

**PORTFOLIO COMMITTEE :
INFRASTRUCTURE & PLANNING**

Chairperson :

Cllr K Brice

Committee Members :

**Cllrs D Botha, F Krige,
S Tebele & V Pungupungu**

**PORTEFEULJEKOMITEE :
INFRASTRUKTUUR & BEPLANNING**

Voorsitter :

Rdl K Botha

Komiteelede :

**Rdle D Botha, F Krige,
S Tebele & V Pungupungu**

INFRASTRUCTURE & PLANNING PORTFOLIO COMMITTEE
INFRASTRUKTUUR & BEPLANNING PORTEFEULJEKOMITEE

16 April 2019

I N D E X

<u>ITEM</u>		<u>PAGE NUMBER</u>
	APPLICATIONS FOR LEAVE OF ABSENCE	
1.	TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS CONSIDERED IN TERMS OF DELEGATED AUTHORITY: FEBRUARY 2019 – MARCH 2019	1
2.	GANSBAAI: TWO PORTIONS OF ERF 2020 GANSBAAI, SITUATED IN MASAKHANE: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO HERMANUS RAINBOW TRUST	193
3.	HERMANUS: UNREGISTERED ERF 12273 (A PORTION OF ERF 243) HERMANUS SITUATED IN MOUNT PLEASANT: RENEWAL OF LEASE OF MUNICIPAL PROPERTY TO THE RATHFELDER FAMILY CHARITABLE TRUST	201
4.	HERMANUS: ERF 88 ZWELIHLE: LEASE OF MUNICIPAL PROPERTY TO SIYAZAMA SERVICE CENTRE	209
5.	REQUEST FOR REDUCED BUILDING PLAN FEES - BUILDINGS DESTROYED OR BADLY DAMAGED DURING DISASTERS	216

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: FEBRUARY 2019 –
MARCH 2019**

15/3/11

R van Antwerp
20 March 2019

(028) 313 8039

Hermanus Administration

1. Executive Summary

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 12 February 2019 – 20 March 2019.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

RECOMMENDATION:

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 12 February 2019 – 20 March 2019:

Spatial Land Use Management Act (SPLUMA) Approvals

1.	Erf 1944, 33 Eighth Street, Voëlklip, Hermanus	18 February 2019
2.	Erf 71, 8 Swart Street, Van Dyksbaai	18 February 2019
3.	Erf 5907, 47 Fernkloof Drive, Hermanus Heights, Hermanus	18 February 2019
4.	Erf 9935, Hermanus Golf Club, Eastcliff, Hermanus	18 February 2019
5.	Erf 1201, Van Dyksbaai	21 February 2019
6.	Erf 2027, 7 Third Avenue, Voëlklip, Hermanus	27 February 2019
7.	Portions 171 and 172 (portions of Portion 80) of the farm Benguela Cove No. 575	28 February 2019
8.	Portions 132 and 244 (portions of Portion 80) of the farm Benguela Cove No. 575	28 February 2019
9.	Portion 57 of the farm Baardskeerdersbos No. 213	4 March 2019
10.	Erf 2045, Sannie Badenhorst Street, Stanford	13 March 2019
11.	Erf 4796, 75 Dahlia Street, Mount Pleasant	13 March 2019
12.	Erf 4867, 15A Yellow Wood Road, Chanteclair, Onrustrivier	13 March 2019
13.	Erf 1534, 27 Mossel River Drive, Kwaiwater, Hermanus	19 March 2019
14.	Erf 2001, 41 Tenth Street, Voëlklip, Hermanus	19 March 2019
15.	Erf 3518, 72 Viljoen Street, Onrustrivier	19 March 2019
16.	Erf 4049, 280 Third Avenue, Voëlklip, Hermanus	19 March 2019
17.	Remainder Erf 2506, c/o Eleventh Street and Seventh Avenue, Voëlklip, Hermanus	19 March 2019
18.	Erven 5423 – 5433, Sea Glades, Onrustrivier	19 March 2019
19.	Portion 229 of the farm Benguela Cove No. 575	19 March 2019
20.	Erf 3273, 45 Albertyn Drive, Betty's Bay	19 March 2019
21.	Erf 5178, 44 Doringboom Avenue, Kleinmond	19 March 2019

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

Municipal Planning Tribunal

1. Erf 1447, Lynx Road, Vermont 1 March 2019
2. Erf 1746, Main Road, Sandbaai 1 March 2019
3. Erf 1544 (a portion of Erf 1438), 152 Kusweg, Sandbaai 1 March 2019

RESPONSIBLE OFFICIAL : R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION : 8 MAY 2019

TARGET DATE TO INFORM APPLICANT : N/A

TARGET DATE TO INFORM OBJECTOR : N/A

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**1.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: FEBRUARY 2019 –
MARCH 2019**

15/3/11

**R van Antwerp
20 March 2019**

(028) 313 8039

Hermanus Administration

**THIS MATTER SERVED BEFORE THE JOINT PORTFOLIO COMMITTEE ON
16 APRIL 2019, WHICH COMMITTEE SUPPORTED THE RECOMMENDATION**

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

8 MAY 2019

TARGET DATE TO INFORM APPLICANT :

N/A

TARGET DATE TO INFORM OBJECTOR :

N/A

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

Spatial Land Use Management Act (SPLUMA) Approvals

1. ERF 1944, 33 EIGHTH STREET, HERMANUS (VOËLKLIP), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS ENGELBRECHT & SCORGIE ON BEHALF OF A PIENAAR

1944 HVK (4101)

H Boshoff

(028) 313 8900

Hermanus Administration

28 January 2019

Executive Summary

An application applicable to Erf 1944, Hermanus for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 9 October 2018 from Messrs Engelbrecht & Scorgie on behalf of A Pienaar for the following:

- to relax the eastern lateral building line from 2m to 1,2m to accommodate a section of a new wall for the dwelling, to raise the eastern load bearing wall of the dwelling with 430mm to accommodate a new pitched roof for the dwelling and to cover the existing stoep and construct a screen wall for privacy at the eastern side of the stoep; and
- to relax the rear building line, as well as the western lateral building line from 2m to 0m to accommodate a new garage with a combined store and toilet facility.

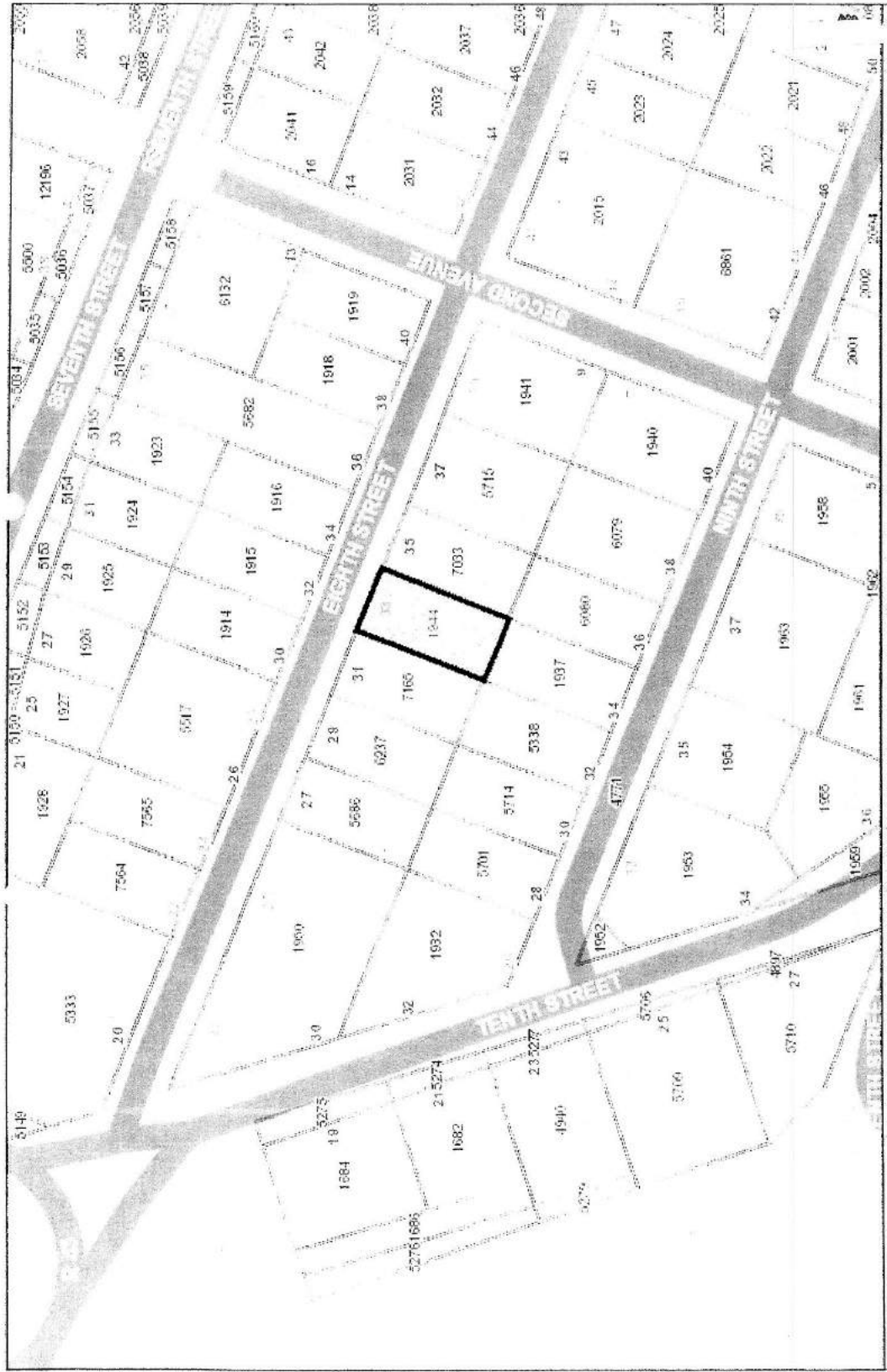
RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Erf 1944, Hermanus in order to:
 - relax the eastern lateral building line from 2m to 1,2m to accommodate a section of a new wall at the front side of the dwelling, to raise the eastern load bearing wall of the dwelling with ± 430 mm to accommodate a new pitched roof for the dwelling and to cover the existing stoep and construct a screen wall for privacy at the eastern side of the stoep; and
 - to relax the rear building line, as well as the western lateral building line from 2m to 0m to accommodate a new garage with a combined store and toilet facility;

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

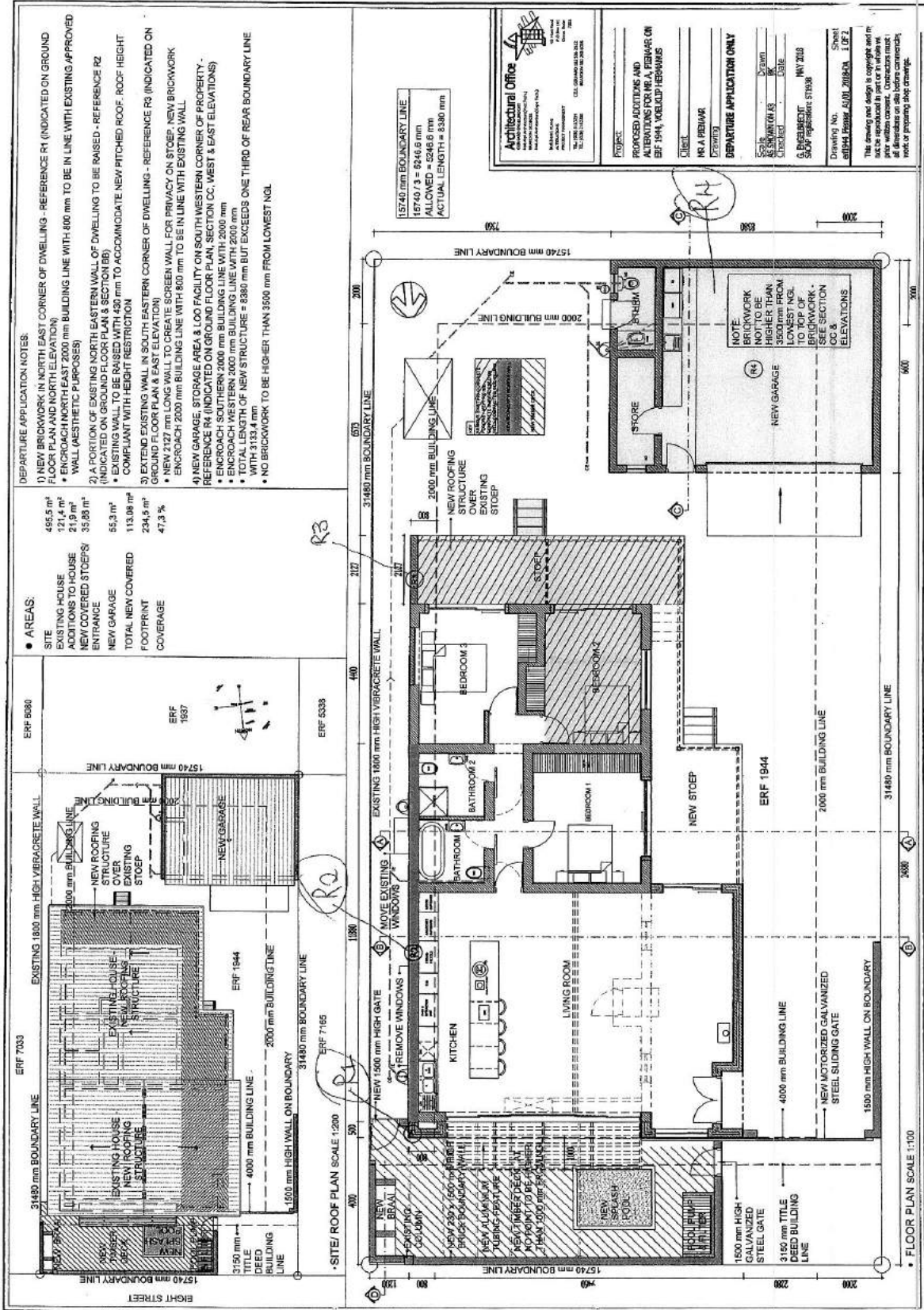
- (a) that the approval is only for the dimensions as per plan numbers erf1944_Pienaar_A1/01_2018-DA 1 and 2 dated May 2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department and that all conditions of the Building Department and Fire Services be complied with at that stage;
 - (c) that the applicable conditions of Engineering Services, be complied with;
 - (d) that all other development parameters as set out in the Zoning Scheme be complied with, and
 - (e) that the above approvals do not exempt the landowner from compliance with any other applicable legislation
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decisions.



Erf 1944 Voëklip

Date: 2018-11-13





DEPARTURE APPLICATION NOTES:

- 1) NEW BRICKWORK IN NORTH EAST CORNER OF DWELLING - REFERENCE R1 (INDICATED ON GROUND FLOOR PLAN AND NORTH ELEVATION)
 - ENCROACH NORTH EAST 2000 mm BUILDING LINE WITH 600 mm TO BE IN LINE WITH EXISTING APPROVED WALL (AESTHETIC PURPOSES)
- 2) A PORTION OF EXISTING NORTH EASTERN WALL OF DWELLING TO BE RAISED - REFERENCE R2 (INDICATED ON SOUTH WESTERN CORNER OF PROPERTY)
 - EXISTING WALL TO BE RAISED WITH 1500 mm TO ACCOMMODATE NEW PITCHED ROOF. ROOF HEIGHT COMPLIANT WITH HEIGHT RESTRICTION
- 3) EXTEND EXISTING WALL IN SOUTH EASTERN CORNER OF DWELLINGS - REFERENCE R3 (INDICATED ON NORTH WESTERN CORNER OF PROPERTY)
 - NEW 2127 LONG BOND BRICKWORK TO BE IN LINE WITH EXISTING WALL
 - ENCROACH 2000 mm BUILDING LINE WITH 600 mm TO BE IN LINE WITH EXISTING WALL
- 4) NEW GARAGE, STORAGE AREA & LOO FACILITY ON SOUTH WESTERN CORNER OF PROPERTY - REFERENCE R4 (INDICATED ON GROUND FLOOR PLAN, SECTION CC, WEST & EAST ELEVATIONS)
 - ENCROACH SOUTHERN 2000 mm BUILDING LINE WITH 2000 mm
 - ENCROACH WESTERN 2000 mm BUILDING LINE WITH 2000 mm
 - HEIGHT OF NEW STRUCTURE = 6380 mm BUT EXCEEDS ONE THIRD OF REAR BOUNDARY LINE WITH 3133.4 mm
 - NO BRICKWORK TO BE HIGHER THAN 3600 mm FROM LOWEST NGL

AREAS:

SITE	456.5 m ²
EXISTING HOUSE	121.4 m ²
ADDITIONS TO HOUSE	21.9 m ²
NEW COVERED STOPS/ ENTRANCE	35.88 m ²
NEW GARAGE	55.3 m ²
TOTAL NEW COVERED FOOTPRINT	113.08 m ²
COVERAGE	24.5 m ²
	47.3 %

Architectural Office

15740 mm BOUNDARY LINE

16740 (3) = 6246.6 mm

ALLOWED = 5246.6 mm

ACTUAL LENGTH = 8300 mm

PROPOSED ADDITIONS AND ALTERATIONS FOR M.A. PERMITS ON ERF 1944, TONKLOPP PERMITS

DRAWN BY: M. A. PHEAR

CHECKED BY: M. A. PHEAR

DATE: 17/11/2021

PROJECT: M.A. PERMITS

DEPARTURE APPLICATION ONLY

DATE: 17/11/2021

SCALE: 1:100

DRAWING NO: 1944-2021-0102

SHEET: 1 OF 1

NOTE: DRAWING AND DESIGN IS COPYRIGHTED AND MAY NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT. CONTRACTORS MUST CHECK ALL DIMENSIONS AND SPECIFICATIONS BEFORE COMMENCING ANY WORK OR PREPARING SHOP DRAWINGS.

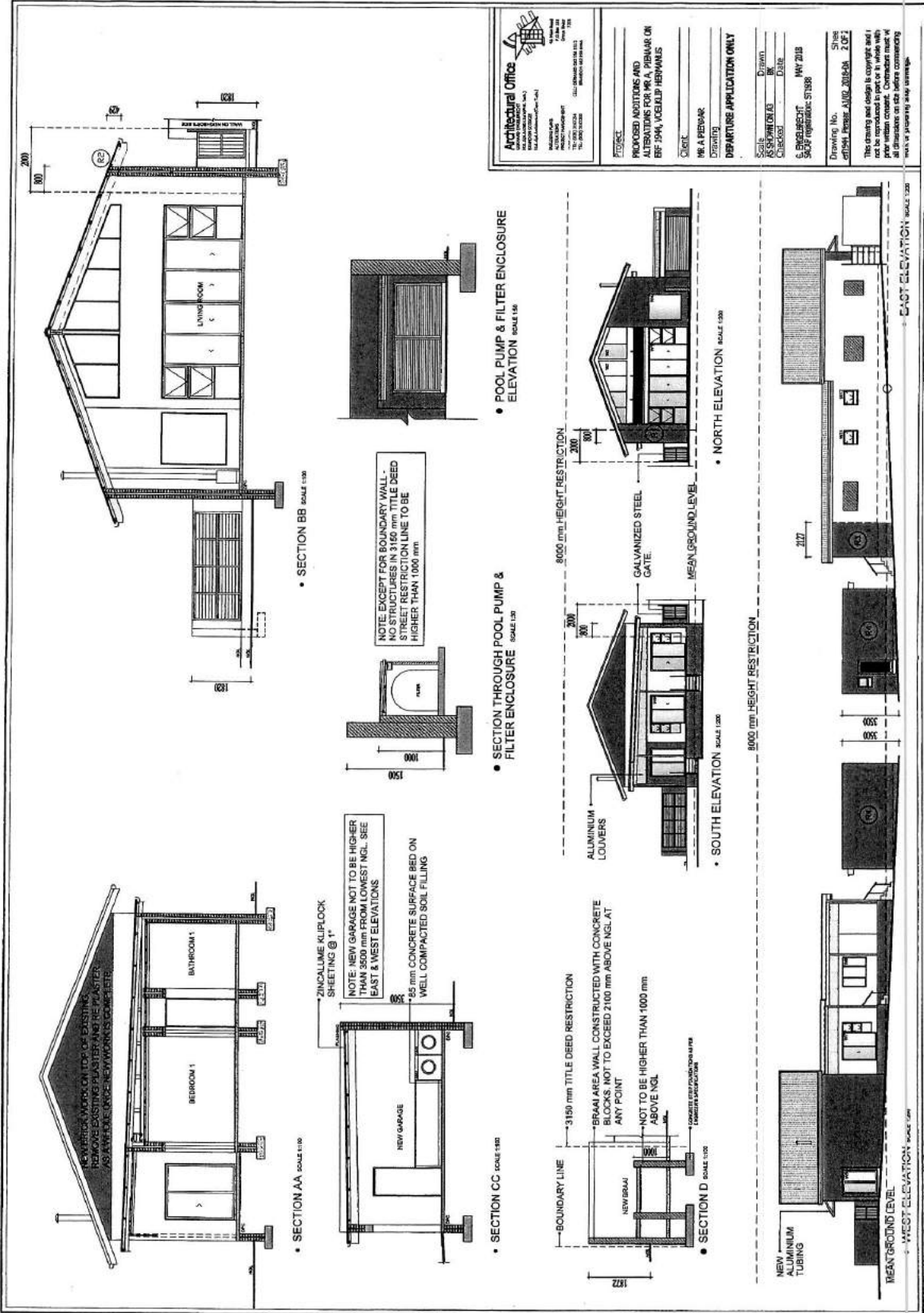
R3

R2

R1

R2

R2



Architectural Office
 1000 Highway 101, Suite 101
 Scarborough, Ontario M1B 2Y1
 Tel: (416) 291-1111
 Fax: (416) 291-1112
 www.architecturaloffice.com

PROJECT: PROPOSED ADDITIONS AND ALTERATIONS FOR M.R.A. PISANAR ON BR 794, 10561/17 PERRIN RD.
 DRAWING: DEPARTURE APPLICATION ONLY
 CLIENT: M.R.A. PISANAR
 SCALE: 1/8" = 1'-0" (AS SHOWN ON AS) / 1/4" = 1'-0" (AS SHOWN ON BS)
 CHECKED: [Signature] DATE: [Date]
 & SUBMITTED TO: M.R.A. PISANAR
 DATE: [Date]
 Drawing No. SHEET: 2 OF 2
 OFFSH. Project: A110-2018-04

This drawing and design is copyright and is not to be reproduced in part or in whole without the written consent of the Architectural Office. All dimensions are in millimeters unless otherwise stated.
 Work is property of Architectural Office.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1944, VOELKLIP (4101)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1944, Voelklip, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

07 JAN 2019

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. ERF 71, 8 SWART STREET, VAN DYKSBAAI, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS WRAP CONSULTANCY ON BEHALF OF SC MCFARLANE

71 GKB (3871)

SW van der Merwe

(028) 313 8900

Hermanus Administration

26 January 2019

Executive Summary

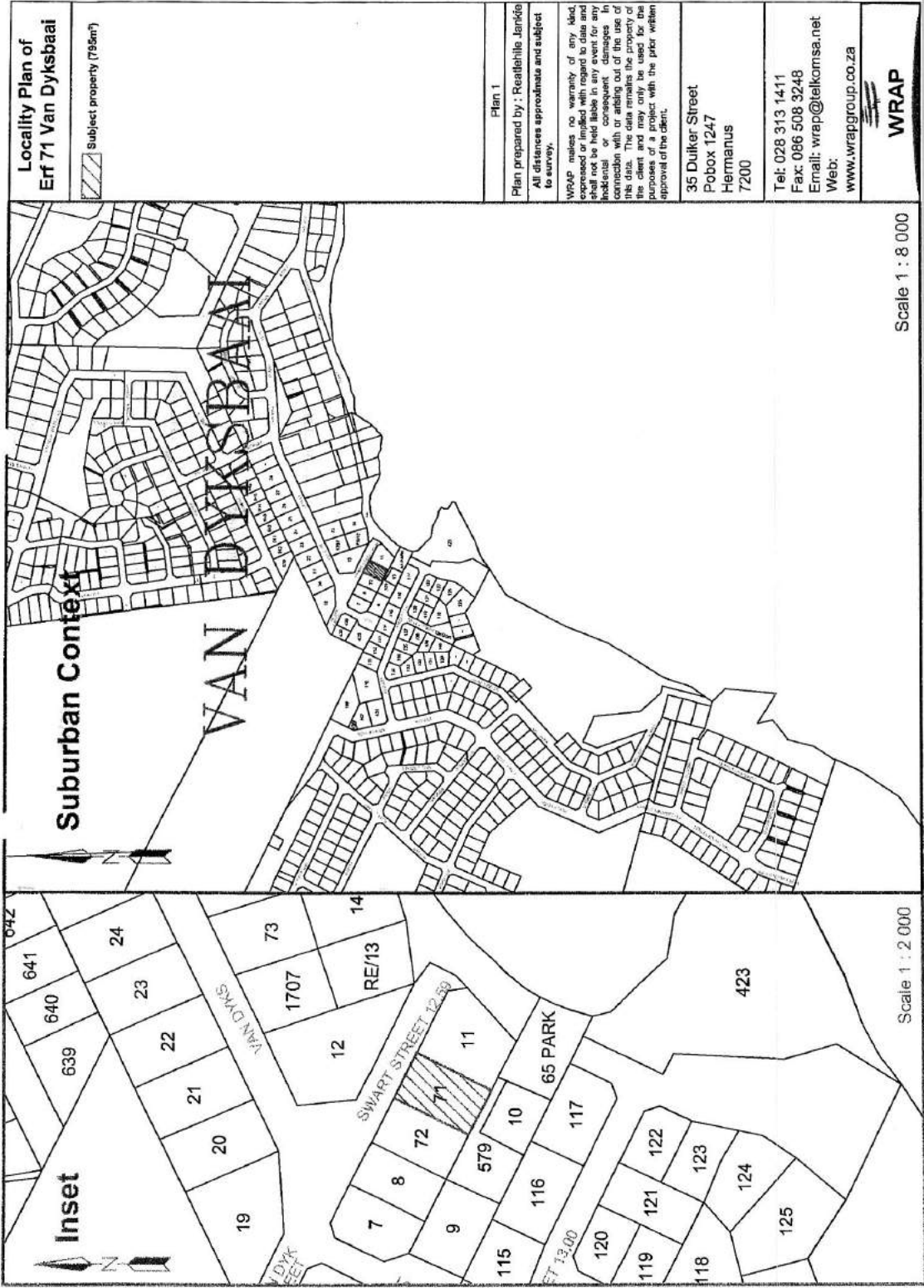
An application has been received on 4 September 2018 from Messrs WRAP Consultancy on behalf of the owner, SC McFarlane, on Erf 71, Van Dyksbaai for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to encroach the northern 3m lateral building up to the property boundary in order to accommodate an existing garage and wendy house (store).

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 71, Van Dyksbaai in order to relax the 3m western lateral building line up to the property boundary to accommodate an existing garage and wendy house (store), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that building plans be submitted within sixty (60) days of the approval to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (b) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (d) that all the conditions in the Services Report, be complied with, and
 - (e) that the approval is only for the departure as indicated on the Site Plan as submitted with the application.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



**Locality Plan of
Erf 71 Van Dyksbaai**

Subject property (795m²)

Plan 1

Plan prepared by : Reathille Jenkies
to survey.

WRAP makes no warranty of any kind, expressed or implied with regard to data and shall not be held liable in any event for any intellectual or consequential damages in connection with or arising out of the use of the data. The data remains the property of the client and shall not be used for any purpose of a project with the prior written approval of the client.

35 Duiker Street
Pobox 1247
Hermanus
7200

Tel: 028 313 1411
Fax: 086 508 3248
Email: wrap@telkomsa.net
Web: www.wrapgroup.co.za



Suburban Context

Inset

Scale 1 : 8 000

Scale 1 : 2 000

Site Development
Plan of
Erf 71 Van Dyksbaai

Subject property (795m²)

Plan 1

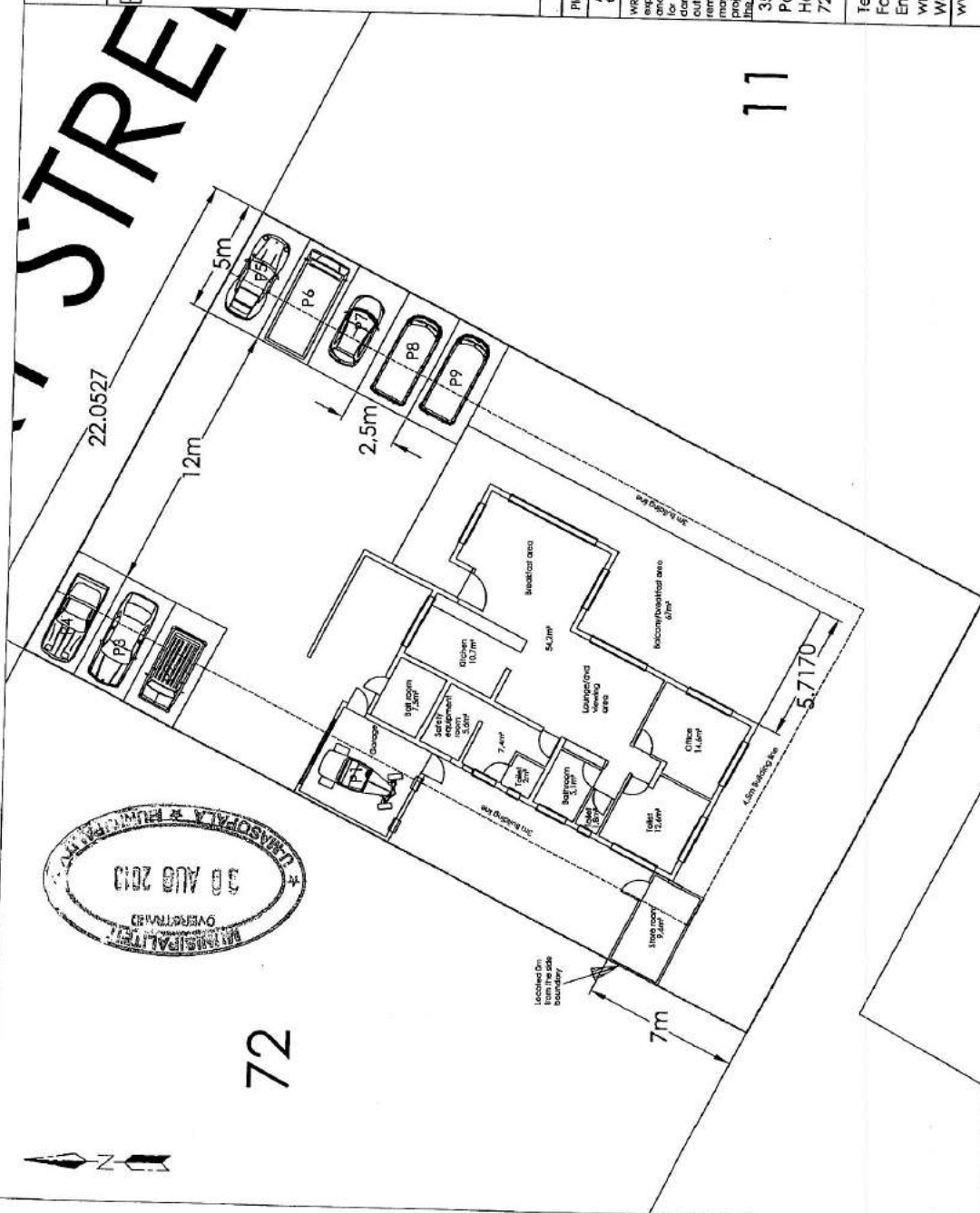
Plan prepared by: Roelienhile Jonke
All distances approximate and subject to survey.

WRAP makes no warranty of any kind, express or implied, with regard to data and shall not be held liable for any errors or damages in connection with or arising out of the use of this data. The data remains the property of the client and may only be used for the purposes of a project with the prior written approval of WRAP.

35 Duijker Street
Pobox 1247
Hermanus
7200

Tel: 028 313 1411
Fax: 086 508 3248
Email: wrap@telkomsa.net
Web: www.wrap.co.za

WRAP



11

72

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 71, KLEINBAAI (3871)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the developer's account;
5. that stormwater be allowed to discharge through Erf 71, Kleinbaai, unobstructed;
6. that no on-street parking be allowed.


**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

24/1/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

3. **ERF 5907, 47 FERNKLOOF DRIVE, HERMANUS (HERMANUS HEIGHTS), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF W AND L VON ZEUNER**

5907 HHH (4062)

P Roux

(028) 313 8900

Hermanus Administration

15 January 2018

Executive Summary

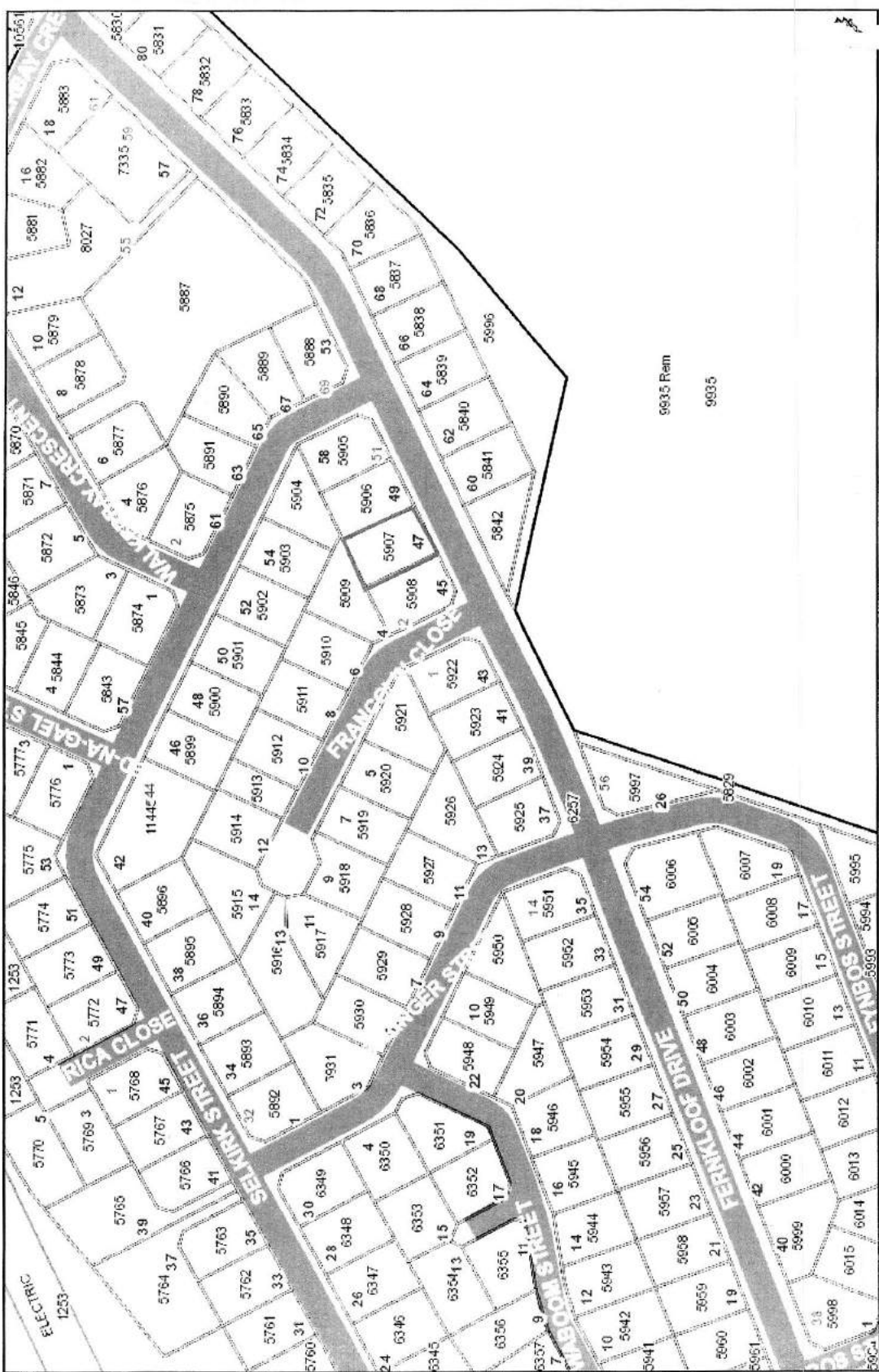
An application has been received on 20 June 2018 from Messrs Interactive Town and Regional Planning on behalf of W and L Von Zeuner on Erf 5907, Hermanus (Hermanus Heights) in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the western lateral building line from 2m to 0m to accommodate the existing outbuilding and carport as well as proposed alterations to the outbuilding, which include a new wall to separate the staff quarters and study and new outside doors for the study.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 5907, Hermanus (Hermanus Heights), in order to relax the western lateral building line from 2m to 0m to accommodate the alterations to the existing outbuilding, which include a new wall to separate the staff quarters and study and new outside doors for the study to the existing outbuilding, **not be approved** in terms of the provisions of Section 61 of the By-Law, due to the reasons set out in point 11.1;
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 5907, Hermanus (Hermanus Heights) in order to relax the western lateral building line from 2m to 0m to accommodate the existing shade port **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the conditions set out below:
 - (a) that this approval only relates to the relaxation of the building lines in order to retain the existing shade port as indicated on the plans submitted with the application and attached hereto;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (b) that building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
 - (c) that all the conditions in the comment from the Fire Department and the Services Report, be adhered to;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



LOCALITY PLAN: ERF 5907, HERMANUS HEIGHTS

PROVISION NOTES

1. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).

2. ALL MEASUREMENTS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE NOTED.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

5. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

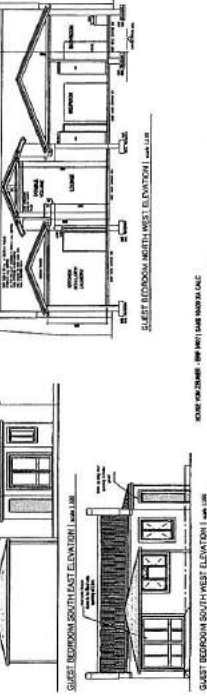
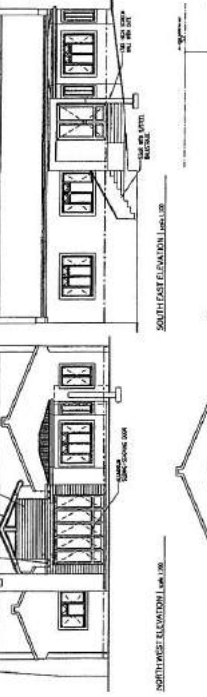
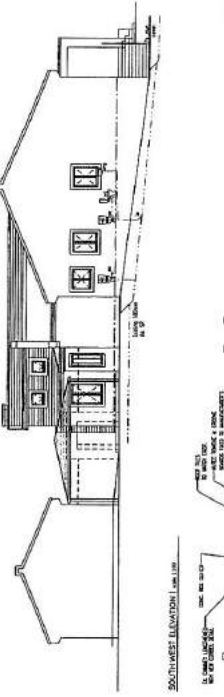
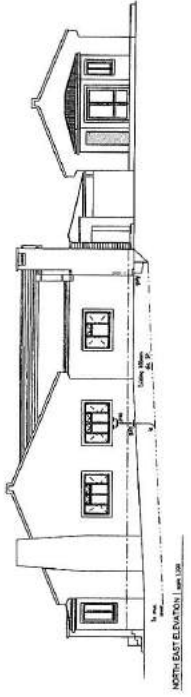
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

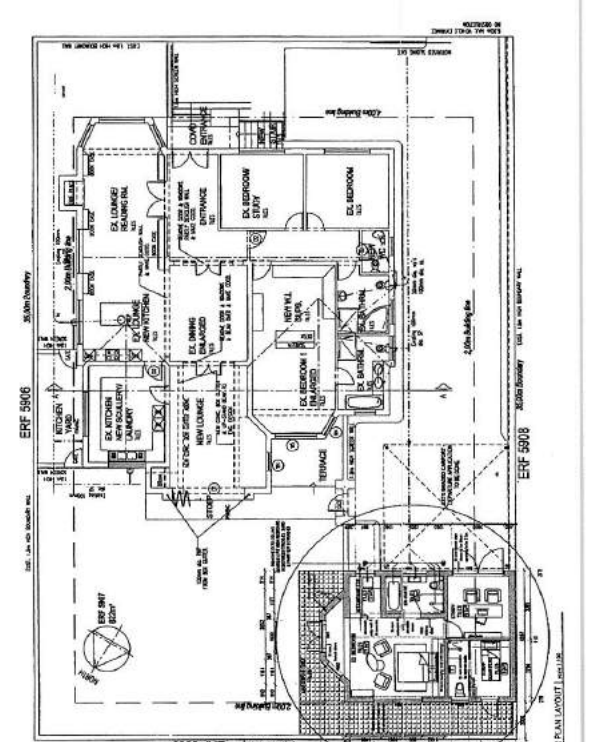
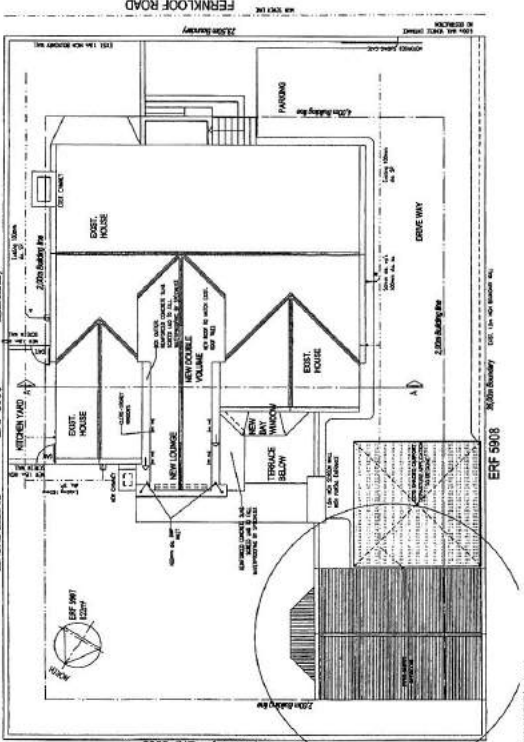
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.

15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA/CES CODEBOOK AND THE IBC/IRC.



WALL CALCULATIONS | 1/8" = 1'-0"

WALL TYPE	AREA (SQ FT)	U-VALUE	LOADING (BTU/HR-FT²)
EXTERIOR WALL - BRICK	1,500	0.12	180
EXTERIOR WALL - CONCRETE	800	0.13	104
EXTERIOR WALL - INSULATED	2,500	0.09	225
ROOF	2,000	0.05	100
FLOOR	1,200	0.09	144
GLAZING - WINDOWS	1,000	0.75	750
GLAZING - DOORS	200	0.30	60
TOTAL	10,000	0.15	1,524



APP. 1

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5907, HERMANUS HEIGHTS
(4062)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 5907, Hermanus Heights, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. D. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

07/11/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**4. ERF 9935, HERMANUS (EASTCLIFF), OVERSTRAND MUNICIPAL AREA:
PROPOSED CONSENT USE: S SLEIGH ON BEHALF OF HERMANUS GOLF
CLUB**

9935 HEC (4118)

P Roux

(028) 313 8900

Hermanus Administration

14 January 2019

Executive Summary

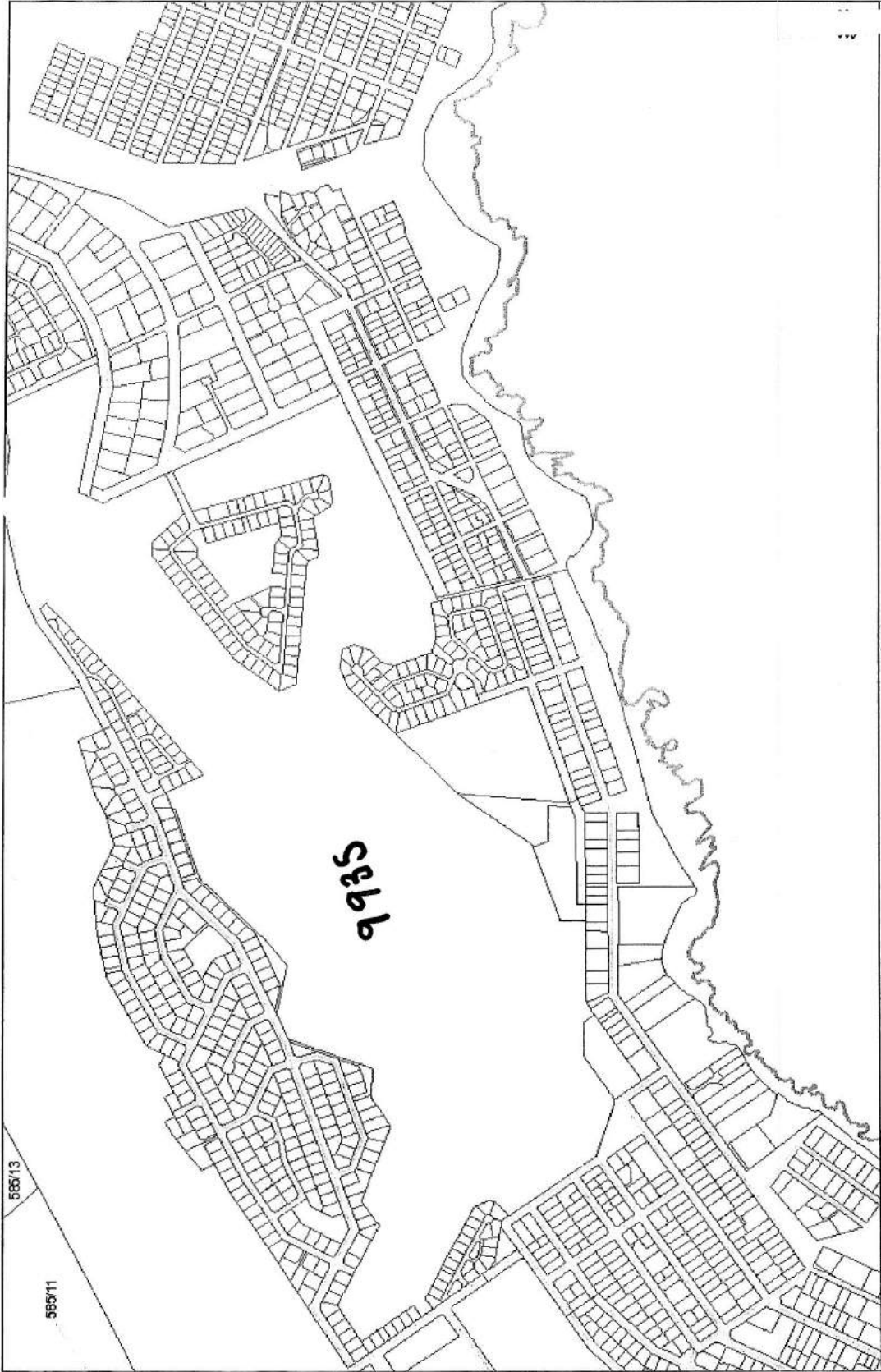
An application has been received on 27 July 2018 from S Sleigh on behalf of Hermanus Golf Club on Erf 9935, Hermanus (Eastcliff) in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate the keeping of game (Springbok) on the property concerned.

RESOLVED :

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 9935, Hermanus (Eastcliff), to accommodate the keeping of game (Springbok) on the property concerned, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for keeping of Springbok on Erf 9935, Hermanus (Eastcliff);
 - (b) that no more than forty (40) Springbok be kept on the property;
 - (c) that the required permit is applied for from CapeNature within thirty (30) days from the date of this approval and proof of such application be forwarded to the Overstrand Municipality: Town & Spatial Planning Department;
 - (d) that no antelope be hunted on Erf 9935, Eastcliff;
 - (e) that the consent use approved in terms of paragraph 1. above be conducted in such a manner that it is not found detrimental to the peacefulness and amenity of the area;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
- 2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 9935 HEC

PLAN OF AREA OF 22



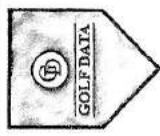
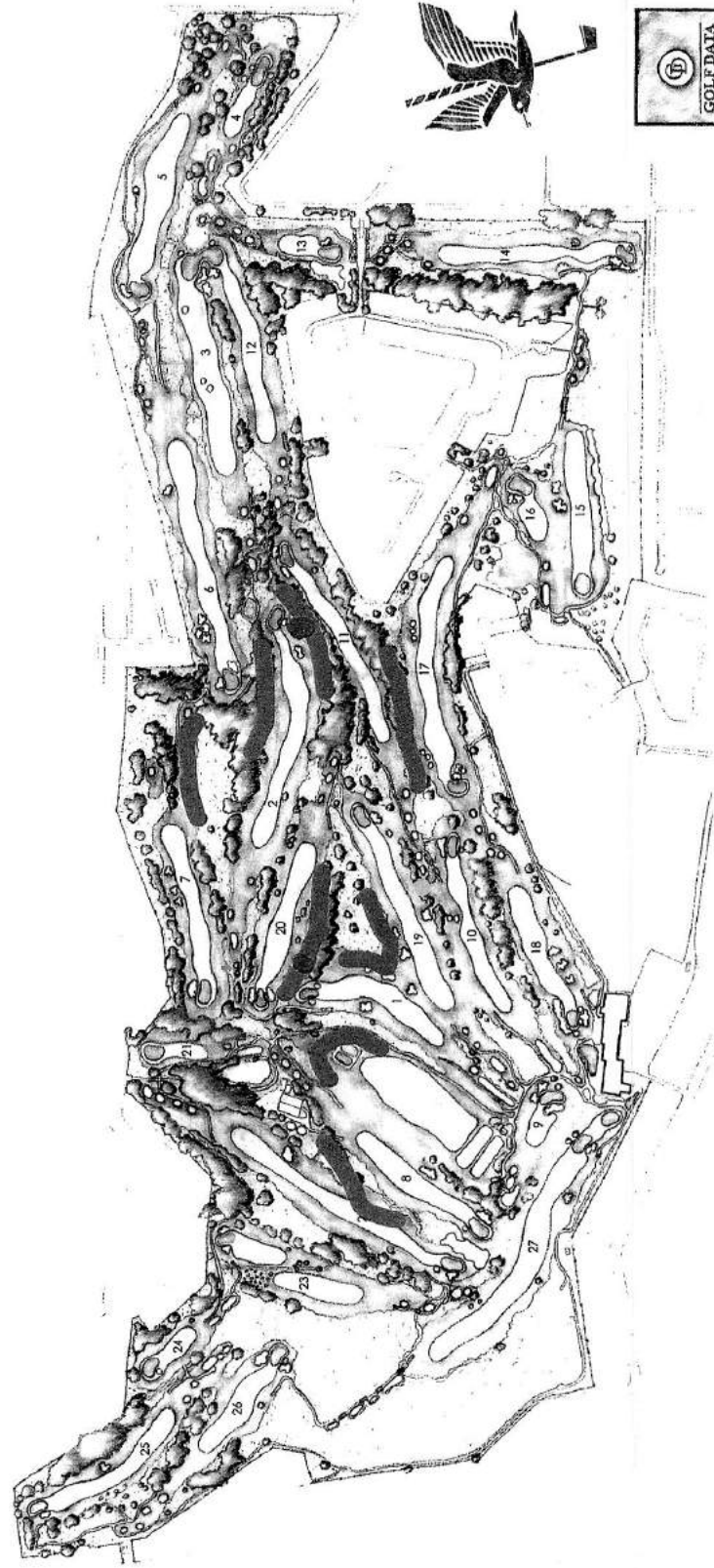
third nine



second nine



first nine



HERMANUS GOLF COURSE

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR PERMISSION REQUIRED IN TERMS OF ZONING SCHEME:
ERF 9935, HEMANUS GOLF CLUB, EASTCLIFF (4118)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that the Department Engineering Services has No Comment.

p.p. M. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

12/11/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**5. ERF 1201, VAN DYKSBAAI, OVERSTRAND MUNICIPAL AREA:
PROPOSED DEPARTURE AND AMENDMENT OF SITE DEVELOPMENT
PLAN: S VISAGIE ON BEHALF OF THE BIRKENHEAD VOLUNTEER
LODGE TRUST**

1201 GKB (4008)

SW van der Merwe

(028) 313 8900

Hermanus Administration

8 February 2019

Executive Summary

An application has been received on 23 March 2018 from Susan Visagie on behalf of the Birkenhead Volunteer Lodge Trust on Erf 1201, van Dyksbaai (Kleinbaai) in terms of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- ❖ departure in terms of Section 16(2)(b) in order to encroach the 5m street building line with 0,6m to accommodate the existing penguin and seabird sanctuary;
- ❖ amendment of the Site Development Plan in terms of Section 16(2)(l) to accommodate a proposed volunteer building.

