERMITTING PROCESS.

PROJECT INFORMATION

PROJECT NAME: [REDACTED]

CLIENT: [REDACTED]

ARCHITECT: [REDACTED]

DATE: [REDACTED]

SCALE: [REDACTED]

SHEET NO.: [REDACTED]

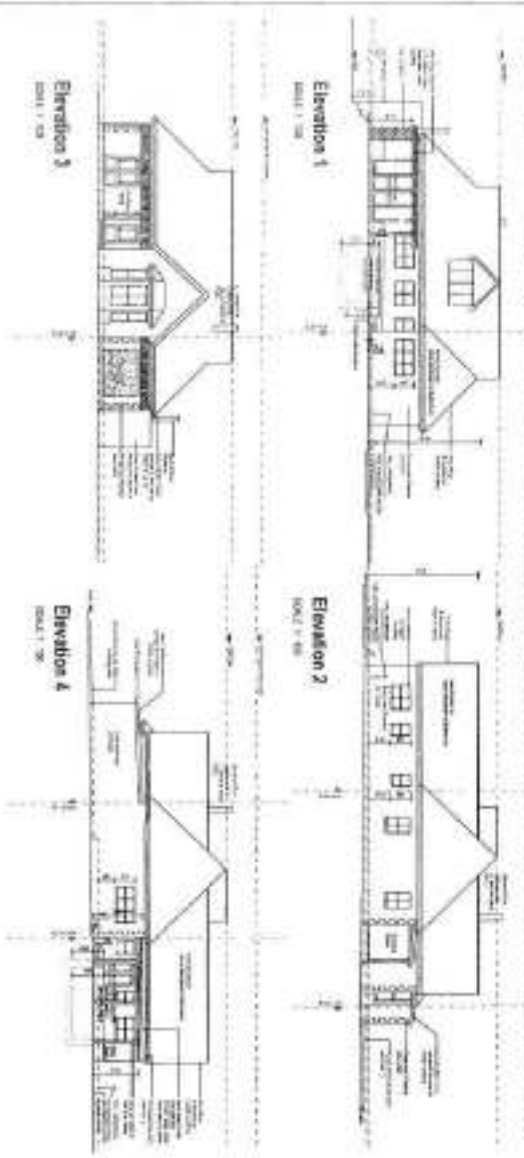
TOTAL SHEETS: [REDACTED]

DESIGNER SIGNATURE: [REDACTED]

DATE: [REDACTED]



Section A/A
SCALE: 1/8\"/>



<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL ENERGY CODE FOR BUILDINGS (IECC).</p> <p>2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.</p> <p>3. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.</p> <p>4. ALL FINISHES SHALL BE AS NOTED ON THE FINISH SCHEDULE.</p> <p>5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NATIONAL ELECTRICAL CODE (NEC).</p> <p>6. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC).</p> <p>7. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING CODE (IPC).</p> <p>8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL CONCRETE CODE (ICC).</p> <p>9. ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ROOFING CODE (IRC).</p> <p>10. ALL PAINTING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PAINTING CODE (IPC).</p>	<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL ENERGY CODE FOR BUILDINGS (IECC).</p> <p>2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.</p> <p>3. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.</p> <p>4. ALL FINISHES SHALL BE AS NOTED ON THE FINISH SCHEDULE.</p> <p>5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NATIONAL ELECTRICAL CODE (NEC).</p> <p>6. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC).</p> <p>7. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING CODE (IPC).</p> <p>8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL CONCRETE CODE (ICC).</p> <p>9. ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ROOFING CODE (IRC).</p> <p>10. ALL PAINTING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PAINTING CODE (IPC).</p>
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NO.	DESCRIPTION	QTY	UNIT
1	CEILING		
2	FLOOR		
3	WALL		
4	ROOF		
5	FOUNDATION		
6	EXTERIOR FINISH		
7	INTERIOR FINISH		
8	MECHANICAL		
9	ELECTRICAL		
10	PLUMBING		

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL ENERGY CODE FOR BUILDINGS (IECC).
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
4. ALL FINISHES SHALL BE AS NOTED ON THE FINISH SCHEDULE.
5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NATIONAL ELECTRICAL CODE (NEC).
6. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE (IMC).
7. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING CODE (IPC).
8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL CONCRETE CODE (ICC).
9. ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ROOFING CODE (IRC).
10. ALL PAINTING WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PAINTING CODE (IPC).

PROJECT: []

DATE: []

SCALE: []

DESIGNED BY: []

CHECKED BY: []

APPROVED BY: []

DATE: []

PROJECT NO.: []

DATE: []

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3785, ONRUS RIVER (4000)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 3785, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

Dennis Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

09/02/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

12. ERF 329, 11 THE ESPLANADE, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND CONSENT USE: MESSRS WRAP CONSULTANCY ON BEHALF OF GS HUART

329 GPB (4081)

SW van der Merwe

(028) 313 8900

Hermanus Administration

22 October 2018

Executive Summary

To consider an application received on 28 June 2018 from Messrs WRAP Consultancy in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on behalf of the owner of Erf 329, Pearly Beach, GS Huart, for the following:

- application in terms of Section 16(2)(f) for the removal of restrictive title condition B.4 (b) of T22995/2018, and
- application in terms of Section 16(2)(o) for consent use in order to conduct a restaurant.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title condition B.4 (b) as contained in Title Deed No. T22995/2018 applicable to Erf 329, Pearly Beach, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(o) of the above By-Law for consent use in order to conduct a restaurant from Erf 329, Pearly Beach, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in paragraphs 1. and 2. above be subject to the following conditions:
 - (a) that the premises only be utilised as a restaurant;
 - (b) that the hours of operation of the restaurant be restricted between 08:00 and 00:00 Mondays to Sundays;
 - (c) that the premises may not be utilised as a place of entertainment;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (d) that the conditions compiled in the Services Report and Fire Services, be complied with;
 - (e) that the operation of a restaurant be subject to a valid Certificate of Acceptability as per the requirements of the Overberg District Municipality;
 - (f) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;
 - (g) that onsite parking bays be provided in accordance with the approved parking layout;
 - (h) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (i) that the restaurant complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (j) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (k) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

Plan 1: Locality Plan Erf 329 Pearly Beach

 Subject property (285m²)

Plan prepared by: EcoFolia Jnr Inc

All distances are approximate
and subject to a survey


WRAP



Plan 3.2: SDP
Erf 329 Pearly Beach

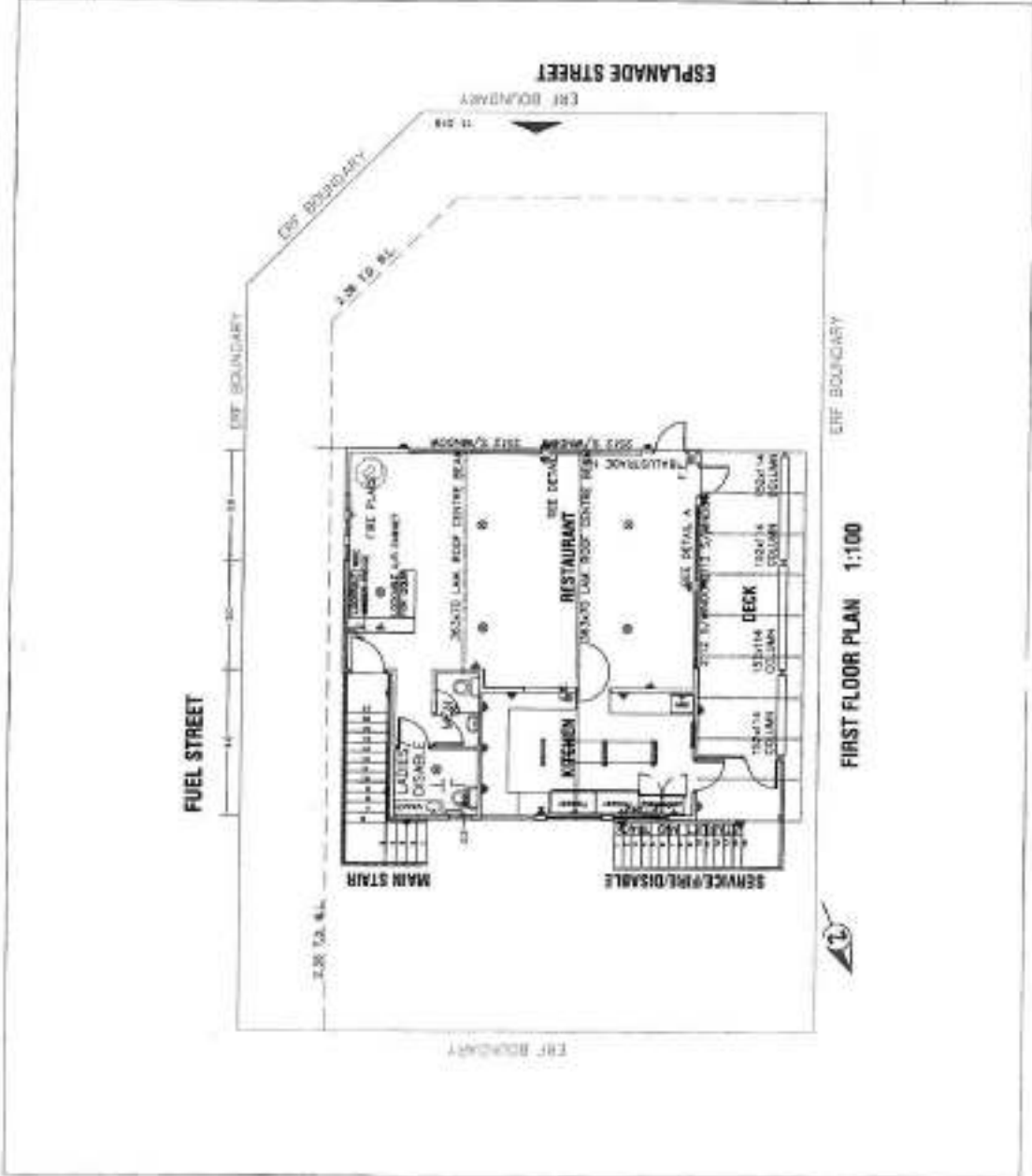
Subject property (shaded)

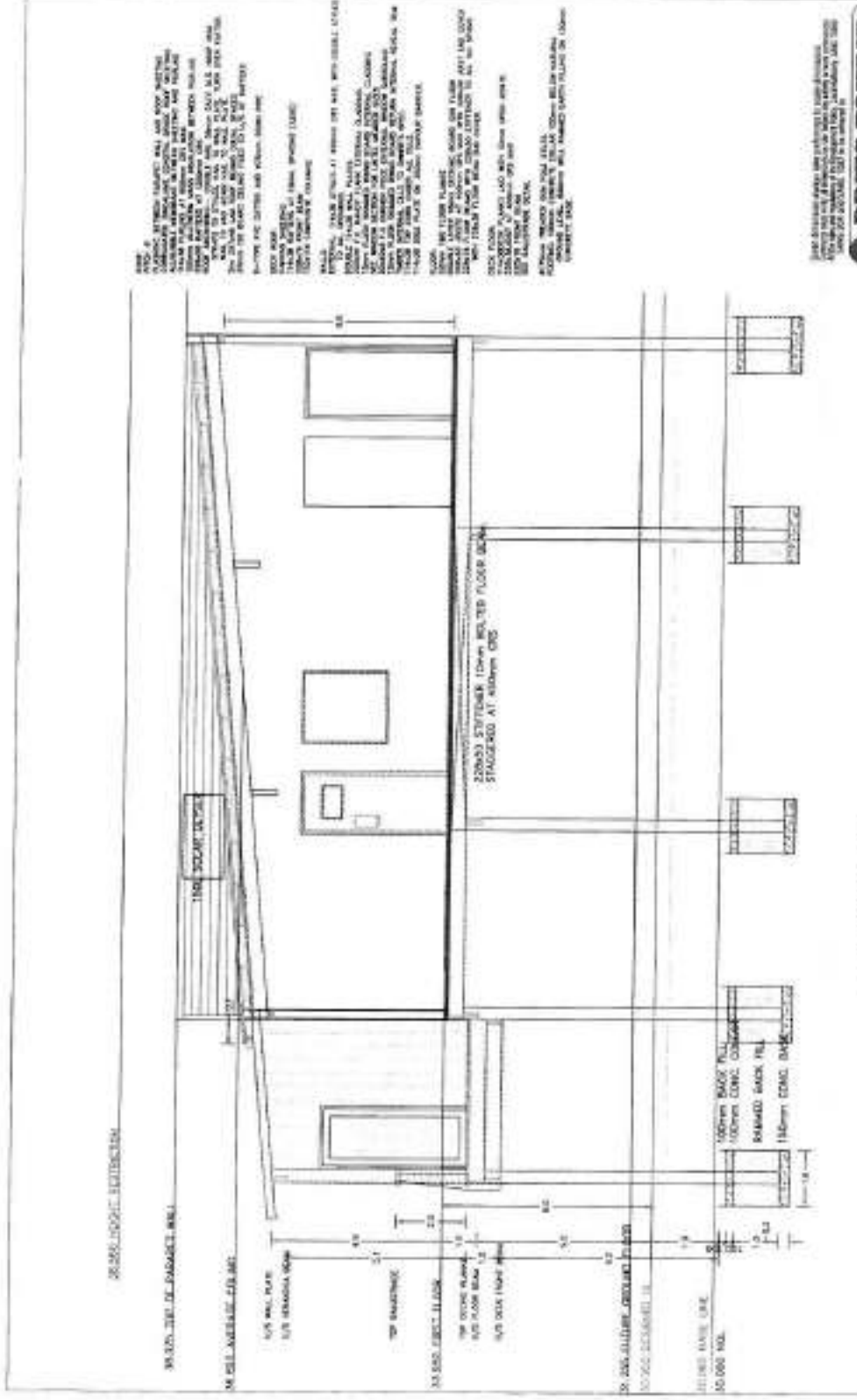
Based on plans by



Plan produced by draughtsman's studio
All drawings are copyright
and subject to a licence

WRAP





NOTE 4: FINISH FLOORING AND JOINT FINISHING TO BE DETERMINED BY THE ARCHITECT. ALL JOINTS TO BE FINISHED TO MATCH THE FINISHING. ALL JOINTS TO BE FINISHED TO MATCH THE FINISHING. ALL JOINTS TO BE FINISHED TO MATCH THE FINISHING.

NOTE 5: THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING.

NOTE 6: THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING.

NOTE 7: THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING.

NOTE 8: THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING.

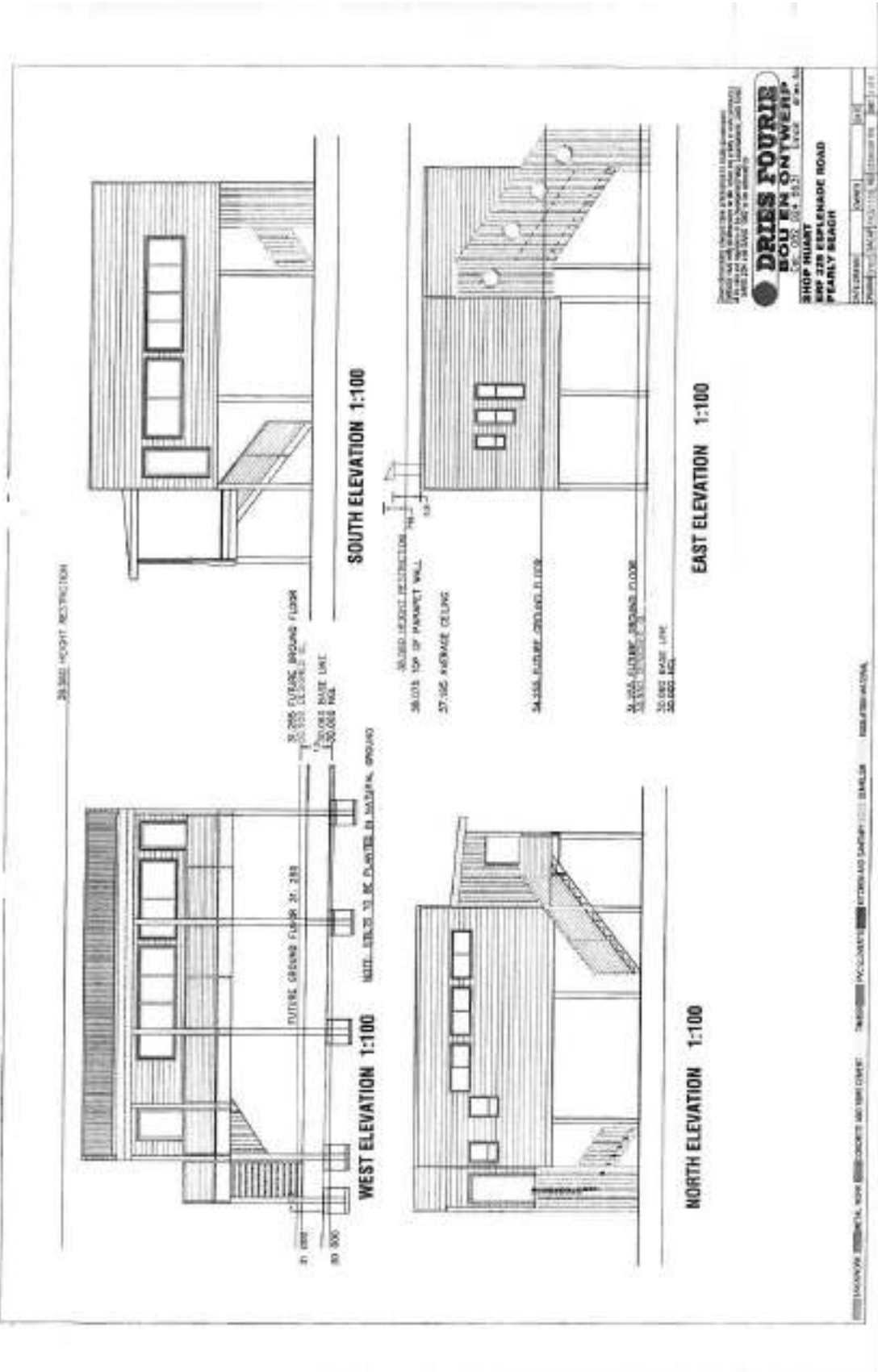
NOTE 9: THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING.

NOTE 10: THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ROOF STRUCTURE AND FINISHING.

DRIES FOURIS
BOU EN ONTWERP

SHOP HOURS
RUE 328 ESPLANADE ROAD
PEARLY BEACH

DATE: 2023-10-27
DRAWN: [Name]
CHECKED: [Name]
SCALE: 1:50



DRIES FOURIS
 SOUTH COAST ARCHITECTURE & INTERIOR DESIGN
 SHOP SUITE 1/2
 800 278 EMBLEMME ROAD
 PEARLY BEACH
 QLD 4212

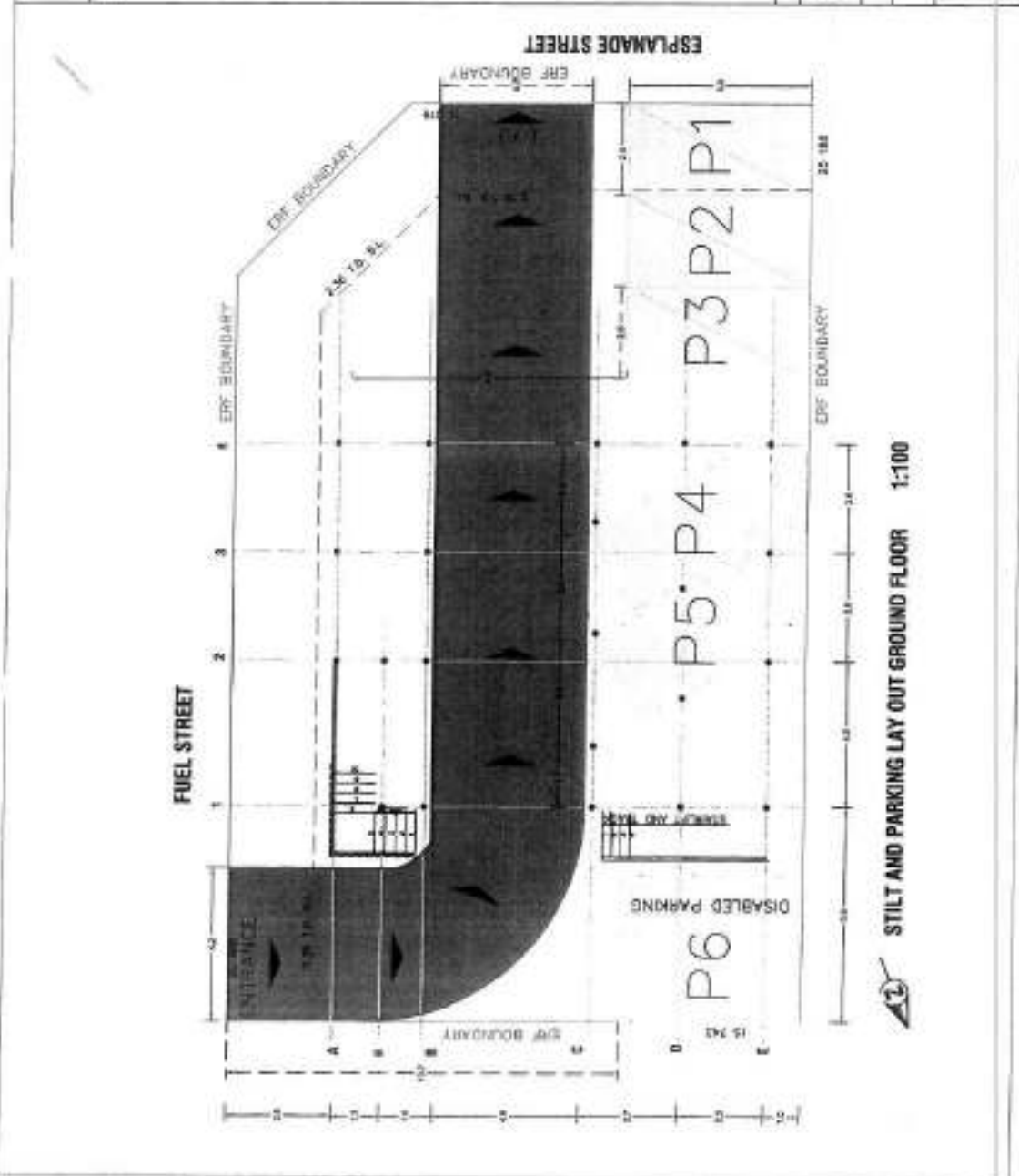
Plan 3.1: SDP
Erf 329 Pearly Beach

Shaded property (filling)



Drawn on behalf by
DRIES FOURIE
BOU EN ONTWERP

Plan approved by: *Basofofo June*
All dimensions are approximate
and subject to survey



STILT AND PARKING LAY OUT GROUND FLOOR 1:100

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIONS & CONSENT USE: ERF 329,
PEARLY BEACH (4081)

Storm water (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that Erf 329 be provided with a municipal water meter as per detail and requirements stipulated;
2. that Erf 329 be provided with adequate sewer conservancy tanks;
3. that the sewer conservancy tank be accessible to the municipal sewer tankers from one of the adjacent public roads, with a sewer tank suction point on the erf boundary along Fuel Street;
4. that the relevant commercial food preparation facilities be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that only the existing electricity connection will be available and that, should additional capacity be required, an investigation be conducted with regard to the capacity required and that available, at the developer's cost;
6. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
7. that on-site parking facility be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
8. that any additional and / or extended vehicle entrances will be for the developer's account;
9. that stormwater be allowed to discharge through Erf 329, Pearly Beach, unobstructed;

Dennis Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

17/05/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**13. ERF 3288, 74 CHIAPPINI STREET, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE : D MIDDEL**

3288 HON (4044)

H Olivier

(028) 313 8900

Hermanus Administration

22 October 2018

Executive Summary

An application has been received on 14 June 2018 from Mr D Middel on Erf 3288, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 2m to 0,9m to accommodate the proposed alterations in the existing dwelling which traverse the building line, and to change the roof gradient and slope direction.

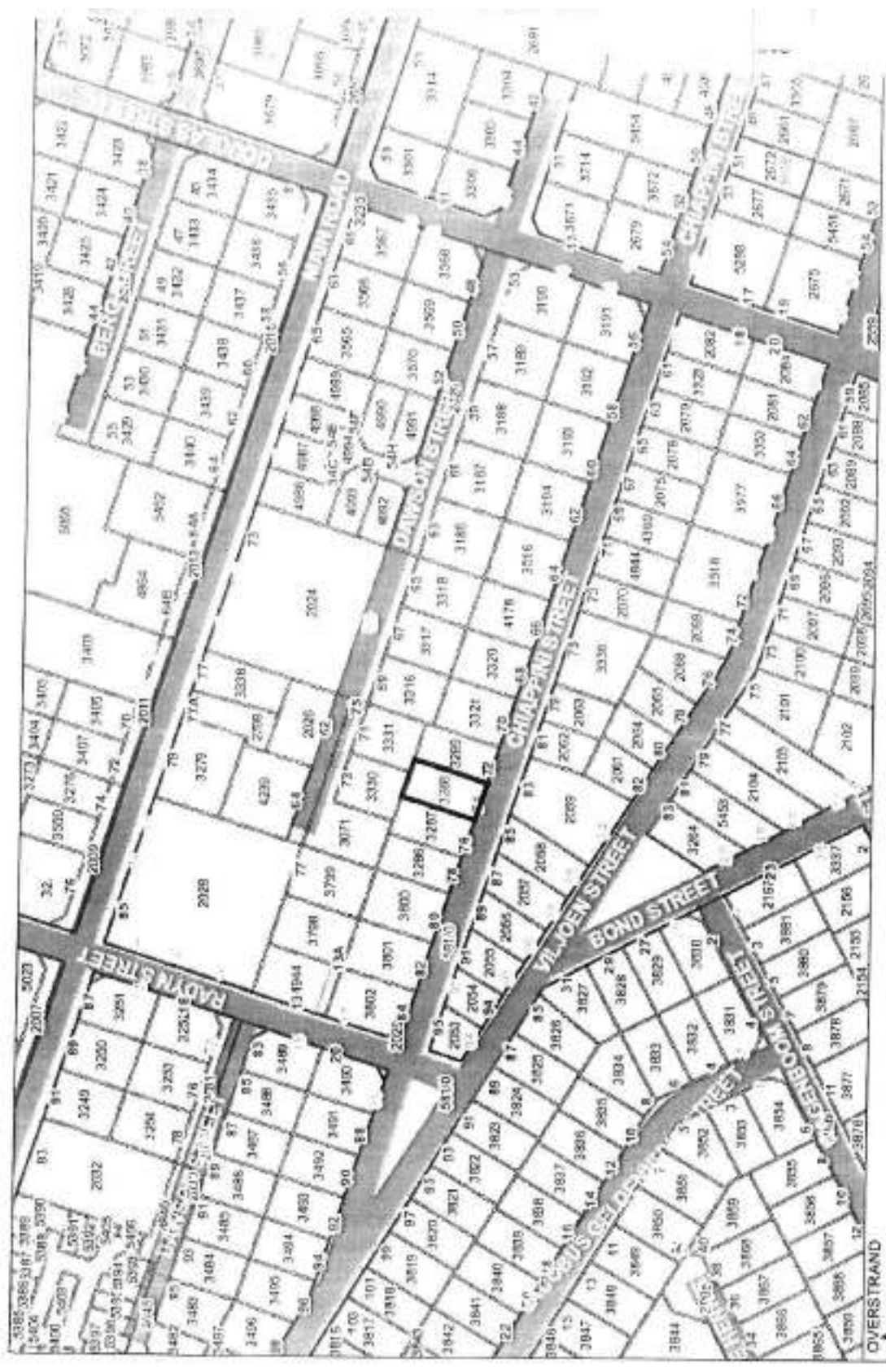
RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 3288, Onrustrivier to relax the eastern lateral building line from 2m to 0,9m to accommodate changes to the existing dwelling over the building line, and also accommodate a roof with new slope direction, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. Middel 01 and Middel 02 dated April 2018, submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions imposed by Telkom, be complied with;
 - (f) that all the conditions imposed by Eskom, be complied with;
 - (g) that the windows encroaching the building line up to 0,9m may not exceed an area of 4,2m², and that a 60 minute fireproof boundary wall

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

be constructed next to such windows to the satisfaction of the Fire Department, or other alternative to the satisfaction of the Fire Department, and

- (h) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

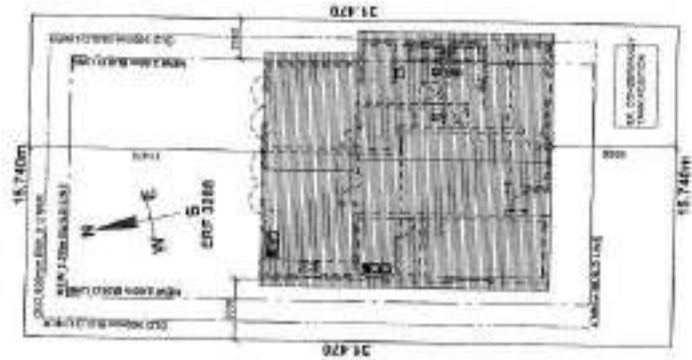


Erf 3288 Onrus River - Locality Plan



MR.D. MIDDEL,
74 CHAPPINI STREET,
ONRUIS
HERMANUS

FLOOR	NETT AREA (M ²)	GLAZED AREA (M ²)	PERCENTAGE	COMPLY.
EX. DWELLING	112.00m ²	3.11m ²	5.87m ²	
PROP. EXTENSION	48.00m ²	4.00m ²	10.00%	
TOTAL AREA	160.00m ²	7.11m ²	8.84%	YES



SITE LAYOUT
SCALE: 1:200

GENERAL NOTES

CEILING AND ROOF VALUES

WARRANT SHEET (DOUBLE SHEL)	1.38
AIR SPACE (OUTSIDE)	0.11
AIR SPACE (INSIDE)	0.18
ROTHERM INSULATION (75mm THICK)	2.83
EX. BATHROOM	0.08
TOTAL	3.58

ERP COVERAGE

ERP (TOTAL m ²)	495m ²
EX. DWELLING	112.00m ²
NEW ALTERATIONS	48.00m ²
TOTAL (M ²) INCLUDED	160.00m ²
EX. DWELLING	160.00m ²
TOTAL COVERAGE (%)	11.30%

CLIENT
HOUSE MIDDEL

PROJECT
ALTERATIONS AND ADDITIONS FOR
MR. D. MIDDEL
74 CHAPPINI STREET,
ONRUIS
HERMANUS

DRAWING TITLE
PROPOSED SITE LAYOUT

DATE: APRIL 2018
SCALE: 1:200
DRAWING NO: 1000-001

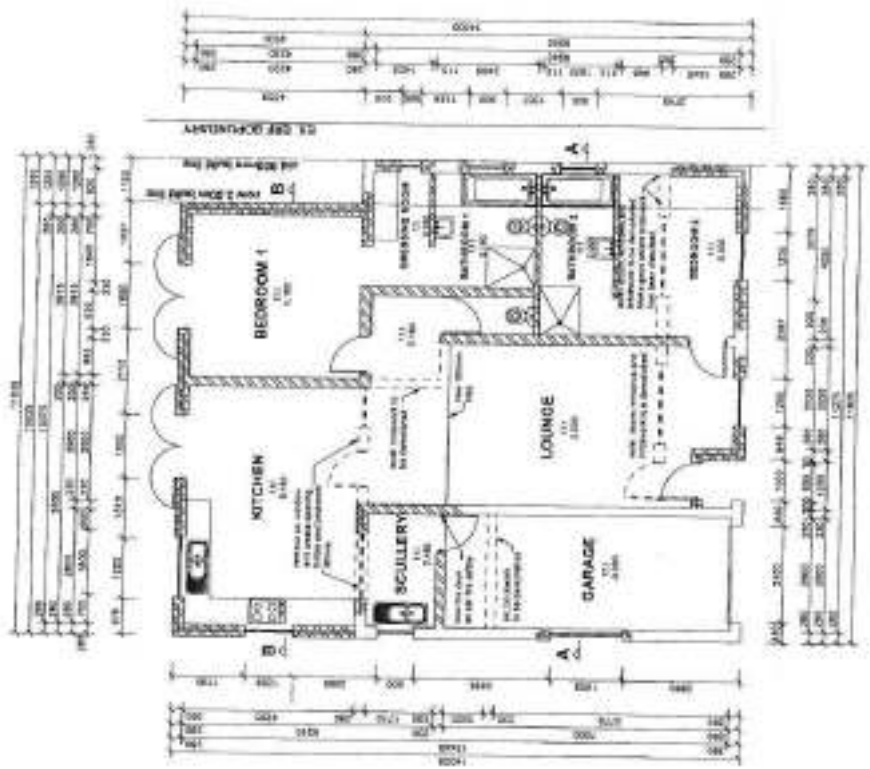
PROJECT NO: 1000-001

CLIENT: MR. D. MIDDEL

ARCHITECT: **douglas car**
ARCHITECTURAL PRACTICE
1000-001

PROJECT NO: 1000-001

DATE: APRIL 2018



PROPOSED NEW LAYOUT
SCALE 1:50

CL 3001	HOUSE MIDDLE	DATE	15/04/2014	SCALE	AS SHOWN
PROJECT	ALTERATIONS AND ADDITIONS FOR MR. G. MIDDLE 74 CHAMPINI STREET, DURGUS HERMANUS	PROJECT NO.	1414/14	DATE	15/04/2014
DRAWING TITLE	PROPOSED LAYOUT	CLIENT	MIDDLE G2	ARCHITECT	douglas car
		ADDRESS	100/110, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000	CONTACT	111/113, 115, 117, 119, 121, 123, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 511, 513, 515, 517, 519, 521, 523, 525, 527, 529, 531, 533, 535, 537, 539, 541, 543, 545, 547, 549, 551, 553, 555, 557, 559, 561, 563, 565, 567, 569, 571, 573, 575, 577, 579, 581, 583, 585, 587, 589, 591, 593, 595, 597, 599, 601, 603, 605, 607, 609, 611, 613, 615, 617, 619, 621, 623, 625, 627, 629, 631, 633, 635, 637, 639, 641, 643, 645, 647, 649, 651, 653, 655, 657, 659, 661, 663, 665, 667, 669, 671, 673, 675, 677, 679, 681, 683, 685, 687, 689, 691, 693, 695, 697, 699, 701, 703, 705, 707, 709, 711, 713, 715, 717, 719, 721, 723, 725, 727, 729, 731, 733, 735, 737, 739, 741, 743, 745, 747, 749, 751, 753, 755, 757, 759, 761, 763, 765, 767, 769, 771, 773, 775, 777, 779, 781, 783, 785, 787, 789, 791, 793, 795, 797, 799, 801, 803, 805, 807, 809, 811, 813, 815, 817, 819, 821, 823, 825, 827, 829, 831, 833, 835, 837, 839, 841, 843, 845, 847, 849, 851, 853, 855, 857, 859, 861, 863, 865, 867, 869, 871, 873, 875, 877, 879, 881, 883, 885, 887, 889, 891, 893, 895, 897, 899, 901, 903, 905, 907, 909, 911, 913, 915, 917, 919, 921, 923, 925, 927, 929, 931, 933, 935, 937, 939, 941, 943, 945, 947, 949, 951, 953, 955, 957, 959, 961, 963, 965, 967, 969, 971, 973, 975, 977, 979, 981, 983, 985, 987, 989, 991, 993, 995, 997, 999, 1001

HOUSE REMODEL

PROJECT:
 ADDITIONS & ADDITIONS
 MR. D. WIDDEL
 ON ERF 3388
 74 CHIAPPINI, STR.
 ONRUB
 HERMANUS.

DRAWING TITLE:
 PROPOSED NEW ELEVATIONS
 AND SECTIONS

DATE	GROUP	LEFT OF	BT 7/8
10/15/2011	10/15/2011	10/15/2011	10/15/2011
10/15/2011	10/15/2011	10/15/2011	10/15/2011

douglas.ca
 ARCHITECTURAL DESIGN
 3825 CHIPPINI ST.
 ONRUB
 HERMANUS

NOTES:
 1. ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.
 2. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA BUILDING CODE.
 3. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA ELECTRICAL CODE.
 4. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA MECHANICAL CODE.
 5. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA PLUMBING CODE.
 6. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA FIRE CODE.
 7. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA LANDMARK PRESERVATION CODE.
 8. ALL WORK TO BE ACCORDING TO THE 2011 CALIFORNIA HISTORIC PRESERVATION CODE.

SECTION 8-8
 SCALE 1/8" = 1'-0"

SECTION 4-4
 SCALE 1/8" = 1'-0"

SOUTH WEST ELEVATION
 SCALE 1/8" = 1'-0"

NORTH WEST ELEVATION
 SCALE 1/8" = 1'-0"

SOUTH EAST ELEVATION
 SCALE 1/8" = 1'-0"

NORTH EAST ELEVATION
 SCALE 1/8" = 1'-0"

DETAILS:
 1. EXTERIOR WALLS: 8" CMU WITH 1/2" GYPSUM BOARD AND FINISH.
 2. EXTERIOR ROOF: 12" INSULATED CONCRETE SLAB ON GRADE.
 3. EXTERIOR FLOORING: 3/4" T&G HARDWOOD FLOORING.
 4. EXTERIOR CEILING: 1/2" GYPSUM BOARD WITH POP.
 5. EXTERIOR LIGHTING: 4" SQUARE RECESSED CAN LIGHTS.
 6. EXTERIOR HANDRAILS: 1 1/2" DIA. STAINLESS STEEL.
 7. EXTERIOR DOOR: 1 3/4" T&G HARDWOOD WITH GLASS INSERT.
 8. EXTERIOR WINDOW: 1 3/4" T&G HARDWOOD WITH GLASS INSERT.
 9. EXTERIOR FINISHES: SEE FINISH SCHEDULE.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3288, ONRUS RIVER (4044)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 - P:2010: Drainage;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 3288, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

D.P. Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

31/05/2018
 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**14. ERF 8446, AMAKHOSIKAZI, ZWELIHLE, OVERSTRAND MUNICIPAL AREA:
PROPOSED DEPARTURE: SP VON WIELLIGH ON BEHALF OF THE OLD
APOSTOLIC CHURCH OF SOUTH AFRICA**

8446 HZW (4048)

H Olivier

(028) 313 8900

Hermanus Administration

24 October 2018

Executive Summary

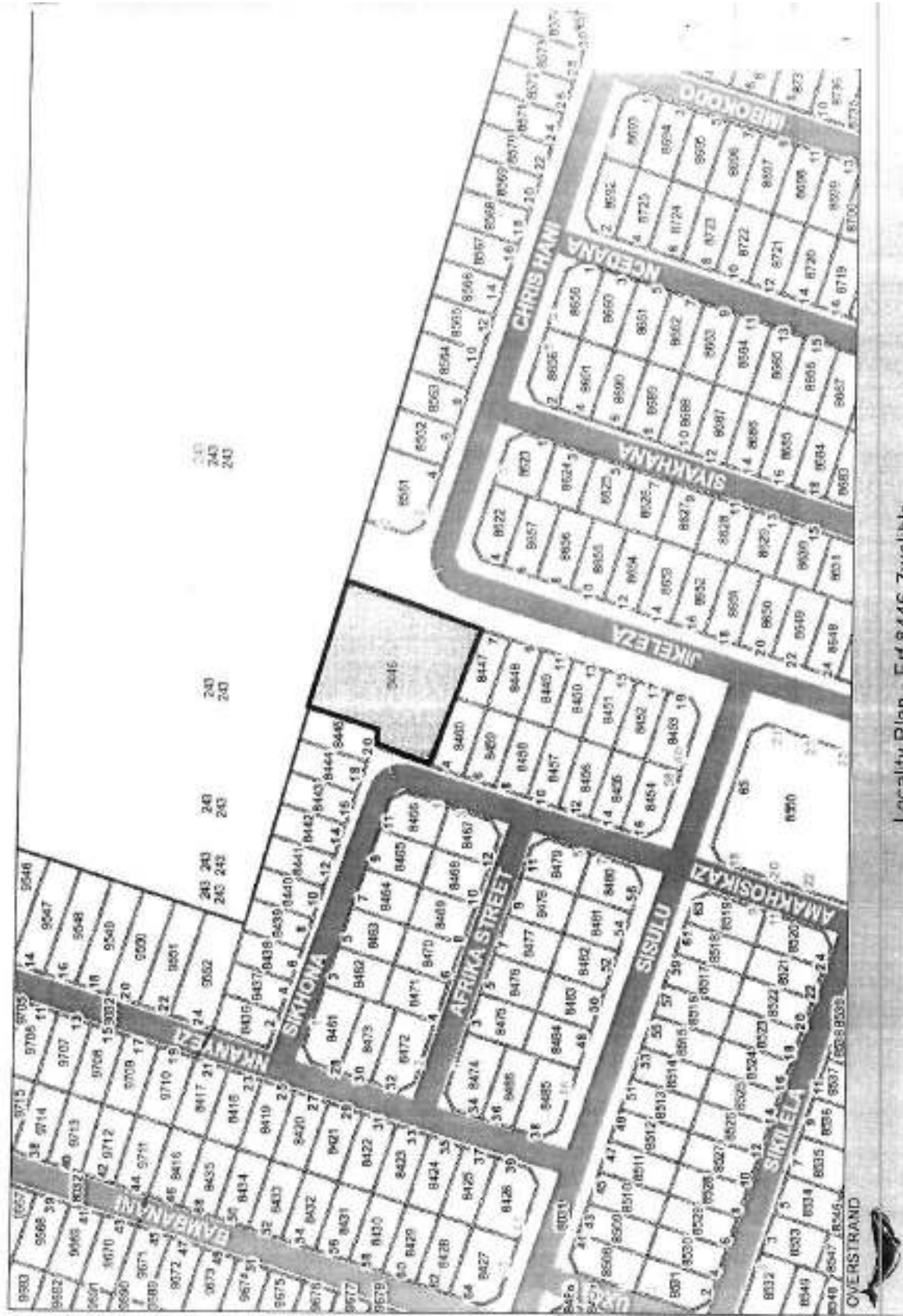
An application has been received on 18 June 2018 from SP Von Wielligh on behalf of the Old Apostolic Church of South Africa on Erf 8446, Zwelihle for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the western lateral building line from 5m to 2,72m to accommodate a proposed ablution facility to the existing church building.

RESOLVED :

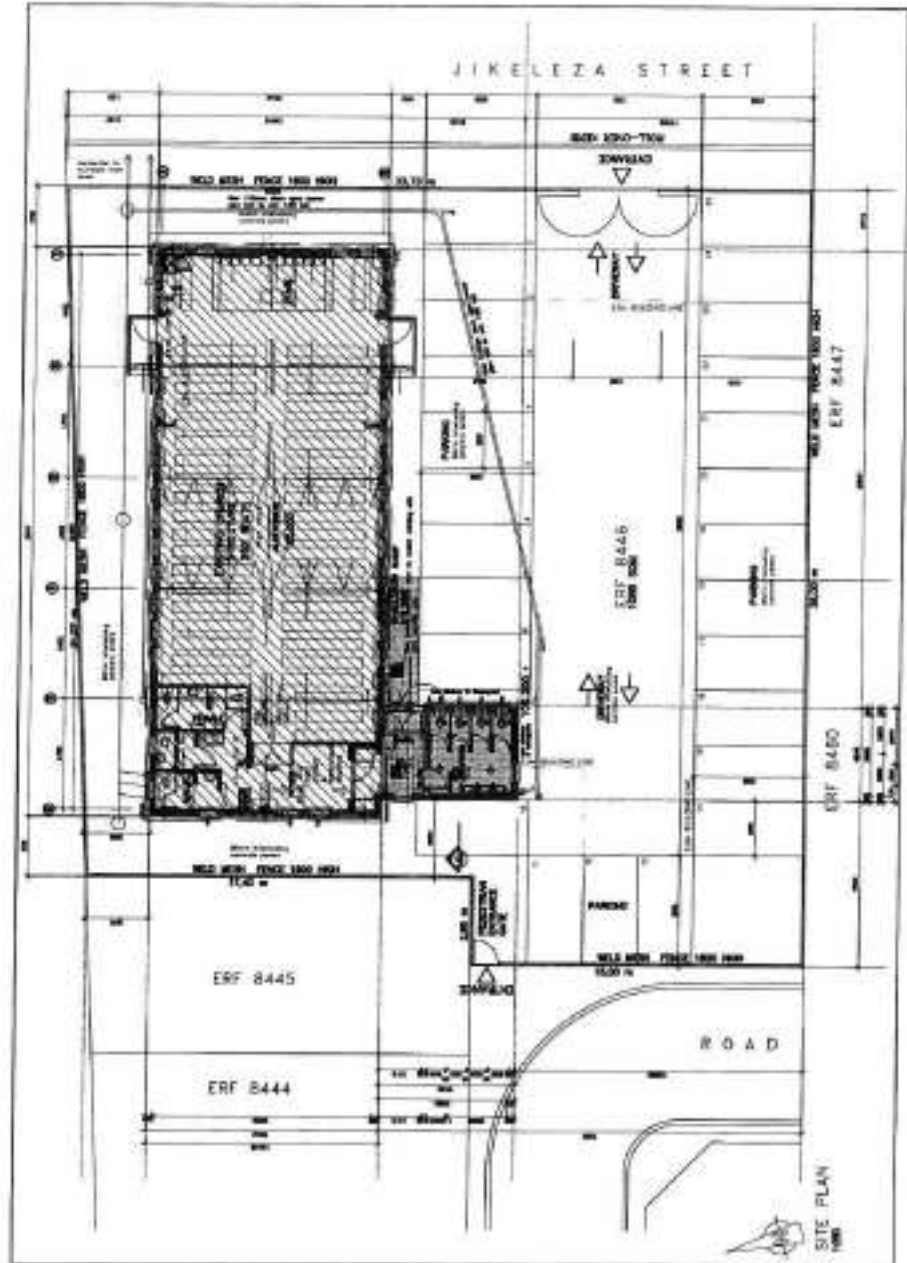
1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 8446, Zwelihle in order to relax the western lateral building line from 5m to 2,72m to accommodate a proposed ablution facility to the existing church building, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plans dated June 2018, submitted with the application by the architects;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with, and
 - (f) that all the conditions imposed by Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of

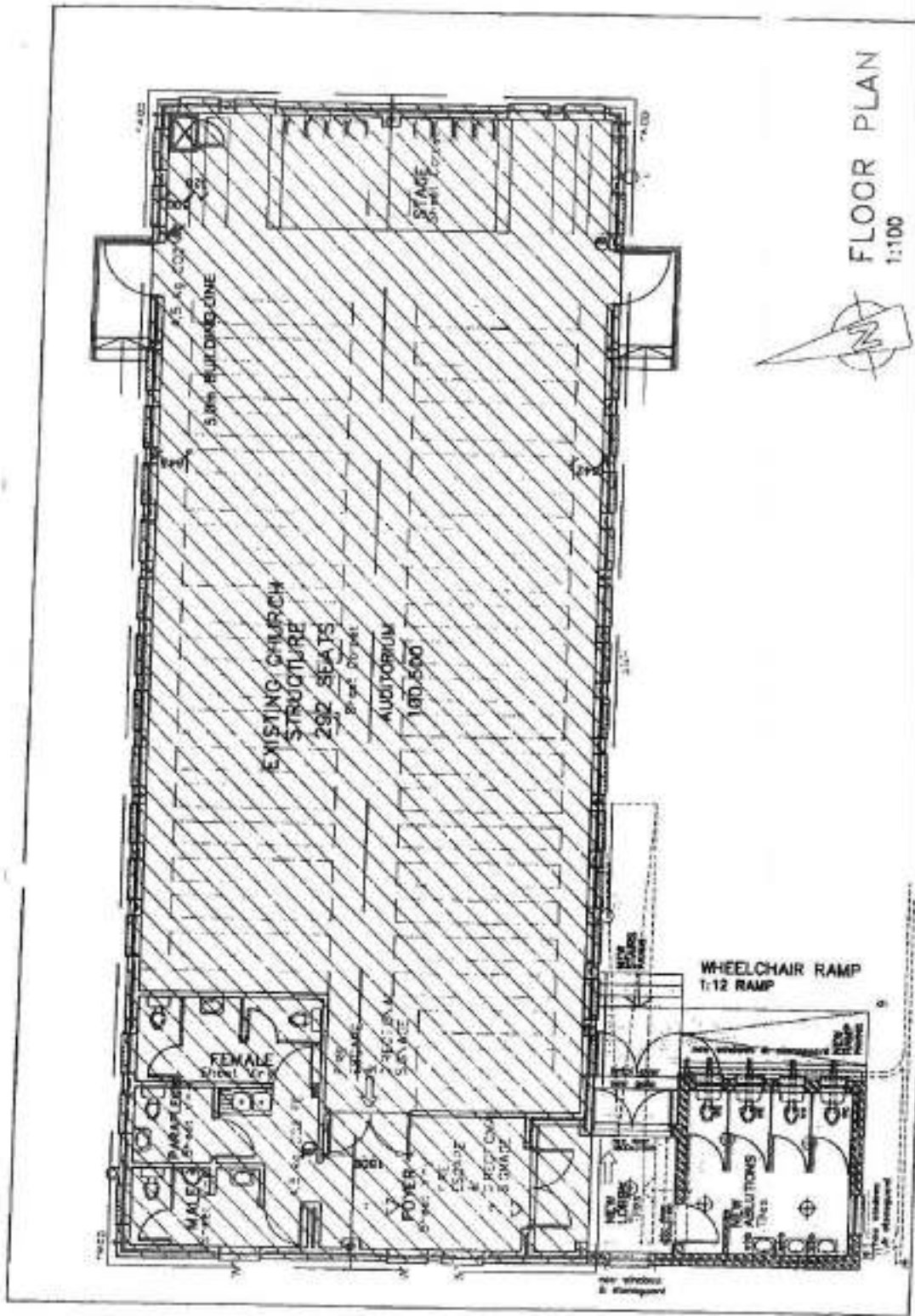
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



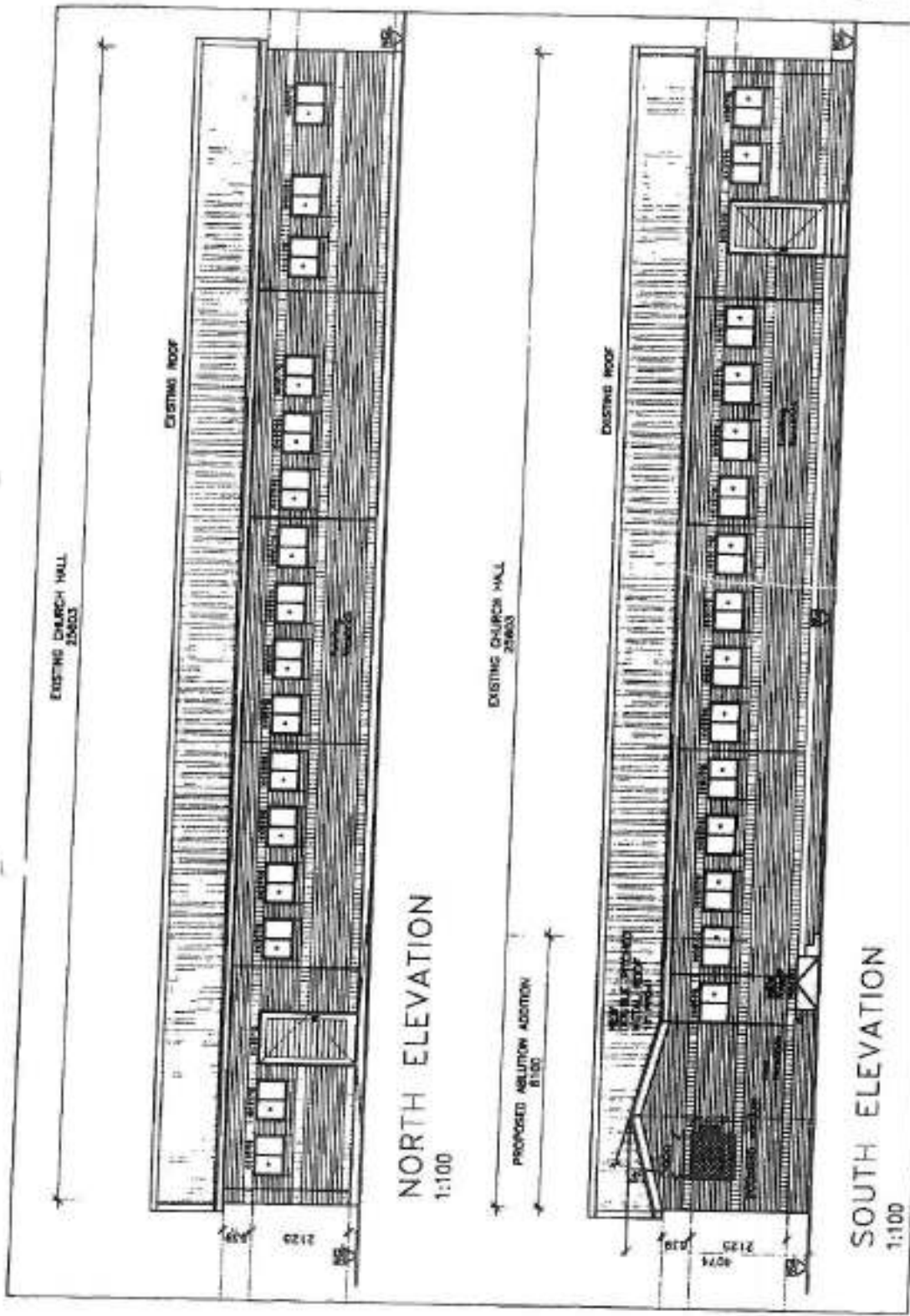
Locality Plan - Ff 8446 Twelike

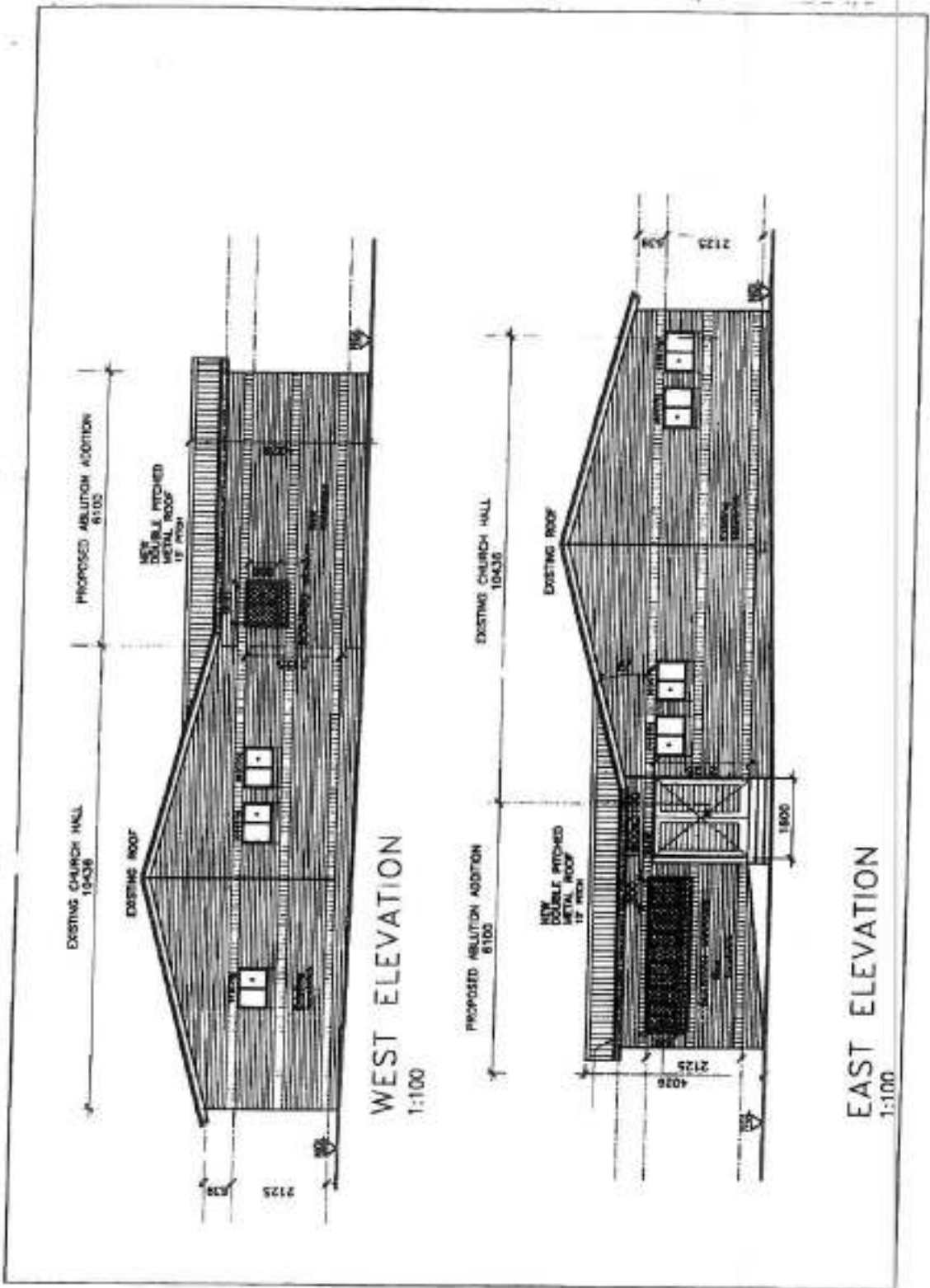


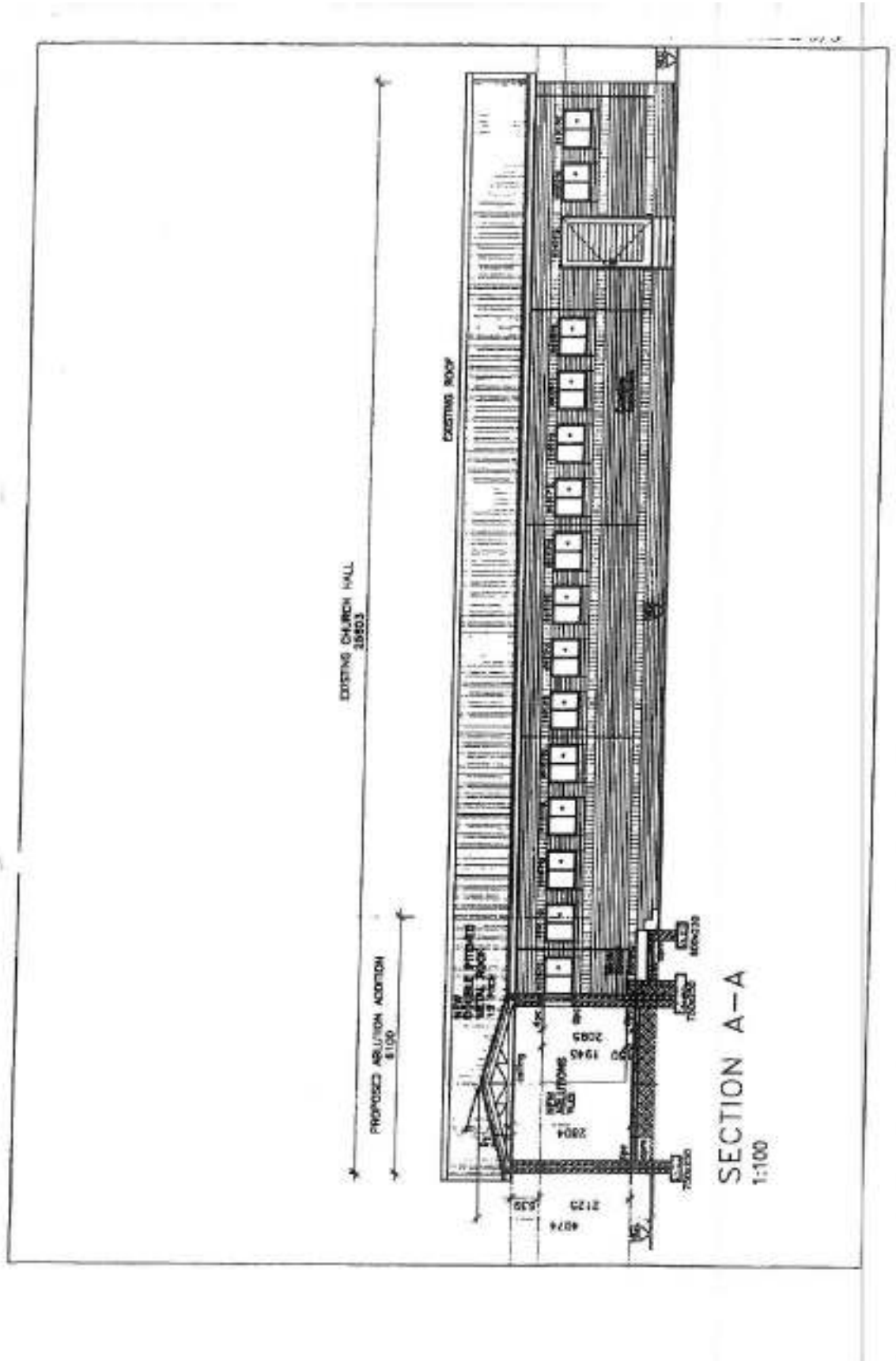


FLOOR PLAN
1:100









**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 8446, ZWELIHLE (4048)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 8446, Zwelihle, unobstructed;
5. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

15. ERF 2282, 2A BUITEN STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: LA SMITH

2282 SSS (3901)

P Roux

(028) 313 8900

Hermanus Administration

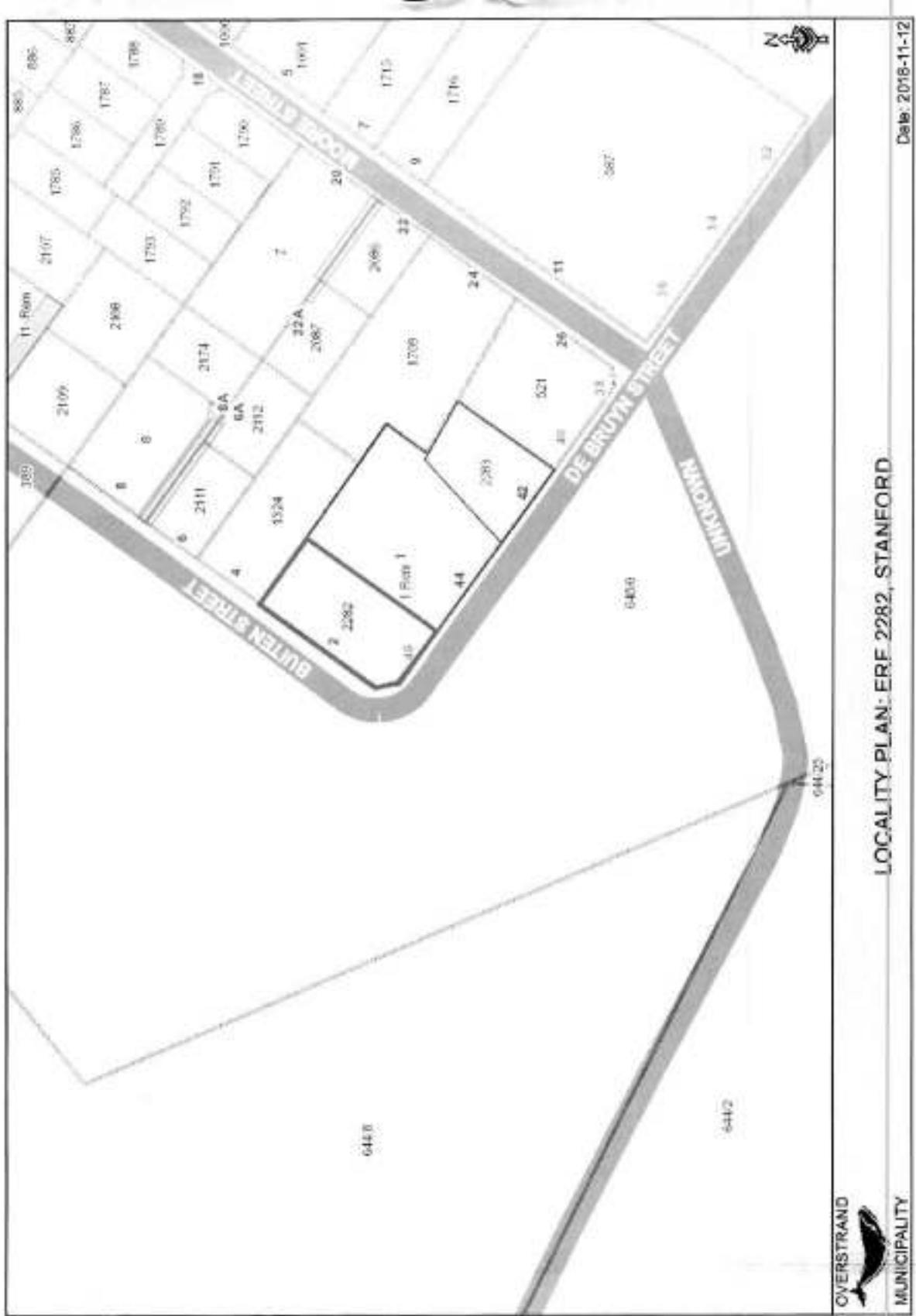
3 October 2018

Executive Summary

To consider an application received on 28 June 2018 from Lee-Ann Smith the owner of Erf 2282, Stanford for a departure in terms of Section 16(2)(b) in order to relax the street building line from 4m to 3,94m and 0,99 respectively to convert the existing garage to a second dwelling.

RESOLVED :

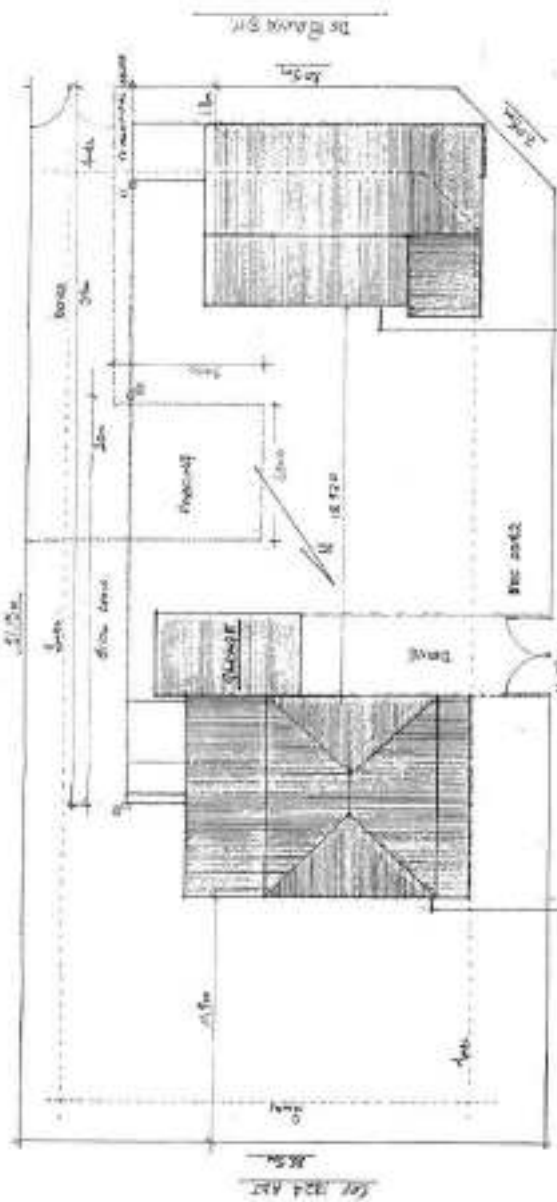
1. that, in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 2282, Stanford to relax the street building line from 4m to 3,94m and 0,99 respectively to convert the existing garage to a second dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan, as submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions compiled by the Fire Department, be complied with, and
 - (f) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN: ERF 2282, STAMFORD

Date: 2016-11-12

BRUNNEN MIT 2. ABZUG



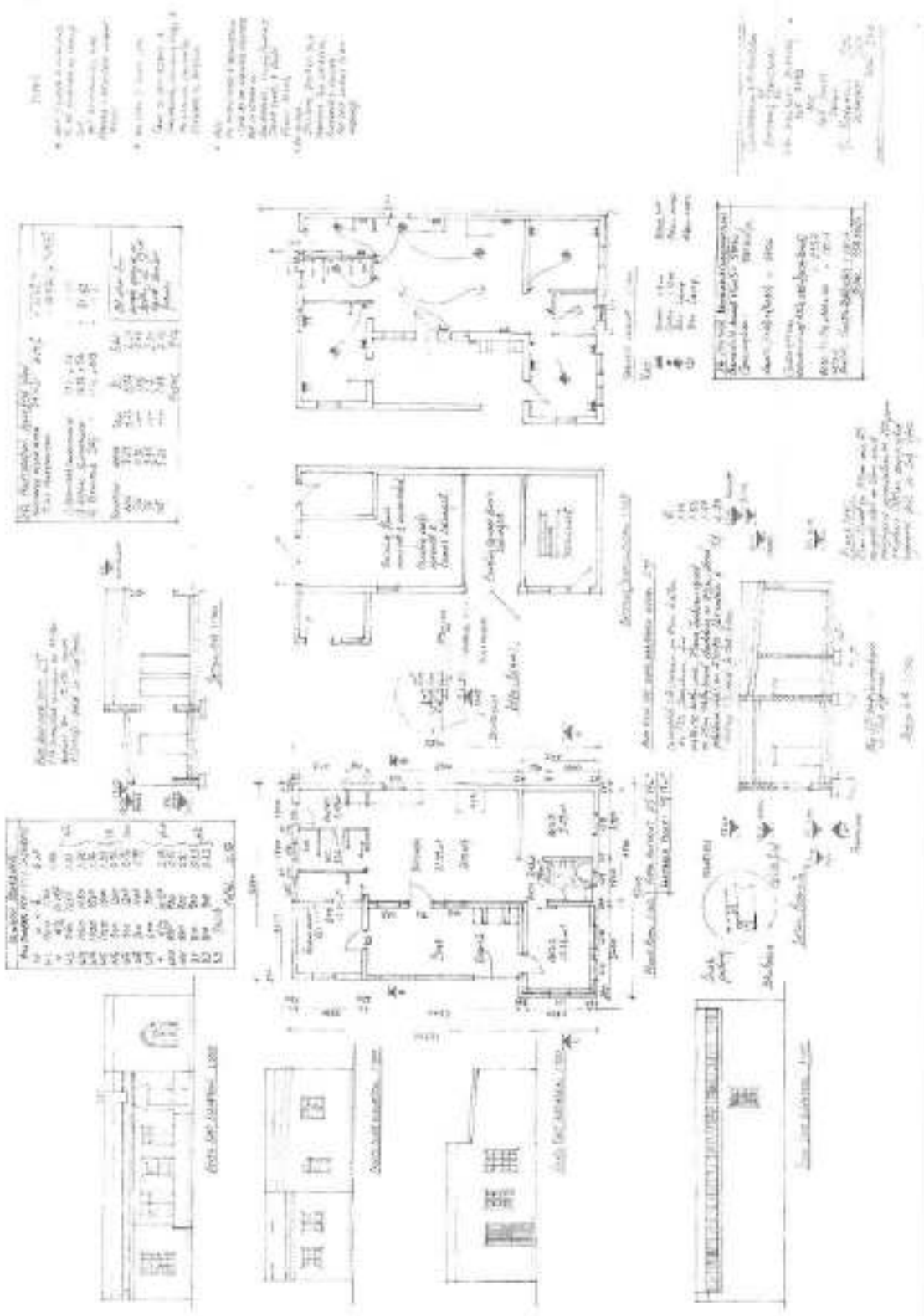
BRUNNEN MIT 2. ABZUG
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BRUNNEN MIT 2. ABZUG



1. All work to be done in accordance with the specifications and drawings. 2. The contractor shall be responsible for obtaining all necessary permits and licenses. 3. The contractor shall maintain access to all adjacent properties at all times. 4. The contractor shall be responsible for the safety of all workers and the public. 5. The contractor shall be responsible for the removal and disposal of all debris and waste. 6. The contractor shall be responsible for the protection of all existing utilities and structures. 7. The contractor shall be responsible for the completion of all work within the specified time frame. 8. The contractor shall be responsible for the payment of all subcontractors and suppliers. 9. The contractor shall be responsible for the maintenance of all records and documents related to the project. 10. The contractor shall be responsible for the coordination of all work with the architect and other stakeholders.