RESOLVED :

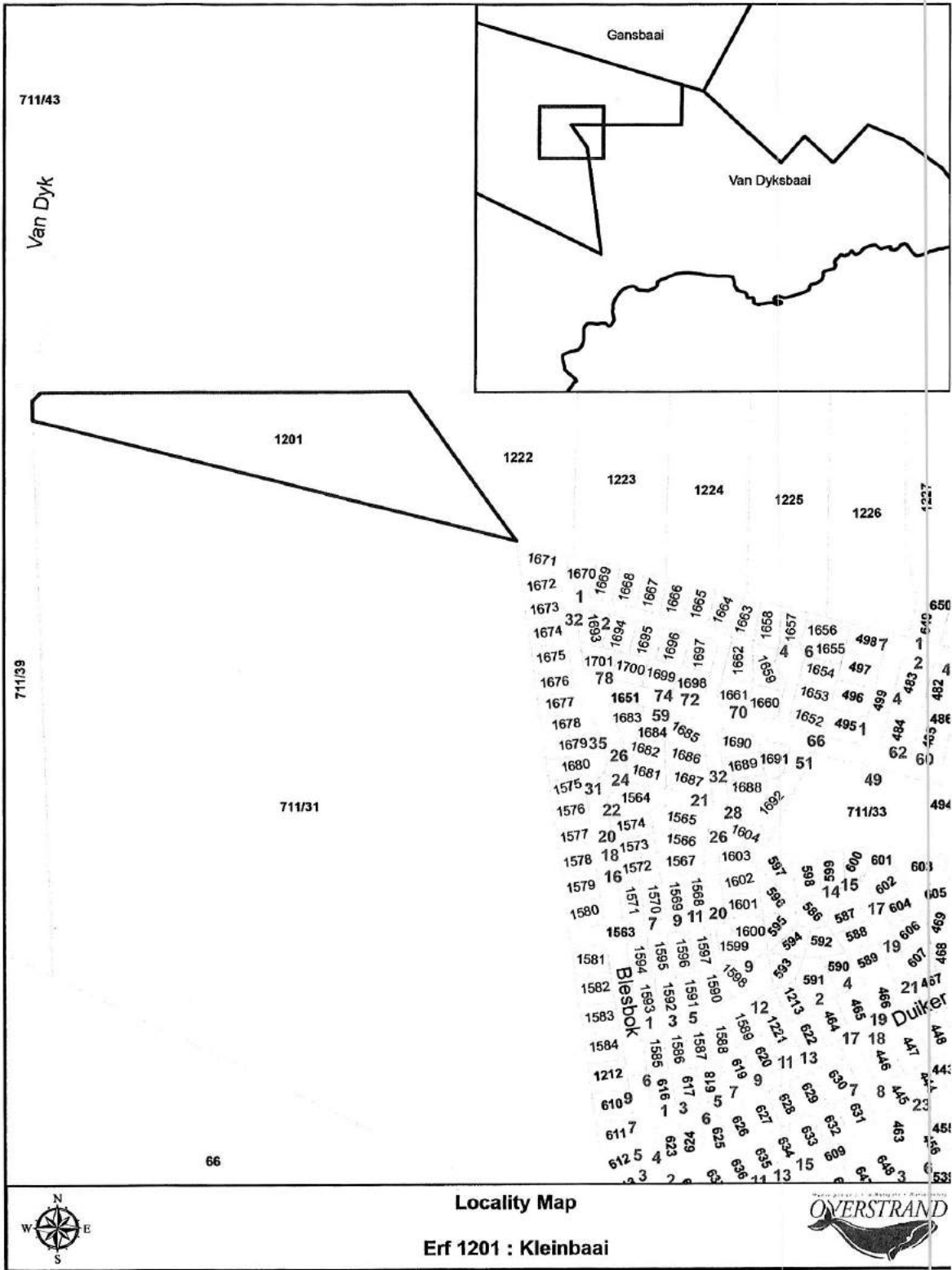
1. that the objection be noted;
2. that the application applicable to Erf 1201, Van Dyksbaai for:
 - departure in terms of Section 16(2)(b) in order to encroach the 5m street building line with 0,6m to accommodate the existing penguin and seabird sanctuary;
 - amendment of the Site Development Plan in terms of Section 16(2)(l) to accommodate a proposed volunteer building,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval for departure only relates to the placement of the buildings as shown on plans dated 31 January 2018 submitted with the application;
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (c) that all conditions imposed by Electro Technical Services, Fire Services and Health, be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions imposed by Telkom, be complied with;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with, and
 - (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
3. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



711/43

Van Dyk

Gansbaai

Van Dyksbaai

1201

1222

1223

1224

1225

1226

1227

711/39

711/31

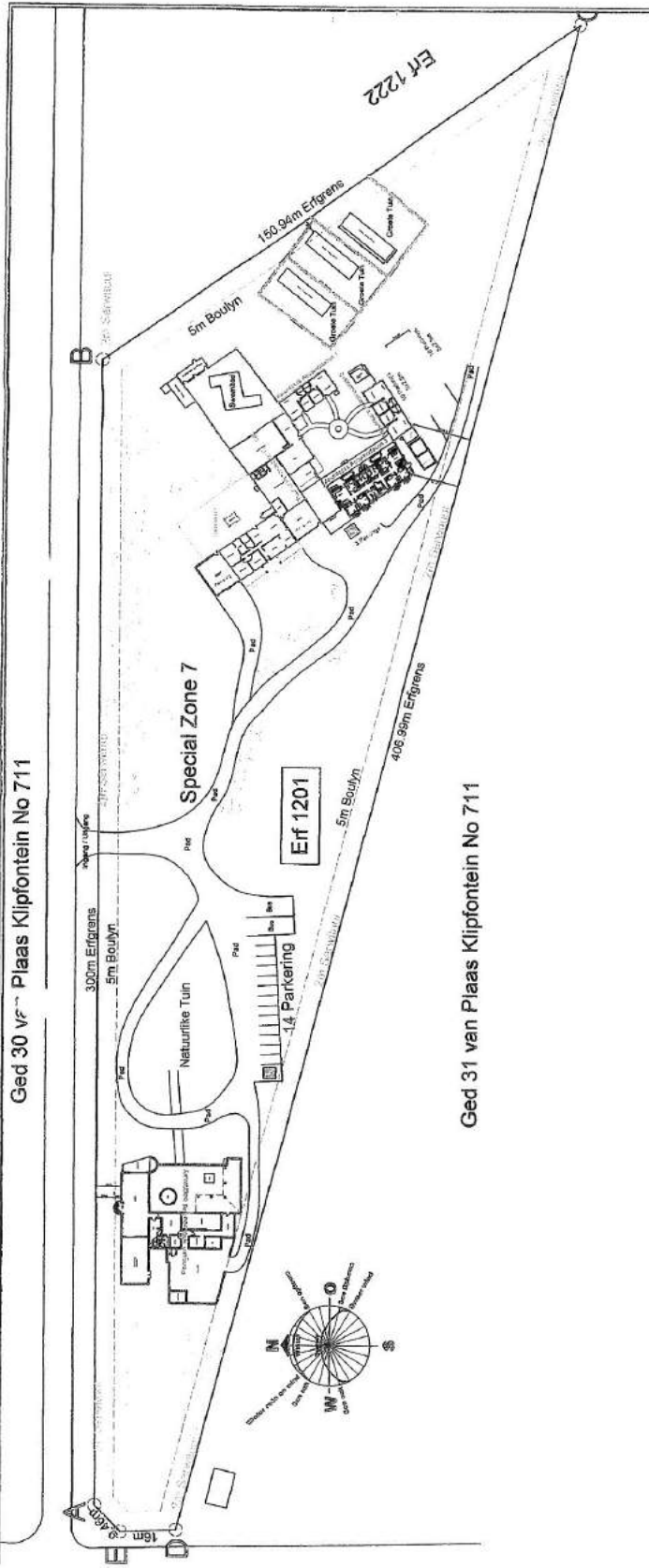
1671
 1672 1670
 1673 1 1669
 1674 32 1684 1688
 1675 1701 1700 1699 1696 1686
 1676 78 1651 74 72 1661 1660 1653 496 489 483 482 481
 1677 1683 59 1684 1685 1690 1689 1691 51 49
 1678 1683 59 1684 1685 1690 1689 1691 51 49
 1679 35 26 1682 1686 1689 1691 51 49
 1680 26 1681 1687 32 1688 49
 1575 31 24 1681 1687 32 1688 49
 1576 22 1564 21 1565 28 711/33 494
 1577 20 1574 1566 26 1604 1603
 1578 18 1573 1567 1602 597 596 595 594 593 592 591 590 589 588 587 586 585 584 583 582 581 580 579 578 577 576 575 574 573 572 571 570 569 568 567 566 565 564 563 562 561 560 559 558 557 556 555 554 553 552 551 550 549 548 547 546 545 544 543 542 541 540 539 538 537 536 535 534 533 532 531 530 529 528 527 526 525 524 523 522 521 520 519 518 517 516 515 514 513 512 511 510 509 508 507 506 505 504 503 502 501 500 499 498 497 496 495 494 493 492 491 490 489 488 487 486 485 484 483 482 481 480 479 478 477 476 475 474 473 472 471 470 469 468 467 466 465 464 463 462 461 460 459 458 457 456 455 454 453 452 451 450 449 448 447 446 445 444 443 442 441 440 439 438 437 436 435 434 433 432 431 430 429 428 427 426 425 424 423 422 421 420 419 418 417 416 415 414 413 412 411 410 409 408 407 406 405 404 403 402 401 400 399 398 397 396 395 394 393 392 391 390 389 388 387 386 385 384 383 382 381 380 379 378 377 376 375 374 373 372 371 370 369 368 367 366 365 364 363 362 361 360 359 358 357 356 355 354 353 352 351 350 349 348 347 346 345 344 343 342 341 340 339 338 337 336 335 334 333 332 331 330 329 328 327 326 325 324 323 322 321 320 319 318 317 316 315 314 313 312 311 310 309 308 307 306 305 304 303 302 301 300 299 298 297 296 295 294 293 292 291 290 289 288 287 286 285 284 283 282 281 280 279 278 277 276 275 274 273 272 271 270 269 268 267 266 265 264 263 262 261 260 259 258 257 256 255 254 253 252 251 250 249 248 247 246 245 244 243 242 241 240 239 238 237 236 235 234 233 232 231 230 229 228 227 226 225 224 223 222 221 220 219 218 217 216 215 214 213 212 211 210 209 208 207 206 205 204 203 202 201 200 199 198 197 196 195 194 193 192 191 190 189 188 187 186 185 184 183 182 181 180 179 178 177 176 175 174 173 172 171 170 169 168 167 166 165 164 163 162 161 160 159 158 157 156 155 154 153 152 151 150 149 148 147 146 145 144 143 142 141 140 139 138 137 136 135 134 133 132 131 130 129 128 127 126 125 124 123 122 121 120 119 118 117 116 115 114 113 112 111 110 109 108 107 106 105 104 103 102 101 100 99 98 97 96 95 94 93 92 91 90 89 88 87 86 85 84 83 82 81 80 79 78 77 76 75 74 73 72 71 70 69 68 67 66 65 64 63 62 61 60 59 58 57 56 55 54 53 52 51 50 49 48 47 46 45 44 43 42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1



Localities Map

Erf 1201 : Kleinbaai





Garické Argitektories Disusté
Johan Giercke
 Pricer Draught (Draeger)
 Pricer Draught (Draeger)
 Pricer Draught (Draeger)
 Pricer Draught (Draeger)
 Pricer Draught (Draeger)
 Pricer Draught (Draeger)

Beskriving :
 Voorgeskrede...
 Omskrywing van...
 Erf 1201, Van Dyrbaai,
 Oorstrand Munisipaliteit.
 Plan noppas deur : Datum :
 J.L.G Giercke 17/10/2018

Oukassie SANS 0600 :
 Tekening : H5
 Terreinplan

Doel : Munisipale goederkeuring
 Projek # : 01/MC/18
 Schaal : 1:1000
 Bladsy : A3
 Datum : 31 Januarie 2018

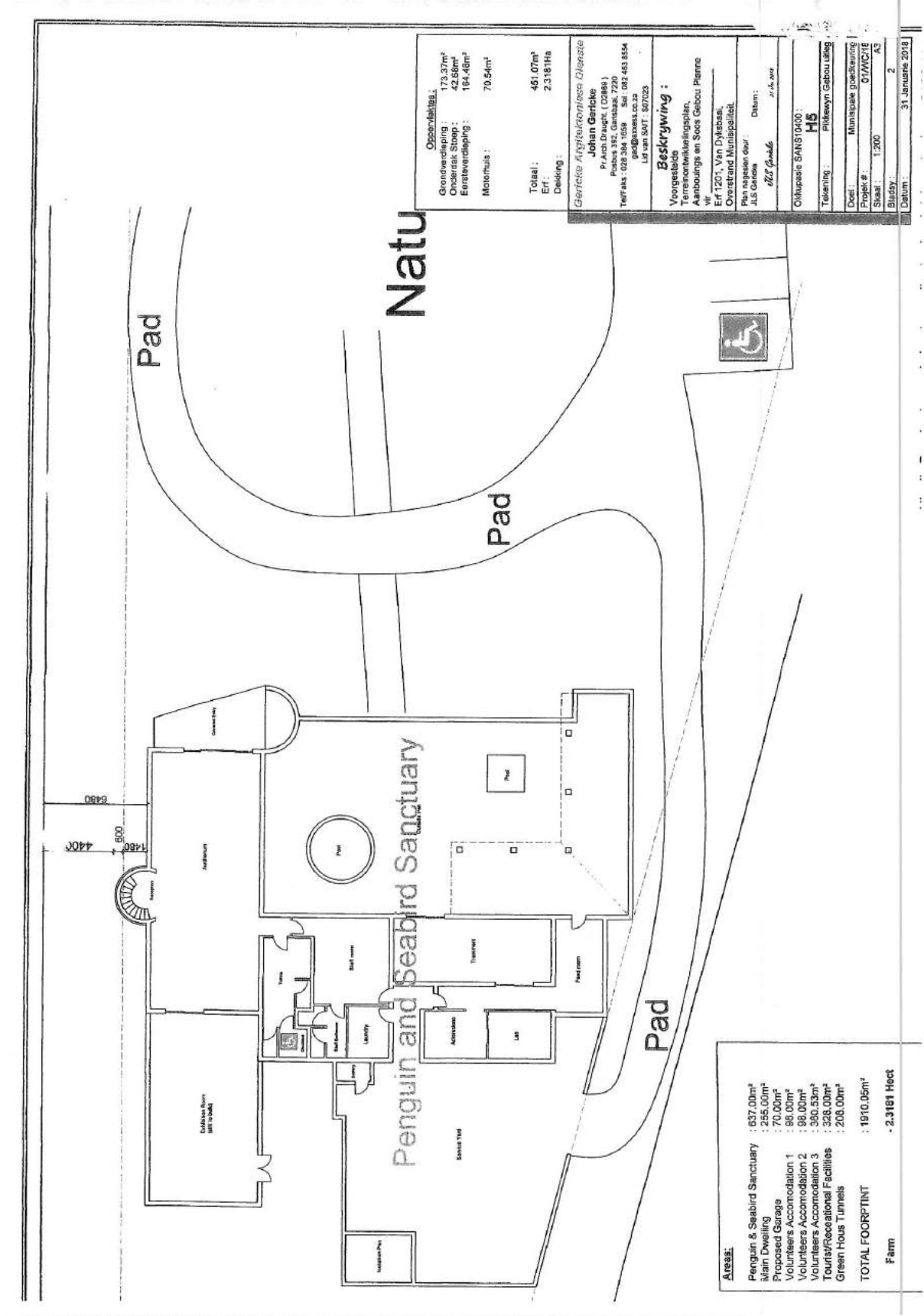
Groteringsvlakke :	173,37m²
Ondersteuningsvlakke :	42,68m²
Samtevelingsvlakke :	184,45m²
Motorhuis :	70,54m²
Total :	491,07m²
Erf :	2,3181Ha
Paarkings :	

Areas:

Penguin & Seabird Sanctuary	: 637,00m²
Main Dwelling	: 255,00m²
Proposed Garage	: 70,00m²
Volunteers Accommodation 1	: 99,00m²
Volunteers Accommodation 2	: 99,00m²
Volunteers Accommodation 3	: 380,50m²
Tourist/Recreational Facilities	: 328,00m²
Green Hous Tunnels	: 208,00m²
TOTAL FOURPTINT	: 1910,05m²
Farm	- 2,3181 Hect

Area:	Parking Req.	Provide Parking
1. Main dwelling house	2 bays	2
2. Main dwelling house	1 bay per bedroom	4
3. Volunteer Acc 1	1 bay per bedroom	4
4. Volunteer Acc 2	1 bay per bedroom	12
5. Volunteer Acc 3	1 bay per bedroom	14 Approved
6. City for volunteer on site		22 Bays
7. Penguin & Seabird Sanctuary		14 Bays
TOTAL REQUIRED		38 Bays
APPROVED PARKING SDP		
PROVIDED IN TOTAL WITH EXISTING		
Provide 2 x 4,50m Double Parking Bays		

Parking Requirements:
 1. Main dwelling house - 1 bay per bedroom
 2. Main dwelling house
 3. Volunteer Acc 1
 4. Volunteer Acc 2
 5. Volunteer Acc 3
 6. City for volunteer on site
 7. Penguin & Seabird Sanctuary



Oorsaaalites:

Geenverdeling :	173,37m²
Onderstal Stoop :	42,88m²
Enstaveerding :	184,46m²
Motorhuis :	70,54m²
Totaal :	461,07m²
Erf :	2,3181Ha
Dekking :	

Gereete Aangewendings Olanse
Johan Gerbake
 Pr. Arch. Draught (0988)
 12111
 Telf: 083 304 1534 Fax: 083 463 8554
 jg@jgdrawers.co.za
 Lid van S.A.T. : 877023

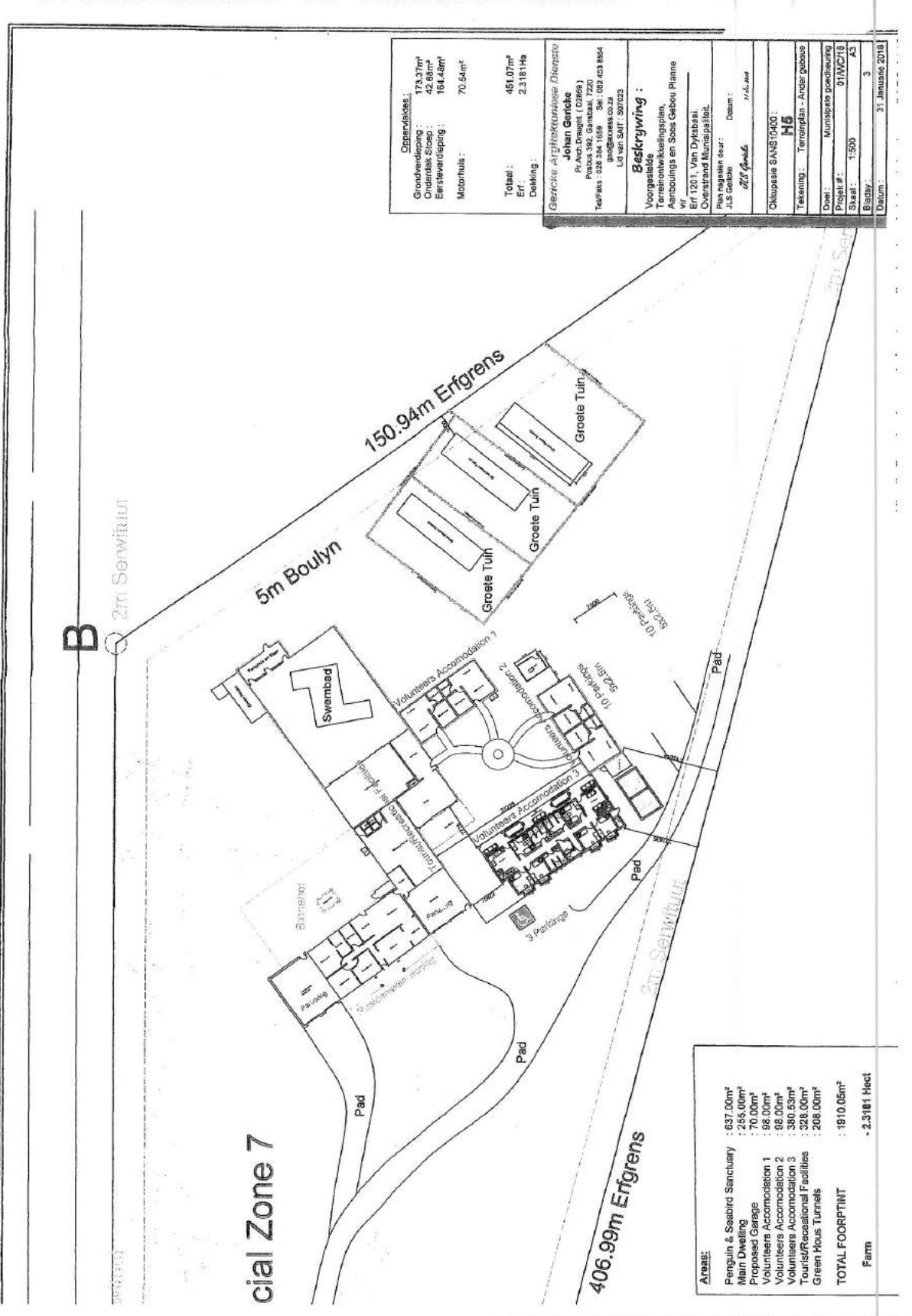
Beskrywing :
 Voorgeselbe
 Terreinontwikkelingsplan,
 Aanboudings en Soos Gebou Planne
 vfr
 Erf 1201, Van Dylkabaal,
 Overstrand Munisipaliteit,
 J.S. Gansbaai
 Dittum: 17.05.2018

Clifusale SANIS10400 :

Tekenling :	H5
Doel :	Munisipale goedkeuring
Projek # :	07/MC/18
Skalaal :	1:200
Bladsy :	2
Datum :	31 Januarie 2018

Area:

Penguin & Seabird Sanctuary	: 637,00m²
Main Dwelling	: 255,00m²
Proposed Garage	: 70,00m²
Volunteers Accommodation 1	: 98,00m²
Volunteers Accommodation 2	: 98,00m²
Volunteers Accommodation 3	: 350,53m²
Tourist/Recreational Facilities	: 328,00m²
Green House Tunnels	: 208,00m²
TOTAL FOOTPRINT	: 1910,05m²
Farm	- 2,3181 Hect



Oppervlaktes:	
Grondverrekening:	173,37m²
Cheridat Sloep:	42,68m²
Eerste verdieping:	181,48m²
Motorhuus:	70,54m²
Totaal: 461,07m²	
Erf:	2,3181Ha
Dekking:	

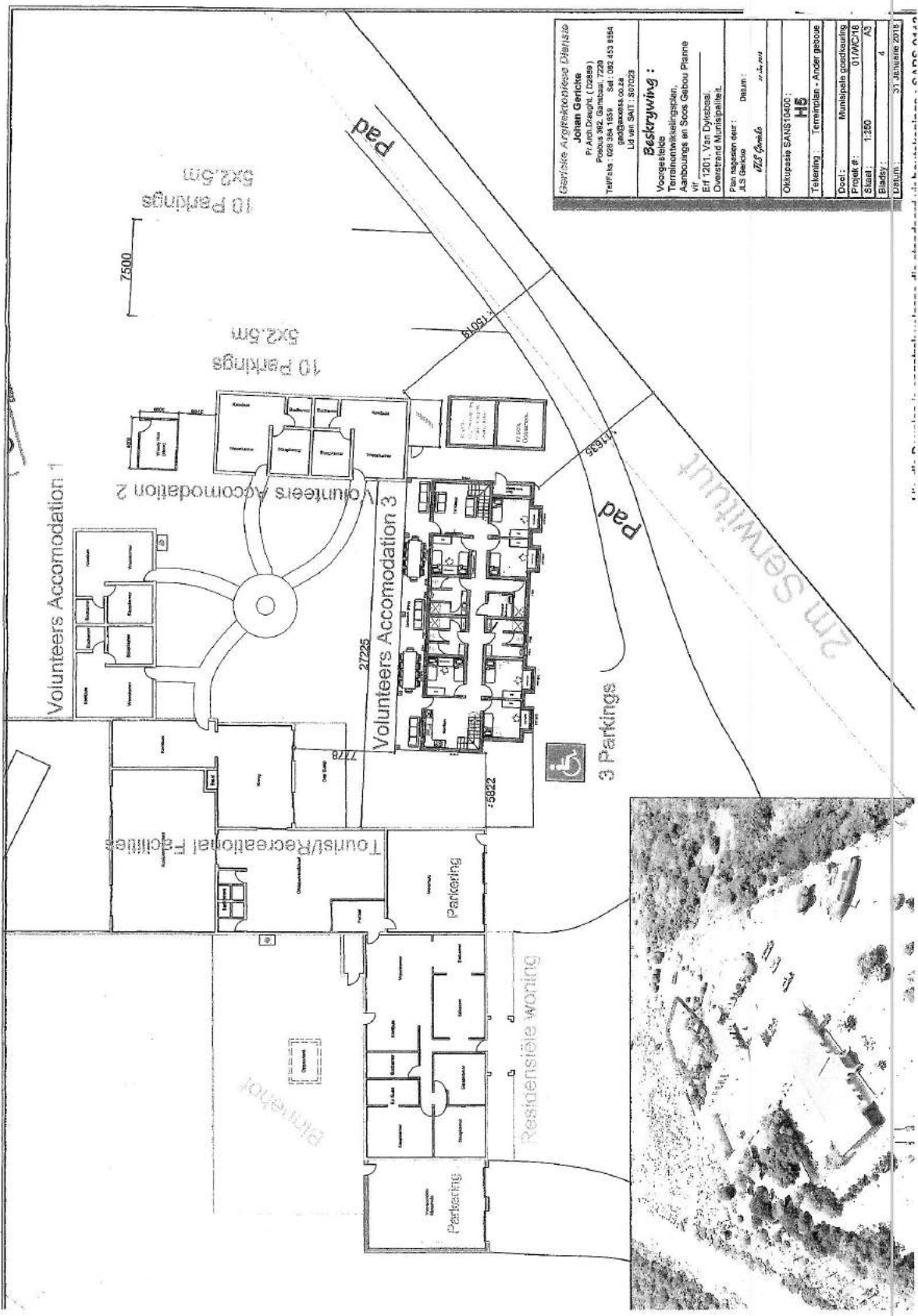
Geskreifde Argitektoniese Dienste
Johan Gerdie
 Pr. Architekt (02889)
 P.O. Box 124
 Claremont, Kaapstad 7708
 Tel/fax: 021 304 1669
 E-mail: jg@jgdesign.co.za
 jg@jgdesign.co.za
 Lid van SAAT: 397023

Beekrywing:
 Voorgeselsel:
 Terrainontwikkelingsplan,
 Aerbouings en Soos Gebou Planne
 vir
 Erf 1201, Van Dykstras
 Owerstrand Munisipaliteit.
 Plan nagaan deur: Datum: 17.12.2018
 J.S. Gerde

Okkupasie SANS 0400:	
H6	
Tekening:	Terrinplan - Ander geboue
Dae:	Munisipale goedkeuring
Projek #:	01/MC/18
Skaal:	1:500
Bladsy:	3
Datum:	31 Januarie 2018

cical Zone 7

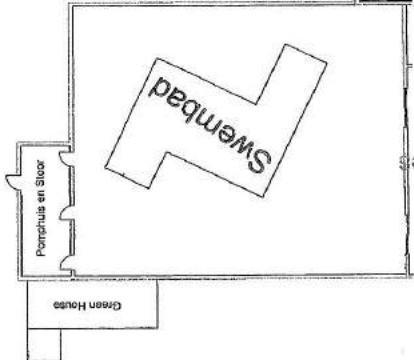
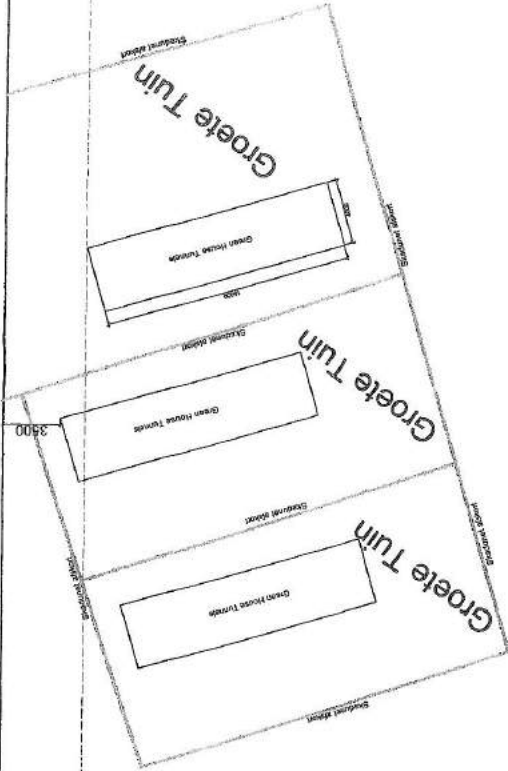
Areas:	
Penguin & Seabird Sanctuary	: 637,00m²
Main Dwelling	: 255,00m²
Proposed Garage	: 70,00m²
Volunteers Accommodation 1	: 88,00m²
Volunteers Accommodation 2	: 88,00m²
Volunteers Accommodation 3	: 380,53m²
Tourist/Recreational Facilities	: 328,00m²
Green House Turnnels	: 208,00m²
TOTAL FOOTPRINT	: 1910,05m²
Farm	- 2,3181 Hect



Oorsake: Argitektuurplan Johan Gerrits Projek: 302, Gebouwe, 7220 Tafelberg, 1028 304 1050 Tel: 082 453 8364 greg@axis.co.za Lid van SNT : 807029	
Beskrywing: Voorgesels Terrainontwikkelingsplan: Aanbouings en Soos Gebou Platne vir Erf 1201, Van Dylsbach, Owerstrand Munisipaliteit. Plan geteken deur: J.S. Geisels Datum: 27.12.2018 ZGF 02616	
Okupasie SANS10400: H5	
Talering:	Terrainplan - Ander geboue
Doel:	Munisipale goedkeuring
Projek #:	01/WC/18
Staal:	1:200 A3
Bladsy:	4
Datum:	31 Januarie 2018

15C 34m Erfgrems

5m Boulyln



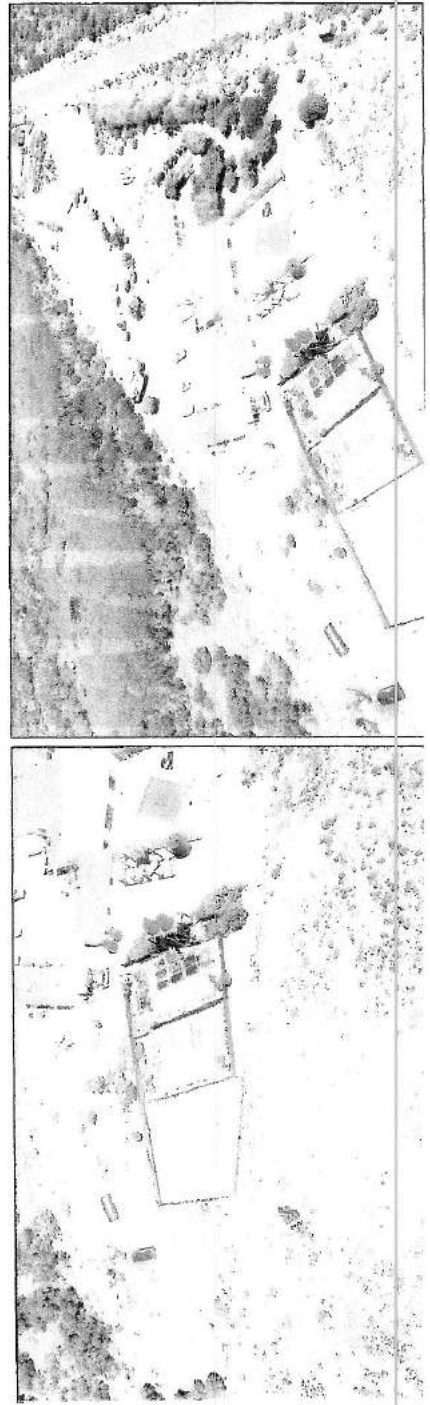
Volunteers Accomodation 1



Gerichte Argentiniense Dienst
Johan Gerike
 Plaza D'Ortiz, (12218)
 P.O. Box 392, Caracas, 7220
 Tel/Fax: 029 384 1081 / 84: 02 453 1554
 E-mail: jgerike@caracas.net.ve
 Lat van SAT: 80209

Beskrywing:
 Voorgesabe
 Terrainontwikkelingplan,
 verbodings en sees Gebou Planne
 Erf 1201, Van Dykesbaai,
 Oorstrand Munisipaliteit.
 Projektnummer: 1250
 U.S. Gerike
 Datum: 27.01.2018

ORKIPAAS SANSKODING: **H5**
 Tekening: Terrainplan - Ander gebou
 Doel: Munisipale goedkeuring
 Projek # : 07/MIC
 Skaal: 1:250
 Bladsy: 5
 Datum: 31 Januarie 2018



- Ⓠ Pielon Lignat
- Ⓡ Muuring - Bleikhead
- Ⓢ Domptogler - 1x3W LED
- Ⓣ Rep mouting - Domptogler
- Ⓤ Dampstop - Dampstop FT
- Ⓦ 15A dubbele Murprop - 2x100mm
- Ⓡ Enkel Ligskerm "class 1" - 1x100mm
- Ⓣ Dubbel Ligskerm "class 1" - 2x100mm
- Ⓥ 3 Part Ligskerm "class 1" - 3x100mm
- Ⓧ Ligskerm "class 2" - 1x100mm
- Ⓨ Ligskerm "class 3" - 1x100mm
- Ⓩ Standaard met koppeleleer
- ⓐ TV / DSTV Punt / Internet
- ⓑ Stof Punt
- ⓓ "Compact Fluorescent Lamp"
- ⓔ "Compact Tube"
- ⓕ LED Lamp
- Ⓡ Stippenaar

Omskeppings	
Grondverdieping :	173,37m ²
Onderdak Sloop :	42,88m ²
Eerste verdieping :	166,48m ²
Motorhuis :	70,54m ²
Totaal :	453,07m²
EFF :	2,3181Ha
Dekking :	

Geritieke Argitektoniese Diensre
Johan Geritieke
 P1 Arch.Draught. (12889)
 Pookba 352, Gansbaai, 7220
 Telefoon: 053 951 1859 Fax: 052 452 8554
 Landaanwysing: 151
 LB van SA 11, 507023

Beskrywing :
 Voorgestelde
 Territoriumontwikkeling,
 Aanbouings en Soos Gebou Planne
 Erf 1201, Van Dykesdal,
 Oorstrand Munisipaliteit.

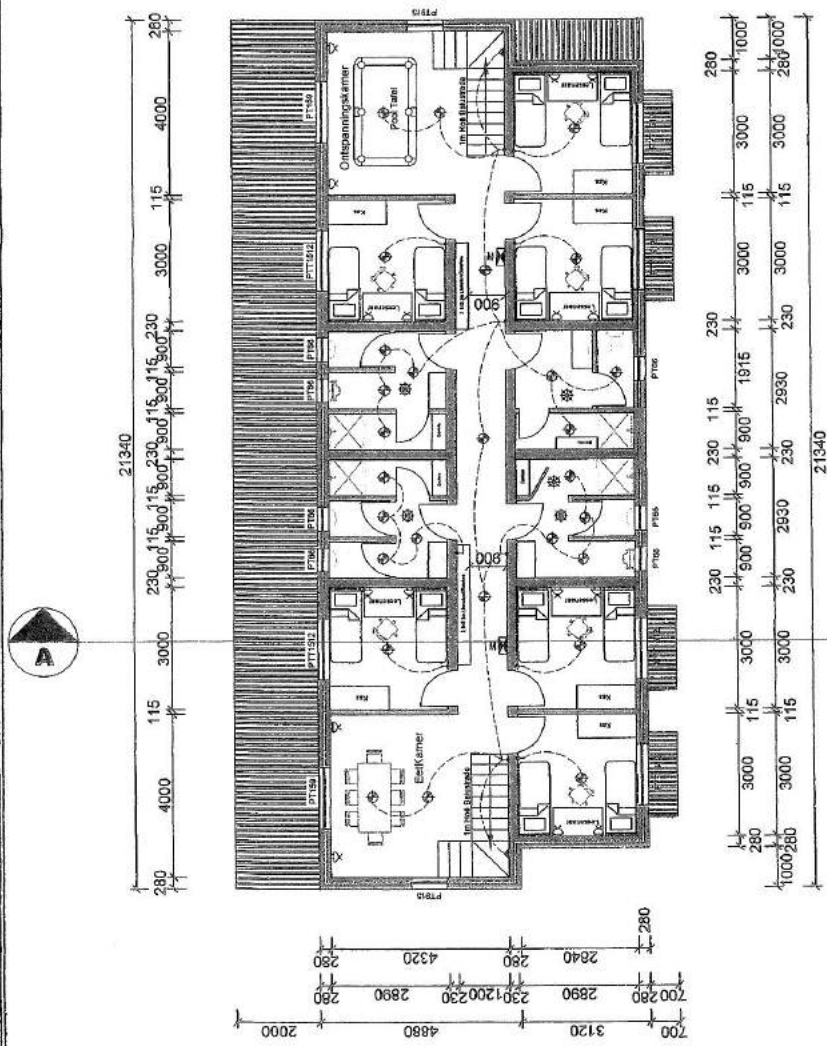
Plan nagaan deur : Datum :
 J.S. Gansbaai

OKUpasie SAANSIGKOD :
H15

Tekening : Eerste verdieping

Daal : Munisipale goedkeuring
 Projek#: 01/MC/10
 Skaal : 1:100
 Bladsy : 7 / 15

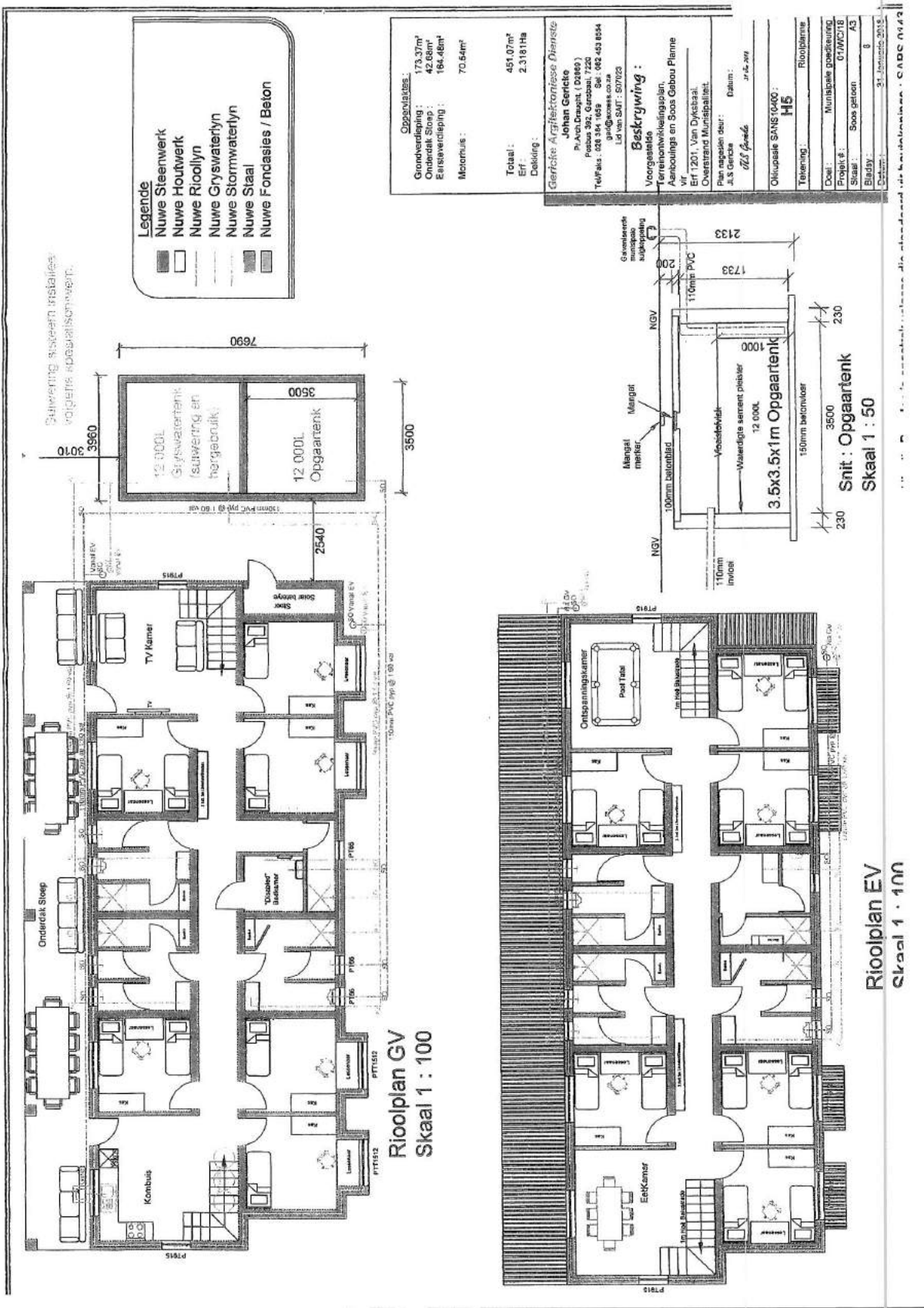
Bladsy : 7 / 15



Eerste verdiepingplan
 Skaal 1 : 100

Legende

- Nuwe Steneerwerk
- Nuwe Houtwerk
- Nuwe Ricooilyn
- Nuwe Gryswaterlyn
- Nuwe Stormwaterlyn
- Nuwe Staal
- Nuwe Fondasies / Beton



Legende

- Nuwe Steenwerk
- Nuwe Houtwerk
- Nuwe Roollynn
- Nuwe Gryswaterlynn
- Nuwe Stormwaterlynn
- Nuwe Staal
- Nuwe Fondasies / Beton

Opgaartenk

Onderdak Sleep : 173.37m²
 Ondaardek Sleep : 42.68m²
 Eensaarverkleping : 184.48m²
 Motorruim : 70.54m²

Totaal : 451.07m²
Erff : 2.3181Ha

Delting :

Gerichte Argitektoniese Dienste
Johan Gericks
 P.O. Box 1000 (1000)
 P.O. Box 392, Gariep, 7220
 Tel/Faks : 083 354 1659 / 083 354 8054
 jg@jgericks.co.za
 jg@jgericks.com
 Lof van S.M.T. : 507/23

Beskrywing :
 Voorgeselde
 Territoriumskingsplan,
 Aankouings en Boos Gebou Planne
 vir
 Erf 1201, Van Dykebaal,
 Oorstrand Munisipaliteit.
 Plan nagaan deur :
 J.S. Gericks
 Datum :
 21 Junie 2013

Oloopstap SANS 10400 : H5

Tekening : Rioolplanne

Doel : Munisipale goedereing

Projek nr. : C17W021B

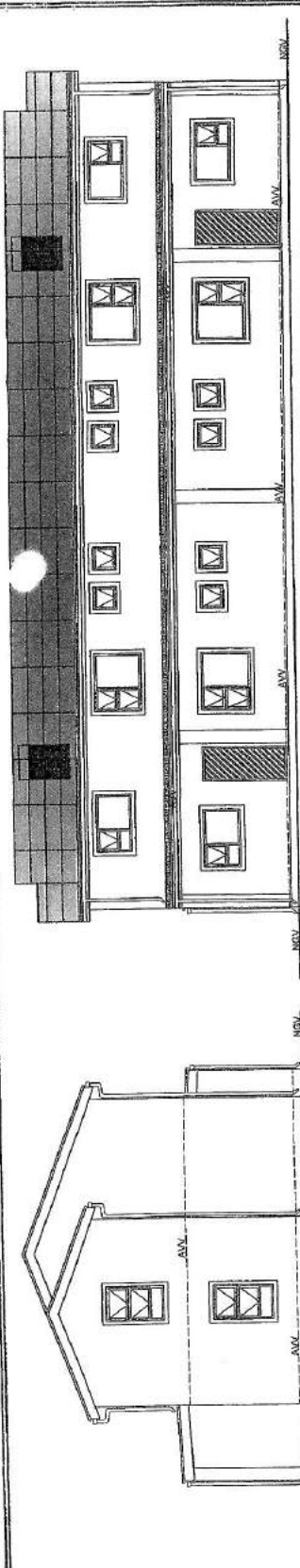
Skaal : Boos getroom A3

Bladsy : 8

Datum : 21 Junie 2013

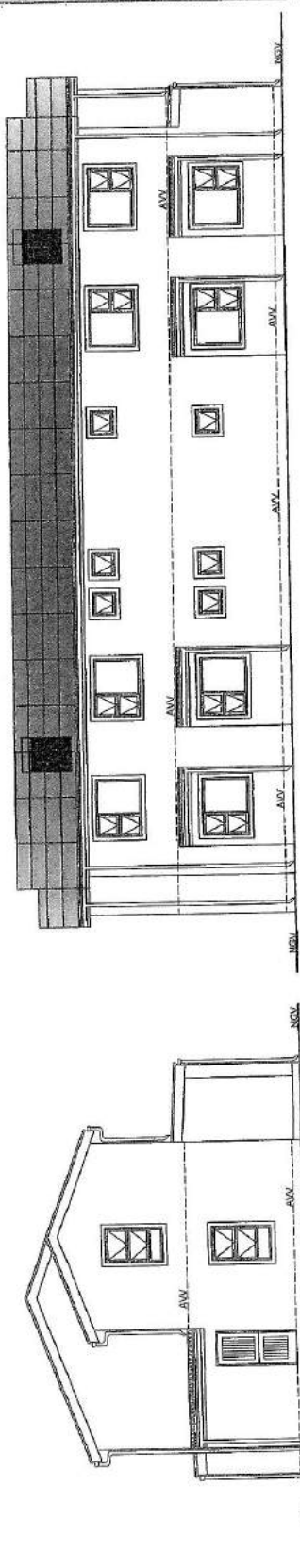
Rioolplan EV
 Skaal 1 : 100

Snit : Opgaartenk
 Skaal 1 : 50



Noordwes Aansig
Skaal 1 : 100

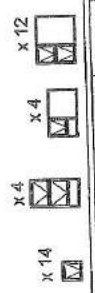
Noordwes Aansig
Skaal 1 : 100



Noordoos Aansig
Skaal 1 : 100

Suidwes Aansig
Skaal 1 : 100

Venster Skedule



Kode	PT916	PT160	PT1512
Maat	800x1200	1500x600	1500x1200
Oppervlakte	0.96m ²	1.35m ²	1.80m ²
Glaskleur	4mm	4mm	4mm
Profiel	Charcoal	Charcoal	Charcoal
Nota	Sien aanhangels A-Skema XA, versleutelings vir top jitsu, voorraan		
1000 Gals	Sien aanhangels A-Skema XA, versleutelings en maks 0.300/60m ² vir vaste glas geskedule		

150L Kwikot "Solar Water Heater" wat min 70% doeltreffend moet wees. Voldoen aan SANS 1307 en 10106. Installering gedoen volgens SANS 10254

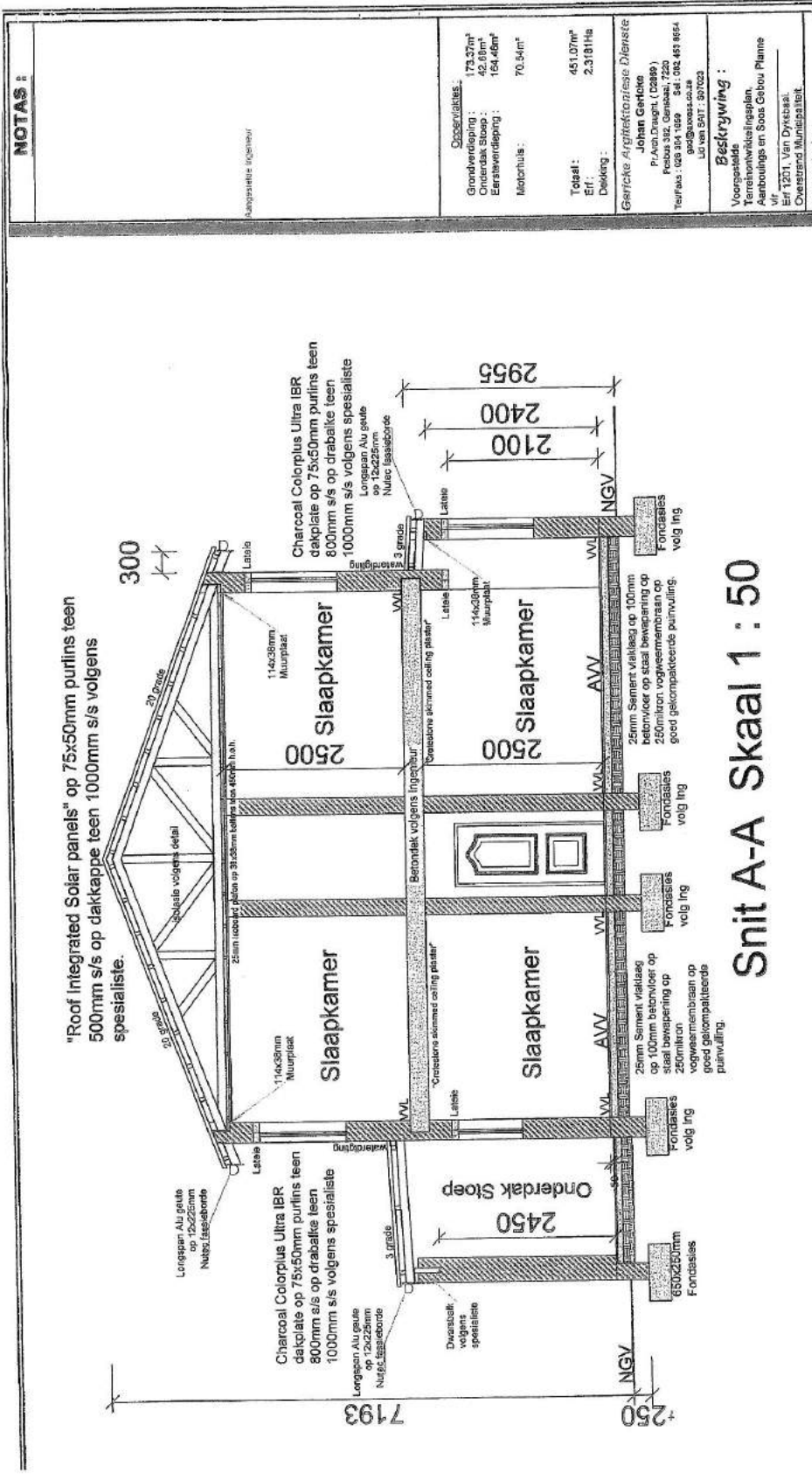
Gerrieke Architects & Interiors Diens
John Gerrieke
 Pr. Arch. Draught. (12886)
 P.O. Box 100, Sandton, Gauteng, S.A.
 Tel/Fax: 011 833 8141 / 8142. Sel: 082 483 8654
 ger@gerrieke.co.za
 Lid van SAT - S07923

Beskrywing :
 Voorgeselde
 Terreinontwikkelingsplan,
 Aanboulinga en Soa Gebou Planne
 vir
 Erf 1201, Van Dyckbaai,
 Oorstrand Munisipaliteit
 J.S. Gerrieke
 Plan ingesien deur : Datum :
 27.06.2011

Ontwerp volgens SANS 10254 :
H5
 Tekening : Aansigte en Skedule

Doel : Munisipale goedkeuring
 Projek # : D17/KC/
 Skaal : Soos geteken
 Bladsy : 9
 Datum : 31 Januarie 2011

Hierdie Bouplan is opgetrek volgens die standaard vir boutekeninge : SABS 014.