Room Schedule

Room	Area (sq. ft.)	Volume (cu. ft.)	Notes
Living Room	1200	36000	Open to dining room
Dining Room	800	24000	Open to living room
Kitchen	600	18000	Includes breakfast room
Bedroom 1	1000	30000	Master bedroom
Bedroom 2	800	24000	
Bedroom 3	700	21000	
Bathroom	400	12000	Master bathroom
Hall	200	6000	
Staircase	100	3000	
Utility Room	150	4500	
Garage	1000	30000	Attached garage
Total	7650	229500	

Notes

1. All work to be done in accordance with the specifications and drawings.
2. The contractor shall be responsible for obtaining all necessary permits and licenses.
3. The contractor shall maintain access to all adjacent properties at all times.
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7. The contractor shall be responsible for the completion of all work within the specified time frame.
8. The contractor shall be responsible for the payment of all subcontractors and suppliers.
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Bathroom	400	12000	Master bathroom
Hall	200	6000	
Staircase	100	3000	
Utility Room	150	4500	
Garage	1000	30000	Attached garage
Total	7650	229500	



Notes

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8. The contractor shall be responsible for the payment of all subcontractors and suppliers.
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Notes

1. All work to be done in accordance with the specifications and drawings.
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5. The contractor shall be responsible for the removal and disposal of all debris and waste.
6. The contractor shall be responsible for the protection of all existing utilities and structures.
7. The contractor shall be responsible for the completion of all work within the specified time frame.
8. The contractor shall be responsible for the payment of all subcontractors and suppliers.
9. The contractor shall be responsible for the maintenance of all records and documents related to the project.
10. The contractor shall be responsible for the coordination of all work with the architect and other stakeholders.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2282, STANFORD (3901)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2282, Stanford, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

30/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

16. ERF 2142, 19 FOURTH AVENUE, HERMANUS (VOËLKLIP): APPLICATION FOR DEPARTURE: MESSRS ENGELBRECHT & SCORGIE ON BEHALF OF S & HM PIENAAR

2142 HVK (3889)

H Boshoff

(028) 313 8900

Hermanus Administration

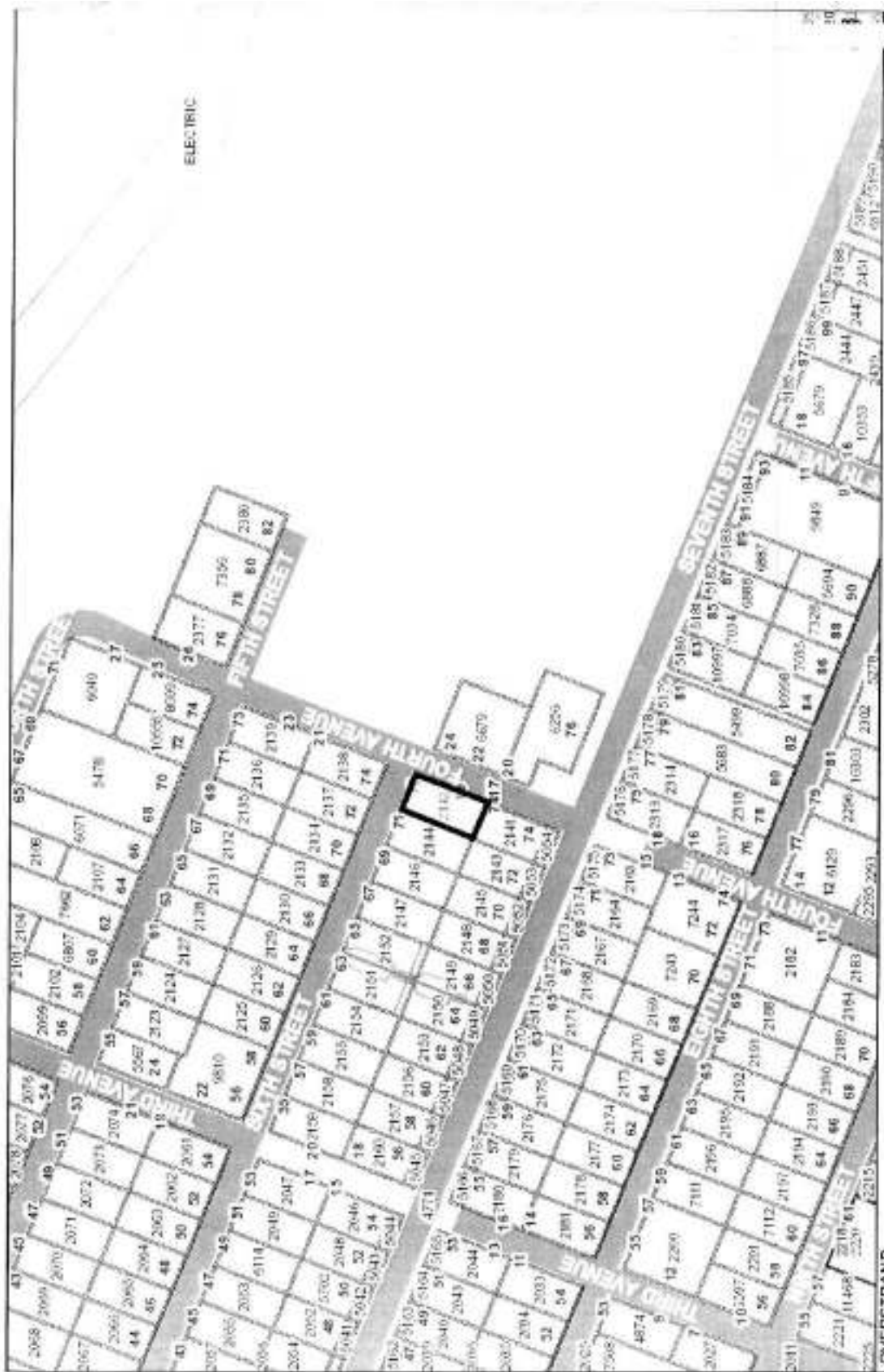
30 October 2018

Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 21 December 2017 from Messrs Engelbrecht & Scorgie applicable to Erf 2142, Hermanus (Voëlklip) for the relaxation of the southern lateral building line from 2m to 0m to accommodate a tandem garage.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2142, Hermanus to relax the southern lateral building line from 2m to 0m to accommodate a tandem garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on Plan Number erf2412-PIENAAR_03-Rev0 dated 15 December 2017, which was submitted with the application;
 - (b) that the conditions of the Engineering Services, be adhered to;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department at that stage be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ET 2142 Voëklip

Date: 2017-12-28



NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS THROUGHOUT THE PROJECT.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

PROJECT INFORMATION:

Project Name: **WATER UTILIZATION**
 Project Location: **1000 10TH AVE, DENVER, CO 80202**
 Project No: **2023-001**
 Date: **10/26/2023**

DESIGNER: **Architect's Office**
 1000 10TH AVE, DENVER, CO 80202
 (303) 555-1234

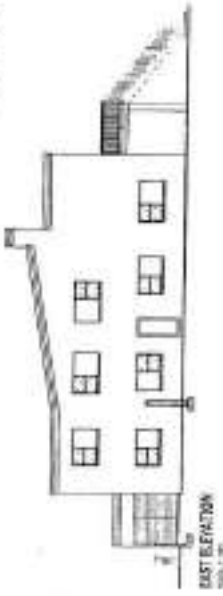
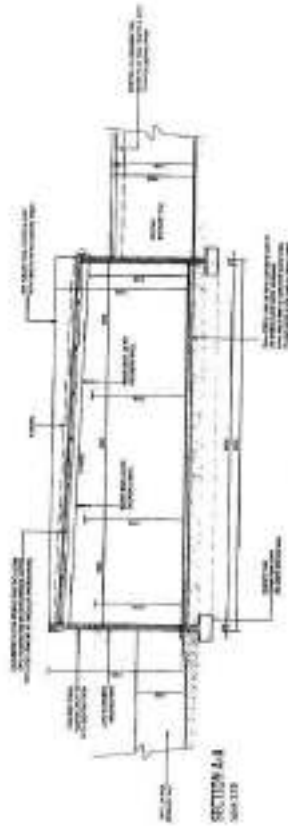
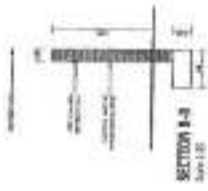
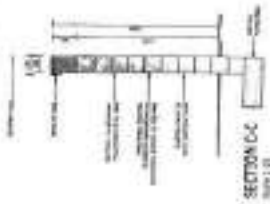
CLIENT: **WATER UTILIZATION**
 1000 10TH AVE, DENVER, CO 80202
 (303) 555-1234

SCALE: **AS SHOWN**

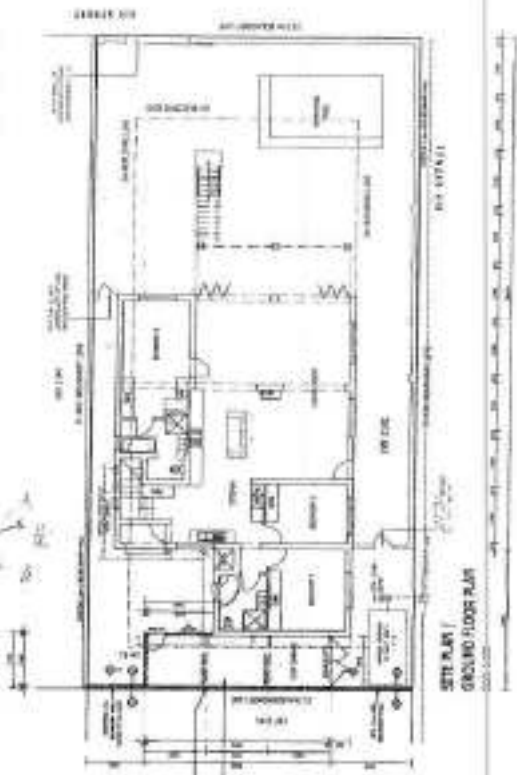
DATE: **10/26/2023**

PROJECT NO: **2023-001**

DATE: **10/26/2023**



SYMBOL	DESCRIPTION
(Symbol)	CONCRETE
(Symbol)	STEEL
(Symbol)	WOOD
(Symbol)	GLASS
(Symbol)	MECHANICAL
(Symbol)	ELECTRICAL
(Symbol)	PLUMBING
(Symbol)	LANDSCAPE
(Symbol)	ASPH/FLT
(Symbol)	EIFS
(Symbol)	EIFS OVER SHEET
(Symbol)	EIFS OVER CONCRETE
(Symbol)	EIFS OVER CMU
(Symbol)	EIFS OVER BRICK
(Symbol)	EIFS OVER STUCCO
(Symbol)	EIFS OVER GYP BOARD
(Symbol)	EIFS OVER INSULATION
(Symbol)	EIFS OVER METAL
(Symbol)	EIFS OVER WOOD
(Symbol)	EIFS OVER STUCCO
(Symbol)	EIFS OVER GYP BOARD
(Symbol)	EIFS OVER INSULATION
(Symbol)	EIFS OVER METAL
(Symbol)	EIFS OVER WOOD



COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2142, VOELKLIP (3889)

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2142, Voelklip, unobstructed;
5. that no on-street parking be allowed.

pp R Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

20/05/2018
 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- 17. REMAINDER ERF 2503 AND ERF 2505, 116 AND 114 ELEVENTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSOLIDATION: MESSRS VAN BRAKEL PROFESSIONAL PLANNING & PROPERTY SERVICES ON BEHALF OF “THE TRUSTEES OF THE TIME BEING OF METSELAAR TRUST”**

2503 & 2505 HVK (4010)

**S van der Merwe
30 October 2018**

(028) 313 8900

Hermanus Administration

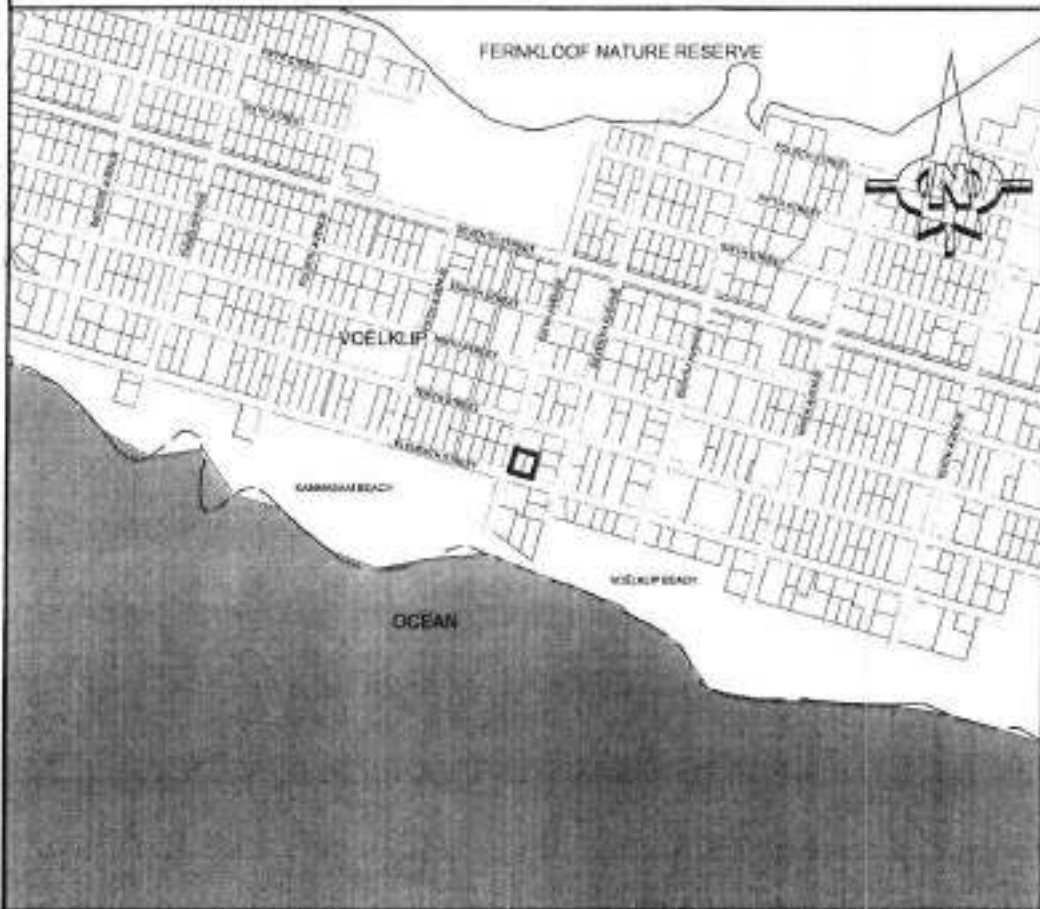
Executive Summary

An application in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 18 May 2018 from Messrs Van Brakel Professional Planning & Property Services for the consolidation of Remainder Erf 2503 and Erf 2505, Hermanus.

RESOLVED :

1. that the application in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the consolidation of Remainder Erf 2503 and Erf 2505, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (b) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (c) that all the relevant conditions of the Engineering Services and Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

LOCALITY PLAN



LEGEND

 APPLICATION SITE

REMAINDER OF ERF 2303 AND ERF 2505

HERMANUS

Date: APRIL 2018 Scale 1:20 000 Ref: 9488/1



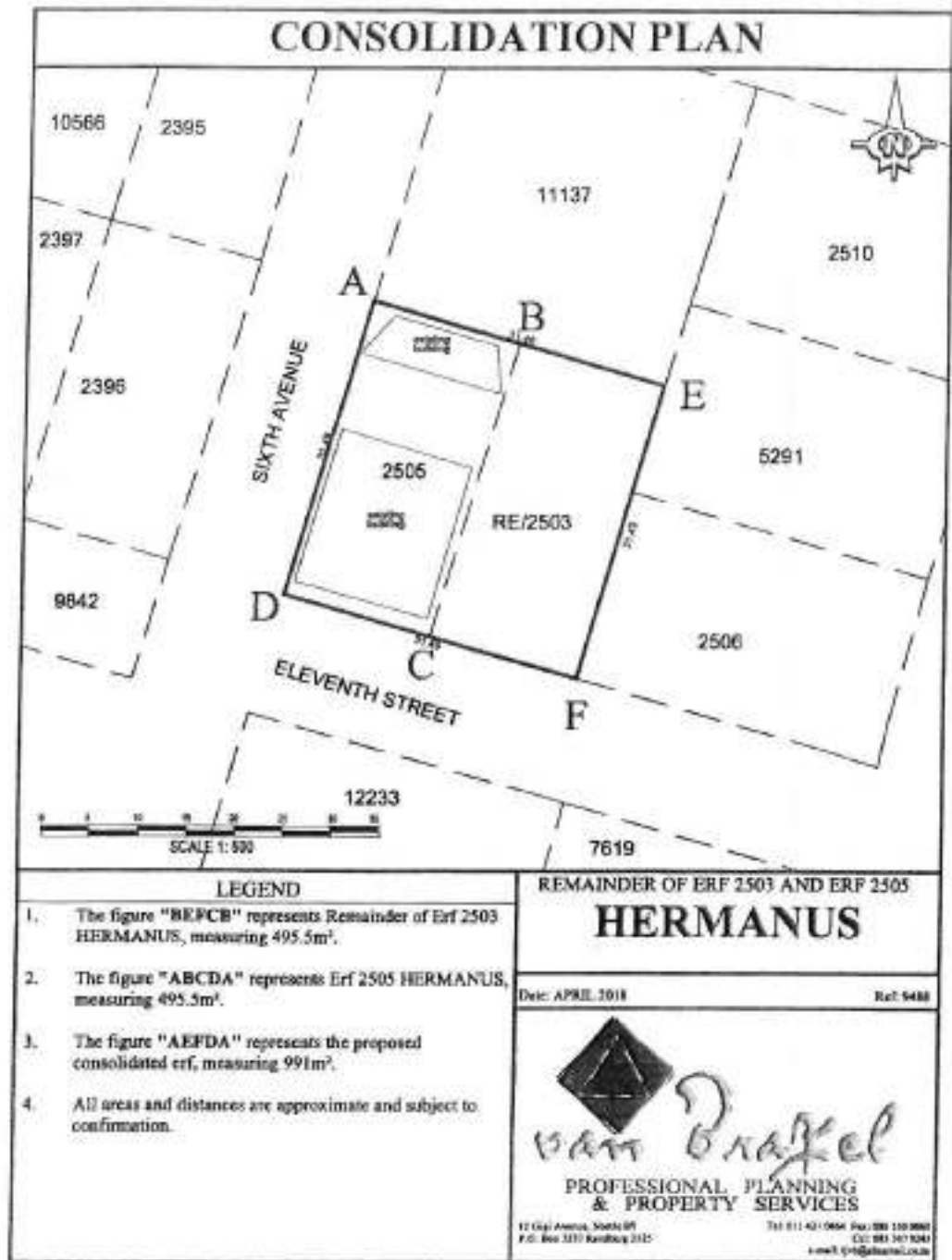
12 Cyp Avenue, Portlouis Tel: 011 431 9494 Fax: 086 550 9600
 P.O. Box 1207 SeaWay 2125 Cell: 083 337 3319
 e-mail: info@vangraaf.co.za



Even 2503 & 2505 Hermanus

Date: 2018-03-25





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: ERVEN 2503 & 2505, VOELKLIP (**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager, Hermanus for written approval;
5. that stormwater be allowed to discharge through proposed erven, Voelklip, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

Dennis Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

17/03/2019
 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

18. PORTIONS 50 AND 51 OF THE FARM WOLVEN GAT NO. 297, DIVISION BREDASDORP, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSOLIDATION: MESSRS TOWN & COUNTRY CREATIVE LAND SOLUTIONS ON BEHALF OF ONICASAT (PTY) LTD

Ptn 50 & 51/297 GRBRE (4086)

SW van der Merwe

(028) 313 8900

Hermanus Administration

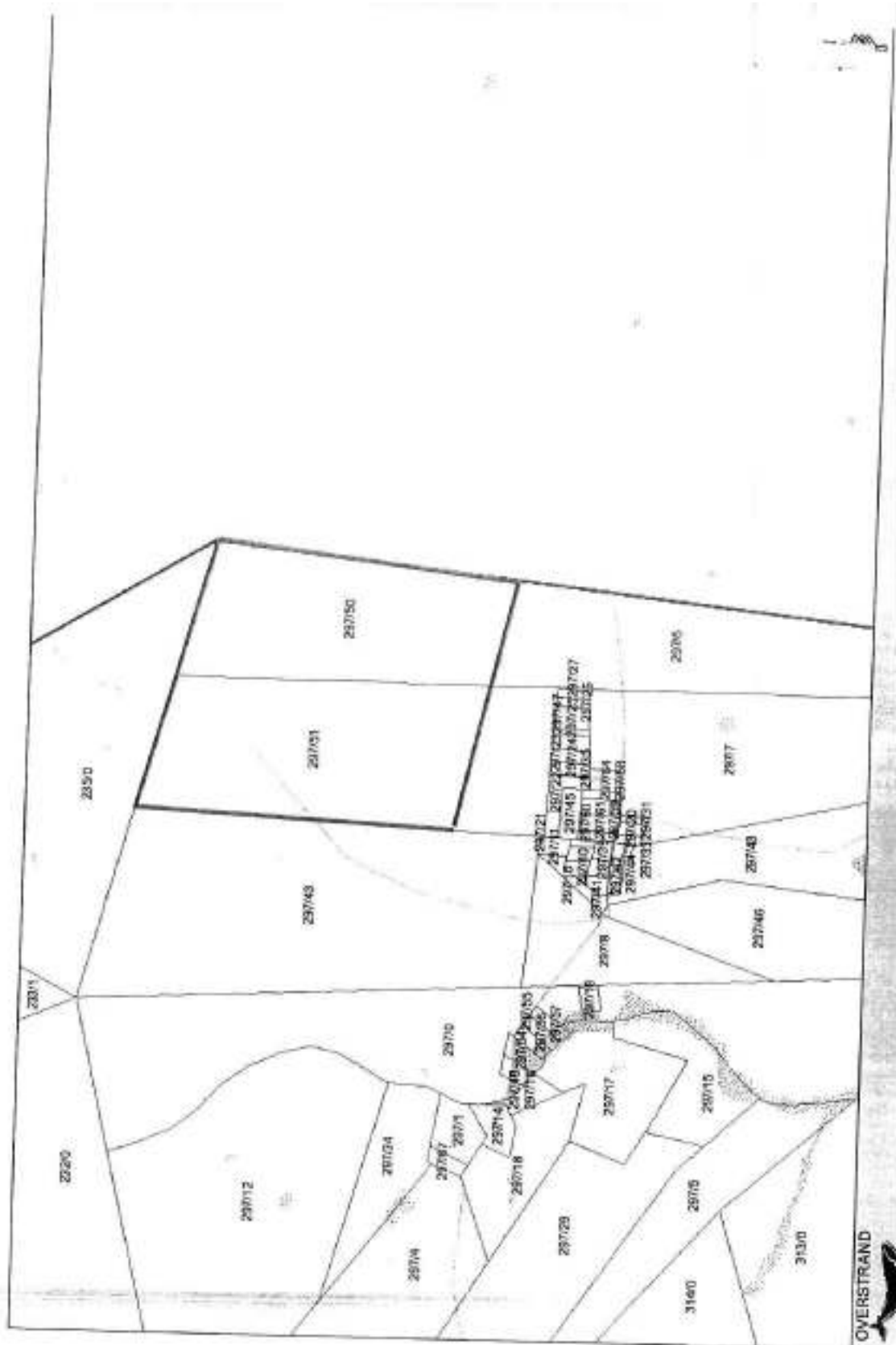
9 November 2018

Executive Summary

To consider an application received on 10 July 2018 from Messrs Town and Country Creative Land Solutions on behalf of the owner, Onicasat (Pty) Ltd, in terms of Section 16(2)(e) of the Overstrand Municipal By-Law on Land Use Planning, 2015 for the consolidation of Portion 50 and 51 of the Farm Wolven Gat No. 297 in order to create a consolidated property measuring 442,267 ha in extent.

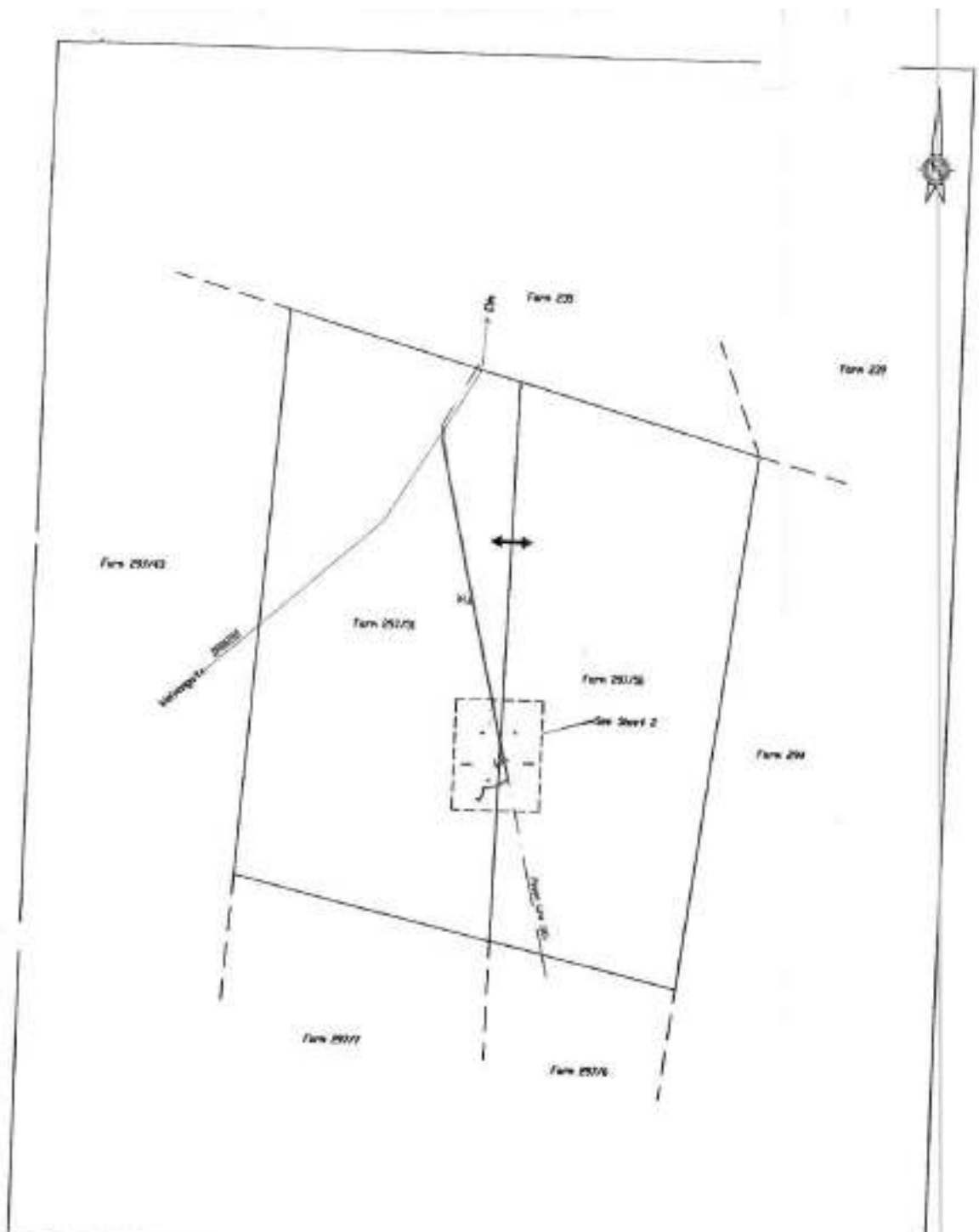
RESOLVED :


1. that the application for the consolidation of Portion 50 of the Farm Wolven Gat No. 297, Division Bredasdorp with Portion 51 of the Farm Wolven Gat No. 297, Division Bredasdorp to create a consolidated property of approximately 422,267 ha in extent, in terms of Sections 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the consolidation as indicated on the Consolidation and Site Development Plan, as submitted with the application;
 - (b) that the conditions compiled in the Services Report, be complied with;
 - (c) that the conditions by Telkom and Fire Services, be complied with, and
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

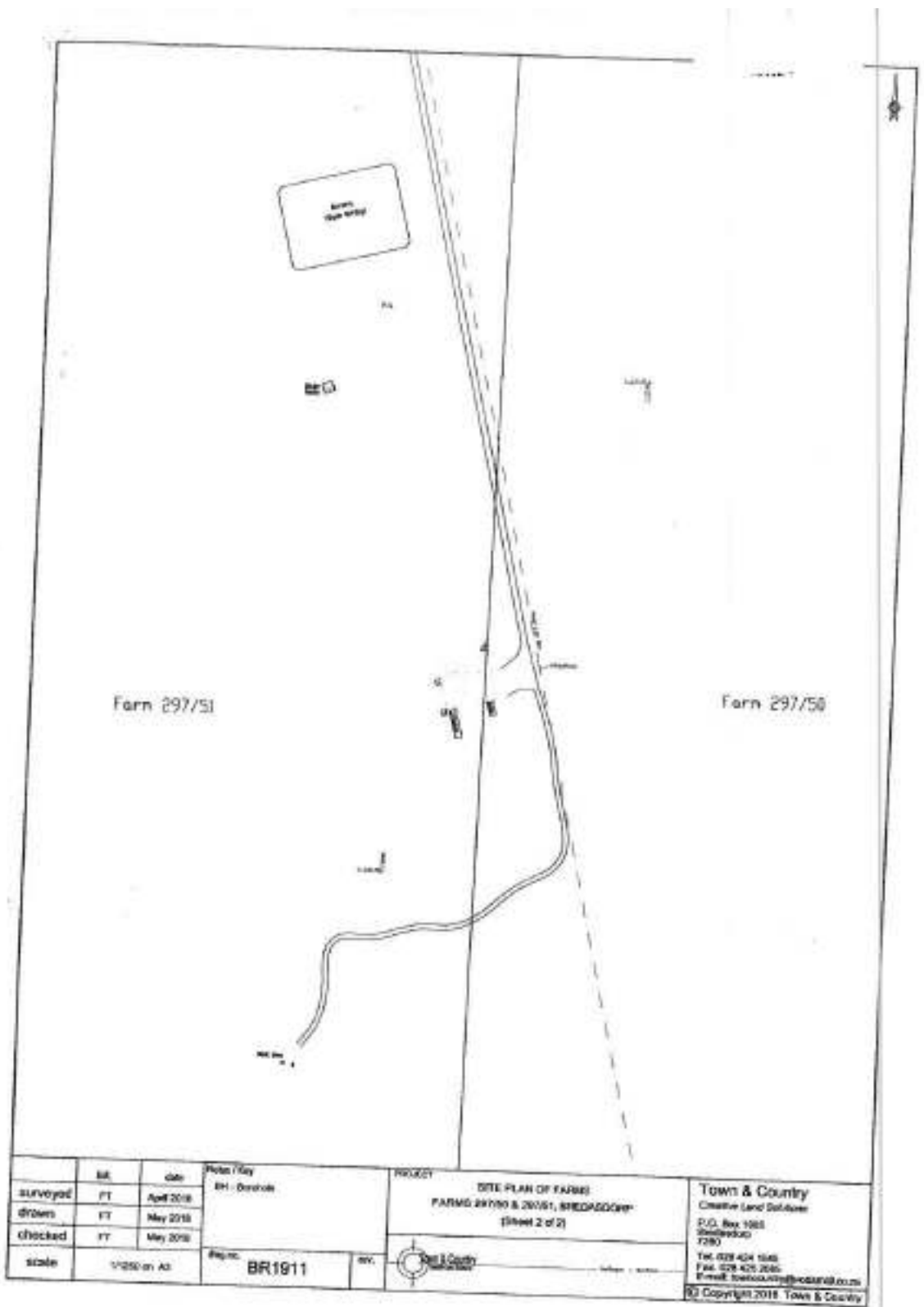


LOCALITY PLAN PORTIONS 50 & 51 OF THE FARM NO. 297





Town & Country Creative Land Solutions P. O. Box 1085 Bredasdorp 7250 Tel. 028 424 1545 Fax. 028 425 2055 E-mail: towncountry@vodanet.co.za © Copyright 2018 Town & Country	PROJECT CONSOLIDATION PLAN FARMS 287/50 & 297/51, BREDASDORP	DRAWN FT	CHECKED FT
		SCALE 1:20 000 on A4	DATE May 2018
		DESIGN BR1911	REVIEW
		NOTE All dimensions in metres	



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: PTN 50 & 51 OF THE FARM
WOLVENGAT NO 297 (4086)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water and sewer services from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
6. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma.

pp. M. Ueber
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

17/08/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**19. ERF 1190, 18 MAUREEN STREET, FRANSKRAAL, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: EM NEETHLING**

1190 GFK (3902)

SW van der Merwe

(028) 313 8900

Hermanus Administration

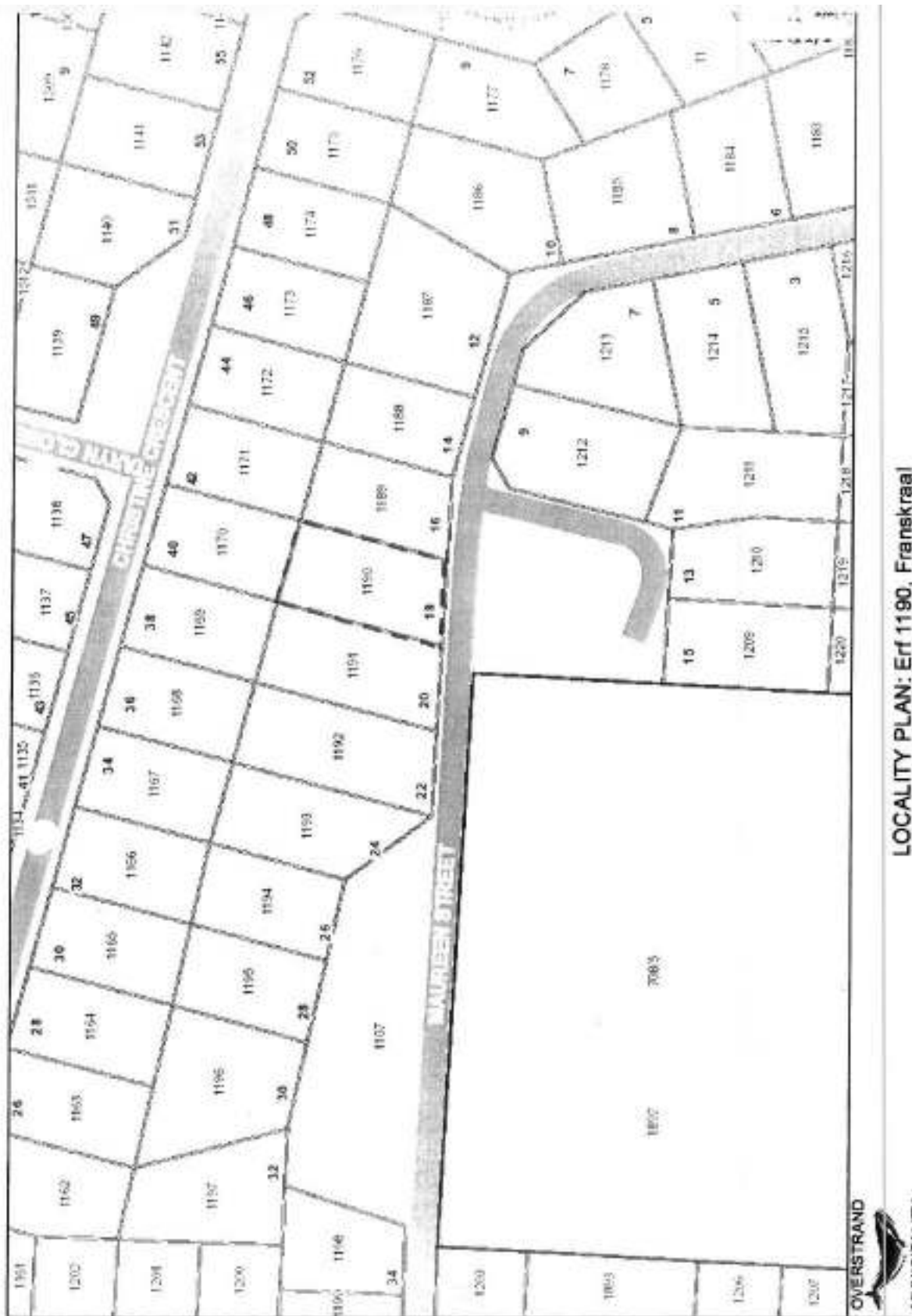
11 October 2018

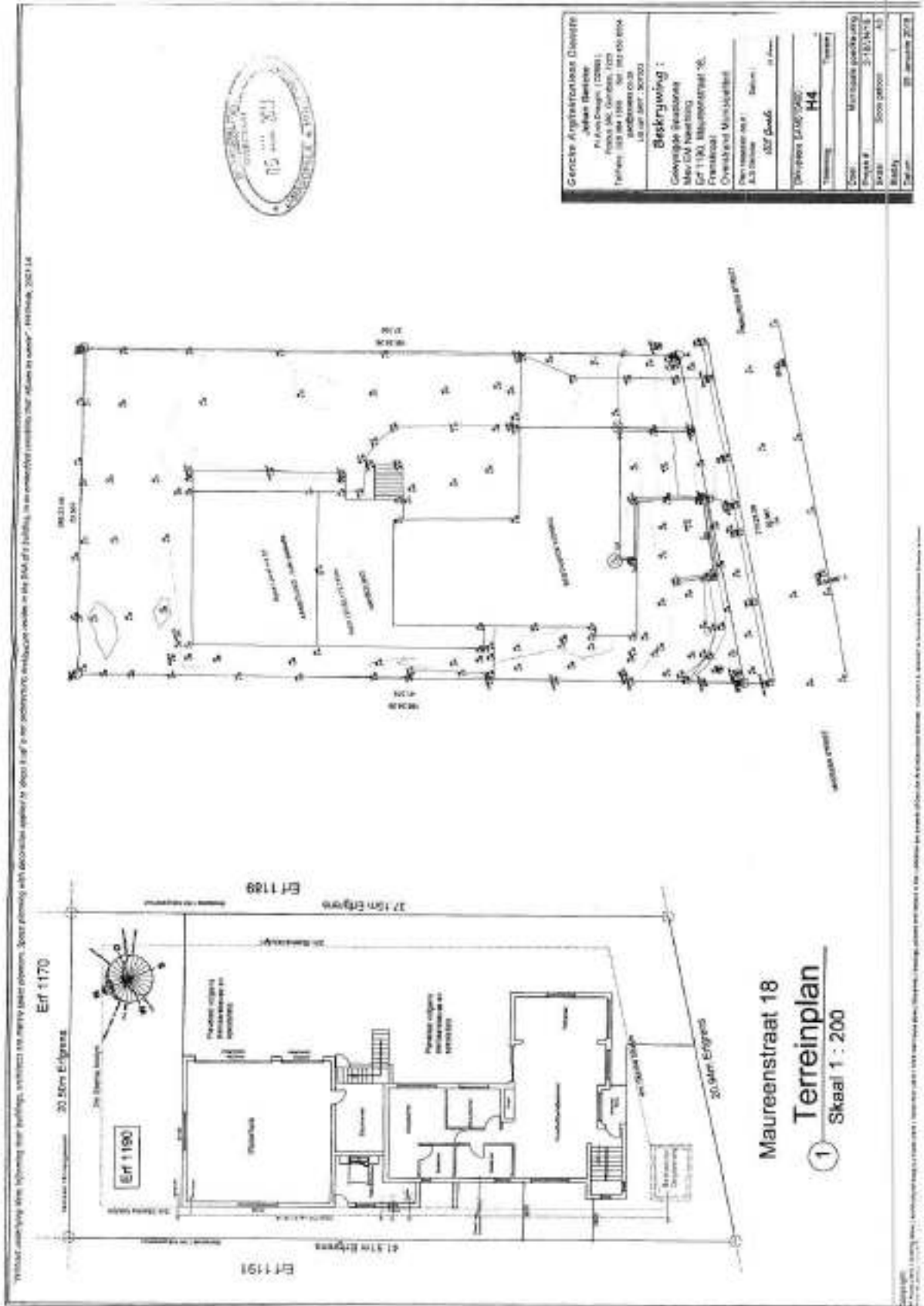
Executive Summary

To consider an application received on 12 July 2018) from EM Neethling, the owner of Erf 1190, Franskraal for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to encroach the 8m height restriction with 0,235m to accommodate an existing addition.

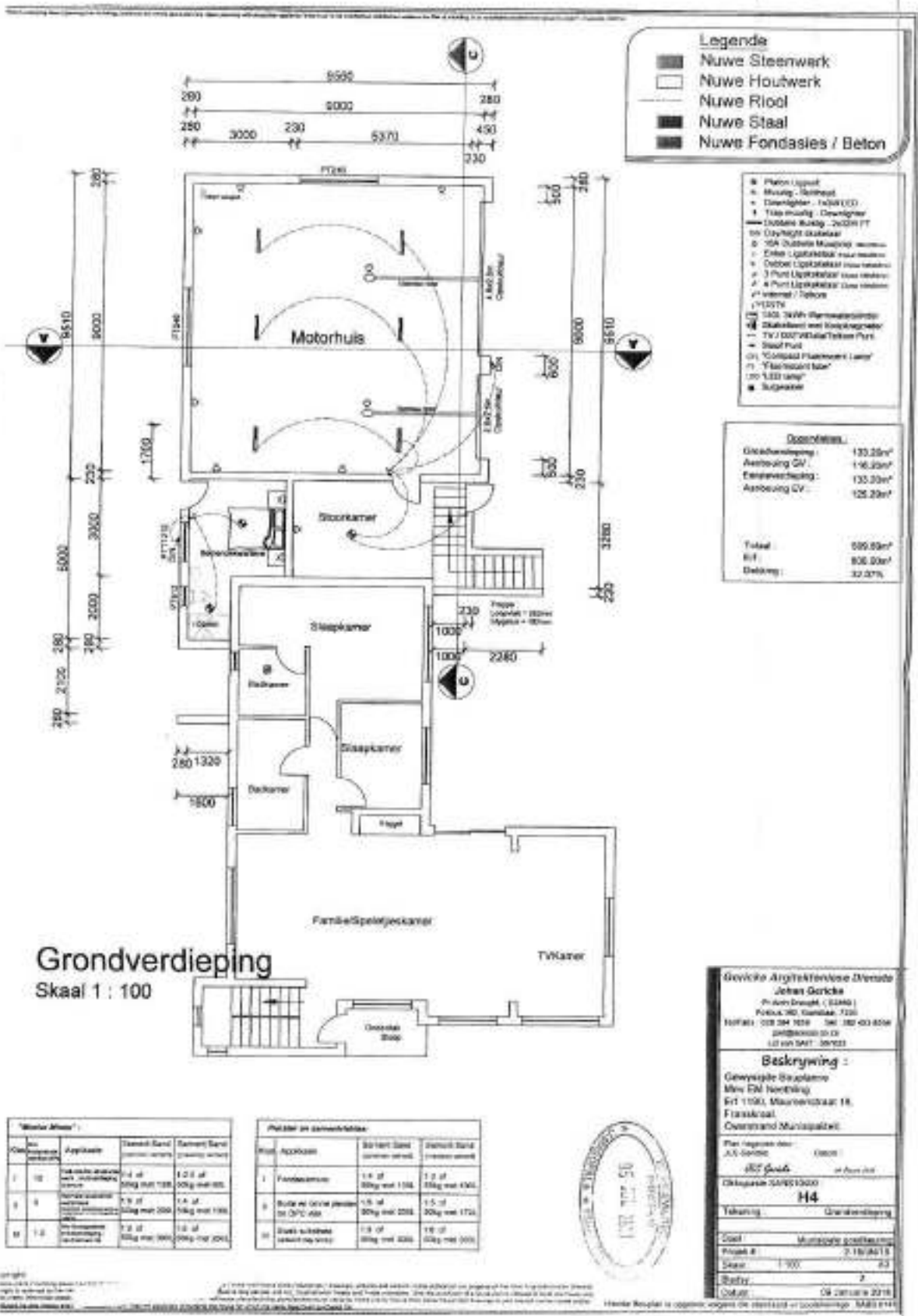
RESOLVED :

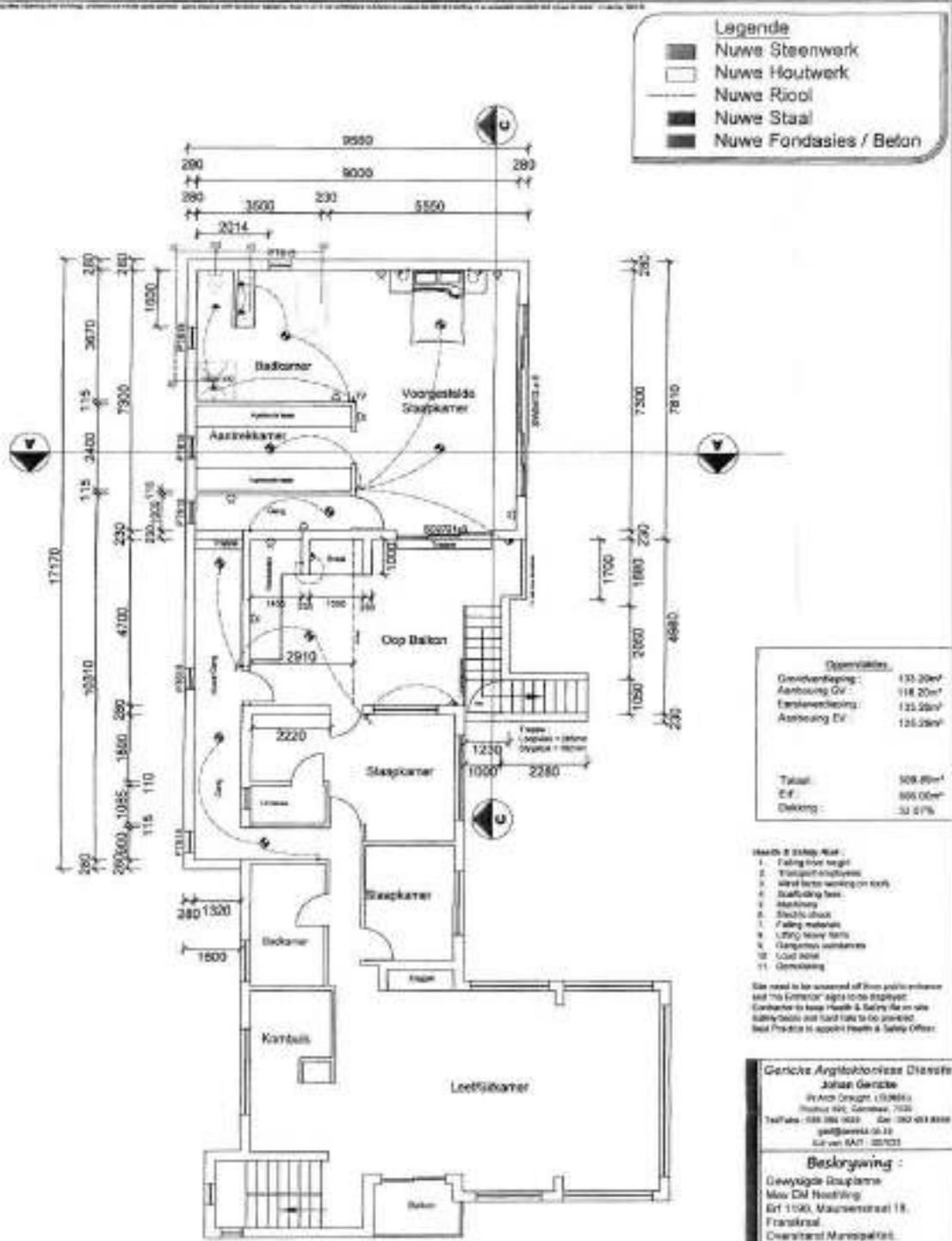
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for departure on Erf 1190, Franskraal in order to encroach the 8m height restriction with 0,235m to accommodate additions to the existing dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval only be applicable for the encroachment indicated on the Site Plan as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





Alle rechten voorbehouden. Het is niet toegestaan dit te kopiëren of te verspreiden. Het is niet toegestaan de afbeeldingen te kopiëren of te verspreiden. Het is niet toegestaan de afbeeldingen te kopiëren of te verspreiden. Het is niet toegestaan de afbeeldingen te kopiëren of te verspreiden.





Eerste verdieping
Skaal 1 : 100

Geniese Argitektoniese Dienste
 Justice Geniecke
 25 Arch Street, 1156614
 Pretoria 001, Centurion, 000
 Tel/Fax: 081 561 9933 or 082 081 8888
 gen@genad.co.za
 Geniecke SA71 227021

Beskriving:
 Geveegde Skoepplanne
 Maa DM Roofing
 Erf 1100, Mairwetherd 18,
 Frankfort
 Oos-Kaapland Munisipaliteit

Plan regstreeks deur:
 A.S. Geniecke Datum: 08 Januarie 2016
 012 Geniecke in Eers verdieping

Ontwerp: SA71/2420
H4

Tekening: Eerste verdieping

Uitsig: Munisipale projektoesigting
 Projektno: 218/2012
 Skaal: 1:100 A1
 Bladsy: 3
 Datum: 08 Januarie 2016

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NOTAS :

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De architect aanvaardt geen aansprakelijkheid voor schade van welke aard ook voortvloeiende uit het gebruik van deze tekening.
De architect aanvaardt geen aansprakelijkheid voor schade van welke aard ook voortvloeiende uit het gebruik van deze tekening.
De architect aanvaardt geen aansprakelijkheid voor schade van welke aard ook voortvloeiende uit het gebruik van deze tekening.
De architect aanvaardt geen aansprakelijkheid voor schade van welke aard ook voortvloeiende uit het gebruik van deze tekening.

Architectuur: **Architectuur Compagny**



Opmerkingen:
Grondvlak: 130,20m²
Afbouwk. vlak: 118,50m²
Ervenopp. 1: 130,20m²
Afbouwk. vlak: 120,20m²

Totaal: 508,50m²
B.F.: 800,00m²
Bouwk. 100%: 30,00%

Genoteerd Architectuur Bureau
Johan Gouda
P.O. BOX 1001 | 1780BA BUREAU
Tel: 0174 413 111
Tel: 0174 413 112
E-mail: info@architectuurcompagny.nl
www.architectuurcompagny.nl

Beslysing :
Gewerkte Bouwaanpak
Van Elk Nooiting
E11 100, Maatregel 18.
Functioneel
Quaantitatief Maatregelen:

Per onderdeel: Dit is een
a.B. Dit is een
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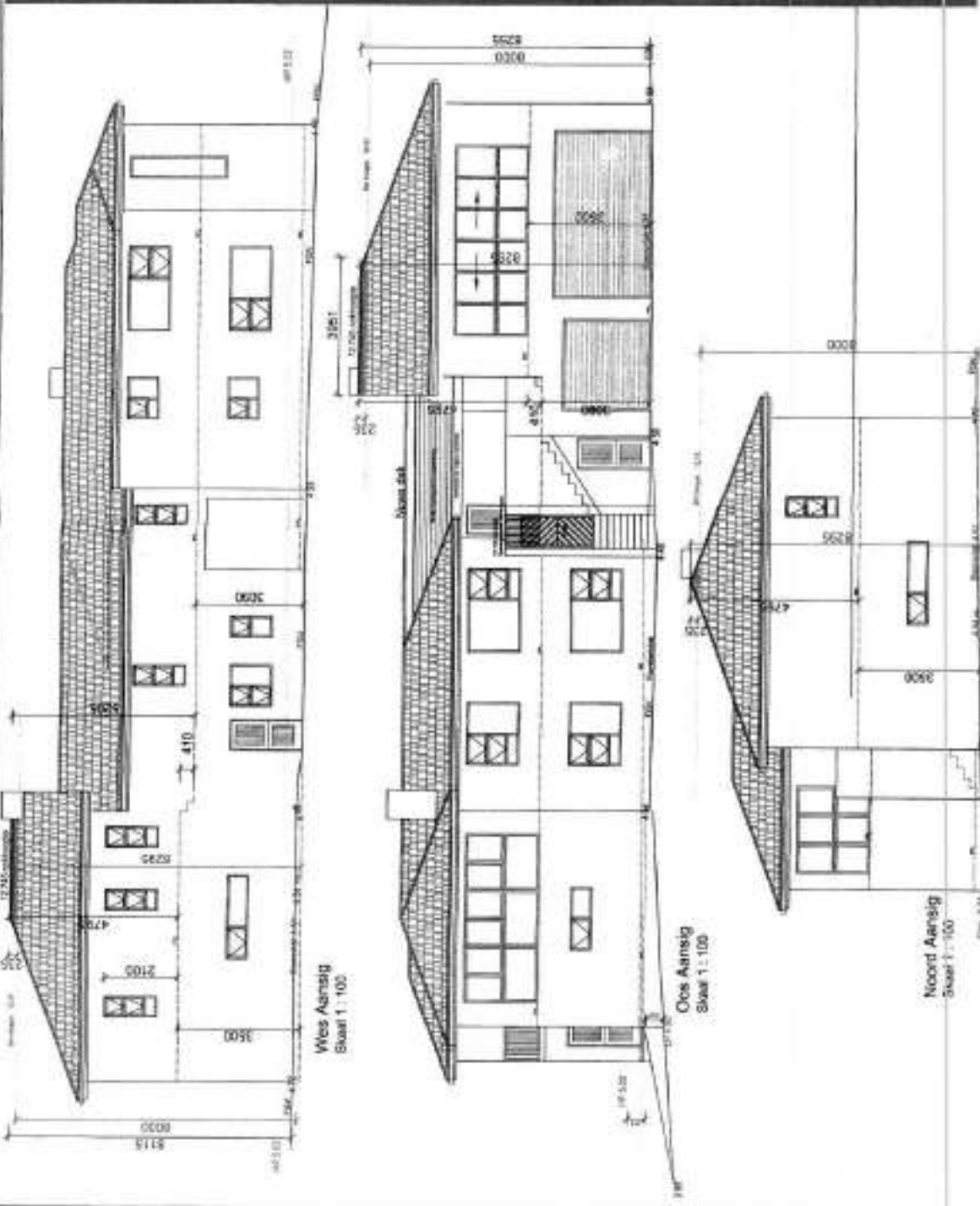
Dikte van de muren: **H4**

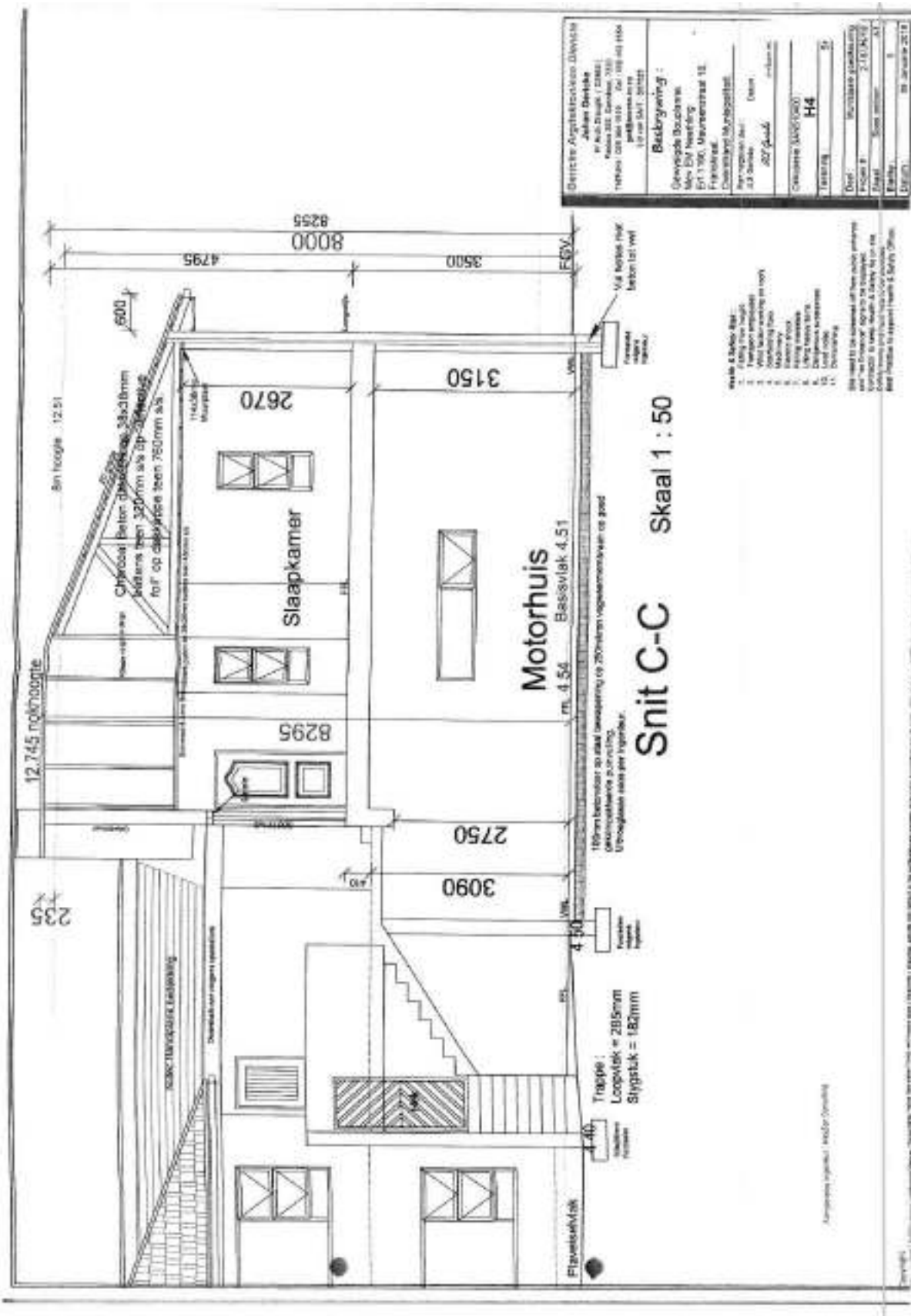
Tekening: **A1**

Laat: **Multiplex gips**

Project n.: **5-10-0117**
Dak: **Steen**

200705
Totaal: **10** 100.000.000





- Legende
1. Waaier
 2. Ventilator
 3. Ventilator met elektriciteit
 4. Ventilator met elektriciteit en water
 5. Ventilator met elektriciteit en water en gas
 6. Ventilator met elektriciteit en water en gas en water
 7. Ventilator met elektriciteit en water en gas en water en water
 8. Ventilator met elektriciteit en water en gas en water en water en water
 9. Ventilator met elektriciteit en water en gas en water en water en water en water
 10. Ventilator met elektriciteit en water en gas en water en water en water en water en water
 11. Ventilator met elektriciteit en water en gas en water en water en water en water en water en water

De afmetingen zijn in millimeter opgegeven. Het is de opdrachtgever te melden dat de afmetingen van de vloerplaat en de trappes niet exact overeenkomen met de afmetingen van de vloer en de trappen. Het is de opdrachtgever te melden dat de afmetingen van de vloerplaat en de trappes niet exact overeenkomen met de afmetingen van de vloer en de trappen.

Bepaalde Architectuur Dienst Johan Dekeke v.w. Brouwer (GBO) v.w. Dekeke (GBO) v.w. Dekeke (GBO) v.w. Dekeke (GBO) v.w. Dekeke (GBO) v.w. Dekeke (GBO) v.w. Dekeke (GBO)	
Beschrijving: Gemeente Brussel M.v. D.V. Bouw E.P. 1.00, M.v. Bouwstr. 10 Brussel	
Periode: 2024-2025 a.d. Bouw	Datum: 2024-03-01
Opdrachtgever: Gemeente Brussel	H4
Deel: Vloerplaat	51
Project: Bouwplan	2024-03-01
Datum: 2024-03-01	51

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1190, FRANSKRAAL (3902)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 1190, Franskraal, unobstructed;
6. that no on-street parking be allowed.

p.p. R. Ockers

DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

17/03/2018

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

20. ERF 2604, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: PROPOSED AMENDMENT OF ARCHITECTURAL DESIGN GUIDELINES: L BODINGTON ON BEHALF OF PEARLY BEACH RESORT HOME OWNERS ASSOCIATION

2604 GPB (3952)

**SW van der Merwe
11 November 2018**

(028) 313 8900

Hermanus Administration

EXECUTIVE SUMMARY

An application has been received on 28 March 2018 from L Bodington on behalf of the Pearly Beach Resort Home Owners Association in terms of Section 16(2)(f) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Architectural Design Guidelines for Pearly Beach Resort.

RECOMMENDATION

1. that the application in terms of Section 47 of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) of an application in terms of Section 16(2)(j) to amend the Architectural Guidelines of Pearly Beach Resort, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the parking areas as per the parking layout, unnumbered drawing, dated 09/2018 be reserved for the use of additional parking;
 - (b) that no accesses to public streets may be created without the prior approval of the municipality; and
 - (c) that the Pearly Beach Home Owners Association be responsible for the management of the parking on the private open spaces within the resort.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

21. ERF 5500, 35 SIXTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION, DEPARTURE AND REGISTRATION OF SERVITUDES: MESSRS PLANACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF NC SMIT

5500 HVK (3932)

S van der Merwe

(028) 313 8900

Hermanus Administration

24 October 2018

Executive Summary

An application applicable to Erf 5500, Hermanus has been received on 6 March 2018 from Messrs PlanActive Town and Regional Planners on behalf of NC Smit for -

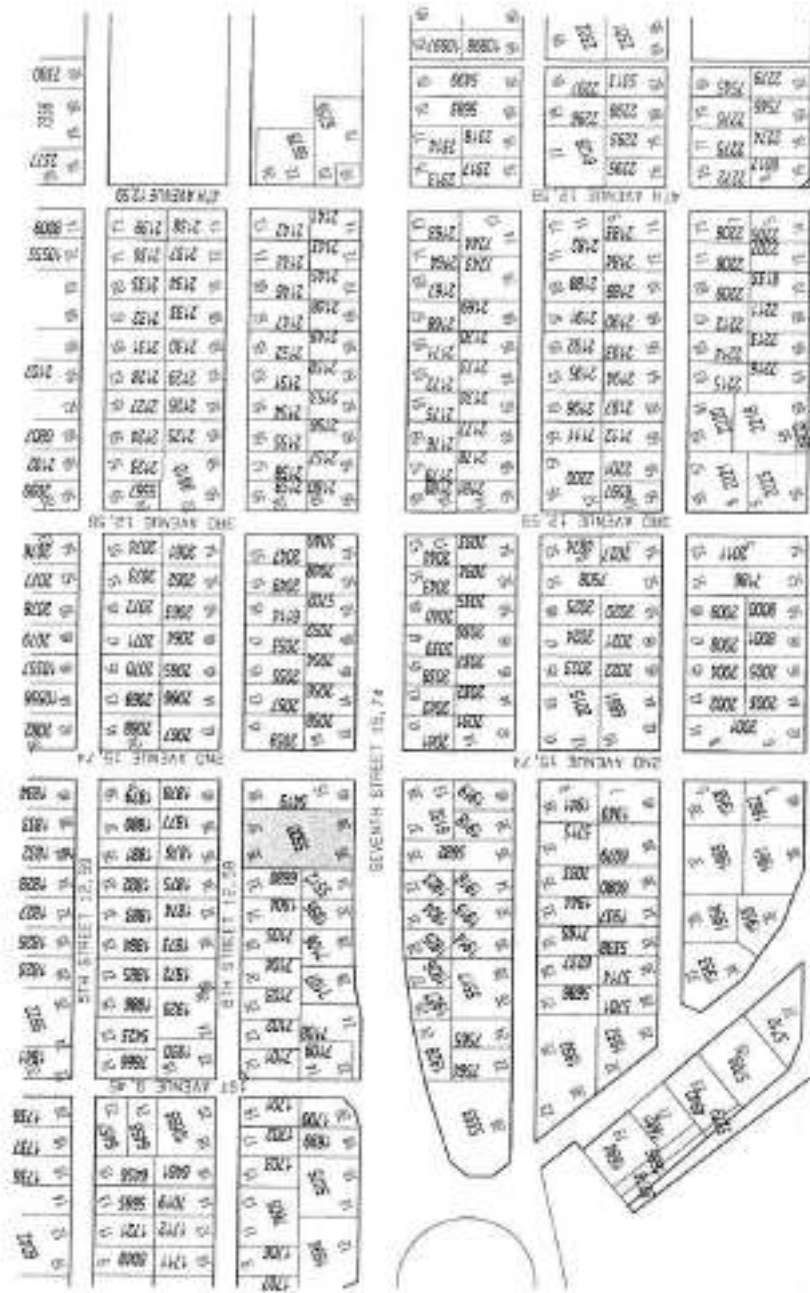
- (a) subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) of the property into three (3) portions, namely Portion A ($\pm 421\text{m}^2$ in extent), Portion B ($\pm 421\text{m}^2$ in extent) and a Remainder ($\pm 992\text{m}^2$ in extent);
- (b) departure in terms of Section 16(2)(b) of the above By-Law for the relaxation of the rear building line of the above Remainder from 2m to $\pm 1,485\text{m}$ to accommodate a portion of the existing dwelling unit after subdivision;
- (c) registration in terms of Section 16(2)(d) of the By-Law, of a right of way servitude from Seventh Street for both the above Portions A and B; and
- (d) registration in terms of Section 16(2)(d) of the above By-Law, of a 1,5m wide sewage pipeline servitude along the western boundary of the above Portion A.

RESOLVED :

1. that the application in terms of Section (16)(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of Erf 5500, Hermanus (Voëlklip) into three (3) portions, namely Portion A ($\pm 421\text{m}^2$ in extent), Portion B ($\pm 421\text{m}^2$ in extent) and a Remainder ($\pm 992\text{m}^2$ in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the above By-Law for the relaxation of the rear building line of the above Remainder from 2m to $\pm 1,485\text{m}$ to accommodate a portion of the existing dwelling unit after subdivision, **be approved** in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

3. that the application in terms of Section 16(2)(d) of the above By-Law to register a 1,5m wide sewer pipeline servitude along the western boundary of the above Portion B, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the above approvals be subject to the following conditions:
 - (a) that this approval is for the subdivision as indicated on Plan No her5500s.drw dated 02/2018 that was submitted with the application;
 - (b) that only a single access point from Seventh Street to the two (2) newly created erven be allowed and that a reciprocal right of way be registered, against both Title Deeds of the two (2) erven in favour of both the owners thereof, and that no structures except street boundary walls and gates are allowed in the servitude area;
 - (c) that the relocation of the sewer pipeline on Portion A be done in collaboration with the Operational Services of the Municipality and that all costs be borne by the applicant, including the registration of the pipeline servitude;
 - (d) that the portion of the dwelling on the Remainder Erf 5500, Hermanus that extends over the rear boundary with Portion A be demolished prior to the issue of a rates clearance certificate for the transfer of Portion A;
 - (e) that all the conditions of the Engineering Department and Telkom, be complied with;
 - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (g) that the development parameters as prescribed in the relevant Zoning Scheme be applicable to the newly created land units, and
 - (h) that a permit for the demolition of the portion of the building that extends over the rear boundary onto Portion A be obtained from the Building Control Development.
5. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



Stads- en Streksbeplanners
Town & Regional Planners

All distances approximate
and subject to survey

COPY RIGHT RESERVED

Property Description:
**ERF 5500
HERMANUS**

Plan Description:
LOCALITY MAP

Scale: **NTS**
Drawn by: **HERISSOT.dnw**
Date: **05/03/18**

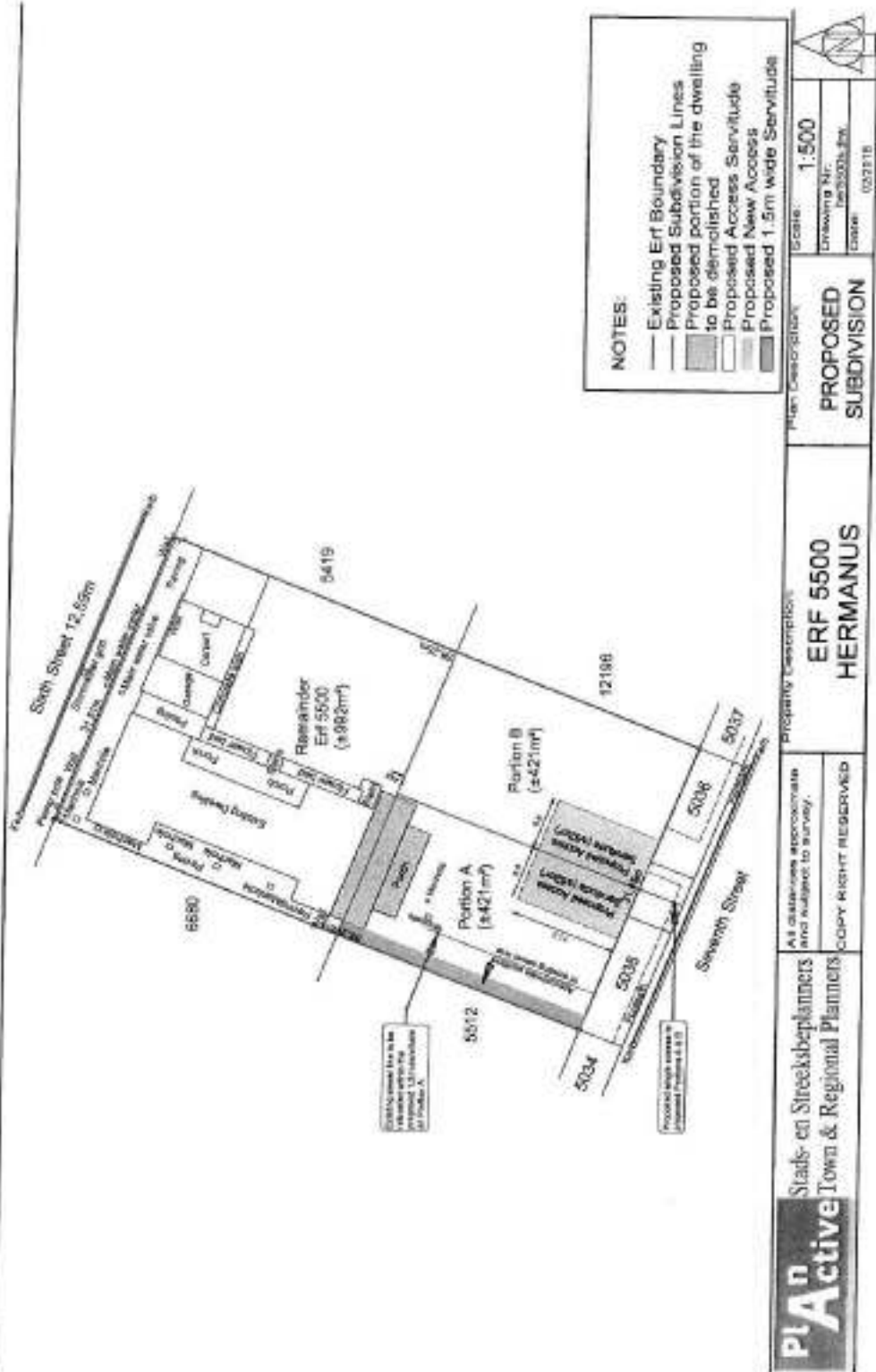




Erd. 5500: Hermanus

Date: 2018-10-26





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<input type="checkbox"/> CONCEPT	<input type="checkbox"/> SITE
<input type="checkbox"/> SKETCH	<input type="checkbox"/> WORKING DWG
DATE: 1/18/12	REVISION:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	1/18/12
2	REVISION	1/18/12
3	REVISION	1/18/12
4	REVISION	1/18/12
5	REVISION	1/18/12
6	REVISION	1/18/12
7	REVISION	1/18/12
8	REVISION	1/18/12
9	REVISION	1/18/12
10	REVISION	1/18/12
11	REVISION	1/18/12
12	REVISION	1/18/12
13	REVISION	1/18/12
14	REVISION	1/18/12
15	REVISION	1/18/12
16	REVISION	1/18/12
17	REVISION	1/18/12
18	REVISION	1/18/12
19	REVISION	1/18/12
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24	REVISION	1/18/12
25	REVISION	1/18/12
26	REVISION	1/18/12
27	REVISION	1/18/12
28	REVISION	1/18/12
29	REVISION	1/18/12
30	REVISION	1/18/12

design lab
ARCHITECTS

17021-1000 SK
31-02-12 0330 PBT/TT MFTT

New Houses on Erf 5500
7th Street Harmonus

Mr & Mrs Smit

Site Plan

6th Street

ERF 6680

ERF 5500

ERF 5502

Scale: 0 5 10 15 20 25 30

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & SUBDIVISION: ERF 5500, VOELKLIP (3832)

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 **Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)**

The BICLs are to be paid in full prior to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

- 1.2 **Developments with free standing properties (property that is subdivided and plots to be sold individually).**

The BICLs are payable prior to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2018/2019) is as follows:

Freehold erven:

Water	R 21 688.60 x 2	=	R 43 377.20
Sewerage	R 14 623.16 x 2	=	R 29 246.32
Roads	R 6 577.01 x 2	=	R 13 154.02
Stormwater	R 7 565.79 x 2	=	R 15 131.58
Solid Waste	R 1 311.40 x 2	=	R 2 622.80
Electricity	R 32 139.45 x 2	=	<u>R 64 278.90</u>
TOTAL (Inclusive of VAT)		=	R166 810.82

Note:

- 1.3 **The above figures are estimates**
1.4 **The above figures do not include connection fees**
2. that only the standard water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;

3. that Portion A – and Portion B as well as Remainder of Erf 5500 be provided with individual and separate metered water connections which must comply with the standards of the Department: Operational Services, as well as sewer tanks;
4. that new suction points for sewer septic tanks, which must comply with the standards of the Department: Operations must be provided for both Portion A – and Portion B at the street boundary with 7th Street;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010; Drainage;
6. that servitudes for municipal services be registered in favour of the council at the developer's cost in respect of all main services to be taken over by the council and all existing municipal services concerned crossing private property;
7. that only a standard 60 Amp single phase electricity connection will be available per erf;
8. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
9. that stormwater be allowed to discharge through the proposed Erven, Voelklip, unobstructed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

30 / 10 / 2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

22. ERF 1061, 25 KRINTANG CRESCENT, VERMONT, OVERSTRAND MUNICIPAL AREA: RELAXATION OF THE TITLE DEED: MESSRS ENGELBRECHT & SCORGIE ON BEHALF OF DJ & M DU TOIT

1061 HVM (4078)

H Olivier

(028) 313 8900

Hermanus Administration

24 October 2018

Executive Summary

An application has been received on 28 June 2018 from Messrs Engelbrecht & Scorgie Architectural Office on behalf of DJ & M Du Toit for a relaxation of restrictive condition in Title Deed T010643/2002, Condition E.7. which reads as follows:

“7. No building or structure or any portion thereof except boundary walls and fences, shall except with the consent of the Administrator, be erected nearer than 5 metres to the street line which forms a boundary of this erf, nor within 3 metres of the rear of 1,5 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority:

(i) ...”

RESOLVED :

1. that the application for the relaxation of Title Deed T010643/2002, Condition E.7. in terms of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 1061, Vermont, **be approved** in terms of the provisions of Section 61 of the By-Law, in terms of the following conditions:
 - (a) that this approval only relate to the covered pedestrian entrance as indicated on the plan submitted with this application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building– and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that all the conditions in the Services Report, be complied with, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

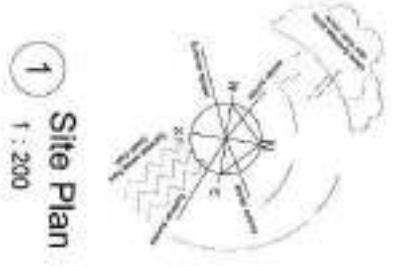
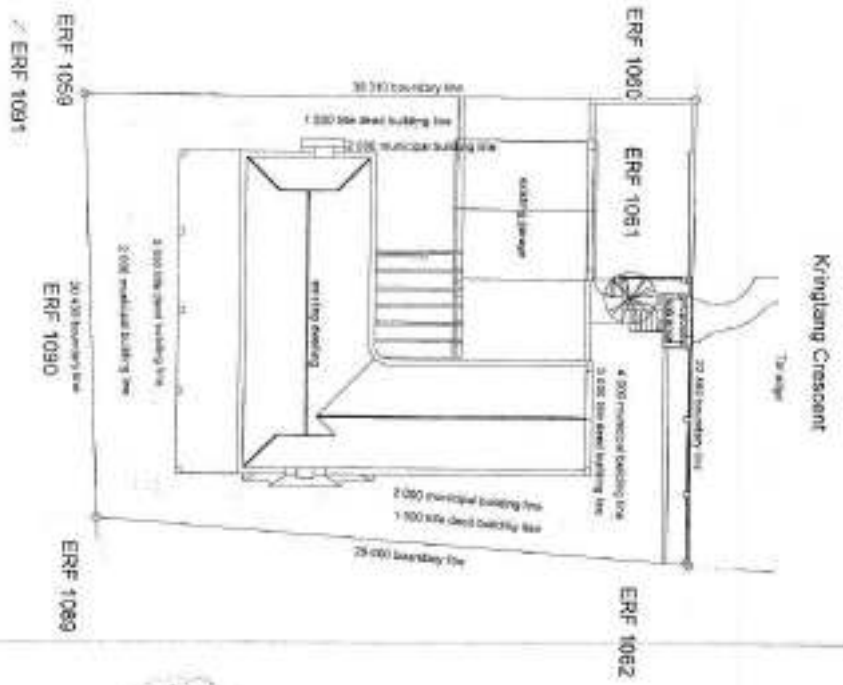
- (f) that all the conditions of Eskom, be complied with.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Er-1051 Vermont

Date: 2018-07-06





Architectural Office
CHENG KOO ENGINEERING
No. 201, Orchard Road, Singapore, (Tel: 6733 8888)
SHAMSHAH SCHIBER
No. 104, Singapore, (Tel: 6733 8888)
ARCHITECTURAL PLANS
ALTERATIONS
PROJECT MANAGEMENT
20 years of
experience
Tel: 6733 8888
Fax: 6733 8888
E-mail: info@chengkoo.com
TLL (DDN) 2463294 FAX (DDN) 5182500
CELL Service 002 536 3512
Branch: 002 628 6000

archoffice@chengkoo.com 228

CLIENT: David Q. Toh

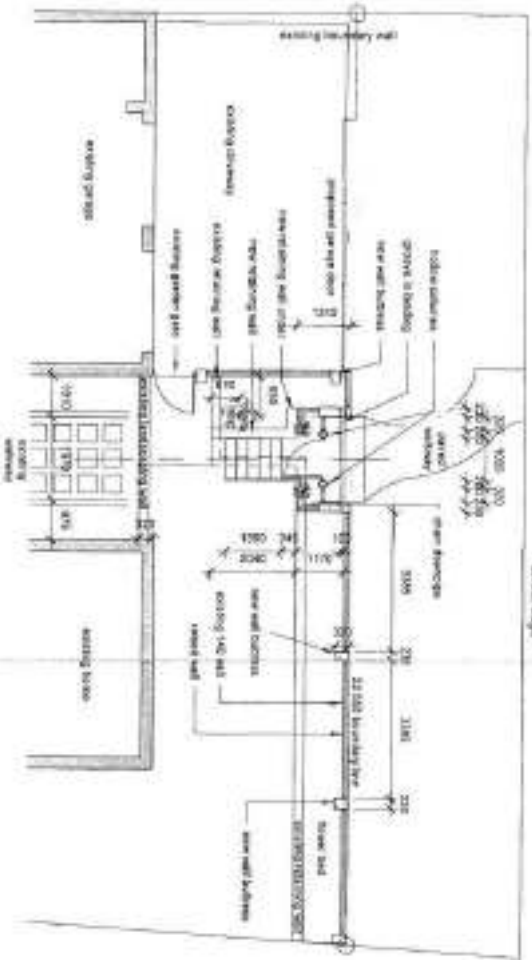
ERF: 1089
1090
1091
1092

PLANS: 6/3/02

DRAWING NUMBER: 5/1/7/01

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Kringlang Crescent



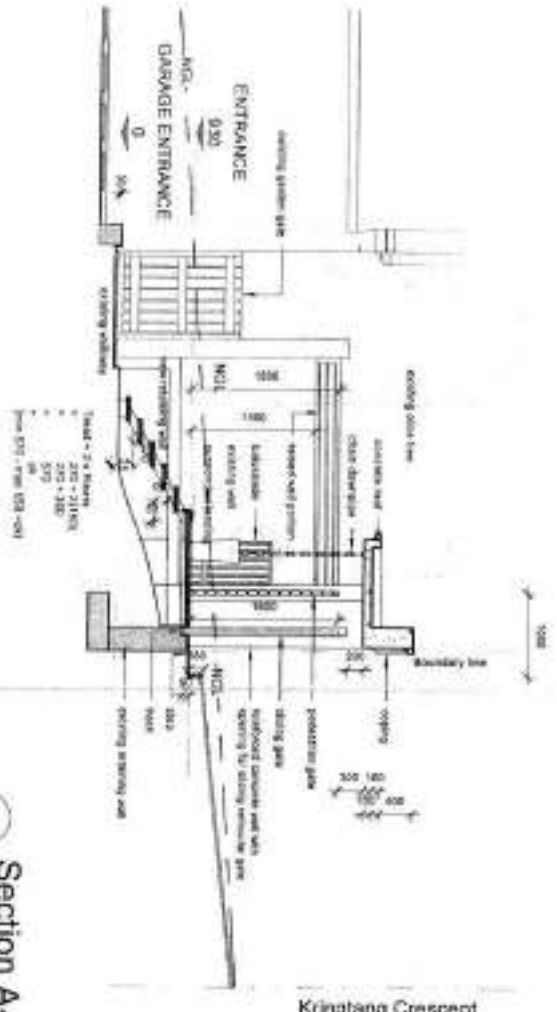
1 Walkway Plan
1 : 100

Unauthenticated Download

ARCHITECTURE GROUP
GERHARD ENGELBRECHT
 1111 1st Avenue, Suite 1000
 Vancouver, BC V6C 1A1
 TEL: (604) 251-1111 FAX: (604) 251-1111
 WWW: www.geng.com
PROJECT MANAGER
 TEL: (604) 251-1111 FAX: (604) 251-1111
 WWW: www.geng.com

DATE:	DATE:	DATE:
1980	1980	1980

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1 Section A-A
1 : 50

Kringtang Crescent

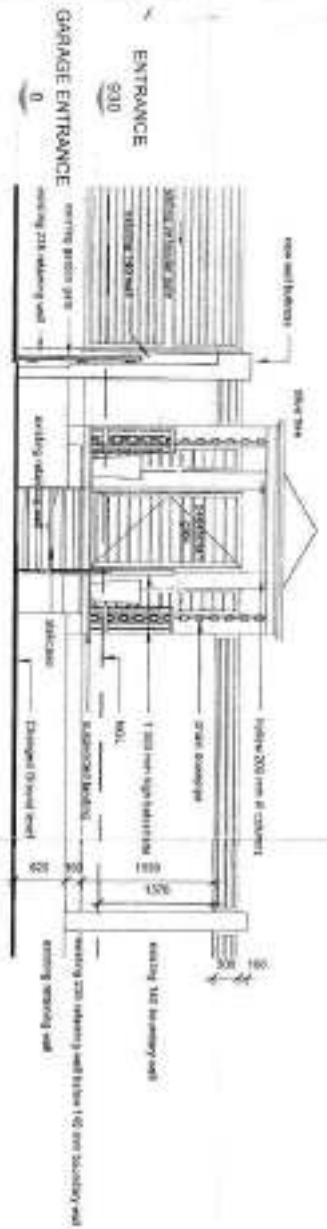
Architectural Office
GERARD ENGINEERING
 INC. 421 East Colfax (7th Fl.)
 DENVER, COLORADO 80202
 TEL: (303) 733-3333 FAX: (303) 733-3334
 WWW: www.gerard-engineering.com



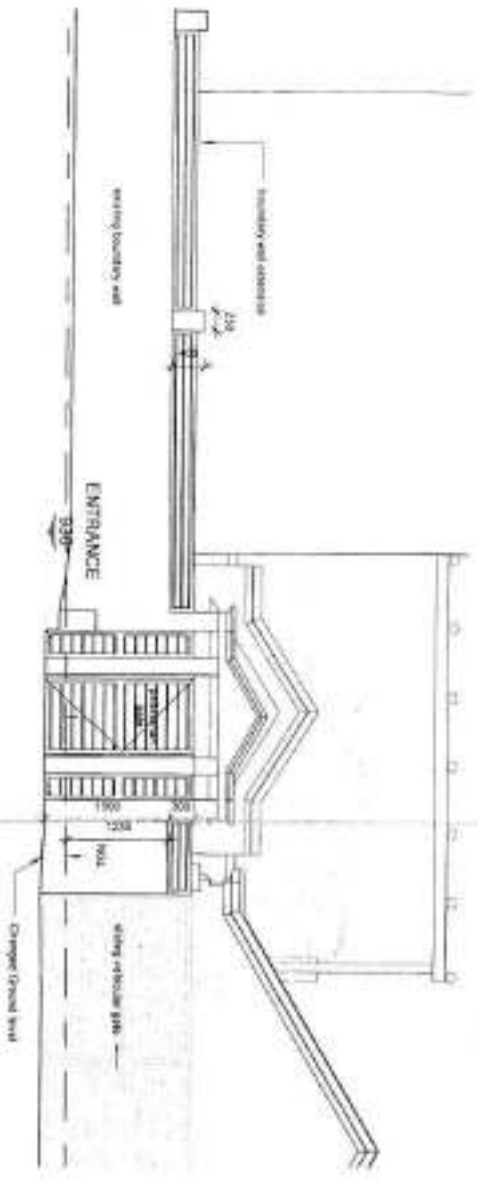
architect@maxtec.co.zh

DATE:	DATE: 1/24
DESIGNER:	DESIGNER: MAXTEC
DRAWN BY:	DRAWN BY: MAXTEC

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1 South Elevation
1 : 50



2 North Elevation
1 : 5

NOTICE
No 2025/27 project from 150' or if allowed to pass through
background

North Bay and Office
GERALD ENGINEERING
 1001-102 ARCHITECTURAL CENTER BUILDING
BRANSON SEVENOAK
 1001-102 ARCHITECTURAL CENTER - TOWER 1
RESIDENTIAL PLANS
ALTERATIONS
PROJECT MANAGEMENT
 Tel: (660) 216-2224 Fax: (660) 216-2200
 Cell: (660) 428-5595 5512
 Branson, MO 64604-6038

architect@maxtec.co.za		
CLIENT:	Chris de Tull	
DATE:	PAGE:	DRAWING NAME:
2021	47/55	Shedding

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 consent of the architect. Calculations, notes and dimensions of this drawing
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR RELAXATION: ERF 1061, VERMONT (4078)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 - P:2010: Drainage;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1061, Vermont, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

pp R. Cohen
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

31/03/2018

 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

23. ERF 3790, 145 MAIN ROAD, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE AND DEPARTURE: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF M WOLSTENHOLME

3790 KKM (4075)

H van der Stoep

(028) 313 8900

Hermanus Administration

2 November 2018

Executive Summary

An application has been received on 2 July 2018 from Messrs Plan Active Town & Regional Planning on behalf of M Wolstenholme on Erf 3790, Kleinmond for the following:

- ❖ Consent Use on Erf 3790, Kleinmond in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate a greenhouse.
- ❖ Departure on Erf 3790, Kleinmond in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for building line relaxation as follows:
 - to relax the eastern lateral building line from 2m to 1m,
 - the rear building line from 2m to 1m, and
 - the western lateral building line from 2m to 1m and 1,220m respectively to accommodate the greenhouse and a bedroom extension.

RESOLVED :

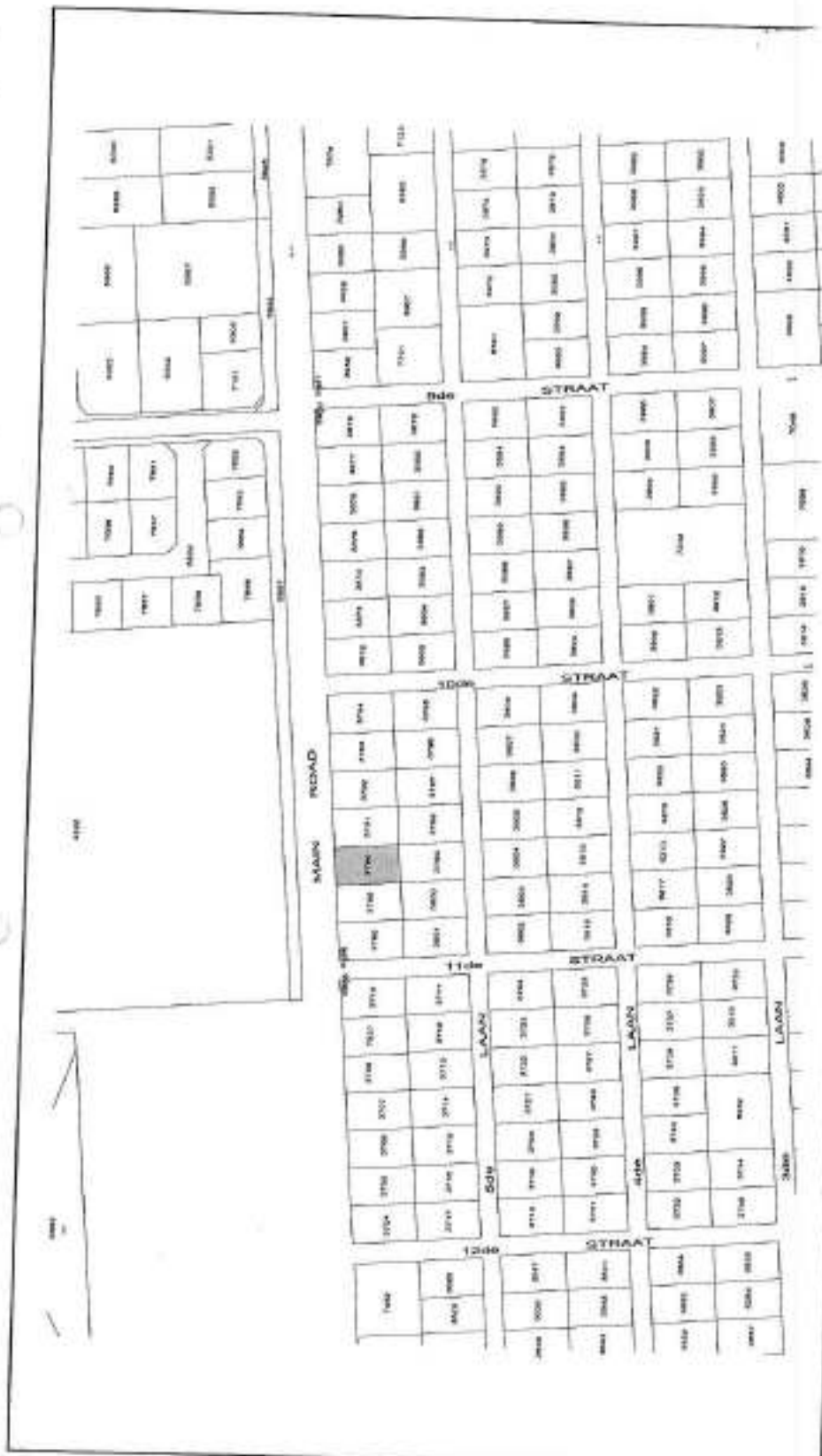
1. that the application for a consent use on Erf 3790, Kleinmond in terms of Section 16(2)(o) of the Overstrand By-Law on Land Use Planning, 2015 to accommodate a greenhouse, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the departure in terms of Section 16(2)(b) of the above By-Law to relax the following:
 - to relax the eastern lateral building line from 2m to 1m,
 - the rear building line from 2m to 1m, and
 - the western lateral building line from 2m to 1m and 1,220m respectively to accommodate the greenhouse and a bedroom extension

be approved in terms of the provisions of Section 61 of the By-Law;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

3. that the approvals in points 1. and 2. above be subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan numbers B.500.K (1-7) dated 23 May 2018, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that all the conditions in the Services Report (attached as Annexure D), be complied with.

4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



PLAn Active Stads- en Streeksbeplanners
Town & Regional Planners

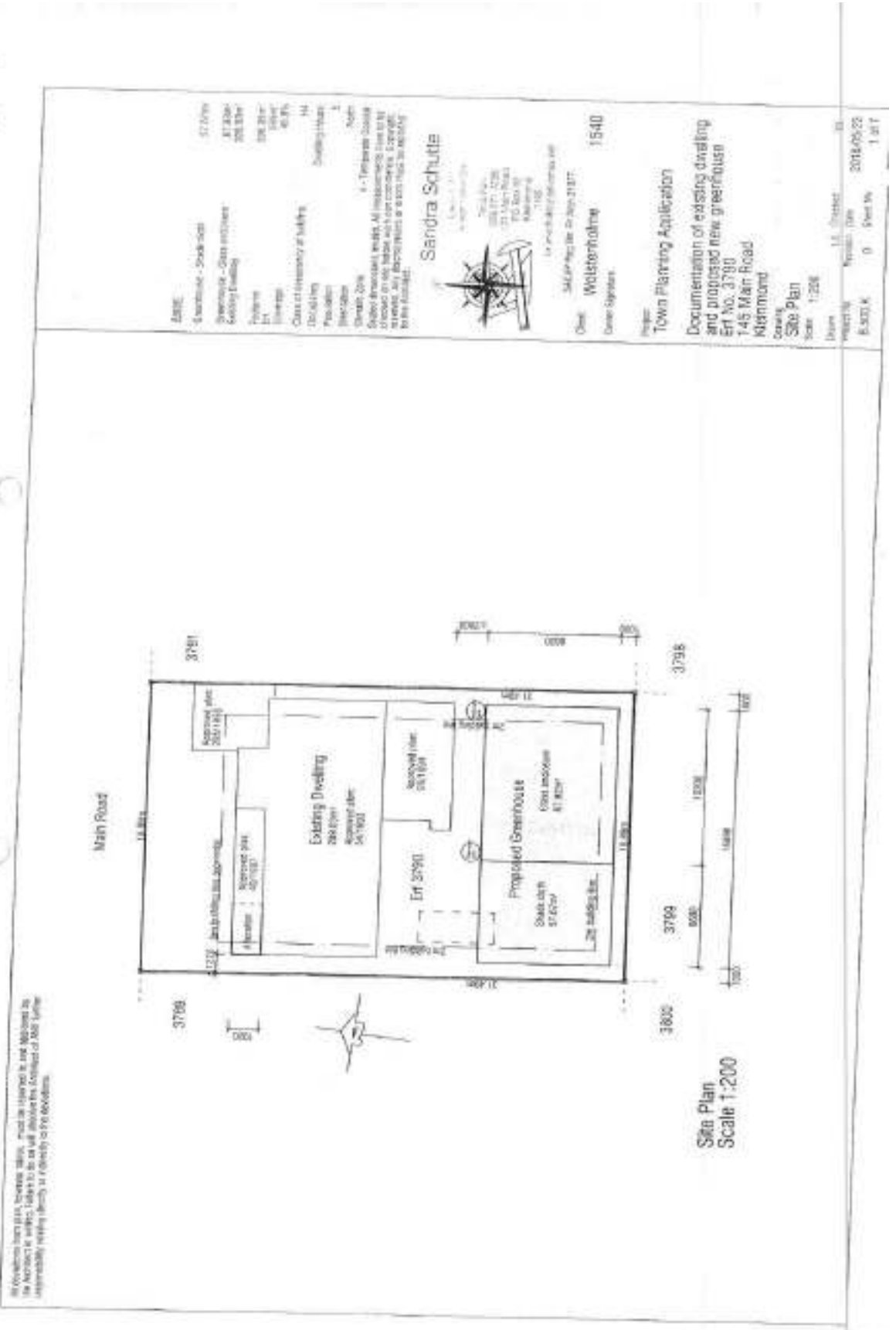
Scale: **NTS**
Drawing Nr: **R28hnc3790.01W**
Date: **05/20/16**

Property Description: **ERF 3790 KLEINMOND**

Plan Description: **LOCALITY MAP**

All dimensions approximate and subject to survey.
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All buildings, structures, fences, walls, pools, etc. shown on this plan are shown as they exist on the date of the survey. The surveyor is not responsible for the accuracy of the information shown on this plan.

Site Plan
Scale 1:200

DATE: 07/07/18
Scale: 1:200
Project: Documentation of existing dwelling and proposed new greenhouse
Site No.: 3799
Address: 145 Main Road, Manly
County: Manly
Scale: 1:200
Drawn: [Signature]
Checked: [Signature]
Project No.: 2018/05/22
Sheet No.: 1 of 1

Sandra Schutte
 145 Main Road
 Manly, NSW 1540
 Australia
 Tel: 02 9371 2226
 Fax: 02 9371 2226
 Email: sandra@schutte.com.au
 Website: www.schutte.com.au

Client: Wolterotholweg
Project No.: 1540
Date: 07/07/18

Project: Town Planning Application
Description: Documentation of existing dwelling and proposed new greenhouse
Site No.: 3799
Address: 145 Main Road, Manly
County: Manly
Scale: 1:200
Drawn: [Signature]
Checked: [Signature]
Project No.: 2018/05/22
Sheet No.: 1 of 1

All drawings for plan, structural, etc. must be approved by the Council in writing, failure to do so will render the Architect liable for all costs incurred, which shall be payable by the Client.

General Specifications

All building work is to be in accordance with the National Building Regulations and the Building Code of Australia (BCA) 2011. The Client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The Client is responsible for providing all necessary information and documents to the Architect. The Client is responsible for providing all necessary information and documents to the Architect.



Dwelling Ground Storey Plan Scale 1:100

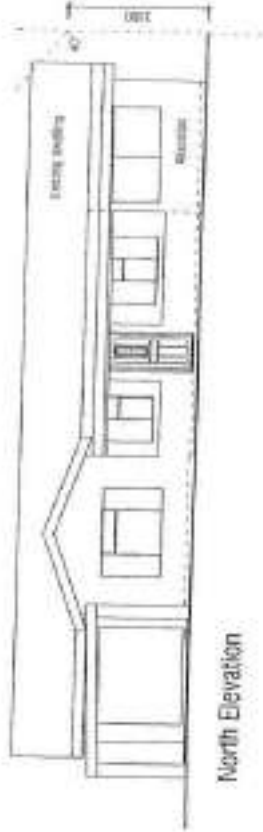


Sandra Schutje
Architect
145 Main Road
Wolstanton
NSW 2207

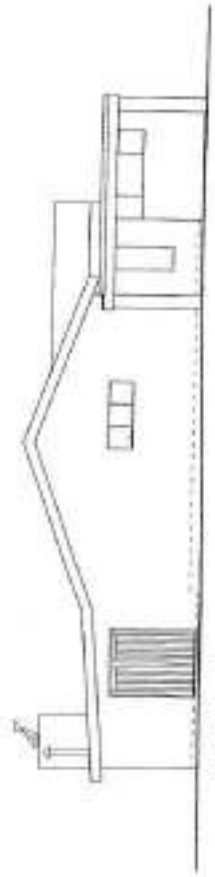
Client: Wolstanton 1540
Drawing: 1540

Project: Town Planning Application
Documentation of existing dwelling and proposed new greenhouse
EIR No. 5780
145 Main Road
Wolstanton
Scale: 1:100
Date: 2018/09/23
Sheet No: 2 of 7

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North Elevation



East Elevation

Scale dimensions shown. All measurements have been checked or are based on the original drawings. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/8 inch.

Sandra Schulte
Architect
1445 Main Road
Kleinmond, NC 27529
919.277.4288
sjs@schulte.com
www.schulte.com

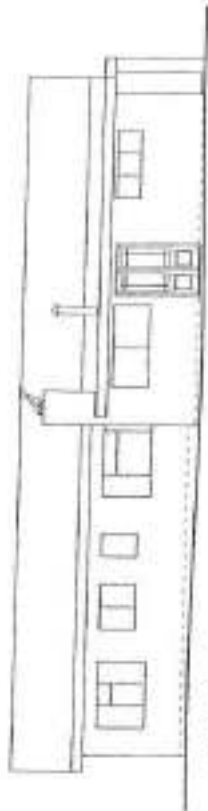


DATE: 10/14/14
DRAWN BY: M. P. April 21/14
CHECKED BY: M. P. April 21/14
SCALE: 1/8" = 1'-0"

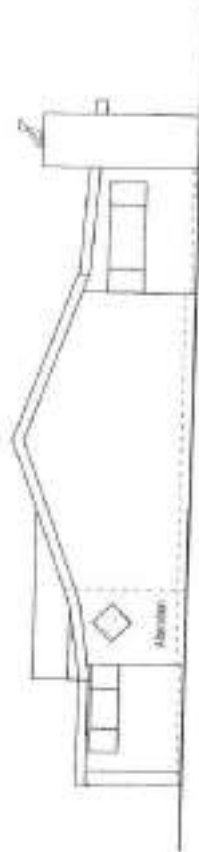
Project: Town Planning Application
Description: Documentation of existing dwelling and proposed new greenhouse
Erf No. 3790
145 Main Road
Kleinmond
County: Wayne
Drawing - Elevations
Scale: 1/8" = 1'-0"

Drawn: J.L. Schulte
Checked: M.P. April 21/14
Date: 2014/11/27
Sheet No. 1 of 1
Total No. 3 of 1

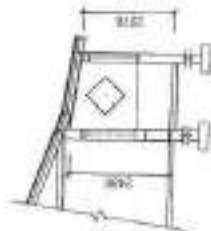
All drawings hereafter prepared without my seal or signature shall be void and approved by me in accordance with the provisions of the Act of the 15th of March 1909, Chapter 100, Act of the 15th of March 1909, Chapter 100, Act of the 15th of March 1909, Chapter 100.



South Elevation



West Elevation



Section A-A
Scale 1:100

Scale drawings in mill. All measurements are in feet and inches. All dimensions are given in feet and inches. All dimensions are given in feet and inches. All dimensions are given in feet and inches.

Sandra Schutte

Architect

145 Main Road

Richmond

Virginia

22902

Phone: (804) 760-1111

Fax: (804) 760-1112

www.sandraschutte.com

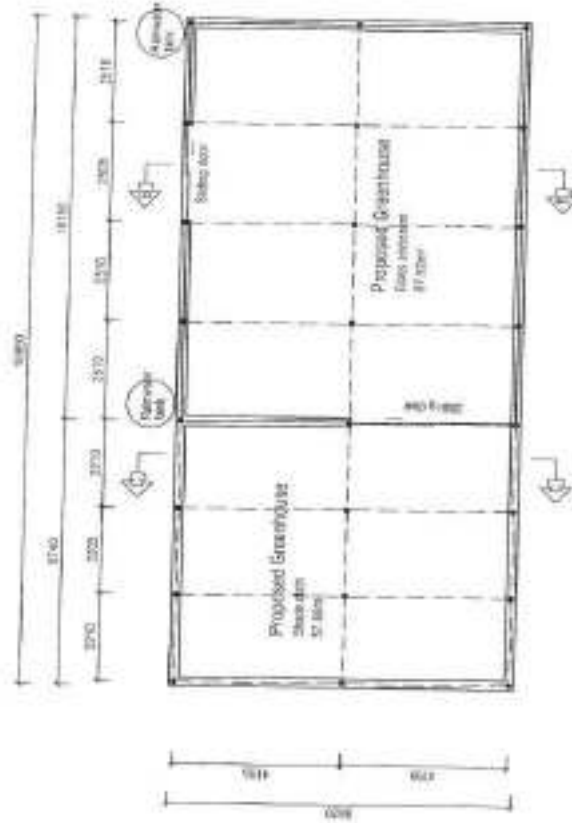


Client: Wakesteppoline #5440
Drawn: 1/10/09

Project: Town Planning Application
Documentation of existing dwelling and proposed new greenhouse
Ert No. 3790
145 Main Road
Richmond

Scale: 1:100
Drawing: DWG
Revision: 0
Date: 2018/05/25
Sheet: 4 of 7

All construction items, materials, fixtures, etc. shall be specified in detail and approved by the Architect before purchase. Robert M. B. Co. will provide the schedule of materials and quantities recommended, which shall be included in the contract.



Scale: dimensions shown are measurements to be used for construction. Dimensions shown are measurements to be used for construction. Dimensions shown are measurements to be used for construction.

Sandra Schutte
Architect
100 St. John St.
St. John's, NL
A1B 2X4
Tel: (709) 576-1234
Fax: (709) 576-1234
www.sandraschutte.com

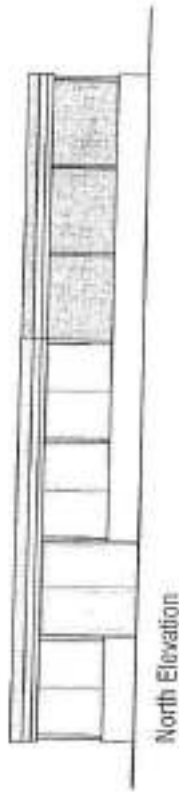


Client: Winterholms 1540
Project: Town Planning Application
Date: 2018.03.21

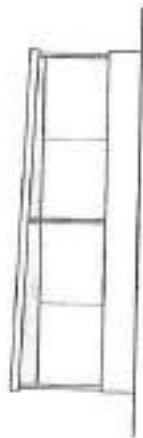
Project: Town Planning Application
Documentation of existing dwelling and proposed new greenhouse
Erf No. 3790
145 Main Road
Kleinmond

Scale: 1:100
Drawn: L. O. O. O.
Checked: M. O. O. O.
Approved: S. O. O. O.
Date: 2018.03.21
Sheet: 0 of 1
Total: 1 of 1

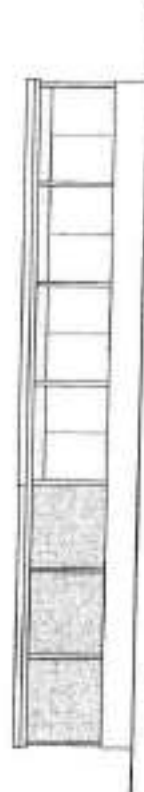
All dimensions and elevations shown on this drawing are subject to change without notice. The Architect is not responsible for any errors or omissions. The Architect is not responsible for any errors or omissions. The Architect is not responsible for any errors or omissions.



North Elevation



East Elevation



South Elevation



West Elevation

Scale: 1/8" = 1'-0"

Sandra Schutte



1540

Wolfsbühne

Town Planning Application

Documentation of existing dwelling and proposed new greenhouse

Erk No. 3790

145 Main Road

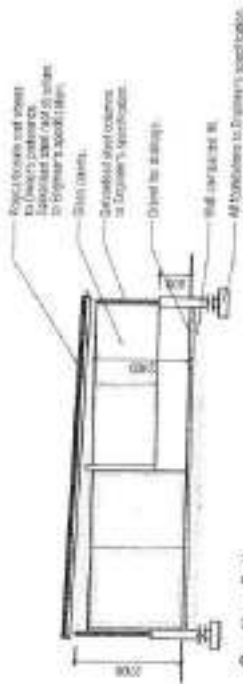
Kleinmold

Greenhouse - Elevations

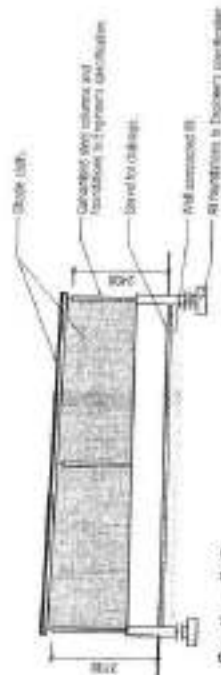
Date: 1.10.18

Drawn: U. Schuster
Checked: B. Schutte
Scale: 1/8" = 1'-0"
Date: 2018.03.25
Sheet: 0 of 1

All conditions, terms and conditions must be reported to and approved by the Architect/Engineer before work is started. The Architect/Engineer is not responsible for any conditions, terms and conditions not reported to and approved by the Architect/Engineer.



Section B-B
Scale 1:100



Section C-C
Scale 1:100

Field drawings made in areas where there is no ground plan to be used. Any conditions or notes not shown on this drawing are to be noted.

Sandra Schutte
Architect
12227 - 124
11111 - 11111
11111 - 11111
11111 - 11111
11111 - 11111



Scale 1:100
Date: 15-40
Project: Wolsbrenna
Sheet: 15-40

Project: Town Planning Application
Documentation of existing dwelling and proposed new greenhouse
Erl No. 3730
145 Main Road
Kalamand
Greenhouse - Sections
Scale: 1:100

Drawn: J.L. Dwyer
Checked: J.L. Dwyer
Date: 15/05/22
Sheet No: 15-40
Page No: 7 of 7

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 3790, KLEINMOND
(4075)

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 3790, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**24. ERF 2812, 12 PROTEA STREET, PERLEMOENBAAI, GANSBAAI,
OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF
RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE: GVR & L ELS**

2812 GGB (3594)

SW van der Merwe

(028) 313 8900

Hermanus Administration

15 November 2018

Executive Summary

To consider an application received on 13 June 2018 from GVR & L Els in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- removal of restrictive title conditions B.A(a) of Title Deed T49290/2017 in terms of Section 16(2)(f) in order to accommodate an existing carport, and
- departure in order to encroach the 4m street building line to accommodate a carport on the property boundary in terms of Section 16(2)(b).

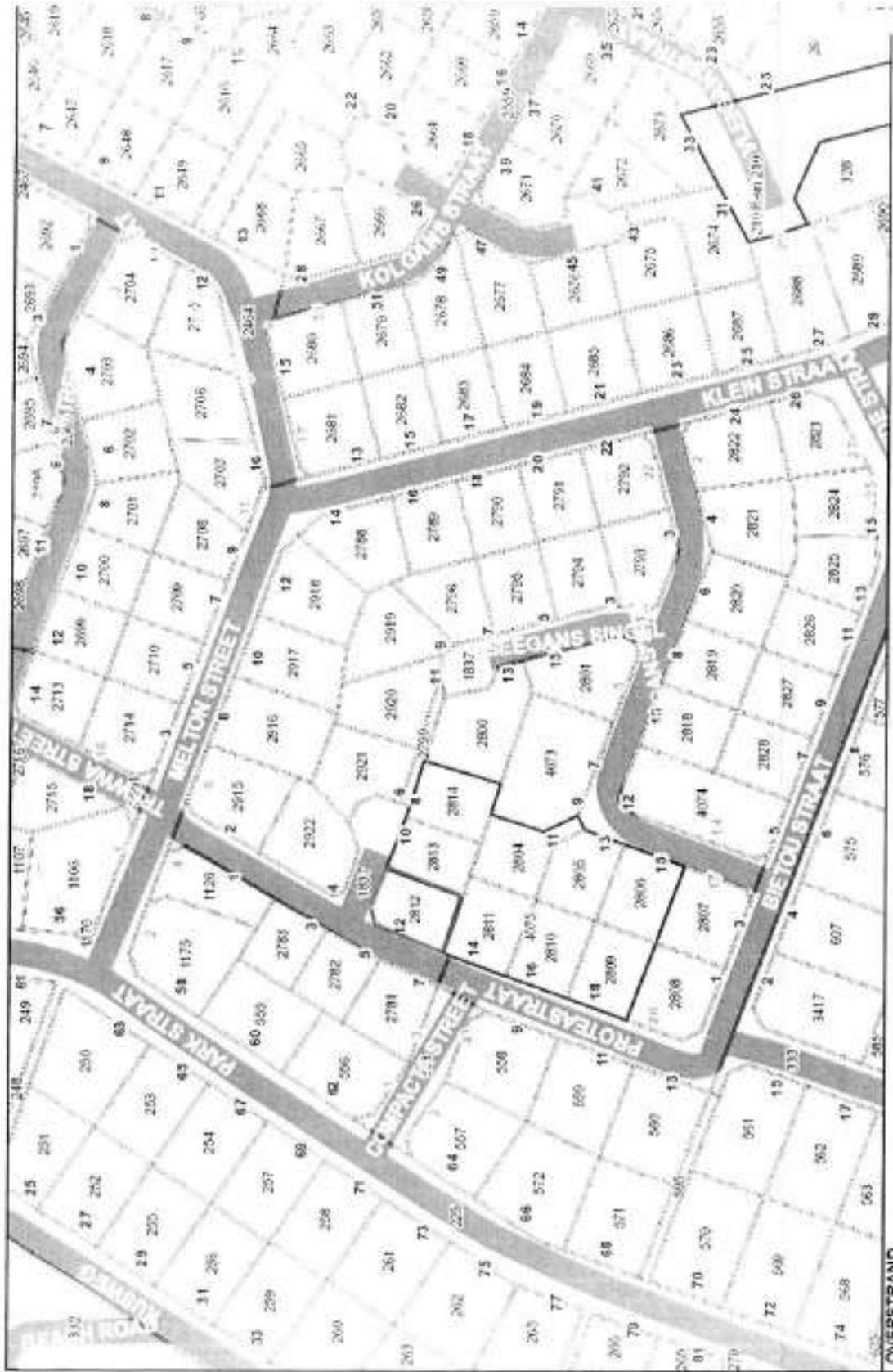
RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive title condition B.A.(a) contained in Title Deed T49290/2017, **be approved** in terms of Section 61 of the By-Law;
2. that the application for departure on Erf 2812, Gansbaai (Perlemoenbaai) to encroach the 4m street building line to accommodate a carport on the property boundary in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in paragraphs 1. and 2. above are subject to the following conditions:
 - (a) that the approval is only for the departure indicated on the Site Plan submitted with the application;
 - (b) that the conditions compiled in the Services Report, be complied with;
 - (c) that the carport comply with the requirements applicable to carports in terms of the Scheme Regulations;
 - (d) that a building plan be submitted for approval by the building control department and that any requirements of the Building Control

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

Department at that stage be complied with, and

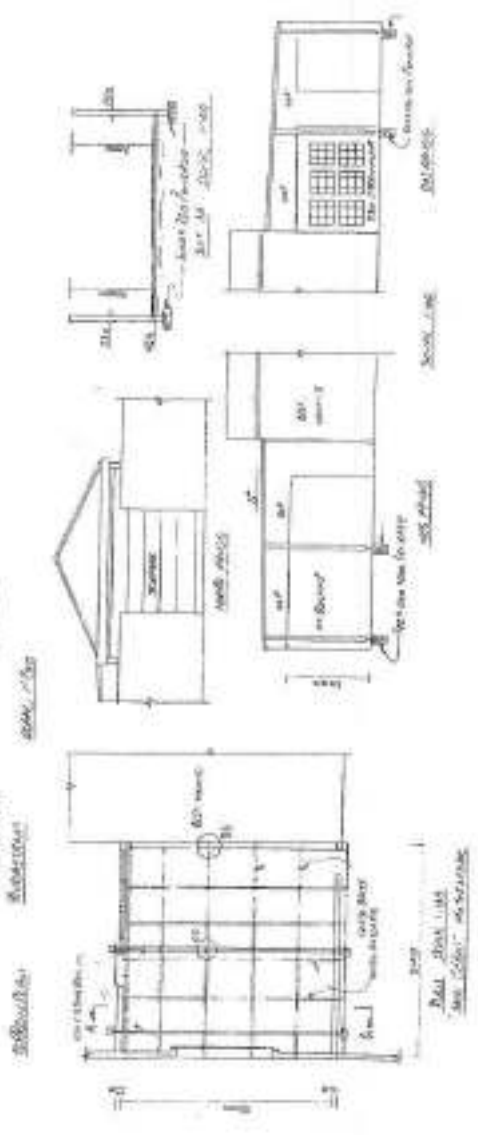
- (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN: ERF 2812 GANSBAAI (PERLEMOENBAAI)

Date: 2018-11-21

GOEGESTELDE "SOOS GEROU" MOTOS AFDAK VIK
 C. MULLER
 OP EDE No 2812 GELEER TE TRELEMENBAAL GANSBAAI



BOUWTEKENINGEN...
 WEGE...
 DRAAIING...
 BEREKENINGEN...
 TEGEN...
 No 10 11199

ALGEMEEN...
 ALLE...
 TEGEN...
 No 10 11199

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE CONDITIONS:
ERF 2812, GANSBAAI (3594)

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 2812, Gansbaai, unobstructed;
6. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

19/12/2017
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

25. ERF 505, 17 ANDRIES PRETORIUS STREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS: MESSRS PLAN ACTIVE ON BEHALF OF A BOTHMA

505 HSB (4077)

H van der Stoep

(028) 313 8900

Hermanus Administration

26 October 2018

Executive Summary

An application applicable to Erf 505, Sandbaai has been received on 2 July 2018 from Messrs PlanActive on behalf of A Bothma in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive Title Deed conditions B.(ii)(a), (c) and (d) as contained in Title Deed T27890/2018 applicable to Erf 505, Sandbaai in order be in line with the relevant development rules and primary rights as contained in the Overstrand Municipality Zoning Scheme.

The restrictive conditions B.(ii)(a), (c) and (d) as contained in Title Deed T27890/2018 to be removed, read as follows:

- “(a) That the above erf or erven be used for residential purposes only.*
- (c) That not more than one dwelling together with the necessary outbuildings and accessories be erected on any one of the above erven and that not more than one-half the area of any one of the above erven be built upon.*
- (d) That no building shall be erected on the above erf or erven within 4,72 metres of any boundary line between the said erf or erven and any street, road or avenue on which such erf or erven abuts; such space may be used as gardens, but shall not be built upon.”*

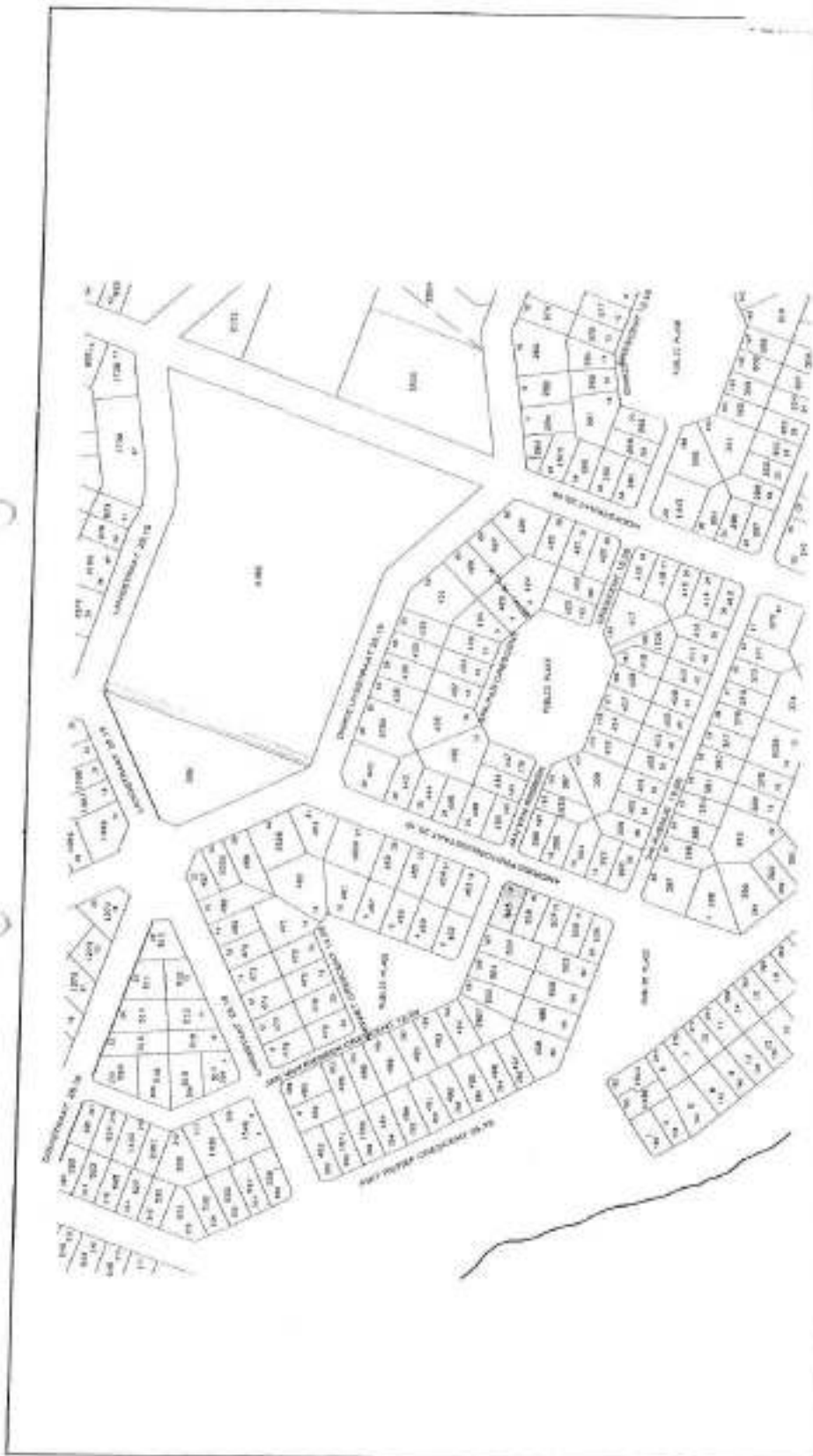
RESOLVED :

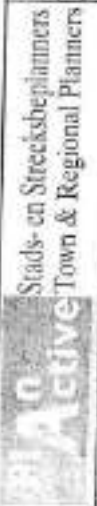

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive Title Deed conditions B.ii.(a), (c) and (d) as contained in Title Deed T27890/2018 applicable to Erf 505, Sandbaai in order be in line with the relevant development rules and primary rights as contained in the Overstrand Municipality Zoning Scheme, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (b) that the development parameters as prescribed in the relevant Zoning

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

Scheme, be complied with;

- (c) that all the conditions in the Services Report, be complied with, and
 - (d) that all the conditions imposed by Telkom, be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



	All references approximate and subject to survey. COPY RIGHT RESERVED	Property Description ERF 505 SANDBAAL	Plan Description LOCALITY MAP	Scale NTS Drawing No. 8431295.the Date 15/2018
				

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS: ERF 505, SANDBAAI (4077)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 505, Sandbaai, unobstructed;
6. that no on-street parking be allowed.

D.P. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

3/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

26. ERF 2173, 1 FRANKLIN CLOSE, VERMONT, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS PLAN ACTIVE ON BEHALF OF THE CLAASE INVESTMENT TRUST

2173 HVM (3982)

H Olivier

(028) 313 8900

Hermanus Administration

2 November 2018

Executive Summary

An application has been received on 23 April 2018 from Messrs Plan Active Town & Regional Planning on behalf of the Claase Investment Trust on Erf 2173, Vermont for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the following:

- northern street building from 5m to 3m to accommodate a covered terrace and dwelling;
- eastern street building line from 5m to 4m to accommodate a dwelling;
- western street building line from 5m to 2m to accommodate a new dwelling, double garage and roof overhang, and
- lateral building line from 1m to 0m to accommodate a double garage.

The following relaxations are also being applied for in the Francolin Heights Architectural Guidelines:

- northern street building line from 4m to 3m to accommodate a covered terrace;
- eastern street building line from 5m to 4m to accommodate a new dwelling;
- western street building line from 4m to 2m to accommodate the dwelling, double garage and roof overhang, and
- lateral building line from 2m to 0m to accommodate a double garage.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the afore-mentioned By-Law on Erf 2173, Vermont in order to relax the following:
 - northern street building from 5m to 3m to accommodate a covered terrace and dwelling;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- eastern street building line from 5m to 4m to accommodate a dwelling;
- western street building line from 5m to 2m to accommodate a new dwelling, double garage and roof overhang, and
- lateral building line from 1m to 0m to accommodate a double garage.

The following relaxations from the Francolin Heights Architectural Guidelines:

- northern street building line from 4m to 3m to accommodate a covered terrace;
- eastern street building line from 5m to 4m to accommodate a new dwelling;
- western street building line from 4m to 2m to accommodate the dwelling, double garage and roof overhang, and
- lateral building line from 2m to 0m to accommodate a double garage,

be approved in terms of the provisions of Section 61 of the By-Law subject to the following conditions:

- (a) that building plans be submitted to the Building Department, and that all conditions set by the Building and Fire Departments at that stage, be complied with;
 - (b) that the garage roof onto the boundary with Erf 2174 be limited to 3,5m above natural ground level;
 - (c) that all the conditions in the Service Report, be complied with;
 - (d) that all conditions imposed by Telkom, be complied with, and
 - (e) that all conditions imposed by Eskom, be complied with.
2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Plan Active

Stads- en Streetsveplanners
Town & Regional Planners

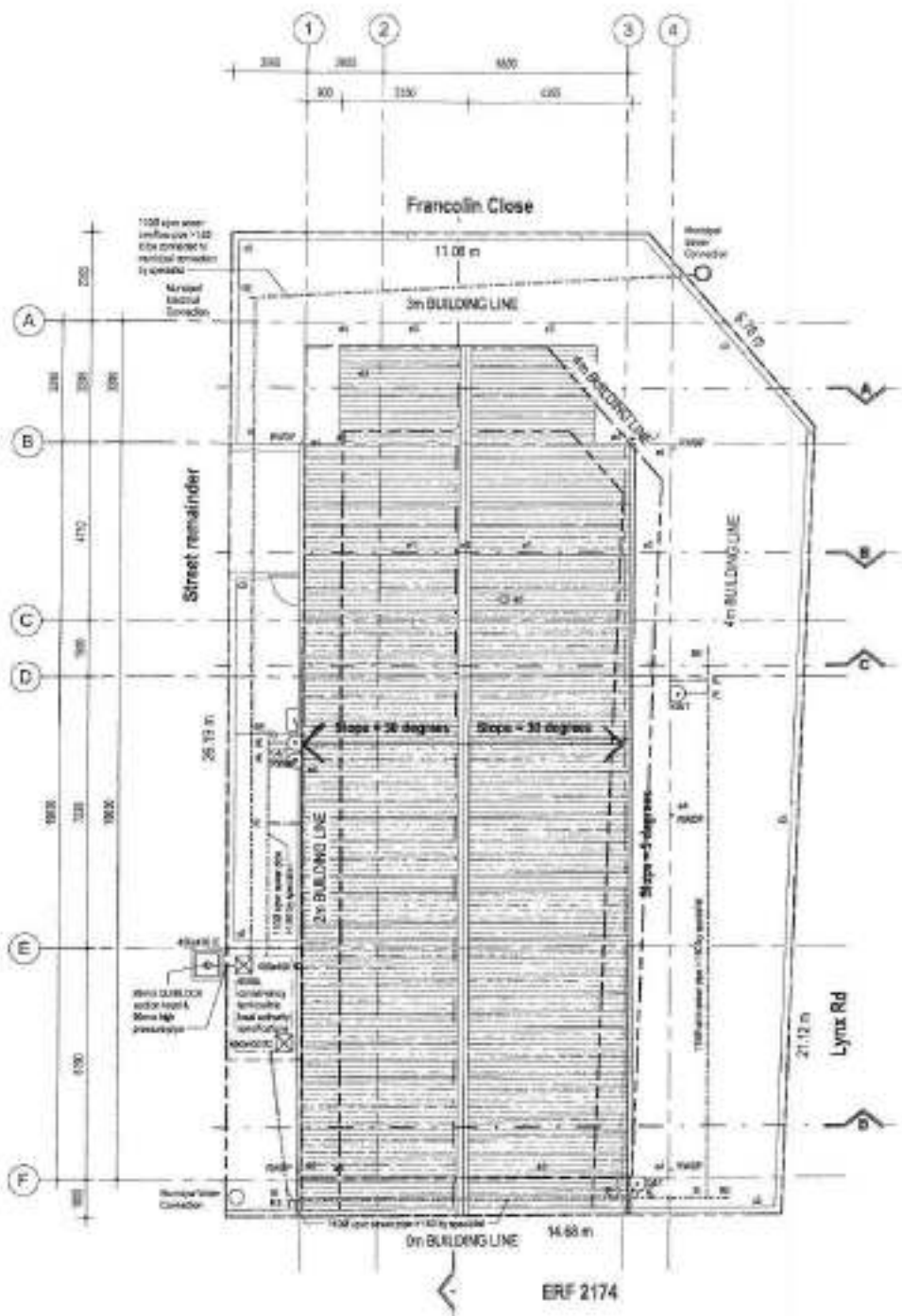
All distances approximate
and subject to survey
COPY RIGHT RESERVED

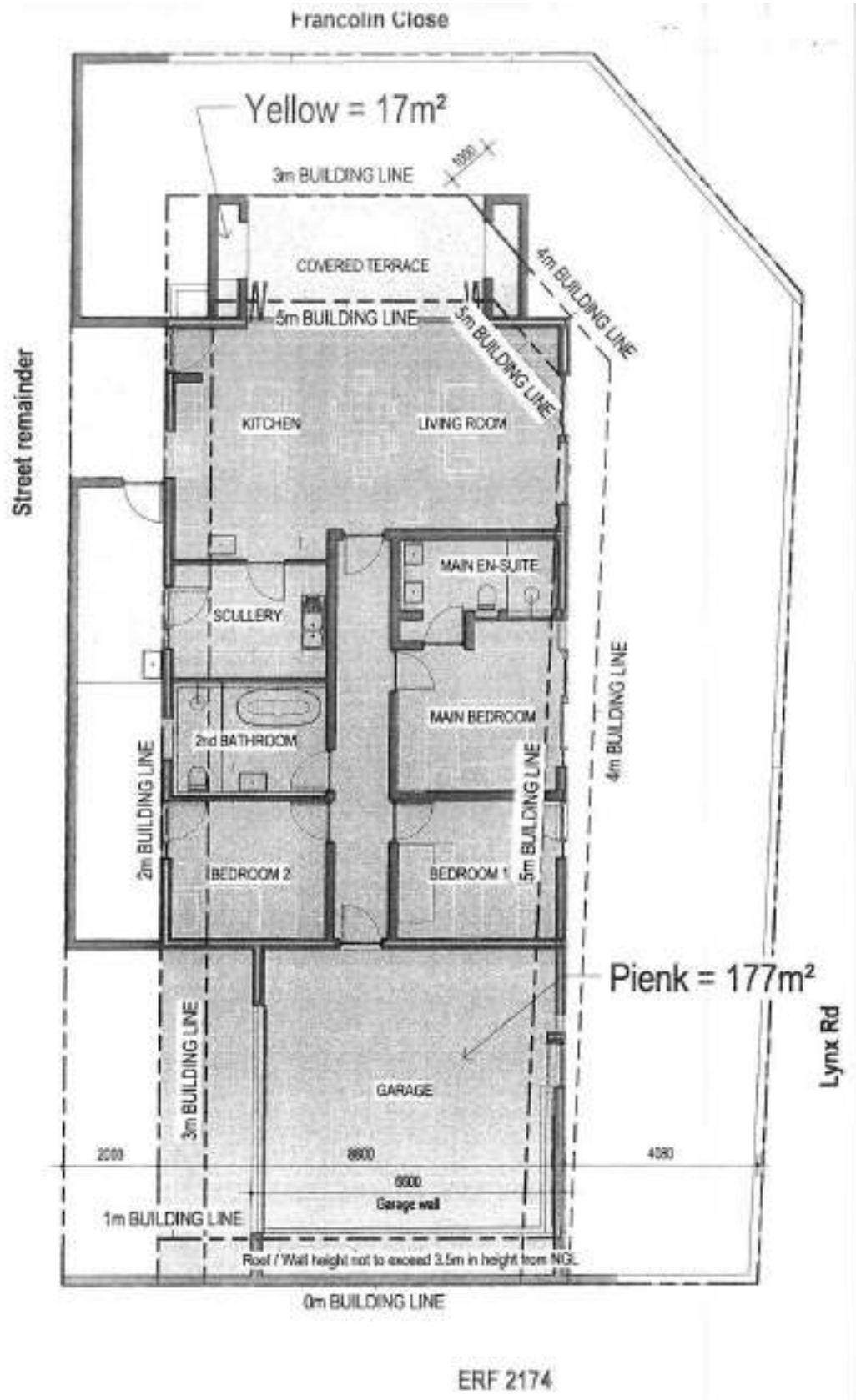
Property Description:
**ERF 2173
VERMONT**

Plan Description:
LOCALITY MAP

Scale: **NTS**
Drawing Nr: **VF02173.dwg**
Date: **APRIL 2018**







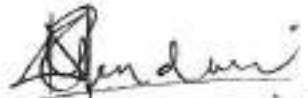
ERF 2174

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2173, VERMONT (3982)

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager, Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2173, Vermont, unobstructed;
5. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

27. ERF 764, 8 B TERN STREET, VERMONT, OVERSTRAND MUNICIPAL AREA: CONSENT USE AND DEPARTURE: JPH ROBERTSE

764 HVM (3907)

H Olivier

(028) 313 8900

Hermanus Administration

5 November 2018

Executive Summary

An application has been received on 2 February 2018 from JPH Robertse on Erf 764, Vermont in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to legalize an existing greenhouse (constructed of shade netting).