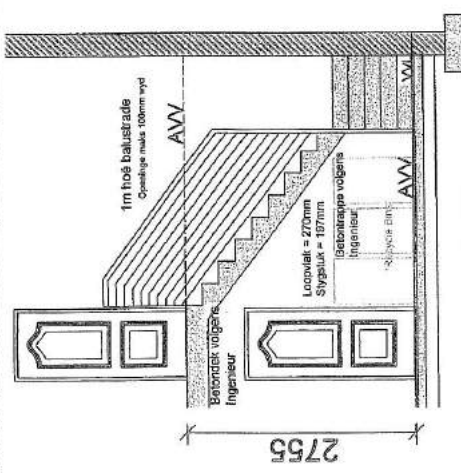
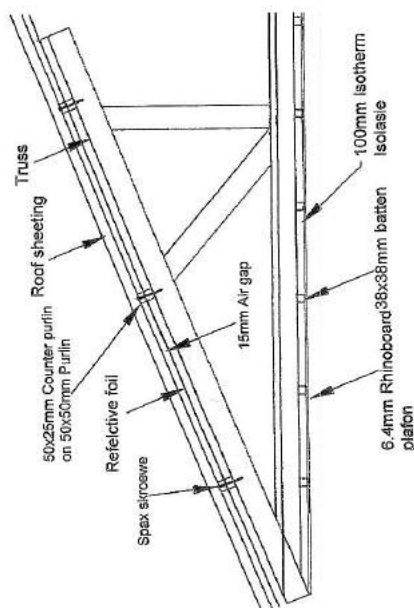
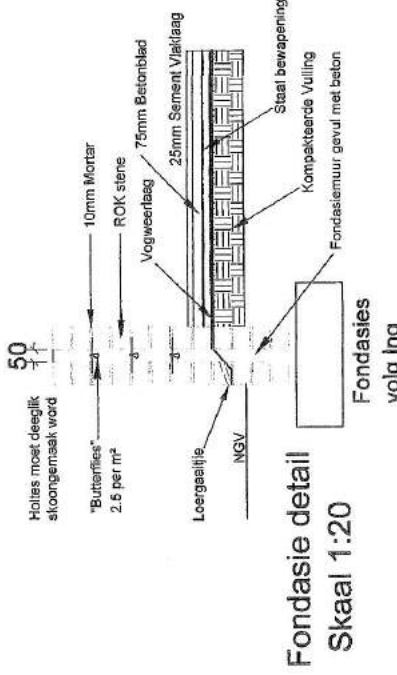
Health & Safety Risk:

1. Falling from height
2. Transport employees
3. Vehicle accident on road
4. Struck by falling object
5. Machinery
6. Electro shock
7. Falling materials
8. Utility work items
9. Dangerous substances
10. Load noise
11. Handcuffing

Site noted to be screened off from public entrance and no "Enter" signs to be displayed.
 All safety signs to be displayed on site.
 Safety books and hard hats to be provided.
 See Plan for details to approach Health & Safety Officer.

Snit A-A Skaal 1 : 50

NOTAS :	
Aanpassing ingenieur / Merit Architects Consulting	
Oppervlakte:	173,37m ² Grondverdieping : 42,88m ² Eerste verdieping : 184,48m ² Motorhuis : 70,54m ²
Totaal :	451,07m ²
Erft :	2,318 Hs
Dakting :	
Gerelateerde Arhitektuurklasse Dienste	
John Centile Pr. Arch. Design. (120888) Postbus 302, Garankens, 7220 Telf: 041 384 1159 Fax: 041 384 8854 post@johns.co.za 10 van SAT : 2002	
Beskrywing : Voorgeselsde Terreinontwikkelingsplan, Aanbouwe en Soos Gebou Planne vir Erft 1201, Van Dykesdal, Oos-Strand Munisipaliteit. Plan nagaan deur : T.S. Gertse M.A. Swick Pr. A. van Datum : Pr. A. van	
Okupasie SANS10400 : H5	
Tekening : Detail	
Doel :	Munisipale goedkeuring
Projek # :	01WCD1
Skaal :	Soos getoon
Bladsy :	11
Geteken :	Pr. A. van



Muur R - Waarde Berekening :

1. Dubbel ry stene met 50mm "Cavity" gepleister albei kante voldoen aan SANS10400 XA.

Dak Isolاسie :

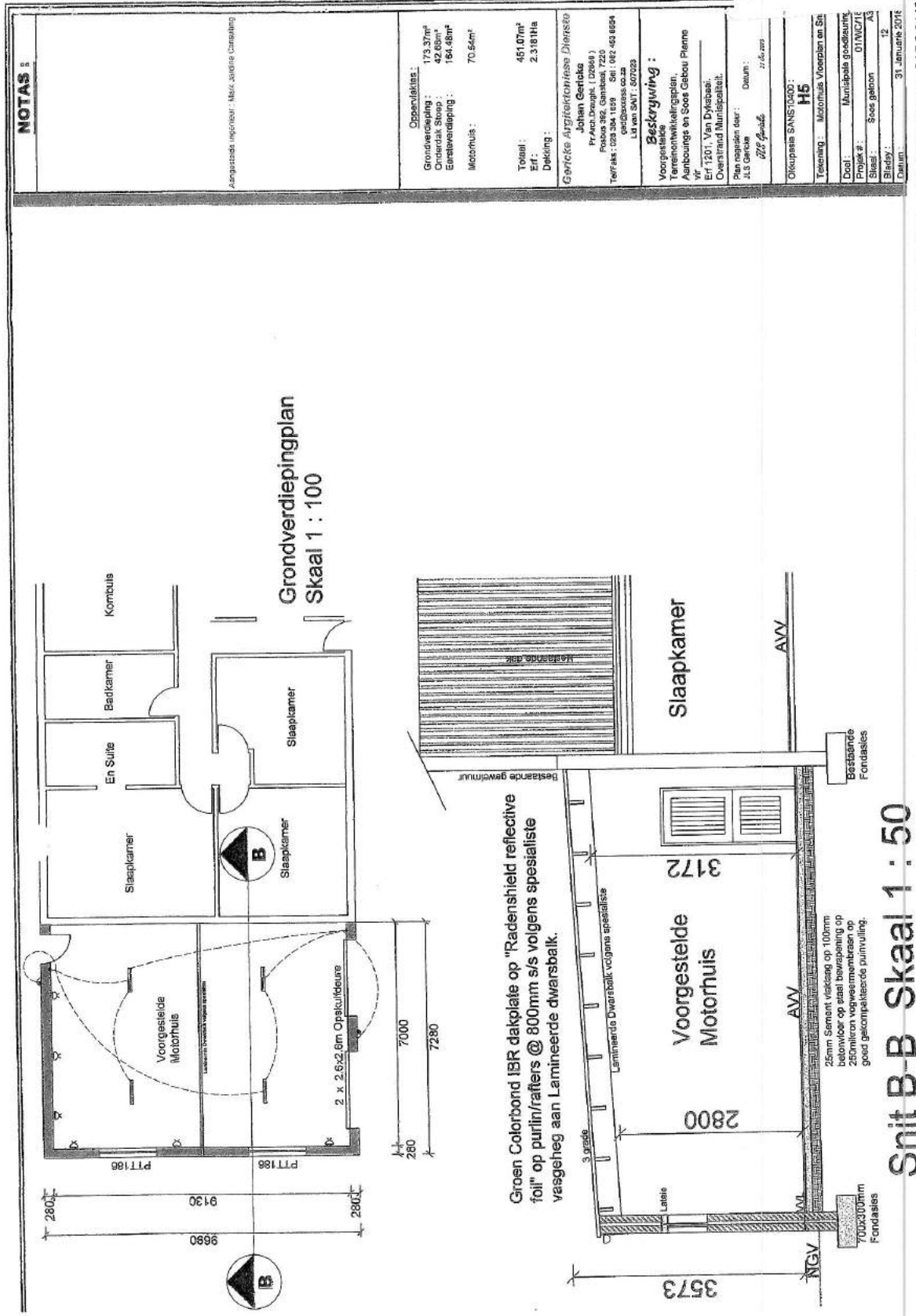
Skillion Roof 2 to 12° pitch with horizontal ceiling and metal cladding

Outdoor air film (7m/s)	0.03
Metal cladding	0.00
Roof air space (non-reflective)	0.18
Rhinoboard (8.4 mm)	0.06
Indoor air film (tall atr)	0.11
Total R-value	0.38

Rigting van vici van hite vir sons 4 : Op
Min R-waarde benodig : 3.7
Dak soos hierno R-waarde = 0.38
"Redensheid reflective foil lammais" : R-waarde = 1.36
R van isolasie = 1.36 - 1.36 = 1.96 (nodig vir isolasie)
R van isolasie = 1.96 x 0.046W/m.K (SANS204 Table 10)
R = 0.090
Dus "100mm Isotherm" isolasie nodig.

Deure Seel :

Suita deur : Voorzien rubber seels rondom deur kosyn waar deur en kosyn ontmoet.



NOTAS :

Aangestelde Ingenieur : Muz. Jakhara Consulting

Oppervlakktes :
 Grondverdieping : 173,37m²
 Oriëntasie Slaap : 42,60m²
 Oriëntasie Badkamer : 191,46m²
 Motorhuis : 70,54m²

Totaal : 461,07m²
 Erf : 2,3181Ha
 Deking :

Gerieke Arhitektuur/Rea Dienste
Johan Gerike
 Pracet Draught (P0884)
 Fosbus 382, Gantshoof, 7220
 Tel/Faks : 024-304-1109 Sni : 062-465-8094
 E-pos : jg@draught.co.za
 LK van SAAT : 5070283

Beskrywing :
 Voorgestelde
 Terenontwikkelingsplan
 vir
 Verbouing en Soos Gebou Planne
 Erf 1201, Van Dykstraat,
 Oosstrand Munisipaliteit.

Plan nagaan deur :
 1:5 GVS
 22/10/2015
 Datum : 22/10/2015

OKupasie SANS10400 :
H5

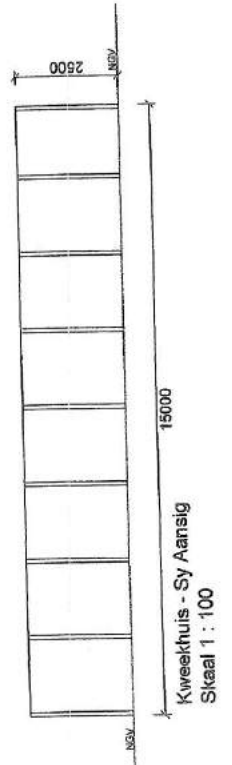
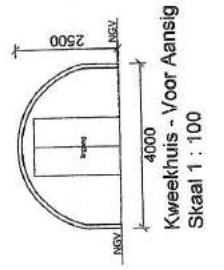
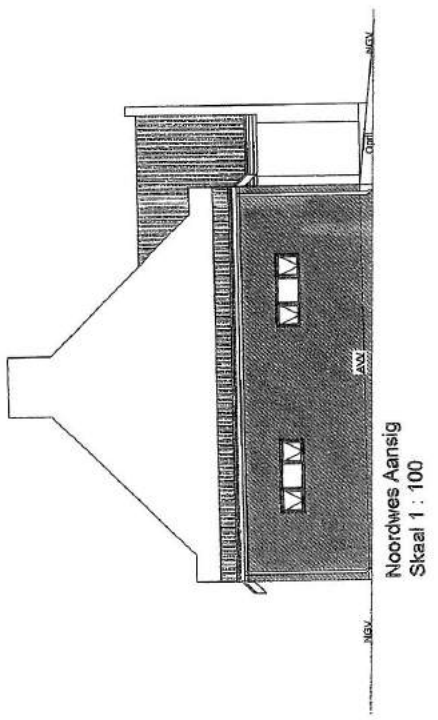
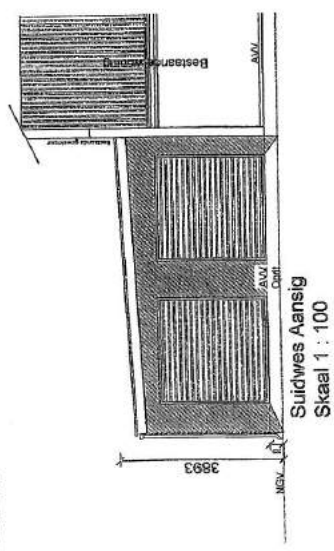
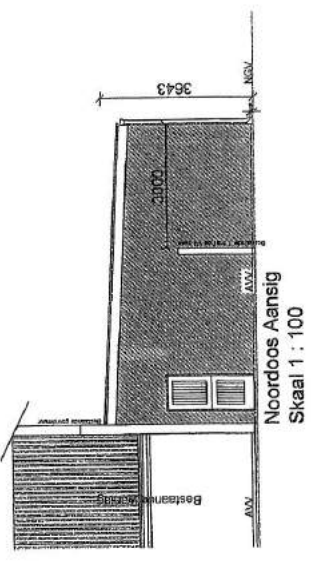
Tekening : Motorhuis, Vloerplan en Sn
 Doel : Munisipale goedkeuring
 Projek # : 011N/C/1/E
 Bladsy : Soos getoon
 13
 Bladsy : 12
 Datum : 31 Januarie 2016

Groen Colorbond IFR dakplate op "Radenshield reflective foil" op purin/ratlers @ 800mm s/s volgens spesifisatie vasgeheg aan Lamineerde dwarsbalk.

25mm Sement vleslag op 100mm betonvloer op staal bewapening op 250mm beton vleslagmembraan op goed geïmpakteerde puinvulling.

Snit B-B Skaal 1 : 50

NOTAS :	
Aardsewerke Internette, Niek-Jarobes Consulting	
Opmerkings:	
Gronverdieping :	172,37m ²
Onderdak Sleep :	4,6m ²
Enslaverdieping :	154,48m ²
Motorshuis :	70,54m ²
Totaal :	451,07m²
Erf :	2,3181Ha
Dekking :	
Geriefke Argitektoniese Dienste	
Johan Gerike	
P. Arch. Draught. (Draeg)	
Pudua 382, Giesels, 7250	
Telf: 051 433 8854	
E-pos: jgerike@arcad.co.za	
Lid van SAAT : 577029	
Bestrywing :	
Voorgesels	
Tegnontwikkelings	
Aanbouers en Soos Gebou Piens	
Erf 1201, Van Dykesaal,	
Lieserstrand, Munisipaliteit	
Plan verskaf deur :	Datum :
J.S. Gerike	11.12.2018
Okkupante SANS 10400 :	
H5	
Tekening :	Motorshuis Aansig
Doel :	Munisipale goewas
Projek # :	01/MCT
Skaal :	Soos getoon
Bladsy :	13
Datum :	31 Januarie 2018



NOTAS!

Nota 1: Die verspreiding van die produkte moet soos volg wees:

Nota 2: Die verspreiding van die produkte moet soos volg wees:

Nota 3: Die verspreiding van die produkte moet soos volg wees:

Nota 4: Die verspreiding van die produkte moet soos volg wees:

Nota 5: Die verspreiding van die produkte moet soos volg wees:

A' - Binding Notes

Plaas: 5,4mm Rhoonband gehêg aan 38mm SA. Dit lute teen 450mm h.o.h.

Roof: 100mm dik, 100mm breed, 100mm hoog. Dit moet teen 100mm dik, 100mm breed, 100mm hoog wees.

Wand: 100mm dik, 100mm breed, 100mm hoog. Dit moet teen 100mm dik, 100mm breed, 100mm hoog wees.

Deure: 100mm dik, 100mm breed, 100mm hoog. Dit moet teen 100mm dik, 100mm breed, 100mm hoog wees.

Wand: 100mm dik, 100mm breed, 100mm hoog. Dit moet teen 100mm dik, 100mm breed, 100mm hoog wees.

Roof: 100mm dik, 100mm breed, 100mm hoog. Dit moet teen 100mm dik, 100mm breed, 100mm hoog wees.

Wand: 100mm dik, 100mm breed, 100mm hoog. Dit moet teen 100mm dik, 100mm breed, 100mm hoog wees.

Nota 1

Nota 1: Die verspreiding van die produkte moet soos volg wees:

Nota 2: Die verspreiding van die produkte moet soos volg wees:

Nota 3: Die verspreiding van die produkte moet soos volg wees:

Nota 4: Die verspreiding van die produkte moet soos volg wees:

Nota 5: Die verspreiding van die produkte moet soos volg wees:

Nota 2

Nota 2: Die verspreiding van die produkte moet soos volg wees:

Nota 3: Die verspreiding van die produkte moet soos volg wees:

Nota 4: Die verspreiding van die produkte moet soos volg wees:

Nota 5: Die verspreiding van die produkte moet soos volg wees:

Nota 3

Nota 3: Die verspreiding van die produkte moet soos volg wees:

Nota 4: Die verspreiding van die produkte moet soos volg wees:

Nota 5: Die verspreiding van die produkte moet soos volg wees:

Nota 4

Nota 4: Die verspreiding van die produkte moet soos volg wees:

Nota 5: Die verspreiding van die produkte moet soos volg wees:

Nota 5

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 6

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 7

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 8

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 9

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 10

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 11

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 12

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 13

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 14

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 15

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 16

Material	Applicability	Minimum	Maximum
I	10	100	100
II	9	100	100
III	1,5	100	100

Nota 17: Die verspreiding van die produkte moet soos volg wees:

Nota 18: Die verspreiding van die produkte moet soos volg wees:

Nota 19: Die verspreiding van die produkte moet soos volg wees:

Nota 20: Die verspreiding van die produkte moet soos volg wees:

Nota 21: Die verspreiding van die produkte moet soos volg wees:

Nota 22: Die verspreiding van die produkte moet soos volg wees:

Nota 23: Die verspreiding van die produkte moet soos volg wees:

Nota 24: Die verspreiding van die produkte moet soos volg wees:

Nota 25: Die verspreiding van die produkte moet soos volg wees:

Nota 26: Die verspreiding van die produkte moet soos volg wees:

Nota 27: Die verspreiding van die produkte moet soos volg wees:

Nota 28: Die verspreiding van die produkte moet soos volg wees:

Nota 29: Die verspreiding van die produkte moet soos volg wees:

Nota 30: Die verspreiding van die produkte moet soos volg wees:

Nota 31: Die verspreiding van die produkte moet soos volg wees:

Nota 32: Die verspreiding van die produkte moet soos volg wees:

Nota 33: Die verspreiding van die produkte moet soos volg wees:

Nota 34: Die verspreiding van die produkte moet soos volg wees:

Nota 35: Die verspreiding van die produkte moet soos volg wees:

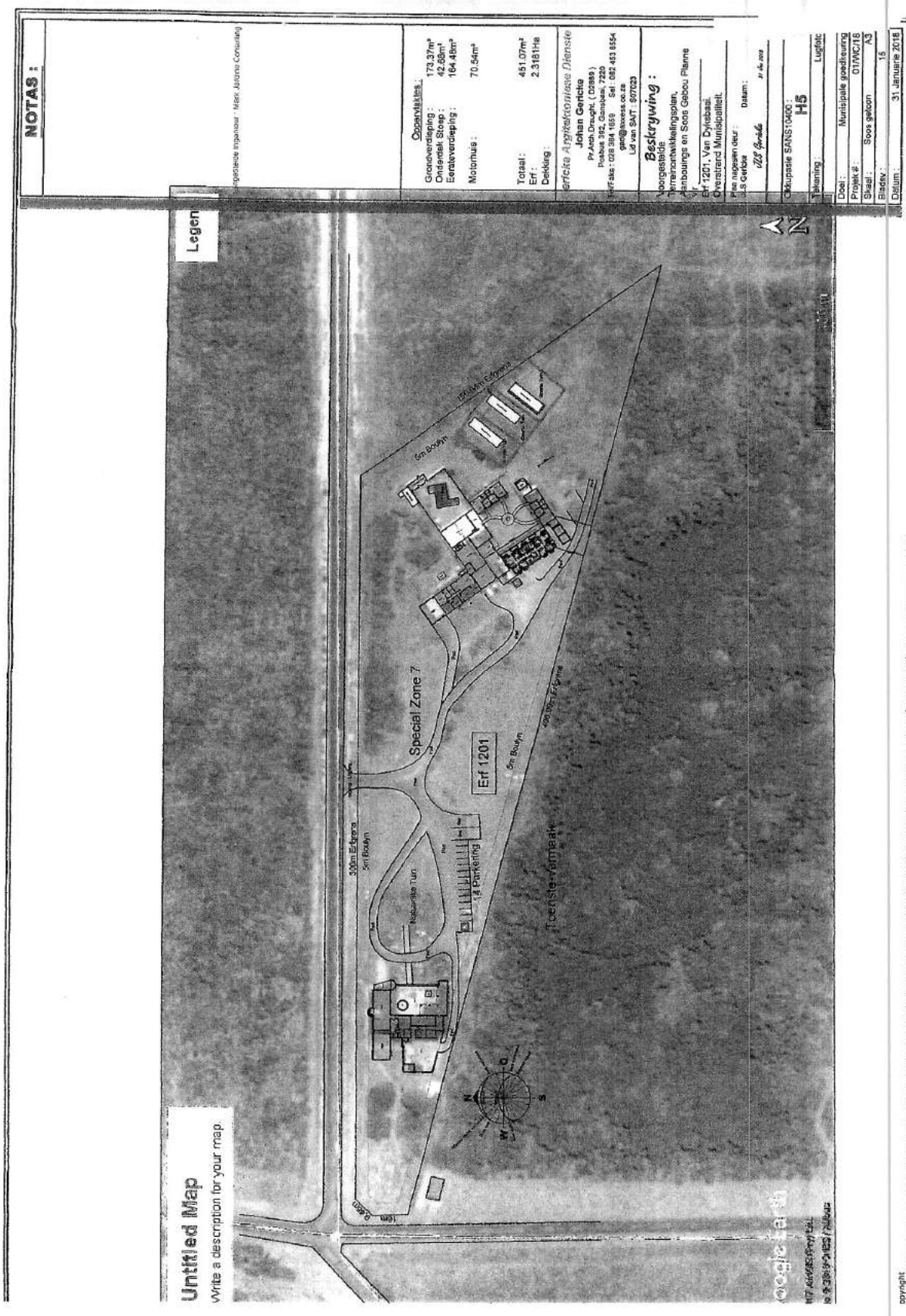
Nota 36: Die verspreiding van die produkte moet soos volg wees:

Nota 37: Die verspreiding van die produkte moet soos volg wees:

Nota 38: Die verspreiding van die produkte moet soos volg wees:

Nota 39: Die verspreiding van die produkte moet soos volg wees:

Nota 40: Die verspreiding van die produkte moet soos volg wees:



Untitled Map
Write a description for your map.

Legen

NOTAS :

ingestade ingenieur / Ingek. Altono Consulting

Oopstellings:
 Grondverwagting : 173,37m²
 Onderdak Streeklengte : 12,08m
 Erastoverheping : 164,40m²
 Motorhuis : 70,54m²

Totaal : 451,07m²
 Erf : 2,3181Ha
 Dekking :

Gerichte Aangekondigings Dienste
Johan Gercke
 Pr. Aco Draught. (Draeg)
 Pr. Aco Draught. (Draeg)
 392, Comsaat, 720
 Erfstas : 020 520 4200 / 020 443 8554
 e: joh@aco.co.za
 Lof van SMT: 507020

Bestrywing :
 Aangegondigingsdienste
 Aangegondigingsdienste
 Aangegondigingsdienste
 Aangegondigingsdienste
 Erf 1201, Van Dykstraat
 Owerstrand Munisipaliteit.

Plan nagaan deur :
 J.S. Gercke Datum : 27.04.2018

Okupante SANS 10400 :
H5

Tekening :
 Lugfoto

Doel :
 Munisipale goedkeuring

Projek :
 011MCT16

Skalaal :
 Soos getoon

Blad :
 A3

Datum :
 31 Januarie 2018

Copyright © 2018 Google LLC. All rights reserved. This is a reproduction of the original image. Google is not responsible for any errors or omissions in this reproduction. Google is not responsible for any damages or losses resulting from the use of this reproduction.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & AMENDMENT OF SITE DEVELOPMENT
PLAN: ERF 1201, VAN DYKSBAAI (4008)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that in the case of solar energy system, No electricity is to be fed back into the Municipal grid. Should we find that electricity is put onto our Municipal grid from the client's installation, tampering fines will be issued as per our Electricity supply bylaw and approved municipal tariffs. Application for Small Scale Embedded Generation will also need to be made should the installation have any need to feed back into the Municipal grid;
4. that the developer investigate and determine the limitation of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – p: 2010: Drainage;
5. that any additional and / or extended vehicle entrances will be for the developer's account;
6. that stormwater be allowed to discharge through Erf 1201, Van Dyksbaai, unobstructed;
7. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

15 | 10 | 2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

6. ERF 2027, 7 THIRD AVENUE, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS WRAP CONSULTANCY ON BEHALF OF THE GUY KRIGE TRUST

2027 HVK (4025)

H Boshoff

(028) 313 8900

Hermanus Administration

18 February 2019

Executive Summary

An application, applicable to Erf 2027, Hermanus for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 25 May 2018 from Messrs WRAP Consultancy on behalf the Guy Krige Trust to relax the western lateral building line from 2m to 1,2m in order to accommodate two (2) new bedrooms and a bathroom at first floor level of the existing dwelling.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 2027, Hermanus in order to relax the western lateral building line from 2m to 1,2m to accommodate two (2) new bedrooms and a bathroom at first floor level of the existing dwelling, **be approved** in terms of the provisions of Section 61 of the By-Law subject to the following conditions:
 - (a) that the approval is only for the dimensions as per plan numbers A104; A105 and A106 dated 25 September 2018, as well as A102 and A103 dated 4 October 2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department and that all conditions of the Building Department and Fire Services be complied with at that stage;
 - (c) that the applicable conditions of Engineering Services and Telkom, be complied with;
 - (d) that all other development parameters as set out in the Zoning Scheme be complied with, and
 - (e) that the above approvals do not exempt the landowner from compliance with any other applicable legislation.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

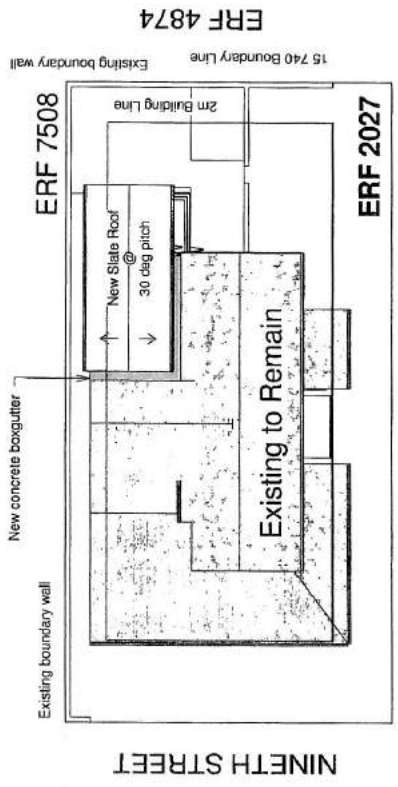


OVERSTRAND
MUNICIPALITY

Erf 2027 HVK

Date: 2018-06-05

Coverage Calculation:
 Site Area = 500 sq.m
 Existing Ground floor = 207 sq.m
 Area of Additions = 13 sq.m
 Total Proposed Ground Floor = 220 sq.m
 Total Existing First floor = 100 sq.m
 Area of Additions = 40.5 sq.m
 Total Proposed First Floor = 140.5 sq.m
 Total proposed addition = 83.5sqm
 Total coverage: 220sqm
 % Coverage = 40% of 500sqm site



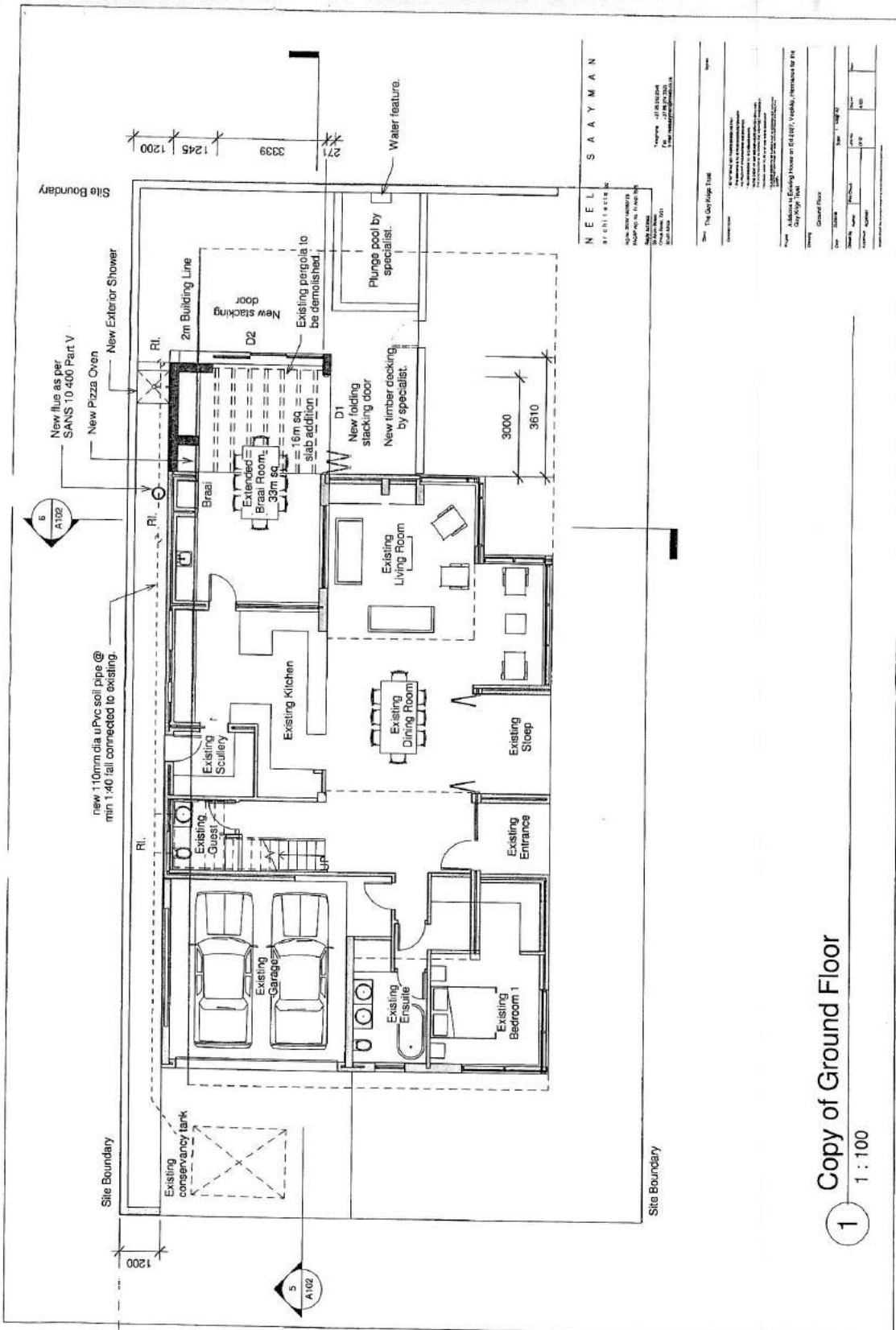
NEEL S A Y M A N
 ARCHITECT
 200A KENNEDY
 SYDNEY NSW
 2008
 Phone: 02 9550 1234
 Fax: 02 9550 1234
 Email: neel@neelsayman.com.au

Client: The City of Sydney
Project: [Blank]
Site: [Blank]
Scale: 1:500

Address: 31 48a Boundary Line
City: Sydney
State: NSW
Postcode: 2008

Date: [Blank]
Drawn by: [Blank]
Checked by: [Blank]

1 Copy of Site
 1 : 200



NEEL SAAYMAN
ARCHITECTS

91-9200 6990/9
ARCADE 10, TRINITY DRIVE
SUNNINGDALE, JOHANNESBURG
2156

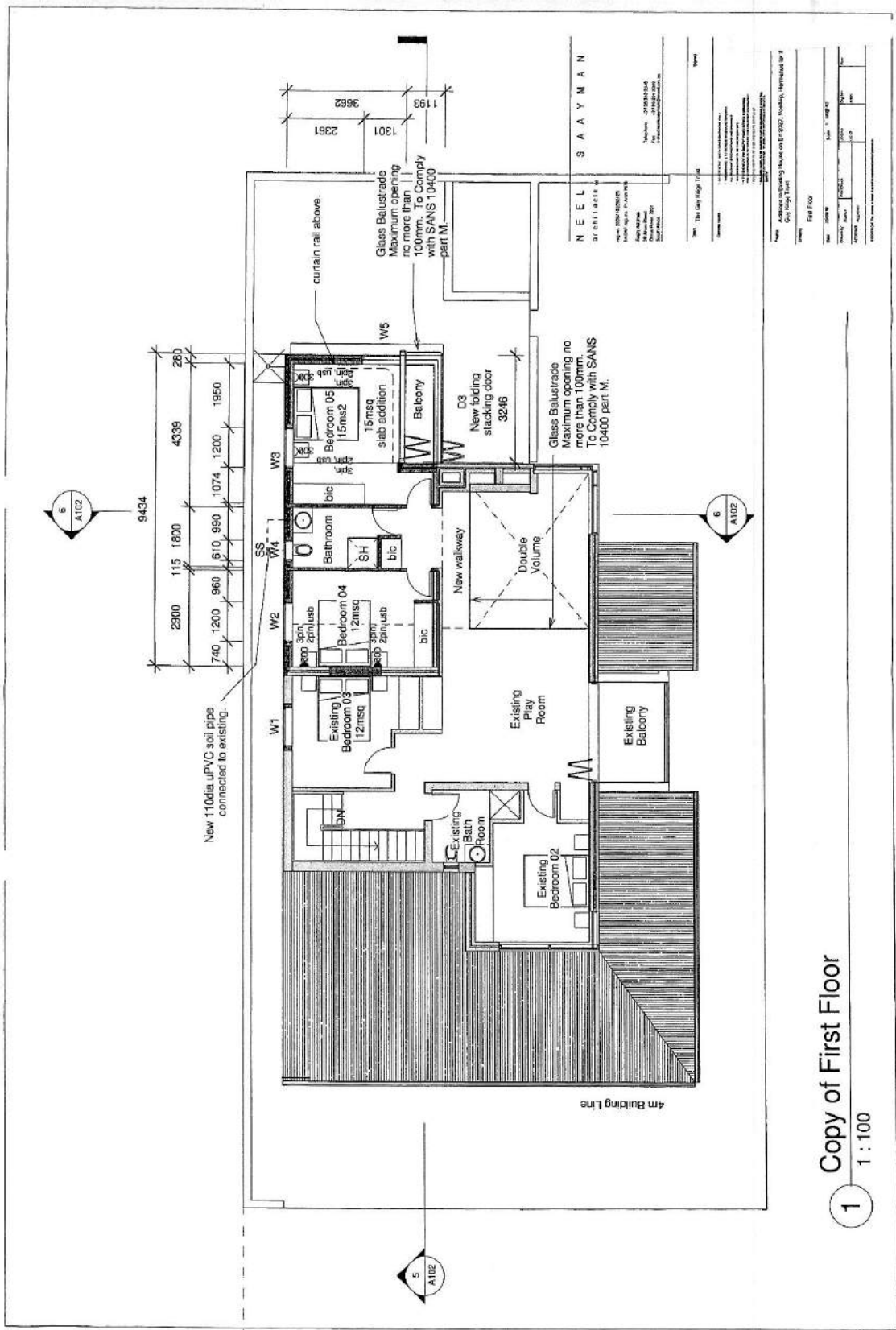
Phone : 011 864 6197
Fax : 011 864 6198

Project :
Drawing No :
Client :
Scale : 1:100

Approved for the Client
Approved for the Architect

Sheet No	1 of 1
Date	15/07/21
Author	AS
Checker	AS
Drawn	AS
Scale	1:100

1 Copy of Ground Floor
1 : 100

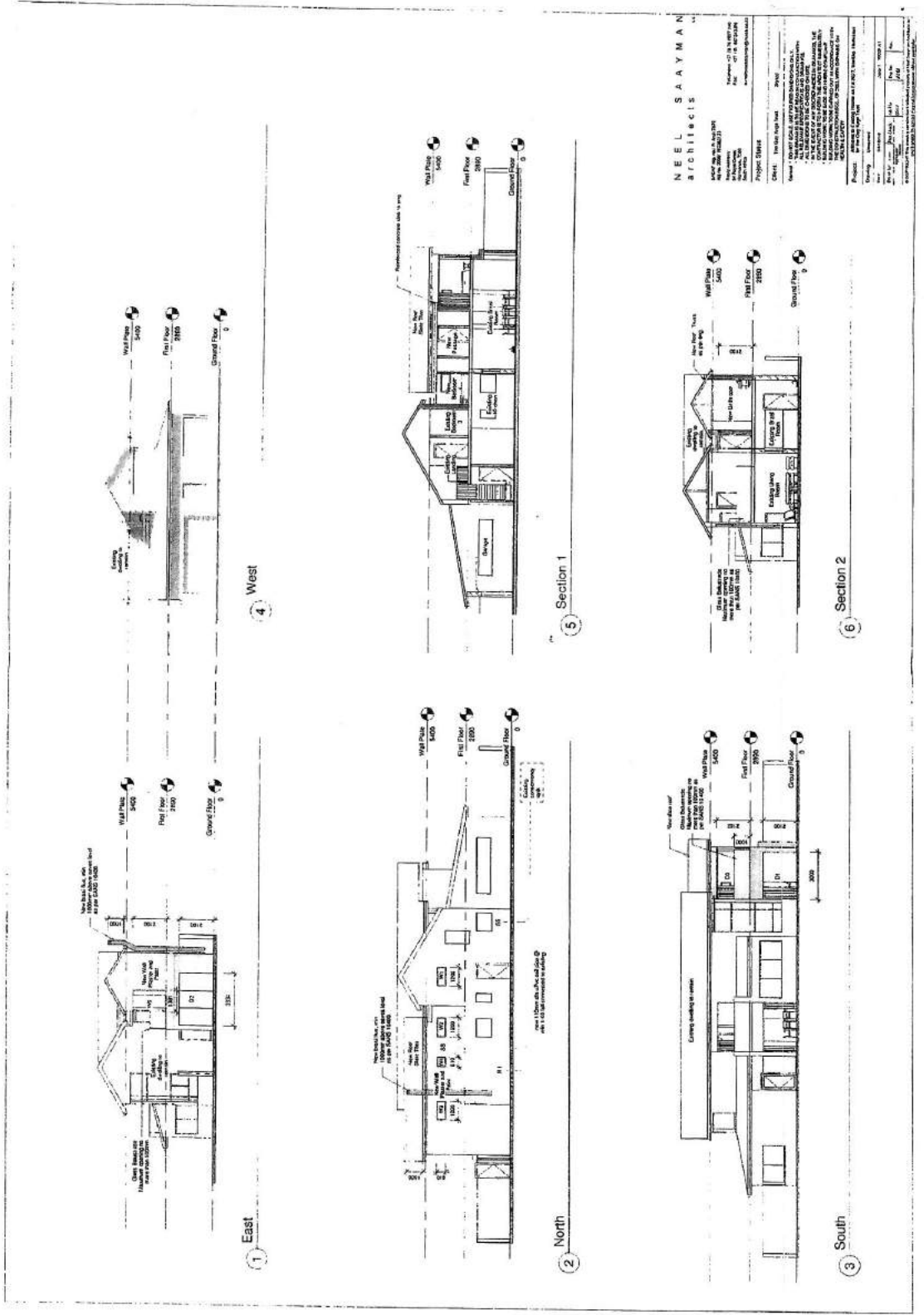


NEEL S A Y M A N
 ARCHITECT
 2000-2001
 2002-2003
 2004-2005
 2006-2007
 2008-2009
 2010-2011
 2012-2013
 2014-2015
 2016-2017
 2018-2019
 2020-2021
 2022-2023
 2024-2025

Project: The City Ridge Project
 Date: 11/08/24
 Scale: 1:100
 Drawn: [Name]
 Checked: [Name]
 Approved: [Name]

Notes:
 1. All dimensions are in millimeters unless otherwise stated.
 2. Refer to the architectural specification for material and finish details.
 3. All work to be done in accordance with the relevant South African standards and regulations.
 4. The contractor is responsible for obtaining all necessary permits and approvals from the relevant authorities.
 5. The client is responsible for providing access to the site and utilities.

1 Copy of First Floor
 1 : 100



NEEL SAAYMAN ARCHITECTS

1001 10th Street, Suite 100
 Cape Town, 8001
 Tel: +27 (0) 21 461 1111
 Fax: +27 (0) 21 461 1112
 Email: info@neelsaayman.co.za
 Website: www.neelsaayman.co.za

Project Details

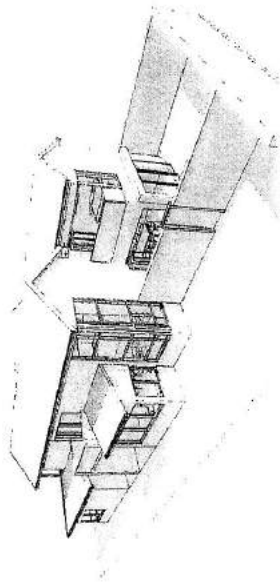
Client: [Redacted]
 Architect: [Redacted]
 Date: [Redacted]

Notes

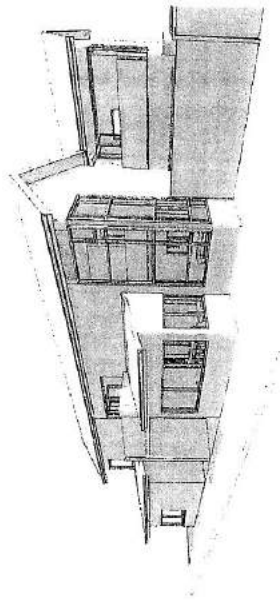
1. All drawings are in accordance with the approved plans and specifications.
 2. All dimensions are in millimeters unless otherwise stated.
 3. All materials are to be of the highest quality and must be approved by the relevant authorities.
 4. All work must be done in accordance with the relevant building codes and regulations.
 5. All drawings are subject to change without notice.

Project Information

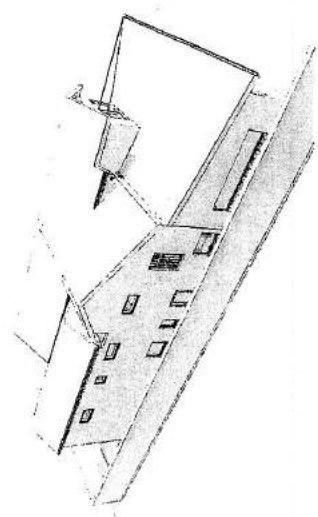
Project Name: [Redacted]
 Project Number: [Redacted]
 Project Location: [Redacted]
 Project Start Date: [Redacted]
 Project End Date: [Redacted]



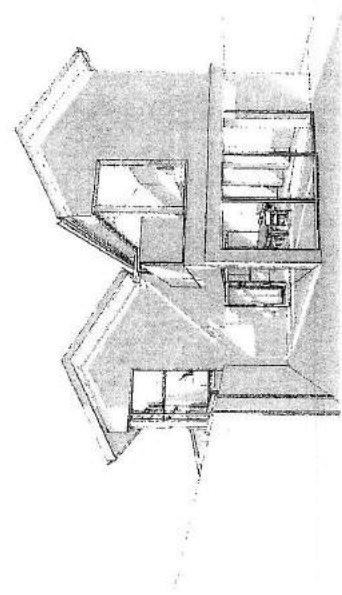
1 3D View 1



3 3D View 3



2 3D View 2



4 3D View 4

NEEL SAAYMAN
ARCHITECTS

10001 16th Ave S, Suite 100
 Golden, CO 80401
 Phone: 303.440.1100
 Fax: 303.440.1101
 www.neelsaayman.com

Project Status

Client:	See Site Plan	Phase:	Phase 1
Project:	See Site Plan	Location:	See Site Plan
Architect:	See Site Plan	Scale:	1/8" = 1'-0"
Designer:	See Site Plan	Date:	10/10/11
Checker:	See Site Plan	Sheet:	01.01
Printer:	See Site Plan	Scale:	1/8" = 1'-0"

© 2011 Neel Saayman Architects. All rights reserved. No part of this document may be reproduced without written permission from Neel Saayman Architects.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2027, VOELKLIP (1025)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 2027, Voelklip, unobstructed;
5. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**7. PORTIONS 171 AND 172 (PORTIONS OF PORTION 80) OF THE FARM
AFDAKS RIVIER NO. 575, BENGUELA COVE, OVERSTRAND MUNICIPAL
AREA: PROPOSED CONSOLIDATION: MESSRS PLAN ACTIVE ON
BEHALF OF THE DIESSNER FAMILY TRUST**

HBENG 171 & 172/575 (4149)

H Olivier

(028) 313 8900

Hermanus Administration

25 January 2019

Executive Summary

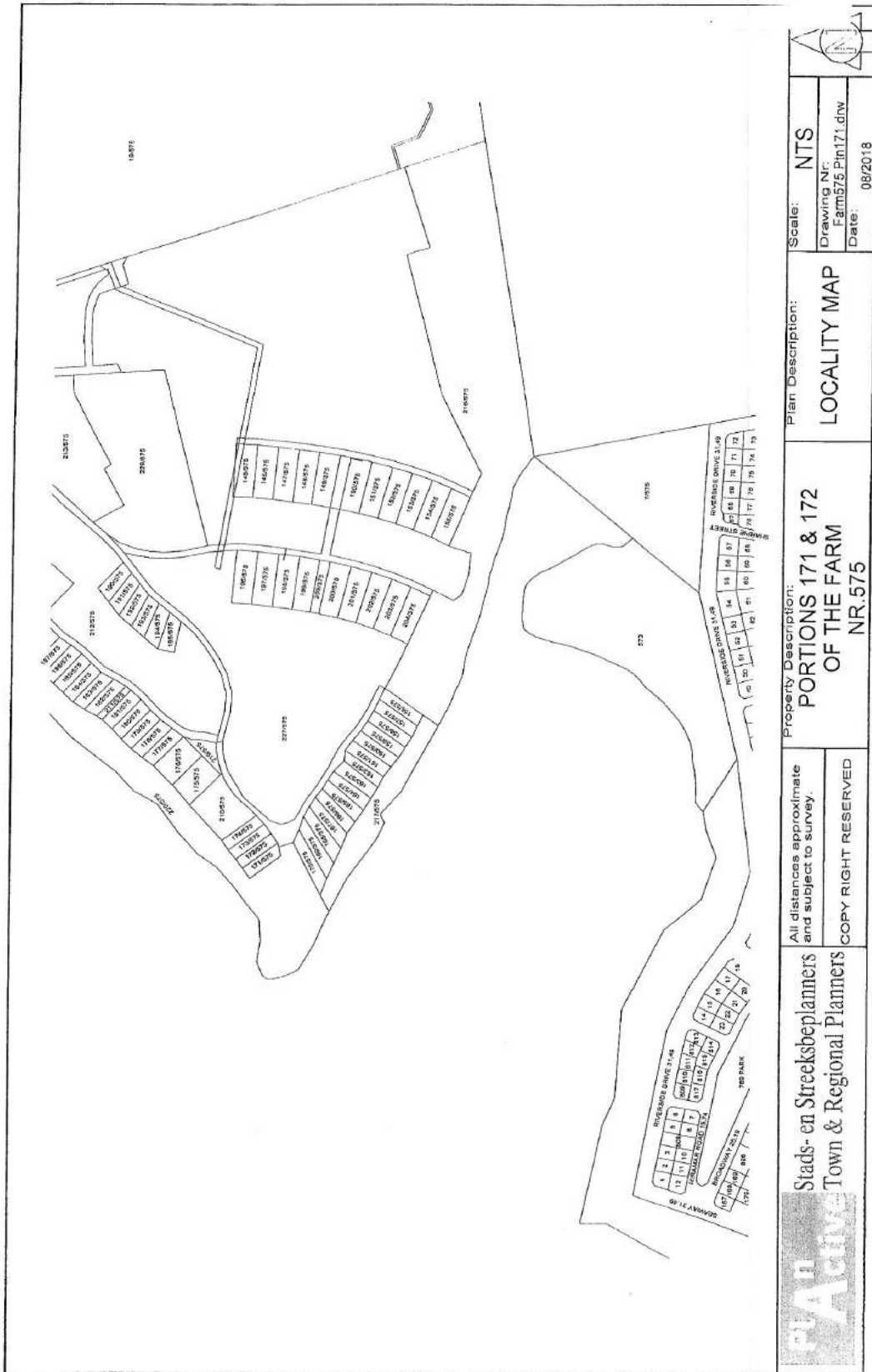
An application has been received on 27 August 2018 from Messrs Plan Active on behalf of the Diessner Family Trust on Portions 171 and 172 (Portions of Portion 80) of the farm Afdaks Rivier No 575 (Benguela Cove) for consolidation in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate the two (2) residential erven to create a new erf of 3679m².

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(e) to consolidate Portions 171 and 172 of the farm Afdaks Rivier No. 575 (Benguela Cove), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on undated plan surveyed August 2018, submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme and Benguela Cove Urban Architectural Design Controls, be complied with;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that the building zone within the erf boundary be to the satisfaction of the Benguela Cove Home Owners Association at building plan submission phase, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (f) that all the conditions of Telkom, be complied with.
- 2. that the applicant be notified of the right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Scale: **NTS**
 Drawing Nr: **Farm575.Pm171.dwg**
 Date: **08/2018**

Plan Description:
LOCALITY MAP

Property Description:
**PORTIONS 171 & 172
 OF THE FARM
 NR. 575**

All distances approximate
 and subject to survey.
COPY RIGHT RESERVED

FLAN Active
 Stads- en Streeksbeplanners
 Town & Regional Planners

VAN DYK & Associales Inc. (V18452)

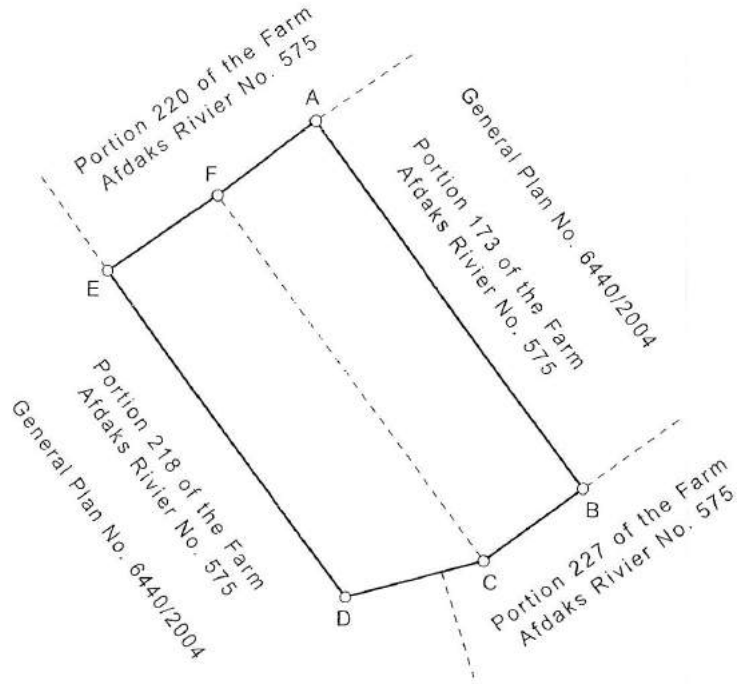
Components:

- 1. The figure ABCF represents Portion 172 of the Farm Afdaks Rivier No. 575 Vide GP. No. 6440/2004
- 1. The figure CDEF represents Portion 171 of the Farm Afdaks Rivier No. 575 Vide GP. No. 6440/2004

SG No.

Approved

for
SURVEYOR-
GENERAL



Scale : 1 / 1 000



The figure ABCDEF represents 3670 square metres of land ,being
PORTION 246 OF THE FARM AFDAKS RIVIER No. 575
(comprising 1 and 2 as above)

situate in the Overstrand Municipality
Administrative District of Caledon
Western Cape Province
Compiled in August 2018

LA van Dyk
Professional Land Surveyor
Registration Number: PLS 1069

This Diagram is annexed to No.

The original diagrams are as indicated above

File:
S.R. No. Compiled
GP SG No. 6440/2004
Comp AI-3A (3342)
AI-3ADC (3350)
LPI No. C0130000

Registrar of Deeds

The Farm 575/246 Caledon

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: PORTION 171 & 172 / 575, BENGUELA
COVE (4149)**

Stormwater (SW) : No services available
Electricity : Eskom Area
Water : No services available
Sewer : In order
Roads and traffic : In order

Conditions

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (water affairs, health, etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality;
4. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs, and WC DOT & DW;
5. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 5.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 5.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 5.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
6. that any additional cost related to the upgrading of bulk civil services will be for the developer's account.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

8. PORTIONS 132 AND 244 (PORTIONS OF PORTION 80) OF THE FARM AFDAKS RIVIER NO. 575, BENGUELA COVE, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSOLIDATION: MESSRS WRAP ON BEHALF OF K OSWALD-DIESEL

HBENG 132 & 244/575 (4209)

H Olivier

(028) 313 8900

Hermanus Administration

25 January 2019

Executive Summary

An application has been received on 18 July 2017 from Messrs WRAP on behalf of K Oswald-Diesel on Portions 132 and 244 (Portions of Portion 80) of the farm Afdaks Rivier No 575 (Benguela Cove) for consolidation in terms of Section 16(2)(e) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to consolidate the two (2) residential erven to create a new erf of 5535m².

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(e) to consolidate Portions 132 and 244 of the farm Afdaks Rivier No. 575 (Benguela Cove), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the consolidation as indicated on an undated submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme and Benguela Cove Urban Architectural Design Controls, be complied with;
 - (d) that all the conditions in the Services Report, be complied with, and
 - (e) that the building zone within the erf boundary be to the satisfaction of the Benguela Cove Home Owners Association at building plan submission phase.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant be notified of the right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

Plan 1: Locality Plan

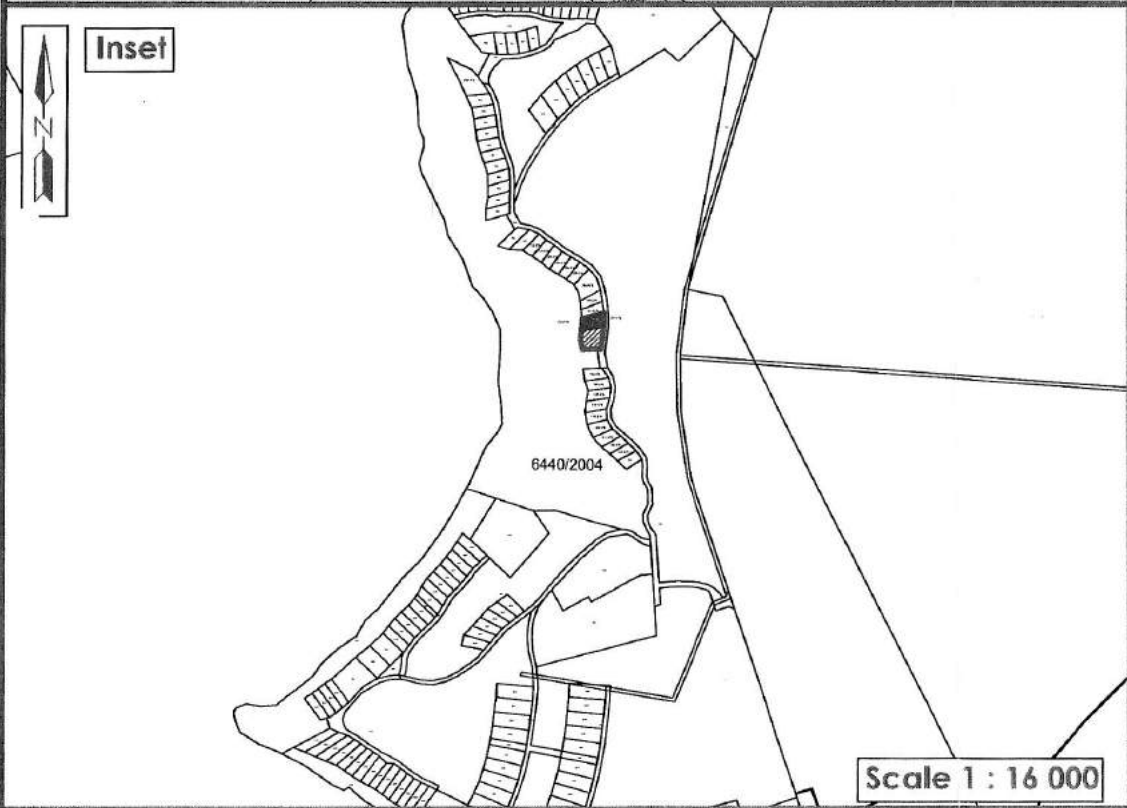
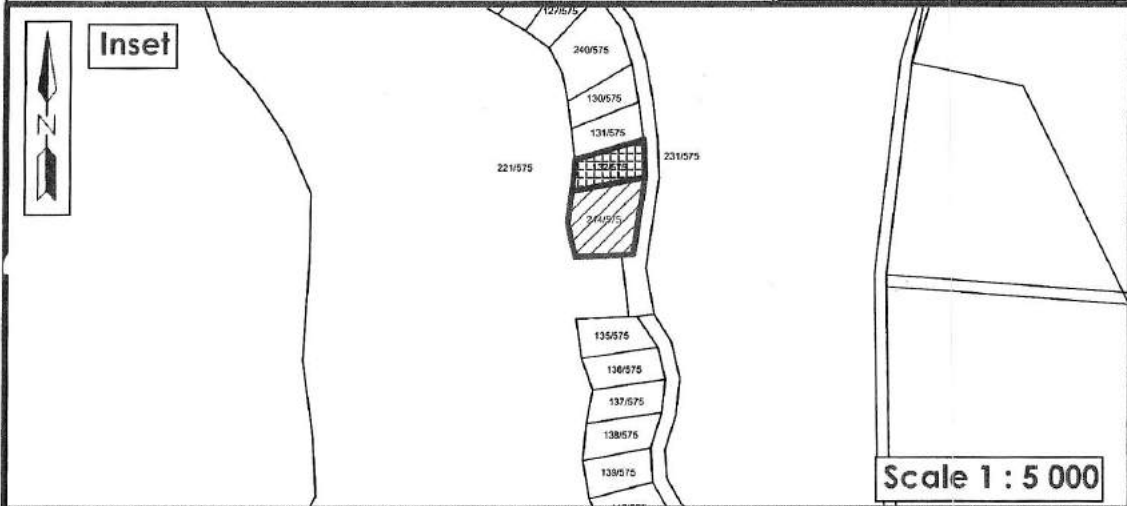
Portion 132 and 244 of the Farm Afdaks Rivier 575 Caledon

More commonly known as Benguela Cove

-  Portion 224 of the Farm Afdaks Rivier 575 Caledon (3550m²)
-  Portion 132 of the Farm Afdaks Rivier 575 Caledon (1785m²)

Plan prepared by: Reatlehle Jonkie

All distances are approximate
and subject to a survey



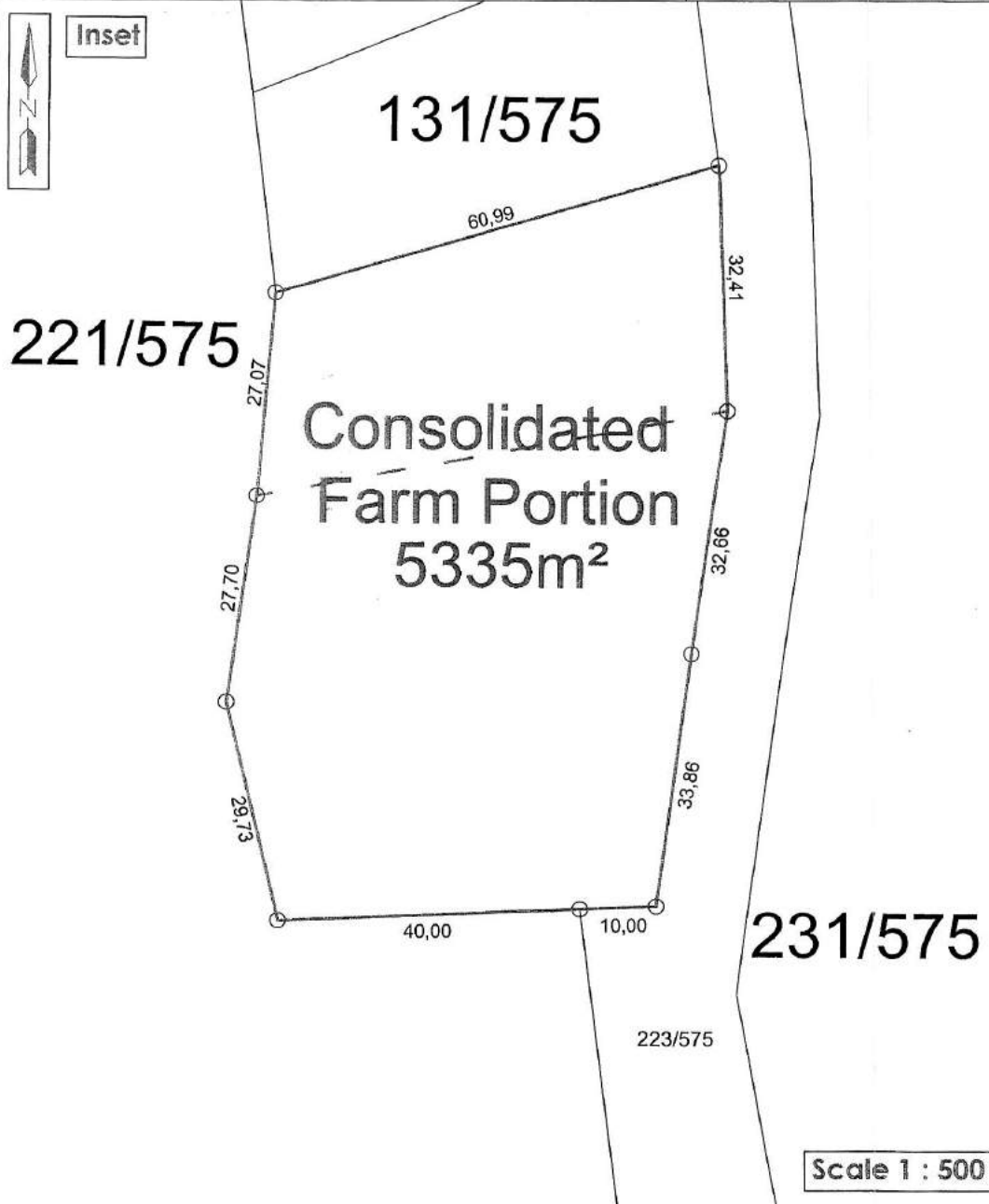
**Plan 3: Consolidation Plan of
Portion 132 and 244 of the Farm Afdaks Rivier 575 Caledon
More commonly known as Benguela Cove**

Plan prepared by: Reatlehle Jankie

All distances are approximate
and subject to a survey



Inset



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSOLIDATION: PORTIONS 132 & 244 OF FARM 575,
BENGUELA COVE (4209)**

Stormwater (SW) : No services available
Electricity : Eskom Area
Water : No services available
Sewer : In order
Roads and traffic : In order

Conditions

1. that the developer arrange with ESCOM for the provision of electricity and that he complies with all conditions as may be set by ESCOM;
2. that no water service from Overstrand Municipality is available and the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (water affairs, health, etc.) for the use of any other water resources and the extraction thereof;
3. that the developer is responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality;
4. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs, and WC DOT & DW;
5. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 5.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 5.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 5.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
6. that any additional cost related to the upgrading of bulk civil services will be for the developer's account.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**



DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**9. PORTION 57 OF THE FARM BAARDSKEERDESBOS NO. 213,
BREDASDORP DIVISION: APPLICATION FOR DEPARTURE: A & SV VAN
DEN BERG**

57/213 GRBRE (4164)

SW van der Merwe

(028) 313 8900

Hermanus Administration

26 February 2019

Executive Summary

To consider an application for departure received on 10 August 2018 from A & SV van den Berg for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to encroach the 4m lateral building line with 2m to accommodate an existing living room and bathroom addition.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal Land Use Planning By-Law, 2015 on Portion 57 of the Farm Baardskeerdersbos No. 213, Bredasdorp Division in order to encroach the 4m western lateral building line with 2m to accommodate the existing living room and bathroom addition, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the approval only be applicable to the departure indicated on the Site Development Plan as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval;
 - (c) that all the conditions in the Services Report, be complied with;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Portion 57 of farm no 213 Baardskeedersbos



All dimensions and heights to be verified on site before construction. The Contractor shall verify the location of all existing and proposed utilities and structures before construction. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall maintain accurate records of all construction activities and shall provide a copy of these records to the Architect upon completion of the project. The Contractor shall be responsible for protecting all existing structures and utilities that are not to be removed or altered. The Contractor shall be responsible for maintaining access to all adjacent properties and public utilities at all times. The Contractor shall be responsible for obtaining all necessary insurance and bonding. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for maintaining accurate records of all construction activities and shall provide a copy of these records to the Architect upon completion of the project. The Contractor shall be responsible for protecting all existing structures and utilities that are not to be removed or altered. The Contractor shall be responsible for maintaining access to all adjacent properties and public utilities at all times. The Contractor shall be responsible for obtaining all necessary insurance and bonding. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

DATE	REVISION
	CONSTRUCTION DRAWINGS ONLY
	ELECTRICAL DRAWINGS ONLY
	MECHANICAL AND PLUMBING DRAWINGS ONLY
	FOUNDATION DRAWINGS ONLY
	FINISHING SCHEDULE DRAWINGS ONLY

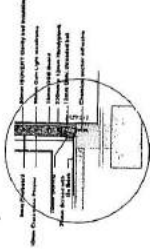
Copyright Reserved

HRS
 ARCHITECTS
 114 SOUTH LA PALM BLVD., SUITE 100
 PALM SPRING, CALIFORNIA 92262
 TEL: 951.437.1181 FAX: 951.437.1182
 WWW.HRSARCHITECTS.COM

PROJECT:
 PROPOSED NEW GARAGE AND AS BUILT ROOM
 ON BRG #1743, N-208 FOR OWNERS V.A. BE

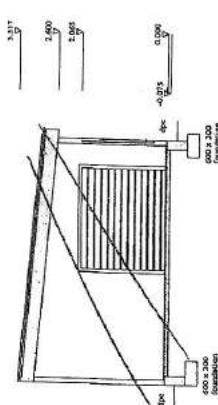
DESCRIPTION:
 SECTIONS

FILE: VSBES33018 **SCALE:** AS SHOWN
DATE: 10/23/18 **USER:** VSB
DRAWN: 018



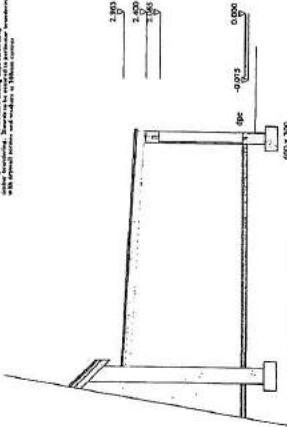
TYPICAL DETAIL 'A'

GREENHOUSE FLOOR:
 All Greenhouse Floor shall be constructed in accordance with the following specifications:
 1. Greenhouse Floor shall be constructed of 4" thick concrete on compacted subgrade.
 2. Greenhouse Floor shall be finished with a smooth, non-slip surface.
 3. Greenhouse Floor shall be finished with a minimum of 1/4" of concrete over the reinforcement.
 4. Greenhouse Floor shall be finished with a minimum of 1/4" of concrete over the reinforcement.
 5. Greenhouse Floor shall be finished with a minimum of 1/4" of concrete over the reinforcement.



SECTION B-B
 Scale 1:50

ROOF:
 The roof shall be constructed in accordance with the following specifications:
 1. The roof shall be constructed of 4" thick concrete on compacted subgrade.
 2. The roof shall be finished with a smooth, non-slip surface.
 3. The roof shall be finished with a minimum of 1/4" of concrete over the reinforcement.
 4. The roof shall be finished with a minimum of 1/4" of concrete over the reinforcement.
 5. The roof shall be finished with a minimum of 1/4" of concrete over the reinforcement.



SECTION A-A
 Scale 1:50

ROOF FENESTRATION

ITEMS:
 1. Fenestration Unit
 2. Structural Support
 3. Insulation
 4. Flashing
 5. Sealant
 6. Drainage

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

THIS DRAWING IS THE PROPERTY OF JRS INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF JRS INC.

DATE: 05/11/18

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUE FOR PERMITTING	05/11/18	J. VAN DEN BERG	J. VAN DEN BERG
2	ISSUE FOR PERMITTING	05/11/18	J. VAN DEN BERG	J. VAN DEN BERG
3	ISSUE FOR PERMITTING	05/11/18	J. VAN DEN BERG	J. VAN DEN BERG
4	ISSUE FOR PERMITTING	05/11/18	J. VAN DEN BERG	J. VAN DEN BERG
5	ISSUE FOR PERMITTING	05/11/18	J. VAN DEN BERG	J. VAN DEN BERG

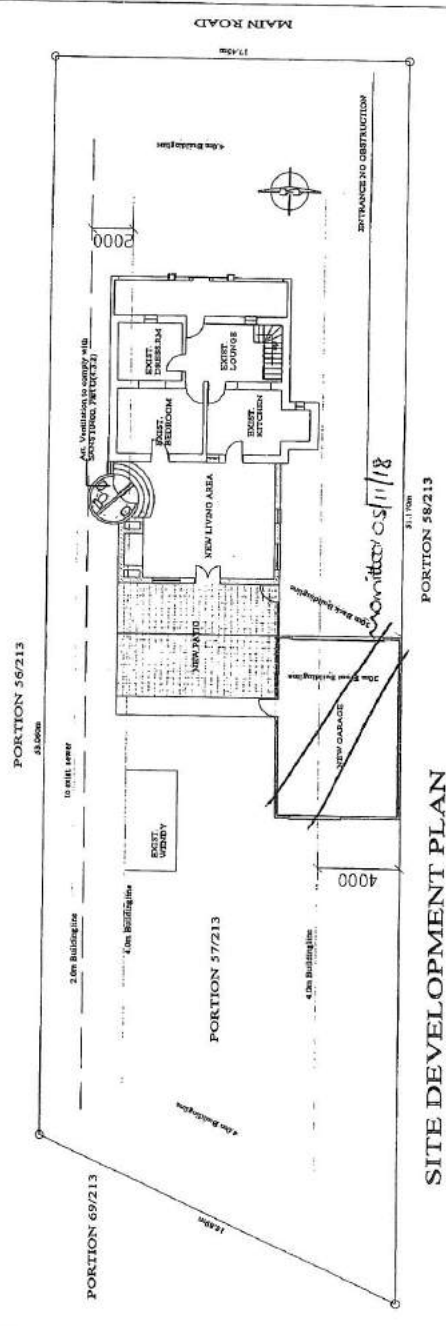
Reg. No. 32328
 DATE: 05/11/18
 DRAWING TYPE: NEW/REN
 COUNCIL DRAWINGS ONLY
 CONSTRUCTION DRAWINGS ONLY
 ELECTRICAL DRAWINGS ONLY
 MECHANICAL DRAWINGS ONLY
 PLUMBING DRAWINGS ONLY
 TILE/LAY OUT DRAWINGS ONLY
 FINISHING SCHEDULE DRAWINGS ONLY
 COPYRIGHT RESERVED

JRS INC.
 Architects, Planners, Engineers, Interiors, etc.
 174 Avenue - Les Sources, Guelph, ON N1H 2Y2
 Tel: (519) 825-7114 Fax: (519) 825-7115
 Cell: (519) 521-7163 Email: jrs@jrsinc.com

PROPOSED NEW GARAGE and AS BUILT PLAN
 on BEE 57/213, B-LINE FOR OWNERS V.A. BEI

DESCRIPTION:
 BITE PLAN

FILE: VDRB24-210
 SCALE: As Shown
 Lot No. 052010
 VDRB24



SITE DEVELOPMENT PLAN
 Scale 1:200



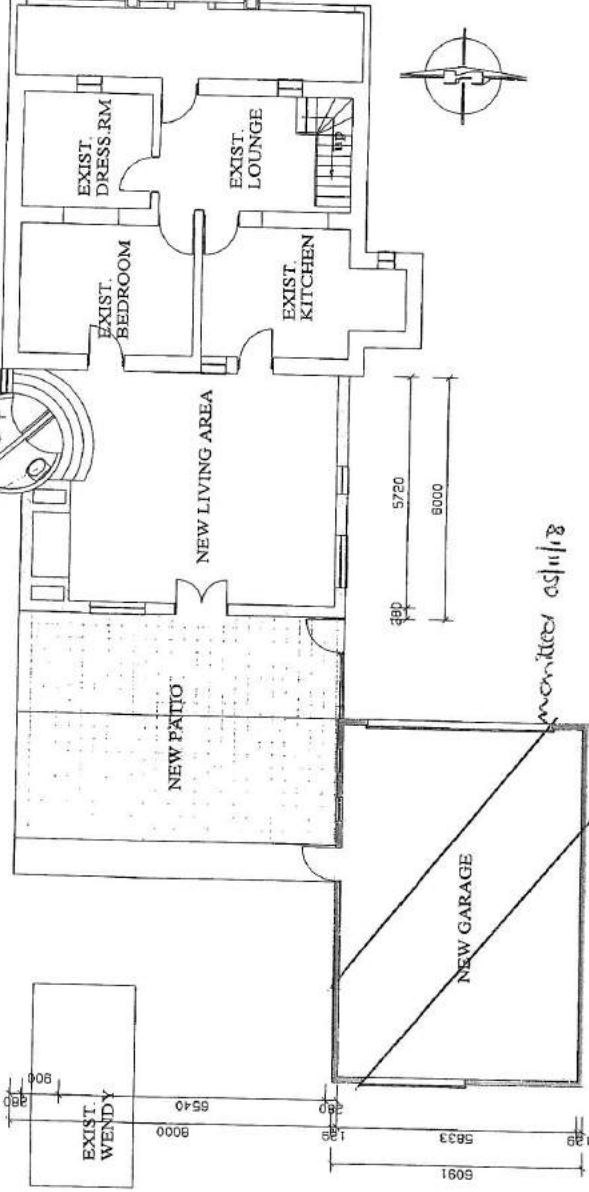
GREEN BUILDING CENTRE

NOTES

- All dimensions are shown in meters and millimeters.
- The contractor is responsible for obtaining all necessary permits and approvals from the relevant authorities.
- The architect is not responsible for the design of the structure, which is the responsibility of the contractor.
- The architect is not responsible for the design of the structure, which is the responsibility of the contractor.
- The architect is not responsible for the design of the structure, which is the responsibility of the contractor.

DATE	DESCRIPTION	BY	CHKD.
20/08/2018	ISSUE FOR TENDER	AS	AS
20/08/2018	ISSUE FOR TENDER	AS	AS

Art. Ventilation to comply with SANS 10400, Part Q(4.3.2)



GROUND FLOORPLAN
Scale 1:100

DATE	REVISION
20/08/2018	ISSUE FOR TENDER
20/08/2018	ISSUE FOR TENDER



J.R.G. ARCHITECTS & INTERIORS
Professional Services
107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200

PROJECT:	PROPOSED REPAIR AND AS BUILT DRAWING OF HOUSE VAN DEN BER
DESCRIPTION:	GROUND FLOORPLAN
FILE:	VDBR-34348
SCALE:	AS SHOWN
DRAWN:	JAAS VAN DEN BER
DATE:	08/08/18
CHECKED:	VDBR
DATE:	10/08/18



GREEN BUILDING SOLUTIONS

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: PTN 57 OF FARM
BAARDESCHERDERSBOS 213 (4164)**

Electricity : Eskom Area
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
2. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage;
3. that any additional and / or extended vehicle entrances will be for the developer's account;
4. that stormwater be allowed to discharge through Ptn 57 of Farm Baardscheerdersbos, unobstructed;
5. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- 10. ERF 2045, SANNIE BADENHORST STREET, STANFORD, OVERSTRAND MUNICIPAL AREA: PROPOSED REVIEW AND UPDATING OF THE HOME OWNERS ASSOCIATION CONSTITUTION AND DESIGN GUIDELINES: MA WURBACH ON BEHALF OF DPDEV (PTY) LTD**

2045 SSS (4136)

P Roux

20 February 2019

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 6 August 2018 from Mr MA Wurbach on behalf of DPDEV (Pty) Ltd in terms of Section 16(2)(l), of the Overstrand By-Law on Municipal Land Use Planning, 2015 to amend the Constitution and Architectural Design Guidelines of Stanford Bridge Village.

RESOLVED :

1. that the application to amend the Constitution and Architectural Design Guidelines in terms of Section 16(2)(l) of the Overstrand Municipal Land Use Planning By-Law, 2015 applicable to Erf 2045, Stanford (Stanford Bridge Village), **be approved** in terms of the provisions of Section 61 of the By-Law, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Locality Map Erf 2045 SSS

Date: 2018-10-09

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REVIEW AND UPDATING OF THE HOA
CONSTITUTION AND DESIGN GUIDELINE: ERF 2045, STANFORD (4136)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. All the conditions that were previously approved remain valid and applicable.
2. The Engineering Services Department has no comments on the Home Owners Association Constitution and Design Guidelines.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**11. ERF 4796, 75 DAHLIA STREET, MOUNT PLEASANT, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: ST PATRICK CHURCH**

4796 HMP (4140)

H Olivier

(028) 313 8900

Hermanus Administration

27 February 2019

Executive Summary

An application has been received on 14 August 2018 from the St Patrick Church on Erf 4796, Mount Pleasant for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the 5m lateral building line with Erf 6466 to 1,6m and the lateral building line with Erf 6425 to 4,465m to accommodate a new Sunday school class room with toilet and kitchen facilities.

RESOLVED :

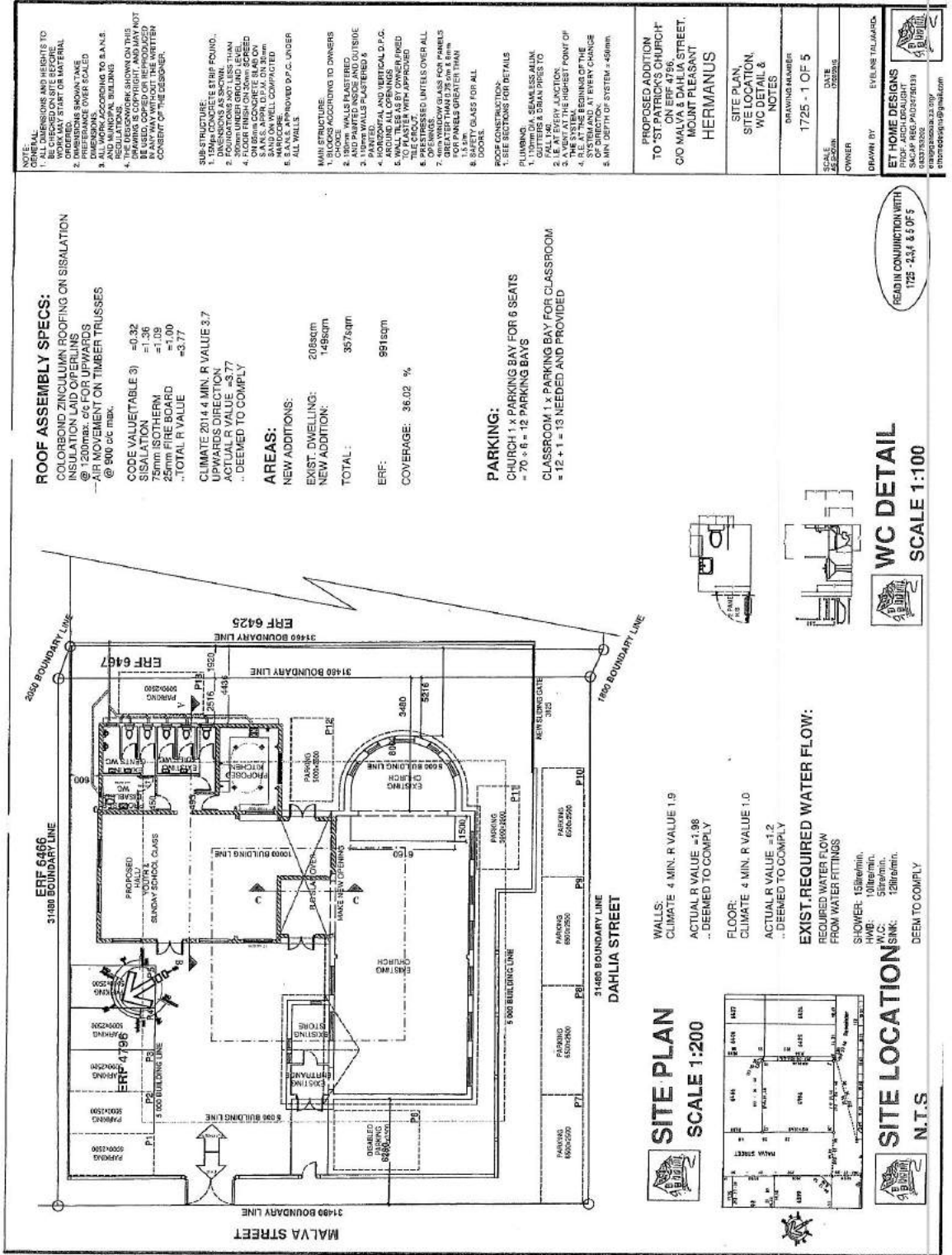
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 4796, Mount Pleasant to relax the 5m lateral building lines with Erven 6466 and 6425 to 1,6m and 4,46m respectively, be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan submitted by the architect (Plan 1725 – 1 of 5 to 5 of 5, dated 17/02/2018);
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with;
 - (f) that all the conditions by Telkom, be complied with, and
 - (g) that this approval is subject to the approval of Heritage Western Cape being obtained.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.”



ET 4796 MOUNT PLEASANT



ROOF ASSEMBLY SPECS:
 COLORBOND ZINCLUMIN ROOFING ON SISALATION
 INSULATION LAID OVER LINES
 @ 1200max. c/c FOR UPWARDS
 AIR MOVEMENT ON TIMBER TRUSSES
 @ 500 cc max.

CODE VALUE(TABLE 3) =0.32
 SISALATION =1.36
 70mm SHEETERN =1.05
 20mm SHEETERN =1.00
 .. TOTAL R VALUE =-3.77

CLIMATE 2014.4 MIN. R VALUE 3.7
 UPWARDS DIRECTION
 ACTUAL R VALUE =-3.77
 .. DEEMED TO COMPLY

AREAS:
 NEW ADDITIONS:
 EXIST. DWELLING: 208sqm
 NEW ADDITION: 149sqm
 TOTAL: 357sqm

ERF: 991 sqm
 COVERAGE: 36.02 %

PARKING:
 CHURCH 1 x PARKING BAY FOR 6 SEATS
 = 70 x 6 = 12 PARKING BAYS
 CLASSROOM 1 x PARKING BAY FOR CLASSROOM
 = 12 x 1 = 13 NEEDED AND PROVIDED

NOTE GENERAL:

- ALL DIMENSIONS AND HEIGHTS TO FACE UNLESS OTHERWISE SPECIFIED.
- WORK MAY START ON MATERIAL ORDERED.
- PREFERENCE OVER SCALED DIMENSIONS.
- CONSTRUCTION TO BE ACCORDING TO LOCAL AND NATIONAL BUILDING AND MUNICIPAL BUILDING REGULATIONS.
- THE LAYOUT WORK SHOWN ON THIS DRAWING IS COPYRIGHT, AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

- SUB-STRUCTURE:**
- 150mm CONCRETE STRIP FOUND.
 - FOUNDATIONS NOT LESS THAN 300mm UNDER GROUND LEVEL.
 - ON 80mm CONCRETE SLAB ON SAND OR 150mm CONCRETE SAND AND GRAVEL COMPACTED HARDWARE. WALL COMPACTED.
 - ALL WALLS APPROVED D.P.C. UNDER ALL WALLS.

- MAIN STRUCTURE:**
- BLOCKS ACCORDING TO OWNERS.
 - 150mm WALLS PLASTERED AND PAINTED INSIDE AND OUTSIDE.
 - PAINTED. WALLS TO BE PREFERED 6.
 - ROOFING TO BE METEORICAL D.P.C. AROUND ALL OPENINGS.
 - WALL TILES AS BY OWNER PREFERRED. WITH APPROVED TILE JOINT.
 - PRESTRESSED UNTELS OVER ALL OPENINGS.
 - 4mm WINDOW GLASS FOR PANELS GREATER THAN 250mm x 800mm. 1.5mm GLASS WHEN OTHER THAN 1.5m.
 - SAFETY GLASS FOR ALL GLAZING.

- ROOFING:**
- SEE SECTIONS FOR DETAILS.
 - 1.100mm DIA. SEAMLESS ALUM. GUTTERS & DRAIN PIPES TO BE AT EVERY JUNCTION.
 - VENT AT THE HIGHEST POINT OF THE ROOF.
 - R.I.E. AT THE BEGINNING OF THE ROOF.
 - MIN. DEPTH OF SYSTEM = 450mm.

PROPOSED ADDITION TO 'ST PATRICK'S CHURCH' ON ERF 4796, MALVA STREET, MOUNT PLEASANT HERMANUS

SITE PLAN, SITE LOCATION, WC DETAIL & NOTES

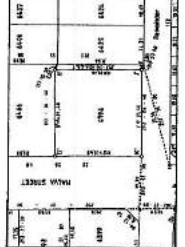
DRAWING NUMBER
 1725 - 1 OF 5

DATE
 2024/05/06

OWNER
 DRAWN BY
 EVELYN TALAMAND

ET HOME DESIGNS
 SACAP REG. PA/2021/0133
 0133733332
 0133393939
 etdesigns@etdesigns.co.za

SITE PLAN SCALE 1:200



SITE LOCATION N.T.S.

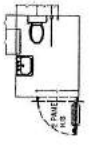
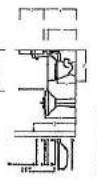
WALLS:
 CLIMATE 4 MIN. R VALUE 1.9
 ACTUAL R VALUE =-1.98
 .. DEEMED TO COMPLY

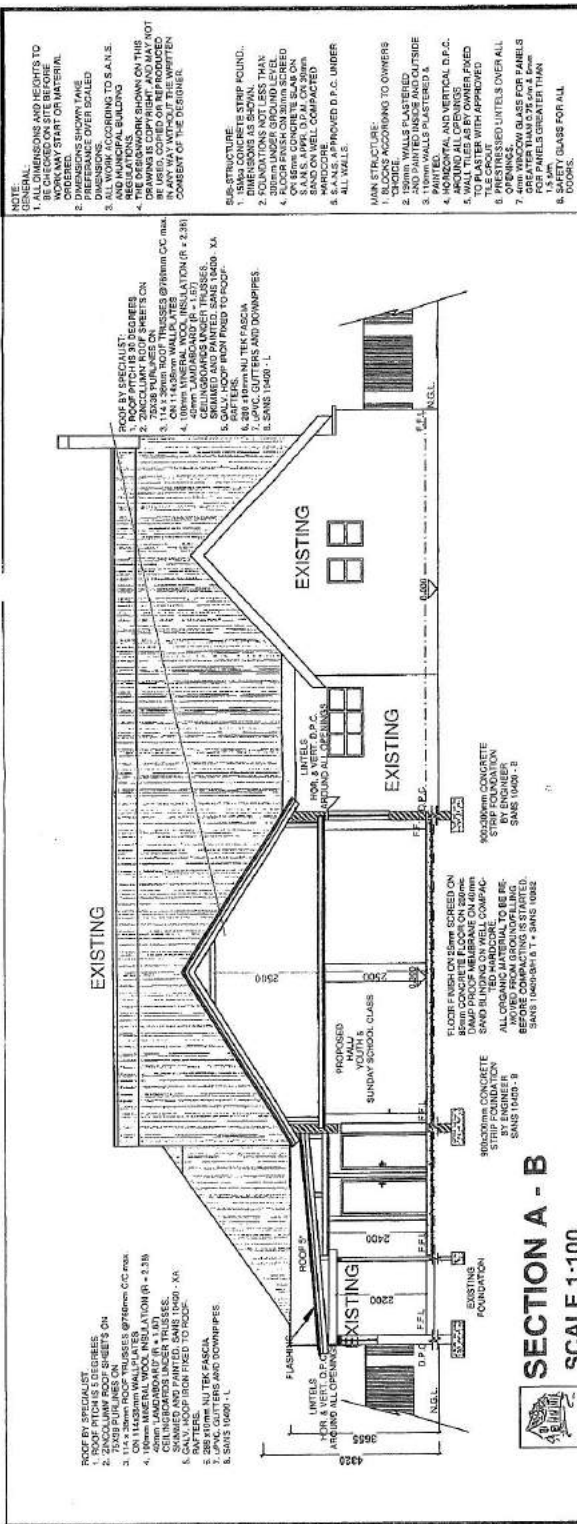
FLOOR:
 CLIMATE 4 MIN. R VALUE 1.0
 ACTUAL R VALUE =-1.2
 .. DEEMED TO COMPLY

EXIST. REQUIRED WATER FLOW:
 REQUIRED WATER FLOW FROM WATER FITTINGS
 SHOWER: 15litre/min.
 HWB: 10litre/min.
 W.C: 5litre/min.
 SINK: 12litre/min.
 DEEMED TO COMPLY

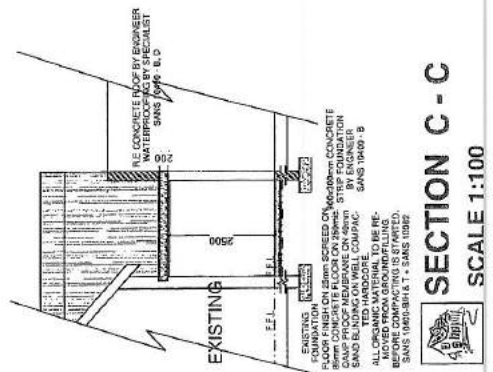
WC DETAIL SCALE 1:100

READ IN CONJUNCTION WITH 1725 - 2,3,4 & 5 OF 5





SECTION A - B
SCALE 1:100



SECTION C - C
SCALE 1:100

COMPARISON	ITEM	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	1	1	m	10.00	10.00	10.00
2	2	2	m	10.00	20.00	30.00
3	3	3	m	10.00	30.00	60.00
4	4	4	m	10.00	40.00	100.00
5	5	5	m	10.00	50.00	150.00
6	6	6	m	10.00	60.00	210.00
7	7	7	m	10.00	70.00	280.00
8	8	8	m	10.00	80.00	360.00
9	9	9	m	10.00	90.00	450.00
10	10	10	m	10.00	100.00	550.00
11	11	11	m	10.00	110.00	660.00
12	12	12	m	10.00	120.00	780.00
13	13	13	m	10.00	130.00	910.00
14	14	14	m	10.00	140.00	1050.00
15	15	15	m	10.00	150.00	1200.00
16	16	16	m	10.00	160.00	1360.00
17	17	17	m	10.00	170.00	1530.00
18	18	18	m	10.00	180.00	1710.00
19	19	19	m	10.00	190.00	1900.00
20	20	20	m	10.00	200.00	2100.00
21	21	21	m	10.00	210.00	2310.00
22	22	22	m	10.00	220.00	2530.00
23	23	23	m	10.00	230.00	2760.00
24	24	24	m	10.00	240.00	3000.00
25	25	25	m	10.00	250.00	3250.00
26	26	26	m	10.00	260.00	3510.00
27	27	27	m	10.00	270.00	3780.00
28	28	28	m	10.00	280.00	4060.00
29	29	29	m	10.00	290.00	4350.00
30	30	30	m	10.00	300.00	4650.00
31	31	31	m	10.00	310.00	4960.00
32	32	32	m	10.00	320.00	5280.00
33	33	33	m	10.00	330.00	5610.00
34	34	34	m	10.00	340.00	5950.00
35	35	35	m	10.00	350.00	6300.00
36	36	36	m	10.00	360.00	6660.00
37	37	37	m	10.00	370.00	7030.00
38	38	38	m	10.00	380.00	7410.00
39	39	39	m	10.00	390.00	7800.00
40	40	40	m	10.00	400.00	8200.00
41	41	41	m	10.00	410.00	8610.00
42	42	42	m	10.00	420.00	9030.00
43	43	43	m	10.00	430.00	9460.00
44	44	44	m	10.00	440.00	9900.00
45	45	45	m	10.00	450.00	10350.00
46	46	46	m	10.00	460.00	10810.00
47	47	47	m	10.00	470.00	11280.00
48	48	48	m	10.00	480.00	11760.00
49	49	49	m	10.00	490.00	12250.00
50	50	50	m	10.00	500.00	12750.00
51	51	51	m	10.00	510.00	13260.00
52	52	52	m	10.00	520.00	13780.00
53	53	53	m	10.00	530.00	14310.00
54	54	54	m	10.00	540.00	14850.00
55	55	55	m	10.00	550.00	15400.00
56	56	56	m	10.00	560.00	15960.00
57	57	57	m	10.00	570.00	16530.00
58	58	58	m	10.00	580.00	17110.00
59	59	59	m	10.00	590.00	17700.00
60	60	60	m	10.00	600.00	18300.00
61	61	61	m	10.00	610.00	18910.00
62	62	62	m	10.00	620.00	19530.00
63	63	63	m	10.00	630.00	20160.00
64	64	64	m	10.00	640.00	20800.00
65	65	65	m	10.00	650.00	21450.00
66	66	66	m	10.00	660.00	22110.00
67	67	67	m	10.00	670.00	22780.00
68	68	68	m	10.00	680.00	23460.00
69	69	69	m	10.00	690.00	24150.00
70	70	70	m	10.00	700.00	24850.00
71	71	71	m	10.00	710.00	25560.00
72	72	72	m	10.00	720.00	26280.00
73	73	73	m	10.00	730.00	27010.00
74	74	74	m	10.00	740.00	27750.00
75	75	75	m	10.00	750.00	28500.00
76	76	76	m	10.00	760.00	29260.00
77	77	77	m	10.00	770.00	30030.00
78	78	78	m	10.00	780.00	30810.00
79	79	79	m	10.00	790.00	31600.00
80	80	80	m	10.00	800.00	32400.00
81	81	81	m	10.00	810.00	33210.00
82	82	82	m	10.00	820.00	34030.00
83	83	83	m	10.00	830.00	34860.00
84	84	84	m	10.00	840.00	35700.00
85	85	85	m	10.00	850.00	36550.00
86	86	86	m	10.00	860.00	37410.00
87	87	87	m	10.00	870.00	38280.00
88	88	88	m	10.00	880.00	39160.00
89	89	89	m	10.00	890.00	40050.00
90	90	90	m	10.00	900.00	40950.00
91	91	91	m	10.00	910.00	41860.00
92	92	92	m	10.00	920.00	42780.00
93	93	93	m	10.00	930.00	43710.00
94	94	94	m	10.00	940.00	44650.00
95	95	95	m	10.00	950.00	45600.00
96	96	96	m	10.00	960.00	46560.00
97	97	97	m	10.00	970.00	47530.00
98	98	98	m	10.00	980.00	48510.00
99	99	99	m	10.00	990.00	49500.00
100	100	100	m	10.00	1000.00	50500.00

FIELD IN CONJUNCTION WITH
1725 - 2, 3, 4 & 5 OF 6

NOTE:
GENERAL:
1. ALL DIMENSIONS AND HEIGHTS TO UNLESS OTHERWISE SPECIFIED.
2. WORK MAY START ON MATERIAL ORDERED.
3. DIMENSIONS GIVEN TO S.A.N.E. AND MANUFACTURING BUILDING.
4. DRAWINGS TO BE CHECKED ON THIS DRAWING TO CORRECT ANY ERRORS OR OMISSIONS. ANY VARIATIONS TO BE WRITTEN COMMENT OF THE DESIGNER.

SUB-STRUCTURE:
1. 150mm CONCRETE STRIP FOUNDATION.
2. FOUNDATIONS NOT LESS THAN 300mm UNDER GROUND LEVEL.
3. 150mm MINERAL WOOL INSULATION ON 900mm CONCRETE SLABS ON GRAVEL.
4. S.A.N.E. APPROVED D.P.C. UNDER ALL WALLS.
5. S.A.N.E. APPROVED D.P.C. UNDER ALL WALLS.

MAIN STRUCTURE:
1. BLOCKS ACCORDING TO OWNERS SPECIFICATION.
2. 150mm WALLS PLASTERED AND DAPPED INSIDE AND OUTSIDE AND PAINTED.
3. HORIZONTAL AND VERTICAL D.P.C. TO PLASTER WITH APPROVED.
4. WALL TILES AS BY OWNER FIXED TO PLASTER.
5. PRESTRESSED LITLES OVER ALL ROOFS.
6. MINIMUM GLASS FOR PANELS GREATER THAN 0.75m² AND MORE THAN 1.8m² SHALL BE GREATER THAN 1.5m².
7. SAFETY GLASS FOR ALL DOORS.

ROOF CONSTRUCTION:
A. SEE SECTION FOR DETAILS
1. 150mm MINERAL WOOL INSULATION.
2. 150mm GUTTERS AND DRAIN PIPES TO 150mm MINERAL WOOL INSULATION.
3. A VENT AT THE HIGHEST POINT OF THE ROOF.
4. R.A.E. AT THE BEGINNING OF THE SYSTEM AND AT EVERY CHANGE OF DIRECTION.
5. MIN. DEPTH OF SYSTEM = 450mm.

PROPOSED ADDITION
TO 'ST. PATRICK'S CHURCH'
ON ERF 4795.
CO MALVA & DAHLIA STREET,
MOUNT PLEASANT
HERMANUS

SECTION A - B
SECTION C - C
SANS 10400-XA CALCULATIONS

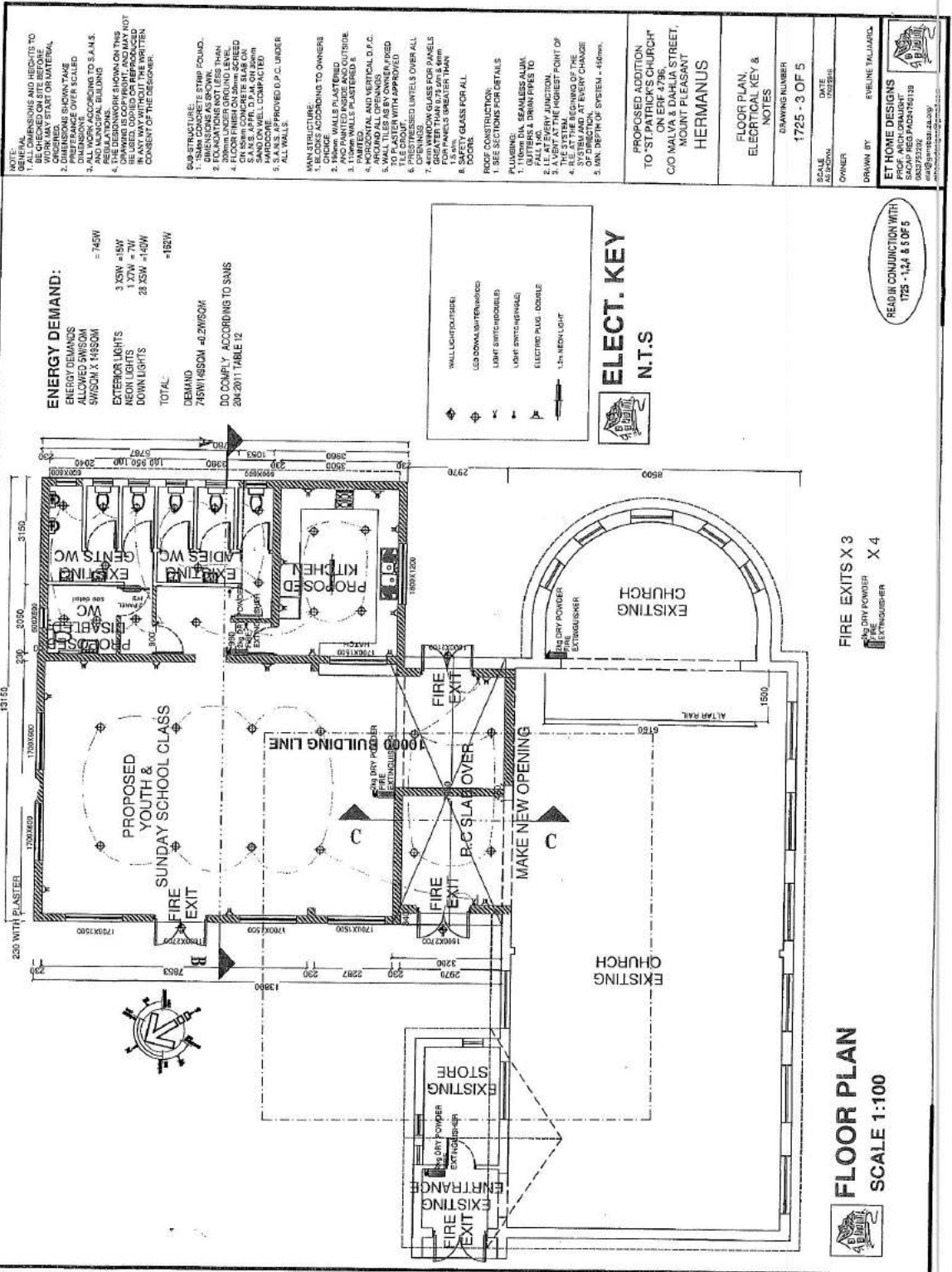
DRAWING NUMBER
1725 - 2 OF 5

SCALE
1:100

DATE
1983/03/01

DRAWN BY
SIBELINE THALANDA

ET HOME DESIGNS
PROF. ARCH. DR. DR. DR. DR.
1725 - 2, 3, 4 & 5 OF 6
1725/2032
1725/2032



NOTE:
 GENERAL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE BEFORE WORK MAY START OR MATERIALS DELIVERED TO SITE.
 DIMENSIONS SHOWN TAKE DIMENSIONS OVER SCALED DRAWING.
 ALL WORK ACCORDING TO S.A.S. RELEVANT BUILDING REGULATIONS.
 THE DESIGNWORK SHOWN ON THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

80A STRIP NOTE:
 1. 50mm CONCRETE STRIP FOUND. DIMENSIONS AS SHOWN.
 2. 100mm CONCRETE STRIP FOUND. DIMENSIONS AS SHOWN.
 3. FLOOR FINISH ON 30mm SCAFFOLD. 100mm CONCRETE STRIP FOUND. DIMENSIONS AS SHOWN.
 4. FLOOR FINISH ON 30mm SCAFFOLD. 100mm CONCRETE STRIP FOUND. DIMENSIONS AS SHOWN.
 5. S.A.S. APPROVED P.P.C. UNDER ALL WALLS.