Application is also made in terms of Section 16(2)(b) of the same By-Law for a departure to relax the 2m northern rear building line to 1,57m.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 764, Vermont for a consent use in order to legalize the green house, be approved in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section 16(2)(b) of the same By-Law on Erf 764, Vermont for a departure to relax the northern rear building line from 2m to 1,57m to legalize an existing greenhouse, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in 1. and 2. above be subject to the following conditions:
 - (a) that the approval only relates to the structures on Plan 2017/09/53;
 - (b) that building plans be submitted for the illegal structures and the new dwelling and garage for approval to the Building Department;
 - (c) that the greenhouse, and garden for planning vegetables may not be utilized until a dwelling has been developed on the property;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that all the conditions by Eskom, be complied with;
 - (f) that all the conditions in the Services Report, be complied with, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

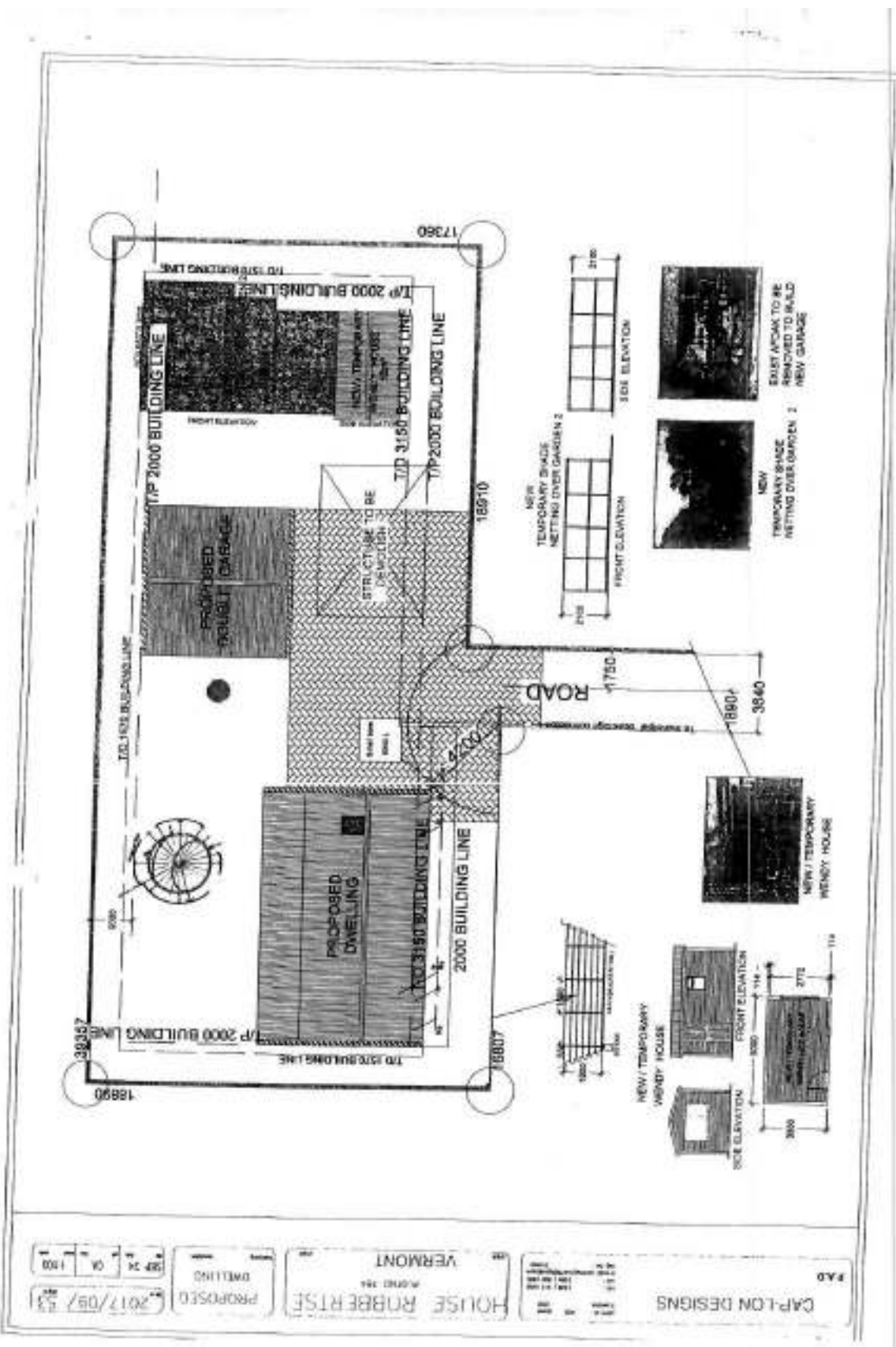
- (g) that an aesthetically pleasing boundary wall/fence of at least 1,8m in height be constructed on the northern boundary and the eastern erf boundary.
4. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



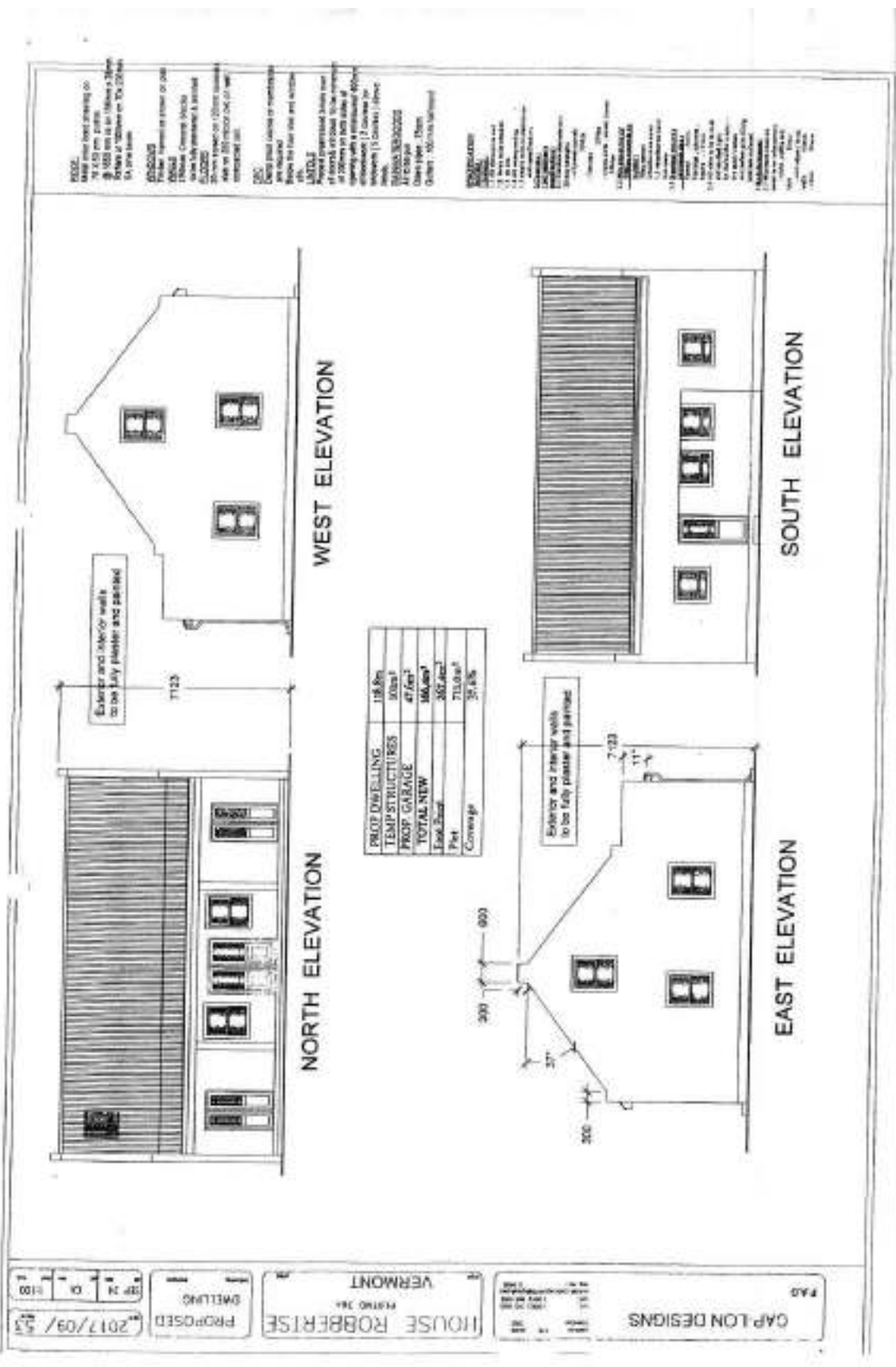
Erf 704 HVM

Date: 2018-02-08





CAPLON DESIGNS
 HOUSE RBBERTSE
 VERMONT
 PROPOSED DWELLING
 2017/09/23
 FAO



NOTES:
 1. All work to be done in accordance with the Building Code of New Zealand.
 2. All work to be done in accordance with the Building Code of New Zealand.
 3. All work to be done in accordance with the Building Code of New Zealand.
 4. All work to be done in accordance with the Building Code of New Zealand.
 5. All work to be done in accordance with the Building Code of New Zealand.
 6. All work to be done in accordance with the Building Code of New Zealand.
 7. All work to be done in accordance with the Building Code of New Zealand.
 8. All work to be done in accordance with the Building Code of New Zealand.
 9. All work to be done in accordance with the Building Code of New Zealand.
 10. All work to be done in accordance with the Building Code of New Zealand.
 11. All work to be done in accordance with the Building Code of New Zealand.
 12. All work to be done in accordance with the Building Code of New Zealand.
 13. All work to be done in accordance with the Building Code of New Zealand.
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 16. All work to be done in accordance with the Building Code of New Zealand.
 17. All work to be done in accordance with the Building Code of New Zealand.
 18. All work to be done in accordance with the Building Code of New Zealand.
 19. All work to be done in accordance with the Building Code of New Zealand.
 20. All work to be done in accordance with the Building Code of New Zealand.

CAP LON DESIGNS
 HOUSE ROBERTSE
 VERMONT
 PROPOSED DWELLING
 2017/09/53
 2017/09/53

PROPOSED DWELLING
 2017/09/23
 VERMONT
 HOUSE ROBERTSE
 FLOOR PLAN
 CAP-LON DESIGNS
 P. 13
 133
 88
 2017/09/23
 133
 88

Air Infiltration and Permissible Air Leakage as per SANS204
 The air infiltration and leakage requirements for glazing assemblies shall be as follows:
 1. For glazing assemblies in the conditioned space, the air leakage shall be limited to 0.5 l/s/m² of glazing area at 50 Pa differential pressure.
 2. For glazing assemblies in the unconditioned space, the air leakage shall be limited to 1.0 l/s/m² of glazing area at 50 Pa differential pressure.
 3. For glazing assemblies in the conditioned space, the air leakage shall be limited to 0.5 l/s/m² of glazing area at 50 Pa differential pressure.
 4. For glazing assemblies in the unconditioned space, the air leakage shall be limited to 1.0 l/s/m² of glazing area at 50 Pa differential pressure.

REGULATIONS FOR COMPARTMENTATION
 The construction of fire-resisting walls, floors, ceilings and doors shall be in accordance with the relevant provisions of the Building Regulations. The fire-resisting walls, floors, ceilings and doors shall be constructed in accordance with the relevant provisions of the Building Regulations. The fire-resisting walls, floors, ceilings and doors shall be constructed in accordance with the relevant provisions of the Building Regulations.

REQUIREMENTS FOR EXTERNAL DOORS
 External doors shall be constructed in accordance with the relevant provisions of the Building Regulations. The external doors shall be constructed in accordance with the relevant provisions of the Building Regulations. The external doors shall be constructed in accordance with the relevant provisions of the Building Regulations.

Member	Material	Thickness	Fire Rating
1	Steel	1.20	1.20
2	Concrete	1.50	1.50

Area	Perimeter	Area	Perimeter
1	1.20	1.20	1.20
2	1.50	1.50	1.50

DEFAULT WINDOW CONDUCTIVITY & SIZE

Orientation	U-value	Area (m²)
WEST	3.3	7.1
NORTH	4.4	7.8
SOUTH	3.7	1.9
EAST	3.3	1.5
TOTAL	4.7	18.3

GLAZING ASSEMBLY
 The glazing assembly shall be constructed in accordance with the relevant provisions of the Building Regulations. The glazing assembly shall be constructed in accordance with the relevant provisions of the Building Regulations. The glazing assembly shall be constructed in accordance with the relevant provisions of the Building Regulations.

METAL FLOOR AREA
 10.4 m²
 10.4 x 0.53 = 5.51 m²
 GLAZING AREA TO MET FLOOR AREA
 10.4 x 0.53 = 5.51 m²

METAL SHEET ROOF ASSEMBLY

Orientation	U-value	Area (m²)
WEST	3.3	7.1
NORTH	4.4	7.8
SOUTH	3.7	1.9
EAST	3.3	1.5
TOTAL	4.7	18.3

CLEAR GLAZING SOLAR HEAT GAIN

Orientation	SHGC	F/H	E	TOTAL
WEST	0.3	0.81	0	0.81
NORTH	4.4	0.81	0.84	1.2
SOUTH	3.7	0.81	0.81	0.81
EAST	3.3	0.81	1.19	0.81
TOTAL	4.7	Grand total		

PANELS VERSUS SHADING DESCRIPTION

PANEL	FACING DIRECTION	AREA (m²)	SHADING DESCRIPTION
1	WEST	3.3	Unshaded
2	NORTH	4.4	Shaded
3	SOUTH	3.7	Shaded
4	EAST	3.3	Unshaded
TOTAL	TOTAL	14.7	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 764, VERMONT (3907)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 764, Vermont, unobstructed;
5. that no on-street parking be allowed.


 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES


 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- 28. ERF 8274, 3 SUGARBIRD CLOSE, HEMEL & AARDE ESTATE, HERMANUS: OVERSTRAND MUNICIPAL AREA : PROPOSED DEPARTURE: MESSRS SRT ARCHITECTS ON BEHALF OF GH CLAASSEN**

8274 HMS (3921)

H Boshoff

(028) 313 8900

Hermanus Administration

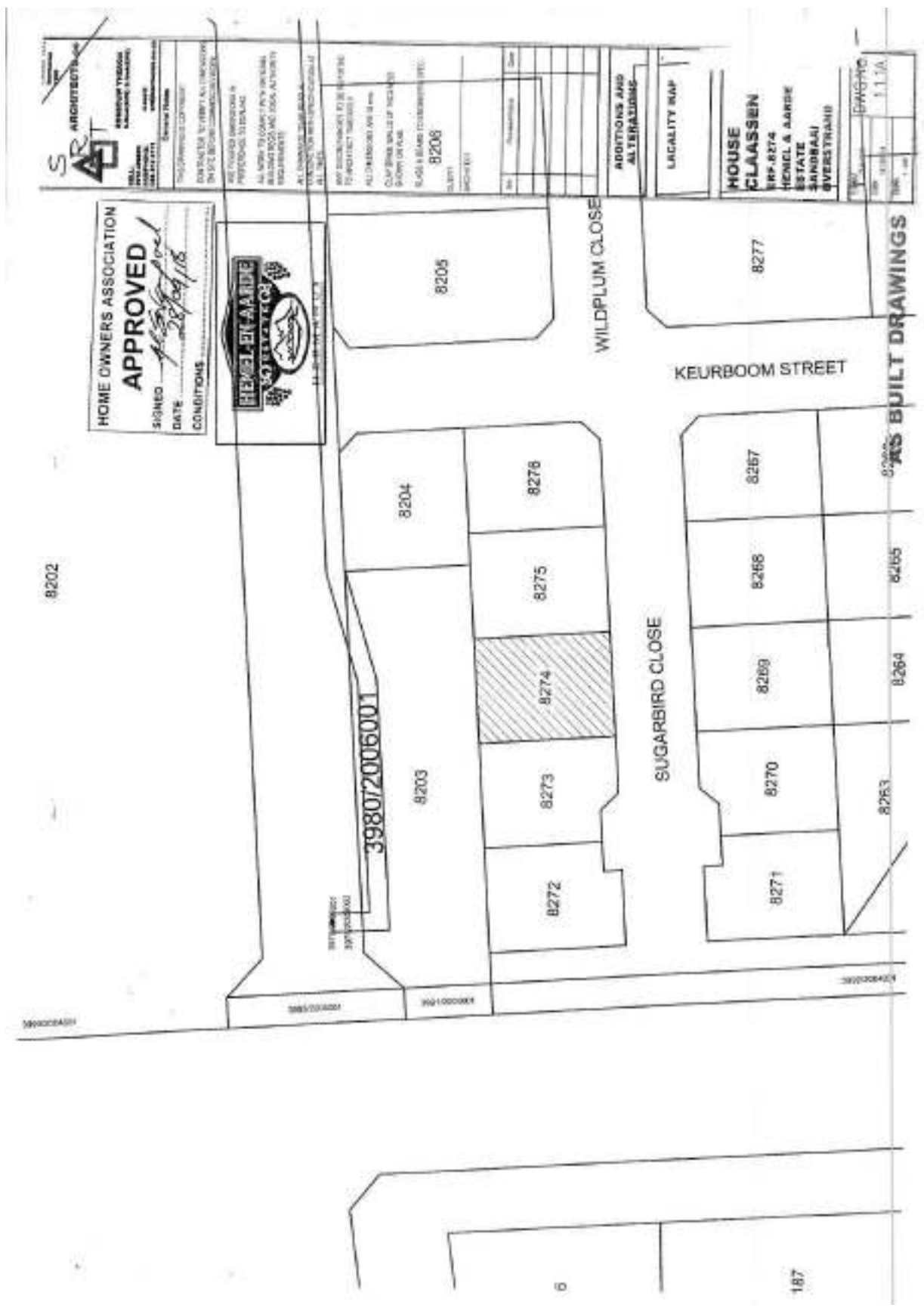
6 November 2018

Executive Summary

An application has been received on 2 August 2018) from Messrs SRT Architects on behalf of GH Claassen on Erf 8274, Hemel & Aarde Estate, Hermanus for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the eastern lateral building line from 1m to 0m and 1m to 0,280m respectively to accommodate a store room and open braai.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 8274, Hermanus in order to relax the eastern lateral building line from 1m to 0m and 1m to 0,280m respectively to accommodate a store room and open braai, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the dimensions of the open braai as indicated on Plan Numbers 1.1C, 1.2B, 3.2B and 2.1C dated 19 September 2018, that was submitted with the application;
 - (b) that the necessary building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that the applicable conditions of Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



6

187



STUDIO 100
1000
4800-5450

SRT ARCHITECTS 04

ROBINSON PERDUE
ARCHITECTS & ASSOCIATES

1000 N. HARRIS ST.
RTP, NC 27617
4800-5450
www.srtarchitects.com

Chesterfield

NEW CHANGES & APPROVALS

CONTRACTOR(S) MUST FOLLOW ALL REGULATORY AND BUILDING CODES IN ALL JURISDICTIONS

US-CANADA DIMENSIONS (IN FEET AND INCHES)

ALL NOTES TO COMPLETE ANY MISSING INFORMATION SHOULD BE IDENTIFIED AND DATED

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS

CONSTRUCTION BY PERMIT ONLY

ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME

CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

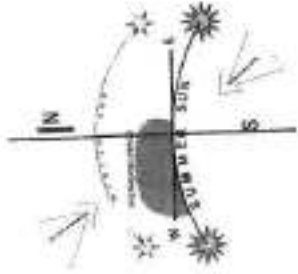
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED

CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED

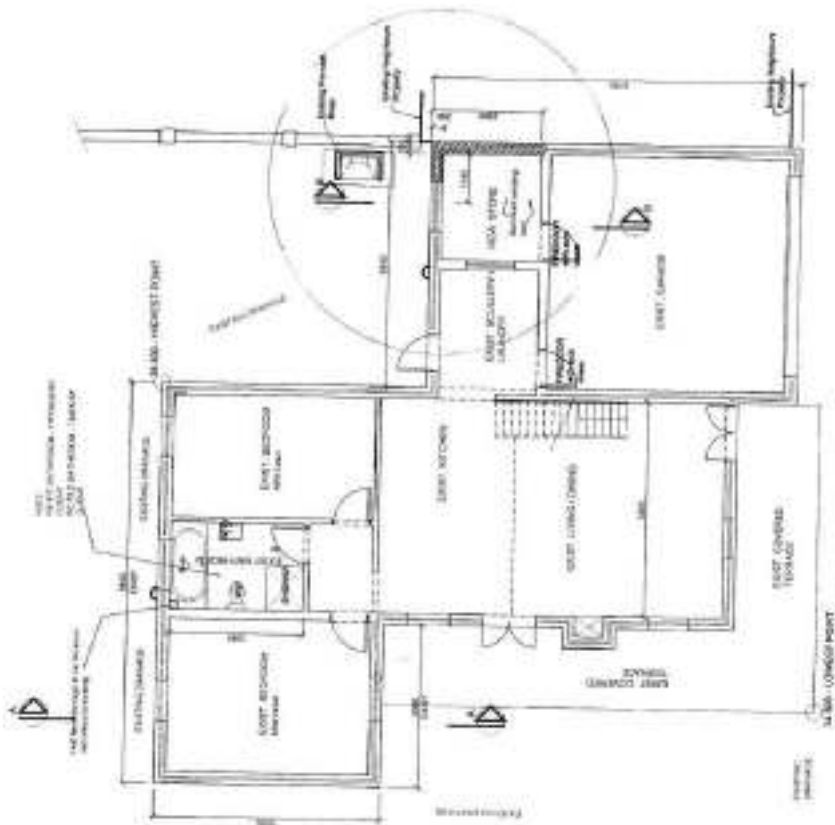
CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

DWG NO
1-10



RFP # 274		375sq'
SECOND STORY:	NEW	18,000'
	TOTAL	3,200'
FIRST FLOOR:	NEW	18,700'
	TOTAL	91,000'
TOTAL AREA:	NEW	32,500'
	TOTAL	73,300'
SHOULD BE RE-EVALUATED		395,000'
CONTRACT		187,500'
TOTAL		61,500'

SRT ARCHITECTS 40 40 BROADWAY PARKWAY SANDHIAAI OVERSTRAND 7801 815 5111 www.srt.co.za		CONTRACT NO: 2014/01 PROJECT NO: 2014/01/01 DATE: 10/10/14	
GENERAL NOTES THE DRAWINGS CONTAIN CONTRACT TO BE MET BY THE ARCHITECT IN THE INTEREST OF THE CLIENT THE CLIENT'S RESPONSIBILITY IS TO PROVIDE ALL INFORMATION REQUIRED TO BE MET. ALL WORK TO COMPLY WITH ALL APPLICABLE REGULATIONS AND TO BE DONE TO THE SATISFACTION OF THE ARCHITECT. ALL DIMENSIONS TO BE FROM FINISH CONSTRUCTION UNLESS OTHERWISE STATED. ALL DIMENSIONS TO BE FROM FINISH CONSTRUCTION UNLESS OTHERWISE STATED. ALL DIMENSIONS TO BE FROM FINISH CONSTRUCTION UNLESS OTHERWISE STATED.			
ADDITIONS AND ALTERATIONS			
GROUND FLOOR PLAN & DRAINAGE			
HOUSE CLAASSEN ERF 8274 HEWEL & AIRBE ESTATE SANDHIAAI OVERSTRAND			
DATE: 10/10/14	DWG NO: 1.20	SCALE: 1:50	



GROUND FLOOR PLAN 1 : 100 (New area - 3m²)

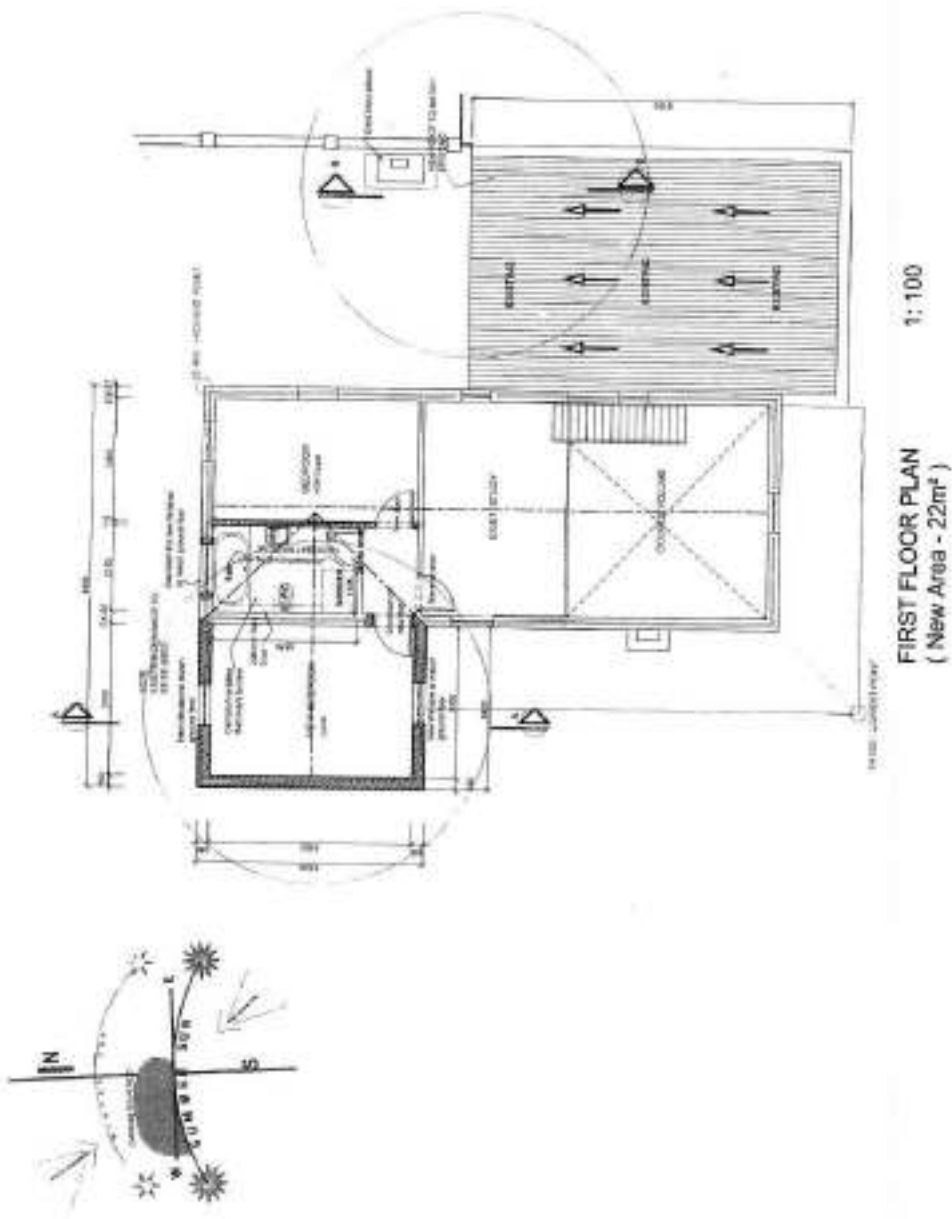
SRT ARCHITECTS 44
AT
 REGISTERED ARCHITECTS
 10, SHANTANU TOWER
 2ND FLOOR, MARKET STREET,
 COLOMBO 03, SRI LANKA

PROJECT NAME: **HOUSE CLAASSEN**
 NO. 1: **1.38**
 DATE: **1.18**

CLIENT: **HOUSE CLAASSEN**
 ADDRESS: **EMF 2374, HENEL & RADE ESTATE, SANGAALI, OVERS TREND**

DRAWING NO: **1.38**
 SHEET NO: **1.38**

ADDITIONS AND ALTERATIONS
 FIRST FLOOR PLAN



1:100

FIRST FLOOR PLAN
(New Area - 22m²)

SRT ARCHITECTS INC
ARCHITECTS
 1111 BROADWAY, SUITE 100
 NEW YORK, NY 10018
 TEL: (212) 512-1234
 WWW.SRTARCHITECTS.COM

THE BARNHILL OFFICE

CONFORM TO ALL CITY, ALL TOWNSHIP AND ALL COUNTY ORDINANCES AND ALL APPLICABLE CODES. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL APPLICABLE ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL APPLICABLE ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL APPLICABLE ORDINANCES.

HOUSE CLASSEN
 1111 BROADWAY, SUITE 100
 NEW YORK, NY 10018

ADDITIONS AND ALTERATIONS

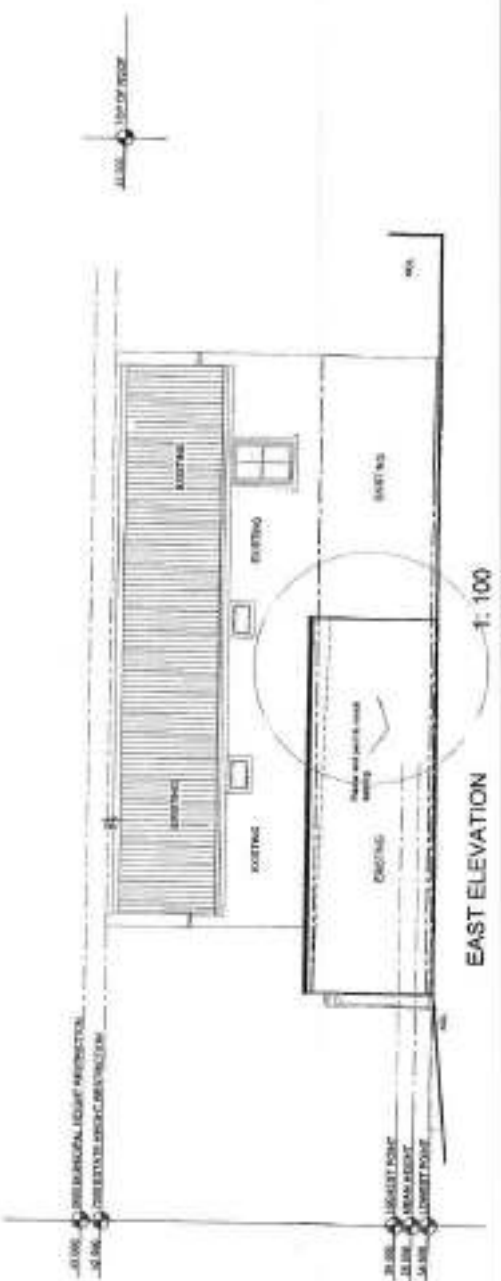
NORTH & EAST ELEVATIONS

HOUSE CLASSEN
 1111 BROADWAY, SUITE 100
 NEW YORK, NY 10018

No.	Description	Date

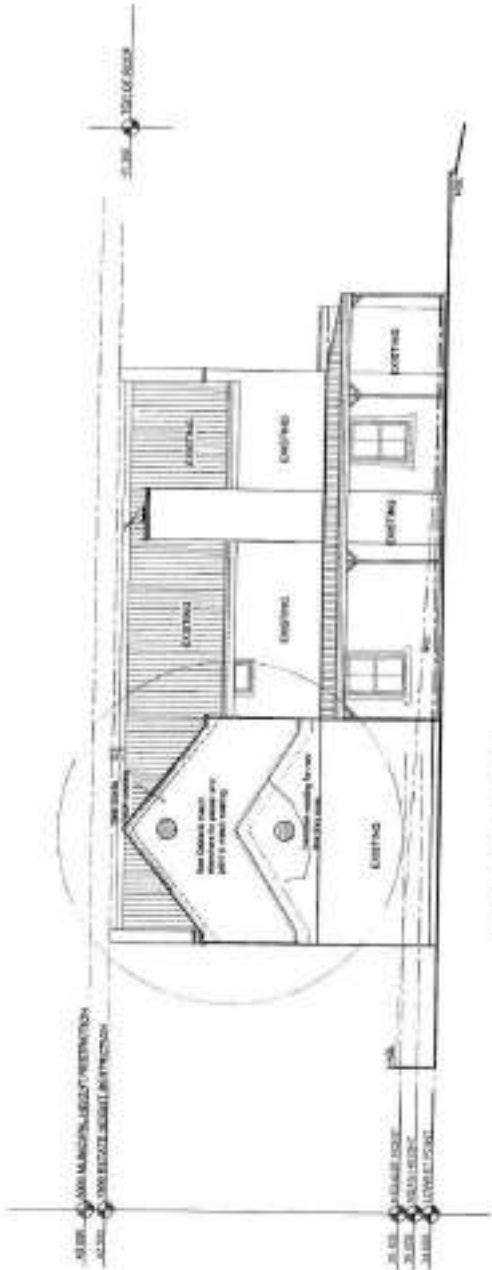
DWG NO 3.2B

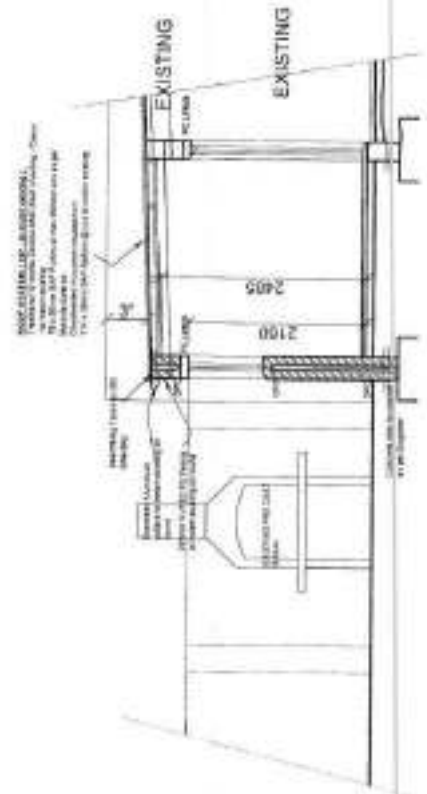
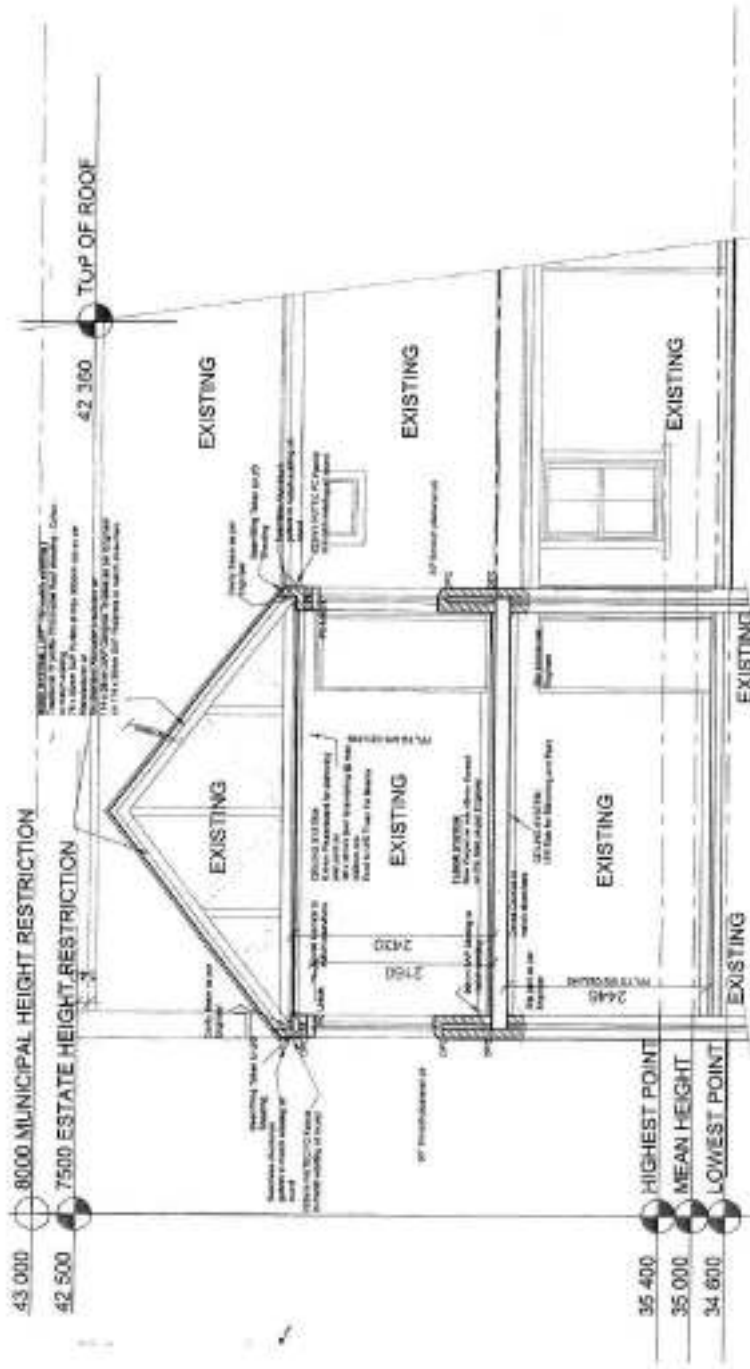
DATE 1/1/20



AS BUILT DRAWINGS

		Drawn by: Date:
CONTRACT TO VERIFY ALL WORKING DRAWINGS FOR CONFORMANCE WITH ALL BUILDING REGULATIONS AND ALL APPLICABLE CODES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING WORK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS OR SERVICES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING WORK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORKS OR SERVICES.		DWG. NO. 31B
ADDITIONS AND ALTERATIONS		HOUSE CLAASSEN erf. 3274 HEMEL & AARDE ESTATE SANDSBALI OVERSTRAAT
SOUTH & WEST ELEVATIONS		DATE: 2014 SCALE: 1:100





S R ARCHITECTS cc
ART
 1111 11th Street, Suite 1100, San Francisco, CA 94103
 Tel: 415 774 8888
 Fax: 415 774 8889
 Email: info@sra.com

Client Name:
Project Name:
Project Address:

Drawn by:
Checked by:
Date:

REVISIONS:

No.	Description	Date

ADDITIONS AND ALTERATIONS

SECTION A - A
SECTION B - B

HOUSE CLAASSEN
 8167 8274
 HEWEL & AARDE
 ESTATE
 SANBRAAI
 OVERSTRAND

DATE: 11/11/11
SCALE: 1:1
DWG NO.: 2-1C

AS BUILT DRAWINGS

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

29. ERF 4711, 30 LOWER BEACH ROAD, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PERMISSION REQUIRED IN TERMS OF THE ZONING SCHEME: AAH VERLOREN VAN THEMAAT ON BEHALF OF THE VRYHEIDSTER TRUST

4711 KKM (3906)

H van der Stoep

13 November 2018

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 29 January 2018 from AAH Verloren van Themaat on behalf of the Vryheidster Trust on Erf 4711, Kleinmond for a permission required in terms of the Zoning Scheme in terms of Section 16(2)(g) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 in order to legalize the garage that was turned into a store room.

RESOLVED :

1. that the application, in terms of Section 16(2)(g) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015, on Erf 4711, Kleinmond for a permission required in terms of the Zoning Scheme in order to legalize the garage that was turned into a store room, **be approved** in terms of the provisions of Section 61 of the By-Law, subject the following conditions:
 - (a) that this approval is only for the development as indicated on plan number B7013-01 dated 2 January 2018, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department, be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (e) that all the conditions in the Services Report, be complied with,
 - (f) that the room may only be used as a storeroom and not for any other use or habitation.

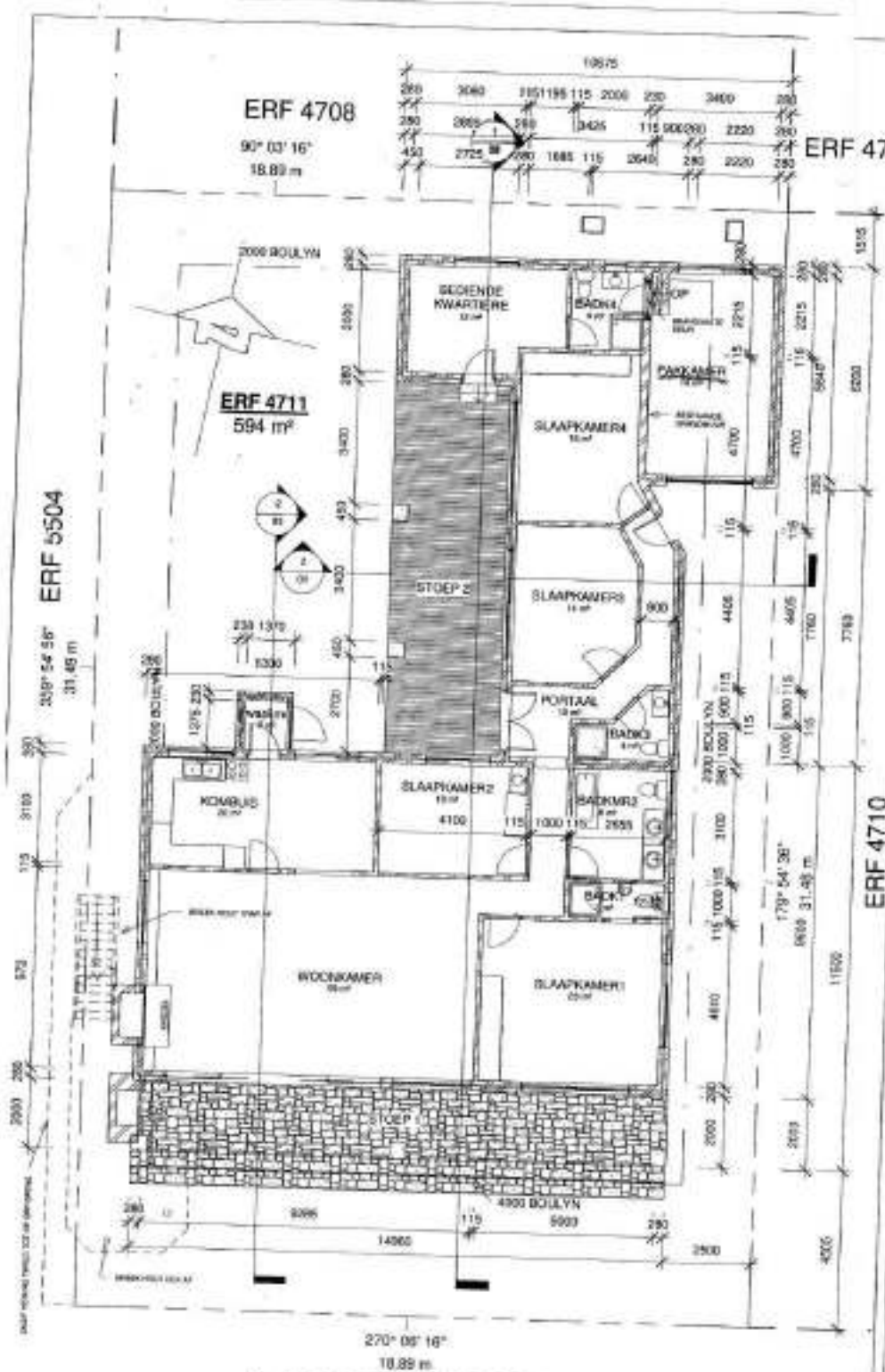
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 4711 Kleinmond

Date: 2018-02-05



ERF 5504
33° 54' 58"
31.45 m

ERF 4708
90° 03' 16"
18.89 m

ERF 4711
594 m²

ERF 4701

ERF 4710

1 GROND A3 LAER KUSWEG
1 : 100

GRONDVERDIEPING	
Prosjektno.:	81810
Gebruik:	Woon
Opsteller (by):	J. van der Merwe
Opsteller (duur):	05
Opsteller (duur):	05

OPDATERING VAN TEKENINGE VIR
VRYHEIDSTER TRUST

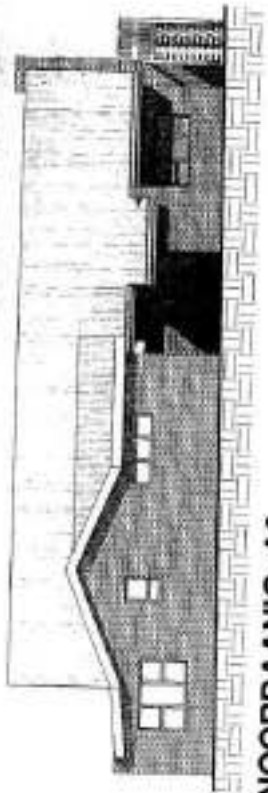
No.	Description	Date

PROJ. LEIEN: 40228423066.0008
SLAAP KAMER W. STOEK

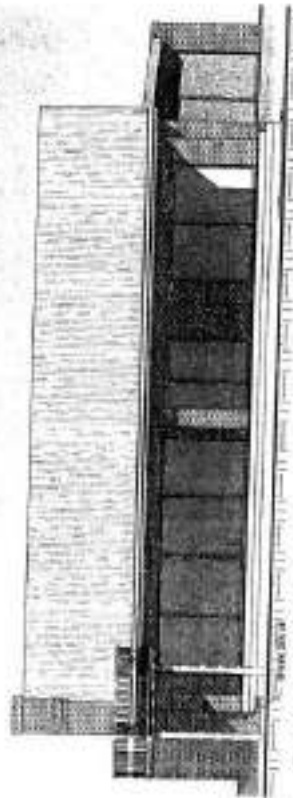
JH BLIGNAUT
KUSWEG 42
KLEINMOED
7195

SELFON 082 7322732
TELEFON 028 271 3796
EPOS jhb@mau@xoxmail.co.za

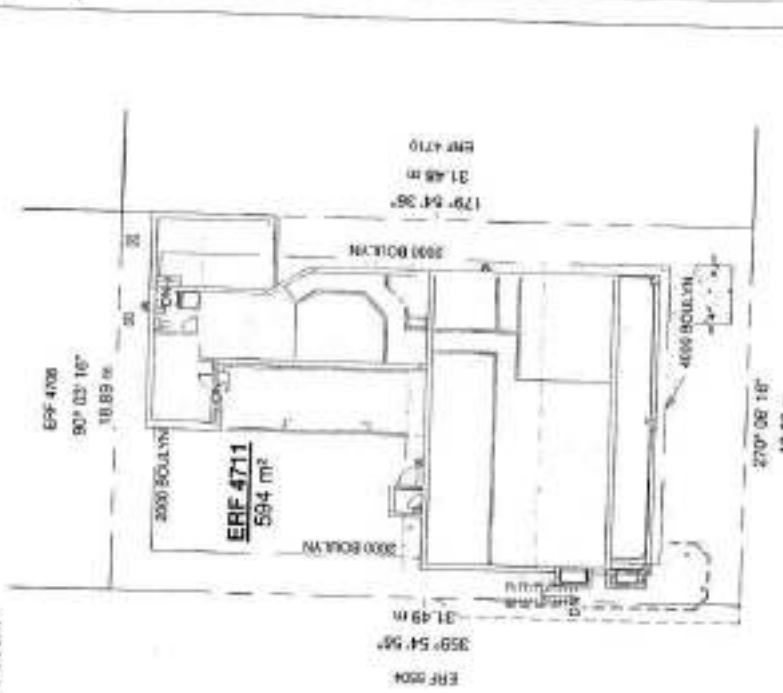
OPPERVLAKTE VAN ERF 594m²
 OPPERVLAKTE VAN GEBOU 305m²
 DEKKING 51%



1 NOORDAANSIG A3
 1 : 100



2 SUIDAANSIG A3
 1 : 100



LAER KUSWEG
 3 TERREINPLAN A3
 1 : 200

No.	Description	Date

PROF. GENCOR ARCHITECTURE/LOGO
 STAMP: PERS. NIE. 072383

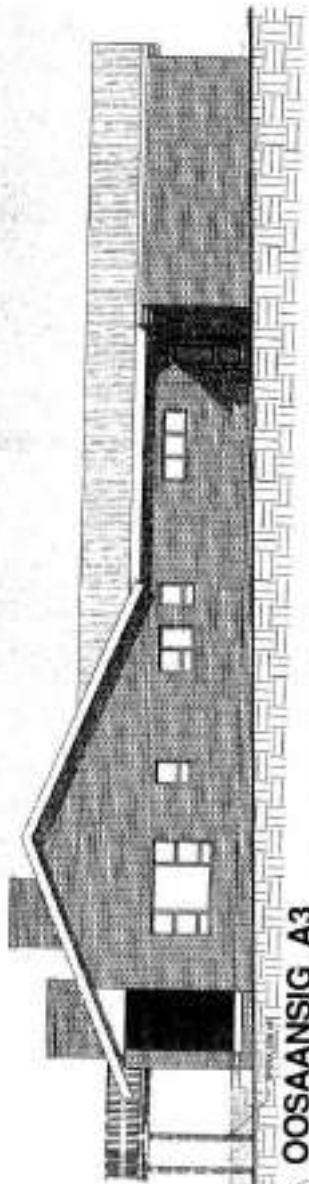
JH BIGNAUT
 KUSWEG 42
 KLEINMOND
 7195
 EPOS: jhb@bignaut.co.za

SELFOON 082 7322732
 TELEFOON 028 2713796

OPDATERING VAN TEKENINGE VIR
 VRYHEIDSTER TRUST

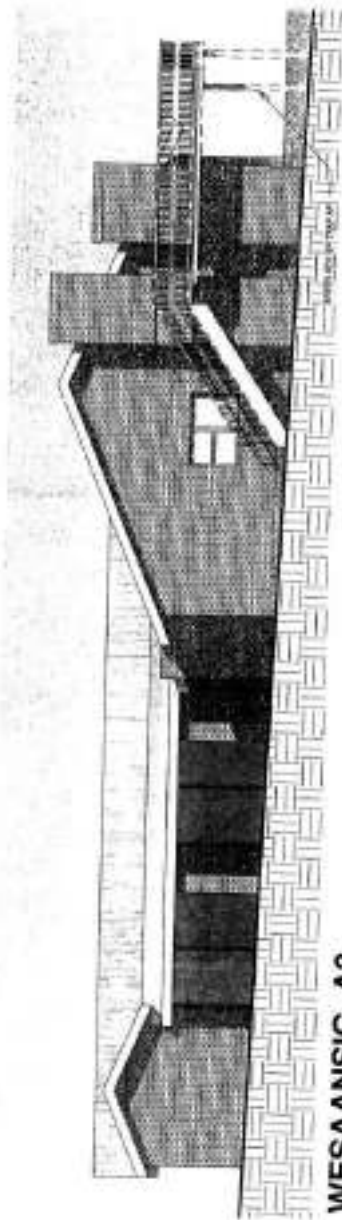
AANSIGTE

Profielnummer	WETTE	NO
06/01	30/12/02	06
Datum	Wet	NO
Profiel No.	Wet	NO



1 OOSAANSIG A3

1 : 100



2 WESAANSIG A3

1 : 100

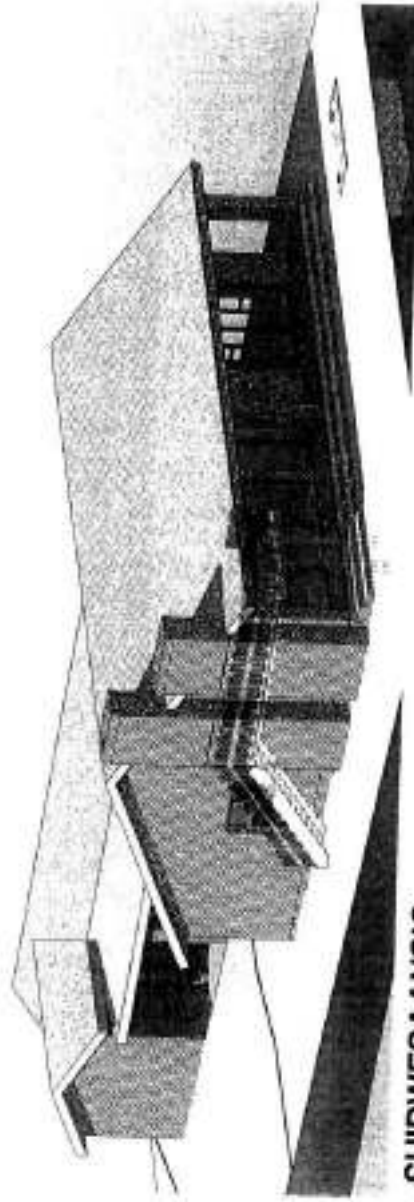
PROF. JH BLIGNAUT
 KUSWEG 42
 KLEINMOOND
 7198
 SOUTH AFRICA 670106
JH BLIGNAUT
 SELFOON 062 7322732
 TELEFOON 028 2715796
 EPOOS jhblignaut@vodanet.co.za

No.	Description	Date

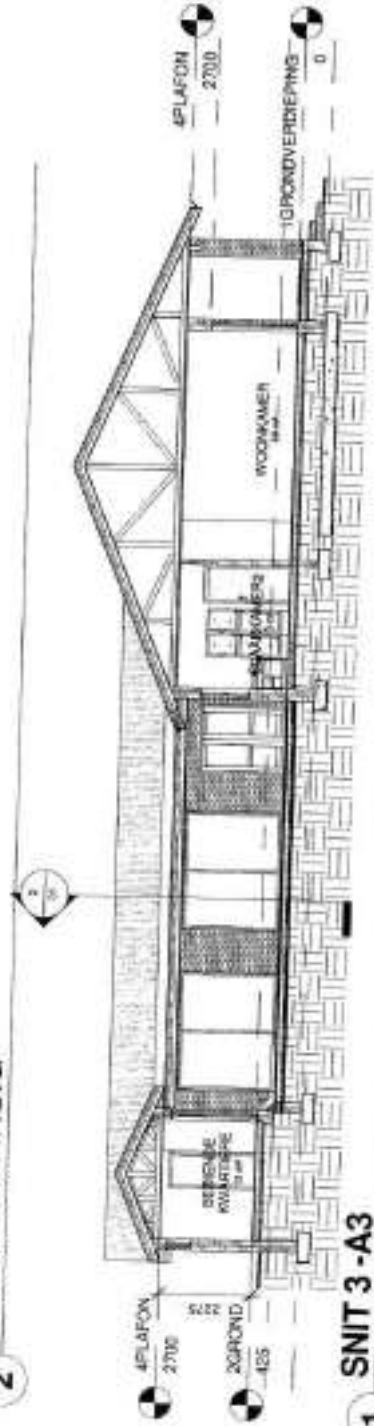
OPDATERING VAN TEKENINGE VIR
 VRYHEIDSTER TRUST.

AANSIGTE

Project No.	07/03
Drawn	08/03/03
Checked	JHB
Project Date	07
Scale	1 : 100



2 SUIDWESAANSIG



1 SNIT 3-A3
1:100

PROF. J. SMITH ARCHITECTURERKONDOOS
J H BIGNAUT
 SAAMPREKES W. A. STRUKE
 KUSWEG 42
 KLEINMOND
 71 95
 SELEFON 086 7322732
 TELEFON 028 2713786
 EPOS j.h.bignaut@excelsis.co.za

No.	Description	Date

OPDATERING VAN TEKENING VIR
 VRIEHEEDSTER TRUST

SNIT

Projektnommer	819713
Datum	2014.07.28
Geneem deur	J.H.B.
Uitgereik deur	J.H.B.
Bladsy	08
Totaal bladsye	11

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR PERMISSION REQUIRED IN TERMS OF THE ZONING
SCHEME: ERF 4711, KLEINMOND (3906)

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4711, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

03/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

30. ERF 2634, 59 STERGIANOS STREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS WRAP ON BEHALF OF AC AND DE EADY

2634 HSB (3852)

H Boshoff

(028) 313 8900

Hermanus Administration

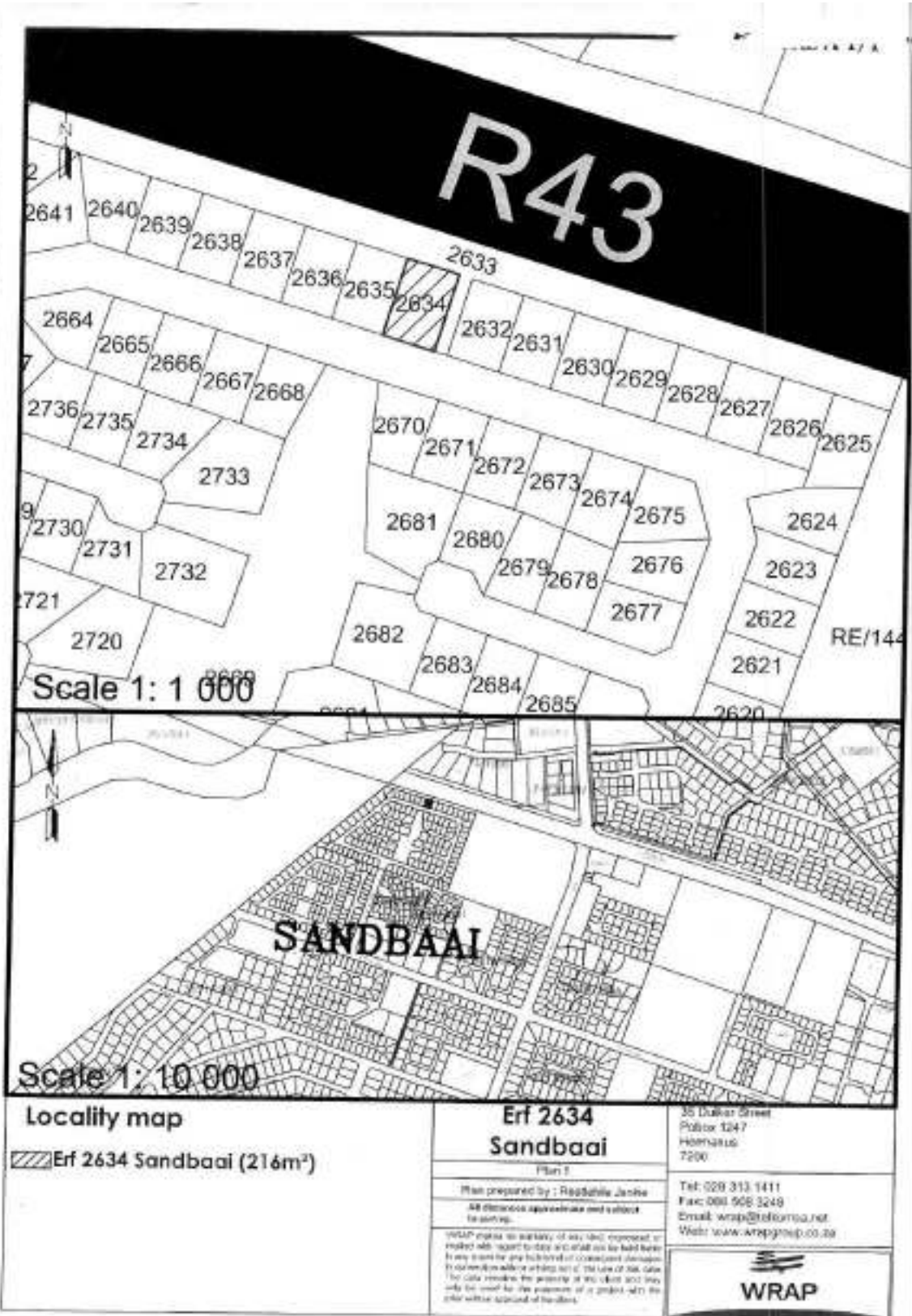
1 November 2018

Executive Summary

An application has been received on 16 November 2017 from Messrs WRAP on behalf of AC & DE Eady on Erf 2634, Sandbaai for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the eastern lateral building line from 1m to 0m in order to accommodate an existing detached braai.

RESOLVED :

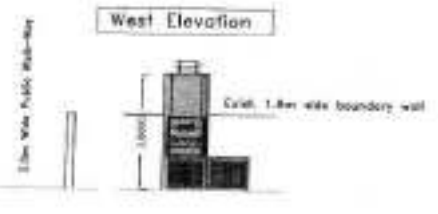
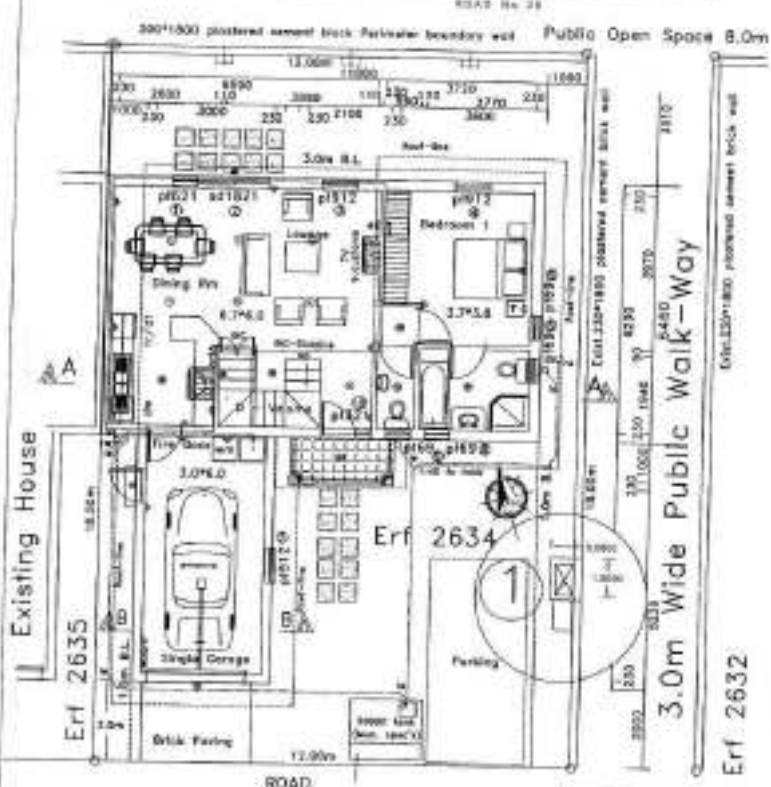
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2634, Sandbaai to relax the eastern lateral building line from 1m to 0m in order to accommodate the existing open braai, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the dimensions of the open braai as indicated on Plan Number 2634SB/SDV dated 2018, which was submitted with the application;
 - (b) that the necessary building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that the conditions of Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Minor Changes to Approved Plan
 ① Add new Braai on Side Boundary
 Note: See HOA Guidelines: # 3.2.7

SUNDEW VILLAS
 SANDBAAL Erf 2634
 Klamat Investment Prop.

PROFESSIONAL
 Prof. V&E (06) 222 2124
 (Pretoria) Planning & Development
 GPO (Pretoria) 1000
 Cell 0822900024
 E-mail: info@p2d.co.za
 People Rr. Durban



PLANNING & DEVELOPMENT
 2012/2013

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

31. ERF 8, 12 BOUNDARY WAY, PEARLY BEACH, OVERSTRAND MUNICIPAL AREA: PROPOSED RELAXATION OF RESTRICTIVE TITLE DEED CONDITION: PC & L JEFTHA

8 GPB (4104)

P Roux

(028) 313 8900

Hermanus Administration

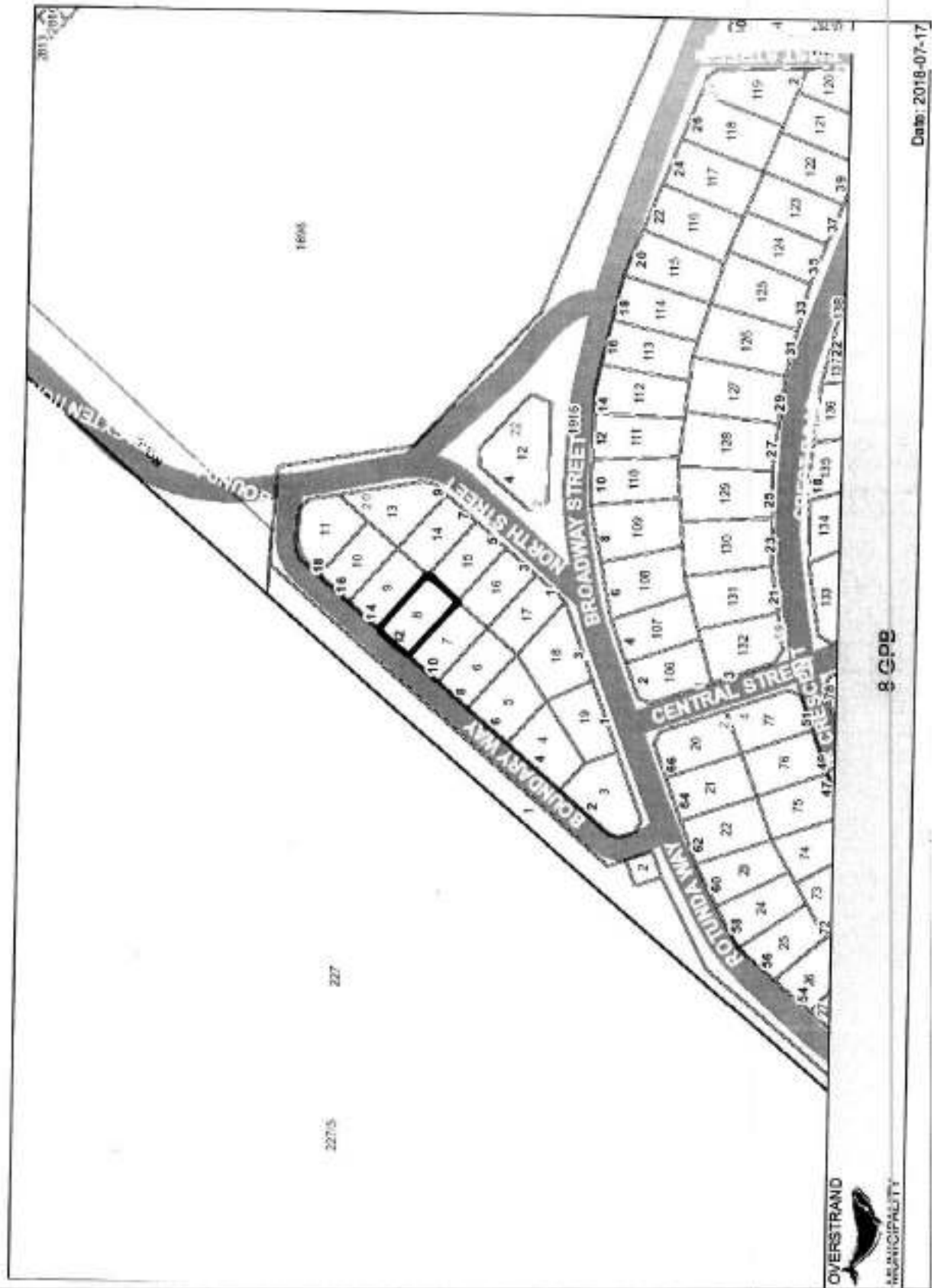
9 November 2018

Executive Summary

To consider an application in terms of the provisions of the Title Deed received on 13 July 2018 from PC & L Jeftha on Erf 8, Pearly Beach for the relaxation of a restrictive title deed condition; paragraph 4(d) as contained in Title Deed T26052/2017, in order to encroach the rear building line from 3,15m to 2,15m to accommodate the existing dwelling on the property.

RESOLVED :

1. that in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 8, Pearly Beach for the relaxation of restrictive title deed condition, paragraph 4(d) as contained in Title Deed T26052/2017, in order to encroach the rear building line from 3,15m to 2,15m to accommodate the existing dwelling on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the relaxation is restricted to the area indicated on the Site Plan;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department, be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all the conditions in the Services Report, be complied with, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.



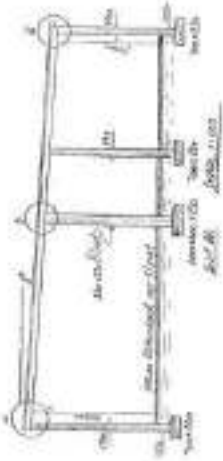
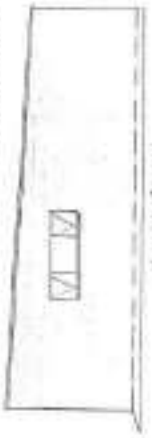
2275

227

1666

VORGELEGDE NIEUWE MOTORHUIS MET BEDRIJFDE
 KWARTIER EN STOOR VIB
 P.C. & L. JEFFHA
 OP ERF NO. 5 GELÉG T.E. PEARLY BEACH

oppervlakte 733 m²
 26,60 x 27,17 m



oppervlakte 733 m²
 26,60 x 27,17 m



OPMERKINGEN.
 De afgebeelde tekening is een ontwerp van de architect en kan wijzigingen ondergaan.
 Het is niet verantwoord om te bouwen op basis van deze tekening zonder de afgebeelde tekening te raadplegen.
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 Het is niet verantwoord om te bouwen op basis van deze tekening zonder de afgebeelde tekening te raadplegen.

ALGEMEEN.
 Alle afgebeelde tekeningen zijn op schaal getrokken.
 Het is niet verantwoord om te bouwen op basis van deze tekening zonder de afgebeelde tekening te raadplegen.

OPMERKINGEN.
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ALGEMEEN.
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OPMERKINGEN.
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ALGEMEEN.
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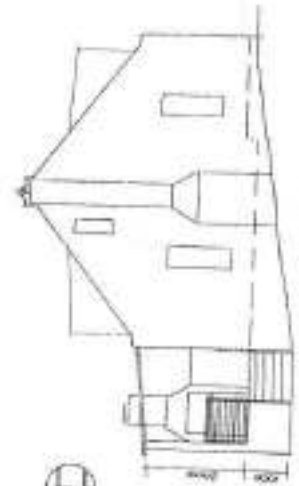
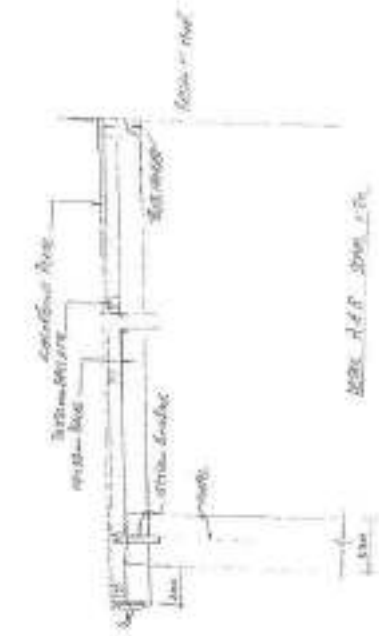
OPMERKINGEN.
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 Het is niet verantwoord om te bouwen op basis van deze tekening zonder de afgebeelde tekening te raadplegen.

ALGEMEEN.
 Alle afgebeelde tekeningen zijn op schaal getrokken.
 Het is niet verantwoord om te bouwen op basis van deze tekening zonder de afgebeelde tekening te raadplegen.

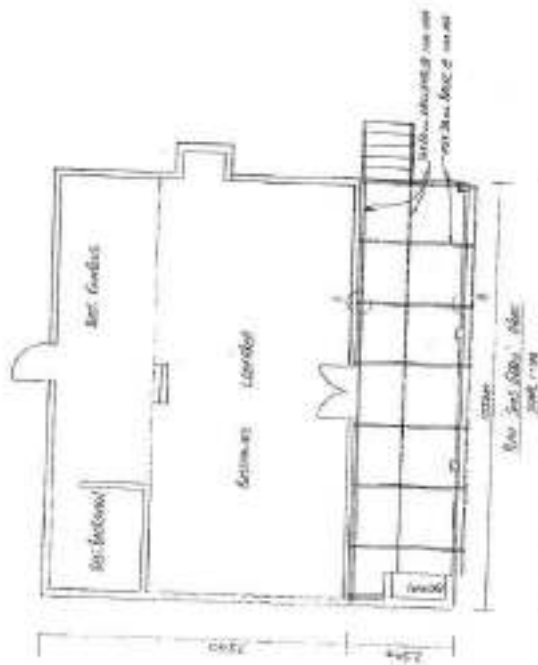
OPMERKINGEN.
 De afgebeelde tekening is een ontwerp van de architect en kan wijzigingen ondergaan.
 Het is niet verantwoord om te bouwen op basis van deze tekening zonder de afgebeelde tekening te raadplegen.

GETEKENED DOOR
 P.C. & L. JEFFHA
 ARCHITECTEN

Bevestigingsblad 1
 MARCH 1924
 NO. 151-152-153
 DATUM: 15-3-24
 TEKEN. NO. 3-1-24



SEE PLAN FOR DIMENSIONS



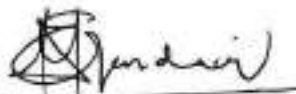
SEE PLAN FOR DIMENSIONS

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR RELAXATION: ERF 8, PEARLY BEACH (4104)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 - P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 8, Pearly Beach, unobstructed;
6. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

17/10/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

32. ERF 739, 6 ROYAL STREET, NORTHCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED REZONING AND DEPARTURE: SM SMITH ON BEHALF OF ABDIVE CC

739 HNC (3753)

H van der Stoep

(028) 313 8900

Hermanus Administration

14 November 2018

Executive Summary

An application has been received on 4 August 2017 from SM Smith on behalf of Abdive CC on Erf 739, Hermanus for the following:

- ❖ rezoning in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, from Residential Zone 1: Single Residential (SR1) to Business Zone 1.
- ❖ departure in terms of Section 16(2)(b) of the above By-Law to relax the following building lines in order to accommodate the existing structures on the property:
 - street building line from 5m to 0m;
 - lateral building lines from 3m to 0m and 1,5m respectively; and
 - rear building line from 3m to 1,5m.

The application was complete on 24 March 2018 for distribution.