WALL STRUCTURE:
 1. BRICKS ACCORDING TO OWNERS CHOICE.
 2. 100mm CONCRETE STRIP FOUND AND PAINTED ASBESTOS FREE OUTSIDE.
 3. 100mm WALLS PLASTERED & FINISHED.
 4. HORIZONTAL AND VERTICAL D.P.C. AROUND ALL OPENINGS.
 5. ALL OPENINGS TO BE FINISHED TO PLASTER WITH APPROVED FINISHES.
 6. ALL OPENINGS TO BE FINISHED TO PLASTER WITH APPROVED FINISHES.
 7. ALL OPENINGS TO BE FINISHED TO PLASTER WITH APPROVED FINISHES.
 8. ALL OPENINGS TO BE FINISHED TO PLASTER WITH APPROVED FINISHES.

ROOF CONSTRUCTION:
 1. SEE SECTIONS FOR DETAILS.
 2. 100mm DIA. SEAMLESS ALUMI. FALL LIPS. DRAIN PIPES TO FALL LIPS.
 3. ALL ROOF JOINTS TO BE FINISHED TO PLASTER WITH APPROVED FINISHES.
 4. SYSTEM AND AT EACH CHANGE OF DIRECTION.
 5. MIN. DEPTH OF SYSTEM - 50mm.

PLUMBING:
 1. 100mm DIA. SEAMLESS ALUMI. FALL LIPS. DRAIN PIPES TO FALL LIPS.
 2. ALL ROOF JOINTS TO BE FINISHED TO PLASTER WITH APPROVED FINISHES.
 3. SYSTEM AND AT EACH CHANGE OF DIRECTION.
 4. SYSTEM AND AT EACH CHANGE OF DIRECTION.
 5. MIN. DEPTH OF SYSTEM - 50mm.

PROPOSED ADDITION TO "STICK IN THE MURCH" TO "STICK IN THE MURCH" C/O MALVA & DAHLIA STREET, MOUNT PLEASANT HERMANUS

FLOOR PLAN ELECTRICAL KEY & NOTES
 DRAWING NUMBER: 1725 - 3 OF 5
 SCALE: AS SHOWN
 DATE: 02/2011
 OWNER: EVELINE TALJARD
 DRAWN BY: EVELINE TALJARD
ET HOME DESIGNS
 0833723292
 www.etdesigns.co.za

ENERGY DEMAND:

ENERGY DEMANDS ALLOWED BY SWS	145W
SWITCH X 145W	145W
EXTERIOR LIGHTS	3 XSW = 15W
NEON LIGHTS	1 XSW = 7W
DOWN LIGHTS	28 XSW = 140W
TOTAL	182W
DEMAND	745W/1450VA @ 230VAC

DO COMPLY ACCORDING TO SANS 204:2011 TABLE 12

ELECT. KEY N.T.S.

- WALL LIGHT (PANEL)
- LED DOWNLIGHT (RECESSED)
- LIGHT SWITCH (HORIZONTAL)
- LIGHT SWITCH (VERTICAL)
- ELECTRIC FUSE (DOUBLE)
- 1.5A MESH LIGHT

READ IN CONJUNCTION WITH 1725 - 1, 2 & 5 OF 5

FIRE EXITS X 3
 FIRE EXITS X 4

FLOOR PLAN SCALE 1:100

NOTE:
 1. ALL DIMENSIONS AND HEIGHTS TO BE CHECKED ON SITE BEFORE COMMENCING ANY PART OF MATERIAL ORDERED.
 2. DIMENSIONS SHOWN TAKE PRECEDENCE OVER CALLED DIMENSIONS.
 3. ALL WORK ACCORDING TO S.A.N.S. REGULATIONS, INCLUDING:
 4. THE DRAWINGS SHOWN ON THIS SHEET ARE TO BE USED ONLY IN WRITTEN CONSENT OF THE DESIGNER.

PROPOSED ADDITION TO "ST PATRICKS CHURCH" ON REF 4706 C/O MALVA & DAHLIA STREET MOUNT PLEASANT HERMANUS

ELEVATIONS

DRAWING NUMBER 1725 - 4 OF 5

SCALE AS SHOWN

DATE 17/02/2014

OWNER

DRAWN BY EVELINE TALLAJARITA

ET HOME DESIGNS
 1005 JACO DALHOUSIE
 SACAP REG. PRACTITIONER 139
 023425002
 www.etdesigns@gmail.com

WEST ELEVATION
SCALE 1:100

SOUTH ELEVATION
SCALE 1:100

READ IN CONJUNCTION WITH 1725 - 1,2,3 & 5 OF 5

NORTH ELEVATION
SCALE 1:100

EAST ELEVATION
SCALE 1:100

NOTE:
GENERAL:
1. ALL DIMENSIONS AND HEIGHTS TO BE SHOWN ON THIS DRAWING SHALL BE TO FINISH UNLESS OTHERWISE SPECIFIED.
2. PREFER TO FINISH MATERIAL TO BE ORDERED.
3. FINISH MATERIAL TO BE ORDERED SHALL BE APPROVED BY THE ARCHITECT.
4. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
5. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
6. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
7. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
8. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
9. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
10. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
11. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
12. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
13. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
14. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
15. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
16. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
17. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
18. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
19. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
20. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
21. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
22. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
23. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
24. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
25. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
26. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
27. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
28. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
29. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
30. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
31. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
32. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
33. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
34. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
35. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
36. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
37. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
38. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
39. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
40. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
41. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
42. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
43. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
44. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
45. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
46. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
47. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
48. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
49. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
50. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
51. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
52. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
53. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
54. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
55. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
56. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
57. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
58. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
59. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
60. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
61. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
62. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
63. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
64. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
65. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
66. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
67. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
68. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
69. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
70. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
71. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
72. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
73. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
74. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
75. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
76. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
77. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
78. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
79. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
80. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
81. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
82. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
83. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
84. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
85. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
86. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
87. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
88. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
89. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
90. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
91. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
92. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
93. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
94. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
95. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
96. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
97. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
98. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
99. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
100. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.

PROPOSED ADDITION TO "ST. PATRICK'S CHURCH" ON ERF 4796, C/O MALVA & DAHLIA STREET, MOUNT PLEASANT HERMANUS

ELEVATIONS

DRAWING NUMBER 1725 - 5 OF 5

DATE 17/08/11

SCALE AS SHOWN

OWNER

DRAWN BY EVELINE THILLAKATTA

ET HOME DESIGNS
PROF. ARCH. DRAUGHT
SACAP REG. P/2007/50139
118/100/000001/20.000
eth@homeplans.com
eth@homeplans@gmail.com

READ IN CONJUNCTION WITH 1725 - 1, 2, 3 & 4 OF 5

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4796, MOUNT PLEASANT (4140)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4796, Mount Pleasant, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

12. ERF 4867, 15A YELLOW WOOD ROAD, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS ENGELBRECHT AND SCORGIE ON BEHALF OF DL COETZEE

4867 HON (4170)

H Olivier

(028) 313 8900

Hermanus Administration

8 February 2019

Executive Summary

An application has been received on 4 September 2018 from Messrs Engelbrecht and Scorgie on behalf of DL Coetzee on Erf 4867, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2016 to relax the following:

- northern lateral building from 2m to 1,49m to accommodate the existing dwelling;
- western lateral building line from 2m to 1,46m to accommodate an existing swimming pool more than 1m above the natural ground level;
- western lateral building line from 2m to 0m to accommodate a portion of a deck and built braai, and
- the 2,1m height restriction for boundary walls to allow a portion of the boundary wall on the western boundary up to 2,44m in height.

RESOLVED :

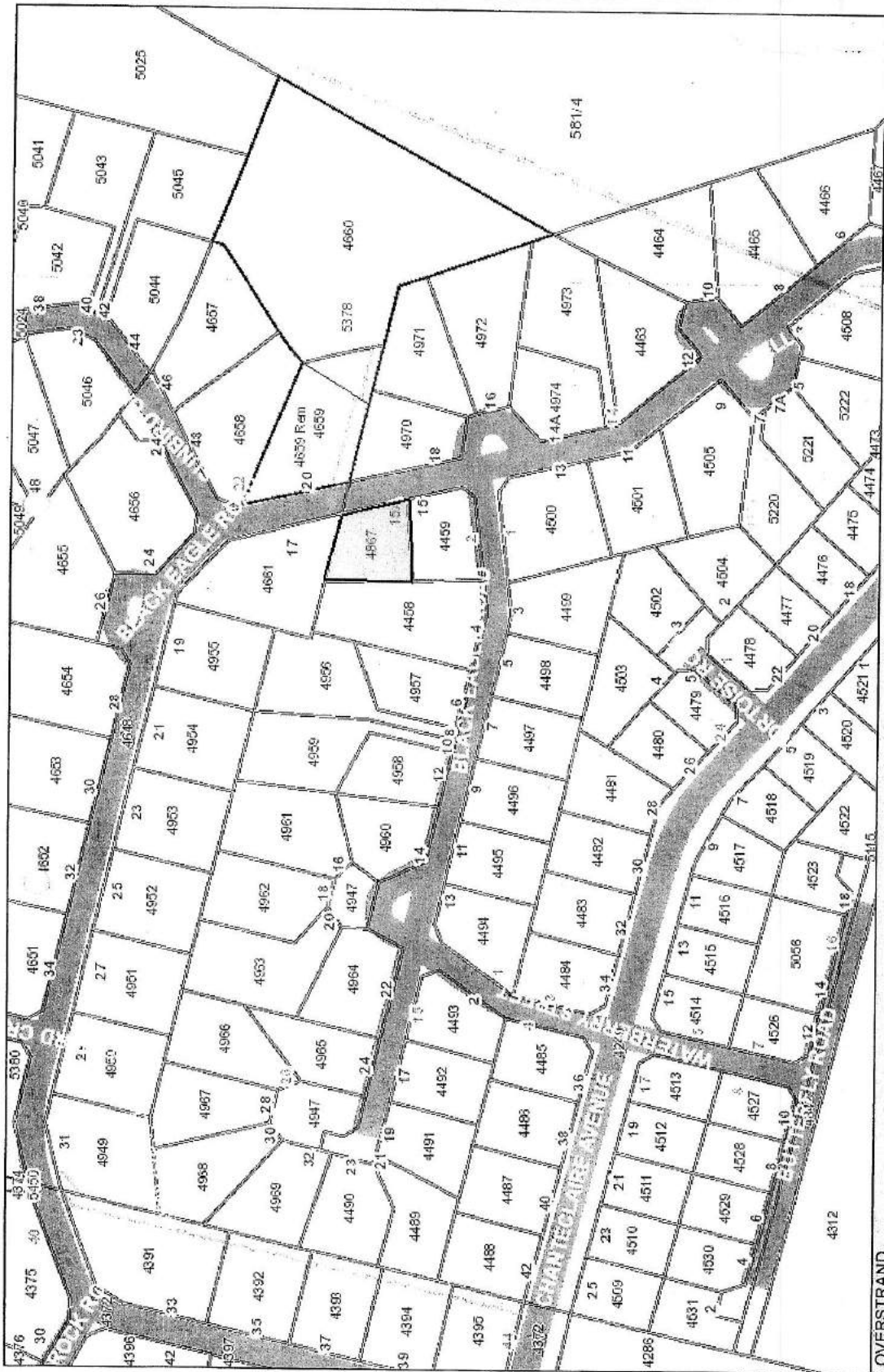
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4867, Onrustrivier in order to relax the following:

- northern lateral building from 2m to 1,49m to accommodate the existing dwelling;
- western lateral building line from 2m to 1,46m to accommodate an existing swimming pool more than 1m above the natural ground level;
- western lateral building line from 2m to 0m to accommodate a portion of a deck and built braai, and
- the 2,1m boundary wall height restriction to allow a portion of the boundary wall on the western boundary up to 2,44m in height,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

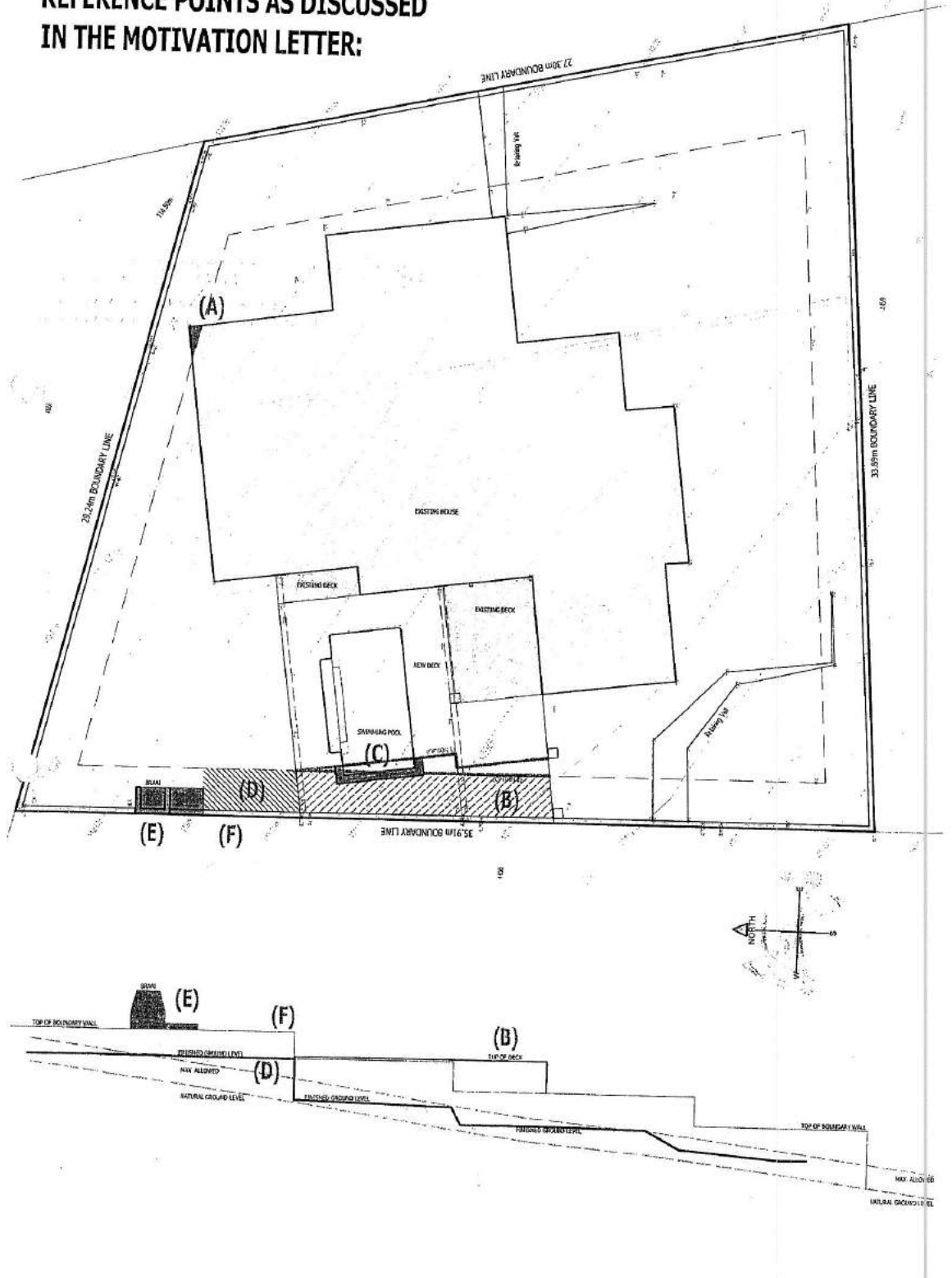
- (a) that building plans be submitted to the Building Department, and that all conditions set by the Building and Fire Departments at that stage, be complied with;
 - (b) that this approval only relates to a departure for the structure as indicated on plan Erf4867Coetzee/WA1rev0 dated August 2018;
 - (c) that all the conditions in the Service Report, be complied with;
 - (d) that all conditions imposed by Telkom, be complied with, and
 - (e) that this is not an approval in terms of any other relevant legislation.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Ent 4667 HON



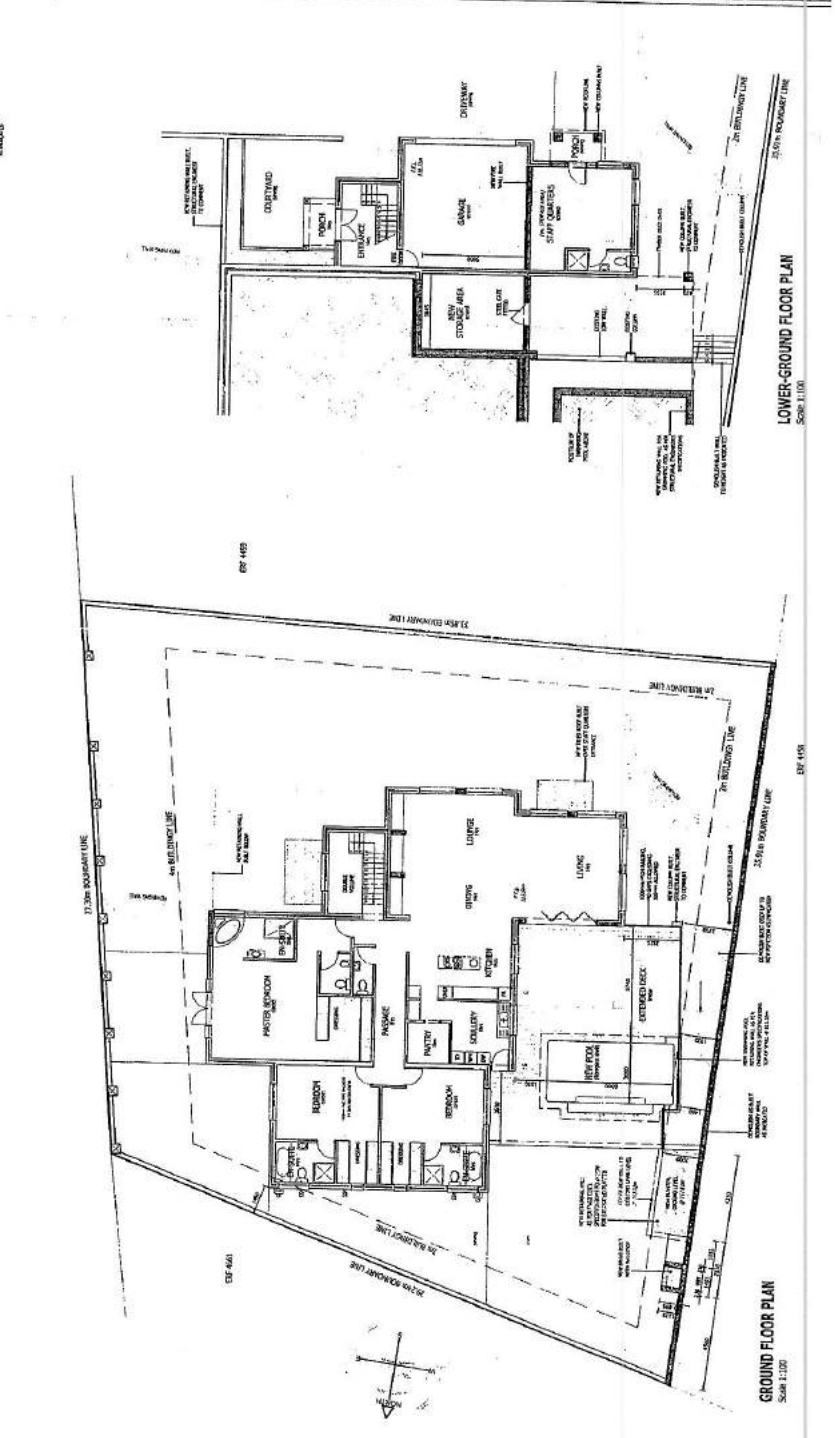
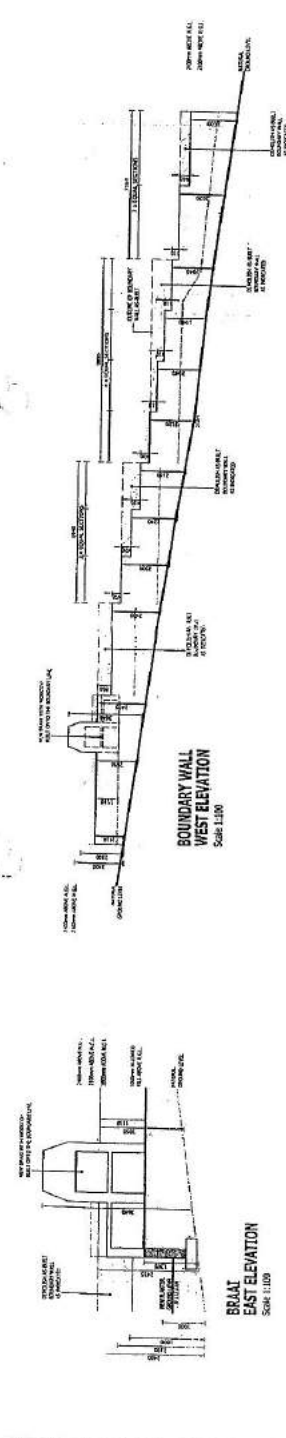
**REFERENCE POINTS AS DISCUSSED
IN THE MOTIVATION LETTER:**



DATE: 11/20/13	SCALE: AS SHOWN
PROJECT: ADDITIONS & ALTERATIONS TO EXISTING 10300 25TH AVENUE S.E., SUITE 100, BELLEVUE, WA 98004	OWNER: GUYSON INVESTMENTS, LLC
DESIGNER: D.L. COETZEE ARCHITECTURE, P.L.L.C.	DATE: 11/20/13
PROJECT NO: 130103	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN
DATE: 11/20/13	SCALE: AS SHOWN

Architectural Office
 D.L. COETZEE ARCHITECTURE, P.L.L.C.
 10300 25TH AVENUE S.E., SUITE 100
 BELLEVUE, WA 98004
 TEL: 206.461.1111
 FAX: 206.461.1112
 WWW.DLCOETZEE.COM

ADDITIONS & ALTERATIONS
 10300 25TH AVENUE S.E.
 SUITE 100
 BELLEVUE, WA 98004
D. L. COETZEE
REGISTERED ARCHITECT
 LICENSE NO. 13400
WAIVER APPLICATION
 FLOOR PLANS &
 EXTERIOR WALL
 SCALE: AS SHOWN
 DATE: 11/20/13



This drawing is for the purpose of a permit application only and is not to be used for any other purpose without the written consent of the Architectural Office.

GENERAL NOTES	
SEE SET	5/13/24
1. VERIFY EXISTING CONDITIONS	
2. VERIFY ALL DIMENSIONS AND LOCATIONS	
3. VERIFY ALL UTILITIES AND SERVICES	
4. VERIFY ALL PERMITS AND REGULATIONS	
5. VERIFY ALL MATERIALS AND METHODS	
6. VERIFY ALL FINISHES AND DETAILS	
7. VERIFY ALL SCHEDULES AND PHASES	
8. VERIFY ALL CONTRACT DOCUMENTS	
9. VERIFY ALL SITE CONDITIONS	
10. VERIFY ALL ADJACENT PROPERTIES	
11. VERIFY ALL LOCAL REGULATIONS	
12. VERIFY ALL ENVIRONMENTAL CONCERNS	
13. VERIFY ALL HISTORICAL REQUIREMENTS	
14. VERIFY ALL SAFETY REQUIREMENTS	
15. VERIFY ALL ACCESS REQUIREMENTS	
16. VERIFY ALL SIGNAGE REQUIREMENTS	
17. VERIFY ALL LIGHTING REQUIREMENTS	
18. VERIFY ALL SOUND REQUIREMENTS	
19. VERIFY ALL VIBRATION REQUIREMENTS	
20. VERIFY ALL OTHER REQUIREMENTS	

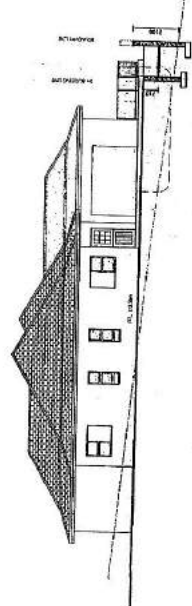
Architectural Office
 12345 Main Street
 Anytown, CA 90123
 (555) 123-4567
 www.archoffice.com

ADDITIONS & ALTERATIONS
 2024-001
 12345 WOODBURY ROAD
 CHATELAIN
 CHIRLS

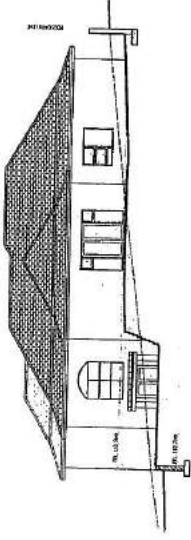
D. L. COETZEE

WATER APPLICATION
 ELEVATIONS & SECTIONS

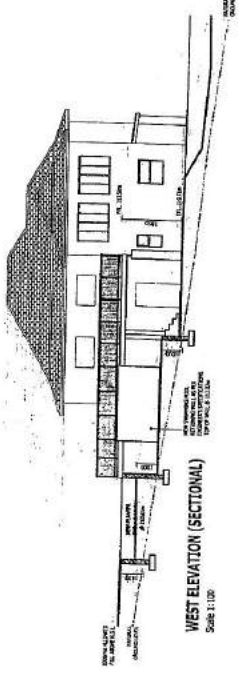
DATE: 5/13/24
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 G. ENGELBRODT
 SUPERVISOR: [Name]



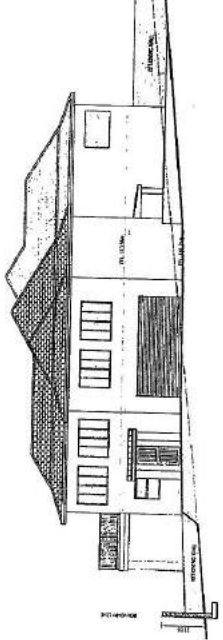
NORTH ELEVATION (SECTIONAL)
 Scale 1:100



EAST ELEVATION
 Scale 1:100



WEST ELEVATION (SECTIONAL)
 Scale 1:100



SOUTH ELEVATION
 Scale 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4867, ONRUS RIVER (4170)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4867, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

29/12/2019
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

13. ERF 1534, 27 MOSSEL RIVER DRIVE, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: H DU PLESSIS ON BEHALF OF THE IC TRUST

1534 HEC (4113)

P Roux

(028) 313 8900

Hermanus Administration

28 February 2019

Executive Summary

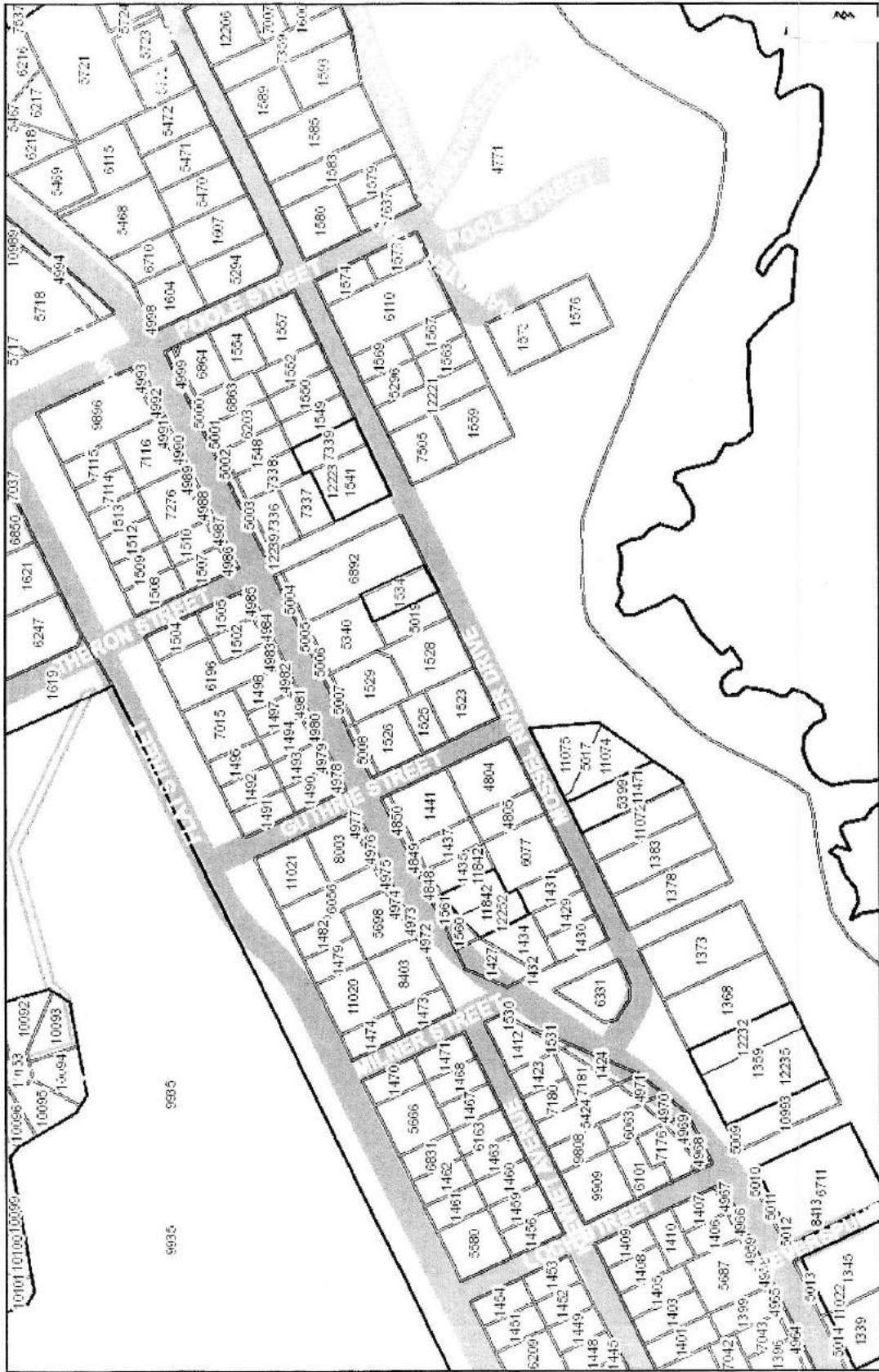
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1534, Hermanus has been received on 6 August 2018 from H du Plessis on behalf of the IC Trust in order to relax the 2m lateral- and rear building lines to 0,8m and 0m respectively, to accommodate alterations to the existing dwelling and internal changes to the existing garage.

RESOLVED :

1. that the objection be noted;
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1534, Hermanus in order to relax the western lateral building line from 2m to 1,2m to accommodate the alterations to the existing dwelling, **be partially approved** in terms of the provisions of Section 61 of the By-Law, due to the reasons set out below;
3. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1534, Hermanus in order to relax the western lateral- and rear building lines from 2m to 0m to accommodate the existing store room within the existing outbuilding, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the recommendations in paragraphs 1. and 2. above is subject to the following conditions:
 - (a) that this approval only relates to the relaxation of the building lines as indicated on the plans submitted with the application;
 - (b) that the proposed breakfast nook window not be developed as indicated on the proposed plans;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (c) that the proposed balustrade situated on the western side of the first floor street balcony be set back to 2m to limit access to the balcony which protrudes over the 2m lateral building line;
 - (d) that the amended building plans, indicating the aforementioned changes, be submitted to the Town Planning Department prior to submission Building Department;
 - (e) that building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
5. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 1534 HEC



General Notes

1. All drawings and specifications shall be certified by registered land surveyor.

2. All work shall be done in accordance with the relevant municipal requirements and those of other authorities.

3. All materials to be approved by the SABS or agreement board. All work to be done in accordance with the relevant municipal requirements and those of other authorities.

4. Where underfloor heating is indicated on the plan the affected floors to be insulated with 100mm EPS foam and to be installed around perimeter.

5. Brick polychrome foam and foam to be installed around perimeter.

DRAINAGE SINGLE STACK SYSTEM

1. A. Chemical temporary toilet for workmen to be provided before foundation excavations are inspected, in and ineffective position and to be kept in an open and accessible site.

2. Open end of vent pipe to be min. 2.0m above any opening into building with 9.5m radius. Stub vents to be fitted with an approved 2-way vent-valve. All drains to be laid at a fall of 1 in 100. All drains to be laid under paving to be fitted with marked covers. Drain under foundations to be prepared and to comply with PPS24.

3. All pipes and traps and to be fully accessible if under floors, with 1.0m clear end, and 1.0m clear end.

4. Any sewer pipe not deeper than 350mm under ground level (i.e. -150mm) to be laid in a concrete shaft, wide and strong enough to protect the sewer with min. 100mm concrete cover.

5. The radius at the center line of bend at the floor of the discharge stack shall be not less than 300mm. S other bends 600mm.

6. The radius at the center line of bend at the floor of the discharge stack connection of fit stack and drain to be min. 900mm.

7. Where any waste and soil branches are connected to stack the center line of the stack shall be not less than 200mm below the center line of the soil branch, all waste branches to connect separately to the stack.

8. Pipe Sizes:

40 dia : sink, veg. basin, shower, whb	Min. 2.6	1,2,5
40 dia : black, washing machine, bath, washthrough, dishwasher	5	2,5
100 dia : to toilets	2.5	1,2,5
100 dia : to toilets	1.4	5

9. Sewer connection as shown with 1.0m from connection.

10. Manholes to be built at municipal sewer connection.

11. COVERS AND FITTINGS TO BE INSTALLED BY SPECIALIST.

12. Chromesek finish in prescribed roof sheeting colour, colour Dark Dolphin.

13. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

14. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

15. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

16. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

17. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

18. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

19. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

20. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

21. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

22. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

23. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

24. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

25. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

26. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

27. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

28. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

29. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

30. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

31. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

32. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

33. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

34. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

35. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

36. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

37. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

38. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

39. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

40. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

41. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

42. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

43. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

44. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

45. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

46. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

47. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

48. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

49. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

50. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

51. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

52. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

53. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

54. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

55. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

56. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

57. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

58. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

59. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

60. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

61. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

62. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

63. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

64. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

65. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

66. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

67. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

68. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

69. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

70. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

71. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

72. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

73. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

74. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

75. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

76. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

77. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

78. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

79. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

80. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

81. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

82. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

83. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

84. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

85. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

86. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

87. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

88. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

89. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

90. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

91. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

92. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

93. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

94. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

95. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

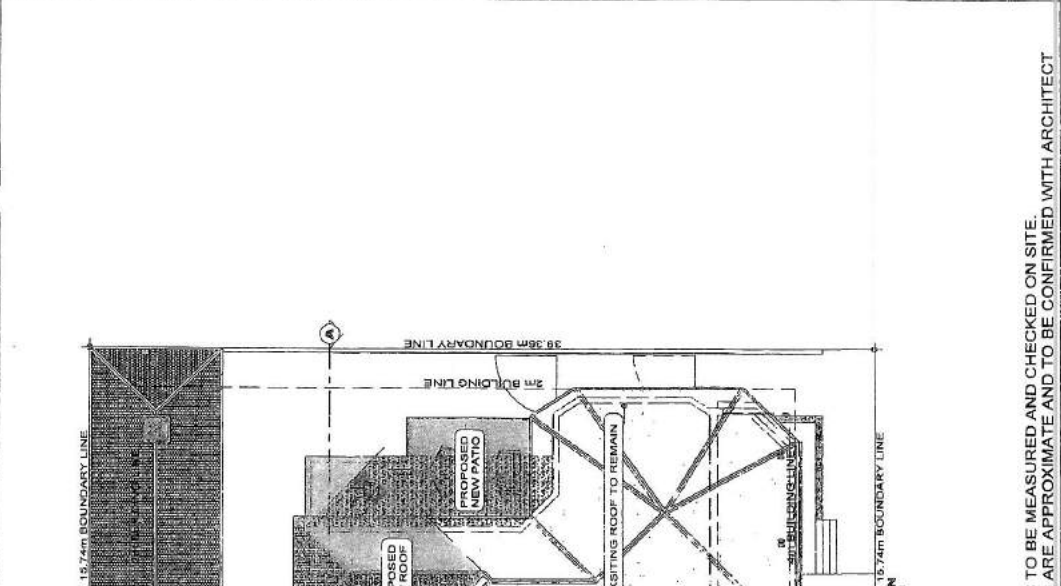
96. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

97. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

98. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

99. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.

100. All loadbearing brickwork to be 270 cavity walls with brickwork provided every three layers.



PLEASE NOTE:
 - ALL DIMENSIONS TO BE MEASURED AND CHECKED ON SITE.
 - ALL DIMENSIONS ARE APPROXIMATE AND TO BE CONFIRMED WITH ARCHITECT.

PLEASE NOTE
 NEEM ASSEBLIEF KENNIS
 1. MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RELEVANT MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES
 3. ALL MATERIALS TO BE APPROVED BY THE SABS OR AGREEMENT BOARD. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES
 4. WHERE UNDERFLOOR HEATING IS INDICATED ON THE PLAN THE AFFECTED FLOORS TO BE INSULATED WITH 100MM EPS FOAM AND TO BE INSTALLED AROUND PERIMETER
 5. BRICK POLYCHROME FOAM AND FOAM TO BE INSTALLED AROUND PERIMETER

DEVELOPMENT DATA

LOT 18, 146 MAIN ROAD
 SOMERSET WEST
 7130
 021 851 4031
 EBEN RALL
 10011
 LOURAH GELDERBLOEM
 (082) 442 0785
 1:200
 LS GELDERBLOEM D1365

HOUSE VAN DER MERWE - HERMANUS

PROPOSED ADDITIONS AND ALTERATIONS ON ERF 1534, KWAAKWATER HERMANUS

SCALE: 1:200
 DATE: 05.11.18
 FOL: VDM-001-01

PLEASE NOTE

- NEEM ASSEBLIET KENNIS**
1. MUNICIPAL REGULATIONS AND THOSE OF OTHER AUTHORITIES MUST BE OBSERVED TO THE FULL EXTENT.
 2. REGISTERED LAND SURVEYORS SHALL BE CONSULTED ON ALL LEVELS ON SITE. BUILDINGS MUST BE CHECKED BY THE CONTRACTOR TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE TO BE CHECKED AT REGULAR INTERVALS THROUGHOUT CONSTRUCTION. DIMENSIONS SHOULD BE RECORDED AS WORK PROGRESSES.
 4. BUILDING REGULATIONS SHALL BE OBSERVED AT ALL STAGES OF CONSTRUCTION AND LOCAL AUTHORITIES CONCERNED, TO BE ADVISED IMMEDIATELY.
 5. ALL GARBAGE AREAS SHOULD BE 1500MM AND AT A HEIGHT 1500MM ABOVE FINISHED FLOOR LEVEL.
 6. ALL DRAINAGE SYSTEMS SHOULD BE INSTALLED TO THE STREET OR TO THE SEWERAGE SYSTEM.
 7. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND COPYRIGHT HEREON IS RESERVED BY HIM.

DEVELOPMENT DATA

GROUND FLOOR	0m
COVERED PATIO	0m
POOL	0m
TOTAL GROUND FLOOR	0m
COVERED PATIO	0m
POOL	0m
TOTAL FIRST FLOOR	0m
GRAND TOTAL	0m
SITE	0m
COVERED PATIO	0m
POOL	0m
TOTAL	0m
COVERED PATIO	0m
POOL	0m
TOTAL	0m

EBEN RALL & ASSOCIATES

UNIT 16, 146 MAIN ROAD
ROBERT WEST
WINDYBUSH
021 851 4031

EBEN RALL
083 229 1541
LOUPHAR OELDERBLOEM
083 229 1541

MAP NO: LS GELDERBLOEM D1365

HOUSE VAN DER MERWE - HERMANUS

PROPOSED ADDITIONS AND ALTERATIONS ON ERF 1534, KWAAIWATER HERMANUS

PROJECT NO: 1000-01

APPROVED BY CLIENT/ENGINEER/DESK CLIENT

SCALE: 1:200	DATE: 05.11.18
DRAWN: [Name]	PROJECT NO: 1000-01
CHECKED: [Name]	DATE: 05.11.18
SCALE: 1:200	PROJECT NO: 1000-01
DATE: 05.11.18	PROJECT NO: 1000-01

General Notes

1. All glazing to comply with SANS 10400-N2008 - All sillsights and access doors, windows, lower than 1800mm above pitch line of stairs and balconies.
2. STAIRS AND BALUSTRADES
3. Risers max. 180mm
4. Balustrades 1000mm high with openings smaller than 100mm.

- FINISHES**
1. Walls: white emulsion paint on 12.5mm rendering at 400 c/c.
 2. Smooth plaster on inside end of cupboards.
 3. Pre-coat external and timber internal window sills.
 4. Painting: Internal ceilings: one filler coat and two coats of PVA, external walls: one primer coat and two coats weather proof PVA exposed timber: two coats varnish.

Deemed-to-satisfy requirements of SANS 10400:

Structural System - Part B:

- Structural Concrete according to SABS 0100
- Handrails according to SABS 0104
- Glazing according to SABS 0137
- Stairs according to SABS 0137
- Stairs, windows, doors, etc. shall be in accordance with the detailed requirements of SANS 10400-C
- All safety glass to be safety glass
- Structural Steel according to SABS 0163
- Structural Timber according to SABS 0163
- Structural Masonry according to SABS 0164

The structural system of the building shall comply with the requirements of parts H, J, K, L, M or N of SANS 10400. The structural system shall be in accordance with the requirements of SANS 10400-C.

Dimensions - Part C: The dimensions of any room or space are in accordance with the detailed requirements of SANS 10400-C.

Public Safety - Part D: A change in level, the design of ramps and driveways, access to swimming pools and swimming baths is in accordance with the detailed requirements of SANS 10400-D.

Site Operations - Part E: The provision of sanitary facilities is in accordance with the detailed requirements of SANS 10400-E.

Excavations - Part G: The excavation relating to a building shall be in accordance with the detailed requirements of SANS 10400-G.

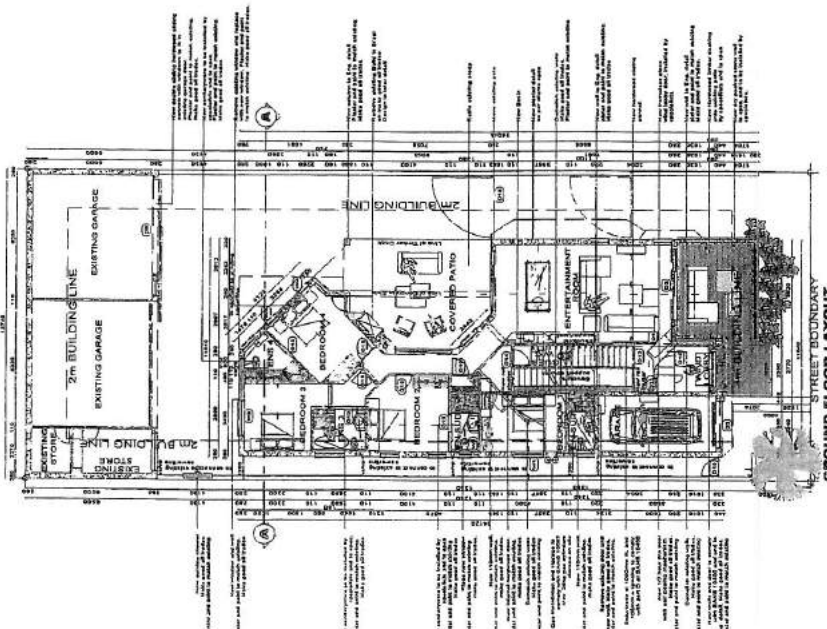
Floors - Part J: Floors in any laundry, kitchen, shower room, bathroom or room used for the storage of goods shall be in accordance with the detailed requirements of SANS 10400-J.

Part S: Sills supported on the ground are in accordance with the detailed requirements of SANS 10400-S.

Walls - Part K: The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-K.

The roof fitting is in accordance with the detailed requirements of SANS 10400-L.

The weather protection of a roof is in accordance with the detailed requirements of SANS 10400-L.



GROUND FLOOR LAYOUT
SCALE 1:200

General Notes

1. Roof coverings and waterproofing systems are in accordance with the requirements of SANS 10400-L; of the subject of a rational design or rational assessment of SANS 10400-L; or the subject of a rational design or rational assessment of SANS 10400-L.

2. The roof assembly and any ceiling assembly, in addition to complying with the requirements of SANS 10400-C, are in accordance with the requirements of SANS 10400-L, that comply with the requirements of SANS 10400-L, in accordance with SANS 10400-B and SANS 10400-L, the use and appearance, if any, are sized in accordance with the fire resistance and combustibility of the roof assembly or any ceiling assembly are in accordance with the detailed requirements of SANS 10400-L.

3. All roofs according to Engineers and Manufacturers specifications -Part M: Stairways are in accordance with the detailed requirements of SANS 10400-M.

4. Walk, screens, railings or balustrades to such stairway are in accordance with the requirements of SANS 10400-K and SANS 10400-T.

5. SANS 10400-B: The type and fixing of glazing is in accordance with the detailed requirements of SANS 10400-B.

6. The selection of the glazing is in accordance with the requirements of SANS 10400-L and the detailed requirements of SANS 10400-C.

7. Lighting and ventilation -Part O: The lighting in a habitable room, bathroom, shower room and

8. SANS 10400-C: The design of the drainage system is in accordance with the requirements of SANS 10400-C.

9. Stormwater disposal -Part R: The means for the control and disposal of stormwater is in accordance with the requirements of SANS 10400-R.

10. SANS 10400-S: The means for providing facilities for persons with disabilities is in accordance with the detailed requirements of SANS 10400-S.

11. Fire protection -Part T: The fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T.

12. Space heating -Part V: The provision of space heating is in accordance with the detailed requirements of SANS 10400-V.

GENERAL NOTE
NEEM ASSSELIEF KENNIS

1. THE CLIENT IS RESPONSIBLE FOR THIS AND THESE OR OTHER AUTHORITIES MUST BE ADVISED TO THIS EFFECT BEFORE ANY WORK COMMENCES. REGISTERED LAND SERVANTS AND SERVANTS MUST BE ADVISED TO THIS EFFECT BEFORE COMMENCEMENT OF WORK BY THE CONTRACTOR ON THE SITE.

2. ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

5. ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

6. ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED.

7. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND COPYRIGHT THEREOF IS RESERVED BY HIM.

DEVELOPMENT DATA

GROUND FLOOR: 0m²
COVERED PATIO: 0m²
POOL: 0m²
ROOF: 0m²
TOTAL: 0m²

FIRST FLOOR FLOOR: 0m²
COVERED PATIO: 0m²
TOTAL: 0m²

GRAND TOTAL: 0m²

SITE: 0m² TO FIRST FLOOR: 0m²
COVERAGE: 0%

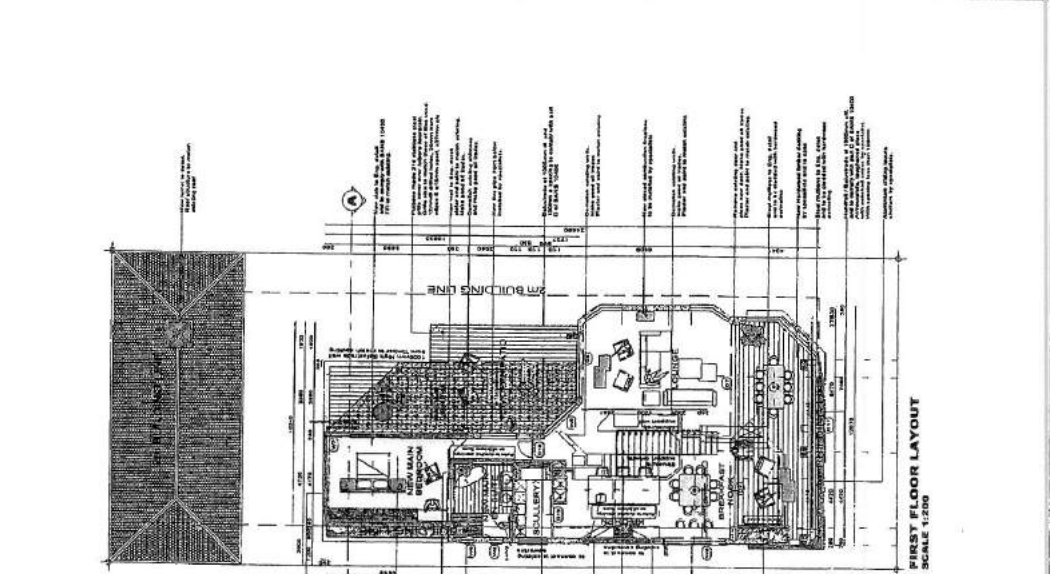
EBEN RALL & ASSOCIATES
UNIT 16, 146 MAIN ROAD
MAGRETHBURGH WEST
7130
021 851 4031
EBEN RALL:
(082) 229 1541
JURIE GELOERBLOEK:
(082) 243 9793
SADP nr: LS GELDERBLOEM D1385

HOUSE VAN DER MERWE - HERMANUS

PROPOSED ADDITIONS AND ALTERATIONS ON ERF 1534 KWAAIWATER HERMANUS

APPROVED BY CLIENT / OORDEKER (OUR CLIENT)
DRAWING NUMBER

SCALE: 1:200
DRAWING: FLOOR LAYOUT
PROJECT NO: A3
DATE: 05/11/18
FOL: VDM-101-01



DEVELOPMENT DATA

GROUND FLOOR: 0m²
COVERED PATIO: 0m²
POOL: 0m²
ROOF: 0m²
TOTAL: 0m²

FIRST FLOOR FLOOR: 0m²
COVERED PATIO: 0m²
TOTAL: 0m²

GRAND TOTAL: 0m²

SITE: 0m² TO FIRST FLOOR: 0m²
COVERAGE: 0%

EBEN RALL & ASSOCIATES
UNIT 16, 146 MAIN ROAD
MAGRETHBURGH WEST
7130
021 851 4031
EBEN RALL:
(082) 229 1541
JURIE GELOERBLOEK:
(082) 243 9793
SADP nr: LS GELDERBLOEM D1385

HOUSE VAN DER MERWE - HERMANUS

PROPOSED ADDITIONS AND ALTERATIONS ON ERF 1534 KWAAIWATER HERMANUS

APPROVED BY CLIENT / OORDEKER (OUR CLIENT)
DRAWING NUMBER

SCALE: 1:200
DRAWING: FLOOR LAYOUT
PROJECT NO: A3
DATE: 05/11/18
FOL: VDM-101-01

PLEASE NOTE
NEEM ASSEBLIEF KENNIS

1. THESE ADDITIONS AND ALTERATIONS MUST BE APPROVED BY THE LOCAL AUTHORITY.
2. PORTIONS OF BOUNDARY PLOTS TO BE CERTIFIED BY THE LOCAL AUTHORITY.
3. THE BUILDING SITE TO BE CHECKED BY THE CONTRACTOR TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
4. DIMENSIONS BE REQUIRED PLEASE CONSULT ARCHITECT.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL RELEVANT NATIONAL, PROVINCIAL AND LOCAL AUTHORITIES CONCERNED TO BE OBTAINED.
6. ALL GLASS AREAS BECOME THEM FROM AND AT A HEIGHT LESS THAN 1000MM FROM THE FINISHED FLOOR LEVEL TO BE FILLED WITH GLASS.
7. THE DESIGN OF THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

DEVELOPMENT DATA

GROUND FLOOR:	0m ²
COVERED PATIO:	0m ²
POOL PATIO:	0m ²
TOTAL GROUND FLOOR:	0m ²
COVERED PATIO:	0m ²
POOL PATIO:	0m ²
GRAND TOTAL:	0m ²
SITE:	0m ²
GROUND TO FIRST FLOOR:	0m
COVERAGE:	0%

EBEN RALL & ASSOCIATES
 UNIT 16, 148 MAIN ROAD
 SOMERSET WEST
 021 451 4031

EBEN RALL:
 (082) 220 1541
 LOURAH GELDERBLOEM:
 (082) 442 0788

MCAP# LS GELDERBLOEM D1785
CLIENT#

HOUSE VAN DER MERWE - HERMANUS

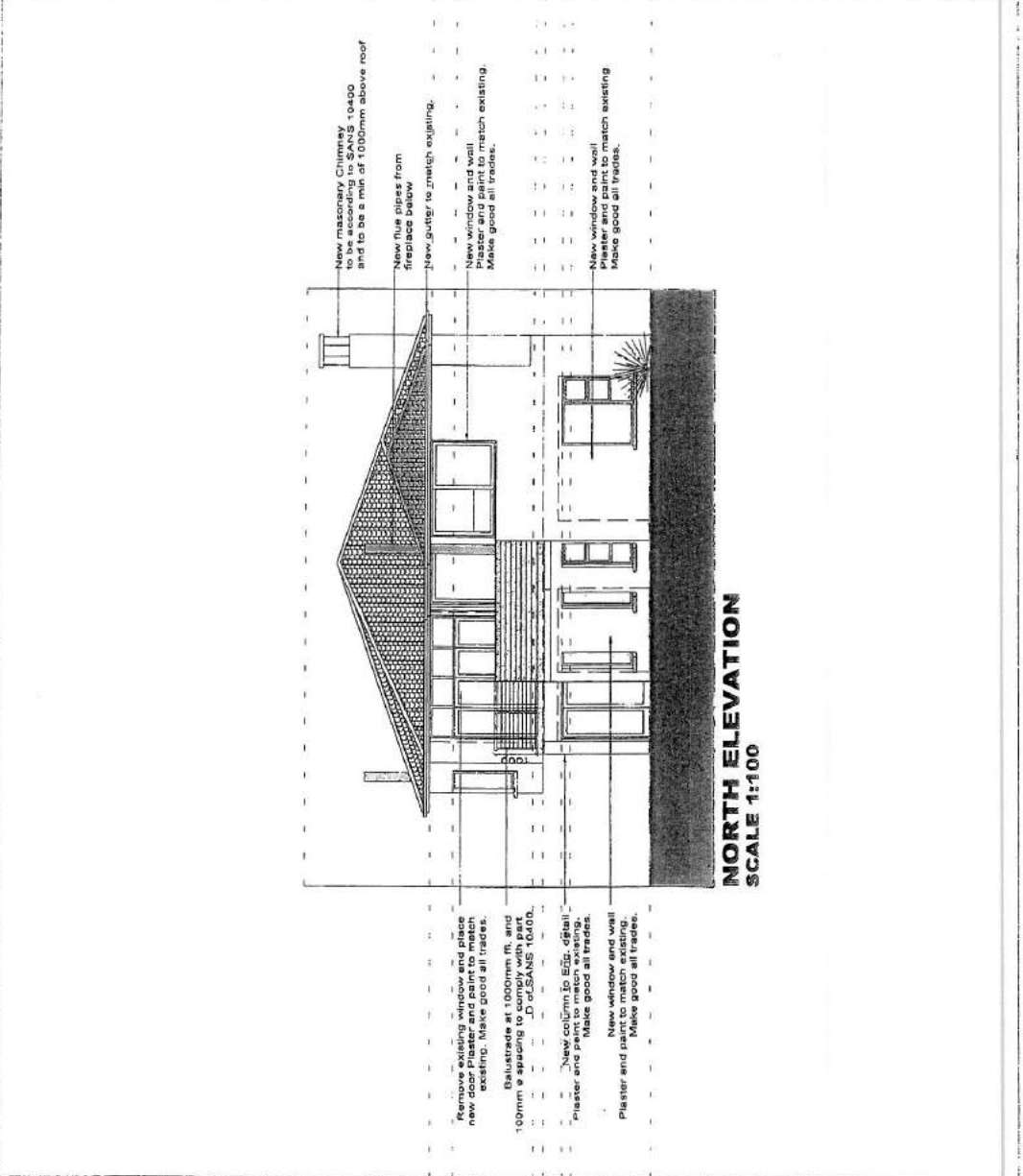
PROPOSED ADDITIONS AND ALTERATIONS TO HOUSE VAN DER MERWE - HERMANUS

APPROVED BY CLIENT / GEREDEMAKTER DEUR KLIENT

DRAWING REFERENCE

North Elevation

SCALE: 1:200	MAP REFERENCE: A3
DATE: 05.11.18	PROJECT NO: VDM-200-01
DATE: 05.11.18	DATE: 05.11.18
DATE: 05.11.18	DATE: 05.11.18



NORTH ELEVATION
SCALE 1:100

PLEASE NOTE

NEEM ASSEBLIEF KENNIS

1. MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES
2. PORTIONS OF BOUNDARY FEET TO BE CERTIFIED BY
3. ALL DIMENSIONS ON DRAWING NOT TO BE SCALED. SHOULD ANY
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL
5. ALL GLASS UNITS BIGGER THAN 150mm AND AT A HIGHT LESS
6. WITH ROOMS PRUPE TO BE IN ACCORDANCE WITH THE NATIONAL
7. CONCRETE AND BRICK TO BE STRENGTH AS SPECIFIED IN THE
8. AGREEMENTS AND COMMITMENT THEREOF IS REPRESENTED BY THEM

DEVELOPMENT DATA

GROUND FLOOR:	0m ²
CARAGE:	0m ²
OPEN PATIO:	0m ²
TOTAL:	0m ²
TOTAL GROUND FLOOR:	0m ²
FIRST FLOOR:	0m ²
OPEN PATIO:	0m ²
TOTAL FIRST FLOOR:	0m ²
GRAND TOTAL:	0m ²
GROUND TO FIRST RATIO:	0%
COVERARGE:	0%

EBEN RALL & ASSOCIATES

UNIT 16, 146 MAIN ROAD
SOMERSET WEST
221 851 4331

ROSEN SAAL
133 LOURAH GELDERBLOEM
(082) 442 0725

SKOP W
LS GELDERBLOEM D1365



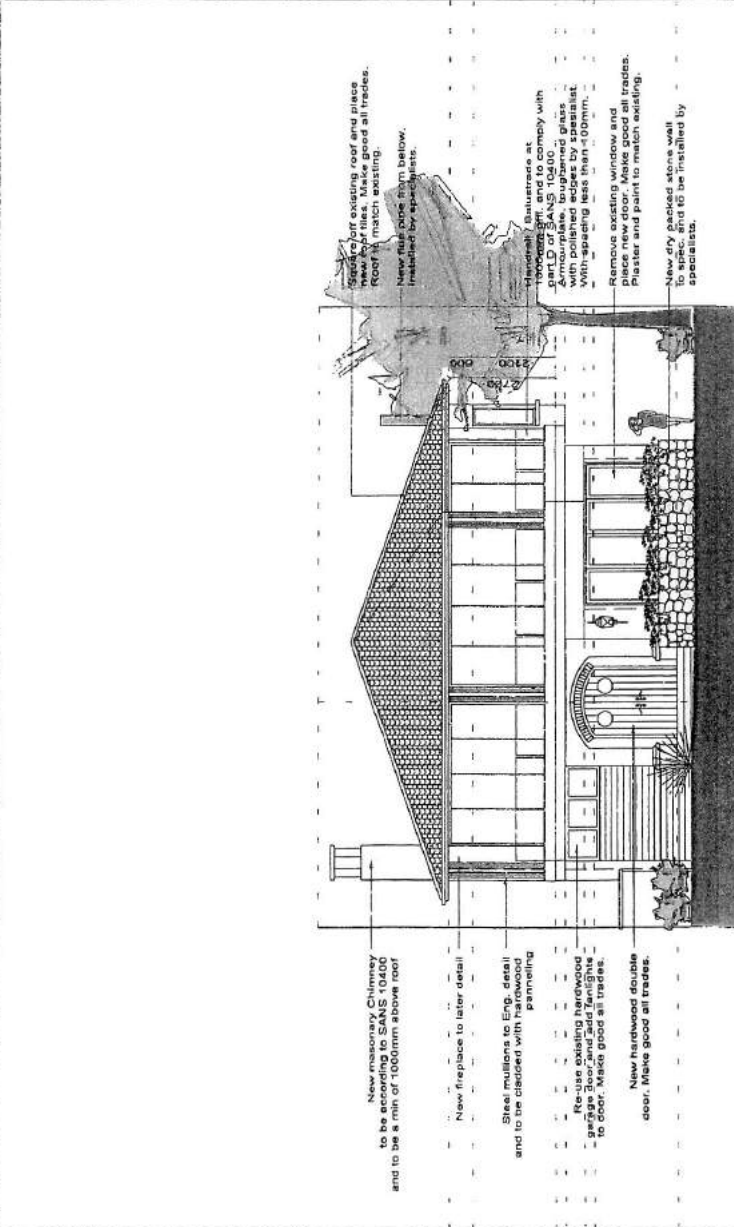
**HOUSE VAN DER
MERWE -
HERMANUS**

PROJECT NUMBER
PROPOSED ADDITIONS
AND ALTERATIONS
ON ERF 1534, KWAIWATER
HERMANUS

APPROVED BY CLIENT / OORSEKURER: **HERN KUISE**

DRAWING NUMBER:
South Elevation

SCALE: 1:200	PAPER SIZE: A3
DRAWN BY: [Name]	PROJECT NO: [Number]
DATE: 02.08.18	FOL: [Page]
	VDM-201-00



**SOUTH ELEVATION
SCALE 1:100**

PLEASE NOTE
NEEM ASSEBLIEF KENNIS

1. ALL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES
 2. PORTIONS OF ADJACENT PLOTS TO BE CERTIFIED BY USLS
 ON THE BUILDING SITE TO BE CHARGED BY THE CONTRACTOR
 TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. DISCREPANCIES
 3. DIMENSIONS AS REQUIRED PLEASE CONSULT ARCHITECT AND
 4. ALL DIMENSIONS MUST BE IN ACCORDANCE WITH THE NATIONAL
 OF MUNICIPAL AND LOCAL AUTHORITIES CONCERNED. TO BE
 5. ALL DIMENSIONS MUST BE IN ACCORDANCE WITH THE NATIONAL
 6. ALL DIMENSIONS MUST BE IN ACCORDANCE WITH THE NATIONAL
 7. THE DESIGN AND SPEC TO BE OBTAINED FROM THE ARCHITECT
 ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM

DEVELOPMENT DATA

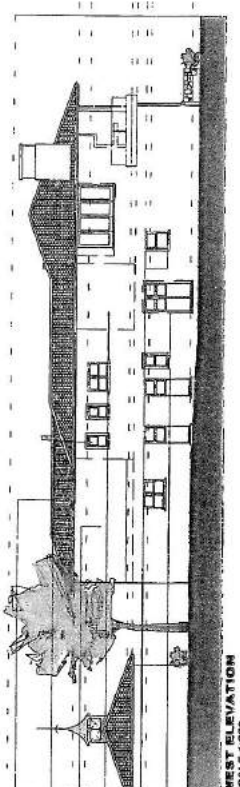
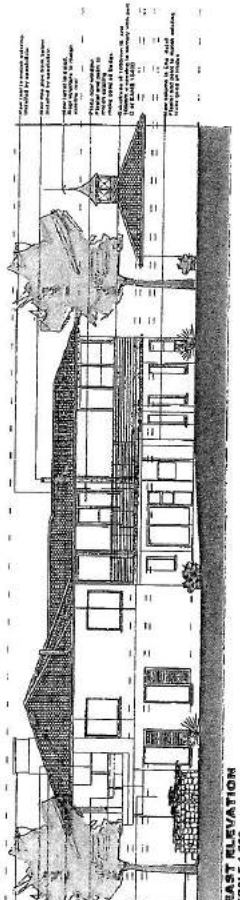
GROUND FLOOR:	0m ²
COVERED PATIO:	0m ²
POOL PATIO:	0m ²
TOTAL GROUND FLOOR:	0m ²
FIRST FLOOR:	0m ²
SECOND FLOOR:	0m ²
OPEN PATIO:	0m ²
POOL PATIO:	0m ²
GRAND TOTAL:	0m ²
SITE:	0m ²
GROUND TO FIRST RATIO:	0%
COVERAGE:	0%

EBEN RALL & ASSOCIATES
 UNIT 18, 140 MAIN ROAD
 SOMERSET WEST
 021-481-4031
 EBEN RALL
 (021) 229 1541
 LONNAN-GELDERBLOEM
 (021) 442 0750
 PACOP # 15 GELDERBLOEM D1365
 CLIENTS: [Redacted]

**HOUSE VAN DER
 MERWE -
 HERMANUS**

**PROPOSED ADDITIONS
 AND ALTERATIONS
 ON ERF 1534, KWAIWATER
 HERMANUS**

APPROVED BY CLIENT / GOEDKEURDEUR KENNIS
 DRAWING NUMBER: [Redacted]
 DRAWING DATE: [Redacted]
 DRAWING SCALE: [Redacted]
 DRAWING TYPE: [Redacted]
 DRAWING NO: [Redacted]
 DATE: 05.11.18
 FDL: VDM-203-01



SCALE: 1:200	PROJEKTNUMMER: 1534
DATE: 05.11.18	PROJEKTNAAM: HOUSE VAN DER MERWE - HERMANUS
FDL: VDM-203-01	PROJEKTLEIER: [Redacted]

PLEASE NOTE
NEEM ASSEBLIEF KENNIS

1. MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE REFERRED TO.
 2. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE REGISTERED LAND SERVICE FOR ALL DIMENSIONS AND LEVELS ON THE SITE.
 3. ALL DIMENSIONS ON DRAWINGS NOT TO BE SCALED. SHOULD ANY DIMENSIONS BE SCALED, THEY MUST BE IN ACCORDANCE WITH THE NATIONAL STANDARDS.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL REQUIREMENTS APPLICABLE TO THE PROJECT.
 5. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE REGISTERED LAND SERVICE FOR ALL DIMENSIONS AND LEVELS ON THE SITE.
 6. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE REGISTERED LAND SERVICE FOR ALL DIMENSIONS AND LEVELS ON THE SITE.

DEVELOPMENT DATA

GROUND FLOOR	0m ²
COVERED PATIO	0m ²
TOTAL	0m ²
GROUND FLOOR	0m ²
FIRST FLOOR	0m ²
COVERED PATIO	0m ²
TOTAL FIRST FLOOR	0m ²
GRAND TOTAL	0m ²
SITE AND TO FIRST FLOOR	0m ²
COVERED PATIO	0m ²
COVERED PATIO	0m ²

EBEN RALL & ASSOCIATES

SUIT 104, 108 MAIN ROAD
 SOMERSET WEST
 7130
 021 851 4031

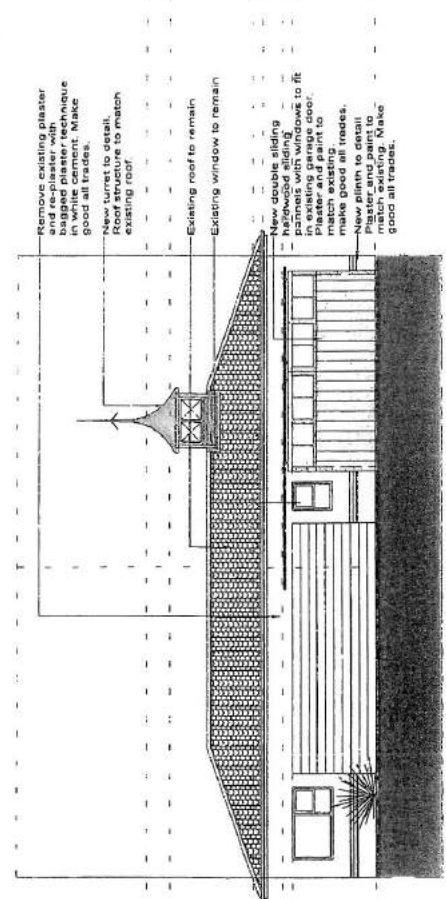
EBEN RALL
 (012) 229 1541
 (032) 442 0725

DCOP # LS GELDERLOEM D1365

HOUSE VAN DER MERWE - HERMANUS

PROPOSED ADDITIONS AND ALTERATIONS ON ERF 1534, KWAAIWATER HERMANUS

APPROVED BY CURPT / SEKONKUR DEUR NEPT



GARAGE ELEVATION
SCALE 1:100

DRAWING TITLE: Garage Elevation

SCALE: 1:200

DATE: 05.11.16

PROJECT NO: VDM-204-01

CLIENT: FDL

DESIGNER: HERMANUS

DATE: 05.11.16

PROJECT NO: VDM-204-01

SCALE: 1:200

DATE: 05.11.16

PROJECT NO: VDM-204-01

PLEASE NOTE
NEM/ASSEBLIET KENNIS

1. MUST BE ADDRESSED TO THE CITY ENGINEER AND TO THE CITY ENGINEER'S OFFICE.
2. REGISTERED LAND SURVEYOR ALL DIMENSIONS ON THIS DRAWING TO BE CHECKED BY THE CONTRACTOR ON SITE.
3. TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
4. OVERSEAS BE REQUIRED PLEASE CONSULT ARCHITECT IMMEDIATELY.
5. BUILDING REGULATIONS HAVE TO BE OBTAINED FROM THE ARCHITECT IMMEDIATELY.
6. ALL GABLE AREAS BIGGER THAN 150MM AND A HEIGHT LESS THAN 150MM TO BE FILLED WITH CONCRETE.
7. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

DEVELOPMENT DATA

GROUND FLOOR	0m
COVERED PATIO	0m
POOL PATIO	0m
TOTAL GROUND FLOOR	0m
COVERED PATIO	0m
TOTAL FIRST FLOOR	0m
GRAND TOTAL	0m
SITE	0m
AND TO FIRST RATIO	0m
CONCRETE	0m

EBEN RALL & ASSOCIATES

UNIT 16, 145 MAIN ROAD
 ROBERT WEST
 7100
 021 851 4031

EBEN RALL:
 (082) 225 1541
 LOUHAN GELDERBLOEM
 (082) 442 0752

SAGP No: LS GELDERBLOEM 01365

HOUSE VAN DER MERWE - HERMANUS

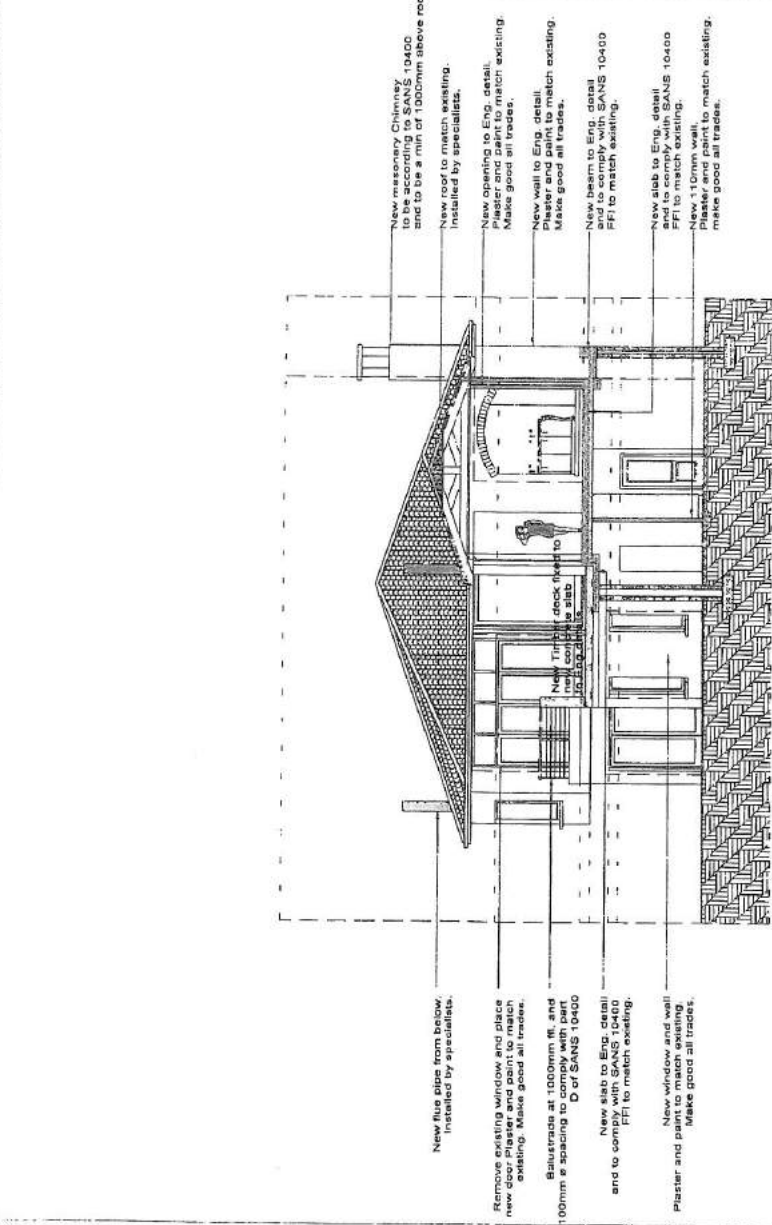
PROJECTWORK:

PROPOSED ADDITIONS AND ALTERATIONS TO HOUSE VAN DER MERWE - HERMANUS ON ERFP

APPROVED BY CLIENT / GOEDKEURDEUR CLIENT:

Section

SCALE: 1:100	PAP: B2/PAP: A1
DATE: 05.11.18	PROJECT NO: VDM-300-01
DATE: 05.11.18	FDL: VDM-300-01



SECTION A:A
SCALE 1:100

- New masonry chimney 19400 and to be a min of 1000mm above roof installed by specialist.
- New opening to Eng. detail. Plaster and paint to match existing. Make good all trades.
- New wall to Eng. detail. Plaster and paint to match existing. Make good all trades.
- New beam to Eng. detail and to comply with SANS 10400 P1 to match existing.
- New slab to Eng. detail and to comply with SANS 10400 P1 to match existing. Plaster and paint to match existing. Make good all trades.

- New flue pipe from below. Installed by specialist.
- Remove existing window and place new door plaster and paint to match existing. Make good all trades. Slabwidth at 1000mm R6 and 100mm spacing to comply with part D of SANS 10400
- New slab to Eng. detail and to comply with SANS 10400 P1 to match existing.
- New window and wall plaster and paint to match existing. Make good all trades.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1534, EASTCLIFF (4113)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1534, Eastcliff, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

19 DEC 2018

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

14. ERF 2001, 41 TENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION AND DEPARTURE: MESSRS PLANACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF "DIE K EN D TRUST"

2001 HVK (4072)

**SW van der Merwe
7 March 2019**

(028) 313 8900

Hermanus Administration

Executive Summary

An application applicable to Erf 2001, Hermanus has been received on 29 June 2018 from Messrs PlanActive Town and Regional Planners on behalf of "Die K en D Trust" for the:

- (a) subdivision in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) of the property into two (2) portions, namely Portion A ($\pm 595\text{m}^2$ in extent) and Portion B ($\pm 595\text{m}^2$ in extent), and
- (b) departure in terms of Section 16(2)(b) of the above By-Law for the relaxation of the northern lateral building line of the above proposed Portion B from 2m to $\pm 0,9\text{m}$ to accommodate an existing garage after subdivision; as well as the eastern lateral building of the said Portion B from 2m to 0m to accommodate the said garage after subdivision.

RESOLVED :

1. that the application in terms of Section (16)(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for the subdivision of Erf 2001, Hermanus into two (2) portions, namely Portion A ($\pm 595\text{m}^2$ in extent) and Portion B ($\pm 595\text{m}^2$ in extent), **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the above By-Law for the relaxation of the northern lateral building line of the above Portion B from 2m to $\pm 0,9\text{m}$ to accommodate an existing garage after subdivision, as well as the eastern lateral building line of the said Portion B from 2m to 0m to accommodate the said garage after subdivision, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals in 1. and 2. be subject to the following conditions:

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (a) that this approval is for the subdivision and building line encroachments as indicated on Plan No herm2001s2.drw dated May 2018 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that the demolition works be done in the manner as indicated on the Subdivisional Plan;
 - (d) that a permit for the demolition works be obtained from the Building Control Development, prior to any demolition works may be commenced with;
 - (e) that all the conditions of the Fire Department, Telkom and Engineering Department, be complied with;
 - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (g) that the development parameters as prescribed in the relevant Zoning Scheme be applicable to the newly created land units.
4. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



Scale: NTS
 Drawing No: JAM5531JW
 Date: MAY 2018

Plan Description: LOCALITY MAP

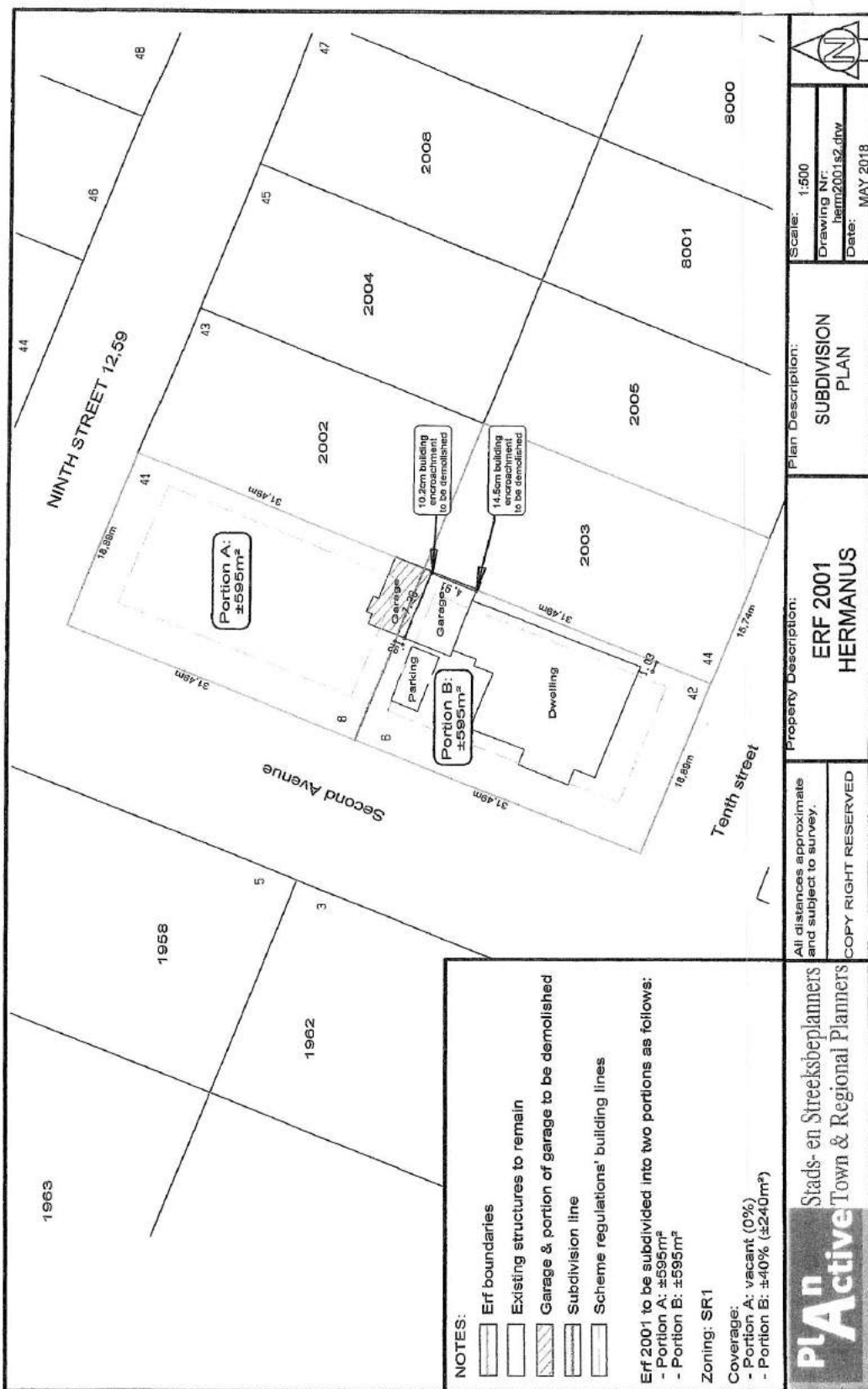
Property Description: ERF 2001 HERMANUS

All distances approximate and subject to survey.

PLAN Active Town & Regional Planners

Notes: The site

Copyright: COPY RIGHT RESERVED



NOTES:

- Erf boundaries
- Existing structures to remain
- Garage & portion of garage to be demolished
- Subdivision line
- Scheme regulations' building lines

Erf 2001 to be subdivided into two portions as follows:

- Portion A: ±595m²
- Portion B: ±595m²

Zoning: SR1

Coverage:

- Portion A: vacant (0%)
- Portion B: ±40% (±240m²)

	Stads- en Streeksbeplanners Town & Regional Planners	Property Description: ERF 2001 HERMANUS	Plan Description: SUBDIVISION PLAN	Scale: 1:500 Drawing Nr: herm2001.s2.dwg Date: MAY 2018
	All distances approximate and subject to survey. COPY RIGHT RESERVED			

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & SUBDIVISION: ERF 2001, VOELKLIP (4072)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2018/2019) is as follows:

Freehold erven:

Water	R 21 688.60 x 1	=	R 21 688.60
Sewerage	R 14 623.16 x 1	=	R 14 623.16
Roads	R 6 557.01 x 1	=	R 6 557.01
Stormwater	R 7 565.79 x 1	=	R 7 565.79
Solid Waste	R 1 311.40 x 1	=	R 1 311.40
Electricity	R 32 139.45 x 1	=	R 32 139.45
TOTAL (inclusive of VAT)		=	R 83 885.41

Note:

1.3 The above figures are estimates

1.4 The above figures do not include connection fees

2. that the existing water connection and new sewer septic tank to Portion B of Erf 2001 shall be used to service the proposed Portion B of Erf 2001;

3. that any part of the existing water- and sewer services on Portion A of Erf 2001 that crosses the common boundary of Portion A of Erf 2001 and Portion B of Erf 2001 be disconnected and sealed off;
4. that Portion B of Erf 2001 must be serviced with individual and separate water connections which must comply with the standards of the Department: Operational Services, as well as a sewer conservancy tank;
5. that new suction points for sewer septic tanks, which must comply with the standards of the Department: Operations must be provided for Portion B of Erf 2001 at the street boundary with Second Ave;
6. that only a standard 60 Amp single phase electricity connection will be available per erf;
7. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
8. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
9. that any additional and / or extended vehicle entrances will be for the owner's account;
10. that stormwater be allowed to discharge through the proposed Erven, Voelklip, unobstructed;
11. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**15. ERF 3518, 72 VILJOEN STREET, ONRUSTRIVIER, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: J VAN DER MERWE ON
BEHALF OF REOJAC (PTY) LTD**

3518 HON (4131)

H Olivier

(028) 313 8900

Hermanus Administration

20 February 2019

Executive Summary

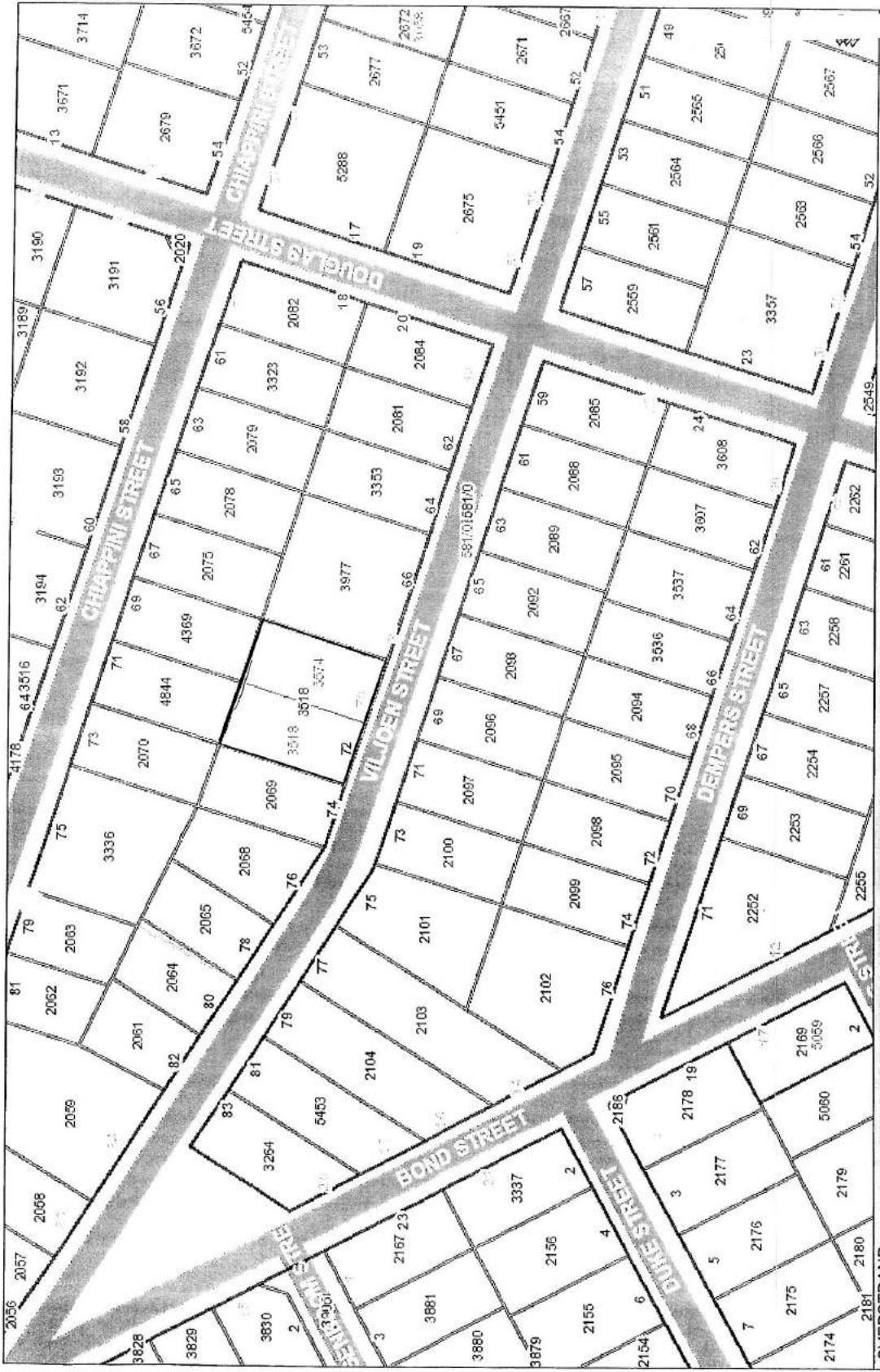
An application has been received on 2 August 2018 from J van der Merwe on behalf of Reojac (Pty) Ltd on Erf 3518, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 1,1m to convert a portion of a balcony into an on-suite bathroom and also to relax the eastern lateral building line from 2m to 0,94m to accommodate a pergola for vehicle parking.

RESOLVED :

1. that the application in terms of Section 47 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) and in terms of Section 16(2)(b) to relax the western lateral building line from 2m to 1,1m to accommodate the conversion of a portion of a balcony to an on-suite bathroom, and also to relax the eastern lateral building line from 2m to 0,94m to accommodate a pergola, be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that approval is only for a departure to relax building lines as indicated on Plan 1803reojact dated 19 July 2018, submitted with this application;
 - (b) that building plans be submitted to the Building Department for their approval, and that all conditions stipulated by the Building Department and Fire Department at that stage, be complied with;
 - (c) that this is not an approval in terms of any other legislation;
 - (d) that the conditions in the Services Report, be complied with, and
 - (e) that all the conditions of the Fire Department be complied with.

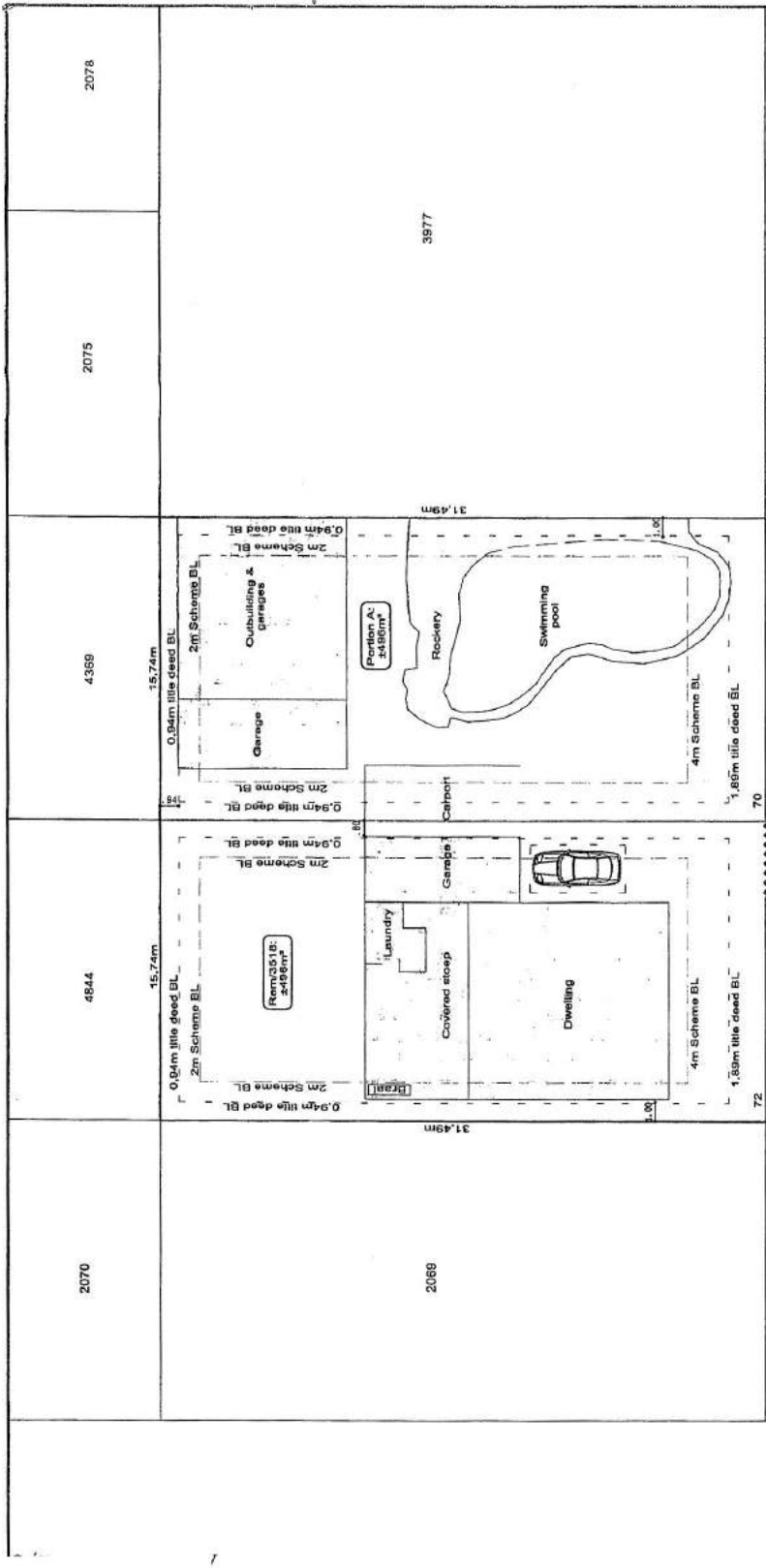
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 62 of the Local Government : Municipal Systems Act No 32 of 2000 with regard to the above conditions of approval.



Locality Map
3518 HON





NOTES:

- Erf boundaries
- Subdivision line
- Existing structures
- Structures to be demolished
- Scheme regulations' building lines
- Title deed building lines
- Swimming pool

Erf 3518 Onrus to be subdivided as follows:
 Portion A: 3496m² (coverage 323%)
 Remainder: 2499m² (coverage 342%)

PLA n Active Stads- en Streekskeplanners
 Town & Regional Planners

Property Description:
ERF 3518
ONRUSTRIVIER

Scale: 1:500
 Drawing No: 0101315/16.dwg
 Date: MARCH 2017

Property Description:
ERF 3518
ONRUSTRIVIER

Scale: 1:500
 Drawing No: 0101315/16.dwg
 Date: MARCH 2017

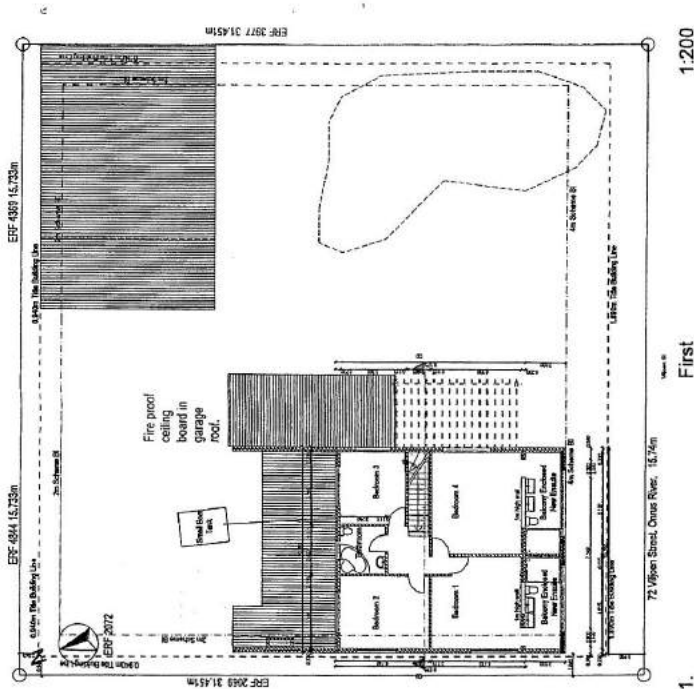
Property Description:
ERF 3518
ONRUSTRIVIER

Scale: 1:500
 Drawing No: 0101315/16.dwg
 Date: MARCH 2017

Property Description:
ERF 3518
ONRUSTRIVIER

Scale: 1:500
 Drawing No: 0101315/16.dwg
 Date: MARCH 2017

60min Fire rated ceiling to be installed, to consist out of 2x layers Gyproc FireStop Rhino board 15mm (or similar approved) fixed to Donn steel bracing (or similar approved) running perpendicular to the direction of the bracing. All to be done by specialist and to manufacturers specifications and details. All to comply with the minimum deem-to-satisfy requirements of SANS 10177 Part 2.



Architecture-Online.co.za SANS 204 Fenestrations Maths Output.