RESOLVED :

1. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the rezoning of Erf 739, Hermanus from Residential Zone 1: Single Residential (SR1) to Business Zone 1, **be approved;**
2. that the application in terms of Section 16(2)(b) of the above By-Law on Erf 739, Hermanus for a departure in order to relax the following building lines:
 - street building line from 5m to 0m;
 - lateral building lines from 3m to 0m and 1,5m respectively; and
 - rear building line from 3m to 1,5m.

be approved;

3. that the approval in Points 1. and 2. above be approved in terms of the

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

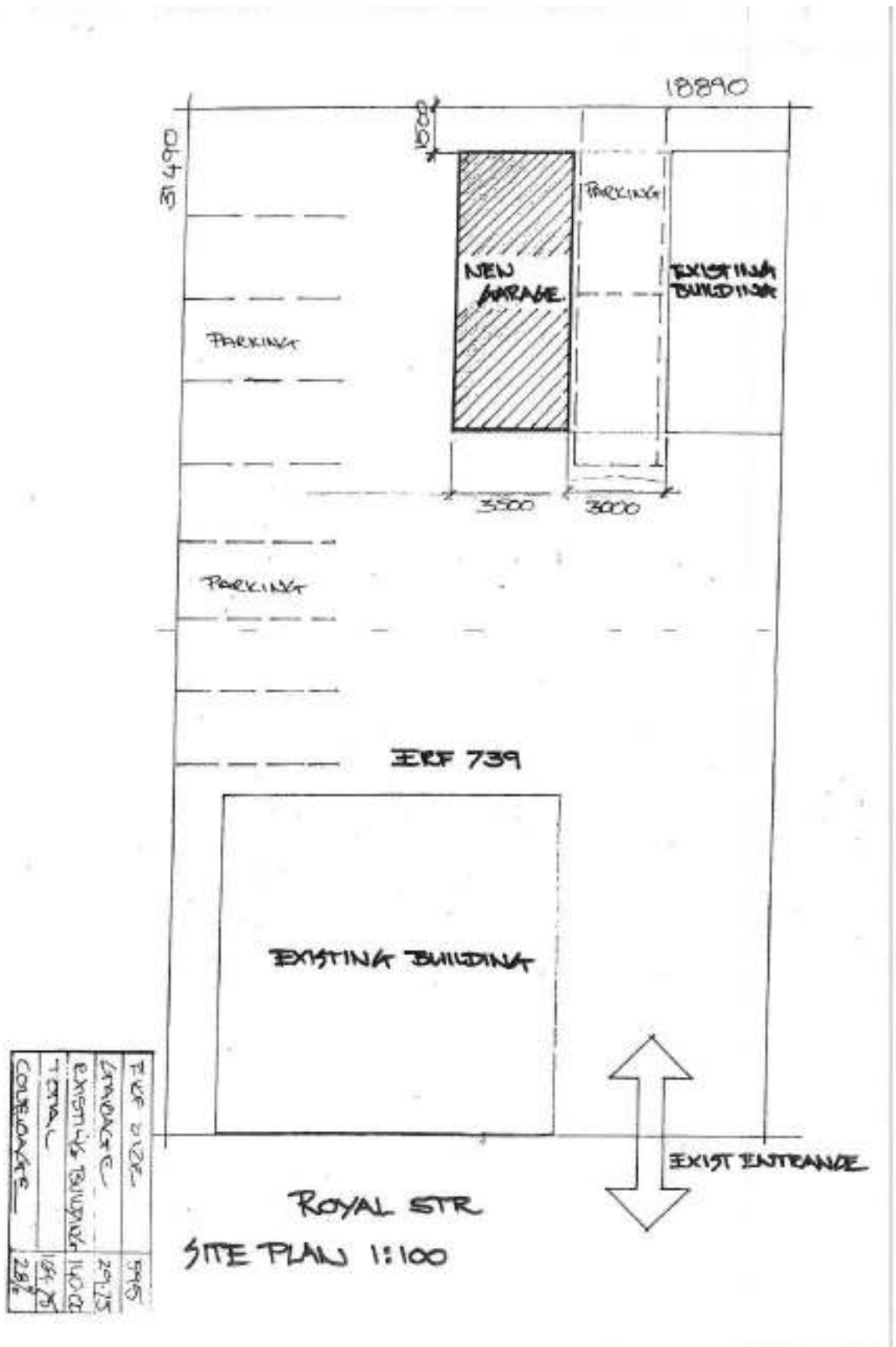
provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plan number A1 dated August 2017, as submitted with the application;
 - (b) that the development be restricted to only the approved building plan;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (e) that all the conditions in the Services Report, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan - Erf 739 Northcliff

0 10 20 30 40 50 60 70 80 90 100



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING & DEPARTURE: ERF 739, NORTHCLIFF (3753)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sections/ Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2018/2019) is as follows:

Freehold erven:

Water	R 21 688.60 x -0.4440=	- R 9 542.98
Sewerage	R 14 623.16 x -0.330=	- R 4 825.64
Roads	R 6 577.01 x 2.9652=	R 19 442.85
Stormwater	R 7 565.79 x 0.788=	R 5 961.84
Solid Waste	R 1 311.40 x 0.4875=	R 639.31
TOTAL (inclusive of VAT)	=	<u>R 11 675.38</u>

Note:

1.3 The above figures are estimates

2. that only the standard water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;

3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P; 2010: Drainage;
5. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 739, Northcliff, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

33. ERF 4358, AGAPANTHUS ROAD, BETTY'S BAY, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: P MATTHEUS ON BEHALF OF D JOHNSON

4358 KBB (3726)

H van der Stoep

(028) 313 8900

Hermanus Administration

14 November 2018

Executive Summary

An application has been received on 29 June 2017 from P Mattheus on behalf of D Johnson on Erf 4358, Betty's Bay for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the street building line from 5m to 0,426m and the lateral building line from 3m to 0,745m in order to accommodate a carport, tool-shed and greenhouse.

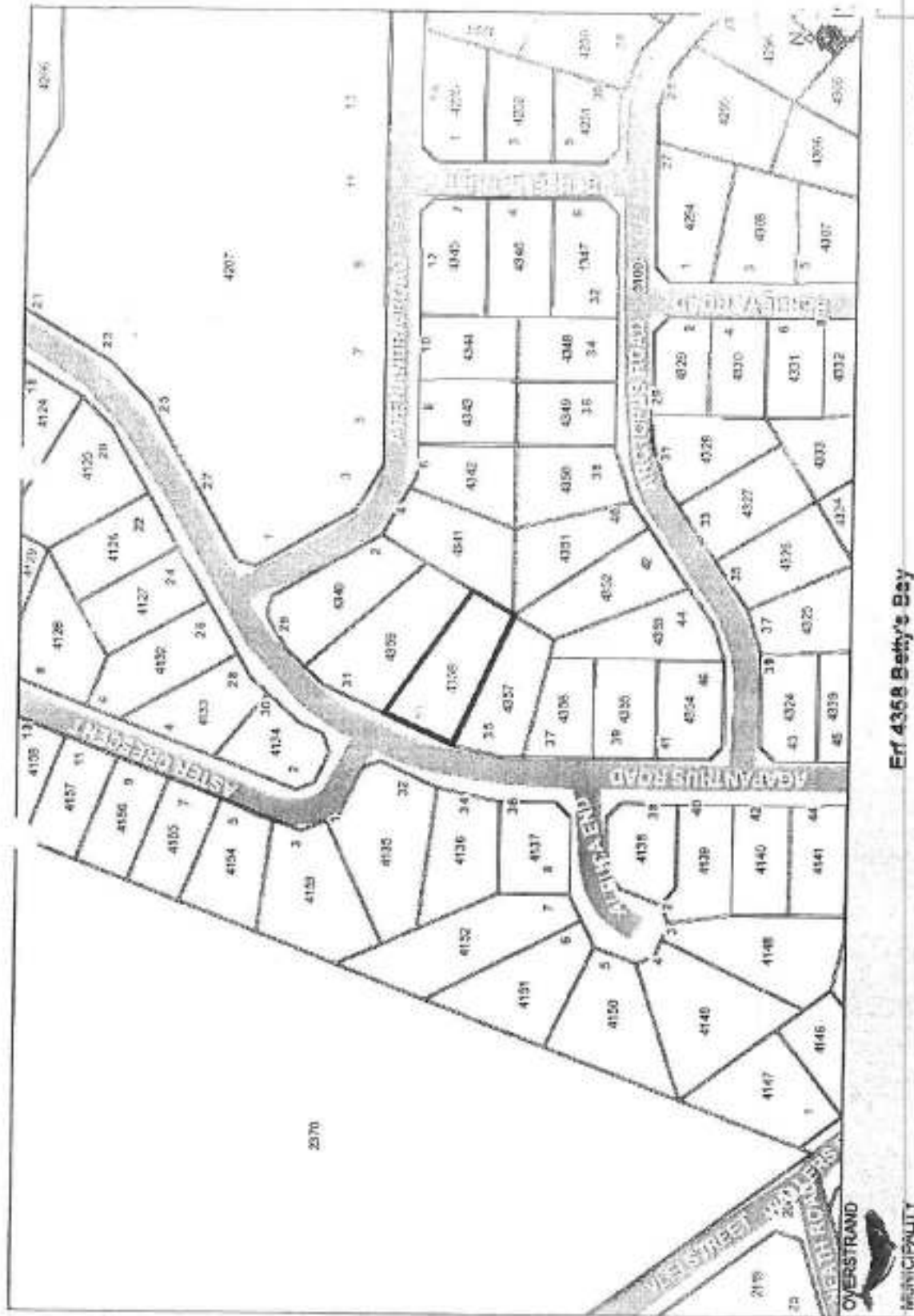
The application was complete on 18 December 2017.

RESOLVED :

1. that the departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to relax the street building line from 5m to 0,426m and the lateral building line from 3m to 0,745m in order to accommodate a carport, tool-shed and greenhouse, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan numbers BB4358/17 A1 & A2, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department, be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (e) that all the conditions in the Services Report, be complied with.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 4358 Betty's Bay

Date: 2017-07-12



A.H.D.

ARCHITECTURAL AND DESIGN



PHILIP MATTHEWS
001 N.A. 17M
132 March, Co. 23

This drawing is not to be scaled. Plotted dimensions to be used at all times.

All drawings and specifications are subject to the discretion of the architect. The architect is not responsible for the accuracy of the information provided by the client or the contractor. The architect is not responsible for the accuracy of the information provided by the client or the contractor. The architect is not responsible for the accuracy of the information provided by the client or the contractor.

This drawing is not to be scaled. Plotted dimensions to be used at all times.

All drawings and specifications are subject to the discretion of the architect. The architect is not responsible for the accuracy of the information provided by the client or the contractor. The architect is not responsible for the accuracy of the information provided by the client or the contractor. The architect is not responsible for the accuracy of the information provided by the client or the contractor.

61.0 DESIGN
61.0 ARCHITECTURE
61.0 CITY OF
61.0 CITY OF

AS BUILT

GROUND STOREY

Project number: 000/00177

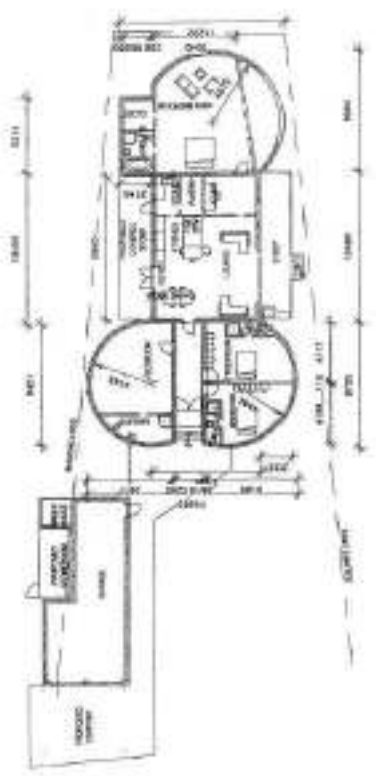
Date: 11/11/2011

Drawn by: PHL

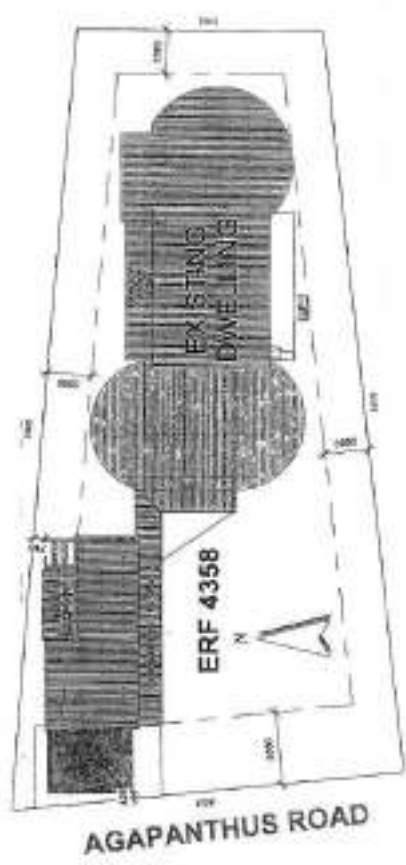
File number: 201111

Scale: A1

Scale: 1:1000



① GROUND STOREY
1:200



② SITEPLAN
1:1000

A.H.D.
ARCHITECTURAL ENGINEERING



PHILIP MATTHEWS
REG. 311 / 7369
ARCHITECT
A.H.D. ARCHITECTURAL ENGINEERING

KE O TOMSON
287 4124
ARCHITECTURE INC.
SUITE 201
1000 10th St. N.W.

AS BUILT

ELEVATIONS

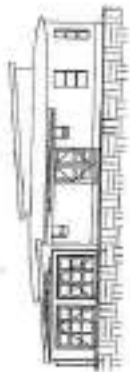
Project name: BIRCHBILT

Drawn by: JMK

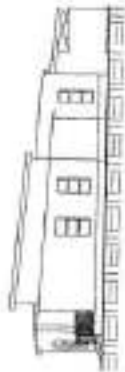
Checked by: JMK

Scale: A2

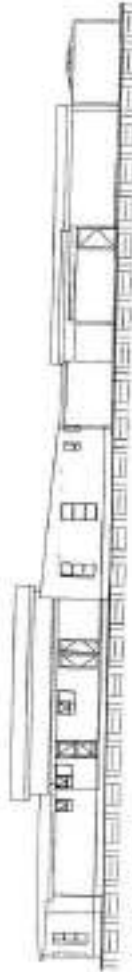
Sheet: 1 of 100



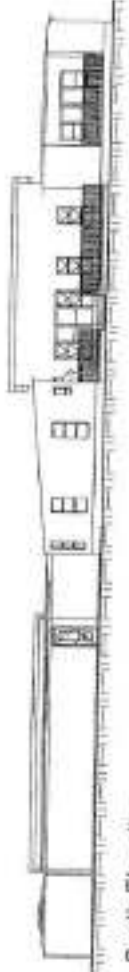
4 West Elevation
1" = 150'



1 East Elevation
1" = 150'



2 North Elevation
1" = 150'



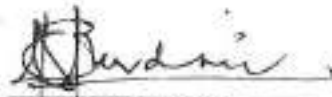
3 South Elevation
1" = 150'

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4358, BETTY'S BAY (3726)

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost.
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 4358, Betty's Bay, unobstructed;
4. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- 34. ERVEN 4410 & 4453, 8 MOUNTAIN DRIVE, HERMANUS, OVERSTRAND MUNICIPAL AREA : PROPOSED SUBDIVISION, ROAD CLOSURE, REZONING & CONSOLIDATION: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF GJ & E FOURIE AND OVERSTRAND MUNICIPALITY**

4410 & 4453 HNC (3830)

H van der Stoep

(028) 313 8900

Hermanus Administration

16 November 2018

Executive Summary

An application has been received on 26 October 2017 from Messrs Plan Active Town & Regional Planners on behalf of GJ & E Fourie on Erven 4410 and 4453, Hermanus for the following:

- ❖ subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of a portion of 148m² (Portion A) of the road reserve of the Remainder of Erf 4110, Hermanus and the subsequent consolidation with Erf 4453 in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.
- ❖ rezoning in terms of Section 16(2)(a) of the above By-Law of the newly created Portion A from Transport Zone 2 to Residential Zone 1.
- ❖ amendment of General Plan No TP 517 in terms of Section 25(2) of the General Plan for closure of the portion of the road reserve of Remainder Erf 4410.

The reason for the aforementioned is execute the in principle approval to obtain a portion of road reserve in order to erect a boundary wall.

RESOLVED :

1. that the application in terms of Section 16(2)(d) and (e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of a portion of 148m² (Portion A) of the road reserve of the Remainder of Erf 4110, Hermanus and the subsequent consolidation with Erf 4453, **be approved;**
2. that the application in terms of Section 16(2)(a) of the above By-Law for the rezoning of the newly created Portion A from Transport Zone 2 to Residential Zone 1, **be approved;**

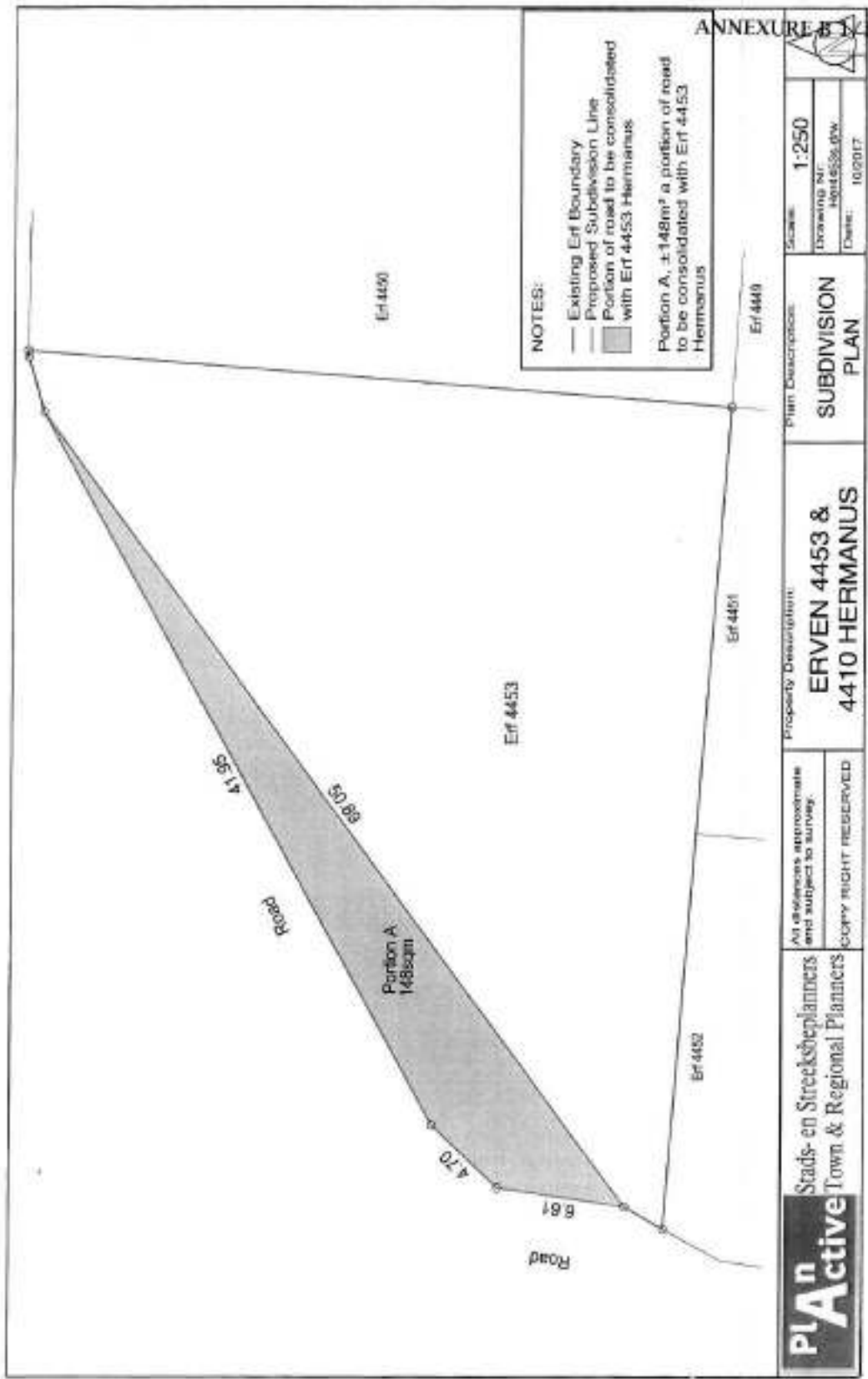
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

3. that the application in terms of Section 25(2) of the above By-Law for the amendment of General Plan No TP 517 for the closure of the portion of the road reserve of Remainder of Erf 4410, **be approved**;
4. that the approval in Points 1., 2. and 3. be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval be strictly in accordance with Plan Number Her4453s.drw, dated October 2017, as submitted with the application;
 - (b) that the mature trees adjacent Mountain Drive be removed and or trimmed to ensure that visibility be maintained at all times;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
5. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



ANNEXUP

Plan Active Stads- en Streetsbeplanners Town & Regional Planners	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 4453 HERMANUS		Plan Description: LOCALITY MAP		Scale: NTS Drawing No: HRH4453.dwg Date: 10/2017



NOTES:

- Existing Erf Boundary
- - - Proposed Subdivision Line
- Portion of road to be consolidated with Erf 4453 Hermanus

Portion A, ±148m² a portion of road to be consolidated with Erf 4453 Hermanus

ANNEXURE B 1/1

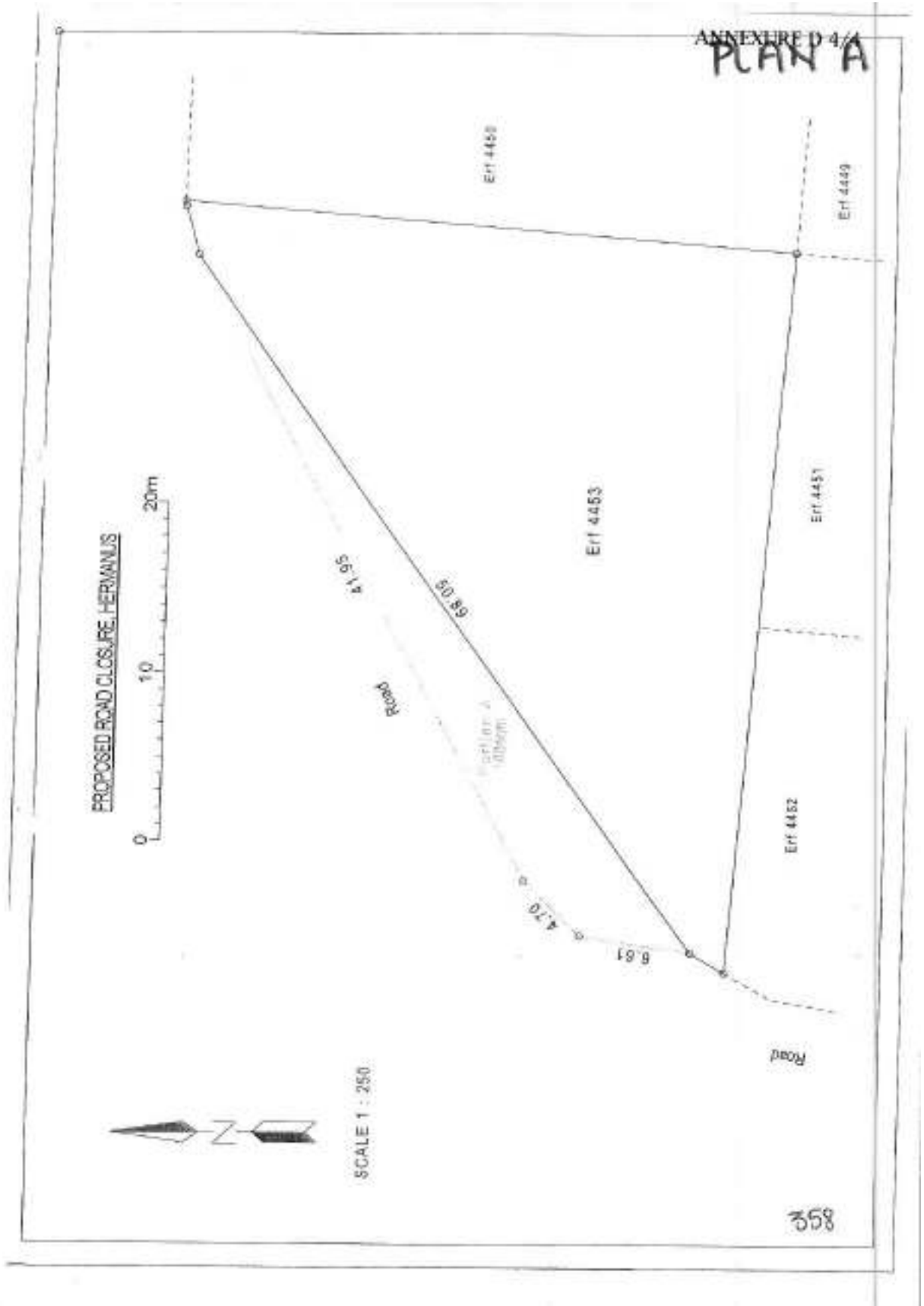
Scale:	1:250
Drawing No:	1004553a.dwg
Date:	10/09/17

Plan Description:
SUBDIVISION PLAN

Property Description:
ERVEN 4453 & 4410 HERMANUS

All distances approximate and subject to survey.
COPY RIGHT RESERVED

PIAn Stads- en Streekskeplanners
Town & Regional Planners



**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**35. ERF 4056, 105 FIFTH AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA:
PROPOSED DEPARTURE: CP & JC BRITS**

4056 KKM (4027)

H van der Stoep

15 November 2018

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 31 May 2018 from C Brits on Erf 4056, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the eastern lateral building line from 2m to 1m in order to accommodate a carport in front of the existing garage.

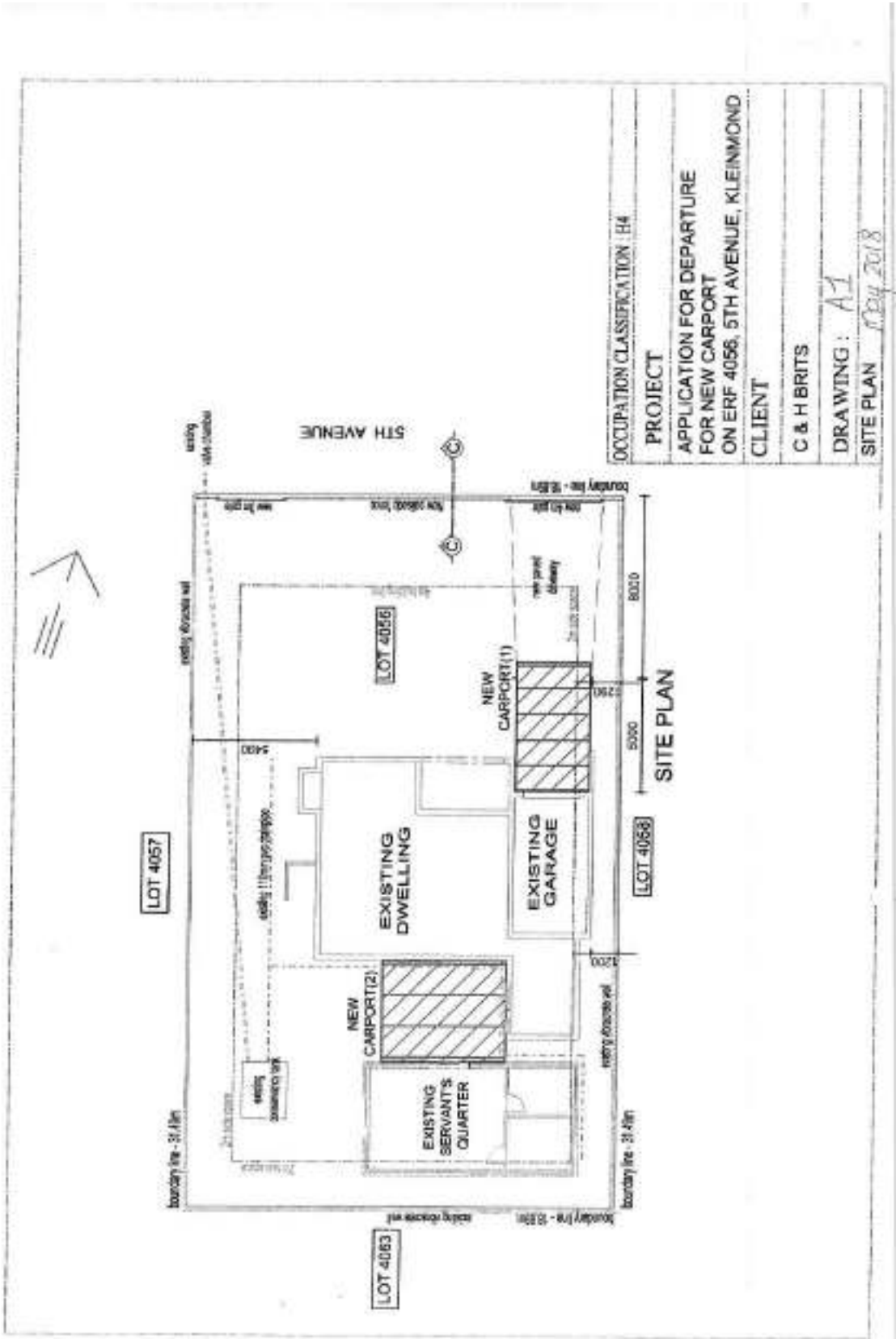
RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 4056, Kleinmond for a departure in order to relax the eastern lateral building line from 2m to 1m in order to accommodate a carport in front of the existing garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the carport as depicted on the plan submitted with the application.
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ERF 4056 KKM





OCCUPATION CLASSIFICATION : H4
PROJECT
APPLICATION FOR DEPARTURE FOR NEW CARPORT ON ERF 4056, 5TH AVENUE, KLEINMOND
CLIENT
C & H BRITS
DRAWING : A1
SITE PLAN 12th Feb 2018

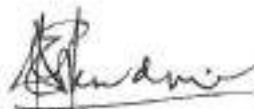
SITE PLAN

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4056, KLEINMOND (4027)

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4056, Kleinmond, unobstructed;
4. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

28/07/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

36. ERF 3431, 27 GERRIT MARITZ STREET, KLEINMOND, OVERSTRAND MUNICIPAL AREA : PROPOSED DEPARTURE: YMB HOFFMAN

3431 KKM (3923)

H van der Stoep

(028) 313 8900

Hermanus Administration

15 November 2018

Executive Summary

An application has been received on 28 February 2018 from YBM Hoffman on Erf 3431, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- to relax the side building line from 2m to 1,5m in order to accommodate a carport, and
- deviation from the Overstrand Zoning Scheme to accommodate the length of structures that exceeds a third or 9m transgressing the building line.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 3431 Kleinmond for a departure for the following :
 - to relax the eastern lateral building line from 2m to 1,5m to accommodate a carport, and
 - deviation from the Overstrand Zoning Scheme to accommodate the existing structures over the building line that exceeds a third or 9m,

be approved, in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plan numbers 180401b/01, 180401b/02 and 180401b/03 dated 7 August 2018, as submitted with the application;
- (b) that no further transgressions be approved pertaining to the departure of building lines;
- (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
- (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

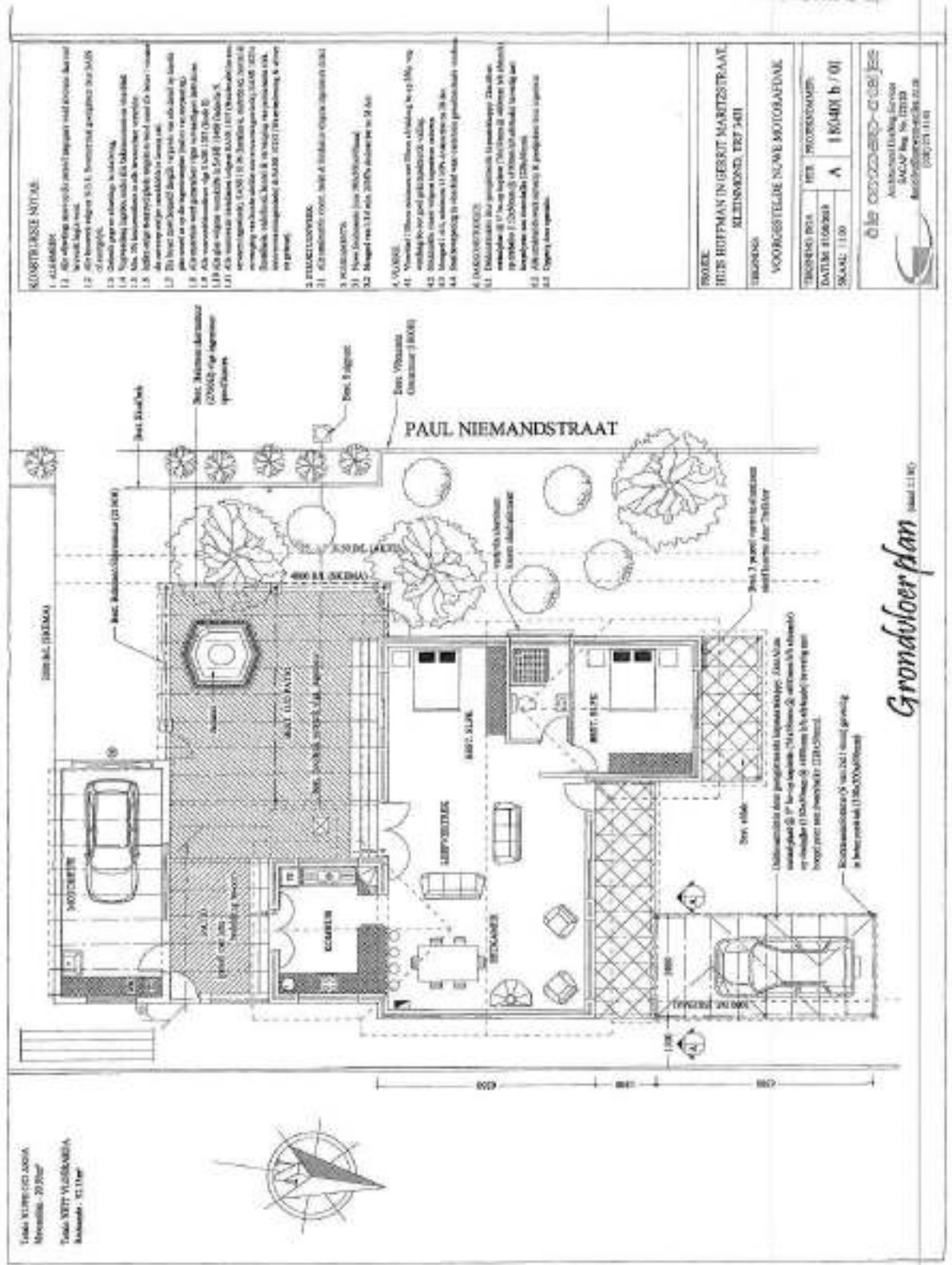
- (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erft 3431 Kleinmond

Date: 2018-03-02





KONSTRUKTIE NOTIE

1. ALIEMEN:
- 1.1 Alle afmetingen worden in meters gegeven tenzij anderszins is vermeld.
- 1.2 Alle hoeken worden 90° aangegeven.
- 1.3 De afmetingen worden gegeven tenzij anderszins is vermeld.
- 1.4 De afmetingen worden gegeven tenzij anderszins is vermeld.
- 1.5 De afmetingen worden gegeven tenzij anderszins is vermeld.
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- 1.28 De afmetingen worden gegeven tenzij anderszins is vermeld.
- 1.29 De afmetingen worden gegeven tenzij anderszins is vermeld.
- 1.30 De afmetingen worden gegeven tenzij anderszins is vermeld.

PROJEKT
HEER HOFFMAN IN GESSIKT MARITZSTRAAT
 KLEINHOEK, TRF 7401

TEKENING
VOORGESTELDE NIEUWE MOTORWAGEN

TEKENING NO
HEER HOFFMAN

DATEER
16 SEPTEMBER 1904

SCAAL
1 : 100

A 180401 h / 01

Van der Stoep

Architectural Drawing Service
 S.A.C.A.P. Reg. No. 12713
 Registrasie no. 250/2011
 (P.B. 121 118)

Totaal vloeroppervlakte
 Motorwagens - 20 m²

Totaal vloeroppervlakte
 Gebouwen - 61 m²



Grondvloerplan

1868

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

37. ERF 2987, 34 DISA STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS NEWMAN ARCHITECTURE AND DESIGN ON BEHALF OF AJM SMITH

2987 HON (3978)

H Olivier

(028) 313 8900

Hermanus Administration

12 October 2018

Executive Summary

An application has been received on 11 April 2018 from Messrs Newman Architecture and Design on behalf of AJM Smith on Erf 2987, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- Relaxation of the 4m street building line with Tuna Street to 2,445m to accommodate extension to the dwelling in the form of a laundry, scullery and pergola;
- Relaxation of the 4m street building line with Tuna Street to approximately 1,55m to accommodate the use change of a garage to a bedroom and to make changes to the roof structure, and
- Relaxation of the western lateral building line from 2m to 0m to accommodate a new garage and pergola.

RESOLVED :

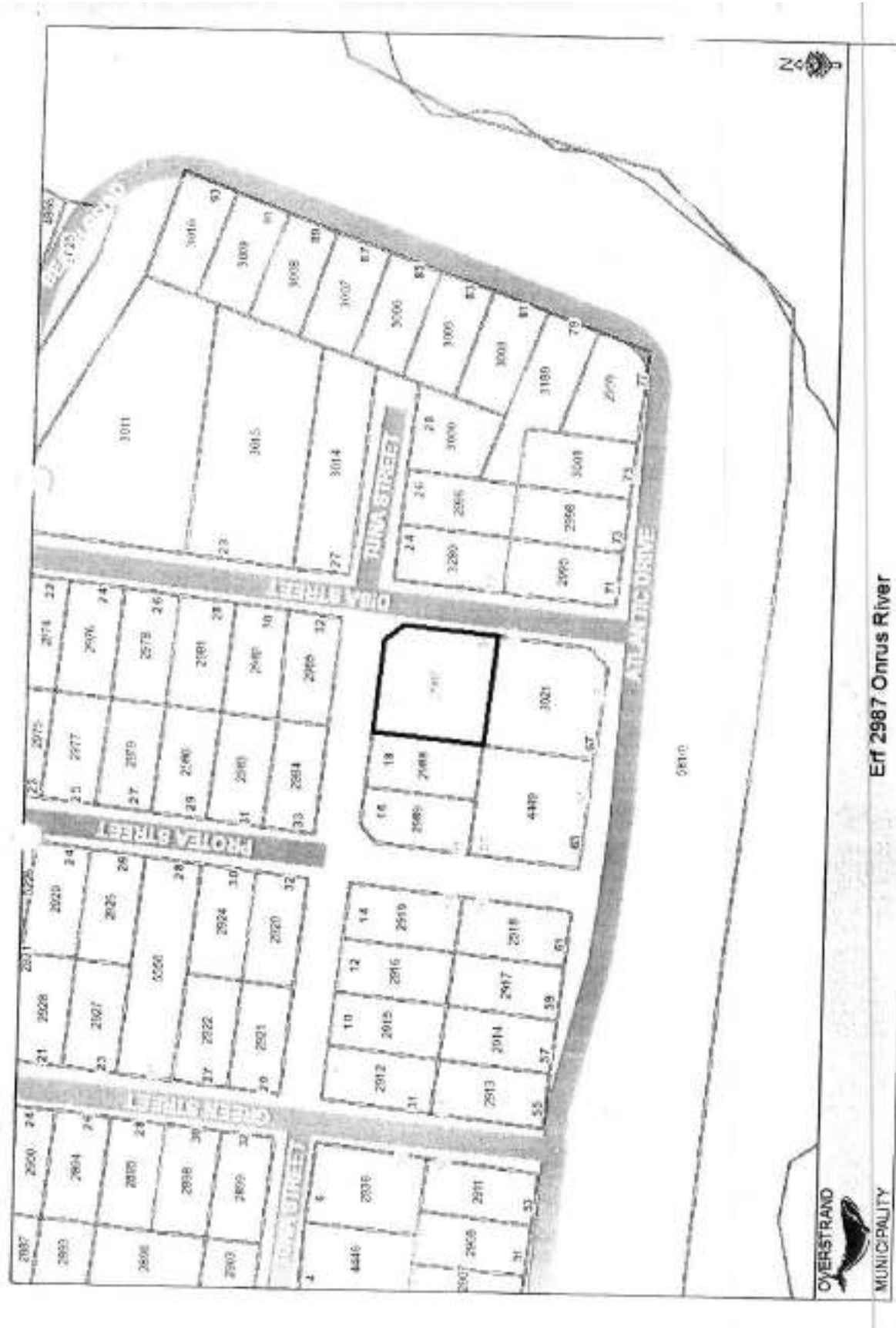
1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 2987, Onrustrivier for the following:
 - Relaxation of the 4m street building line with Tuna Street to 2,445m to accommodate extension to the dwelling in the form of a laundry, scullery and pergola;
 - Relaxation of the 4m street building line with Tuna Street to approximately 1,55m to accommodate the use change of a garage to a bedroom and to make changes to the roof structure, and
 - Relaxation of the western lateral building line from 2m to 0m to accommodate a new garage and pergola,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plans A1202 – A1204 dated 29/05/2018, submitted with the application by

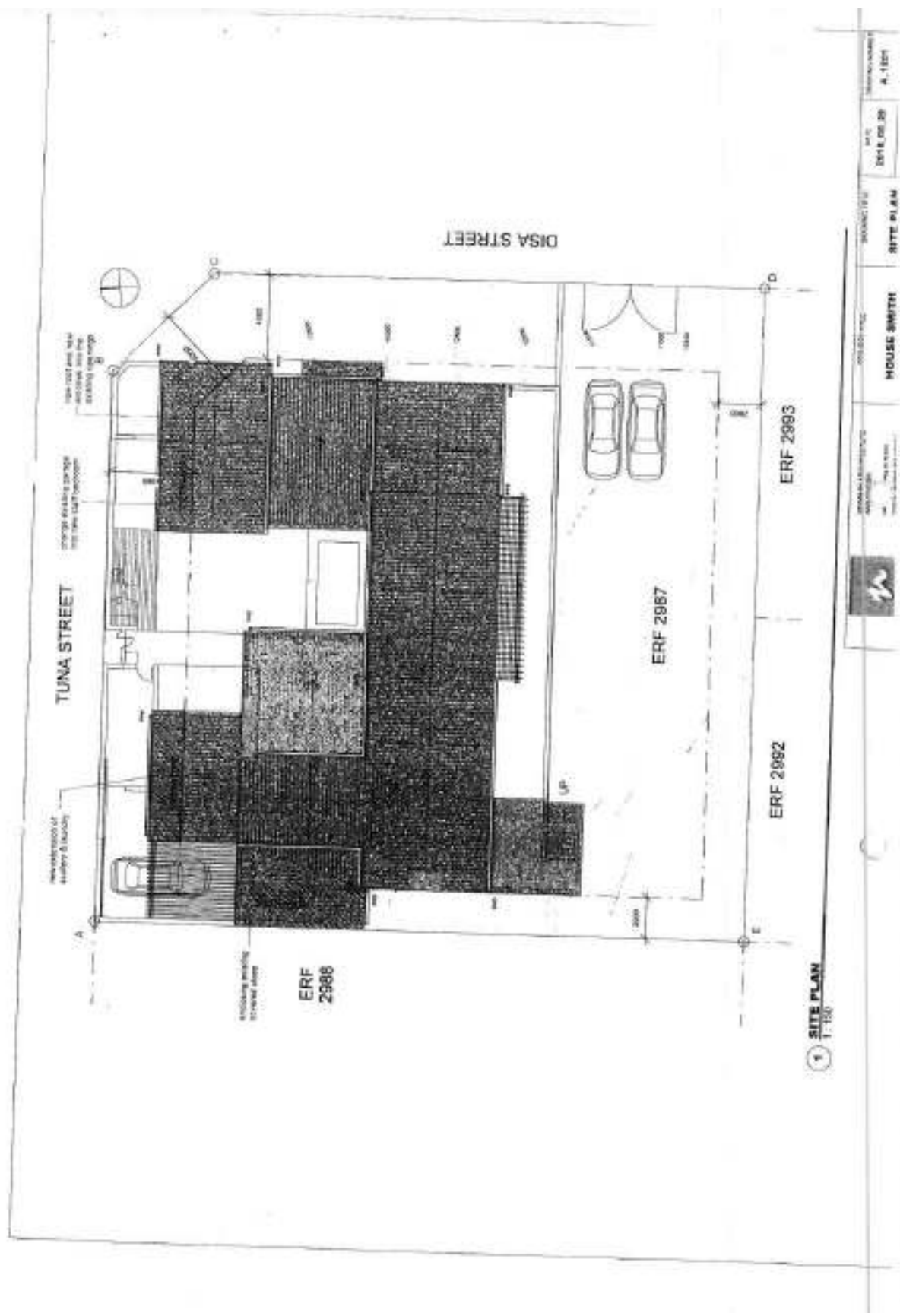
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- the architects;
- (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with, and
 - (f) that the conditions by Eskom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 2987 Onrus River



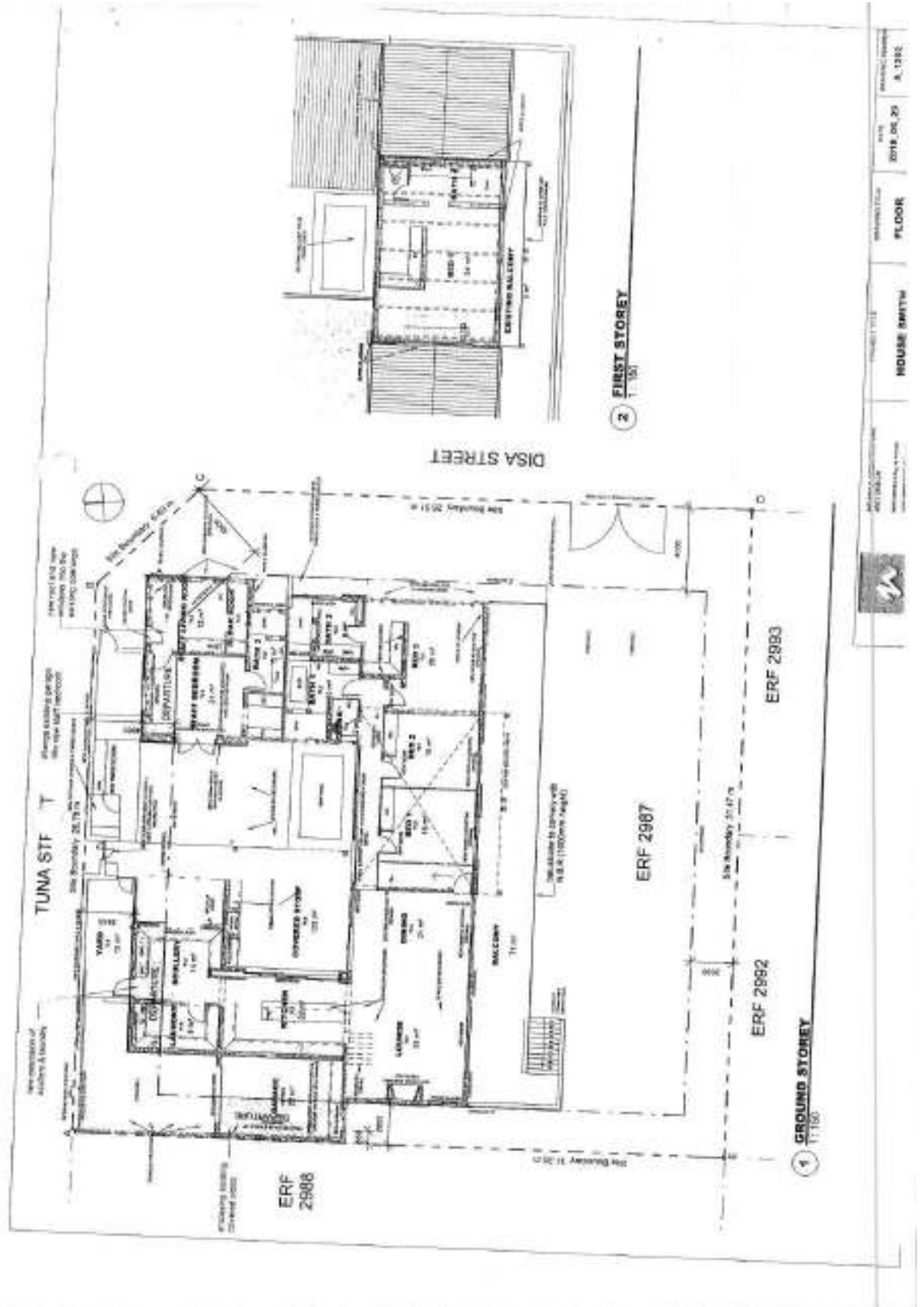


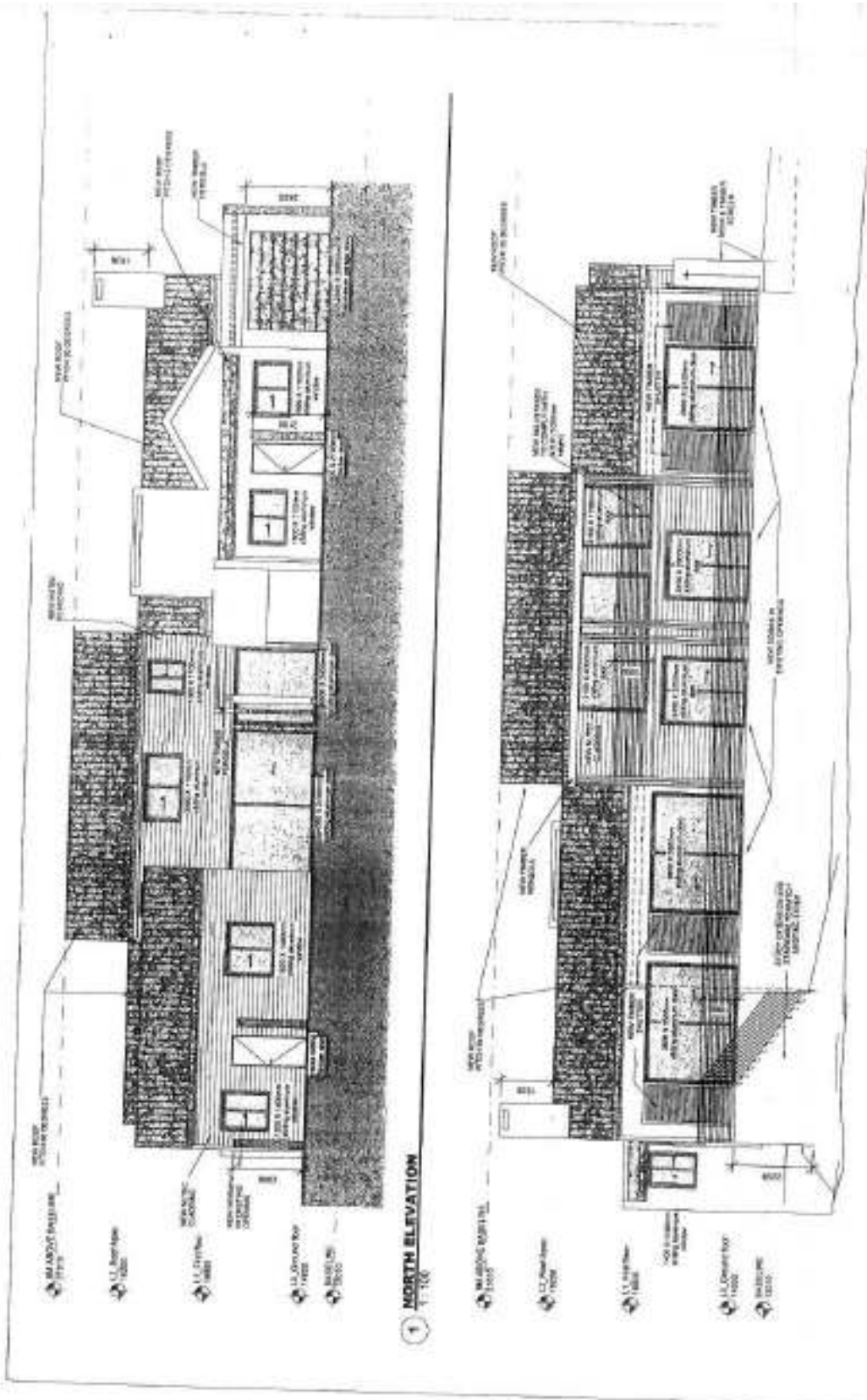
1 SITE PLAN
1:150


 HOUSE SMITH
 ARCHITECTS
 100/102 KING STREET
 SYDNEY NSW 2010
 PHONE: (02) 9231 1111
 WWW.HOUSESMITH.COM.AU

PROJECT NO.
 2018.05.20
 DATE
 2018.05.20
 DRAWING NO.
 A-101

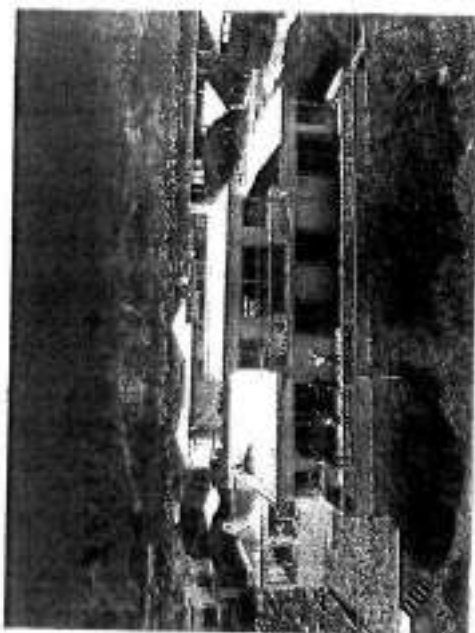
SITE PLAN



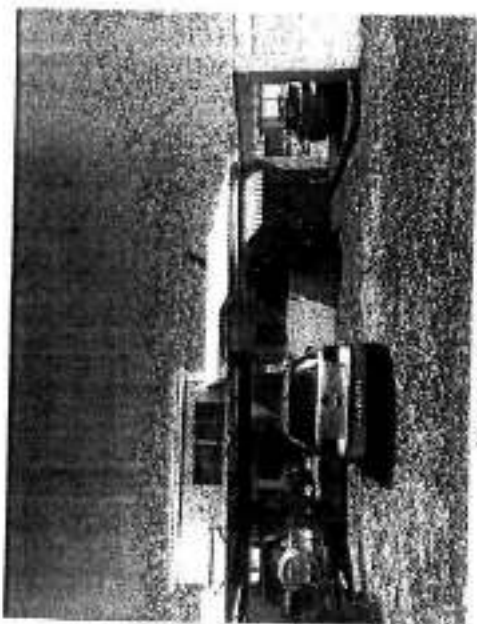




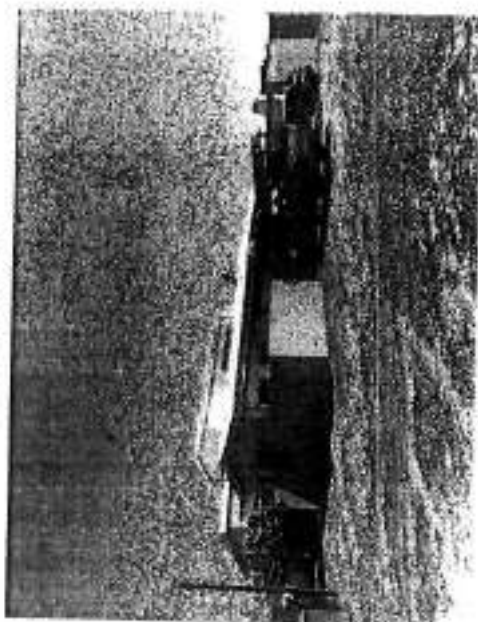
NORTH ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



NORTH EAST ELEVATION

	ARCHITECT	PROJECT	DATE	PROJECT NO.
	HOUSE SMITH	SITE	2018.05.23	A-1308

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2987, ONRUS RIVER (3978)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2987, Onrus River, unobstructed;
5. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES



DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**38. ERF 4831, HERMANUS (VOËLKLIP) (DE VETTE MOSSEL, DE MOND) :
APPLICATION FOR APPROVAL OF A SITE DEVELOPMENT PLAN :
MESSRS BOOGERTMAN & PARTNERS ON BEHALF OF CROWN GRANT
(PTY) LTD**

4831 HVK (De Vette Mossel, De Mond) (4227)

SW van der Merwe

(028) 313 8900

Hermanus Administration

28 November 2018

Executive Summary

To consider an application for approval of a Site Development Plan received on 26 October 2018 from Messrs Boogertman & Partners on behalf of Crown Grant (Pty) Ltd, in terms of the provisions of Section 16(2)(g) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to accommodate a proposed restaurant on a portion of Erf 4831, De Mond, Voëlklip, Hermanus.

RESOLVED :

1. that, the application in terms of Section 16(2)(g) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for approval of a Site Development Plan applicable to Erf 4831, Hermanus (Voëlklip) (De Vette Mossel Restaurant), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
 - (a) that the development be implemented generally in accordance with the Site Development Plan;
 - (b) that the development be subject to the submission and municipal approval of a Standard Operating Procedure that address amongst others management of waste (wet and dry), recycling, sewage disposal, management of baboons and environmental education;
 - (c) that the developer shall furnish the Municipality with a written undertaking that in the event of the water level in the estuary rising due to heavy rains, no pressure will be put on the Municipality or other influencing bodies (i.e. KREF and Cape Nature) to artificially open the estuary to the sea;
 - (d) that the applicant shall ensure that no solid waste or waste water from the premises be disposed of into the estuary;
 - (e) that the developer shall prepare and submit an Emergency Evacuation Plan for municipal approval and obtain a Population

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

Certificate prior to the opening of the restaurant;

- (f) that the requirements of Cape Nature, be complied with;
- (g) that if required, building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
- (h) that it is the responsibility of the applicant to ensure that all civil services is in working order and certified as such by a professional engineer, prior to commissioning thereof and proof to that effect shall be submitted to the Municipality;
- (i) that the conservancy tank be subjected to a leak test prior to it being commissioned and the Municipality be furnished with written proof to that effect;
- (j) that the operation of the restaurant be subject to the issue of a valid business license;
- (k) that the operation of a restaurant be subject to a valid Certificate of Acceptability as per the requirements of the Overberg District Municipality;
- (l) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;
- (m) that the parking layout be implemented and demarcated in accordance with the parking layout;
- (n) that rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (o) that the restaurant complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (p) that the premises may not be utilised as a place of entertainment;
- (q) that the requirements of Environmental Management Services and Engineering Services, be adhered to;
- (r) that the applicant be responsible for the necessary measures to ensure that public access to the dilapidated jetty is prevented;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

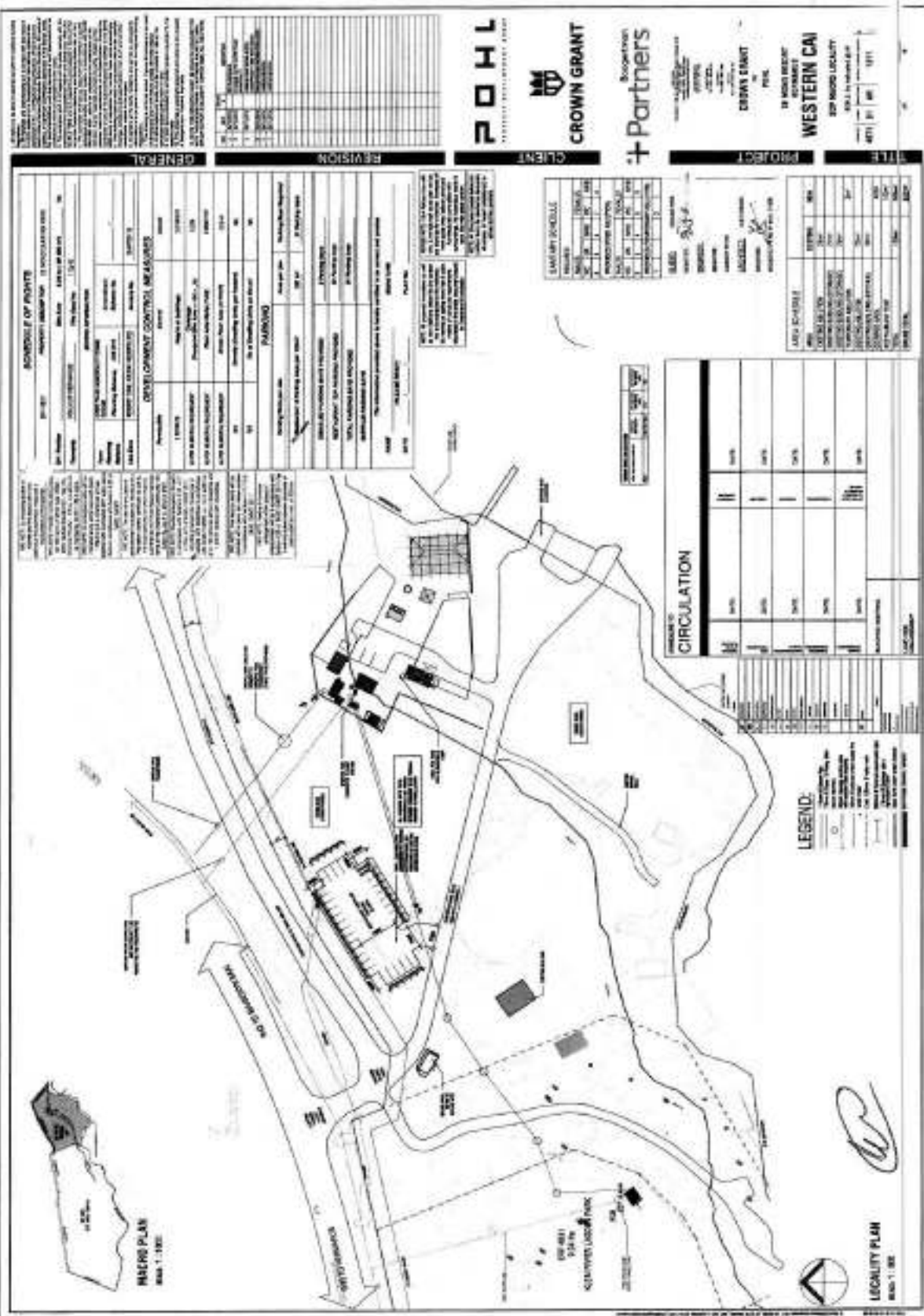
- (s) that all other development parameters, as prescribed in the relevant Zoning Scheme, be complied with, and
 - (t) that the approval does not absolve the applicant/owner from compliance with any other relevant legislation and/or Title Deed conditions;
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

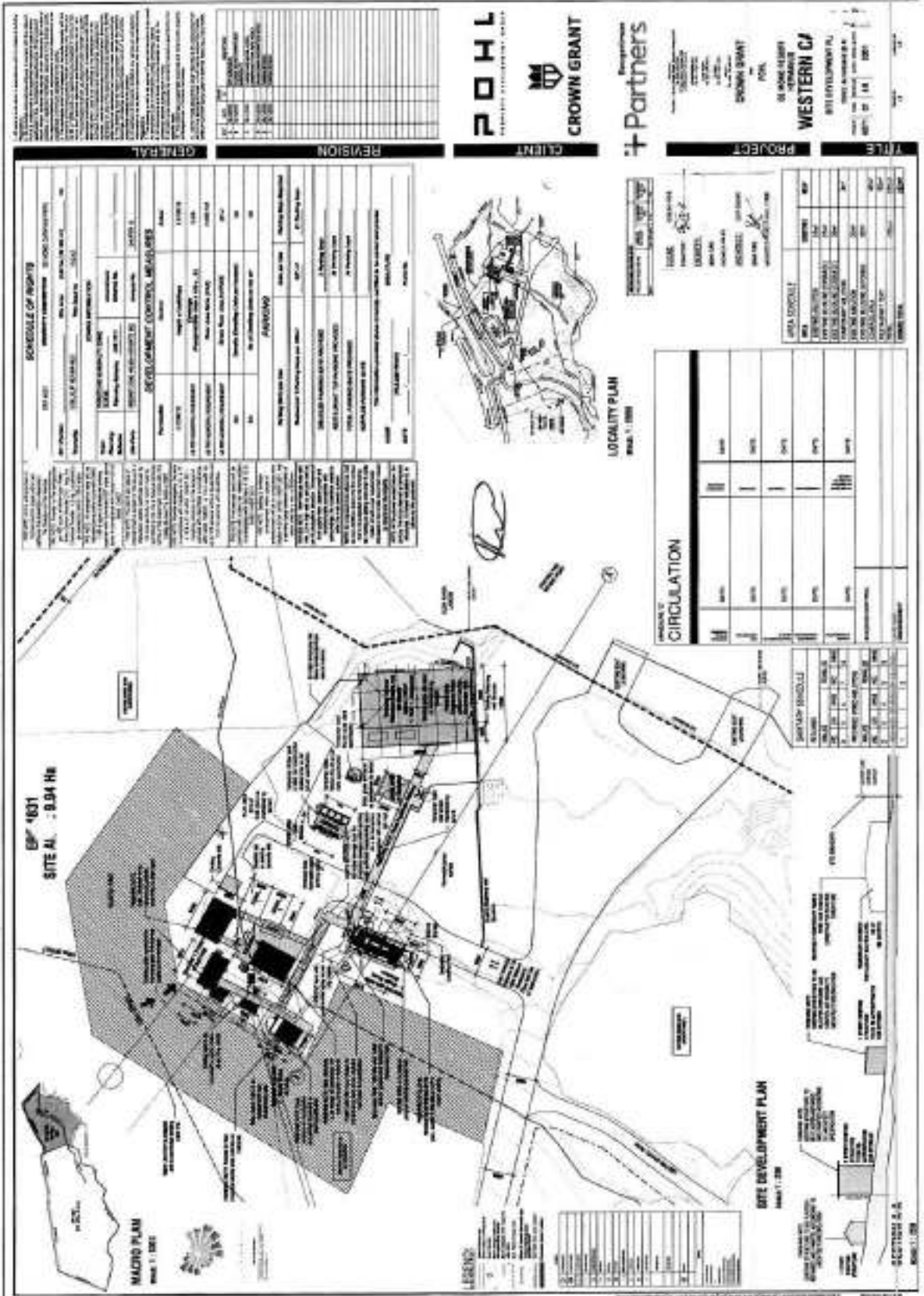


OVERSTRAND
MUNICIPALITY

LOCALITY PLAN: ERF 4631, VOELKLIP (DE VETIE MOSSEL RESTAURANT)

Photo: 2018-11-08





GENERAL

REVISION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	15/08/2011
2	ISSUED FOR PERMITTING	15/08/2011
3	ISSUED FOR PERMITTING	15/08/2011
4	ISSUED FOR PERMITTING	15/08/2011
5	ISSUED FOR PERMITTING	15/08/2011
6	ISSUED FOR PERMITTING	15/08/2011
7	ISSUED FOR PERMITTING	15/08/2011
8	ISSUED FOR PERMITTING	15/08/2011
9	ISSUED FOR PERMITTING	15/08/2011
10	ISSUED FOR PERMITTING	15/08/2011

CLIENT

POHL
PROFESSIONAL ENGINEERING & ARCHITECTURE

CROWN GRANT

+ Partners
Engineering
ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
ENVIRONMENTAL ENGINEERING

PROJECT

WESTERN CJ
SITE DEVELOPMENT PLAN
15/08/2011

FILE

15/08/2011

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF THE SITE DEVELOPMENT PLAN: ERF
4831,DE MOND CARAVAN PARK, VOELKLIP (4227);**

Stormwater (SW)	:	As per conditions 26-29
Electricity	:	As per conditions as per conditions by Electrical Dept.
Water	:	As per conditions
Sewer	:	As per conditions
Roads and traffic	:	As per conditions

Conditions:

1. The conditions listed in this document is only applicable to the Vettle Mossel Restaurant site (which is a portion of Erf 4831) as indicated in the Site Development Plan (Drawing 4071/01/AR/1011/F) or as amended.
2. Overstrand Municipality reserves the right to revised and amend the original approval conditions stipulated in this document. New or additional services plans and/or building plans may be required.
3. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
4. the developer must install a sewer rising main to the nearest sewer manhole with all associated costs for the developer's account; no septic tanks will be permitted.
5. All components of sewer systems shall be compatible with existing systems and processes used by Overstrand Municipality. These shall include but are not be limited to:
 - a) Pumping control;
 - b) Alarms; and
 - c) Telemetric/early warning system.
6. The system for the pump station must be equipped with a visual (warning lights) and audible (alarms) warning system components.
7. The pump station must be designed with at least 1 duty pump and 1 standby pump, with sufficient capacity and a standby generator.
8. that a maintenance and repair plan for the envisaged pumpstation, which will include emergency procedures to ensure that faulty pumps are repaired within 24 hours , be submitted to the Director: Infrastructure and Planning for approval and that the approved maintenance and repair plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
9. that the proposed pump station be provided with a suction point for emergency purposes, which must comply with the standards of the Department: Operational Services (Hermanus);

10. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
11. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
12. that a plan of all the existing services be submitted to the Senior Manager : Engineering Services, by the developer and that any of the services that need to be installed or relocated, be done by the developer at his cost to the satisfaction of the Senior Manager : Engineering Services:
 - 10.1 way-leaves must be obtained from the Operational Manager (Hermanus);
 - 10.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;
13. that the developer should keep in mind if any excavations have to be made regarding the electrical services, wayleaves must be obtained from the Electrical Department by the applicant ;
14. that any commercial food preparation facilities (e.g restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
15. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
16. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
17. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
18. that all parking areas be provided with an acceptable surface and must be clearly demarcated and accessible. Plans of the parking layout and pavement layerworks to be approved by the Senior Manager: Engineering Services before commencement of construction and that the construction of the parking area be to the satisfaction of the Senior Manager: Engineering Services;
19. that the developer may be required to compile a traffic impact statement in order to assess the impact on the surrounding area;

20. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
21. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
22. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
23. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned;
24. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for Works of Civil Engineering Construction - 2004, of 12 months, and
25. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
26. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded, may be required to be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan must be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
27. that the above stormwater management plan include the following:
 - 27.1 pre-development run-off from the catchment area;
 - 27.2 post-development run-off from catchment area;
 - 27.3 existing stormwater reticulation system and the capacity thereof;
 - 27.4 connection of internal stormwater reticulation system;
 - 27.5 overland escape routes
28. that stormwater be allowed to discharge through Erf 4831, Voelklip, unobstructed;

29. that the 1:20 and 1:50 year flood levels be shown on all plans submitted. No development will be allowed below the 1:50 year flood levels unless it's in line with current legislation and a comprehensive study, carried out by a suitably qualified professional engineer, shows, to the satisfaction of the Senior Manager: Engineering Services, that the capacity of the storm water facility, the danger to other land owners and the safety of inhabitants will not be compromised by the development. If approval for development below the 1:50 year flood levels is granted by the Overstrand Municipality and the developer chooses to develop, it will be so entirely at his own risk;
30. that any additional and / or extended vehicle entrances will be for the owner's account;
31. that the proposed development be provided with a central refuse collection facility, which must comply with the standards of the Department: Operational Services (Hermanus);
32. The central refuse collection facility must have the capacity to accommodate the refuse generated by the development and is to be provided with the following:
- a) properly ventilated,
 - b) a cement floor,
 - c) a tap and running water
 - d) in a position nearest to an access road for the development and be accessible for the refuse truck at all times,

D. P. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

30/11/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

39. ERF 504, 50 CHURCH STREET, FISHERHAVEN, OVERSTRAND MUNICIPAL AREA: REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS: MESSRS WRAP ON BEHALF OF JC & HA KLAASSEN

504 HFH (3955)

H Olivier

(028) 313 8900

Hermanus Administration

13 November 2018

Executive Summary

An application has been received on 27 March 2018, with outstanding information submitted on 7 May 2018, from Messrs WRAP on behalf of JC & HA Klaassen on Erf 504, Fisherhaven for the removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive conditions E.4.(a), E.4.(b), E.4.(c), E.4.(d) and E.4.(e) as contained in Title Deed T40644/2017.