Competent Person:		stevan		Date:		2018/03/28													
SRF	Client	Envelope	m2	Zone	Cu	Cshgc	Aircon	Tot Cu	Max Cu	%	Tot Shgc	Max Shgc	%	Total					
	Japo Con First	119	4	159.36	12.37	119	1.41	100	12.37	119	13	100	159.36	2.37					
#	MWES	W	WH	Glass	Frame	P	H	G	E	A	S	Cu	Sh	Cc	U	Aircon	Cu	Shgc	
1	N	2	1.2	3	1	1	1.7	.5	0.33	2.4	1.66	1.37	1.96	1.53	1.79	1	1.2144	13.152	5227
2	N	2	1.2	3	1	1	1.7	.5	0.33	2.4	1.66	1.37	1.96	1.53	1.79	1	1.2144	13.152	5227
2	N	9	9	3	1	3	1.4	.5	0.52	8.1	3.66	3.7	9.9	1.53	9.3	1	5.184	46.413	278
3	W	2	1.2	3	1	3	1.7	.5	1.18	2.4	1.66	1.65	1.07	1	1.07	1	1.4488	13.152	589
4	W	2.4	1.2	3	1	3	1.7	.5	1.18	2.88	1.66	1.65	1	1.07	1	1	1.7384	16.502	242
7	S	3.3	1.8	3	1	3	2.3	.5	0.49	5.84	1.66	1.87	1	1.39	1	1	3.1844	4.086	1921
8	S	3.3	1.8	3	1	3	2.3	.5	0.49	5.84	1.66	1.87	1	1.39	1	1	3.1844	4.086	1921
5	E	2.4	1.2	3	1	3	1.7	.5	0.93	2.88	1.66	1.59	1	1.39	1	1	2.0157	6.502	787
6	E	1.8	1.2	3	1	3	1.7	.5	0.93	2.16	1.66	1.59	1	1.39	1	1	1.5118	2.376	326

Total Conductance:
 [119m2] Cu: 159.35 = 85.65 % (119max)
 Total Solar Heat Gain:
 119m2] CSHGC: 12.37 = 79.95 % (119max)

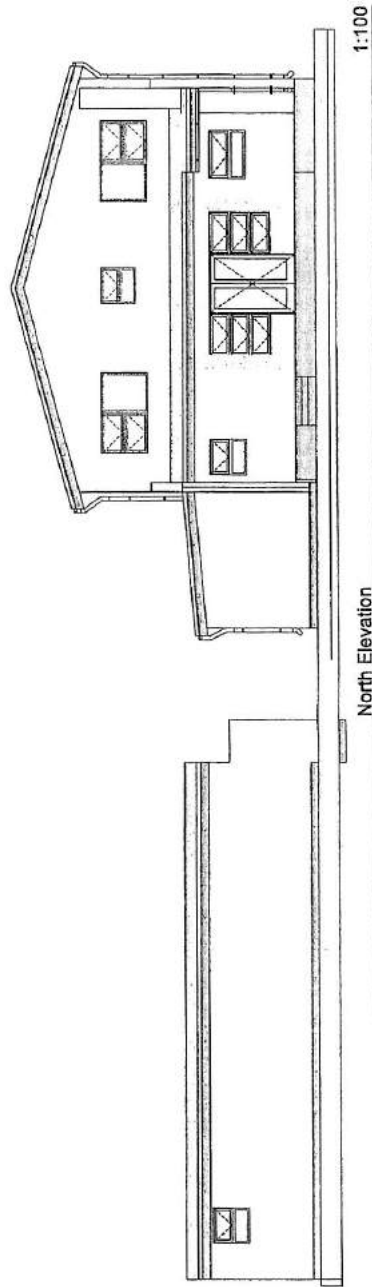
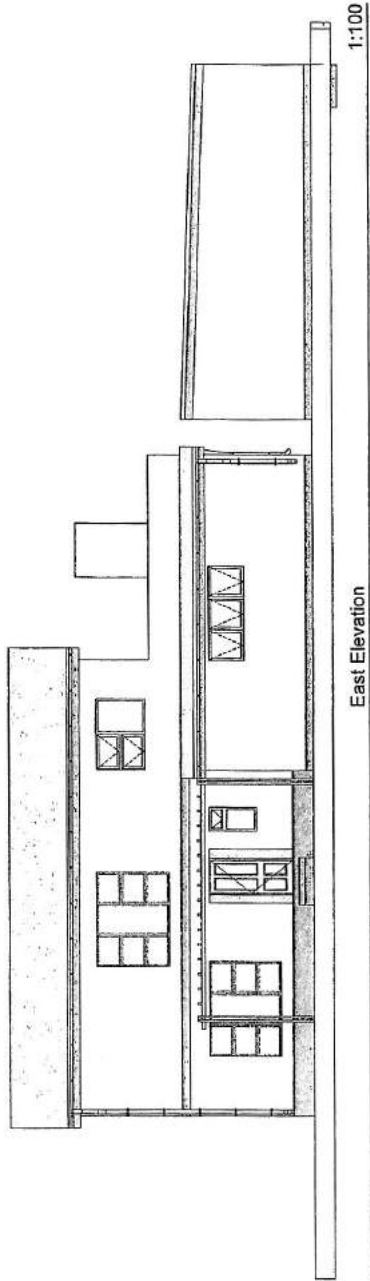
ImageStudio
 Architectural Plans 074 102 7897
 Drawn by: Steven van der Merwe
 Checked by: D2466 PArchdraught
 Date: 19 July 2018
 steven.van.der.merwe@gmail.com

First
 1:200
 Drawing Status: As Built Drawing

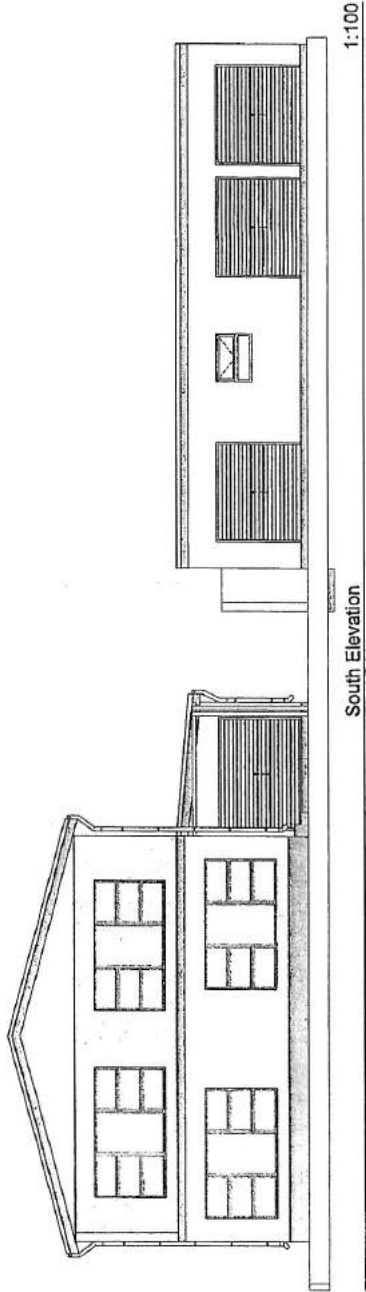
Job Details
 Status: Erf 2018 Onrus
 Revision: As Built Drawing
 Layout ID: A.01.3
 Job no: 611
 Job bag: 1303 Jabeerba-der-Merwe

ImageStudio
 15 Belladonna Street
 Sandton
 Johannesburg, 2000
 steven.van.der.merwe@gmail.com
 011 023 7897
 jpe@imagestudio.co.za

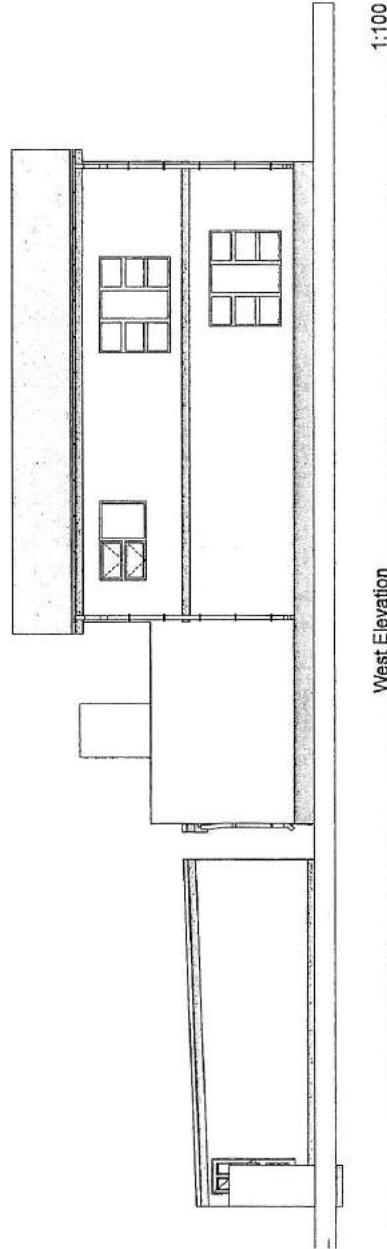
25/18



<p>Job Details</p> <p>Status: <input checked="" type="checkbox"/> Approved</p> <p>Revision: A.01.4</p> <p>Report ID: 611</p> <p>Job no. 1803</p> <p>Job bag: 1803</p>	<p>ImageStudio</p> <p>16 Bellocoma Street Sandbaai Hermanus, 7200</p> <p>stevan.van.der.merve@gmail.com 07451027897</p>	<p>Erasmus Onrus</p> <p>As Built Drawing Jaco van der Merwe, 0832350241 72 Wilton Street Onrus Hermanus jaco@erasmus.co.za</p>	<p>East Elevation, North Elevation</p> <p>1:100</p> <p>As Built Drawing</p> <p>Drawing Status</p>	<p>ImageStudio</p> <p>Architectural Plans 074 102 7897</p> <p>Drawn by: Stevan van der Merwe</p> <p>Checked by: D2488 Pochtraught</p> <p>Date: 18 July 2018</p> <p>stevan.van.der.merve@gmail.com</p>
--	--	---	--	--



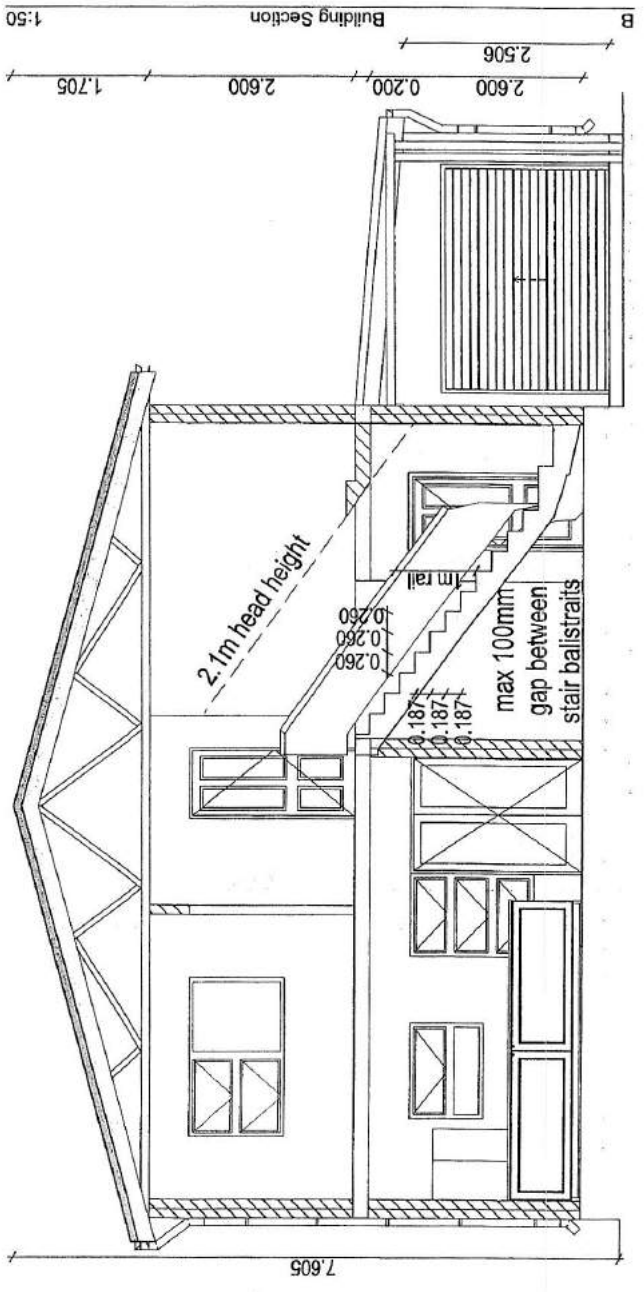
South Elevation
1:100



West Elevation
1:100

<p>Job Details</p> <p>Status: As Built</p> <p>Revision: A.01.5</p> <p>Layout ID: 611</p> <p>Job no.: 1803-2008-08</p> <p>Job title: Definitieve</p>	<p>ImageStudio</p> <p>15 Bellasoloma Street Sandbaai Lyngmanus, 7200 Herengas w.van.der.nerve@gmail.com</p>	<p>Erf 2022 Onrus</p> <p>As Built Drawing Tel: +27 21 462 1000 72 Vrijden Street Onrus Herengas 7200 jnc@erf.co.za</p>	<p>West Elevation, South Elevation</p> <p>1:100</p> <p>Drawing Status: As Built Drawing</p>	<p>ImageStudio</p> <p>Architectural Plans 074 102 7897</p> <p>Drawn by: Steven van der Nerve</p> <p>Checked by: D2468 PArchDraught</p> <p>Date: 19 July 2015</p> <p>steven.van.der.nerve@gmail.com</p>
---	--	---	---	--

ImageStudio Architectural Plans 074 102 7897 Drawn by: Steven van der Merwe Checked by: Steven van der Merwe 19 July 2018 03455 Panchanght steven.van.der.merwe@gmail.com	Drawing Status: As Built Drawing Scale: 1:50 Detail (1), Building Section	Ert 2012 Onrus As Built Drawing License no: 082350241 72 Viljoen Street Onrus Hermanus 7200 jaco@meat.co.za	Job Details Revision: A.01.6 Layout B: Job no. 611 1803 Jaco-van der Merwe 0741027897 steven.van.der.merwe@gmail.com
	ImageStudio 15 Belidonna Street Sandbaai Hermanus, 7200 0741027897	Job no. 1803 Jaco-van der Merwe 0741027897 steven.van.der.merwe@gmail.com	Job no. 1803 Jaco-van der Merwe 0741027897 steven.van.der.merwe@gmail.com



The sum of all the R-values = 0.38
 In climatic zone 4 an R-value of 3.7 is required.

1. R-value of Outdoor air film (7m/s) as per SANS204 Table F3 = 0.03
2. R-value of Metal cladding as per SANS204 Table F3 = 0
3. R-value of Roof air space (non-reflective) as per SANS204 Table F3 = 0.18
4. R-value of Plasterboard, gypsum (10 mm, 880 kg/m³) as per SANS204 Table F3 = 0.06
5. R-value of Indoor air film (still air) as per SANS204 Table F3 = 0.11
6. Thickness of material = 0.04 * 3.32 = 0.1328m (132.8mm) minimum, recommended 135mm
 (K-value of flexible fibre glass blanket as 0.04, Thickness of material = thermal conductivity x required R-value)

Source - SANS204 (Table 10, F2, F3) www.TheEngineeringToolbox.com

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3518, ONRUS RIVER (4131)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 3518, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

18/01/2018
DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

16. ERF 4049, 280 THIRD AVENUE, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF CENTRAL BRIDGE TRADING 471 CC

4049 HVK (3962)

H Boshoff

(028) 313 8900

Hermanus Administration

26 February 2019

Executive Summary

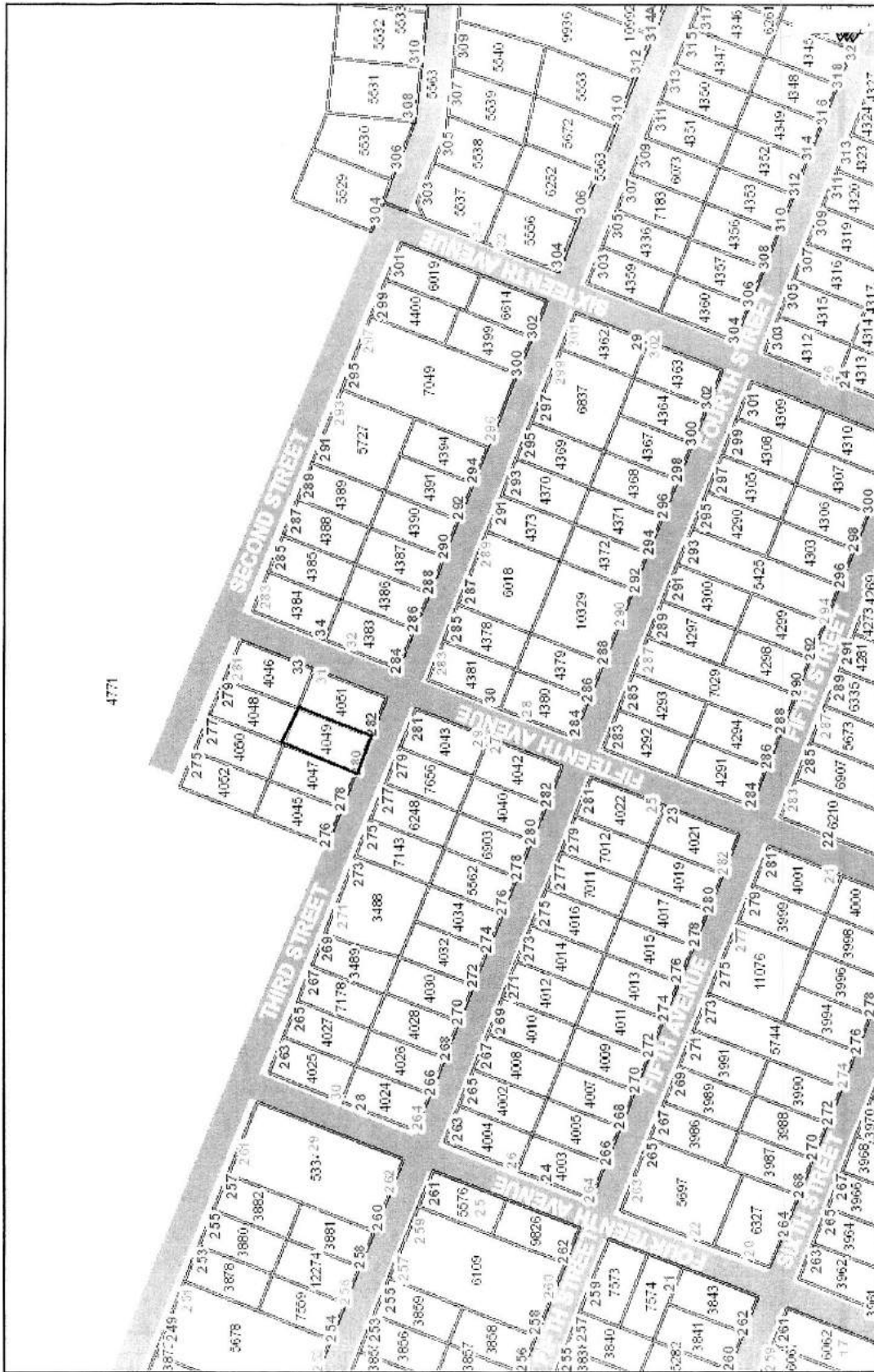
An application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 4049, Hermanus has been received on 19 June 2018 from Messrs Interactive Town- and Regional Planning on behalf of Central Bridge Trading 471 CC to relax the eastern lateral building line from 2m to 1,2m in order to accommodate a 1,8m high screen wall at the second level of the dwelling for safety purposes.

RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 4049, Hermanus in order to relax the eastern lateral building line from 2m to 1,2m to accommodate a screen wall of 1,8m high and approximately 8,9m in length along the eastern side of the open balcony between the second and third storey of the existing dwelling for safety measurements, **be approved** in terms of the provisions of Section 61 of the By-Law subject to the following conditions:
 - (a) that the approval is only for the dimensions as per plan numbers 3216.100 to 3216.3216.103 dated 2018/09/04 that was submitted with the application;
 - (b) that building plans be submitted to the Building Department and that all conditions of the Building Department and Fire Services be complied with at that stage;
 - (c) that the applicable conditions of Engineering Services, be complied with;
 - (d) that all other development parameters as set out in the Zoning Scheme, be complied with, and
 - (e) that the above approval does not exempt the landowner from compliance with any other applicable legislation.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



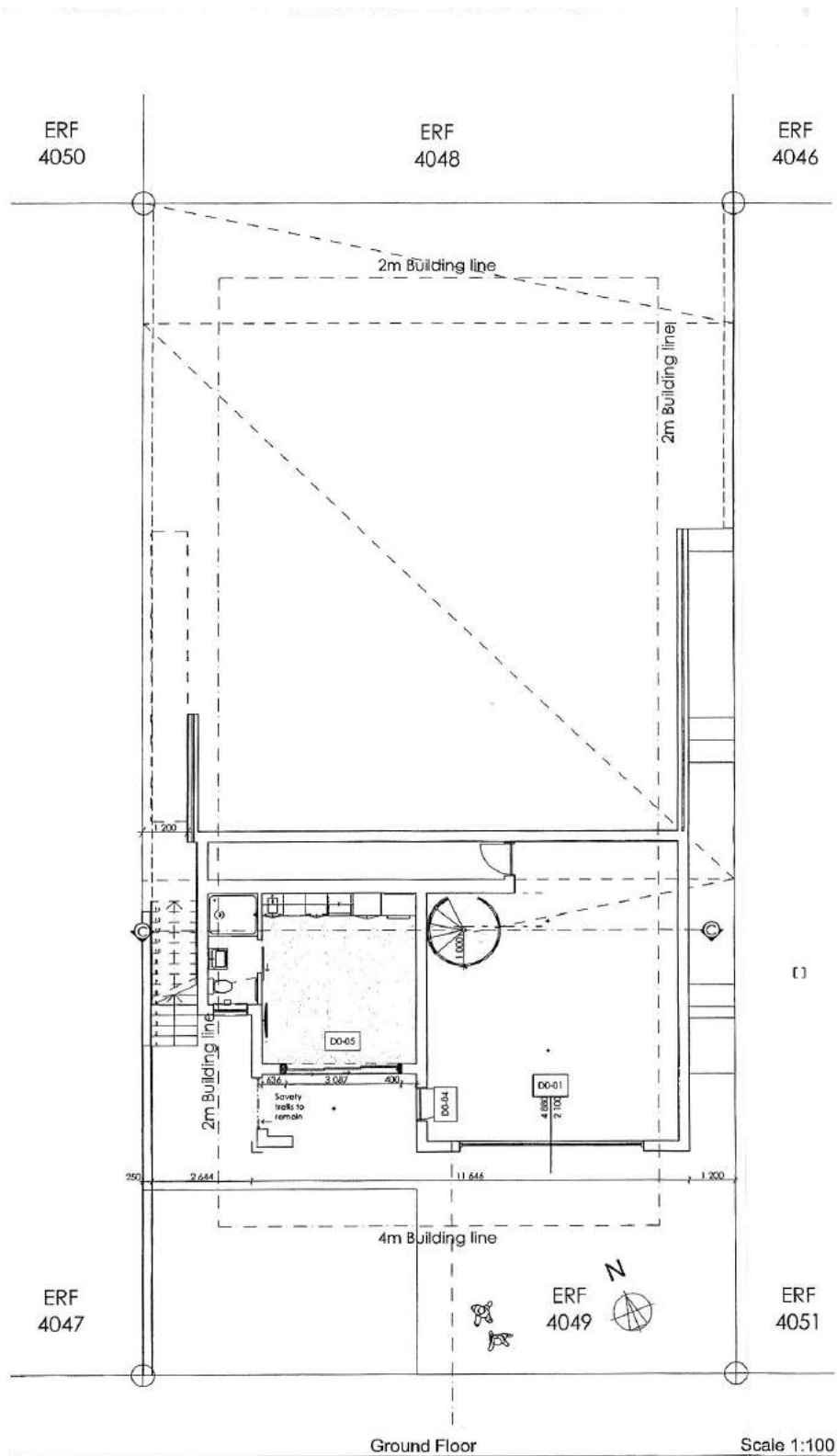
4771



OVERSTRAND
MUNICIPALITY

Erf 4049 HVK

Date: 2018-04-11



Ground Floor

Scale 1:100

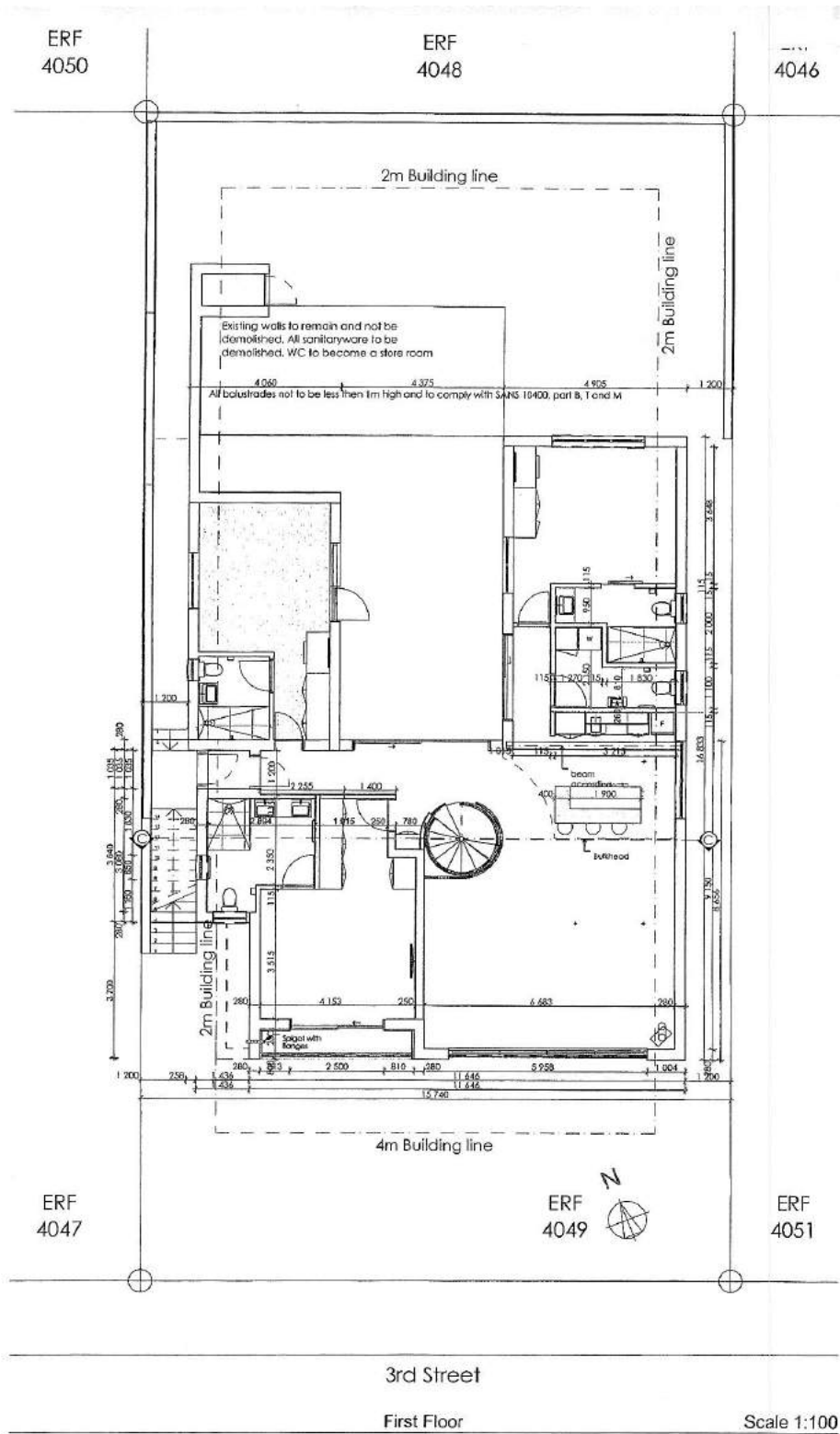
FINLAYSON VAN DER MERWE
 Project Name
HOUSE MEYER,
 ERF 4049 280 3rd Street

Drawing Name
 Ground floor plan

Drawn by
 ME
 Checked by
 JVM
 Drawing Scale:
 A3@1:100

Date
 2018/09/04
 Date
 2018/09/04

GENERAL NOTES
 The design of the drawings remains the property of the architect.
 All work is to be done in accordance with the relevant building regulations, codes of practice and standards.
 All relevant health, safety, fire and other regulations must be checked and reflected in all drawings concerning the building.
 Any alterations and additions to be approved by the Designer/Architect.
 All structural elements to be made in accordance with all relevant structural, mechanical, electrical and plumbing codes of practice.

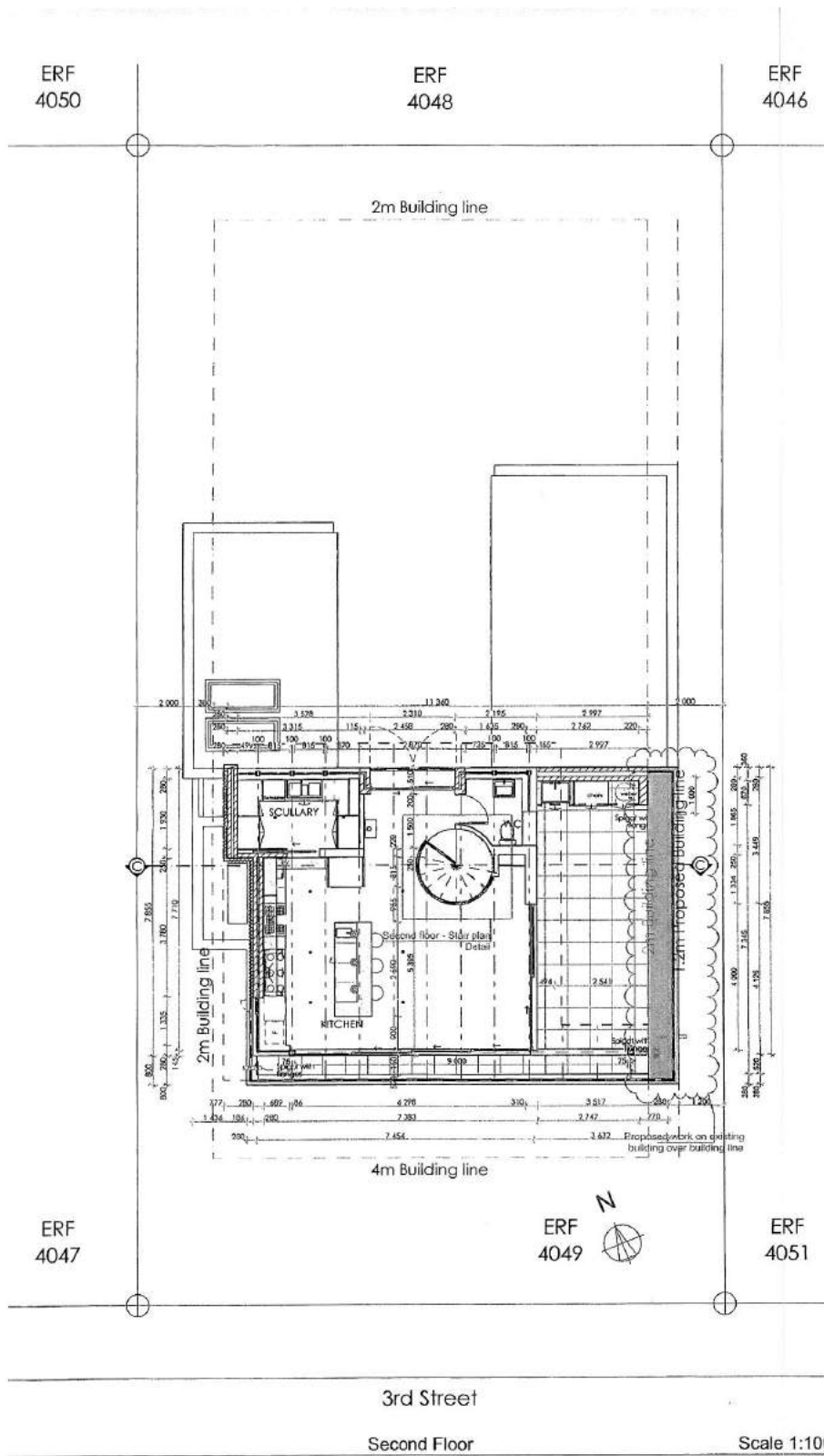


FINLAYSON
VAN DER MERWE
ARCHITECTS
 Project Name
HOUSE MEYER,
 ERF 4049 280 3rd Street
 Voelklip 7200

Drawing Name
First floor plan
 Drawing No:
3216.101

Drawn by
RM
 Checked by
JVM
 Drawing Scale:
A3@1:100
 Drawing Title:
COUNCIL SUBMISSION

GENERAL NOTES
 1. The status of this drawing is as shown on the drawing.
 2. It is the responsibility of the client to ensure that all necessary permits and approvals are obtained from the relevant authorities.
 3. All structural, electrical, plumbing and other services must be coordinated and verified on site before commencing any building work.
 4. Any discrepancies or omissions to be referred to the Designer immediately.
 5. All structural drawings to be signed and stamped by a registered structural engineer.
 6. All electrical drawings to be signed and stamped by a registered electrical engineer.
 7. All plumbing drawings to be signed and stamped by a registered plumber.
 8. All other drawings to be signed and stamped by a registered professional.
 9. Contractor to ensure compliance with all applicable regulations and codes.



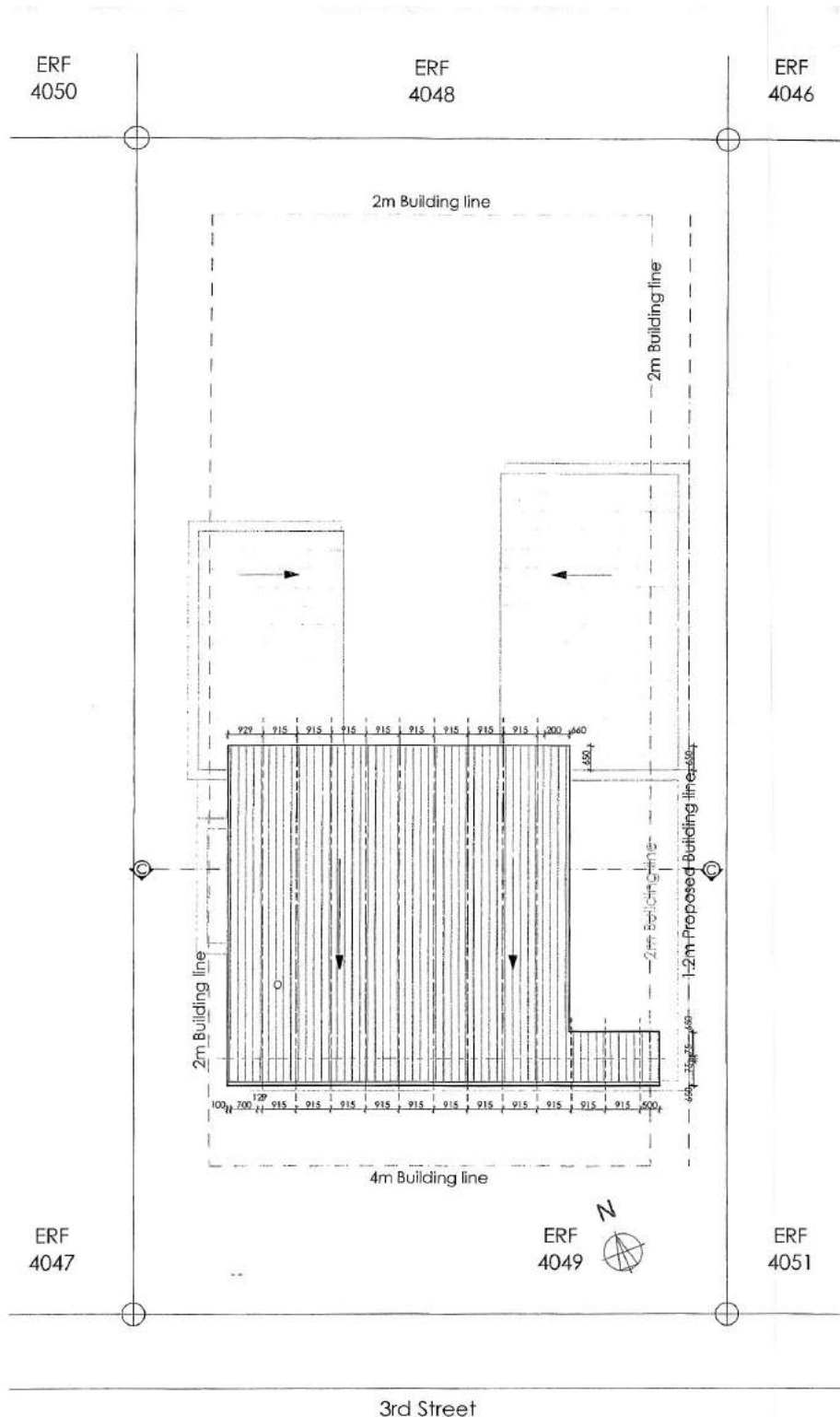
FINLAYSON VAN DER MERWE
 Project Name: **HOUSE MEYER,**
 ERF 4049 280 3rd Street
 Voelklip 7200

Drawing Name: **Second floor plan**
 Drawing No.:

Drawn by: **NK**
 Checked by: **JVDM**
 Drawing Scale: **A3B1:100**
 Finlayson Van der Merwe

Date: **2018/09/04**
 Date: **2018/09/04**

GENERAL NOTES
 - The design of this drawing is the property of the Architect.
 - All work to be done shall be done in accordance with the instructions, specifications, regulations and standards.
 - All dimensions shall be in millimeters unless otherwise stated.
 - All dimensions shall be rounded off to the nearest millimeter.
 - All dimensions shall be rounded off to the nearest millimeter.
 - All dimensions shall be rounded off to the nearest millimeter.
 - All dimensions shall be rounded off to the nearest millimeter.



Roof

Scale 1:100

FINLAYSON VAN DER MERWE ARCHITECTS
 Project Name: **HOUSE MEYER,**
 ERF 4049 280 3rd Street
 Voelklip 7200

Drawing Name: **Roof plan**
 Drawing No.: **3216.103**

Drawn by: **AMK**
 Checked by: **JVBM**
 Drawing Scale: **A3B1:100**
 Drawing Status: **COUNCIL SUBMISSION**

Date: **2018/09/04**
 Date: **2018/09/04**
GENERAL NOTES
 1. The design of the drawing remains the property of the architect.
 2. All work is to be carried out in accordance with the National Building Legislation, National Regulations and SANS 1040.
 3. All structural details, beams, slabs and columns must be checked and verified on site by the contractor and the client.
 4. All structural details must be in accordance with the design drawings.
 5. All structural drawings to be made by registered structural engineers and checked by a registered structural engineer and engineer in charge of the drawing.
 6. All structural drawings to be done and not copied.
 7. Consultant to ensure compliance with all applicable laws and codes.

GENERAL NOTICE

- The design of the drawing remains the property of the Architect. Any use to be made of or reference to the drawing without the written consent of the Architect is prohibited. Copyright registration and SACS drawing registration are required.
- Any alterations, additions, deletions, omissions and variations must be shown and dated. Any such changes must be clearly identified and approved by the Architect.
- Any discrepancies and queries to be forwarded to the Designer.
- All Architectural drawings to be read in conjunction with all relevant structural, mechanical, electrical, and Engineers and all other drawings.
- Only signed drawings to be used and not sketched.
- Consent to ensure compliance with safety regulations at all times.

FINLAYSON VAN DER MERWE ARCHITECTS

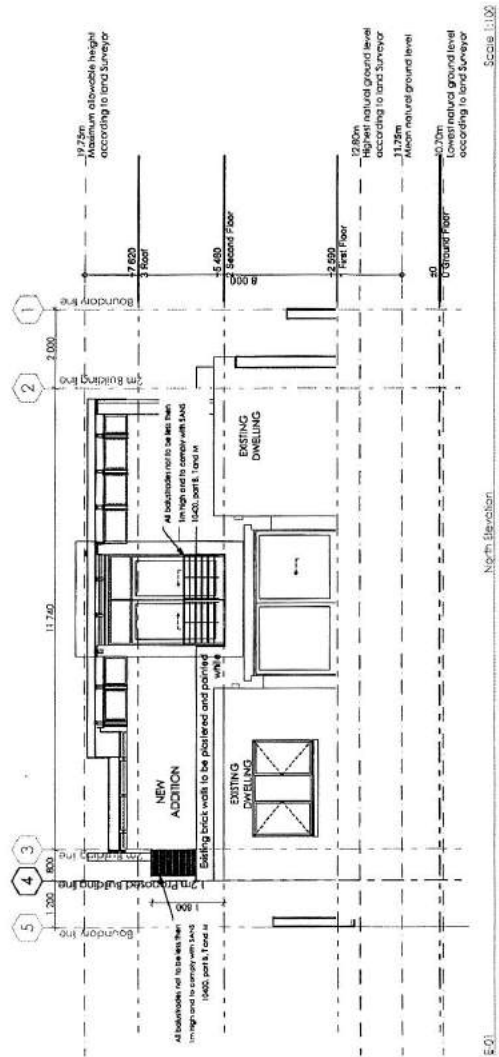
CEGELA HOUSE
HOPE STREET
HERMANUS
7200

Job Title
HOUSE MEYER
RF# 4249
280 3RD STREET, VOELKLIP
7200

Rev. Note

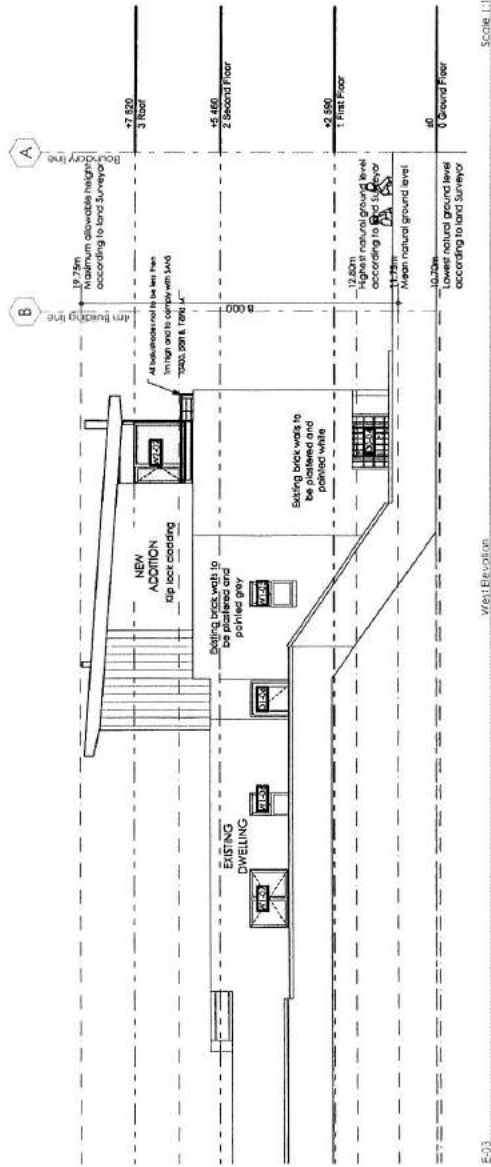
Drawing Name
West Elevation

Drawing Status	
COUNCIL SUBMISSION	
Drawn by MK	Date 2018/03/11
Checked by AF	Date 2018/03/11
Drawing Scale 1:100 @A3	
Drawing nr. 3216.203	Status Revision A



F-01 North Elevation Scale 1:100

<p>GENERAL NOTES</p> <ul style="list-style-type: none"> The design of the drawing remains the property of the Architect. All work to be carried out with strict accordance with the relevant Building Regulations, National Regulations and SABS. All materials, finishes, levels, dimensions and positions must be checked and verified on site before commencing any building work. Any discrepancies and queries to be forwarded to the Designer. All Architectural drawings to be read in conjunction with all relevant structural, mechanical, electrical, Civil Engineer's and all other specialist drawings. Only figures dimensions to be used and not scaled. Consultant to ensure compliance with safety regulations at all times. 	
<p>FINLAYSON VAN DER MERWE architects</p> <p>CECELA HOUSE HOPE STREET HERMANUS 7200</p>	
<p>HOUSE MEYER</p> <p>ERF 4009 280 3/4 STREET VOELKUP 7200</p>	
<p>Rev. Note</p>	
<p>Drawing Name West Elevation</p>	
<p>Drawing Status COUNCIL SUBMISSION</p>	
Drawn by MK	Date 2018/03/11
Checked by AF	Date 2018/03/11
<p>Drawing Scale 1:100 @A3</p>	
Drawing nr. 3216.203	Status Revision A



GENERAL NOTES

- The design of the drawing remains the property of the Architect
- As work is to be carried out, all work must comply with the relevant building regulations, Municipal Regulations and SABS
- All elevations, levels, dimensions and positions must be checked and verified on site before commencing any building work
- Any discrepancies and queries to be forwarded to the Designer
- All architectural drawings to be read in conjunction with all relevant structural, mechanical, electrical, civil Engineer's and all other drawings
- Only signed dimensions to be used and not scaled
- Consultant to ensure compliance with safety regulations at all times

FINLAYSON VAN DER MERWE
ARCHITECTS

CEBELA HOUSE
HOPE STREET
HERMANUS
7200

HOUSE MEYER
ERF 4049
280 3rd STREET VOELKUP
7200

Rev. Note

Drawing Name
West Elevation

Drawing Status
COUNCIL SUBMISSION

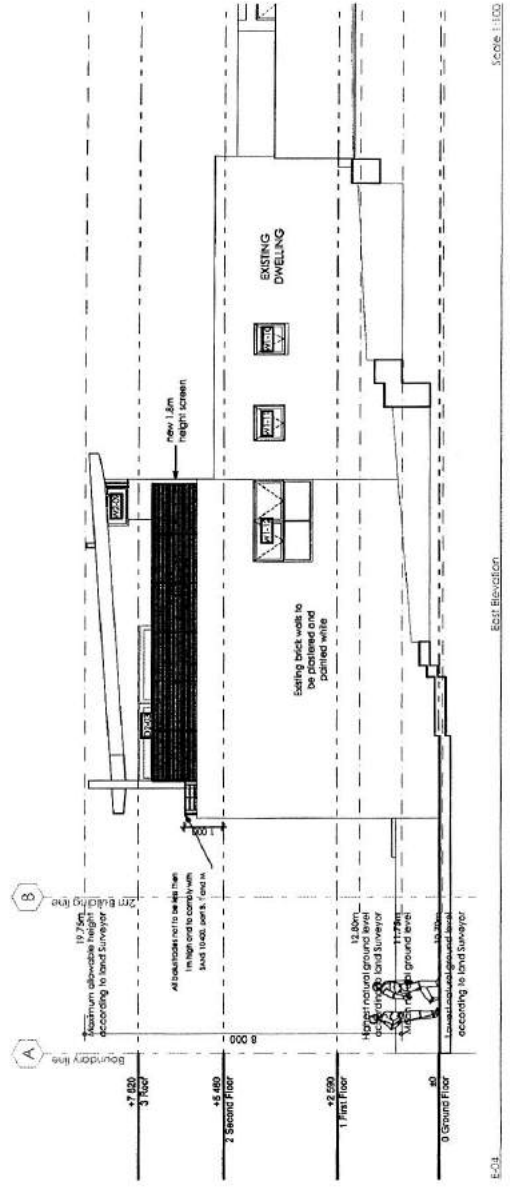
Drawn by
MK
Date
2018/03/11

Checked by
AP
Date
2018/03/11

Drawing Scale
1:100 @A3

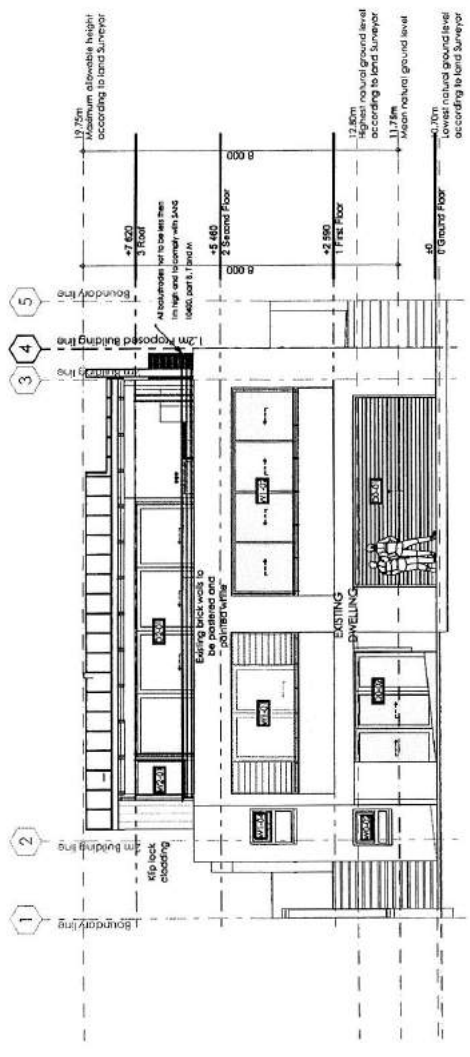
Drawing no.
3216.203

Status Revision
A



E-03

<p>GENERAL NOTES</p> <ul style="list-style-type: none"> The design of the drawing remains the property of the Architect. All work to be carried out with strict accordance with the National Building Regulations, Municipal Regulations and SABS. As relevant details, levels, dimensions and positions must be checked and verified on site before commencing any building work. Any discrepancies and queries to be forwarded to the Designers. All Architectural drawings to be read in conjunction with all relevant structural, mechanical, electrical, civil Engineer's and all other drawings. Only figured dimensions to be used and not scaled. Consultant to ensure compliance with safety regulations at all times. 	
<p>FINLAYSON VAN DER MERWEL ARCHITECTS</p> <p>CEGELA-HOUSE HOPE STREET HERMANUS 7200</p>	
<p>Job Title HOUSE MEYER</p> <p>ERF 404P 260 3rd STREET, VOELKLIP 7200</p>	
<p>Rev. Note</p>	
<p>Drawing Name West Elevation</p>	
<p>Drawing Status COUNCIL SUBMISSION</p>	
<p>Drawn by MK</p>	<p>Case 2018/03/11</p>
<p>Checked by AF</p>	<p>Date 2018/03/11</p>
<p>Drawing Scale 1:100 @A3</p>	
<p>Drawing nr. 321.6.203</p>	<p>Status A</p>



South Elevation
E.02
SCALE: 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4049, HERMANUS (3962)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 4049, Hermanus, unobstructed;
5. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

17. REMAINDER ERF 2506, C/O ELEVENTH STREET AND SEVENTH AVENUE, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURES: MESSRS ZKA ARCHITECTURE ON BEHALF OF THE WCL TRUST

Rem 2506 HVK (3954)

H Boshoff

(028) 313 8900

Hermanus Administration

5 March 2019

Executive Summary

An application has been received on 29 March 2018 (revised 13 June 2018) from Messrs ZKA Architecture on behalf of The WCL Trust in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Remainder Erf 2506, Hermanus for the following departures:

- the relaxation of the southern street building line from 4m to $\pm 1,7$ m in order to accommodate a timber deck that is $\pm 1,4$ m above the natural ground level, an open wooden staircase at the western side of the timber deck that provides access to the timber deck, as well as a pergola on top of the timber deck;
- the relaxation of the southern street building line from 4m to $\pm 2,025$ m to accommodate a swimming pool which forms an integral part of the timber deck;
- the relaxation of the eastern street building line from 4m to $\pm 3,530$ m to accommodate the above timber deck, pergola and swimming pool;
- to accommodate fillings higher than 1m above natural ground level within the southern street building line; and
- to exceed the height restriction applicable to boundary walls from 2,1m to $\pm 2,3$ m to accommodate sections of the southern street boundary wall, as well as a 1m high balustrades at the edges of the above timber deck.

RESOLVED :

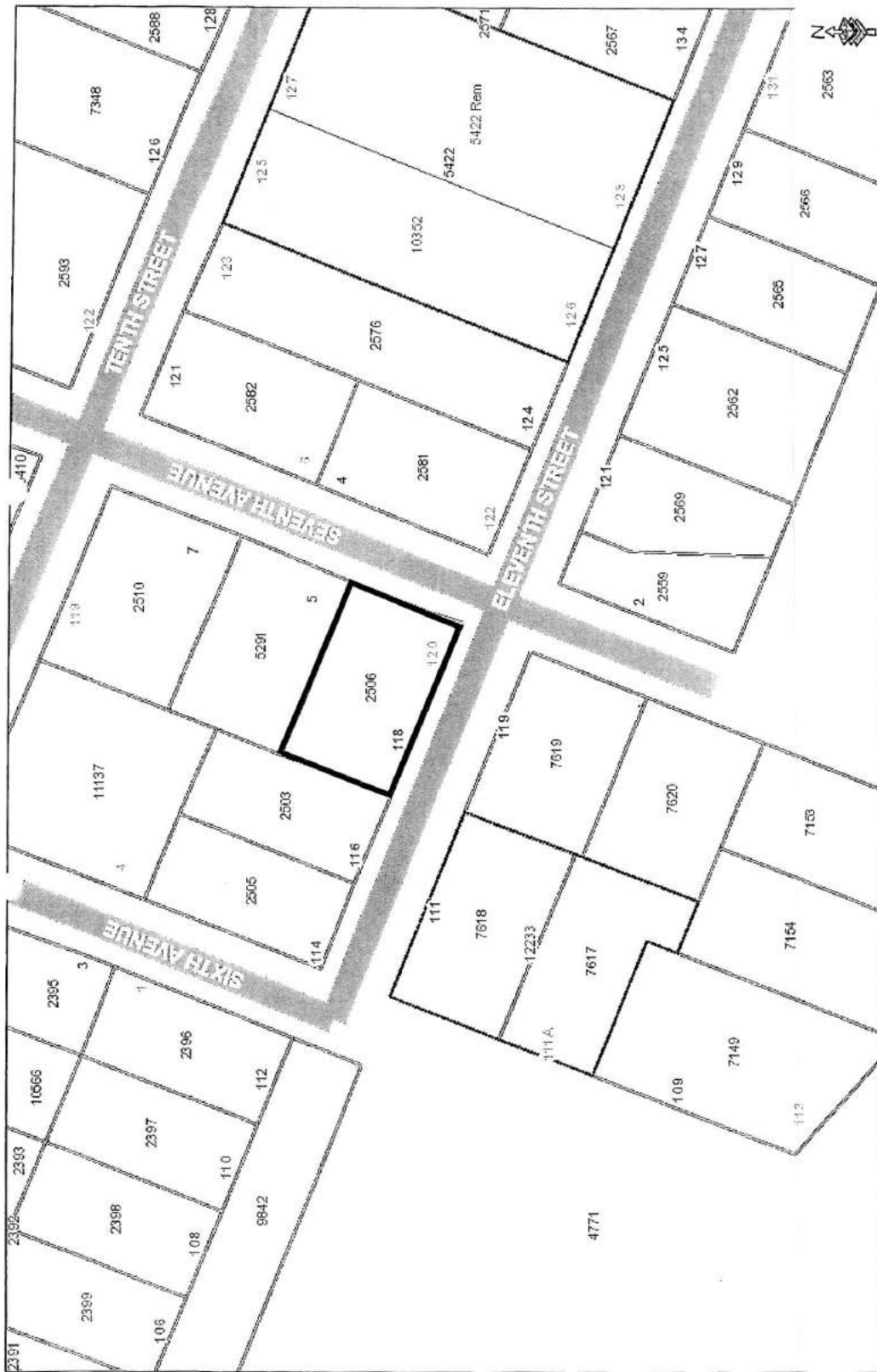
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015, applicable to Remainder Erf 2506, Hermanus for the following departures:
 - the relaxation of the southern street building line from 4m to $\pm 1,7$ m in order to accommodate a timber deck that is $\pm 1,4$ m above the natural ground level, an open wooden staircase at the western side of the timber deck that provides access to the timber deck, as well as a pergola on top of the timber deck;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- the relaxation of the southern street building line from 4m to $\pm 2,025$ m to accommodate a swimming pool which forms an integral part of the timber deck;
- the relaxation of the eastern street building line from 4m to $\pm 3,530$ m to accommodate the above timber deck, pergola and swimming pool;
- to accommodate fillings higher than 1m above natural ground level within the southern street building line; and
- to exceed the height restriction applicable to boundary walls from 2,1m to $\pm 2,3$ m to accommodate sections of the southern street boundary wall, as well as 1m high balustrades at the edges of the above timber deck;

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

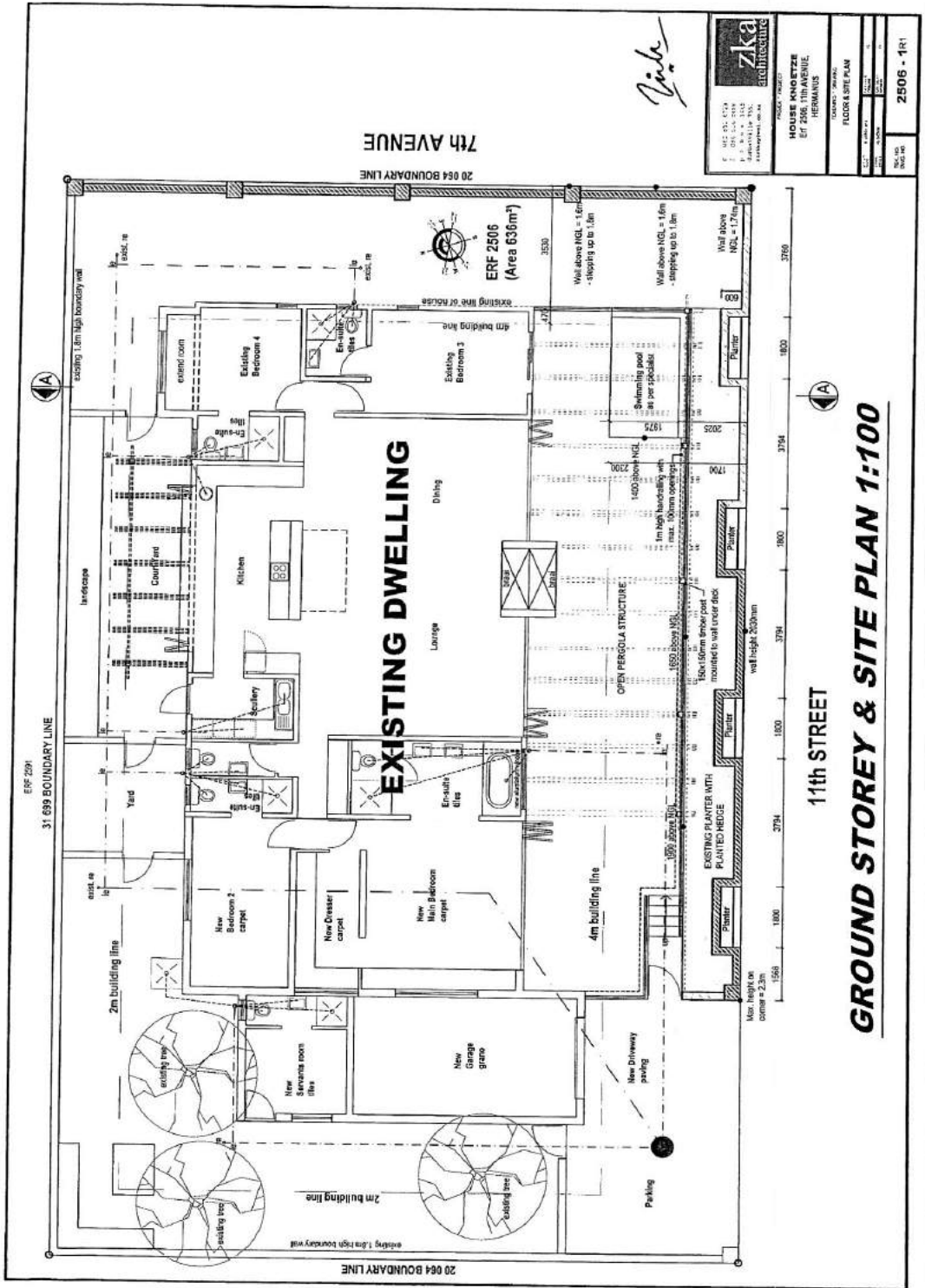
- (a) that the above approvals are only for the development as indicated on Plan Numbers 2506 – 1; - 2; and - 3 dated 19 March 2018 that was submitted with the application;
 - (b) that the timber deck area with pergola may not be enclosed in any manner whether temporarily or permanently;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that all the conditions in the Engineering Report and Telkom, be complied with;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.