The restrictive conditions E.4.(a), E.4.(b), E.4.(c), E.4.(d) and E.4.(e) as contained in Title Deed T40644/2017 to be removed read as follows:

“E. SUBJECT FURTHER to the following special conditions contained in said Deed of Transfer No. 12839 dated 9 June 1978 imposed by the Administrator of the Province of the Cape of Good Hope in terms of Ordinance No. 33 of 1934, when approving of the establishment of Fisherhaven Township, namely;-

4. The owner of this erf shall be subject to the following further conditions, provided especially that where in the opinion of the Administrator after consultation with the Township Board and the Local Authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation, subject to compliance with such conditions as he may impose:-

a. It shall not be subdivided.

b. It shall be used only for the purpose of erecting thereon one dwelling together with such outbuildings as are ordinarily required to be used therewith.

c. Not more than 30% of the area shall be built upon.

d. No building or structure or any portion thereof except boundary walls and fences shall be erected nearer than 4,72 metres of the street line which forms a boundary of this erf, nor within 3,15 metres of the rear or 1,57 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the Local Authority, any outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which, will be used

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

for human habitation, may be erected within the above prescribed rear space. On consolidation of any two or more erven, this condition shall apply to the consolidated area as one erf.

- e. In the event of the provisions of a Town Planning Scheme being made applicable to this erf, which provisions are more restrictive than the provision contained in the above, then the provisions of such scheme shall apply.”*

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 504, Fisherhaven for the removal of restrictive conditions E.4.(a), E.4.(b), E.4.(c), E.4.(d) and E.4.(e) as contained in Title Deed T40644/2017, **be approved**,
 - (a) that the development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (b) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (c) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

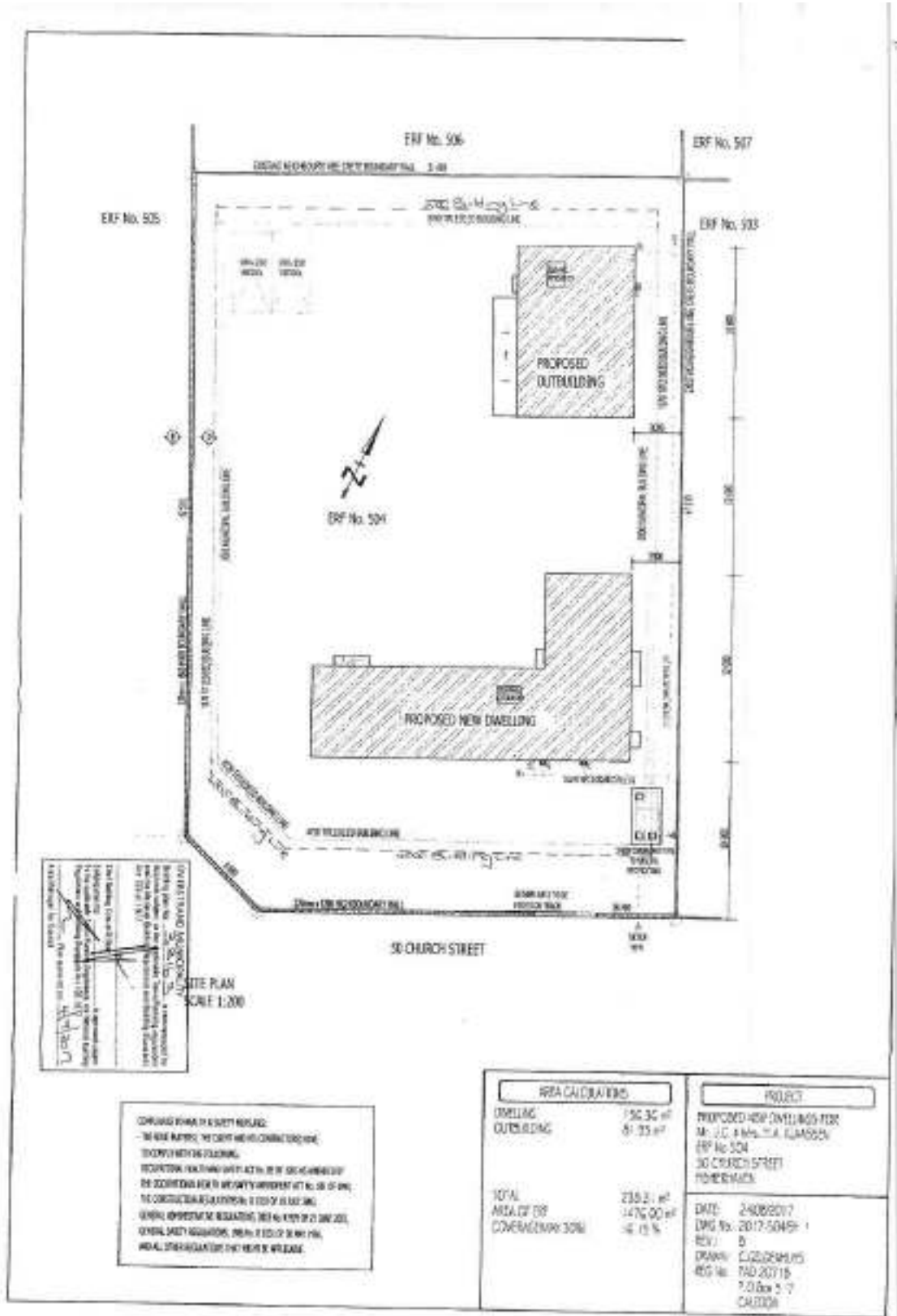
**Plan 1: Locality Plan
Erf 504 Fisherhaven**

Subject property (1A75W)

Plan prepared by: BealMile Joubert

All distances are approximate
and subject to a survey





NOTES
 1. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
 2. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
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 10. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.

SITE PLAN
 SCALE 1:200

CONTRACTOR'S NOTES:
 - THE ABOVE NOTES ARE FOR INFORMATION ONLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

AREA CALCULATIONS		PROJECT	
DWELLING	196.34 m ²	PROPOSED NEW DWELLINGS FOR	
OUTBUILDING	61.33 m ²	M. J. & M. T. A. GILMOUR	
		ERF No. 504	
		30 CHURCH STREET	
		TOWN OF MANA	
TOTAL	257.67 m ²	DATE: 2-8-2017	
AREA OF SITE	1476.00 m ²	DWG No. 2017-504S-1	
COVERED BY 30%	47.28 m ²	REV: D	
		DRAWN: C. GILMOUR	
		REV No. 1/2017	
		7.0.00 5/7	
		CAD/CAD	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTION: ERF 504, FISHERHAVEN
(3955)**

Stormwater (SW)	:	In order
Electricity	:	Escorn
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager; Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 504, Fisherhaven, unobstructed;
5. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

40. PORTIONS OF FARM 575, BENGUELA COVE, OVERSTRAND MUNICIPAL AREA: PROPOSED AMENDMENT OF CONSTITUTION: M DIESSNER ON BEHALF OF THE BENGUELA COVE HOME OWNERS ASSOCIATION

Farm 575 HBENG (4012)

H Olivier

(028) 313 8900

Hermanus Administration

21 November 2018

Executive Summary

An application has been received on 25 May 2018 from Mr. Martin Diessner on behalf of the Benguela Cove Home Owners Association in terms of Section 16(2)(f) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Constitution for Benguela Cove.

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) of an application in terms of Section 16(2)(j) to amend the Constitution of Benguela Cove, **be approved** in terms of the provisions of Section 61 of the By-Law.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

41. ERF 2035, 11 DISA STREET, ONRUSTRIVIER: PROPOSED DEPARTURE: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF NP MYBURGH

**2035 HON (4110)
H Olivier
15 November 2018**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 25 July 2018 from Messrs Plan Active Town & Regional Planning on behalf of NP Myburgh on Erf 2035, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the western lateral building line from 2m to approximately 0,9m to accommodate a use change of a garage into bedrooms, and also a further extension 0,9m from the western lateral boundary to also be used for a bedroom.

RESOLVED :

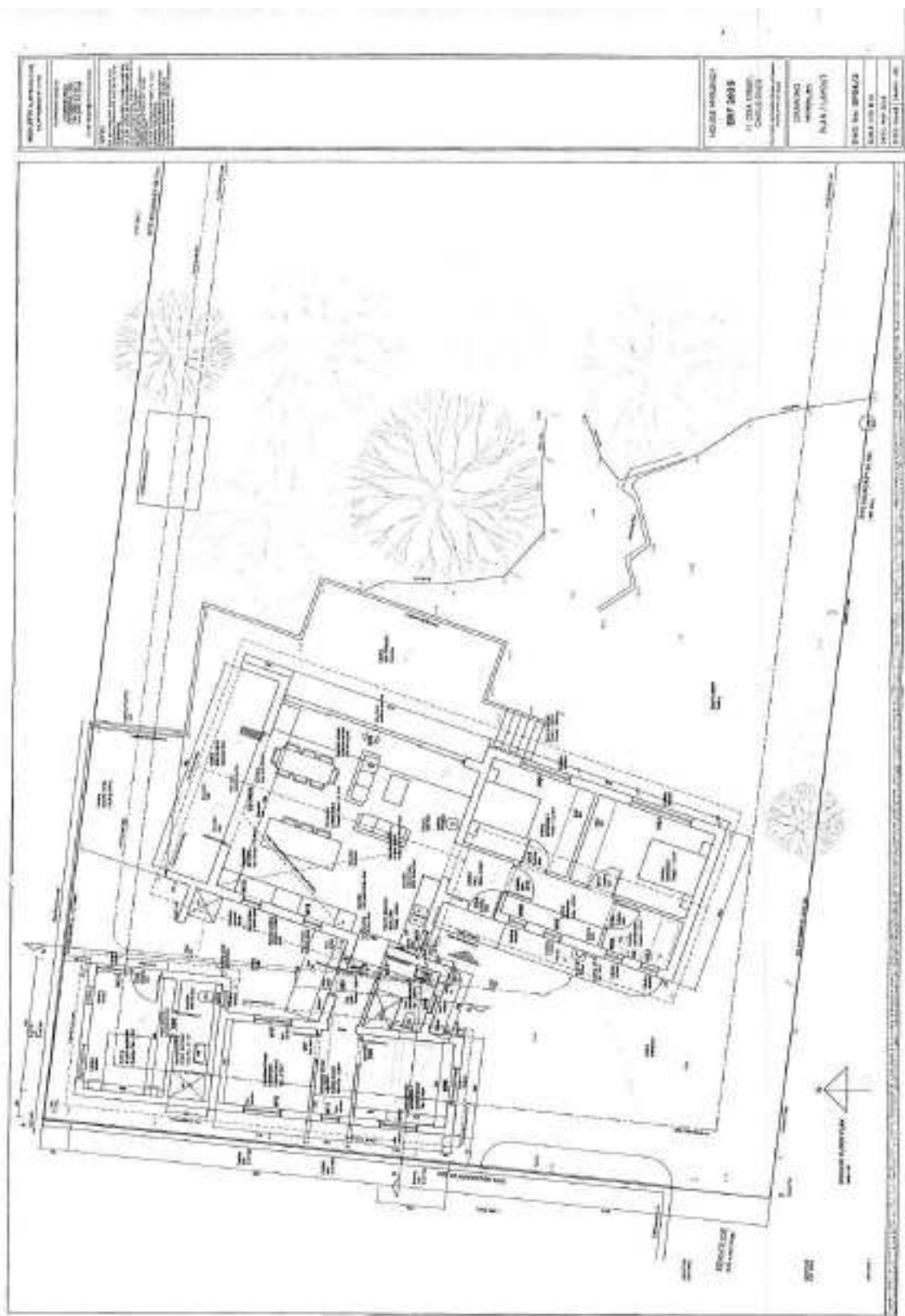
1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 2035, Onrustrivier in order to relax the western lateral building line from 2m to approximately 0,9m to accommodate a use change of a garage into bedrooms, and also a further extension 0,9m from the western lateral boundary to also be used for a bedroom, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plans no. SP04/2, SP04/3 and SP04rev dated May 2018, submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions imposed by Eskom, be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (f) that the windows encroaching the building line up to 0,9m may not exceed an area of 3,8m², unless a 2,1m high non-combustible boundary wall is provided between Erf 2035 and the abutting neighbour, to the satisfaction of the Fire Department, and
 - (g) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



	Stads- en Streekscheplanners Town & Regional Planners	Property Description: ERF 2035 ONRUSTRMIER	Plan Description: LOCALITY MAP	Scale: NTS
	All distances approximate and subject to survey.	COPY RIGHT RESERVED	Drawing Nr: On: 20/2015.dfm	Date: 07/2015

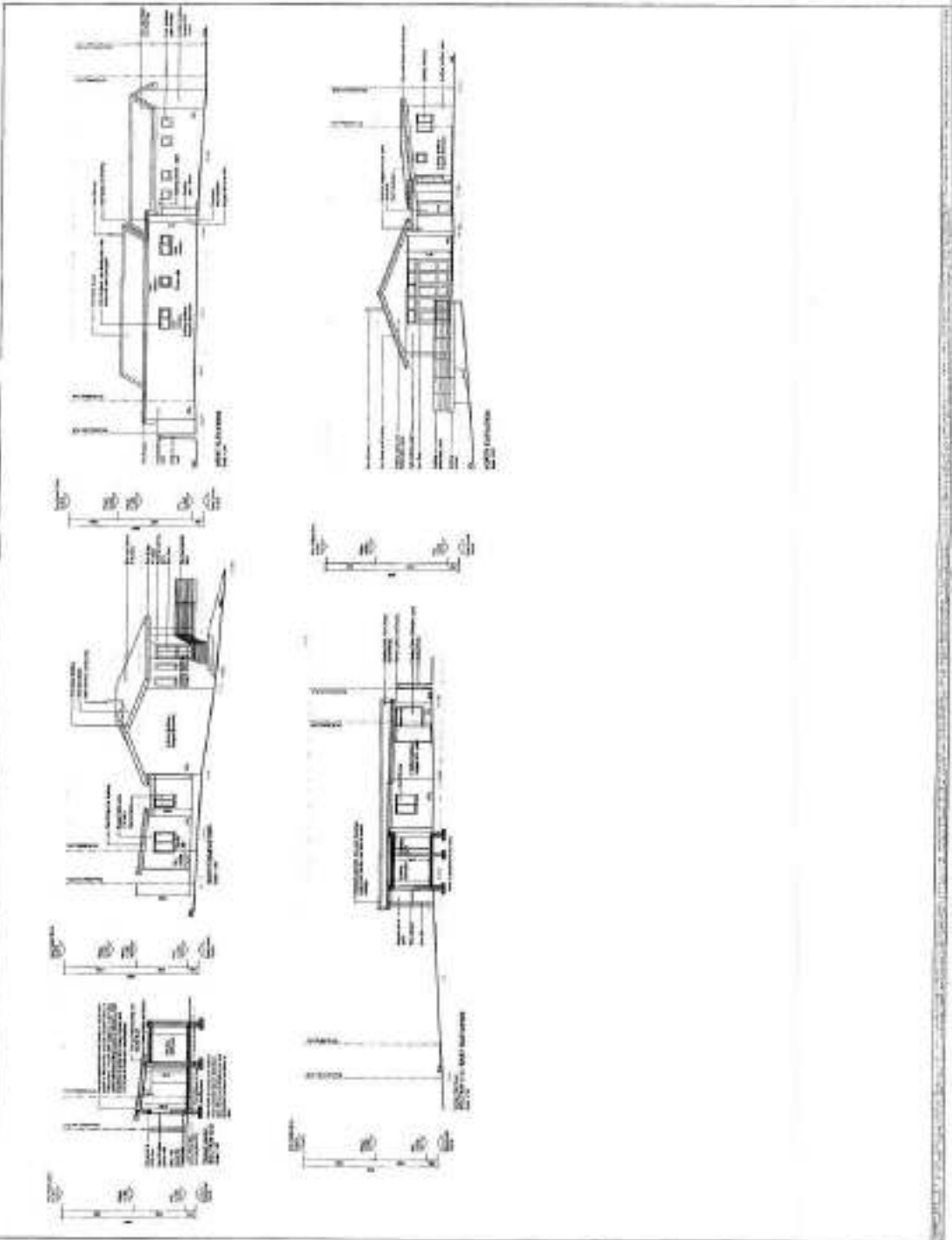


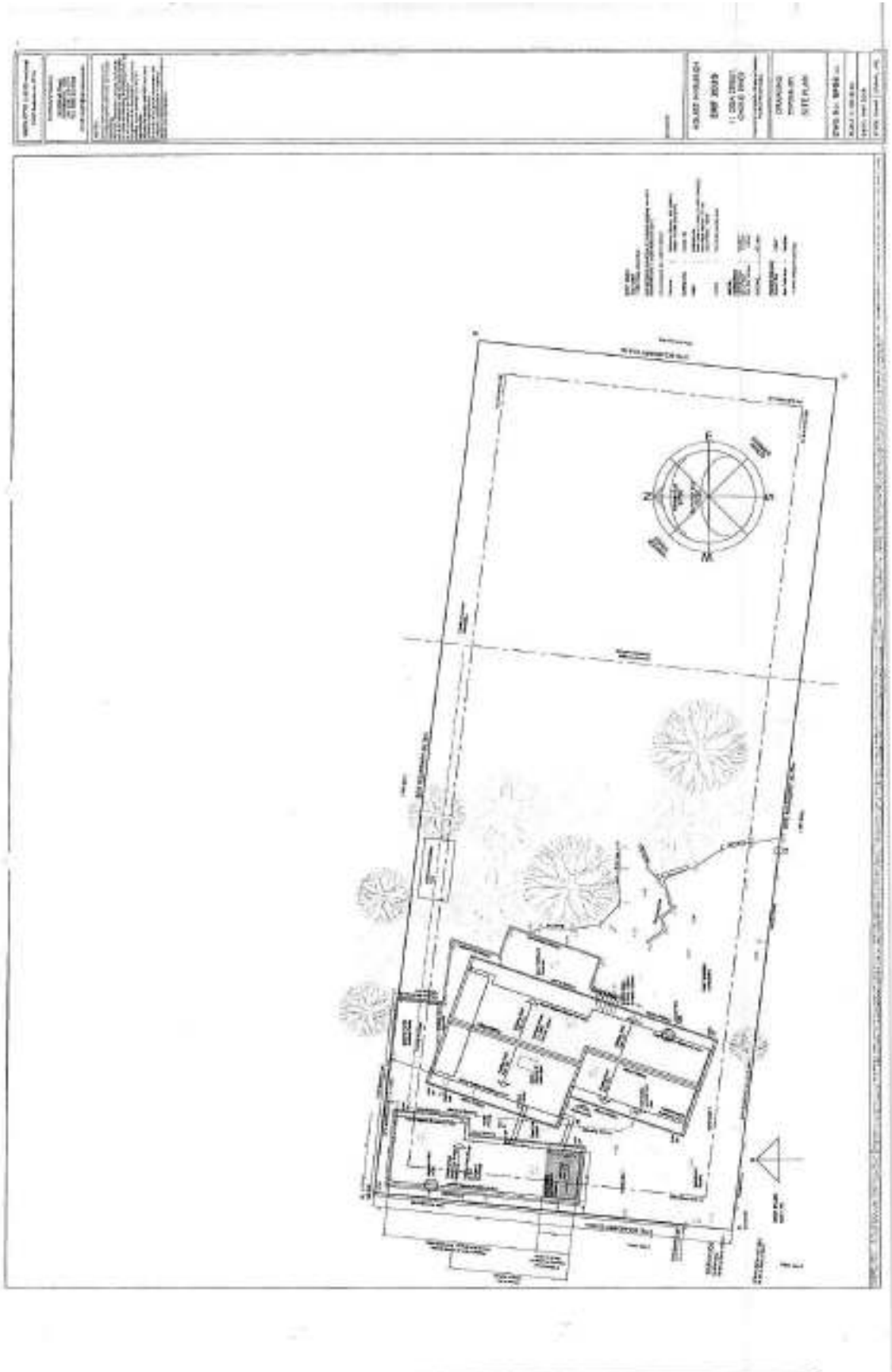
WELLS FARGO BANK
 1000 MARKET STREET
 SAN FRANCISCO, CALIF. 94102
 TEL: (415) 774-2000

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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2035, ONRUS RIVER (4110)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2035, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

02/12/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**42. ERF 5065, 26 FONTEINHOUT AVENUE, KLEINMOND, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: MA DE VILLIERS**

5065 KKM (4059)

H van der Stoep

(028) 313 8900

Hermanus Administration

15 November 2018

Executive Summary

An application has been received on 21 June 2018 from MA de Villiers on Erf 5065, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a permanent departure from the provisions of the Zoning Scheme in respect of the maximum length of structures within the building line areas from 9m (maximum length allowed) to 12,56m, applicable to the above property, in order to accommodate a carport.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4059, Kleinmond for a permanent departure from the provisions of the Zoning Scheme in respect of the maximum length of structures within the building line areas from 9m to 12,56m in order to accommodate a carport, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan No 180603/01 dated 18 June 2018, as submitted with the application;
 - (b) that no further transgressions be approved pertaining to the departure of building lines;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 5065 KKM



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5065, KLEINMOND (4059)**

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 5056, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**43. ERF 753, 3 COLLEGE ROAD, NORTHCLIFF, HERMANUS,
OVERSTRAND MUNICIPAL AREA: PROPOSED REZONING: MESSRS
GEOMATICS AFRICA ON BEHALF OF LORTON CLARK JAKINS INC**

753 HNC (3862)

H van der Stoep

(028) 313 8900

Hermanus Administration

15 November 2018

Executive Summary

An application has been received on 21 November 2017 from Messrs Geomatics Africa on behalf of Lorton Clarke Jakins Inc. in terms of Section 16(2)(a), of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to rezone Erf 753, Hermanus from General Residential Zone I : Town Housing (GR1) to Business Zone I: General Business (B1) in order to accommodate the current professional offices on the property.

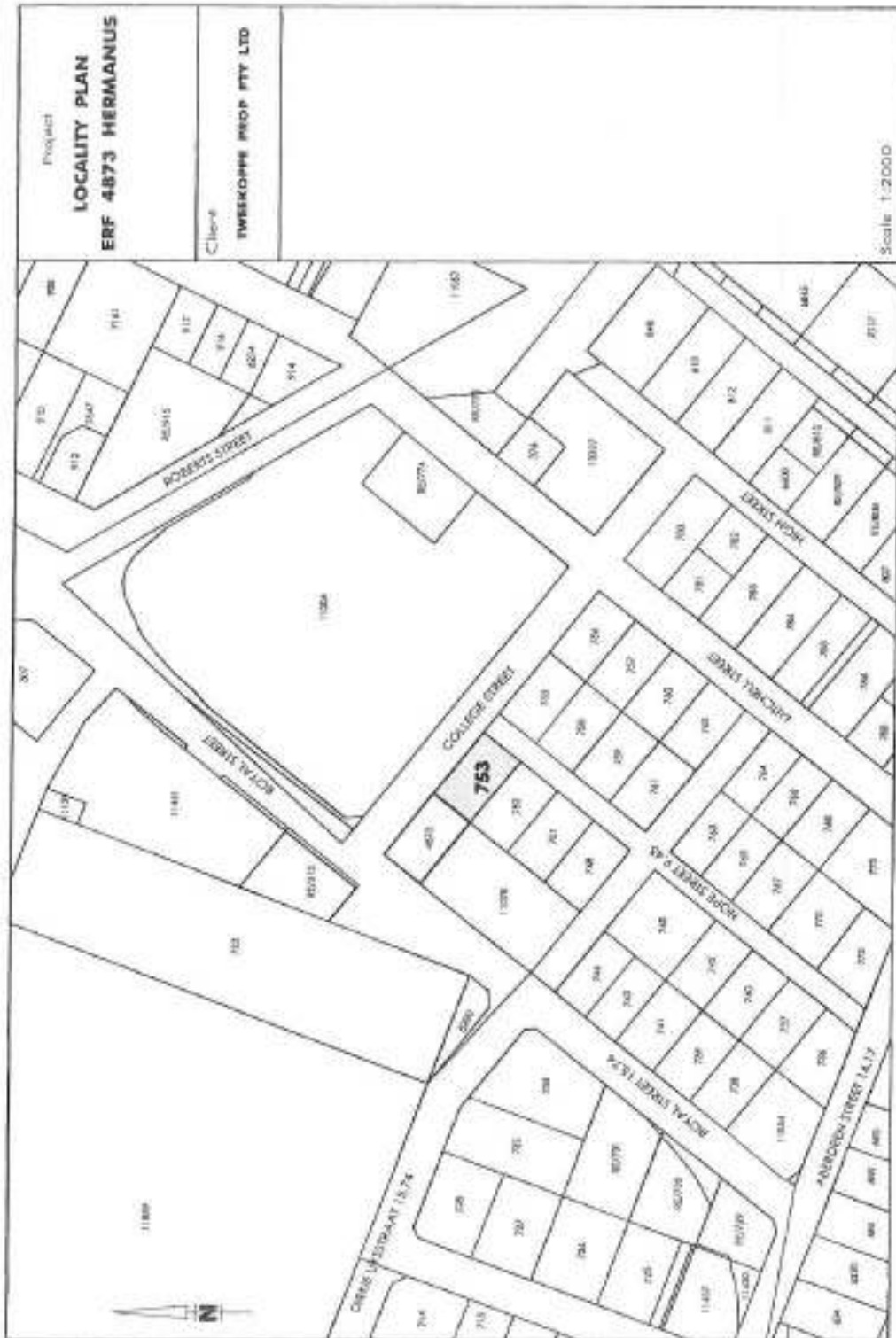
The application was regarded as complete for an item on 2 October 2018.

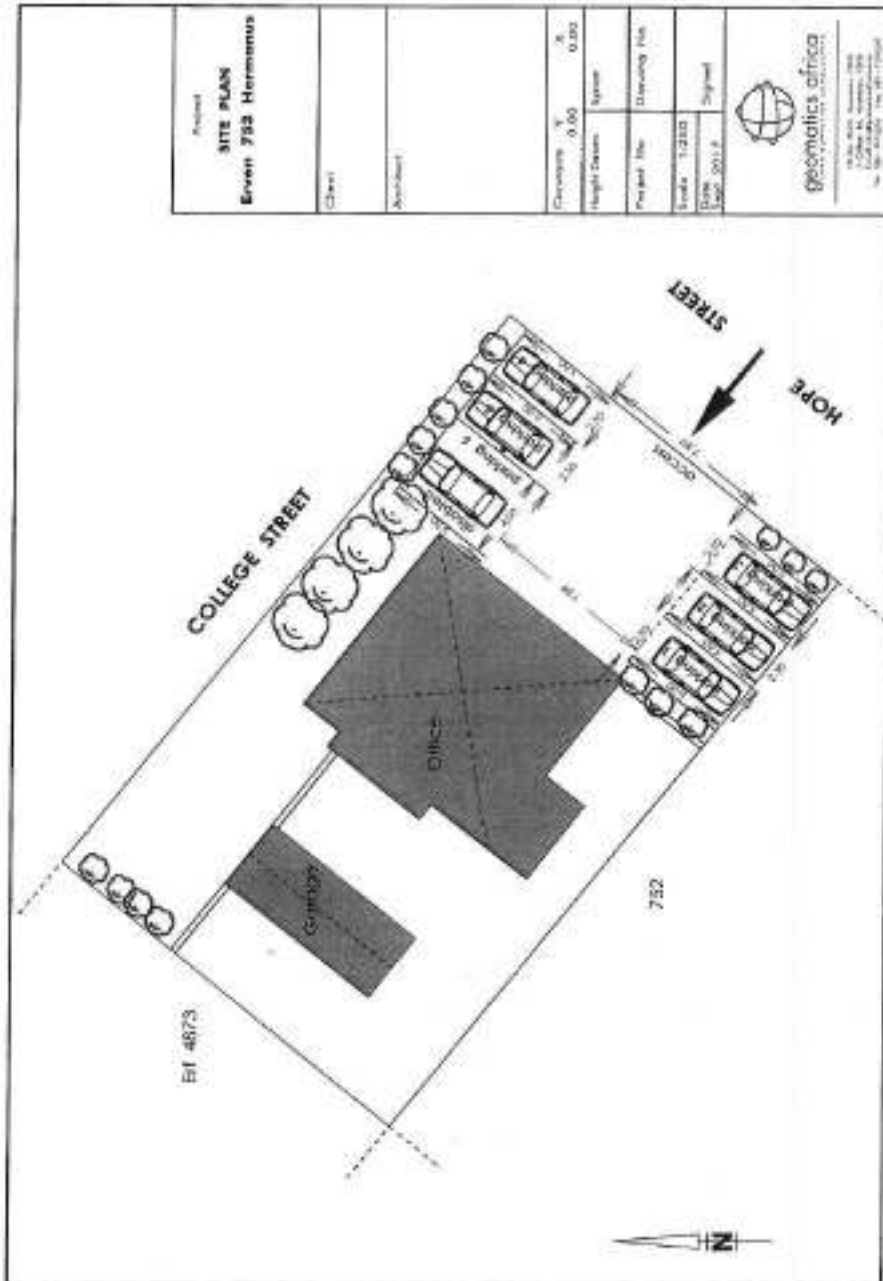
RESOLVED :

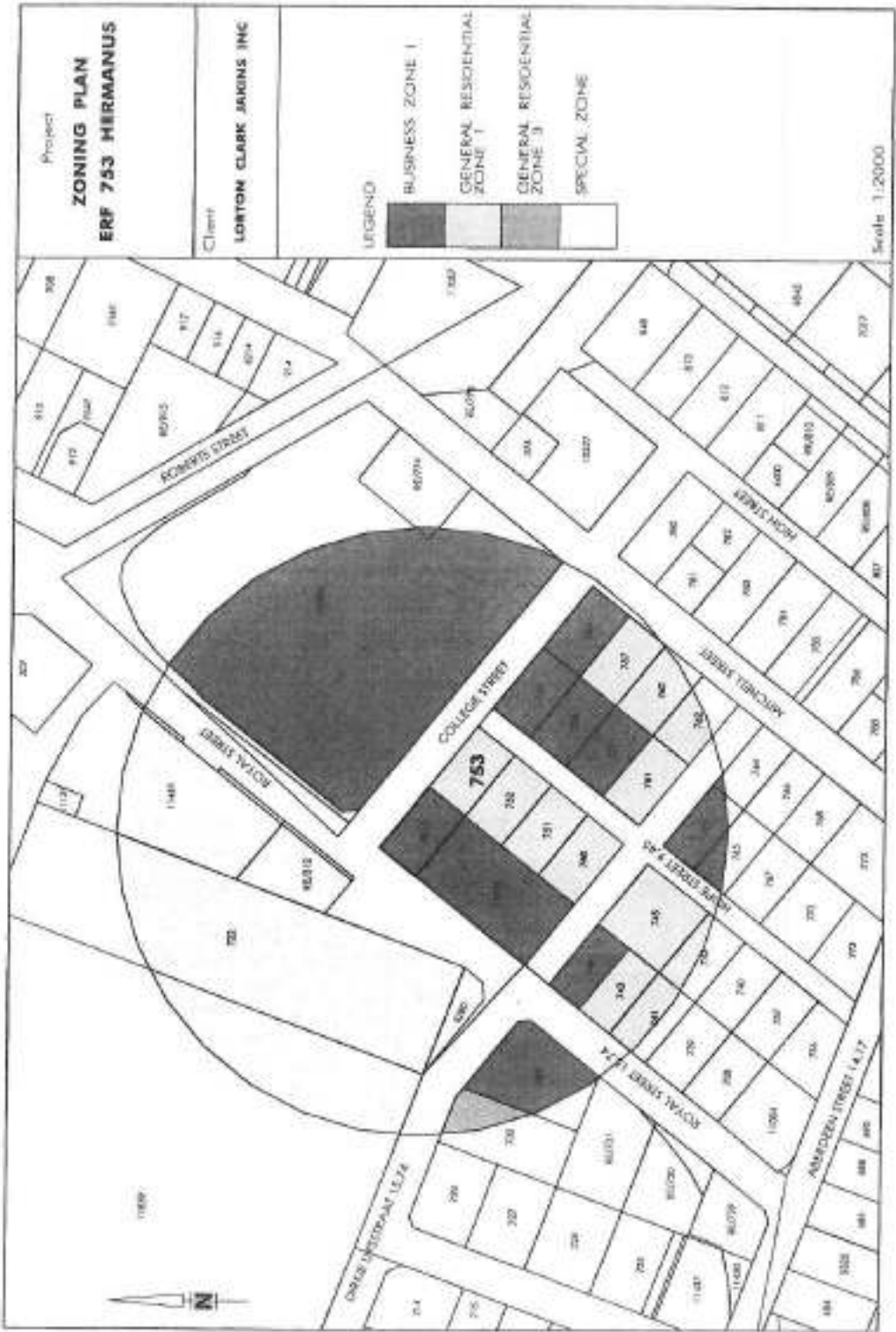
1. that the application in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the rezoning of Erf 753, Hermanus from General Residential Zone I : Town Housing (GR1) to Business Zone I: General Business (B1) in order to accommodate the current professional offices on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions :
 - (a) that this approval is only for the development as indicated on the site plan dated September 2017, as submitted with the application;
 - (b) that should the applicant extend the building, the parking requirements must be met in terms of the Overstrand Zoning Scheme;
 - (c) that the fire safety requirements are in compliance with Category G1-offices of National Fire Protection Regulations SANS 10400T : 2011;
 - (d) that the building plans submitted be in compliance with SANS 10400 specifically with regards to the provision of facilities for disabled to be in compliance with Part S of the National Building Regulations;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (f) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (g) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
 - (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (j) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.







**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING: ERF 753, NORTHCLIFF (3862)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that access to the property over the sidewalk be limited to a maximum width of 6m wide, so as to limit the impact on pedestrian traffic- and development of driveways over sidewalks and / or services;
6. that stormwater be allowed to discharge through Erf 753, Northcliff, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

02/10/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

44. ERF 1174, 2 HILL STREET, HERMANUS (EASTCLIFF), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS LOGO HOMES ON BEHALF OF TS ZAHRADNIK

1174 HEC (3984)

P Roux

(028) 313 8900

Hermanus Administration

30 October 2018

Executive Summary

An application has been received on 26 April 2018 from Messrs Logo Homes on behalf of the owner of Erf 1174, Eastcliff, TS Zahradnik, for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building lines from 2m to 1,5m and from 2m to 0,850m to accommodate a proposed second dwelling.

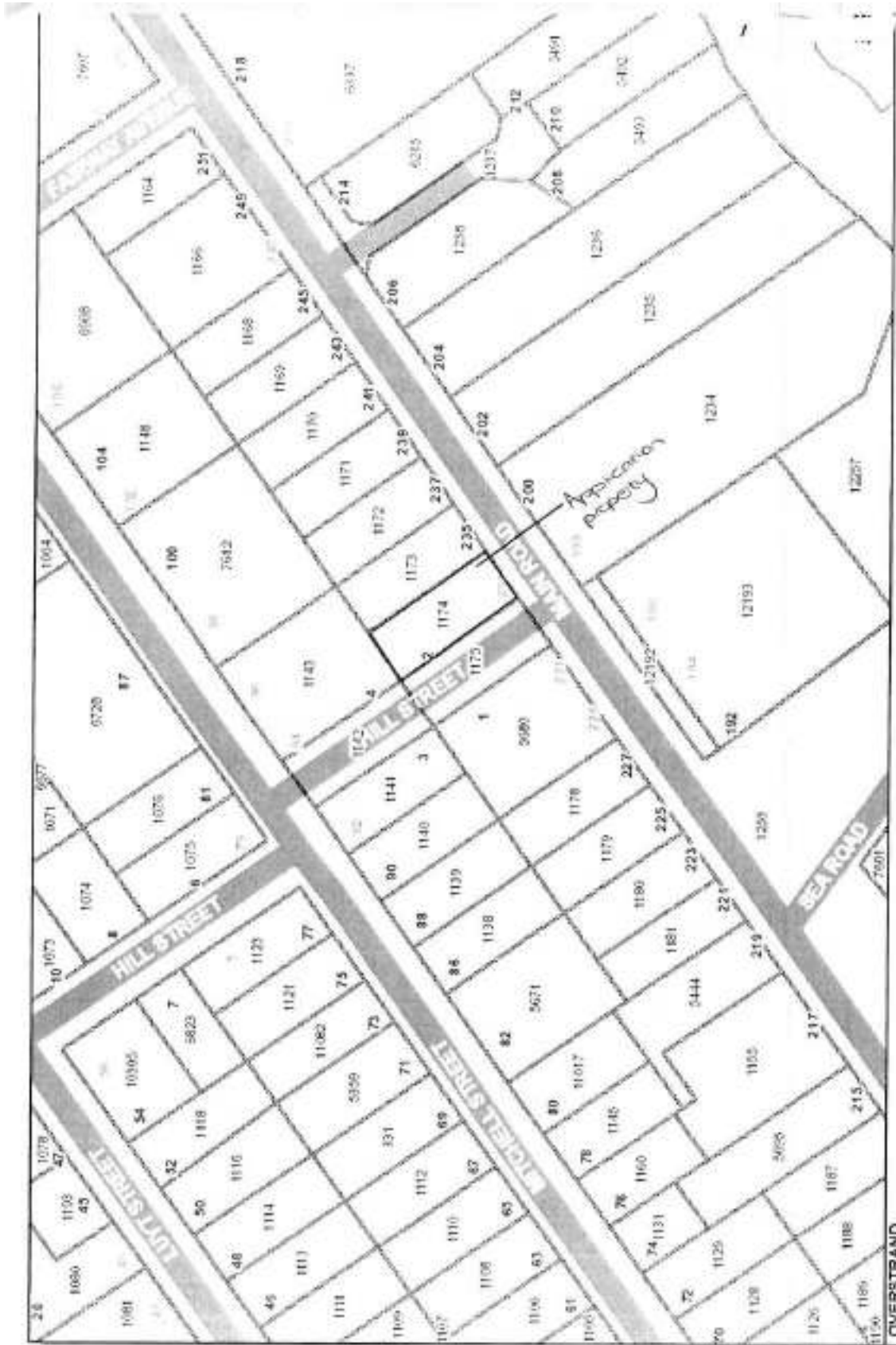
RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for departure in order to relax the lateral building lines from 2m to 1,5m and from 2m to 0,850m to accommodate a proposed second dwelling on Erf 1174, Hermanus (Eastcliff), **be partially approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
 - (a) that the approval for the departure of the respective 2m building lines is **only** for the ground floor as indicated on Drawing No 384-001 to 384-004, which was submitted with the application;
 - (b) that the first floor section complies with the respective 2m building lines;
 - (c) that building plans be submitted to the Building Department for approval and that the comment from the Building Department and Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (e) that all the conditions in the Services Report, be complied with;
 - (f) that all the comment from the Fire Department, be noted;
 - (g) that this approval does not absolve the applicant from compliance with

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

any other relevant legislation, and

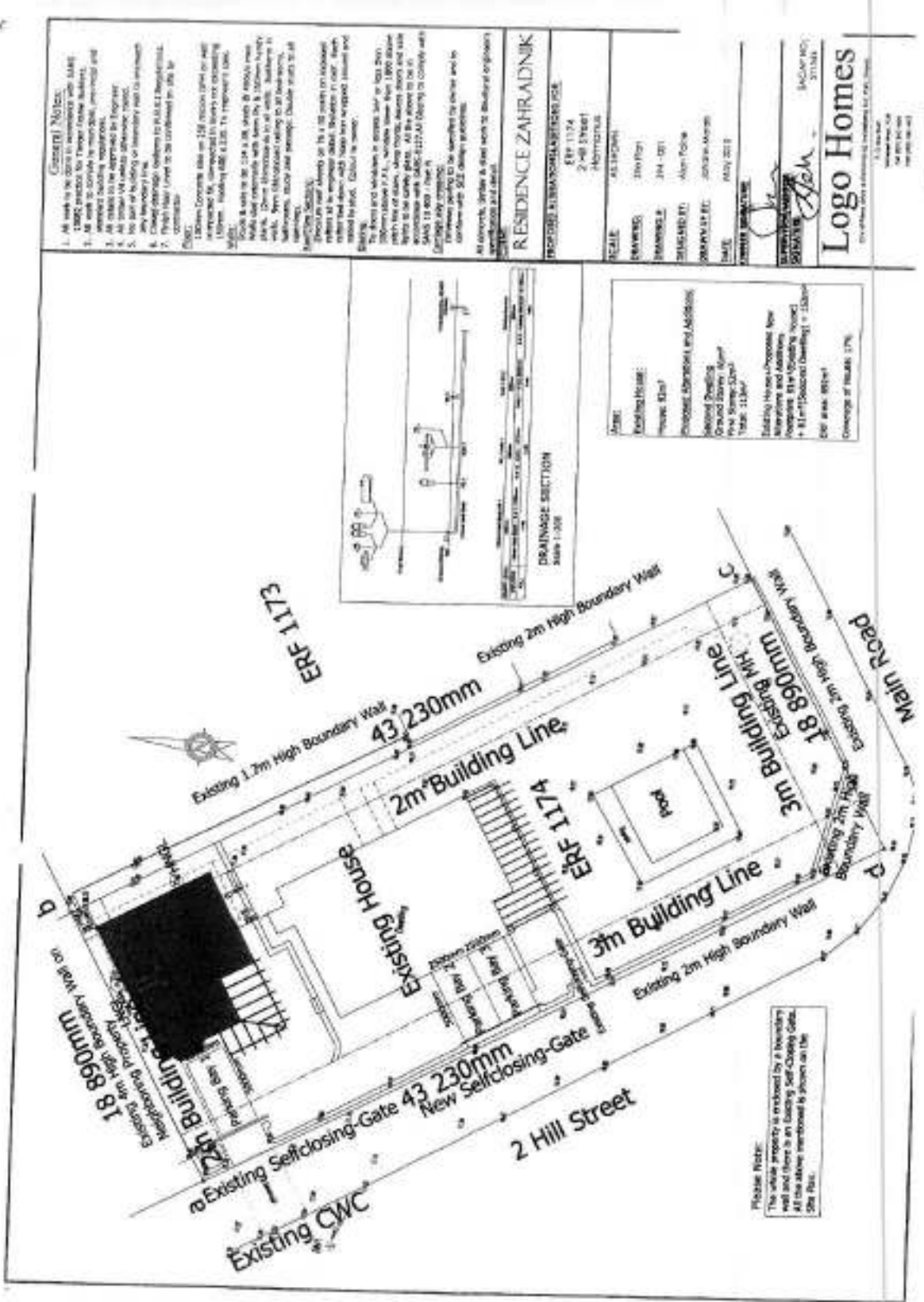
- (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



Er 1174 HEC



Date: 2018-04-30



COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1174, HERMANUS (3984)

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development;
3. that there will not be a second service electrical connection allowed to the property;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1174, Hermanus, unobstructed;
6. that no on-street parking be allowed.

Dennis Hendriks

 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

26/07/2018

 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**45. ERF 846, 13 DREYER STREET, STANFORD: PROPOSED CONSENT USE:
AI GOEDEMAN ON BEHALF OF AI & AD GOEDEMAN**

846 SSS (4011)

P Roux

(028) 313 8900

Hermanus Administration

7 November 2018

Executive Summary

To consider an application received on 26 July 2018 from AI Goedeman on behalf of the property owners on Erf 846, Stanford for a consent use in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to utilize a portion of the existing dwelling for a house shop.

RESOLVED :

1. that, in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) the application on Erf 846, Stanford for a consent use in order to utilize a portion of the existing dwelling for a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the house shop be restricted to the area indicated on the Site Plan;
 - (b) that building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments, be complied with at that stage;
 - (c) that the comment from Electrical Services be noted;
 - (d) that all the conditions in the Services Report and Fire Services, be complied with;
 - (e) that a revised parking layout be submitted, within sixty (60) days from the date of the decision letter, and approved to the satisfaction of the Senior Manager Town and Spatial Planning;
 - (f) that no more than one (1) vehicle, not exceeding 3500kg gross weight, may be utilized to make deliveries at the house shop at any one time;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (g) that adequate provision be made to manage the behaviour of patrons (both inside and outside the building) and for security and protection of surrounding properties, patrons, vehicles, etc. to the satisfaction of the Senior Manager: Town- and Spatial Planning;
- (h) that the house shop may not be used for the purposes of noxious trade, risk activity, sale of alcoholic beverages, place of entertainment or gambling purposes;
- (i) that no products, goods or supplies connected to the house shop may be stored on the property outside the building;
- (j) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;
- (k) that the trading hours of the house shop be restricted to Monday to Friday 08:00 to 17:00 and Saturday 08:00 to 13:00, and that should the hours of business be extended in terms of the proposed House Shop Policy/By-Law, such hours of operation will be applicable;
- (l) that the number of people employed in the operation of the house shop including the owner/occupant be restricted to three (3);
- (m) that the owner/manager resides on the premises;
- (n) that a Certificate of Acceptability from the Health Section of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (o) that the approval is not transferable, and the house shop area may not be sublet to any other person by the applicant;
- (p) that this consent use approval is valid for a maximum period of five (5) years, after which it will expire if application is not made for the extension of the validity period within the five (5) year period;
- (q) that on-site parking be provided to the satisfaction of the Senior Manager: Town- and Spatial Planning;
- (r) that applicable tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (s) that no accumulation of refuse occur on the premises;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (t) that there be no trading in flammable liquids or liquid petroleum gas products on the premises;
 - (u) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (v) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with,
 - (w) that the sale of perishable food is subject to a valid business license.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

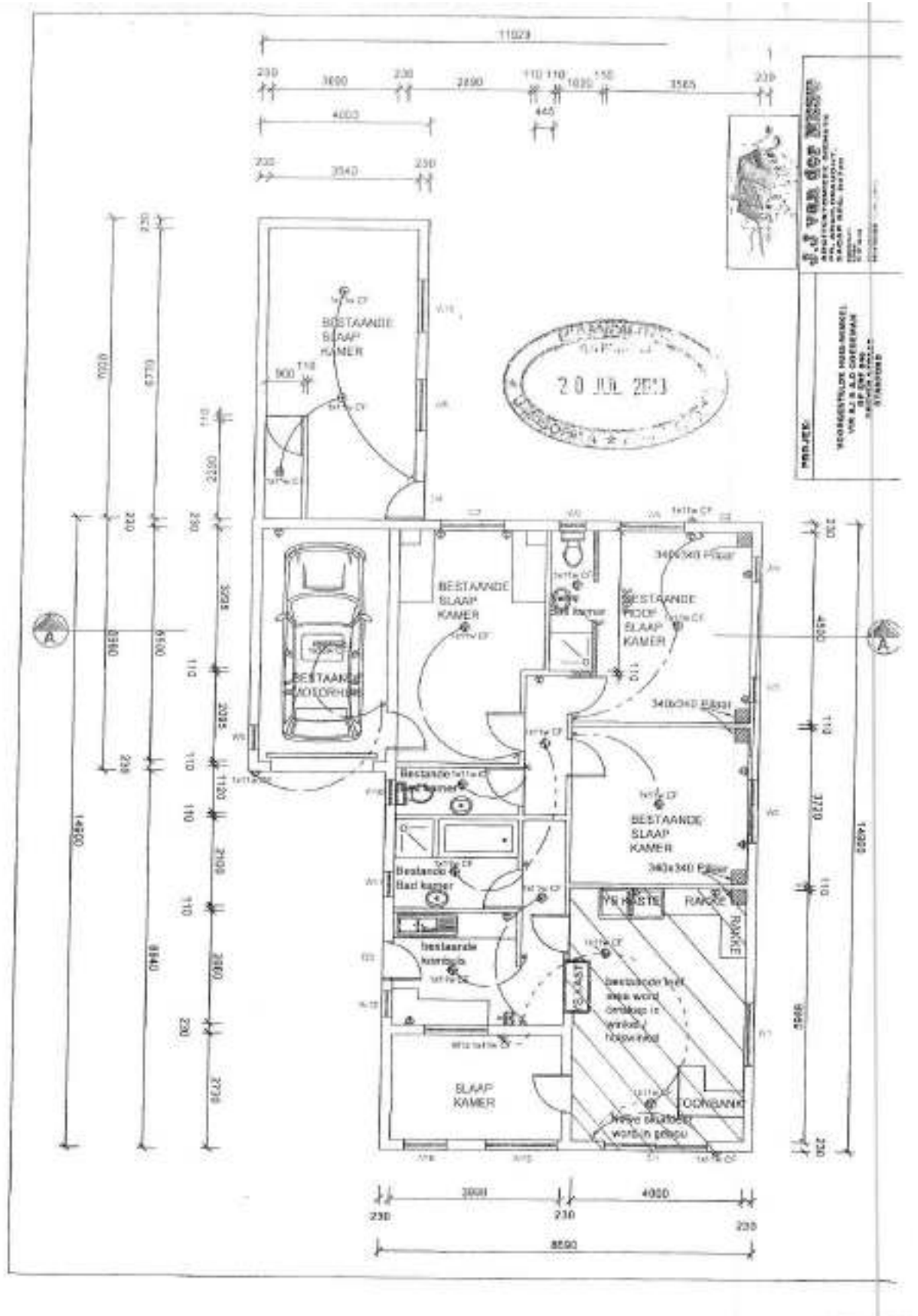


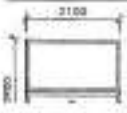

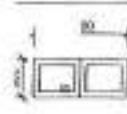







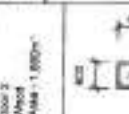

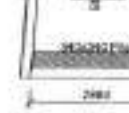



Locality Plan Erf 846 Stamford

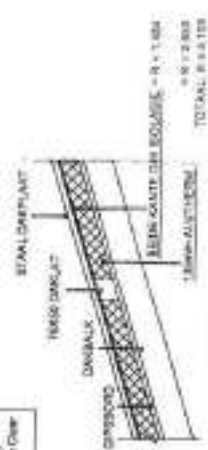
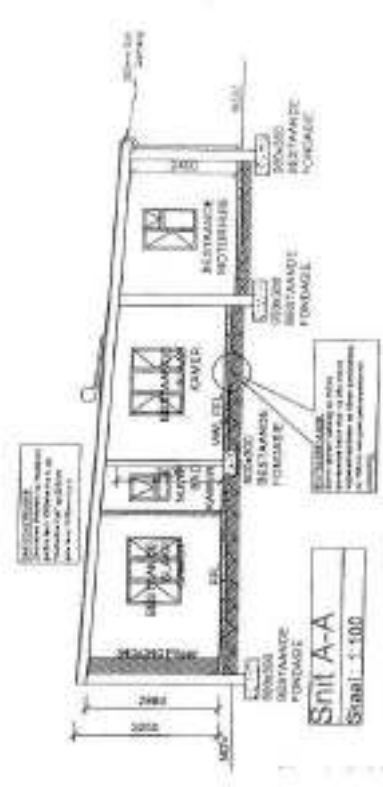
Date: 2018-08-08



OVERSTRAND
MUNICIPALITY



 W11 1.200m ² - Single Clear	 Window 12 Wood Area - 1.800m ² Glass - Single Clear	 Door 2 Wood Area - 1.800m ²	 Window 14 Wood Area - 1.400m ² Glass - Single Clear	 Window 15 Wood Area - 1.400m ² Glass - Single Clear	 Window 16 Wood Area - 1.400m ² Glass - Single Clear	 Window 17 Wood Area - 1.400m ² Glass - Single Clear	 Door 1 Wood Area - 1.800m ²
 Window 1 Wood Area - 1.800m ² Glass - Single Clear	 Window 2 Wood Area - 1.800m ² Glass - Single Clear	 Window 3 Wood Area - 1.800m ² Glass - Single Clear	 Window 4 Wood Area - 1.800m ² Glass - Single Clear	 Window 5 Wood Area - 1.800m ² Glass - Single Clear	 Window 6 Wood Area - 1.800m ² Glass - Single Clear	 Window 7 Wood Area - 1.800m ² Glass - Single Clear	 Window 8 Wood Area - 1.200m ² Glass - Single Clear



**DETAIL ISOLASIE IN DAK
 MET GIPSBORD OP DAKBALK**
 Schaal: 1:50

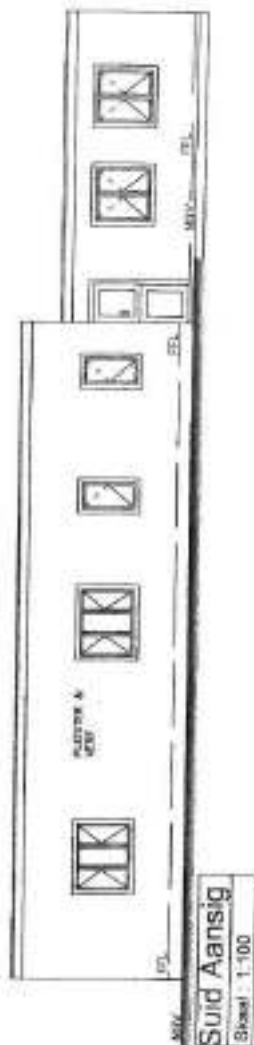
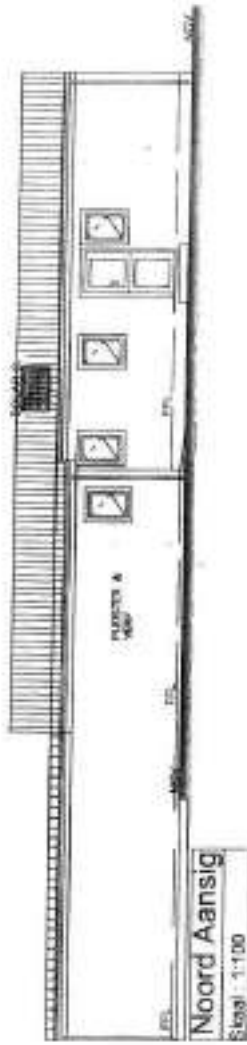
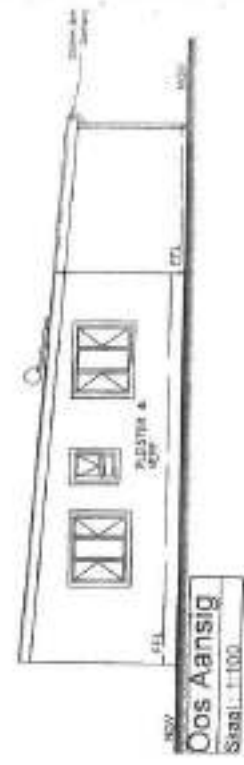


PROJEKT

J.J. van der West
 ARCHITECTONISCH BUREAU
 VAN DER WEST
 BACAP (NED. DEEL)
 1072 XG AMSTERDAM
 TEL: 020 612 1234
 FAX: 020 612 1235
 WWW.VAN-DE-WEST.NL

VORGEREVIDE HOOFDWERK
 VAN A.S.A. OORDELMAN
 OP STR. 20
 DIJKEN STRAAT
 STAMBOURG

overtreëning moet wees. voipen aan SANS 1027
en 10106 i .tallering volgens SANS 102E .



2 Aansigte
Skaal 1:100

PROJIEK:
VOORBEHELDIGE HOOF-WINKEL
VIR AL E A.B. OORDELMAN
OP ERV 848
DRYVER STRAAT
STREKPOSD

J. Van der West
ARCHITEKTURISIESE DIENSTWYSE
PR. ARSGH-ARSGH-ARSGH
SADOP WEG, 65740
STREKPOSD
082 921 1111



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 846, STANFORD (4011)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that should any electrical services be relocated, costs will be for the developer's account;
4. that any commercial food preparation facilities (e.g. restaurant/ guesthouse etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
6. that any additional and / or extended vehicle entrances will be for the developer's account;
7. that stormwater be allowed to discharge through Erf 846, Stanford, unobstructed;
8. that no on-street parking be allowed.

Dennis Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

13/09/2019
 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

46. ERF 1021, 8 LONGMARKET STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED SUBDIVISION: MESSRS TOWN & COUNTRY CREATIVE LAND SOLUTIONS ON BEHALF OF EF THERON

1021 SSN (3977)

P Roux

(028) 313 8900

Hermanus Administration

11 October 2018

Executive Summary

To consider an application received on 16 April 2018 from Messrs Town and Country Creative Land Solutions on behalf of the owner of Erf 1021, Stanford, for subdivision in terms of Section 16(2)(d) of the Overstrand By-law on Municipal Land Use Planning, 2015 in order to subdivide the property into two (2) portions namely a Remainder (measuring approximately 1149m² in extent) and Portion A (measuring approximately 1198m² in extent).

RESOLVED :

1. that, the application in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1021, Stanford to subdivide the property into two (2) portions namely a Remainder (measuring approximately 1149m²) and Portion A (measuring approximately 1198m²), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval is only for the subdivision as indicated on the Subdivisional Plan as submitted with the application;
 - (b) that the conditions compiled in the Services Report, be complied with;
 - (c) that the comment received from Telkom, be noted;
 - (d) that the "leiwat" will only be provided in the same manner and capacity as before the subdivision of Erf 1021 Stanford to Portion A and that should the remainder still require "leiwat", the onus is on the property owners to divide the "leiwat" which will be provided to Portion A.", and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan - E of 1024 Stamford



Town & Country
 Creative Land Solutions
 P.O. Box 1085
 0201000P
 7280
 Tel: 020 424 1545
 Fax: 020 425 2005
 E-mail: towncountry@vodanet.co.za
 © Copyright 2018 Town & Country

PROJECT
**Proposed Subdivision of
 ERF 1021, STANFORD**

Town & Country
 1997-2018

SCALE	DATE
1:500 on A4	March 2018
DATE	REVISION
ST1802	-
Notes All distances & areas are subject to final survey.	

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION: ERF 1021, STANFORD (3977)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2017/2018**) is as follows:

Freehold erven:

Water	R 21 688.60 x 1	=	R 21 688.60
Sewerage	R 14 623.16 x 1	=	R 14 623.16
Roads	R 6 557.01 x 1	=	R 6 557.01
Stormwater	R 7 565.79 x 1	=	R 7 565.79
Solid Waste	R 1 311.40 x 1	=	R 1 311.40
Electricity	R 32 139.45 x 1	=	<u>R 32 139.45</u>
TOTAL (inclusive of VAT)		=	R 83 885.41

Note:

- 1.3 The above figures are estimates**
1.4 The above figures do not include connection fees
2. that the existing water and sewer connection to Portion A of Erf 1021 shall be used to services the proposed Portion A of Erf 1021;

3. that the Remainder of Erf 1021 must be serviced with an individual and separate water- and sewer connections to the municipal system, which must comply with the standards of the Department: Operational Services;
4. that any part of the existing water- and sewer services on Portion A of Erf 1021 that crosses the common boundary of Portion A and Remainder of Erf 1021 must be disconnected and sealed off by the developer;
5. that the owner must therefore apply for a new water connection to which Remainder of Erf 1021 must connect to. The new connection will be at the Quick street boundary;
6. that the application for the municipal connection must be at least 3 weeks prior to requirement. A job card will be opened, and the owner will be responsible for all costs;
7. that the owner must therefore apply for the new individual sewer connections to which Remainder of Erf 1021 must connect to. The new connection will be at the Quick street boundary;
8. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
9. that only a standard 60 Amp single phase electricity connection will be available per erf;
10. that access to the new proposed Remainder of Erf 1021 can be obtained from Quick Street;
11. that stormwater be allowed to discharge through the proposed erven, Stanford, unobstructed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

47. ERF 1180, 2 SANNIE BADENHORST STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED SUBDIVISION: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF LM MOSSOP

1180 SSS (3798)

P Roux

(028) 313 8900

Hermanus Administration

3 December 2018

Executive Summary

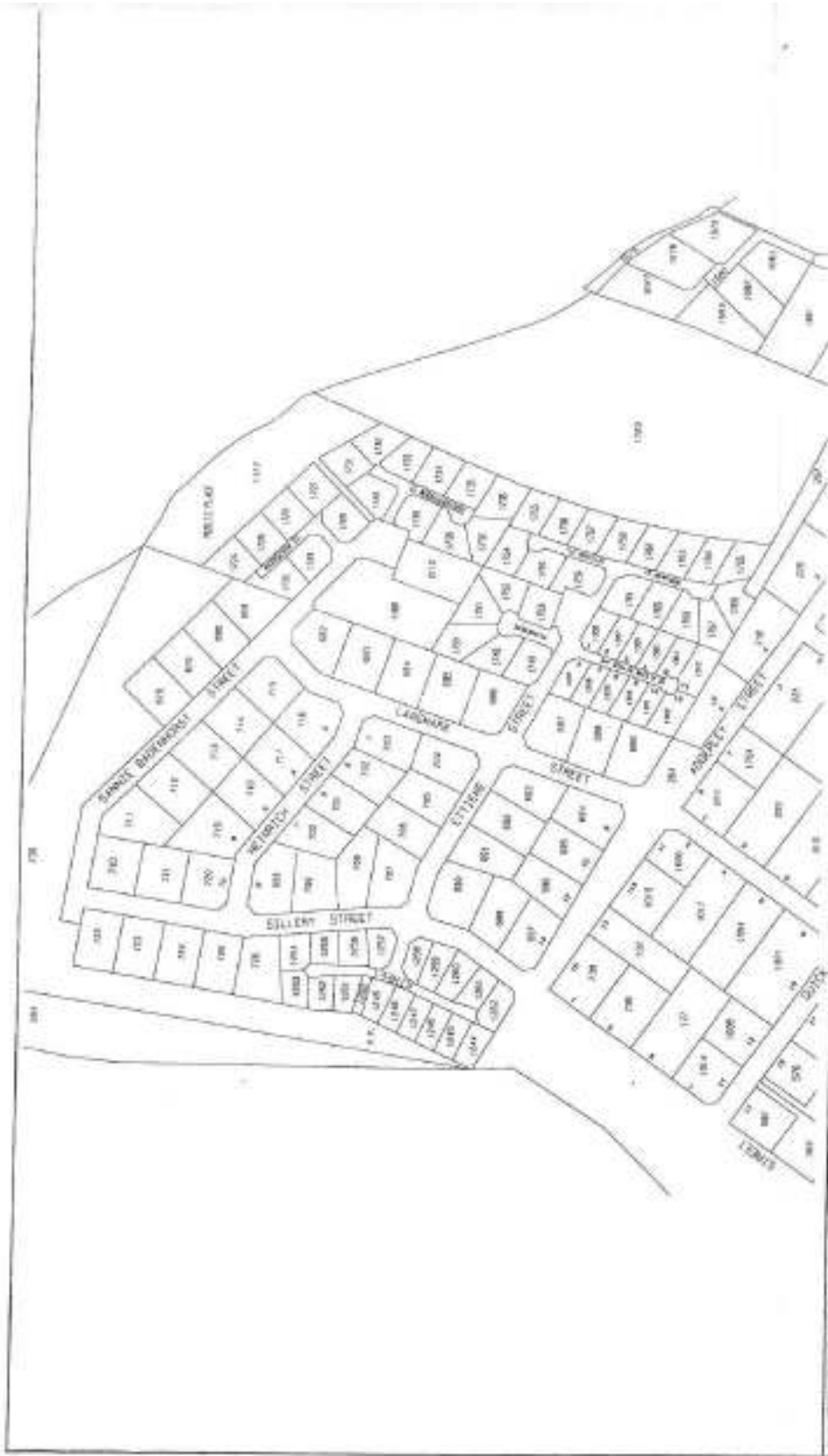
An application has been received on 28 August 2017 from Messrs Plan Active Town- and Regional Planners on behalf of the owner of Erf 1180, Stanford in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of Erf 1180, Stanford into two (2) portions.

RESOLVED :

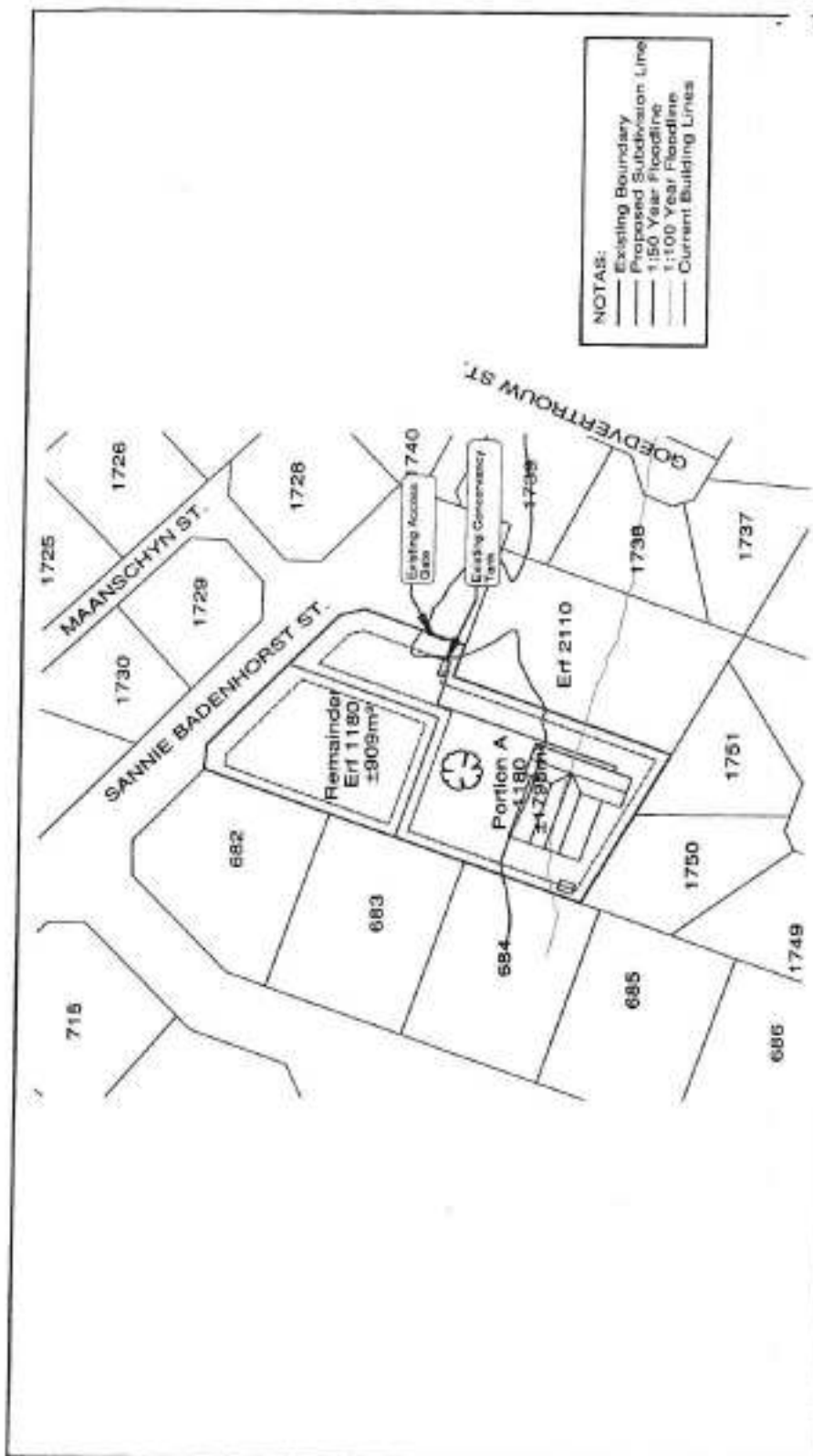
1. that the application in in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the subdivision of Erf 1180, Stanford into two (2) portions of 909m² and 1795m² in extent, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval only has reference to the Subdivisional Plan, Drawing No. Stan1180(9).drw dated 08/2017, as submitted with the application;
 - (b) that the onus is upon the owner of the property to develop the remainder of Erf 1180, Stanford in such a manner to mitigate the risk of flooding;
 - (c) that building plans be submitted to the Building Department for any future developments;
 - (d) that all the conditions imposed by Telkom, the Engineering Report, Operational Department and Breede-Gouritz Catchment Management Area, be complied with;
 - (d) that all other parameters as prescribed in the Overstrand Municipal Zoning Scheme be adhered to;
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (f) that the erection of any permanent structure is subject to prior approval of Breede-Gouritz Catchment Management Area in terms of Section 21(c) and (i) of the National Water Act, 1998.
- 2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



Stads- en Streeksbeplanners Town & Regional Planners	All dimensions approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 1180 STANFORD		Map Description: LOCALITY MAP	Scale: NTS Drawing No: 31/11/1003-016 Date: 08/01/17



PLAN Active Stads- en Streekskeplanners Town & Regional Planners	All allowances approximate and subject to survey. COPY RIGHT RESERVED		Property Description: Erf 1180 Stanford	Plan Description: Subdivision Plan	Scale: 1:1000 Drawing No: 3301100101.dwg Date: 04/05/17

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION: ERF 1180, STANFORD (3798)

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full prior to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable prior to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2017/2018) is as follows:


Freehold erven:

Water	R 21 688.60 x 1	=	R 21 688.60
Sewerage	R 14 623.16 x 1	=	R 14 623.16
Roads	R 6 557.01 x 1	=	R 6 557.01
Stormwater	R 7 565.79 x 1	=	R 7 565.79
Solid Waste	R 1 311.40 x 1	=	R 1 311.40
Electricity	R 32 139.45 x 1	=	<u>R 32 139.45</u>
TOTAL (inclusive of VAT)		=	R 83 885.41

Note:

- 1.3 **The above figures are estimates**
1.4 **The above figures do not include connection fees**
2. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;

3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
4. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that stormwater be allowed to discharge through the proposed Erven, Stanford, unobstructed;
6. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25 | 4 | 2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**48. ERF 5692, 62 WESTCLIFF ROAD, HERMANUS (WESTCLIFF),
OVERSTRAND MUNICIPAL AREA : PROPOSED DEPARTURE : MESSRS
ENGELBRECHT & SCORGIE ON BEHALF OF DF HAMMAN AND S
TEUBES**

5692 HWC (3992)

H Boshoff

(028) 313 8900

Hermanus Administration

23 November 2018

Executive Summary

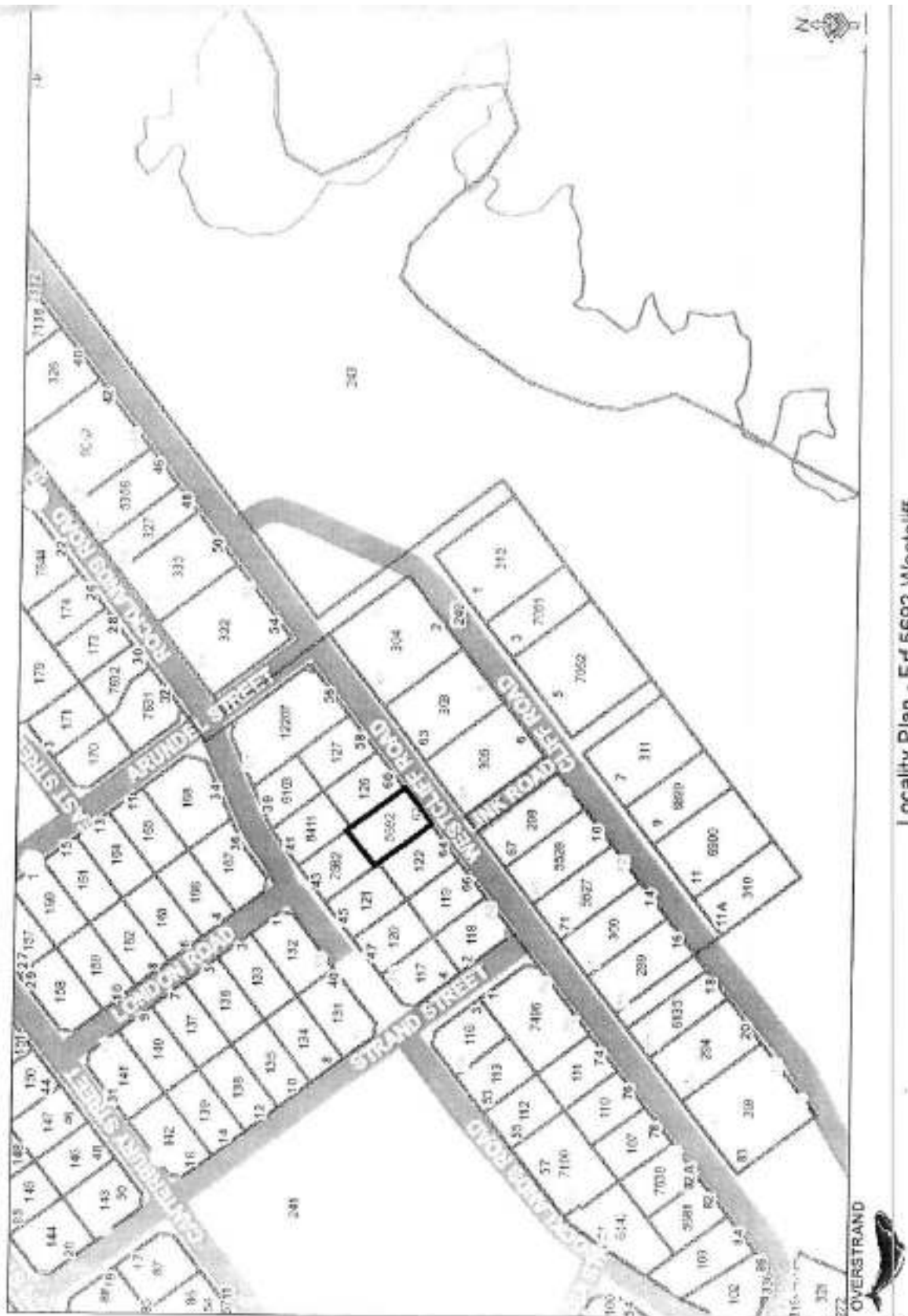
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 4 May 2018 from Messrs Engelbrecht & Scorgie on behalf of DF Hamman and S Teubes, applicable to Erf 5692, Hermanus in order to relax the street building line from 4m to 0m to accommodate an existing covered pedestrian entrance to the property that exceeds the 5m² permissible size with 0,72m², as well as to relax the rear and western lateral building lines from 2m to 0m to accommodate the existing covered braai area.

RESOLVED :

1. that application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), applicable to Erf 5692, Hermanus (Westcliff), in order to relax the street building line from 4m to 0m to accommodate a covered pedestrian entrance to the property that exceeds the 5m² permissible size with 0,72m², as well as to relax the rear and western lateral building lines of the property from 2m to 0m to accommodate the existing covered braai area, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval only has reference to the relaxation of the building lines as indicated on Site Development Plan No. 5692/04/18 dated 25.04.2018 that was submitted with the application;
 - (b) that the covered braai area may not be enclosed without the prior approval of the Municipality;
 - (c) that building plans be submitted to the Building Department for approval, and that all relevant conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that the conditions of Engineering Services and Telkom, be adhered to;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



Locality Plan - Erf 5692 West-liff

NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODES AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND SMOKE-CONTROL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.

PERMITS:

MECHANICAL PERMIT NO. 123456789
 ELECTRICAL PERMIT NO. 987654321
 PLUMBING PERMIT NO. 567890123
 FIRE PERMIT NO. 345678901
 ENERGY PERMIT NO. 234567890
 ACCESSIBILITY PERMIT NO. 123456789
 GREEN PERMIT NO. 012345678
 WELL-BEING PERMIT NO. 901234567

DATE: 10/26/2023

SCALE: AS SHOWN

PROJECT: 123456789

CLIENT: ABC COMPANY

ARCHITECT: DEF ARCHITECTS

ENGINEER: GHI ENGINEERS

LOCATION: 123456789

PROJECT NO.: 123456789

DATE: 10/26/2023

SCALE: AS SHOWN

PROJECT: 123456789

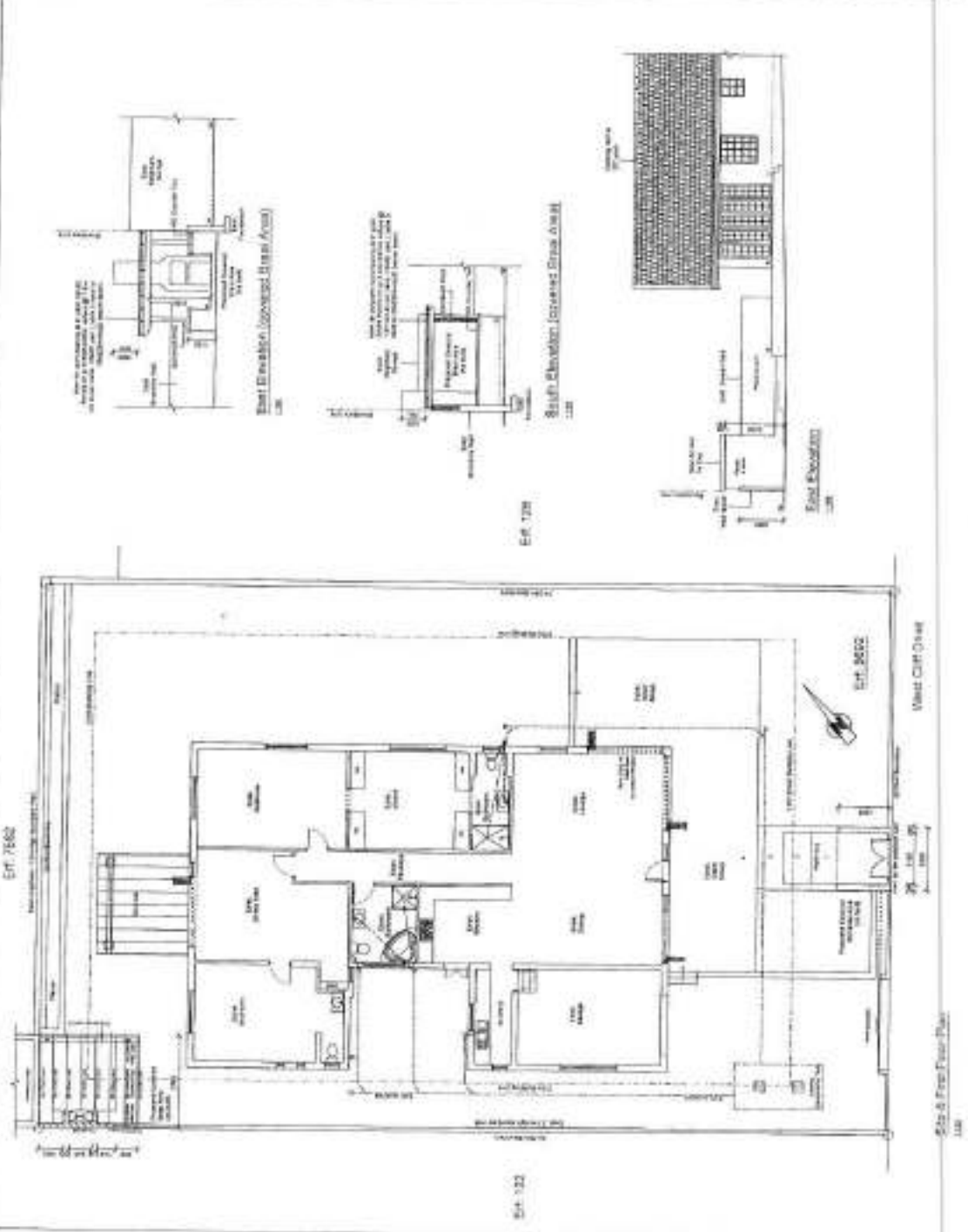
CLIENT: ABC COMPANY

ARCHITECT: DEF ARCHITECTS

ENGINEER: GHI ENGINEERS

LOCATION: 123456789

PROJECT NO.: 123456789



East Elevation (Covered Drive Area)

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5692, WESTCLIFF (3992)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 5692, Westcliff, unobstructed;
5. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**49. ERF 8, 100 CANTERBURY STREET, HERMANUS (WESTCLIFF),
OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE:
MESSRS WRAP CONSULTANCY ON BEHALF OF KHA STEINIG**

8 HWC (3963)

H Boshoff

(028) 313 8900

Hermanus Administration

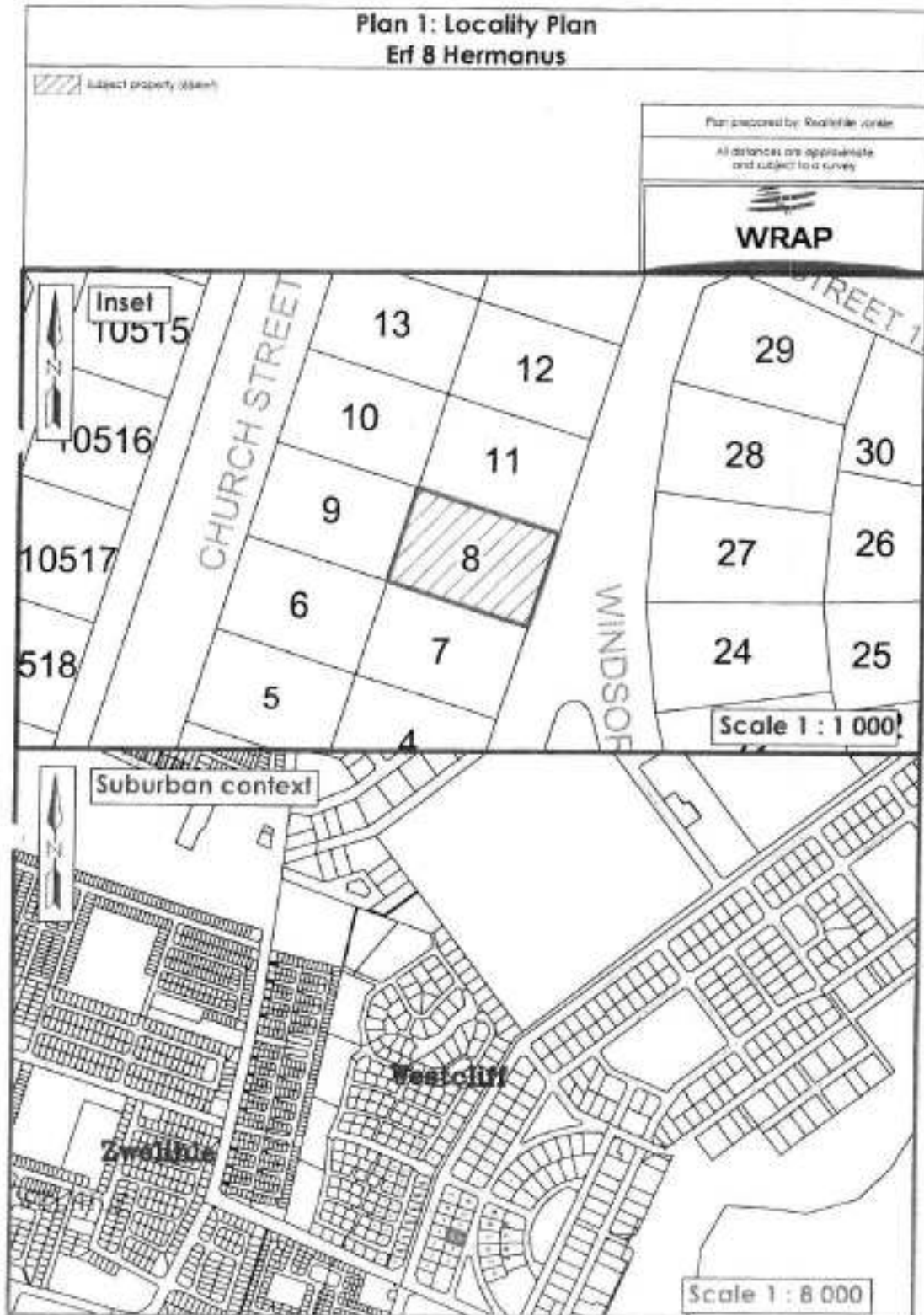
29 November 2018

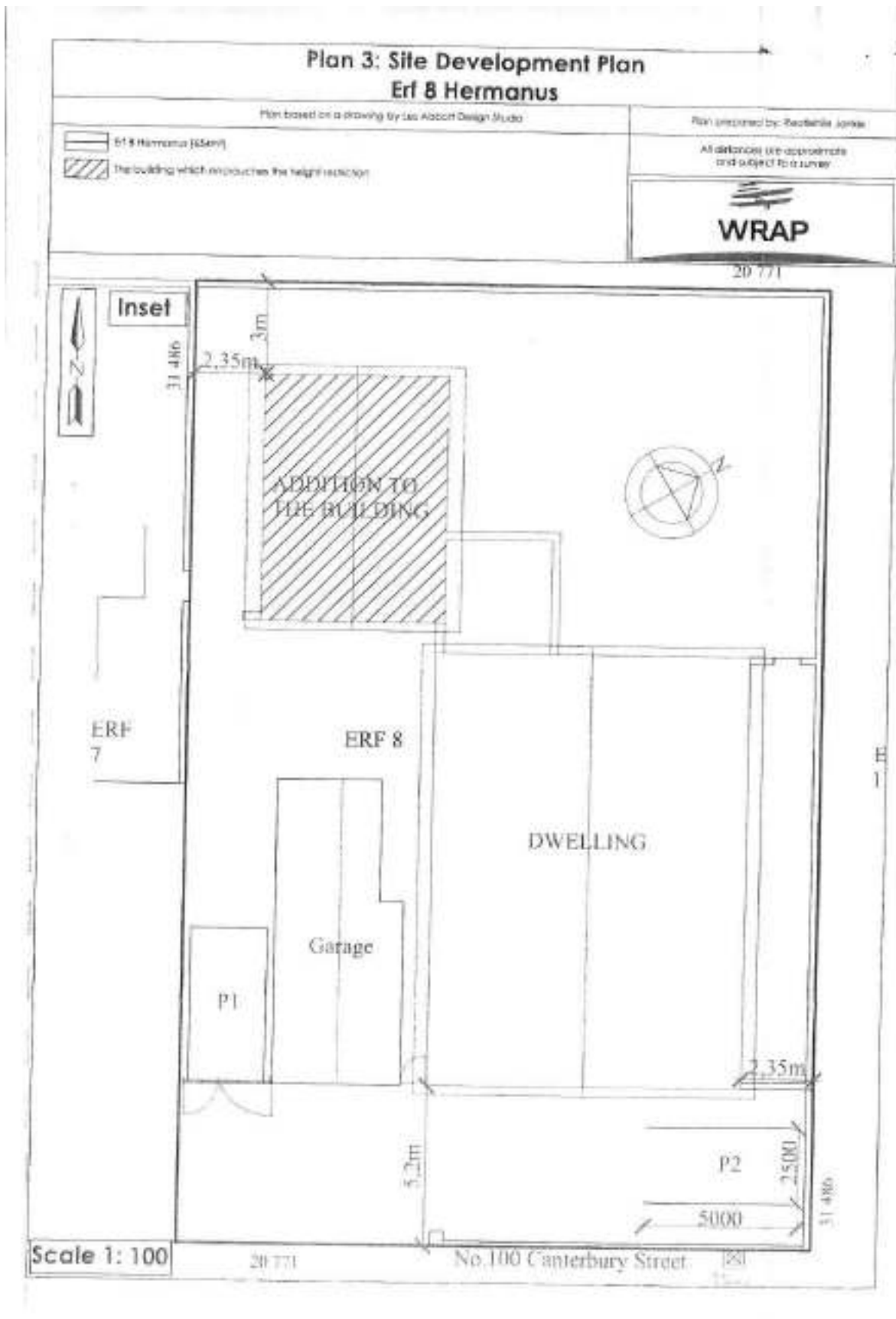
Executive Summary

An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 27 March 2018 from Messrs WRAP Consultancy on behalf of KHA Steinig, applicable to Erf 8, Hermanus (Westcliff) in order to exceed the 8m permissible height restriction applicable to dwelling units with $\pm 460\text{mm}$ to accommodate an existing addition to the dwelling unit on the property.

RESOLVED :

1. that application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Erf 8, Hermanus (Westcliff), in order to exceed the height restriction applicable to dwelling units from 8m to 8,460m in order to accommodate the existing addition to the dwelling unit on the property, **be refused** in terms of the provisions of Section 61 of the By-Law;
2. that the landowner lowers the addition to such an extent that it complies with the applicable 8m height restriction;
3. that the landowner must submit proper building plans to the Building Department of the Municipality for approval prior to any building works be commenced with, which plans must be submitted within thirty (30) days from the date of the final decision of the application;
4. that the building works must be completed within six (6) months from the date of approval of the building plans, and a professional land surveyor must be appointed by the landowner to verify that the 8m height restriction is complied with as soon as building works have been completed, which certificate must be submitted to the Building Department for its records;
5. that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with; and
6. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decisions.





Plan 4: As Built Elevation Erf 8 Hermanus

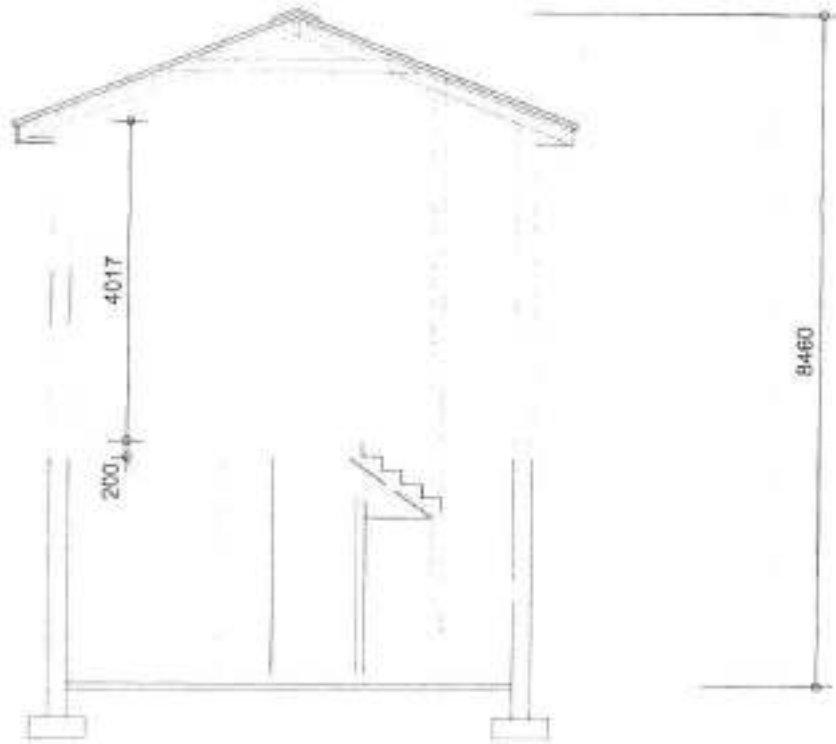
Plan based on a drawing by (in) Abbott Design Studio

Plan prepared by: Rebecca Jorke

All distances are approximate
and subject to a survey



Inset



SECTION

Scale 1: 50

**Plan 5: Floor Plan
Erf 8 Hermanus**

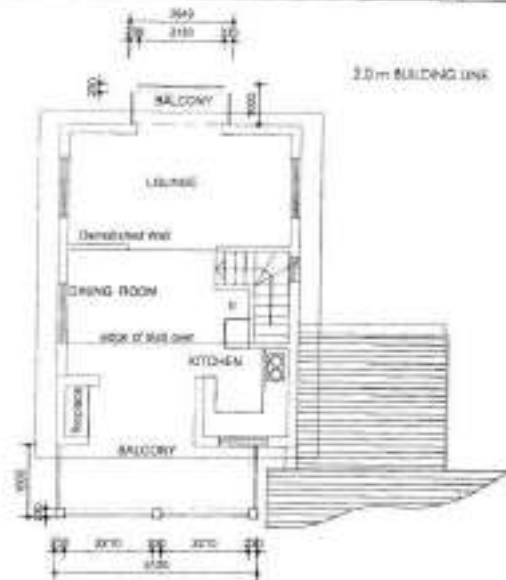
Plan based on a drawing by Les Abbott Design Studio

Plan prepared by: Rebecca Joubert

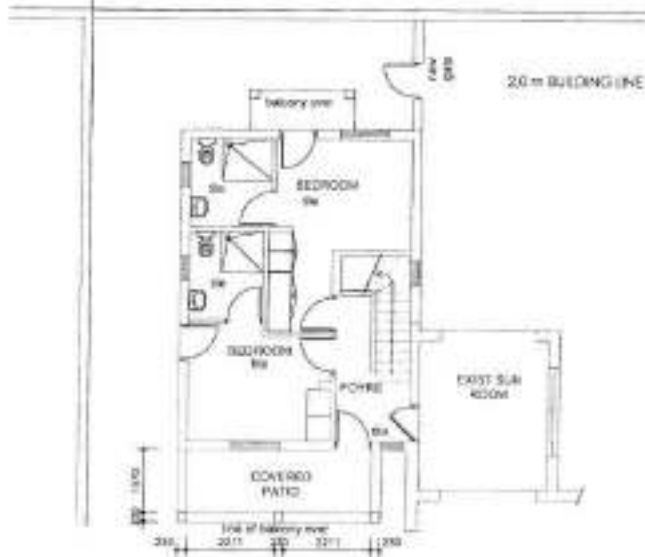
All distances are approximate
and subject to a survey



Inset



FIRST FLOOR PLAN 1 : 100
ADDITION TO THE BUILDING



GROUND FLOOR PLAN 1 : 100
ADDITION TO THE BUILDING

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 8, HERMANUS (3963)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 8, Hermanus, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

15/6/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**50. ERF 2428, 7 BEYERS STREET, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ENGELBRECHT &
SCORGIE ON BEHALF OF WJJ HUGO**

2428 HON (4013)

H Olivier

(028) 313 8900

Hermanus Administration

8 November 2018

Executive Summary

An application has been received on 22 May 2018 from Messrs Engelbrecht & Scorgie on behalf of WJJ Hugo on Erf 2428, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western and eastern lateral building lines from 2m to 0,85m and the rear building line from 2m to 0,89m to accommodate use changes over building lines to create a second dwelling.

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) on Erf 2428, Onrustrivier to relax the western and eastern lateral building lines from 2m to 0,85m and to relax the rear building line from 2m to 0,89m to accommodate an use change of outbuildings into a second dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan submitted with the application, by Messrs Engelbrecht & Scorgie;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions by Telkom, be complied with, and
 - (f) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.”



Locality Plan - Erf 2428 Onnustrivier



The architectural drawing set includes the following components:

- SITE PLAN (Sheet 1 of 1):** Shows the building footprint on a rectangular lot with dimensions 25'-0" by 45'-0". It features a north-south orientation, a driveway on the right side, and a north arrow.
- GROUND FLOOR PLAN (Sheet 2 of 1):** A detailed layout of the ground floor showing various rooms, a central staircase, and a rear porch. Dimensions for room sizes and overall building footprint are provided.
- SECOND DWELLING NORTH ELEVATION (Sheet 1 of 1):** A perspective drawing of the north side of the building, showing a two-story structure with a prominent porch and decorative elements.
- SECOND DWELLING SOUTH ELEVATION (Sheet 1 of 1):** A perspective drawing of the south side of the building, showing a two-story structure with a large window and a flat roofline.
- SECOND DWELLING WEST ELEVATION (Sheet 1 of 1):** A perspective drawing of the west side of the building, showing a two-story structure with a gabled roof and a chimney.

Technical Specifications:

- FOUNDATION:** CONCRETE FOUNDATION
- FLOORING:** CARPET, CERAMIC TILE, POLISHED CONCRETE
- CEILING:** POP, GYP. BOARD
- ROOFING:** ASPH/FLT SHINGLES
- CLADDING:** VINYL SIDING
- PAINT:** EXTERIOR - VINYL, INTERIOR - WATER BASE

Architectural Office: ARCHITECTURAL OFFICE, INC. 1234567890, 1234567890, 1234567890

Client Information: PROJECT NO. 1234567890, DATE: 12/31/2023

Professional Seal: ARCHITECT, STATE OF CALIFORNIA, NO. 1234567890, EXPIRES 12/31/2024

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2428, ONRUS RIVER (4013)**

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2428, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

09/10/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

51. ERF 4261, 78 SECOND AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS LUKE ARCHITECT ON BEHALF OF WA & JAP NEL

4261 KKM (3969)

H van der Stoep

(028) 313 8900

Hermanus Administration

16 November 2018

Executive Summary

An application has been received on 6 April 2018 from Messrs Luke Architect on behalf of WA & JAP Nel on Erf 4261, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the western lateral building line from 2m to 1m to accommodate a garage and the relaxation of the northern rear and eastern lateral building lines from 2m to 1,5m to build a new bathroom and laundry, kitchen and lobby.

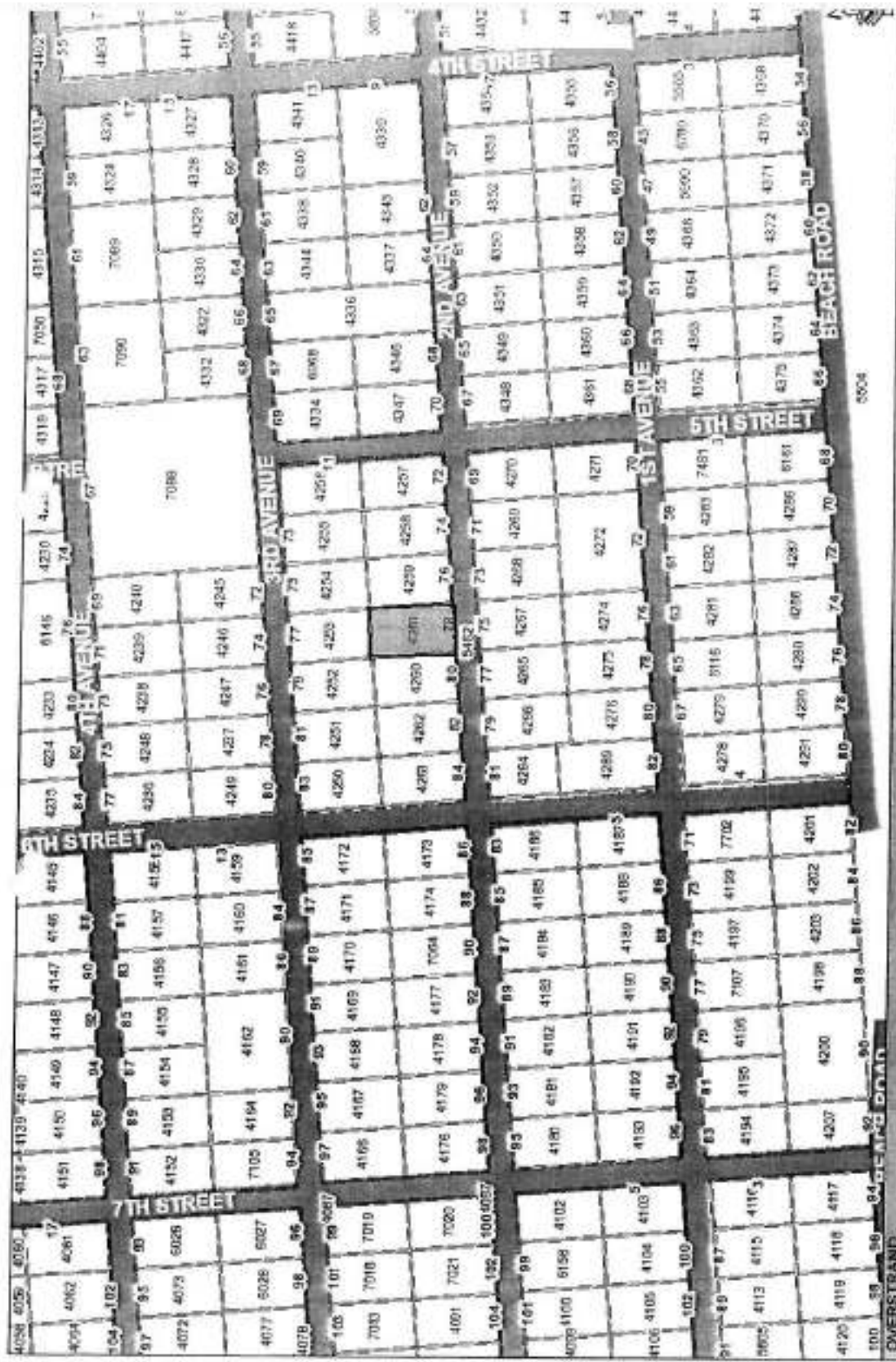
The application was complete on 15 Augustus 2018.

RESOLVED :

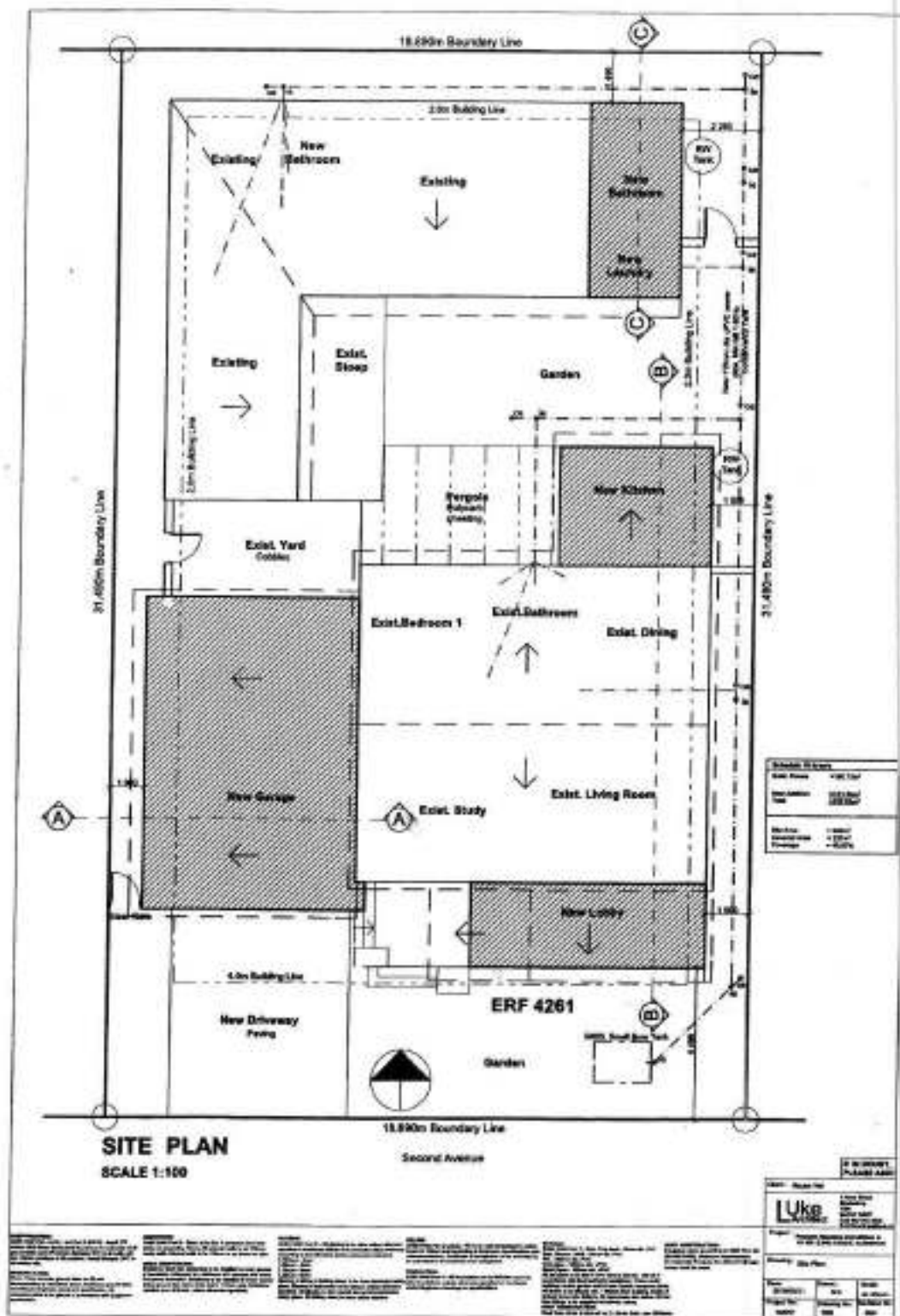
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 4261, Kleinmond for a departure in order to relax the western lateral building line from 2m to 1m to accommodate a garage and the relaxation of the northern rear and eastern lateral building lines from 2m to 1,5m to build a new bathroom and laundry, kitchen and lobby, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. 005 Rev 004 dated 21 May 2018, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval



Plat 4264 KKM



COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4261, KLEINMOND (3969)

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4261, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

**52. ERVEN 3340 AND 3341, 9 & 11 PARK LANE, ONRUSTRIVIER,
OVERSTRAND MUNICIPAL AREA: PROPOSED CONSOLIDATION :
MESSRS PLAN ACTIVE ON BEHALF OF AC & RD GREEFF**

3340 & 3341 HON (4054)

H Olivier

(028) 313 8900

Hermanus Administration

19 November 2018

Executive Summary

Application has been received on 20 June 2018 from Messrs Plan Active Town & Regional Planning on behalf of AC & RD Greeff on Erven 3340 and 3341, Onrustrivier for the consolidation of Erven 3340 and 3341, Onrustrivier in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

RESOLVED :

1. that the application for consolidation of Erven 3340 and 3341, Onrustrivier in terms of Section 16(2)(e) of the Overstrand By-Law on Land Use Planning, 2015 (By-Law), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the consolidation as indicated on the diagram from NA Clark compiled September 2017 submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that all the conditions in the Services Report, be complied with;
 - (f) that the conditions imposed by Eskom, be complied with, and
 - (g) that the conditions imposed by Telkom, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



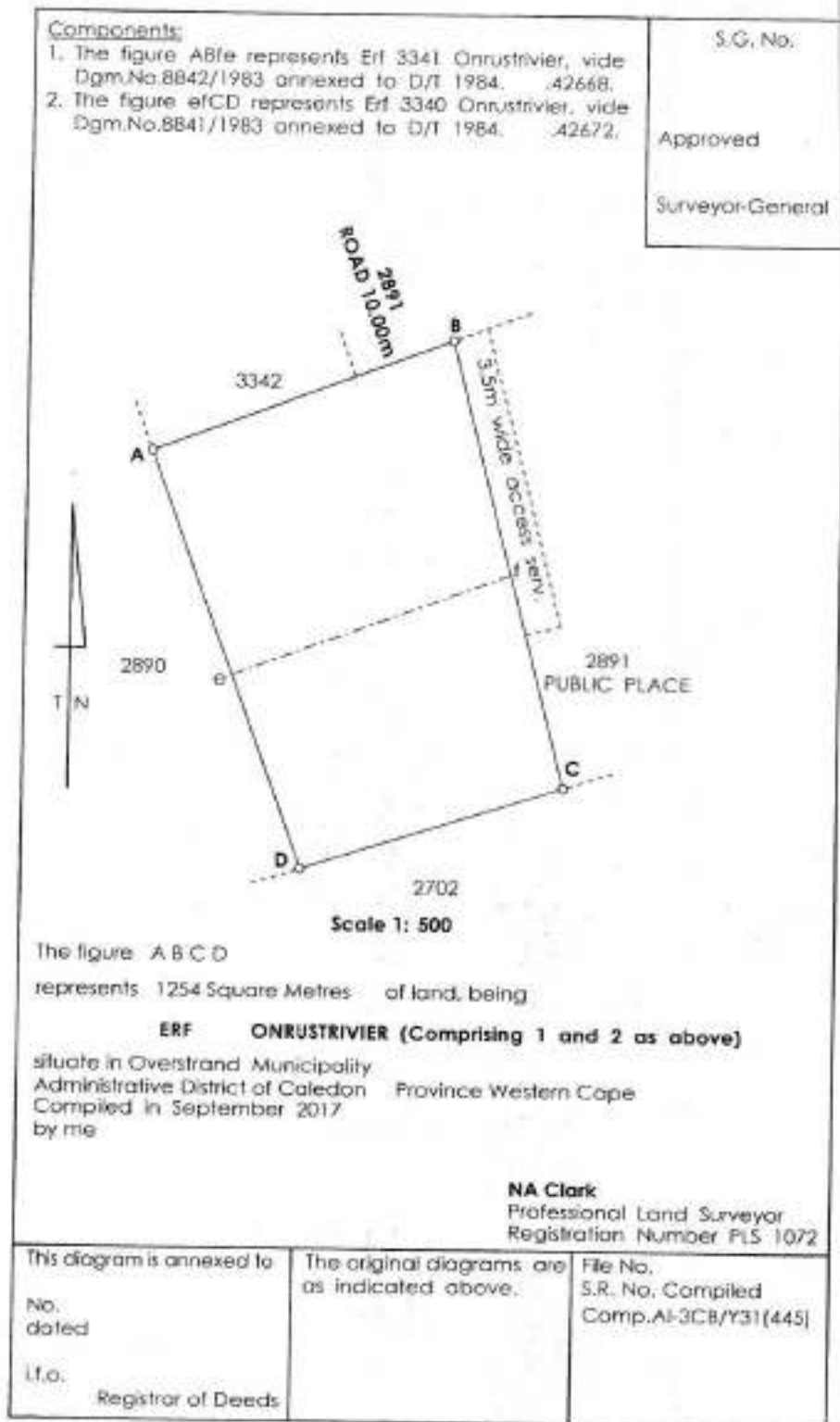
Scale: NTS
 Drawing No: CWP3340L 276
 Date: 09/20/16

Plan Description:
LOCALITY MAP

Property Description:
**ERVEN 3340 & 3341
 ONRUSTRIEVER**

All distances approximate
 and subject to survey.
 COPYRIGHT RESERVED

PIAⁿ Active
 Stads- en Sireksbeplanners
 Town & Regional Planners



NOTE:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL WALLS ARE TO BE CONCRETE BLOCK WITH EXTERIOR FINISH AS NOTED.
 3. ALL ROOFS ARE TO BE AS NOTED.
 4. ALL FLOORS ARE TO BE AS NOTED.
 5. ALL CEILING ARE TO BE AS NOTED.
 6. ALL DOORS AND WINDOWS ARE TO BE AS NOTED.
 7. ALL FINISHES ARE TO BE AS NOTED.
 8. ALL UTILITIES ARE TO BE AS NOTED.
 9. ALL MECHANICAL ARE TO BE AS NOTED.
 10. ALL ELECTRICAL ARE TO BE AS NOTED.
 11. ALL PLUMBING ARE TO BE AS NOTED.
 12. ALL PAINT ARE TO BE AS NOTED.
 13. ALL TILES ARE TO BE AS NOTED.
 14. ALL CARPET ARE TO BE AS NOTED.
 15. ALL FURNITURE ARE TO BE AS NOTED.

NO.	DATE	REVISION

OWNER
 ADDRESS
 CITY
 STATE
 ZIP

ANDREW DREEPY ARCHITECTS
 ARCHITECTS
 12345 MAIN ST.
 SUITE 100
 DALLAS, TX 75201
 TEL: (214) 555-1234
 FAX: (214) 555-5678
 WWW: ANDREWARCHITECTS.COM

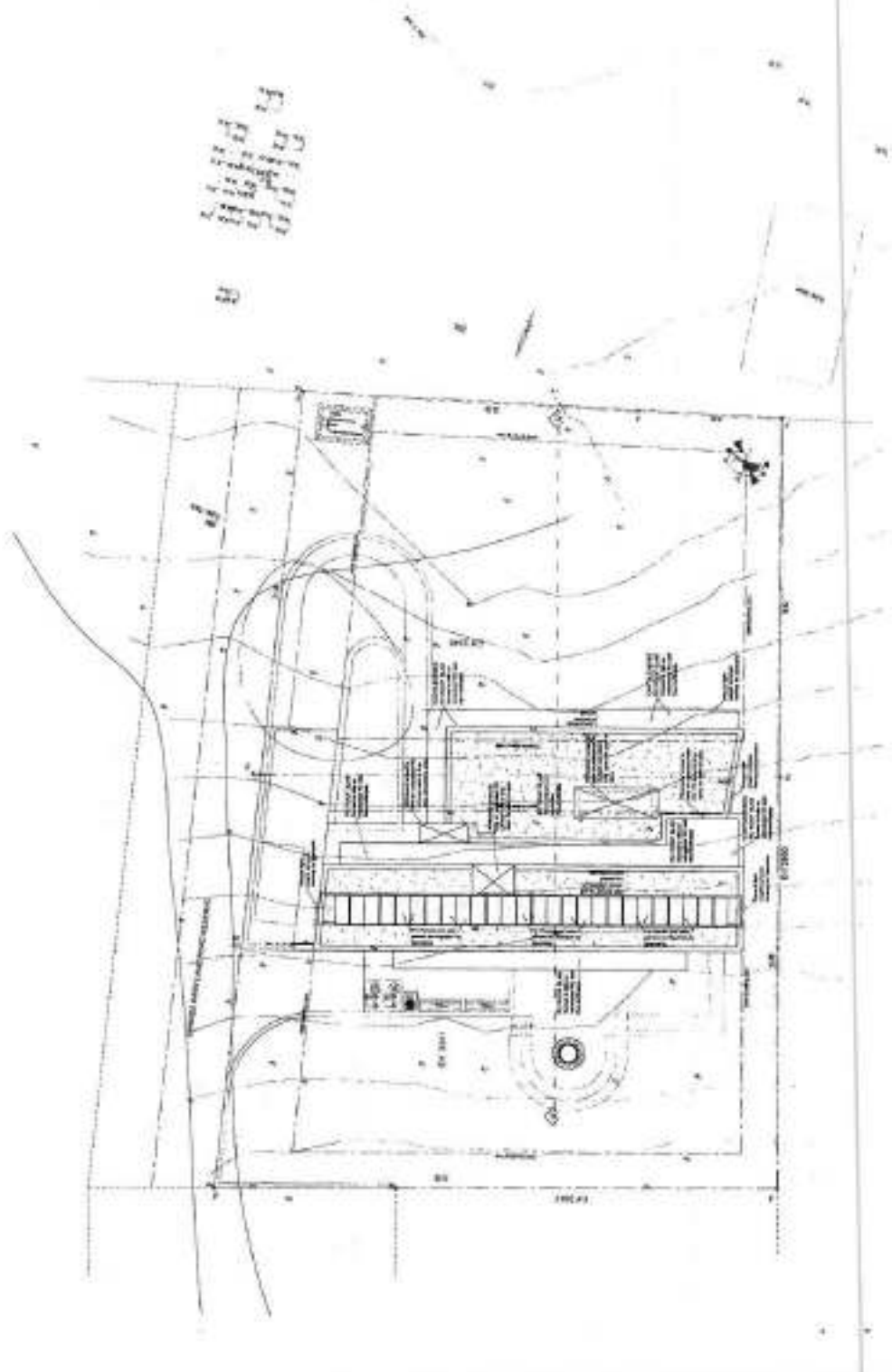
HOUSE OF MR. DREEPY'S
 PROPOSAL NO. 12345
 PROJECT NO. 67890
 SHEET NO. 12345

NEW HOUSE 2

SKETCH PROPOSAL 2

PLAN 2
SITE / ROOF

SCALE: 1/8" = 1'-0"
 DATE: 10/10/14
 DRAWN: JLD
 CHECKED: JLD



Handwritten notes:
 1. 12' x 12' PATIO
 2. 12' x 12' PATIO
 3. 12' x 12' PATIO
 4. 12' x 12' PATIO
 5. 12' x 12' PATIO
 6. 12' x 12' PATIO
 7. 12' x 12' PATIO
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 12. 12' x 12' PATIO
 13. 12' x 12' PATIO
 14. 12' x 12' PATIO
 15. 12' x 12' PATIO

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: ERVEN 3340 & 3341, ONRUS RIVER
(4054)

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. that the new water connection to the consolidated erf shall be used to service the consolidated erf consisting of Erven 3340 & 3341;
2. that the proposed consolidated erf consisting of Erven 3340 & 3341 must be provided with adequate small-bore sewer tanks, which must comply with the standards and specification of the Department: Operational Services;
3. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
4. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 - P:2010: Drainage;
6. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through the proposed Erven, Onrus River, unobstructed;
8. that any additional and / or extended vehicles entrances will be for the owner's account;
9. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

53. PORTION 6 OF FARM AFDAKSRIVIER NO. 575, FLAGSHIP BUSINESS PARK, OVERSTRAND MUNICIPAL AREA: APPROVAL OF ARCHITECTURAL DESIGN GUIDELINES AND LANDSCAPE PLAN: AFDAKSRIVIER EIENDOMSONTWIKKELING

RCAL 6/575

H Olivier

(028) 313 8900

Hermanus Administration

11 December 2018

Executive Summary

An application has been received on 4 January 2018 from Messrs Afdaksrivier Eiendomsontwikkeling in terms of Section 16(2)(j) of the Overstrand By-Law on Municipal Land Use Planning, 2015 to consider the Architectural Design Guidelines and Landscape Plan in an attempt to comply with the original conditions of approval for the development.

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) of an application in terms of Section 16(2)(j) to compile the Architectural Design Guidelines and Landscape Plan of Flagship Business Park, **be approved** in terms of the provisions of Section 61 of the By-Law.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

Municipal Planning Tribunal

1. **ERF 113, 8 CLIFF STREET, DE KELDERS, OVERSTRAND MUNICIPAL AREA : REMOVAL OF RESTRICTIVE CONDITIONS AND DEPARTURE : MESSRS PLAN ACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF JW OTTEN**

113 GDK (3835)

P Roux

(028) 313 8900

Hermanus Administration

20 July 2018

Executive Summary

An application has been received on 17 November 2017 from Messrs PlanActive Town- and Regional Planners on behalf of the owner of Erf 113, De Kelders, JW Otten, for the following:


- ❖ departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) to relax lateral building line from 2m to 0m to accommodate the existing braai and built deck; and
- ❖ removal of restrictive title deed conditions in terms of Section 16(2)(f) of the By-Law for the removal of restrictive title deed conditions applicable to the property.

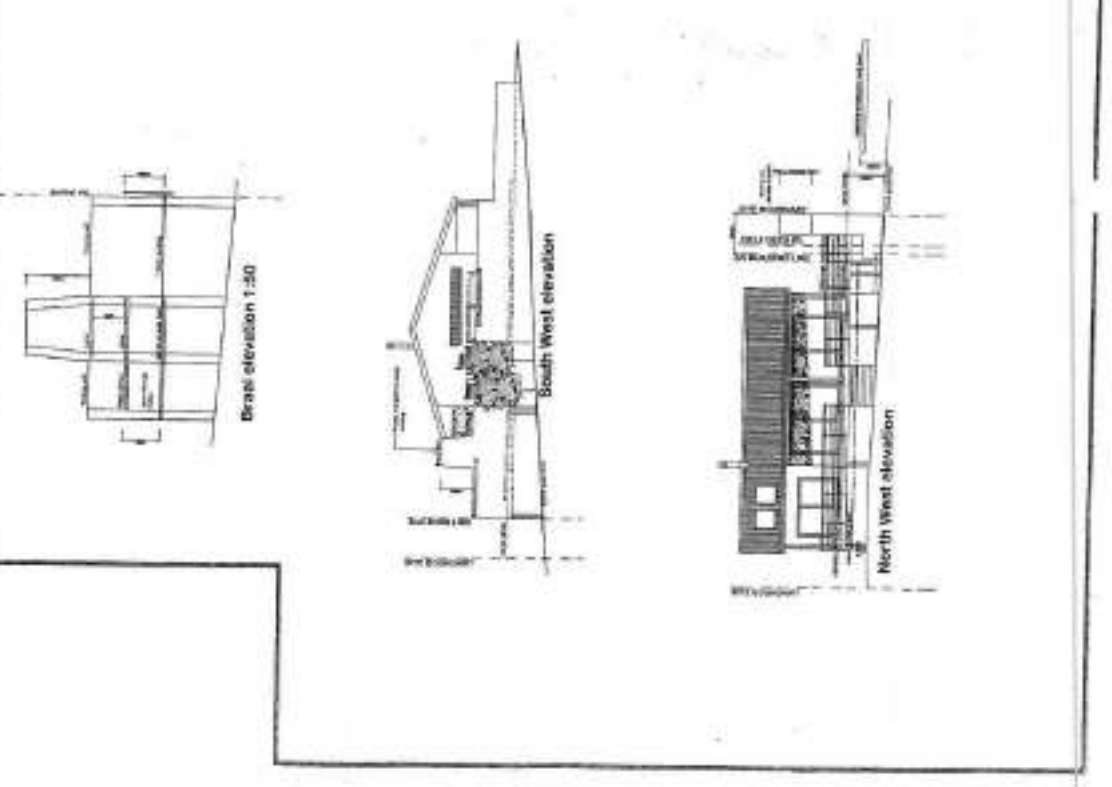
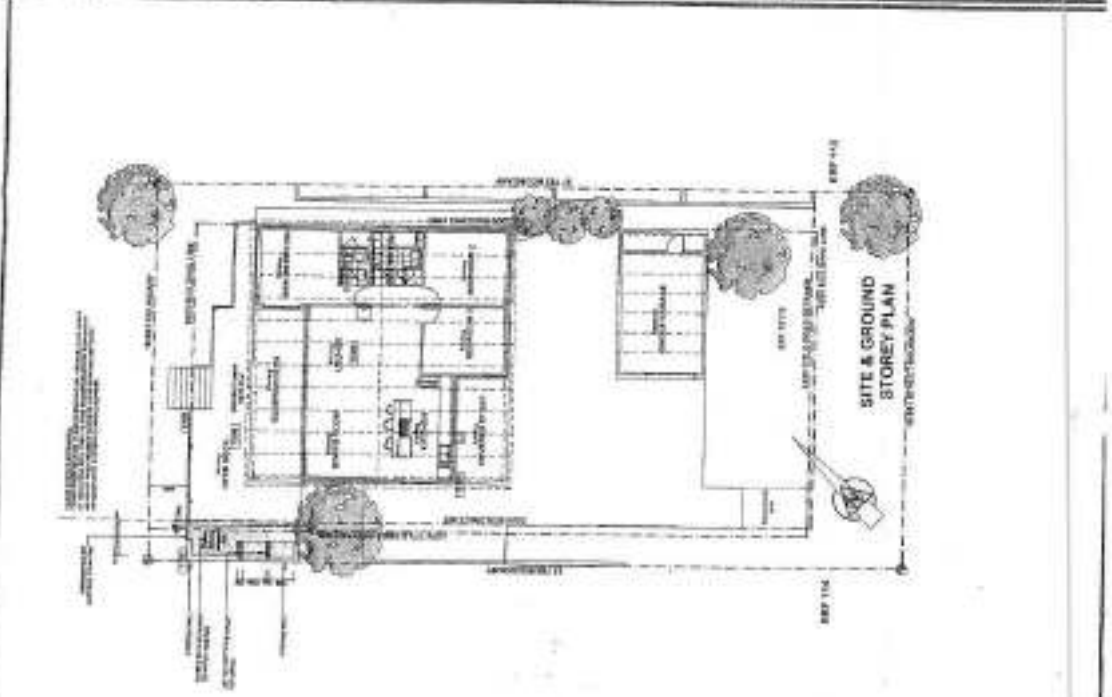
RESOLVED :

1. that, in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), the application for a lateral building line departure from 2m to 0m to accommodate the existing braai structure and stoep area on Erf 113 De Kelders, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that, in terms of Section 16(2)(f) of the By-Law, the application for the removal of restrictive title conditions as contained in Title Deed T7117/2015 applicable to Erf 113, De Kelders, namely conditions D.1 and E.(a), (c) and (d), **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals provided in point 1 and 2 are subject to the following conditions;
 - (a) that the approvals are for the development as indicated on Project No 2016-009 and Drawing No CD7, that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (c) that the approvals do not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all the conditions in the Services Report be complied with;
 - (e) that the approvals do not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the applicant and the objectors be notified of their respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.

<p>NOTES:</p> <ul style="list-style-type: none"> 1. CONSULT THE ARCHITECT'S GENERAL NOTES AND SPECIFICATIONS FOR A COMPLETE LIST OF MATERIALS AND FINISHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS. 	<p>DATE: 11/20/2023</p>	<p>DESIGNER: [Name]</p> <p>PROJECT: [Name]</p> <p>1000 [Address]</p> <p>[City, State, Zip]</p>	 <p>Chen & Irvine Civil & Survey Engineers 1000 [Address] [City, State, Zip] [Phone Number] [Fax Number] [Email Address]</p>	<p>PROJECT: [Name]</p> <p>DATE: [Date]</p> <p>SCALE: [Scale]</p> <p>PROJECT NO: [Number]</p> <p>CD 1</p>
	<p>OWNER: [Name]</p>	<p>ARCHITECT: [Name]</p>		
	<p>CONTRACT NO: [Number]</p>	<p>DATE: [Date]</p>		
	<p>PROJECT NO: [Number]</p>	<p>DATE: [Date]</p>		

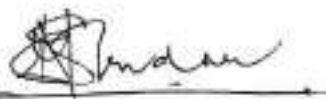


COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & REMOVAL OF RESTRICTIVE TITLE
DEED: ERF 113, DE KELDERS (3835)

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water connection and sewer conservancy tank shall be used to service Erf 113, and that should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 113, De Kelders, unobstructed;
6. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

24/1/2018

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. PORTION 2 OF THE FARM LANGKLOOF RIVER 725, A DIVISION OF CALEDON, OVERSTRAND MUNICIPAL AREA: PROPOSED AMENDMENT OF CONDITIONS OF APPROVAL AND SITE DEVELOPMENT PLAN: MESSRS PLANACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF MISTY MOUNTAINS ESTATES (PTY) LTD

2/725 GRCAL (3696)

P Roux

(028) 313 8900

Hermanus Administration

10 September 2018

Executive Summary

An application has been received on 31 May 2017 from Messrs Plan Active Town- and Regional Planners on behalf of the owners of Portion 2 of the farm Langkloof River 725, Misty Mountains Estates (Pty) Ltd, for the following:

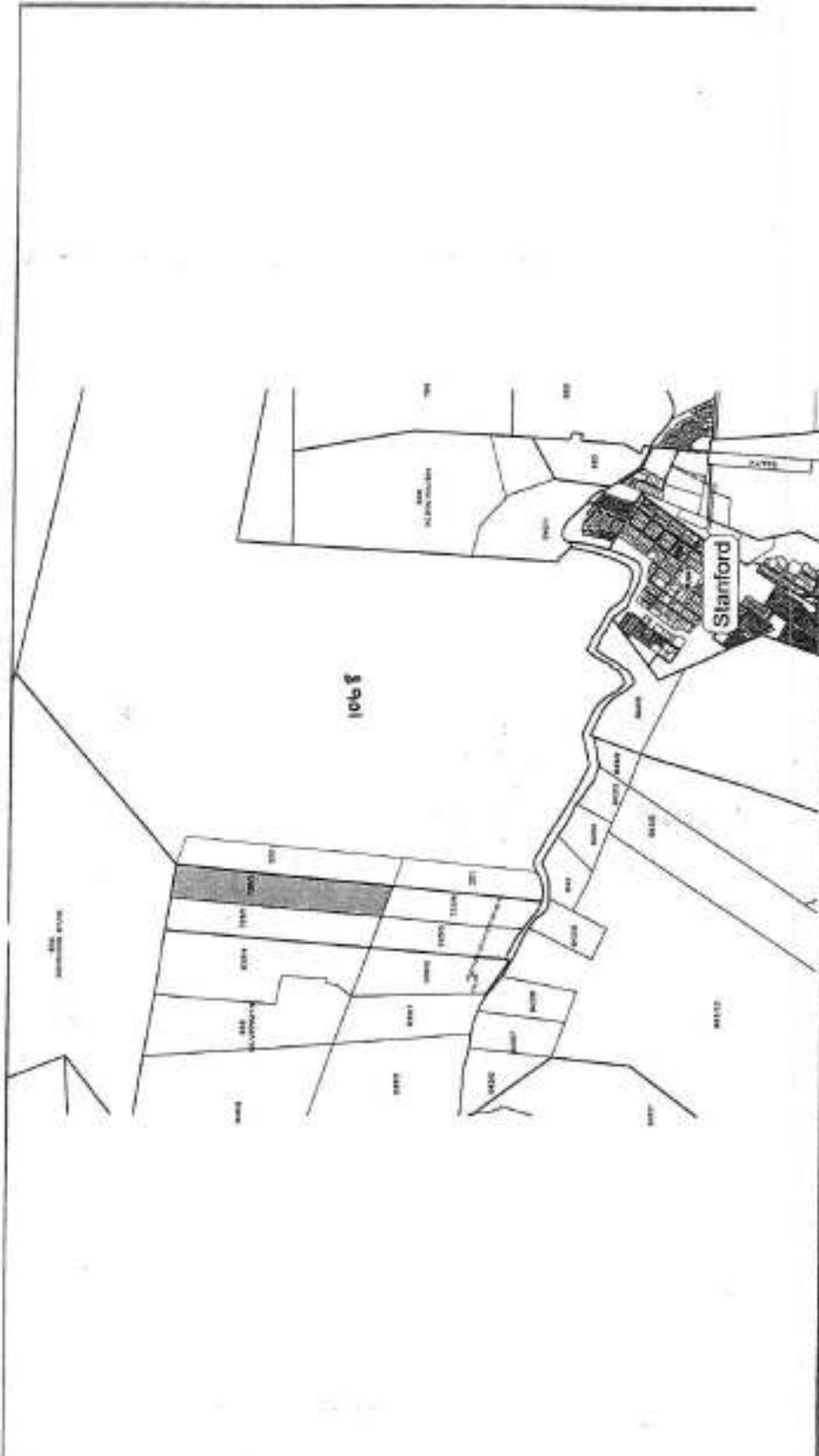
- an amendment of conditions in respect of an existing approval in terms of Section 16(2)(h) to amend conditions 1 and 2 in the planning approval of 22 March 2007; and
- an amendment of the approved site development plan in terms of Section 16(2)(l) to accommodate an all spirits distillery and a craft beer brewery within a portion of 340m² within the existing wine cellar building on the farm.

RESOLVED :

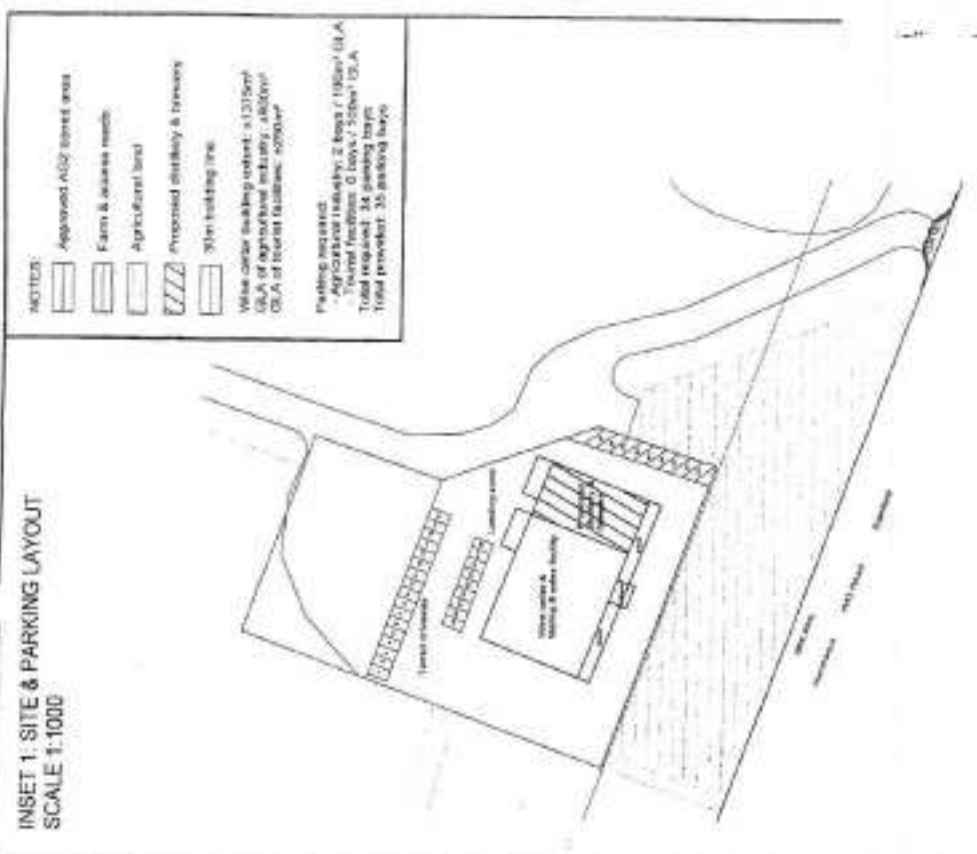
1. that, in terms of Section 16(2)(h) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-law), the application to amend conditions 1. and 2. in the planning approval of 22 March 2007, **be approved** in terms of the provisions of Section 61 of the By-law;
2. that, in terms of Section 16(2)(l) of the By-law, the application to accommodate an all spirits distillery and a craft beer brewery within a portion of 340m² within the existing wine cellar building on the farm, **be approved** in terms of the provisions of Section 61 of the By-law;
3. that, the approvals provided in paragraphs 1. and 2. are subject to the following conditions:
 - (a) that the approvals are for the development as indicated on drawing no 725-2sdp.drw, that was submitted with the application;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (b) *that the amendment of conditions 1. and 2. of the planning approval dated 22 March 2007 is proposed to read as follows:*
- “1. that, in terms of Section 16 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)(LUPO) the application for the rezoning of Portion 2 of the Farm 725, Division Caledon, Overstrand Municipal Area from Agriculture Zone 1 to Agriculture Zone 2 in order to operate a wine cellar, a bottling plant, **and all spirits and a craft beer brewery on the property concerned, be approved, and***
- 2. that, in terms of the Section 4.7 of the relevant Scheme Regulations application for special consent for a tourist facility and additional dwelling units in order to operate a wine, **spirits and beer tasting facility**, a restaurant and sales office (for wine, **all spirits and beer**) within the cellar and to erect two additional dwelling units on the property concerned as indicated on plans no. **farm 725-2sdp.drw dated May 2017 and farm 725-2floor.drw, be approved, subject to the following conditions:***
- (c) that all the conditions imposed by Department of Transport and Public Works, Breede-Gouritz Catchment Management Area, Overberg Health, Eskom, Telkom and the Engineering Services Report be complied with;
- (d) that building plans be submitted to the Building Department for approval;
- (e) that the additional and existing uses comply with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (f) that applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (g) that the approvals do not absolve the applicant from compliance with any other relevant legislation; and
- (h) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the applicant and the objectors be notified of their respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.

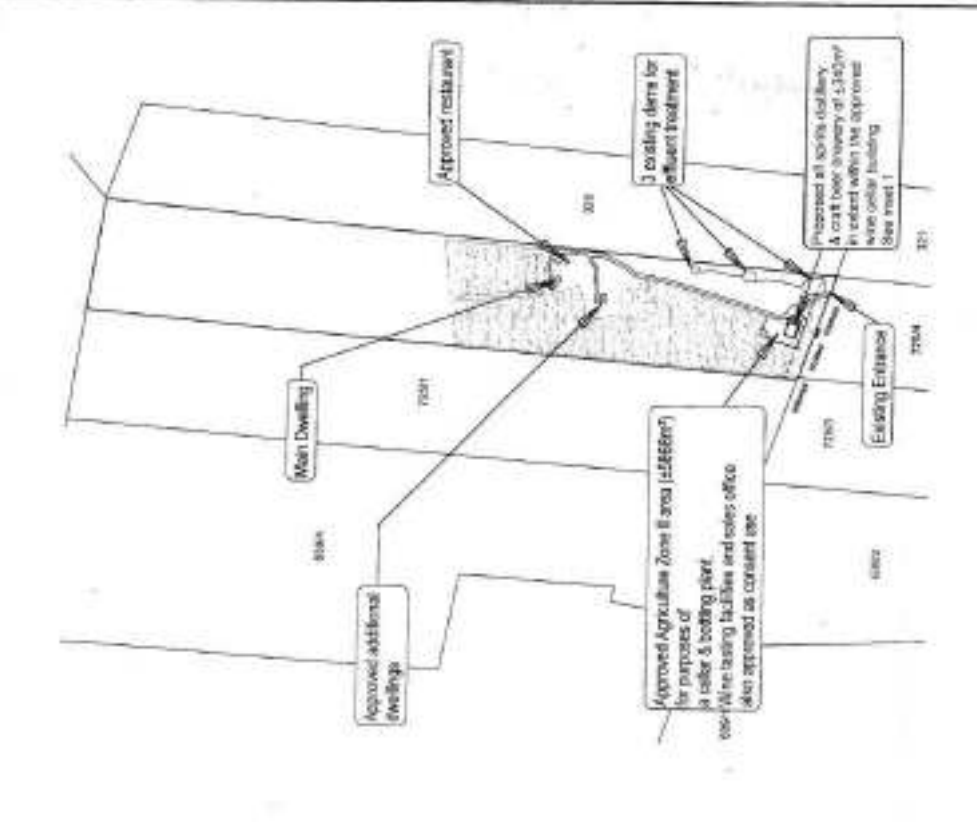


Plan Stads- en Streetsplanners Town & Regional Planners Active	Property Description: PORION 2 OF FARM NO. 725		Urban Description: LOCALITY MAP		Scale: NTS Drawing Nr.: 100725-2.dwg Date: MAY 2017
	All dimensions approximate and subject to survey. COPY RIGHT RESERVED				



INSET 1: SITE & PARKING LAYOUT
SCALE 1:1000

- NOTES:
- Approved ASD forest area
 - Farm & access roads
 - Agricultural land
 - Proposed driveway & driveway
 - 30m building line
- Wine cellar building subject to 1375m² GBA of approved industry, 4800m² GBA of total building, 5000m²
- Parking required:
- Agricultural industry: 2 bays / 195m² GBA
 - Retail function: 6 bays / 550m² GBA
 - Total required: 34 parking bays
 - Total provided: 35 existing bays



Plan Active Shale-on Streetscape/Town & Regional Planning

Project Information: PROJECT NO. 1107/02
 SITE DEVELOPMENT PLAN
 PORTION 2 OF FARM NO. 725

Site Address: 1107/02
 Project No. 1107/02
 Date: 2011

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
 APPLICATION FOR AMENDMENT OF THE SITE DEVELOPMENT PLAN &
 CONDITIONS OF APPROVAL: PORTION 2 OF FARM 222, MISTY
 MOUNTAIN, DIVISION OF CALEDON (3696) 725

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water and sewer services from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Senior Manager: Engineering Services, Overstrand Municipality;
4. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
5. that, as no municipal refuse removal services are rendered in the area, the owner is responsible for removal of all refuse generated on the property, and disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
6. that the developer complies to all the conditions set by Department Of Water Affairs & Bocma.



DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

18/12/2017
 DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

3. ERF 1, 148 KUSWEG, SANDBAAI: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND DEPARTURE, OVERSTRAND MUNICIPAL AREA: MESSRS PLAN ACTIVE ON BEHALF OF THE TRUSTEES FOR THE TIME BEING OF THE SANDBAAI TRUST

1 HSB (3875)

S van der Merwe

(028) 313 8900

Hermanus Administration

14 August 2018

Executive Summary

An application applicable to Erf 1, Sandbaai has been received on 11 December 2017 from Messrs Plan Active Town- and Regional Planners on behalf of the Trustees for the time being of The Sandbaai Trust for the following:

➤ **Removal of restrictive title deed conditions**

Application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for:

the removal of restrictive title deed conditions B.2.(a), (c) and (d) as contained in Title Deed T22749/1996 applicable to the above erf in order to be in line with the relevant development rules and primary rights as contained in the Overstrand Municipality Zoning Scheme; and

➤ **Departure**

Application in terms of Section 16(2)(b) of the above By-law in order to:

- partially relax the south-eastern lateral building line from 2m to $\pm 1,030$ m to accommodate a lounge at ground floor level, and a viewing deck and open braai directly above the lounge;
- partially relax the south-western street building line from 4m to $\pm 2,325$ m in order to accommodate the lounge at ground floor level and viewing deck directly above the lounge; and
- partially relax the south-western street building line from 4m to $\pm 0,484$ m to accommodate a pergola.

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the removal of restrictive title deed conditions B.2(a), (c), and (d) as contained in Title Deed T22749/1996 applicable to Erf 1, Sandbaai in order to be in line with the development parameters and primary rights applicable to single residential properties as set out in the Overstrand Zoning Scheme, **be approved** in

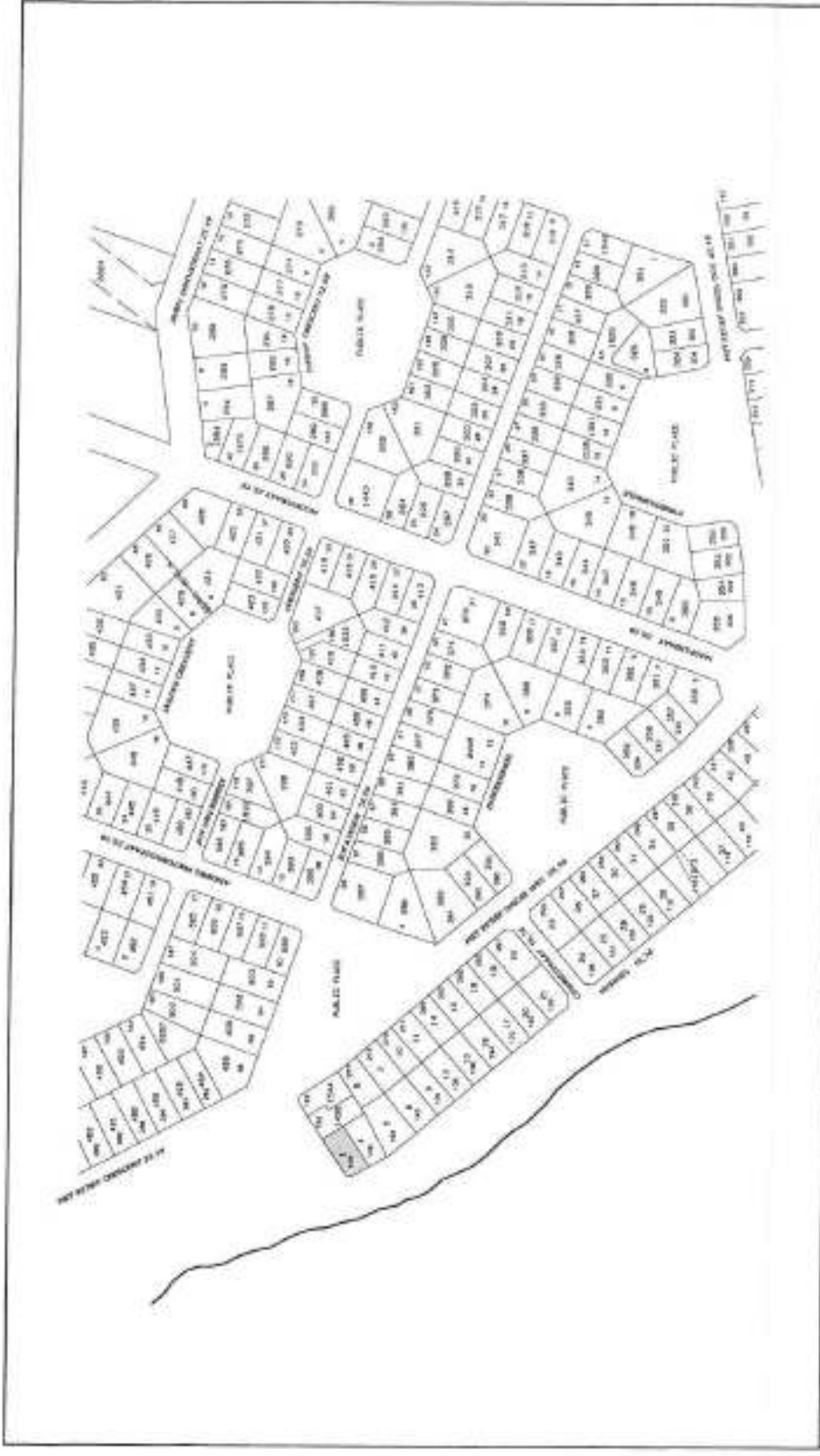
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

terms of the provisions of Section 61 of the By-Law;

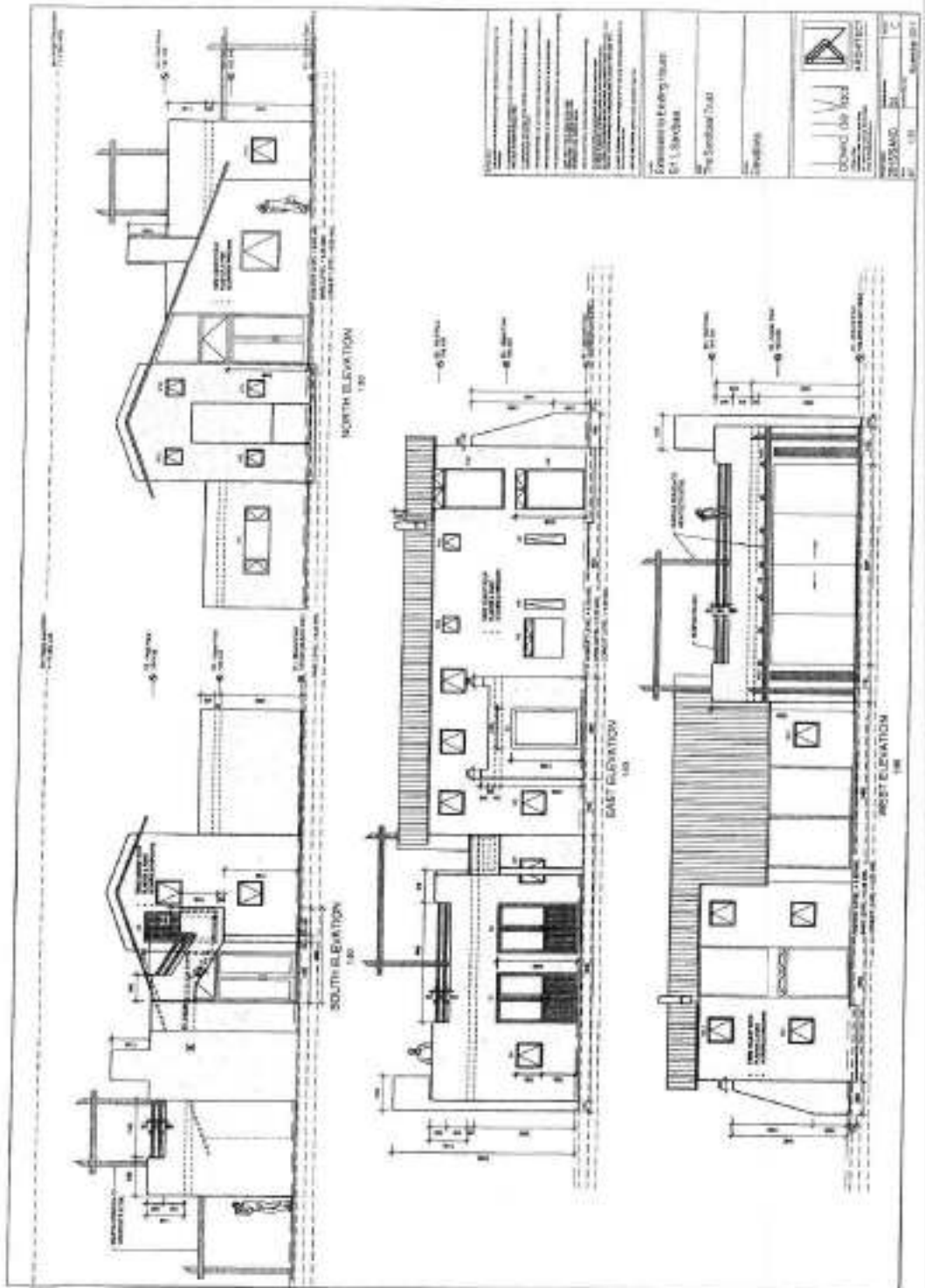
2. that the application in terms of Section (16)(2)(b) of the By-Law for departure, applicable to Erf 1, Sandbaai, in order to:
 - relax the south-eastern lateral building line from 2m to $\pm 1,030\text{m}$ to accommodate a section of the lounge at ground floor level, and a section of the viewing deck and open braai directly above the lounge;
 - relax the south-western street building line from 4m to $\pm 2,325\text{m}$ in order to accommodate the lounge at ground floor level and viewing deck directly above the lounge; and
 - to relax the south-western street building line from 4m to $\pm 0,484\text{m}$ to accommodate a section of the pergola;

be refused in terms of the provisions of Section 61 of the By-Law; and

3. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the decision in paragraph 2. above.



PLAN Active	Stads- en Streeksbeplanners Town & Regional Planners	All resources approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERF 1 SANDBAAI	Plan Description: LOCALITY MAP	Scale: NTS
				Drawing Nr: Sandb1_ghr	Date: 1/06/17

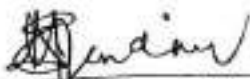


COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS & DEPARTURE: ERF 1, SANDBAAL (3875)

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 1, Sandbaal, unobstructed;
5. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

22/3/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

4. ERF 4013, DISA ROAD, BETTY'S BAY : REMOVAL OF RESTRICTIVE CONDITIONS, REZONING AND CONSENT USE : MESSRS HEADLANDS TOWN PLANNERS ON BEHALF OF JC KANNEMEYER

4013 BB (3714)

H van der Stoep

(028) 313 8900

Hermanus Administration

23 July 2018

Executive Summary

An application has been received on 20 June 2017 from Messrs Headland Town Planners on behalf of JC Kannemeyer on Erf 4013, Betty's Bay for the following:

- ❖ Removal of restrictive title conditions with reference to Clauses B.5 and B.6 of Title Deed T53677/2004 applicable to Erf 4013, Betty's Bay in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

The restrictive conditions contained in Title Deed T53677/2004 to be removed read as follows:

"B.5. - No building on this erf shall be used or converted to use for any purpose other than the permitted in terms of these conditions

B.6. This erf shall be used solely for recreational purposes or any other use as the Administrator may, from time to time after reference to the Townships Board and the Local Authority, authorise and it shall not be transferred by the Local Authority to another person without the written consent from the Administrator."

- ❖ Rezoning of Erf 4013 from Open Space Zone 3 to Open Space Zone 1 in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.
- ❖ Consent use for a dwelling unit in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015.

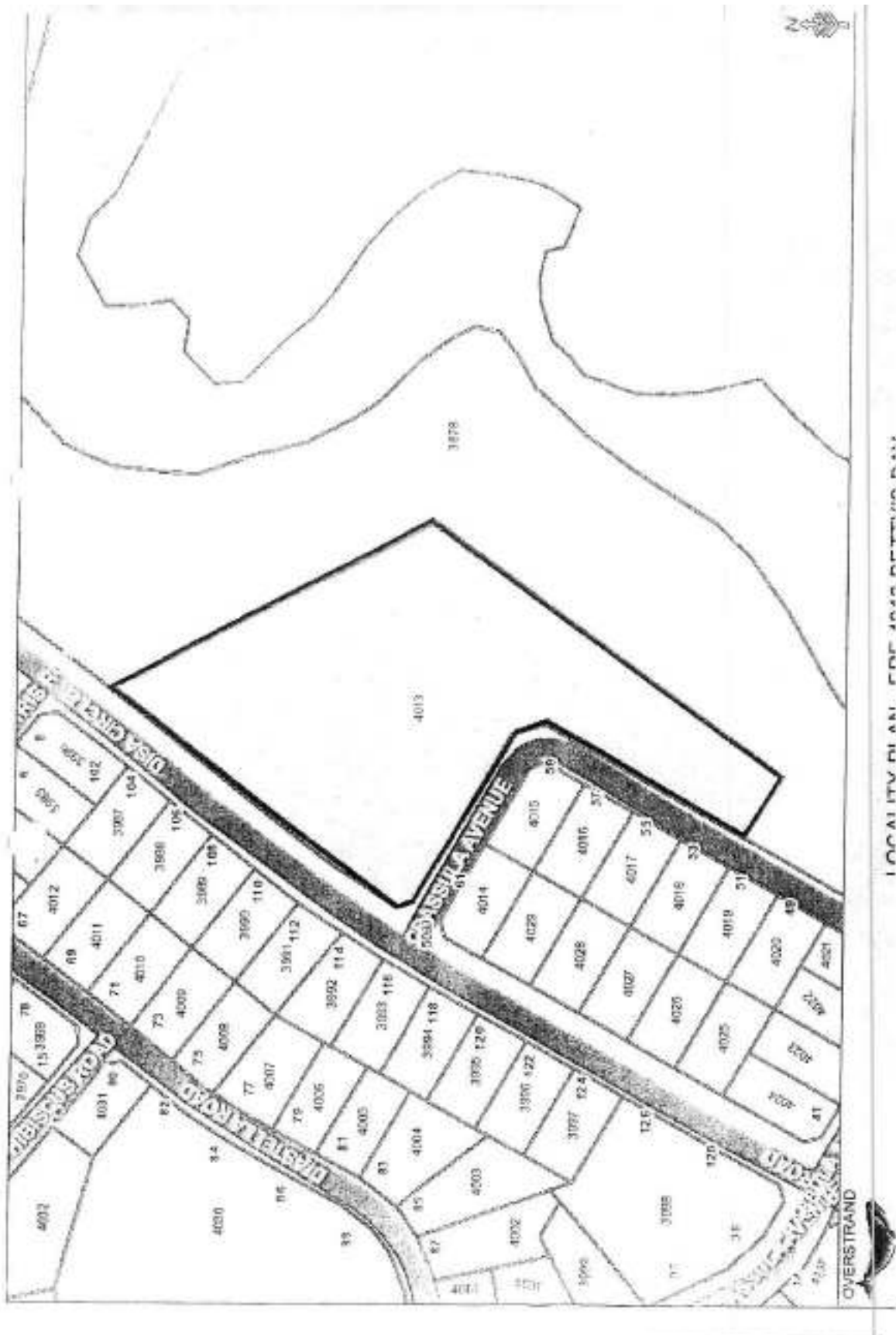
RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive title conditions with reference to Clauses B(6) of Title Deed T53677/2004 applicable to Erf 4013, Betty's Bay, rezoning in terms of Section 16(2)(a) of the aforesaid By-Law and the consent use in terms of Section 16(2)(o) of the

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

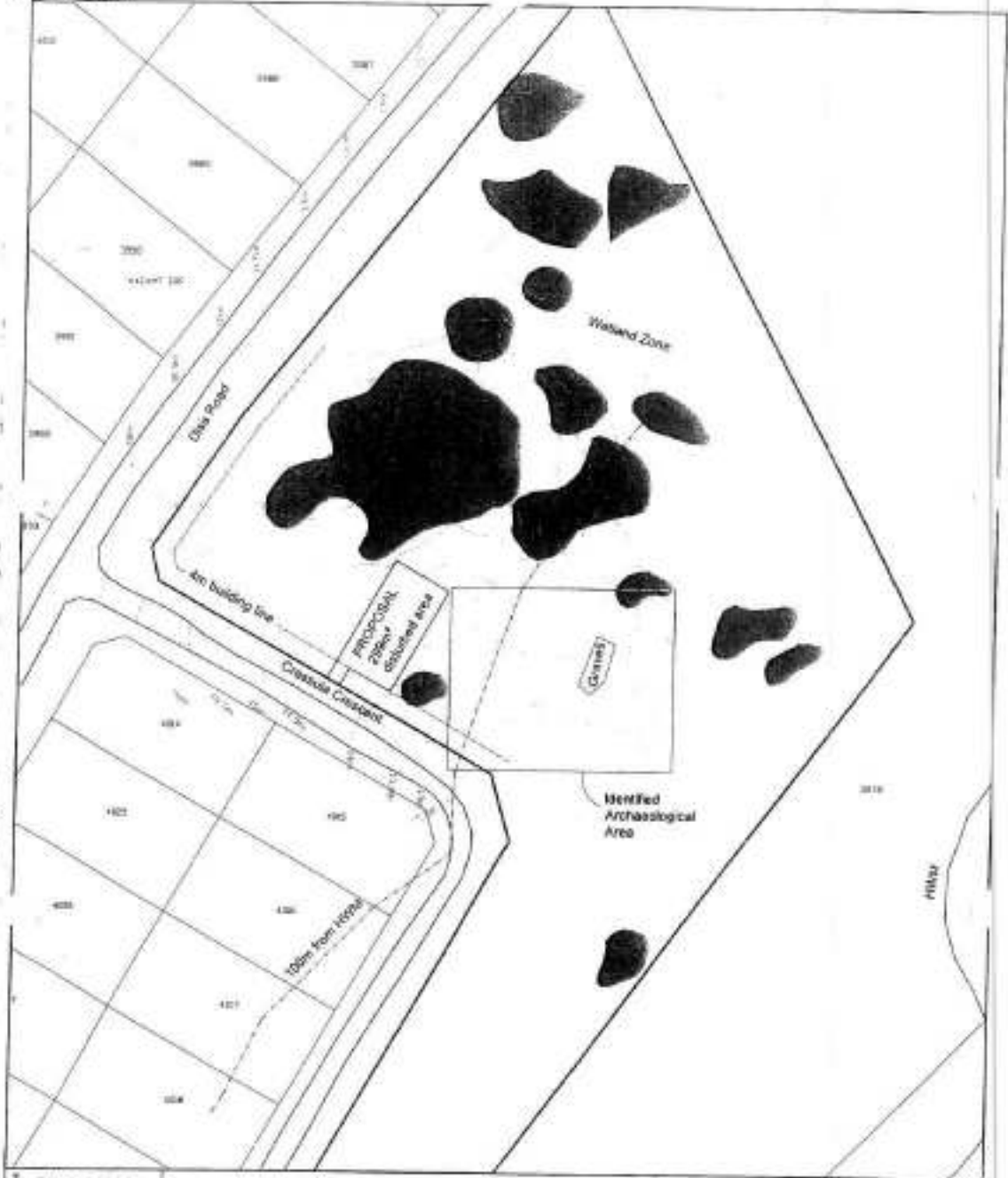
aforesaid By-Law in order to accommodate a residential dwelling **not be approved**, due to the following reason:

- (a) that the Municipality, in terms of legal standing, cannot approve the removal of the mentioned condition as per the legal opinion, Advocate Farlam dated 5 August 2007 and Messrs Fairbridges Wertheim Becker Attorneys dated 31 May 2018; and
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



LOCALITY IN ARI. FOR 2005 APPELLATION MAP

Appendix E



Erf No	BB4013/50P	Erf No	Erf 4013 Betty's Bay: Rezoning and Consent Use	Drawn by	J Kannemeyer
Erf No	BB4013	Title	Site Development Plan	Scale	1 : 1000
Date	12 June 2017	Notes	Effective maximum ground floor building platform: 250m ² , maximum house size therefore 500m ²	Logo	headland
Scale	1 : 1000	North	North	Logo	headland

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE CONDITIONS, REZONING &
CONSENT USE: ERF 4013, BETTY'S BAY (3714)

Stormwater (SW)	:	In order
Electricity	:	Escom
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 **Developments containing Sectional Title Units/ Commercial Buildings** (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

- 1.2 **Developments with free standing properties** (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2017/2018) is as follows:

Freehold erven:

Water	R 21 500.00 x 1	=	R 21 500.00
Sewerage	R 14 496.00 x 1	=	R 14 496.00
Roads	R 6 500.00 x 1	=	R 6 500.00
Stormwater	R 7 500.00 x 1	=	R 7 500.00
Solid Waste	R 1 300.00 x 1	=	R 1 300.00
TOTAL (inclusive of VAT)		=	R 51 296.00

Note:

- 1.3 **The above figures are estimates.**

2. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost.

- 3. that stormwater be allowed to discharge through Erf 4013, Betty's Bay, unobstructed;
- 4. that no on-street parking be allowed.



DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

13/11/2017
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

5. **ERVEN 1154, 1157 AND 1300, DE KELDERS, OVERSTRAND MUNICIPAL AREA: PROPOSED SUBDIVISION, CONSOLIDATION, AMENDMENT OF THE APPROVED SITE DEVELOPMENT PLAN AND CONDITIONS OF APPROVAL, CONSENT USE AND REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS: MESSRS PLAN ACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF PC SIPPEL, MA CROLE AND THE GALLO ROJO TRUST**

1154, 1157 & 1300 GDK (3904)

P Roux

(028) 313 8900

Hermanus Administration

22 October 2018

Executive Summary

To consider an application received on 29 January 2018 (complete application dated 8 May 2018), from Messrs Plan Active Town- and Regional Planners on behalf of the owners, PC Sippel, MA Crole and the Gallo Rojo Trust on Erven 1154, 1157 and 1300, De Kelders for the following:

- subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the subdivision of Erf 1300, De Kelders into two (2) portions, namely Portion A (±496m²) and Portion B (±495m²);
- consolidation in terms of Section 16(2)(e) of the above By-Law of the newly created portions A & B with Erven 1154 and 1157, De Kelders, respectively;
- amendment in terms of Section 16(2)(l) and (h) of the above By-Law of the approved Site Development Plan and conditions of approval of the newly consolidated Erf 1154, De Kelders;
- consent use in terms of Section 16(2)(o) of the above By-Law for the operation of a guest house on the newly consolidated Erf 1157, De Kelders, and
- removal of restrictive title deed conditions in terms of Section 16(2)(f) of the above By-Law of the following:
 - Erf 1154, De Kelders, Title Deed No. T43063/2015, pages 2-3, paragraph D.8;
 - Erf 1300, De Kelders, Title Deed No. T96099/2002, pages 3-4, paragraph C.8, and
 - Erf 1157, De Kelders, Title Deed No. T15611/2017, pages 2-3, paragraph D.8. and D.10.

RESOLVED :

1. that, the objections **be noted**;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

2. that the application received from Messrs Plan Active Town- and Regional Planning on behalf of the owners, PC Sippel, MA Crole and the Gallo Rojo Trust on Erven 1154, 1157 and 1300, De Kelders for the following:
- subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of Erf 1300, De Kelders into two portions, namely Portion A (±496m²) and Portion B (±495m²);
 - consolidation in terms of Section 16(2)(e) of the above By-Law of the newly created portions A & B with Erven 1154 and 1157, De Kelders, respectively;
 - amendment in terms of Section 16(2)(l) and (h) of the above By-Law of the approved Site Development Plan and conditions of approval of the newly consolidated Erf 1154, De Kelders;
 - consent use in terms of Section 16(2)(o) of the above By-Law for the operation of a guest house on the newly consolidated Erf 1157, De Kelders, and
 - removal of restrictive title deed conditions in terms of Section 16(2)(f) of the above By-Law of the following:
 - Erf 1154, De Kelders, Title Deed No. T43063/2015, pages 2-3, paragraph D. 8;
 - Erf 1300, De Kelders, Title Deed No. T96099/2002, pages 3-4, paragraph C.8, and
 - Erf 1157, De Kelders, Title Deed No. T15611/2017, pages 2-3, paragraph D.8 and D.10.

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

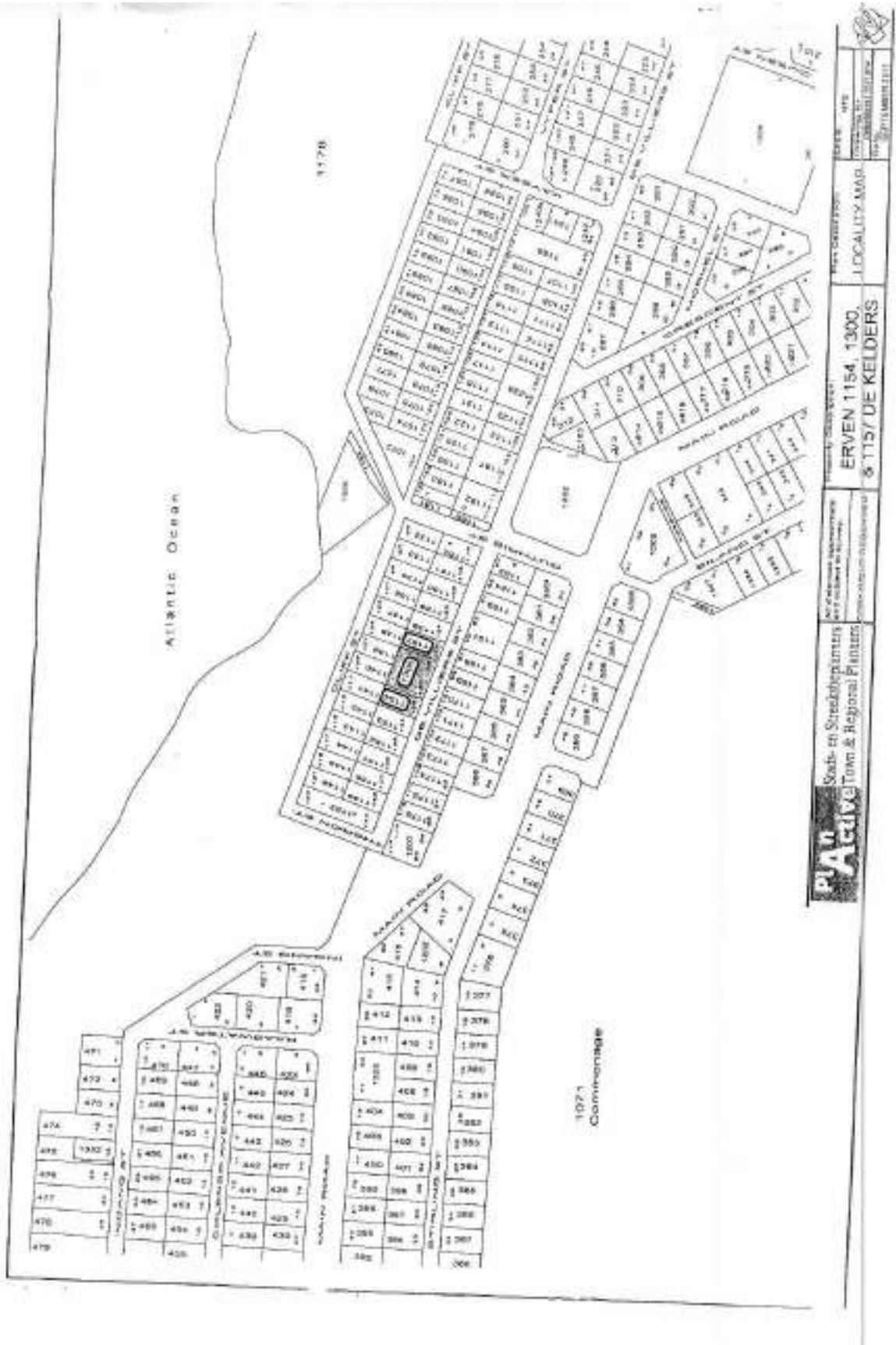
- (a) that the facilities be utilized as dwellings and guest houses only - no self-catering;
- (b) that this approval only relates to the proposed Site Development Plans Plan No's *103.TP.1154.02.01b*, *103.TP.1154.02.02b*, *103.TP.1154.02.03b*, *103.TP.1154.02.04b* and *103.TP.1157.02.01b*, *103.TP.1157.02.02b*, *103.TP.1157.02.03b* and *103.TP.1157.02.04b* as submitted with the application;
- (c) that the approval for the subdivision and consolidation is only for the proposed Subdivision and Consolidation Plan no. *dekelders1157c.drw*;
- (d) that building plans be submitted to the Building Department for approval and that all conditions of the Building – and the Fire Department be complied with at that stage;

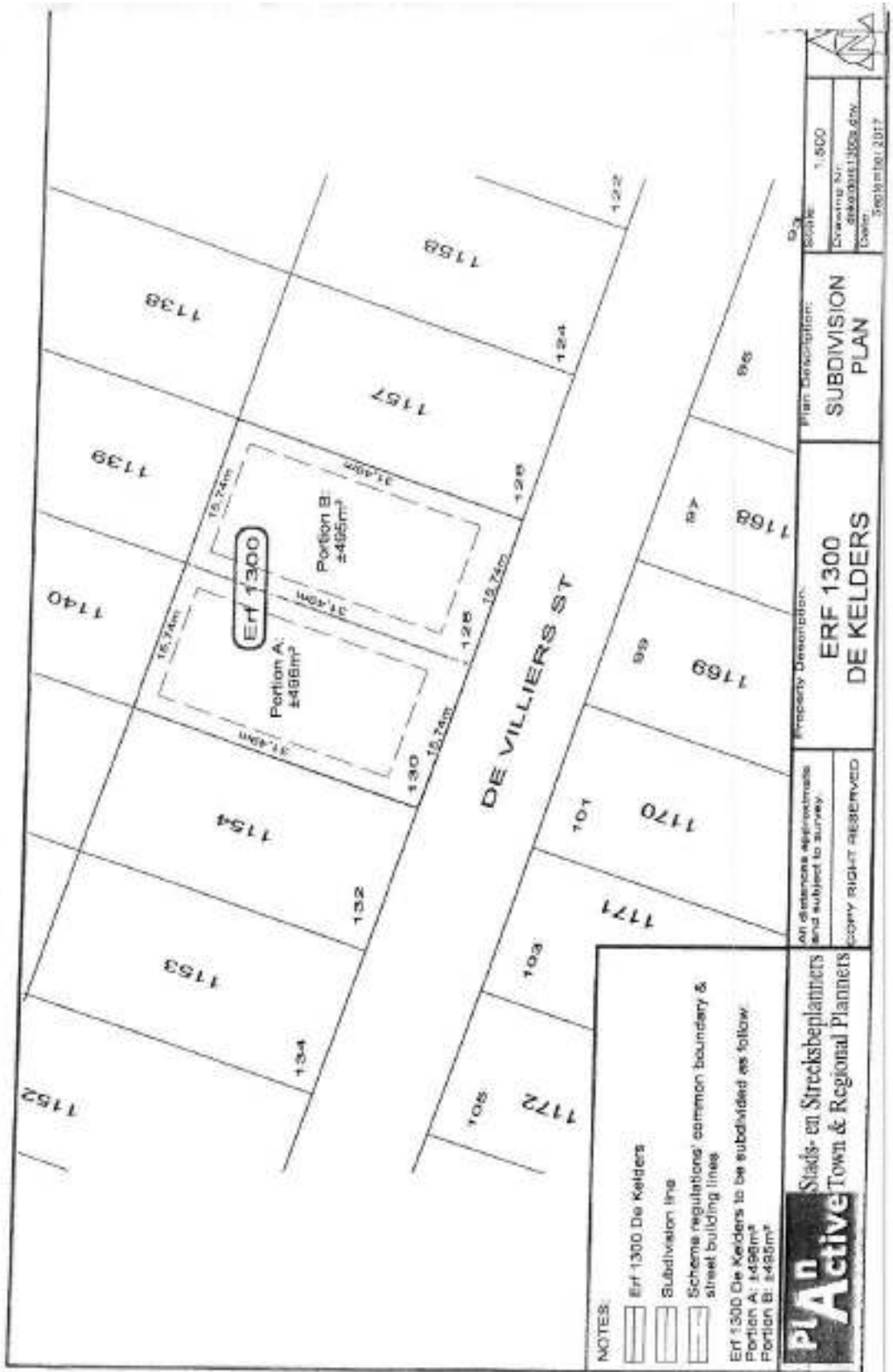
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (e) that condition 3.(b) as stipulated in the approval conditions applicable to Erf 1154 dated 7 October 2016, be amended as follows:
*“that a maximum of **four** (4) bedrooms to be let, be permitted on Erf 1154;”*
- (f) that a maximum of **four** (4) bedrooms to be let, be permitted on Erf 1157;
- (g) that the owner/manager resides on the premises and be responsible for the proper management of the guest house;
- (h) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on each property;
- (i) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (j) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;
- (k) that a maximum of one (1) permanently demarcated parking bay per guestroom and two (2) for the owner/manager be provided within the erf boundaries;
- (l) that the applicable tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (m) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
- (n) that a R918 Certificate of Acceptability must be applied for at the Overberg District Municipality;
- (o) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
- (p) that all the conditions in the Services Report be complied with;
- (q) that all conditions imposed by the Fire Department and Telkom be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
19 February 2019
(Also the agenda for the Mayoral Committee Meeting : 27 February 2019)**

- (r) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation; and
 - (s) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





NOTES:

- Erf 1300 De Kelders
 - Subdivision line
 - Scheme regulations' common boundary & street building lines
- Erf 1300 De Kelders to be subdivided as follow:
 Portion A: 4485m²
 Portion B: 4485m²

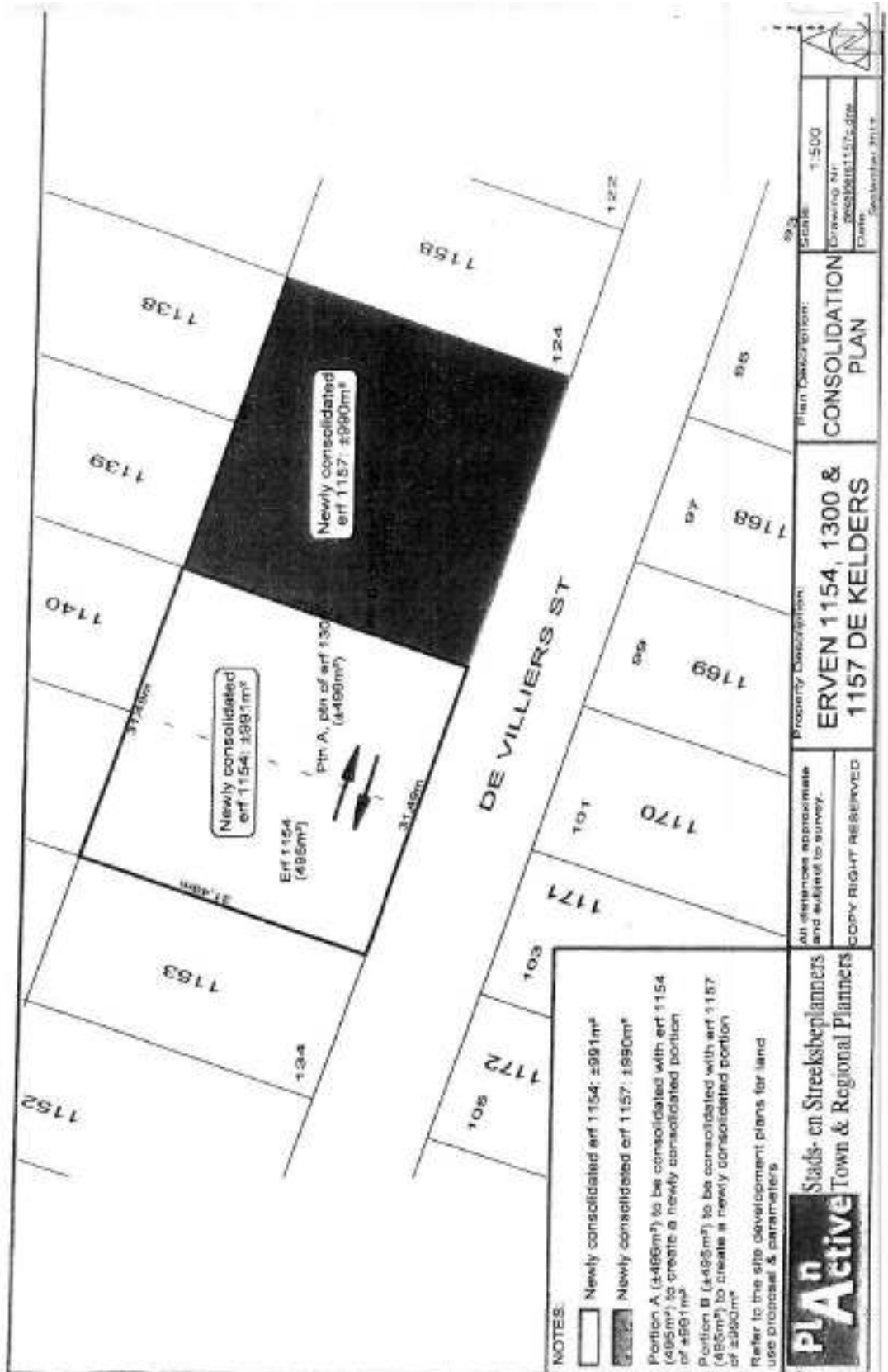
PLAN
 Active
 Stads- en Strecksbeplanners
 Town & Regional Planners

All dimensions approximate
 and subject to survey
 COPY RIGHT RESERVED

Property Description:
**ERF 1300
 DE KELDEERS**

Plan Description:
**SUBDIVISION
 PLAN**

Scale: 1:600
 Drawing No.: SKK0041/1002.dwg
 Date: September 2017



NOTES:

- Newly consolidated erf 1154: 4891m²
 - Newly consolidated erf 1157: 4890m²
 - Portion A (489m²) to be consolidated with erf 1154 (489m²) to create a newly consolidated portion of 4891 m²
 - Portion B (489m²) to be consolidated with erf 1157 (489m²) to create a newly consolidated portion of 4890m²
- Refer to the site development plans for land use proposal & parameters

PIA^{no} Active Stads- en Streeksbeplanners
Town & Regional Planners

All distances approximate and subject to survey.
COPY RIGHT RESERVED

Property Description:
ERVEN 1154, 1300 & 1157 DE KELDERS

Plan Description:
CONSOLIDATION PLAN

Scale: 1:500
Drawing Nr: 000200101157-020
Date: September 2014



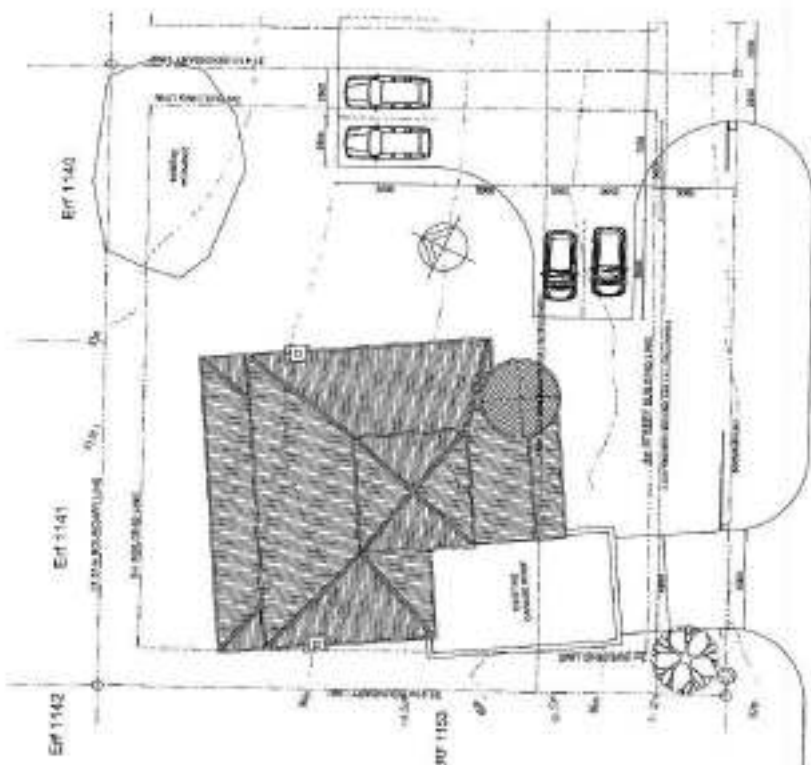
PROFESSIONAL SEAL
 I, **MAURICE WALTERS**, a duly qualified Professional Engineer in the State of Massachusetts, do hereby certify that I am the author of the above described plans and specifications, and that I am a duly Licensed Professional Engineer in the State of Massachusetts.
 MAURICE WALTERS, P.E.
 100 STATE STREET, SUITE 200, BOSTON, MASSACHUSETTS 02109
 TEL: 617-552-1100 FAX: 617-552-1101

DATE OF PREPARATION: 11/11/10
SCALE: AS SHOWN
PROJECT NO.: 100-20110400-000

ALL WORKING TO COMPLY WITH MASS. REGULATIONS

ALTERATIONS & ADDITIONS FOR PROPOSED ASSET HOUSE FOR
P. ZITTEL + M.A. CRELLI
 100 STATE STREET, SUITE 200, BOSTON, MASSACHUSETTS 02109
 TEL: 617-552-1100 FAX: 617-552-1101

DATE OF PREPARATION: 11/11/10
SCALE: AS SHOWN
PROJECT NO.: 100-20110400-000



DE VILLIERS STREET 12, 38M
 SITE DEVELOPMENT PLAN Erf 1154

INGRESS STOREY:

EXIST FLOORING	160,000sq
NEW FLOORING	207,700sq
TOTAL AREA	367,700sq

UPPER STOREY:

NEW AREA	207,700sq
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LOWER STOREY:

EXIST AREA	36,000sq
NEW AREA	36,000sq
TOTAL AREA	72,000sq

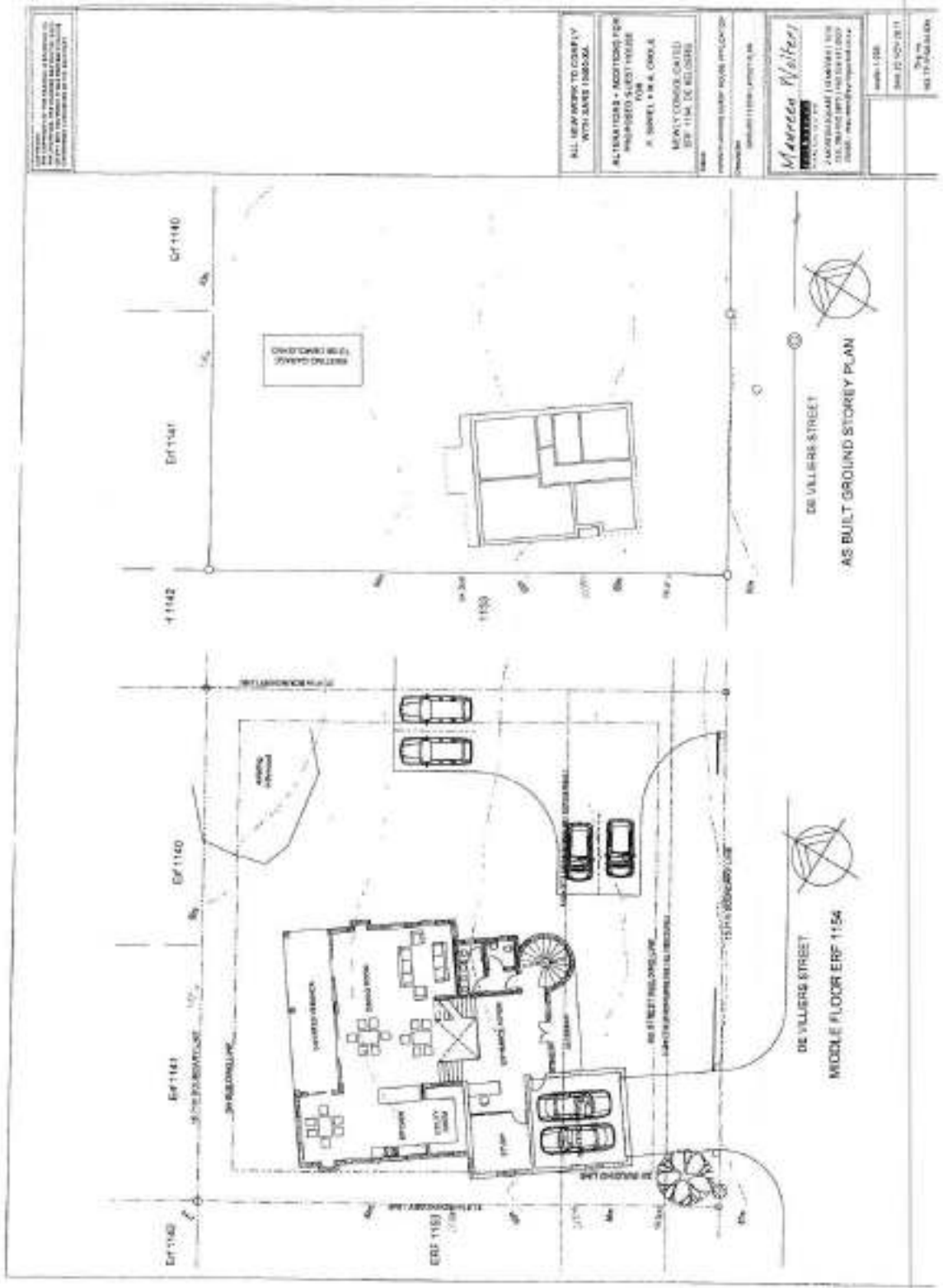
TOTAL FLOOR AREA
 440,000sq

COVERED AREA
 347,200sq

AREA OF SITE 560,700sq
AREA OF FOOTPRINT 440,000sq
PERCENTAGE OF COVERAGE 78%

SUBST HOUSE PARKING REQUIREMENTS
 2.4 PARKING SPACES/LOT/UNIT
 1.5 PARKING SPACES/LOT/UNIT
 (1.88 SPACES/LOT)

MIN. PARKING SPACES REQUIRED



ALL NEW WORK TO COMPLY WITH JUNE 2000 CODE.

ALTERATIONS - ADDITIONS FOR IMPROVED SIGHT TRIANGLE FOR

A. SIGNAL & R.A. CROSS

MOBILE CONCRETE CASTED BY 11/24/04 DE BELGIUM

DATE: 11/24/04

PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

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PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

PROJECT: 11/24/04 - 11/24/04

NOTES:
1. ALL NEW WORK TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
2. ALL EXISTING WORK TO REMAIN UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.

ALL NEW WORK TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

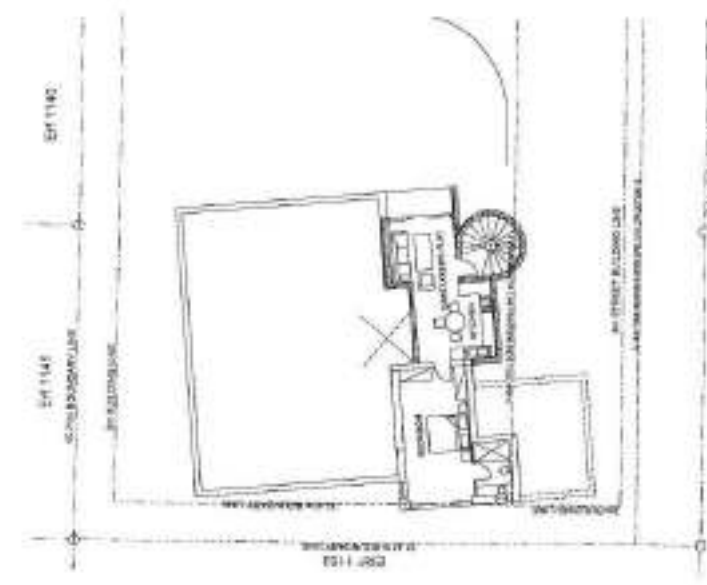
ALTERATIONS - ADDITIONS TO PROPOSED GREAT HOUSE FOR

M. APPEL - M.A. CHOLE
NEWLY ACQUISITION
100 - 100 - 100 - 100 - 100 - 100

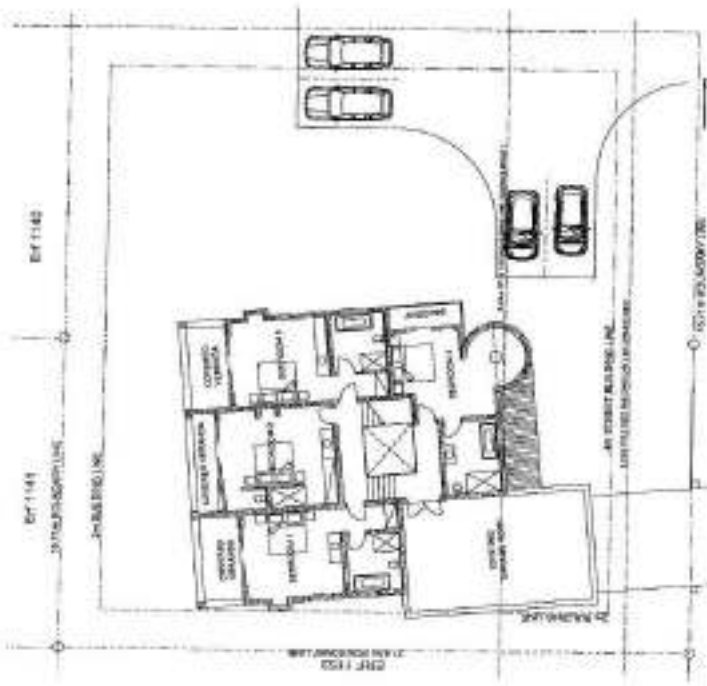
FORM & ARCHITECTURE
100 - 100 - 100 - 100 - 100 - 100

UPPER FLOOR ERF 1154

1000 - 1000
1000 - 1000 - 1000 - 1000
1000 - 1000 - 1000 - 1000
1000 - 1000 - 1000 - 1000



LOWER FLOOR ERF 1154



UPPER FLOOR ERF 1154

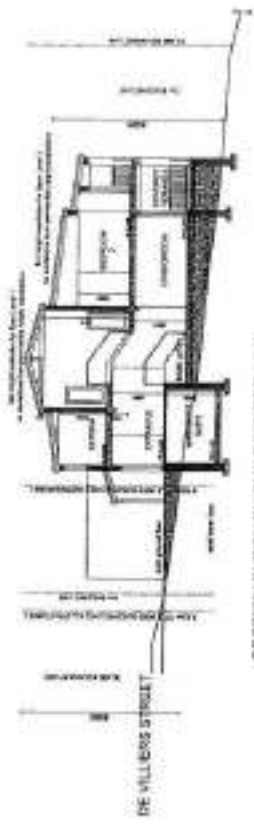
THESE DRAWINGS ARE THE PROPERTY OF MERRILL WILFEE ARCHITECTS AND ENGINEERS. ANY REPRODUCTION OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF MERRILL WILFEE ARCHITECTS AND ENGINEERS IS STRICTLY PROHIBITED.

ALL NEW WORK TO COMPLY WITH GAUG-1403-04
ALTERNATIONS - ADDITIONS FOR PROPOSED WASTE WATER FOR
P. LOPPEL + U.S. CEDER
NEWLY CONSIDERATED
ENF 1154 (2) (REVISED)

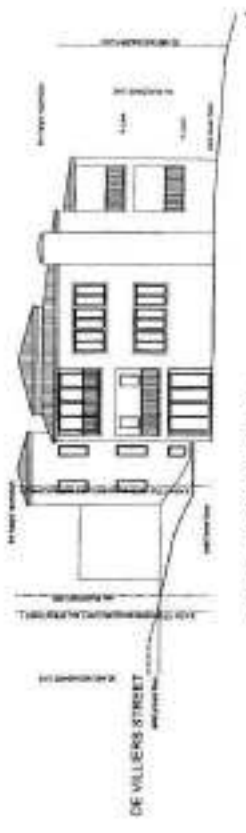
DATE: 1/15/08
PROJECT: 1154 (2) (REVISED)

Merrill Wilfee
ARCHITECTS AND ENGINEERS
1400 W. 10TH AVE. SUITE 100
DENVER, CO 80202
TEL: 303.733.1100 FAX: 303.733.1101
WWW.MERRILLWILFEE.COM

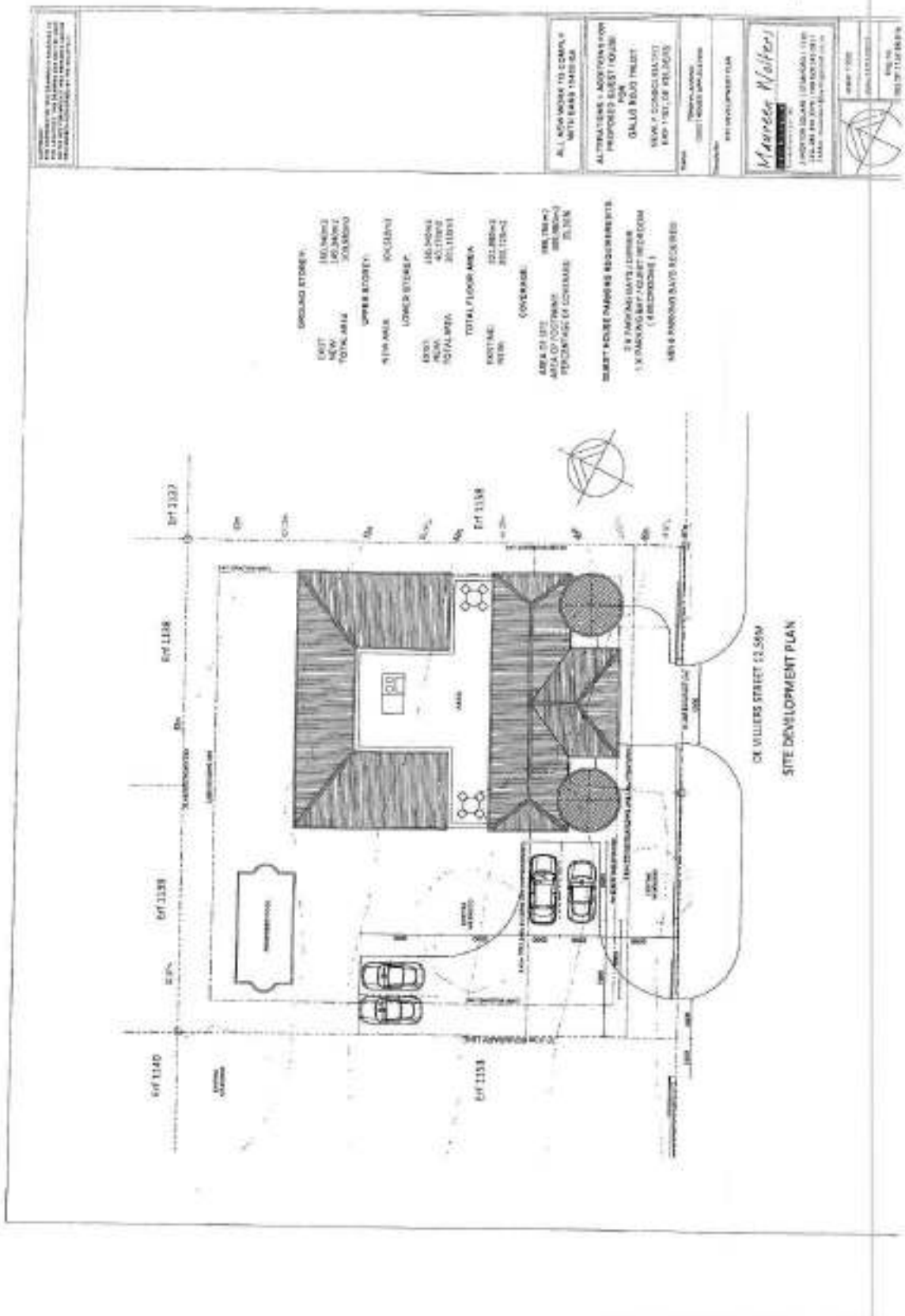
DATE: 1/15/08
NO. 2010-0011
P. 10
10/17/2008



SECTION THROUGH BUILDING ENF 1154



EAST ELEVATION ENF 1154



SINGLE STORY:	
EXIST. INCLUDE	EXIST. INCLUDE
NEW	NEW
TOTAL AREA	TOTAL AREA
UPPER STORY:	
EXIST. INCLUDE	EXIST. INCLUDE
NEW	NEW
TOTAL AREA	TOTAL AREA
TOTAL FLOOR AREA	
EXISTING	EXISTING
NEW	NEW
COVERAGE	
AREA OF SITE	AREA OF SITE
AREA OF FOOTPRINT	AREA OF FOOTPRINT
PERCENTAGE OF COVERAGE	PERCENTAGE OF COVERAGE
SMART HOME REQUIREMENTS	
2 X PARKING SPACES	2 X PARKING SPACES
1 X PARKING SP. / GARAGE	1 X PARKING SP. / GARAGE
(BICYCLES)	(BICYCLES)
MIN. 8 PARKING SP. REQUIRED	MIN. 8 PARKING SP. REQUIRED

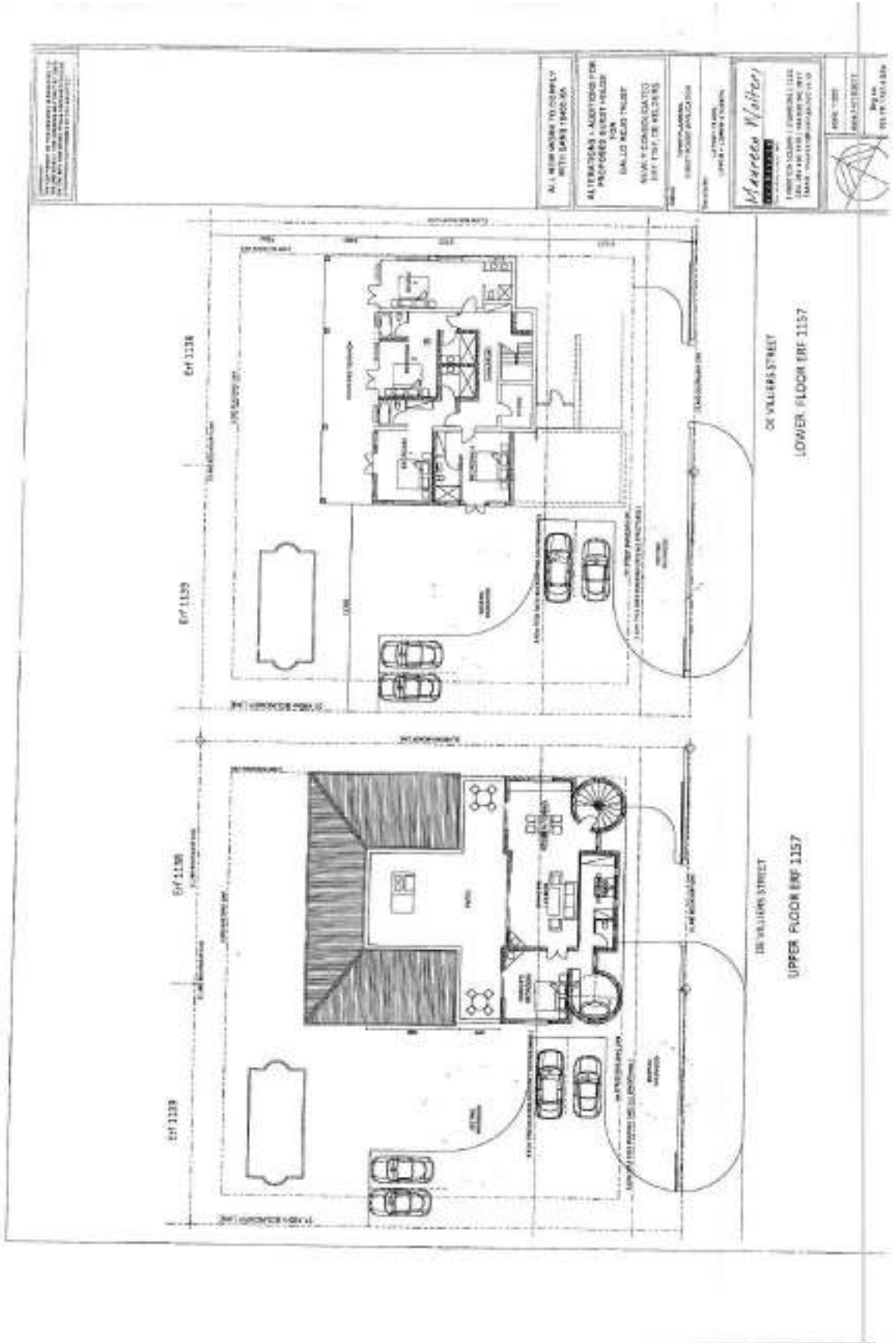
NOTES:
 1. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 ALTERNATES: ADDITIONS FOR PROPOSED STREET FRONT.
 DALLAS ROAD TRUST
 NEWLY CONSTRUCTED
 END OF 1ST OF JULY 2015

Name: [Redacted]
 Title: [Redacted]
 Date: [Redacted]

Maureen Walter
 ARCHITECT
 11000 JACOBSON BLVD. (11000) 11000
 11000 JACOBSON BLVD. (11000) 11000
 11000 JACOBSON BLVD. (11000) 11000

OK VILLIERS STREET 12504
 SITE DEVELOPMENT PLAN



PROYECTO DE RECONSTRUCCION Y AMPLIACION DEL LOCAL EN LA CALLE DE VILLIERS N° 1157, PARA SU USO COMO LOCAL DE COMERCIO Y SERVICIOS.

ALL MEMBERS TO COMPLY WITH LAWS 1902-04

ALTERATIONS - ADDITIONS FOR PURPOSES - NOT HELD UNLESS RECORDED

NOT A CONSULTANT FOR THE PURPOSES OF THE ACT OF 1917 OF 1912

Massimo Walter
 ARCHITECT
 1157 DE VILLIERS STREET
 JOHANNESBURG

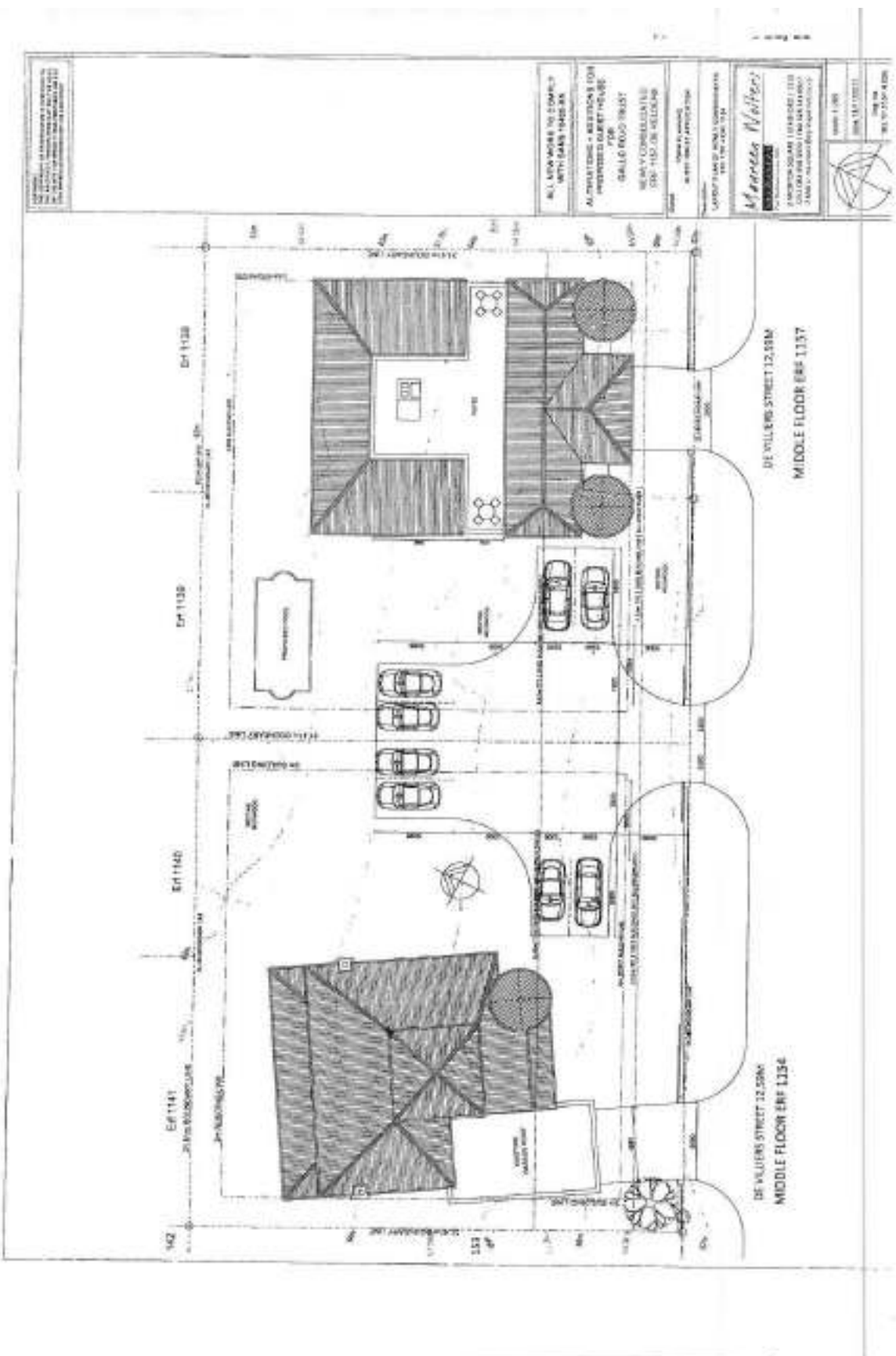
NO. 1157
 DE VILLIERS STREET
 JOHANNESBURG

ENF 1159

ENF 1159

DE VILLIERS STREET
 LOWER FLOOR (ENF 1157)

DE VILLIERS STREET
 UPPER FLOOR (ENF 1157)



THIS DRAWING IS AN INSTRUMENT OF SERVICE
 FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED
 ON THE TITLE BLOCK AND IS NOT TO BE REPRODUCED
 OR COPIED IN ANY MANNER WITHOUT THE WRITTEN
 CONSENT OF THE ARCHITECT.

ALL WORK MUST COMPLY
 WITH SARS 14665 EN
 ALL UTILITIES & SERVICES FOR
 PROPOSED MARKET HOUSE
 FOR
 GRALD ROOZ TRUST
 MUST BE COMPLETED
 500-100 OR BEFORE
 COMMENCEMENT OF
 CONSTRUCTION

PROJECT NAME: MARKET HOUSE
 100 DE VILLIERS STREET
 SANDTON, JOHANNESBURG

Marcello Wolfer
ARCHITECT
 100 DE VILLIERS STREET, SANDTON, JOHANNESBURG
 2146
 T: +27 (0)11 791 1111
 F: +27 (0)11 791 1112
 WWW.MARCELLOWOLFER.CO.ZA



EF 1138

EF 1139

EF 1140

EF 1141

DE VILLIERS STREET 12,55M
 MIDDLE FLOOR ERF 1137

DE VILLIERS STREET 12,55M
 MIDDLE FLOOR ERF 1134

COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION, CONSOLIDATION AMENDMENT OF SDP,
CONSENT USE & REMOVAL: ERVEN 1154, 1157 & 1300, DE KELDERS (3904)

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that the existing water connection to- and sewer conservancy tank on Erf 1154 shall be used to service the proposed consolidated Erf consisting of Portion A of Erf 1300 and Erf 1154;
2. that the existing water connection to- and sewer conservancy tank on Erf 1157 shall be used to service the proposed consolidated Erf consisting of Portion B of Erf 1300 and Erf 1157;
3. that the sewer conservancy tank must be accessible to the municipal sewer tankers from one of the adjacent public roads, with a sewer tank suction point on the erf boundary along De Villiers Street;
4. that any commercial food preparation facilities (e.g. restaurant/guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 140400 – P: 2010: Drainage;
6. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operations;
7. that any additional and / or extended vehicle entrances will be for the developer's account;
8. that stormwater be allowed to discharge through the proposed erven, De Kelders, unobstructed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

21/05/2018
DATE