Locality Plan: Remainder Erf 2506, Hermanus (Voëklip)



Date: 2018-09-27



zka

zka
architecture

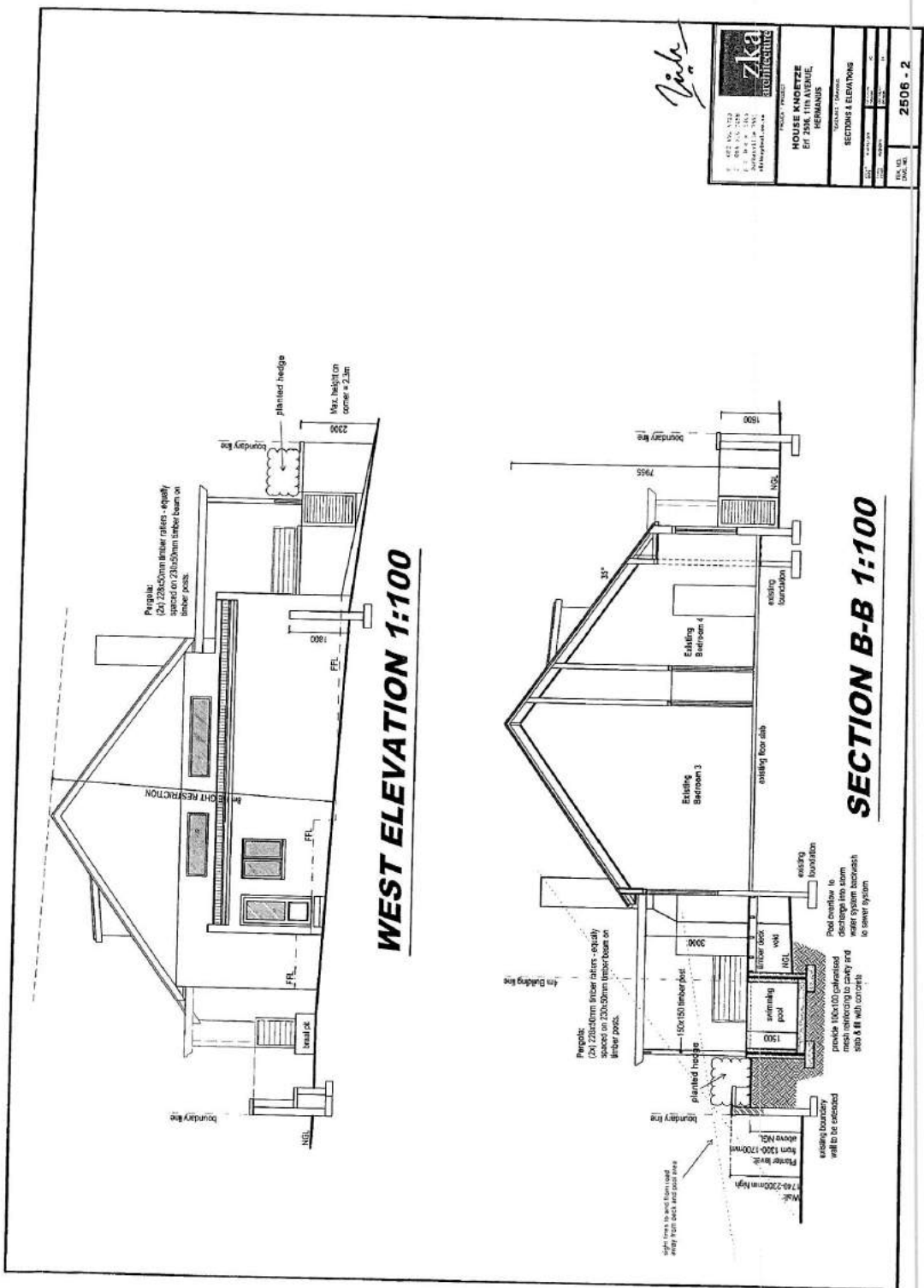
HOUSE KNOETZE
ERF 2505, 11th AVENUE,
HERMANUS

PROJECT NUMBER: 2505/02
DATE: 2019
DRAWN BY: [blank]
CHECKED BY: [blank]
SCALE: 1:100

FLOOR & SITE PLAN

DATE: 2019

NO: 2506 - 1R1

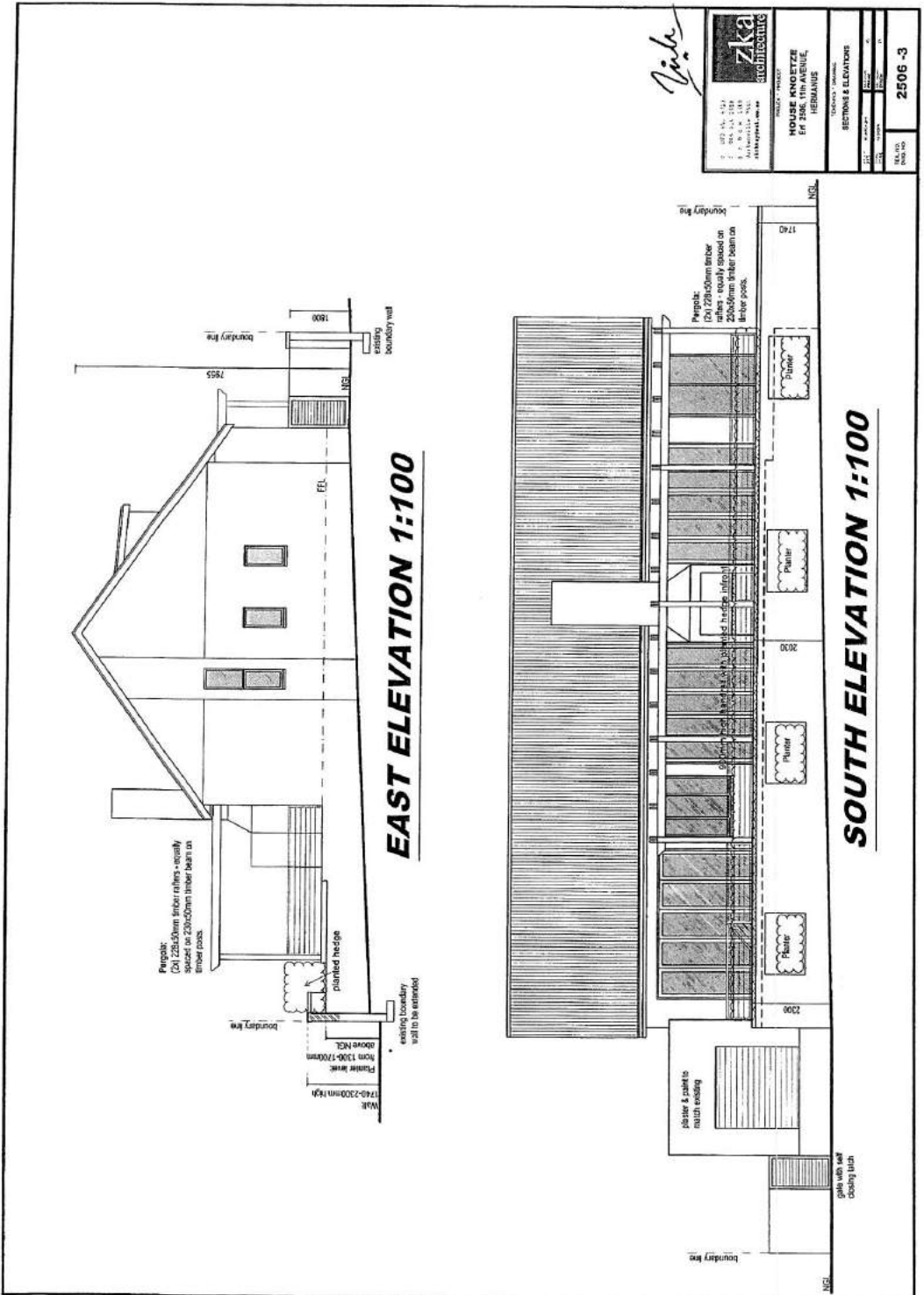


WEST ELEVATION 1:100

SECTION B-B 1:100

Arch

PROJECT NO: 2506 HOUSE NO: 2506 2506 - 2506 - 2506 2506 - 2506 - 2506 2506 - 2506 - 2506	PROJECT NAME: HOUSE NO: 2506 2506 - 2506 - 2506 2506 - 2506 - 2506 2506 - 2506 - 2506
SECTION & ELEVATION: SECTION B-B 1:100	
DATE: 2506 DRAWN BY: 2506 CHECKED BY: 2506	SCALE: 1:100 SHEET NO: 2506 - 2 TOTAL SHEETS: 2506



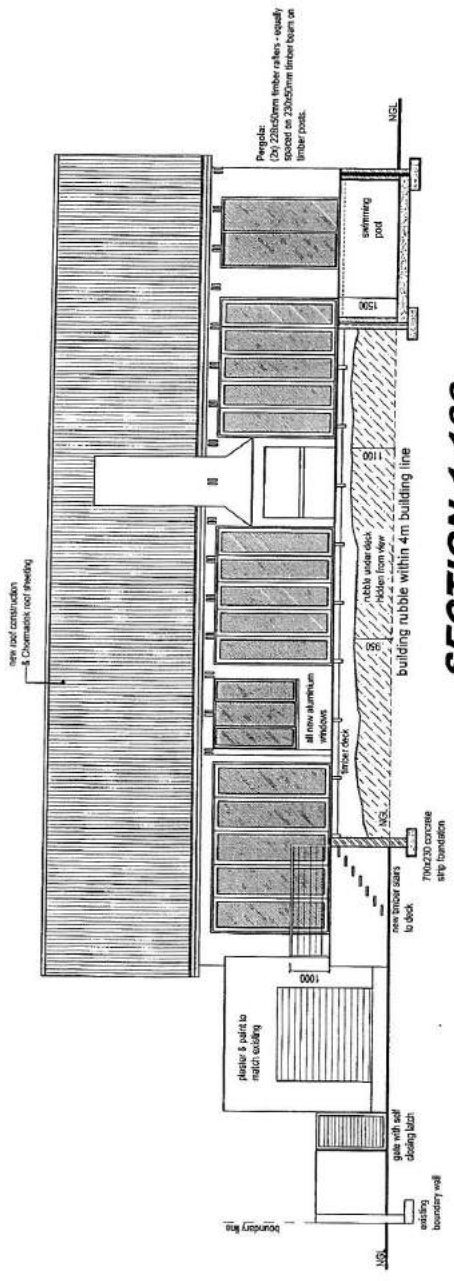
zka

zka
 ARCHITECTS

HOUSE KNOETZE
 87 BIRKENHEAD AVENUE,
 HEBURN
 (08) 937 744 124
 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

HOUSE KNOETZE 87 BIRKENHEAD AVENUE, HEBURN	
SECTION & ELEVATIONS	
DATE	NO.
11/10/2015	1
11/10/2015	2
11/10/2015	3
11/10/2015	4
11/10/2015	5
11/10/2015	6
11/10/2015	7
11/10/2015	8
11/10/2015	9
11/10/2015	10
11/10/2015	11
11/10/2015	12
11/10/2015	13
11/10/2015	14
11/10/2015	15
11/10/2015	16
11/10/2015	17
11/10/2015	18
11/10/2015	19
11/10/2015	20
11/10/2015	21
11/10/2015	22
11/10/2015	23
11/10/2015	24
11/10/2015	25
11/10/2015	26
11/10/2015	27
11/10/2015	28
11/10/2015	29
11/10/2015	30
11/10/2015	31
11/10/2015	32
11/10/2015	33
11/10/2015	34
11/10/2015	35
11/10/2015	36
11/10/2015	37
11/10/2015	38
11/10/2015	39
11/10/2015	40
11/10/2015	41
11/10/2015	42
11/10/2015	43
11/10/2015	44
11/10/2015	45
11/10/2015	46
11/10/2015	47
11/10/2015	48
11/10/2015	49
11/10/2015	50
11/10/2015	51
11/10/2015	52
11/10/2015	53
11/10/2015	54
11/10/2015	55
11/10/2015	56
11/10/2015	57
11/10/2015	58
11/10/2015	59
11/10/2015	60
11/10/2015	61
11/10/2015	62
11/10/2015	63
11/10/2015	64
11/10/2015	65
11/10/2015	66
11/10/2015	67
11/10/2015	68
11/10/2015	69
11/10/2015	70
11/10/2015	71
11/10/2015	72
11/10/2015	73
11/10/2015	74
11/10/2015	75
11/10/2015	76
11/10/2015	77
11/10/2015	78
11/10/2015	79
11/10/2015	80
11/10/2015	81
11/10/2015	82
11/10/2015	83
11/10/2015	84
11/10/2015	85
11/10/2015	86
11/10/2015	87
11/10/2015	88
11/10/2015	89
11/10/2015	90
11/10/2015	91
11/10/2015	92
11/10/2015	93
11/10/2015	94
11/10/2015	95
11/10/2015	96
11/10/2015	97
11/10/2015	98
11/10/2015	99
11/10/2015	100

2506 -3



SECTION 1:100

long section through deck and pool showing building rubble under deck

PROJECT - PROJECT		DRAWING - DRAWING	
HOUSE KNOETZE		SECTION	
Erf 2506, 11th AVENUE,		DATE	
HERMANUS		DRAWN BY	
		SCALE	
		CHECKED BY	
		DATE	
TEK. NO.		2506 - 4	
DWG. NO.			

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2506, VOELKLIP (3954)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2506, Voelklip, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**18. ERVEN 5423 TO 5433, ONRUSTRIVIER, SEA GLADES, OVERSTRAND
MUNICIPAL AREA: AMENDMENT OF CONSTITUTION: SEA GLADES
HOME OWNERS ASSOCIATION**

5423-5433 HON

H Olivier

(028) 313 8900

Hermanus Administration

8 February 2019

Executive Summary

An application has been received from representatives of the Sea Glades Home Owners Association (HOA) on Erven 5423 to 5433, Onrustrivier for an application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to amend the constitution of the Sea Glades Development.

RESOLVED :

1. that the application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Land Use Planning, 2015 on Erven 5423 to 5433, Onrustrivier to amend the constitution of the Sea Glades Development, **be approved** in terms of the provisions of Section 61 of the By-Law.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan - Sea Glades (Erven 5423 - 5433 Onrustvriër)

Date: 2019-03-06

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

19. PORTION 229 OF FARM 575, BENGUELA COVE, OVERSTRAND MUNICIPAL AREA: AMENDMENT OF SITE DEVELOPMENT PLAN AND DEPARTURE: MESSRS WRAP ON BEHALF OF BENGUELA COVE INVESTMENTS (PTY) LTD

229/575 HBENG (3817)

H Olivier

(028) 313 8900

Hermanus Administration

8 March 2019

Executive Summary

An application was received on 20 October 2017 from Messrs WRAP on behalf of Benguela Cove Investments (Pty) Ltd on Portion 229 of Farm 575, Benguela Cove for the following:

- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 from the provisions of the applicable Special Zone in order to accommodate proposed market areas and also a place of entertainment in the existing restaurant, the wine cellar area and a marquee tent to be erected occasionally on the property.
- ❖ Amendment of the Site Development Plan (SDP) in terms of Section 16(2)(1) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate the new land uses as indicated in the departure application above.

RESOLVED :

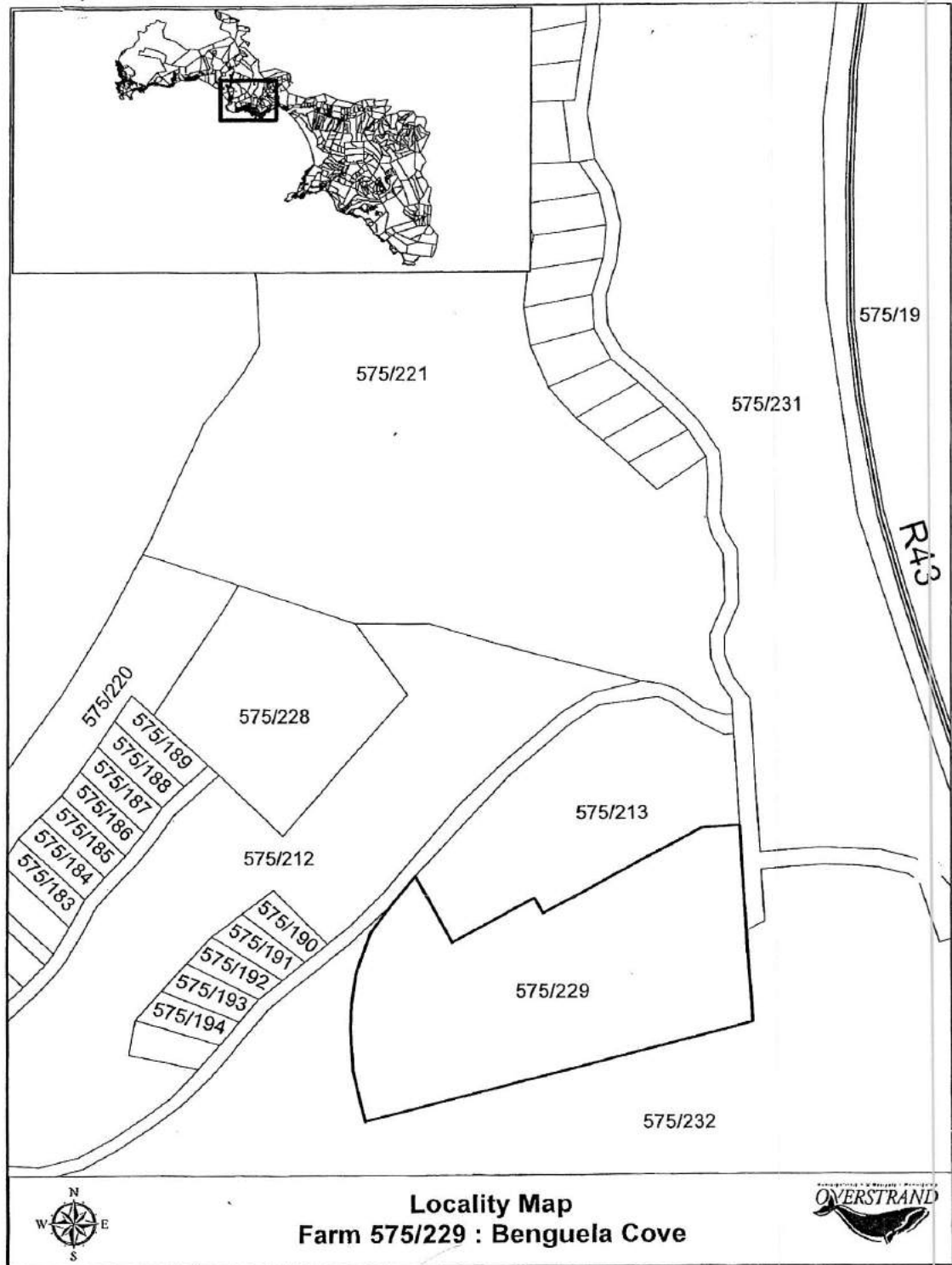
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure from the provisions of the Special Zone applicable to Portion 229 of Farm 575 to accommodate a market area and place of entertainment, **be approved** in terms of the provisions of Section 61 of the By-Law, but subject to the following conditions:
 - (a) that only areas within the existing main restaurant and wine cellar may be used as place of entertainment, limited for wedding and other functions, live music/acts;
 - (b) that no temporary marquee tents may be used for place of entertainment purposes (or wedding venue);
 - (c) that in terms of the "Noise Control Regulations" promulgated under the Environmental Conservation Act, 1989 (Act 72 of 1989) the music volumes emanating from the premises at all times be controlled in such a manner that it adds less than 7dB(A) to ambient noise;

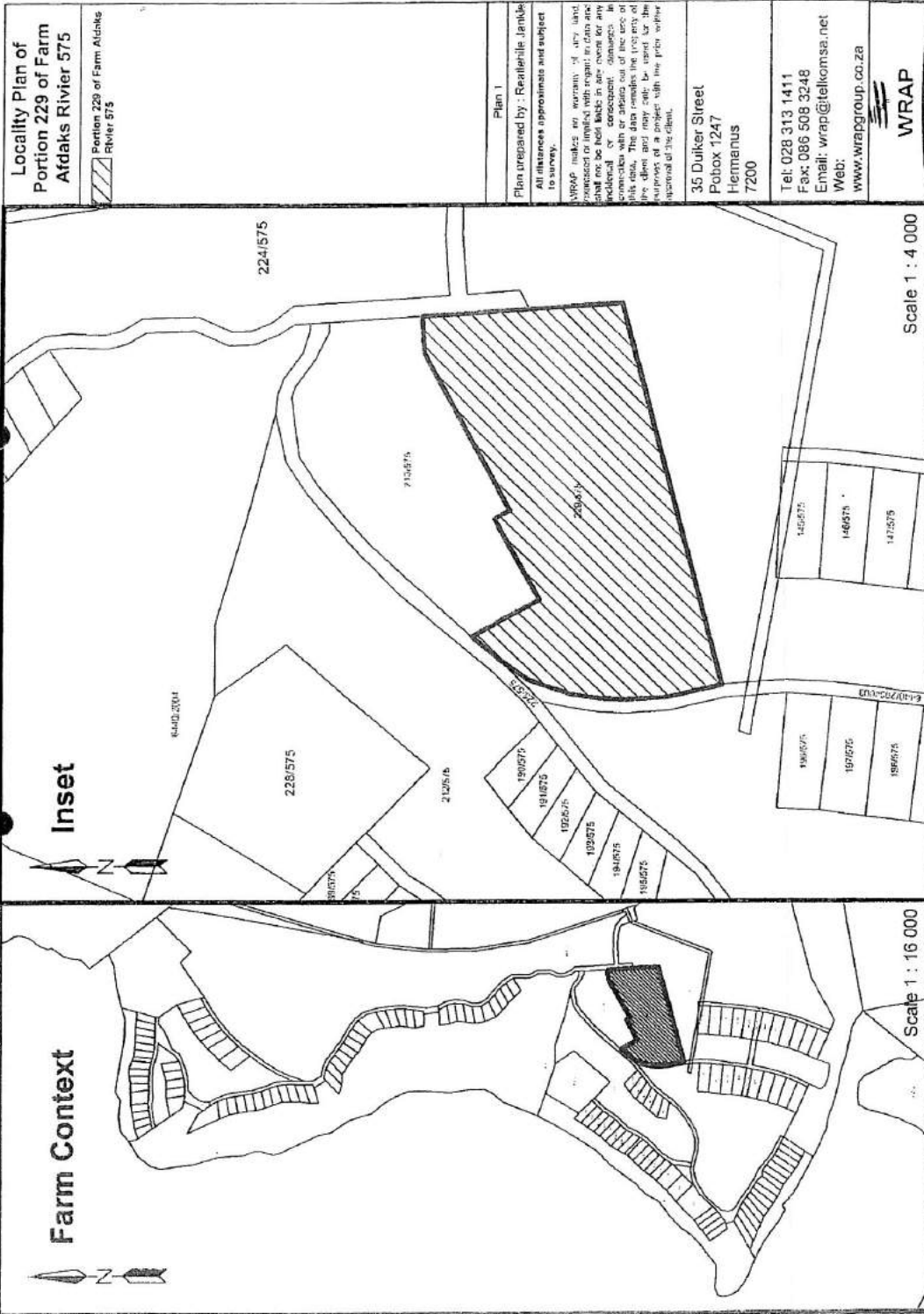
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

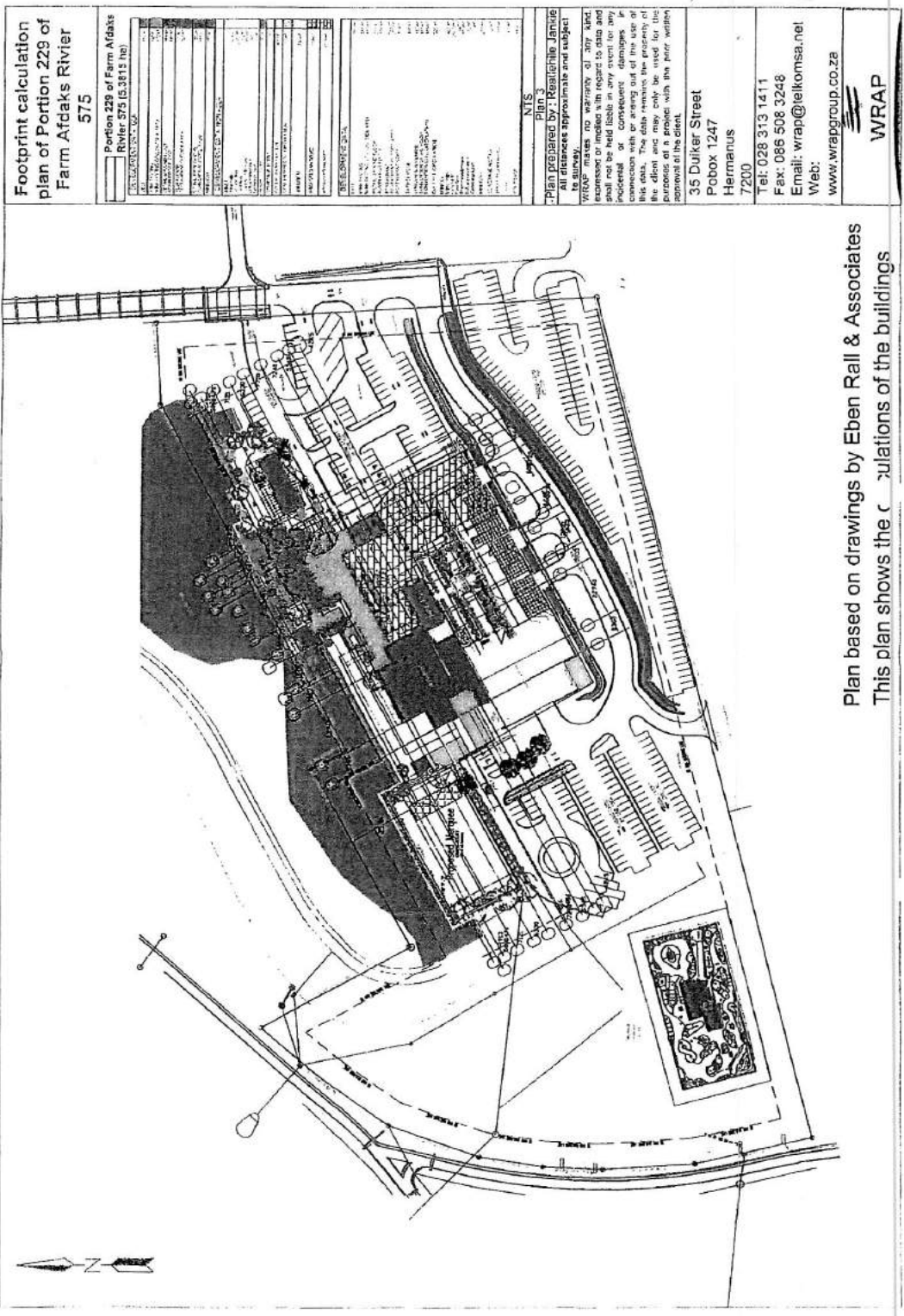
- (d) that the applicant submit and implement migratory measures to address any noise pollution, to the satisfaction of the Senior Manager: Town and Spatial Planning, before the applicant may act on this approval;
- (e) that market stalls may only be placed in the court yard between the existing buildings, limited to forty (40) stalls;
- (f) that only low level lighting may be provided for the market area, not protruding above the existing buildings;
- (g) that market stalls are only allowed to operate on Fridays between 17:00 and 21:00, and Saturdays between 10:00 and 15:00;
- (h) that that building plans be submitted to the Building Department for any changes to the building or for temporary structures;
- (i) that should it be necessary to provide any additional ablution facilities due to the additional people visiting the site, it be provided to the satisfaction of the Building Department;
- (j) that the parking within the southern boundary of the site be formalized, before acting on this approval;
- (k) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
- (l) that adequate provision be made to manage the behaviour of patrons (both inside and outside the buildings) and protection of surrounding properties;
- (m) that the approval is only valid for five (5) years, but application can be made within the time period be made for and extension of time;
- (n) that the approval is not transferable and if the owner sells the property or there is a successor in title to the property for whatever reason, this approval will lapse;
- (o) that the Municipality reserves the right to rescind this approval without payment of compensation should any justified objection be received to the manner in which the place of entertainment and market stalls functions or should the operation be found detrimental to the peacefulness and amenity of the surrounding area;
- (p) that the approval is subject to a population certificate as required by the Overstrand Community Fire Safety By-Law PW6454 of 2007;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (q) that should the property owner want to host larger events he/she will have to apply in terms of the Overstrand Municipality Events By-Law, 2018 for such activities, and
 - (r) that all the conditions in the Services Report be complied with.
2. that the application in terms of Section 16(2)(i) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to amend the Site Development Plan for Portion 229 of Farm 575, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following condition:
- (a) that only the market stall area and areas for place of entertainment purposes as approved in 1 above be approved and an amended Site Development Plan be submitted to reflect only such areas to the satisfaction of the Senior Manager: Town and Spatial Planning.
3. that the applicant and objectors be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.







**Footprint calculation
plan of Portion 229 of
Farm Afdaks Rivier
575**

Portion 229 of Farm Afdaks Rivier 575 (5,3815 ha)

NO.	DESCRIPTION	AREA (m ²)	PERCENTAGE (%)
1	Planting area	1000	1.8
2	Water feature	500	0.9
3	Roof area	1500	2.8
4	Other	100	0.2
5	Other	100	0.2
6	Other	100	0.2
7	Other	100	0.2
8	Other	100	0.2
9	Other	100	0.2
10	Other	100	0.2
11	Other	100	0.2
12	Other	100	0.2
13	Other	100	0.2
14	Other	100	0.2
15	Other	100	0.2
16	Other	100	0.2
17	Other	100	0.2
18	Other	100	0.2
19	Other	100	0.2
20	Other	100	0.2
21	Other	100	0.2
22	Other	100	0.2
23	Other	100	0.2
24	Other	100	0.2
25	Other	100	0.2
26	Other	100	0.2
27	Other	100	0.2
28	Other	100	0.2
29	Other	100	0.2
30	Other	100	0.2
31	Other	100	0.2
32	Other	100	0.2
33	Other	100	0.2
34	Other	100	0.2
35	Other	100	0.2
36	Other	100	0.2
37	Other	100	0.2
38	Other	100	0.2
39	Other	100	0.2
40	Other	100	0.2
41	Other	100	0.2
42	Other	100	0.2
43	Other	100	0.2
44	Other	100	0.2
45	Other	100	0.2
46	Other	100	0.2
47	Other	100	0.2
48	Other	100	0.2
49	Other	100	0.2
50	Other	100	0.2

NIS
Plan 3
All references approximate and subject to change.

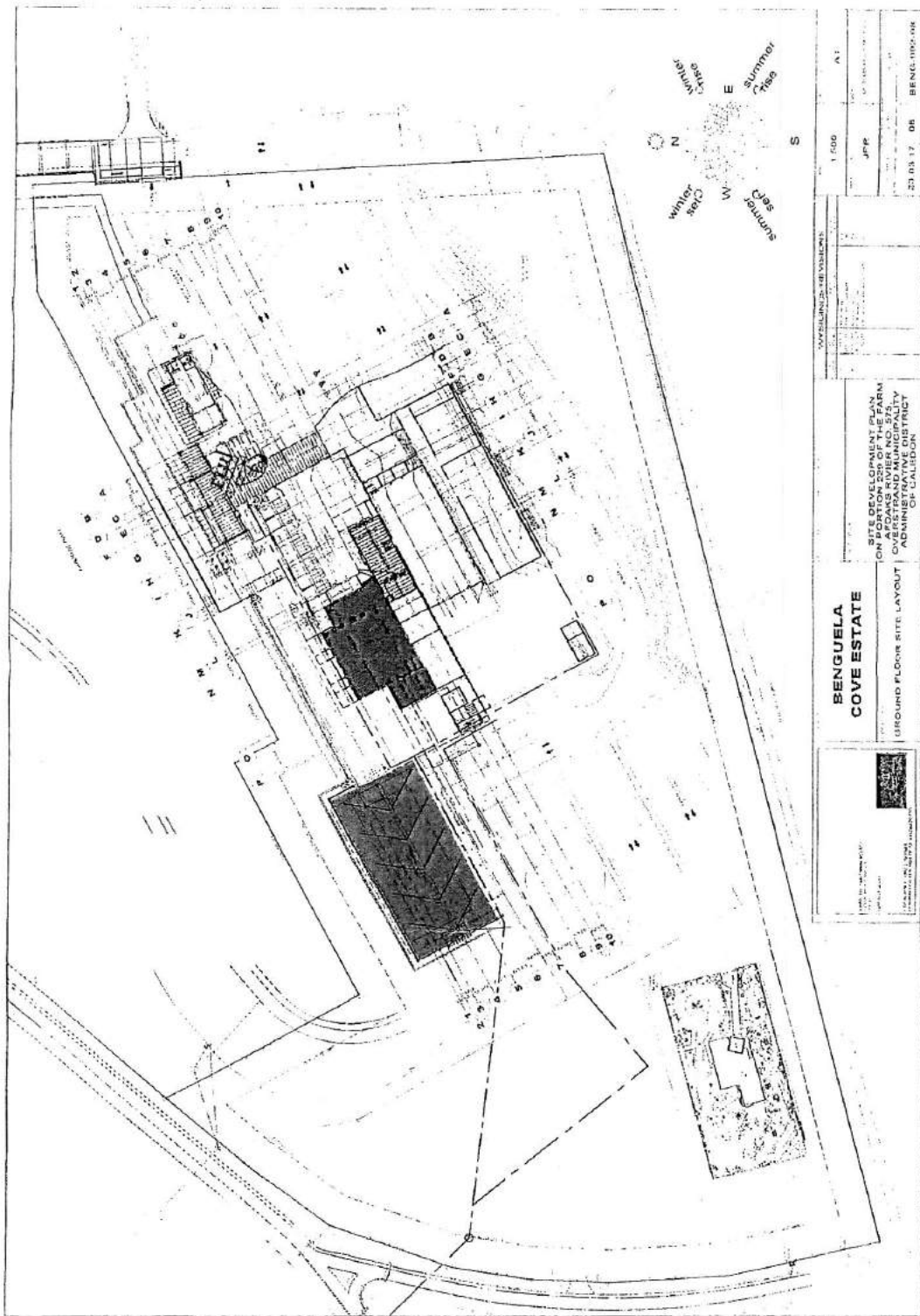
WRAP makes no warranty of any kind expressed or implied with regard to data and shall not be held liable in any event for any incidental or consequential damages or losses. The user shall be responsible for verifying the accuracy of the data and for arranging out of the user or his agents. This drawing may only be used for the purposes of a project with the prior written approval of the client.

35 Duiker Street
Pobox 1247
Hermanus
7200

Tel: 028 313 1411
Fax: 086 508 3248
Email: wrap@ielikomsa.net
Web: www.wrapgroup.co.za



Plan based on drawings by Eben Rall & Associates
This plan shows the calculations of the buildings



1:500	A.T.
J.P.P.	
23.03.12	08
BENG.1002.00K	

WESTLING & BROS. ARCHITECTS

SITE DEVELOPMENT PLAN
ON PORTION 228 OF THE FARM
OVERSIGHT AND MUNICIPALITY
ADMINISTRATIVE DISTRICT
OF CALLEDON

**BENGUELA
COVE ESTATE**

GROUND FLOOR SITE LAYOUT

DATE: 23.03.12
SCALE: 1:500
DRAWN BY: J.P.P.
CHECKED BY: J.P.P.

WESTLING & BROS. ARCHITECTS
101 BROADWAY, CALEDON
TEL: 01823 811111
WWW.WESTLINGANDBROS.CO.ZA

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF APPROVED SITE DEVELOPMENT PLAN
& DEPARTURE: PORTION 229 OF FARM 575, BENGUELA COVE (3817)**

Stormwater (SW) : According to the master plan by the Developer
Electricity : Eskom
Water : According to the master plan by the Developer
Sewer : According to the master plan by the Developer
Roads and traffic : In order

Conditions:

1. That the applicant must comply with all statutory requirements that may be applicable to the undertaking of the proposed development.
2. that only the existing municipal services and service connections will be available to the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost
3. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 140400 – P: 2010: Drainage
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the development, the provision of services to the development or the use of servitude areas or municipal property:
5. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 5.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 5.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 5.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**20. ERF 3273, 45 ALBERTYN DRIVE, BETTY'S BAY, OVERSTRAND
MUNICIPAL AREA: PROPOSED CONSENT USE: R VAN DER BERG**

3273 KBB (4114)

H van der stoep

(028) 313 8900

Hermanus Administration

13 March 2019

EXECUTIVE SUMMARY

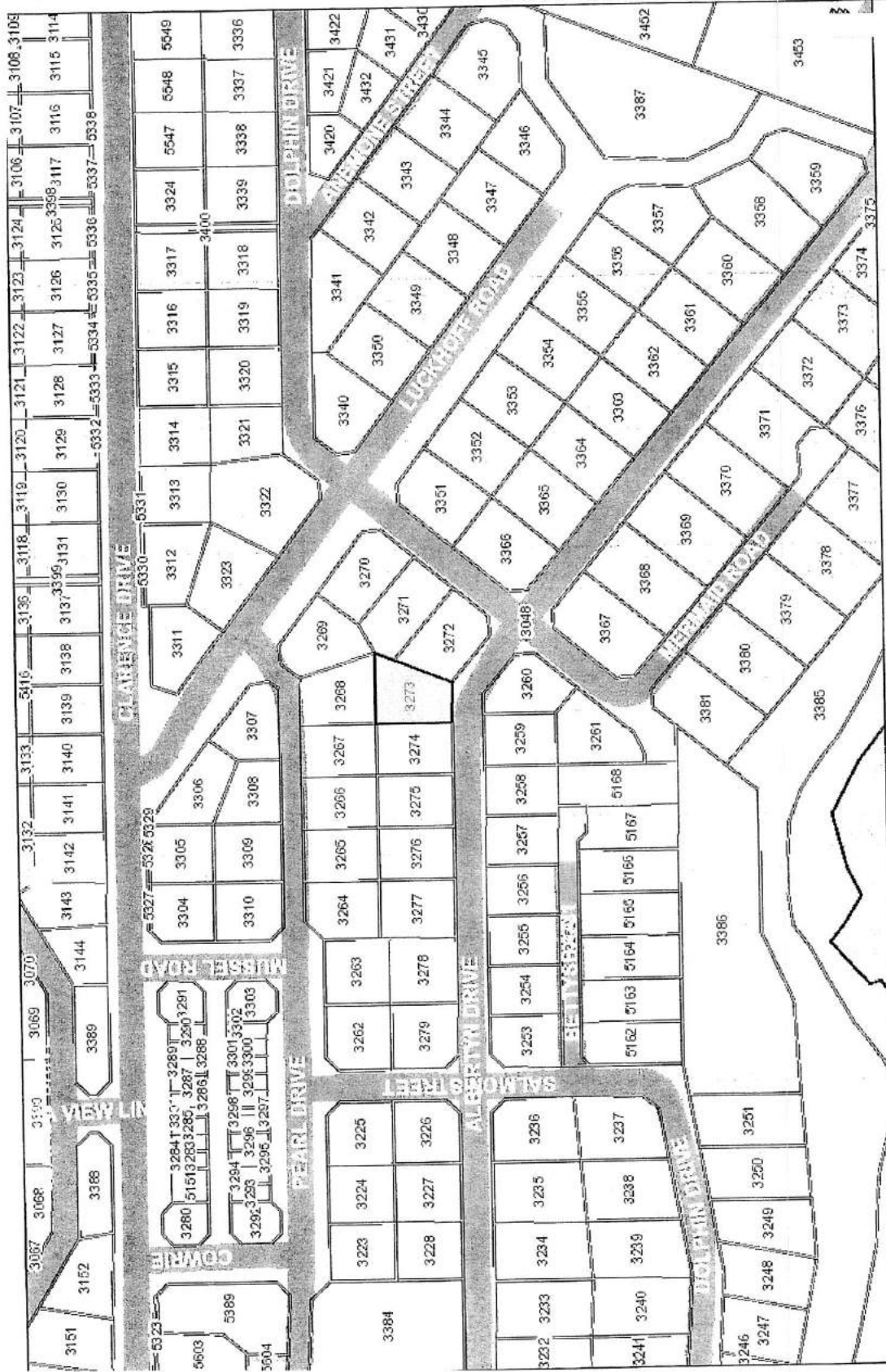
An application has been received on 23 July 2018 from R van der Berg on Erf 3273, Betty's Bay in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to operate as a five (5) bedroom guest house on the property concerned.

RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 3273, Betty's Bay for a consent use to operate as a five (5) bedroom guest house on the property concerned, **be approved** in terms of the provisions of Section 61 of the By-Law; subject to the following conditions
 - (a) that the approval be limited to only the five (5) guestrooms;
 - (b) that a site development plan be provided indicating the five (5) guest rooms to be utilize for guests, and also clearly showing the seven (7) required parking bays (includes garages) as found on-site;
 - (c) that the owner/manager resides on the premises, and that the owner be responsible for the proper management of the guest house;
 - (d) that commercial rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are autormatically adjusted in terms of the annual budget;
 - (e) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (f) that a single non-illuminated sign that complies with the Municipal By-Law on Signage may be displayed on the premises;
 - (g) that the accommodation facility be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;

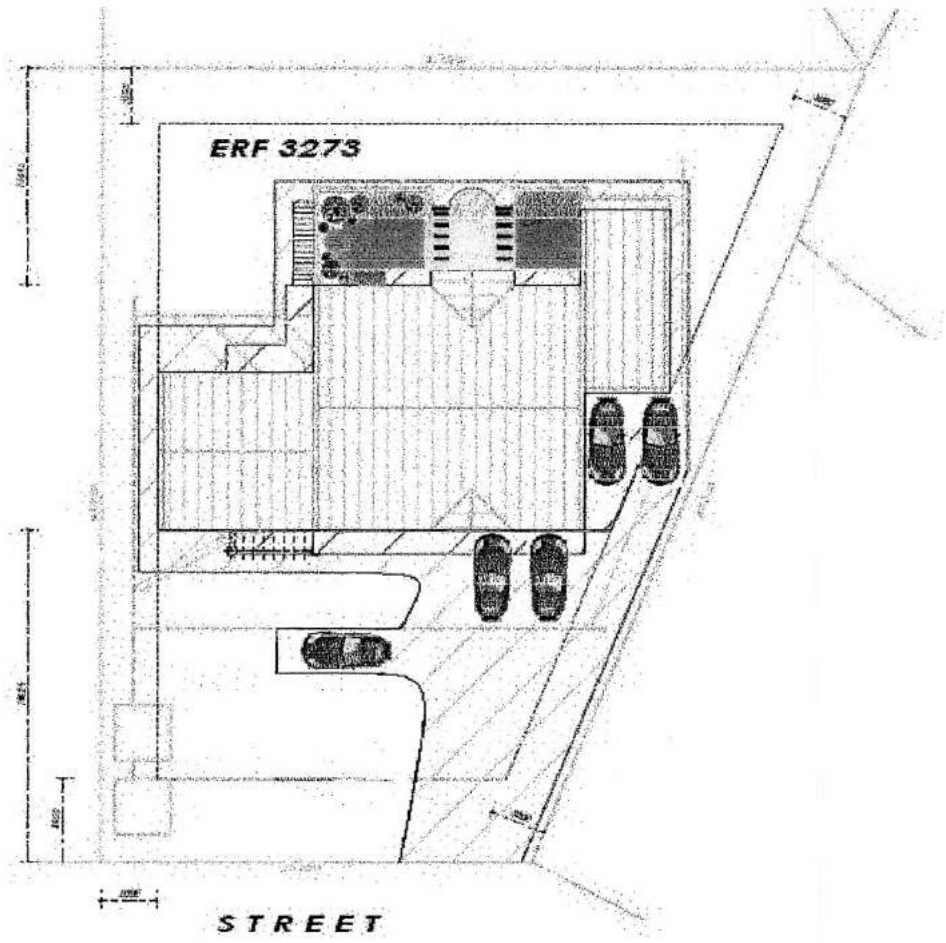
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

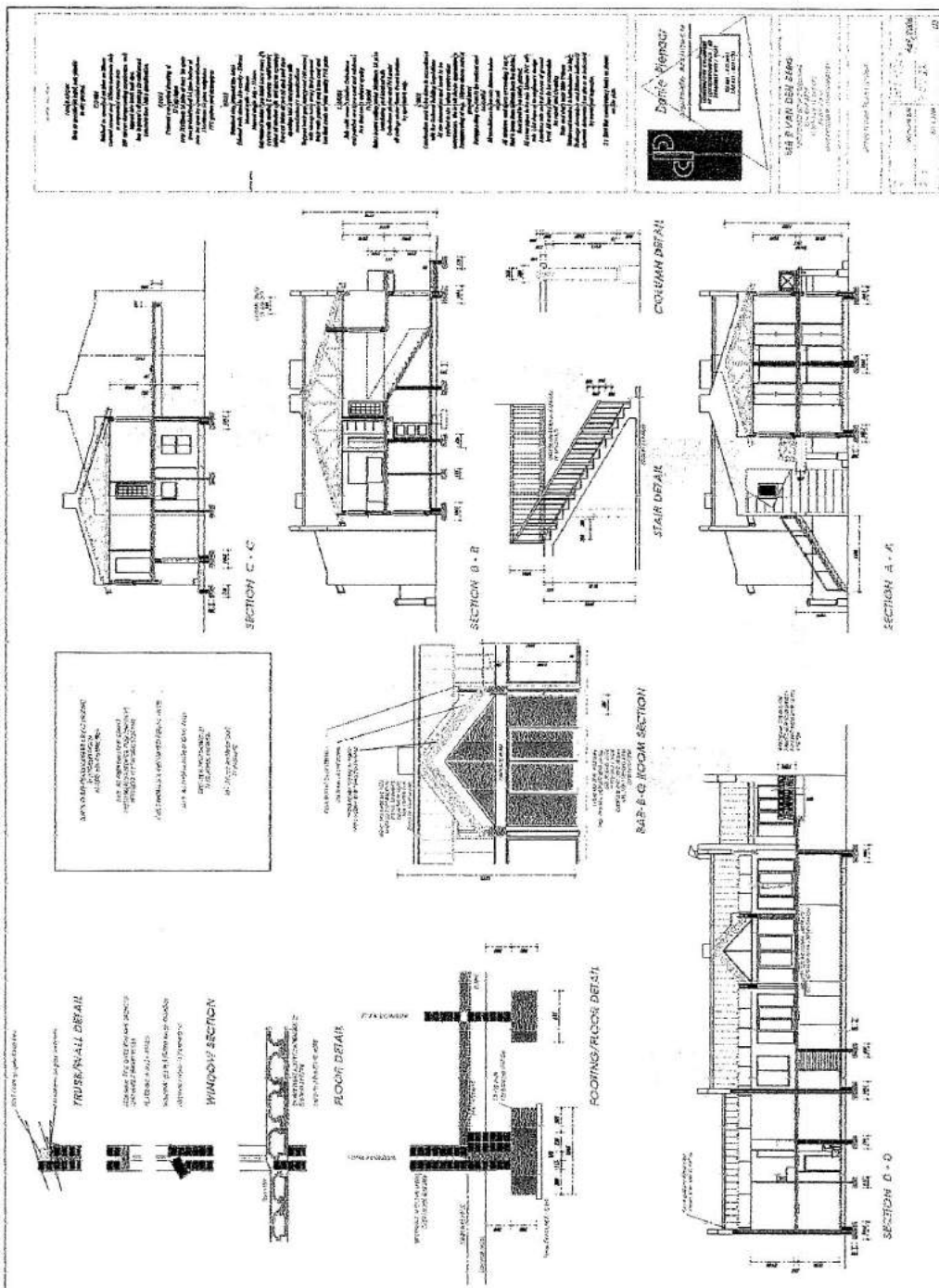
- (h) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (i) that building plans be submitted to the Building Department for approval for any proposed amendments;
 - (j) that all the conditions in the Services Report, be complied with, and
 - (k) that all conditions imposed by the Fire Department, be complied with.
2. that the applicant be notified of his/her right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.

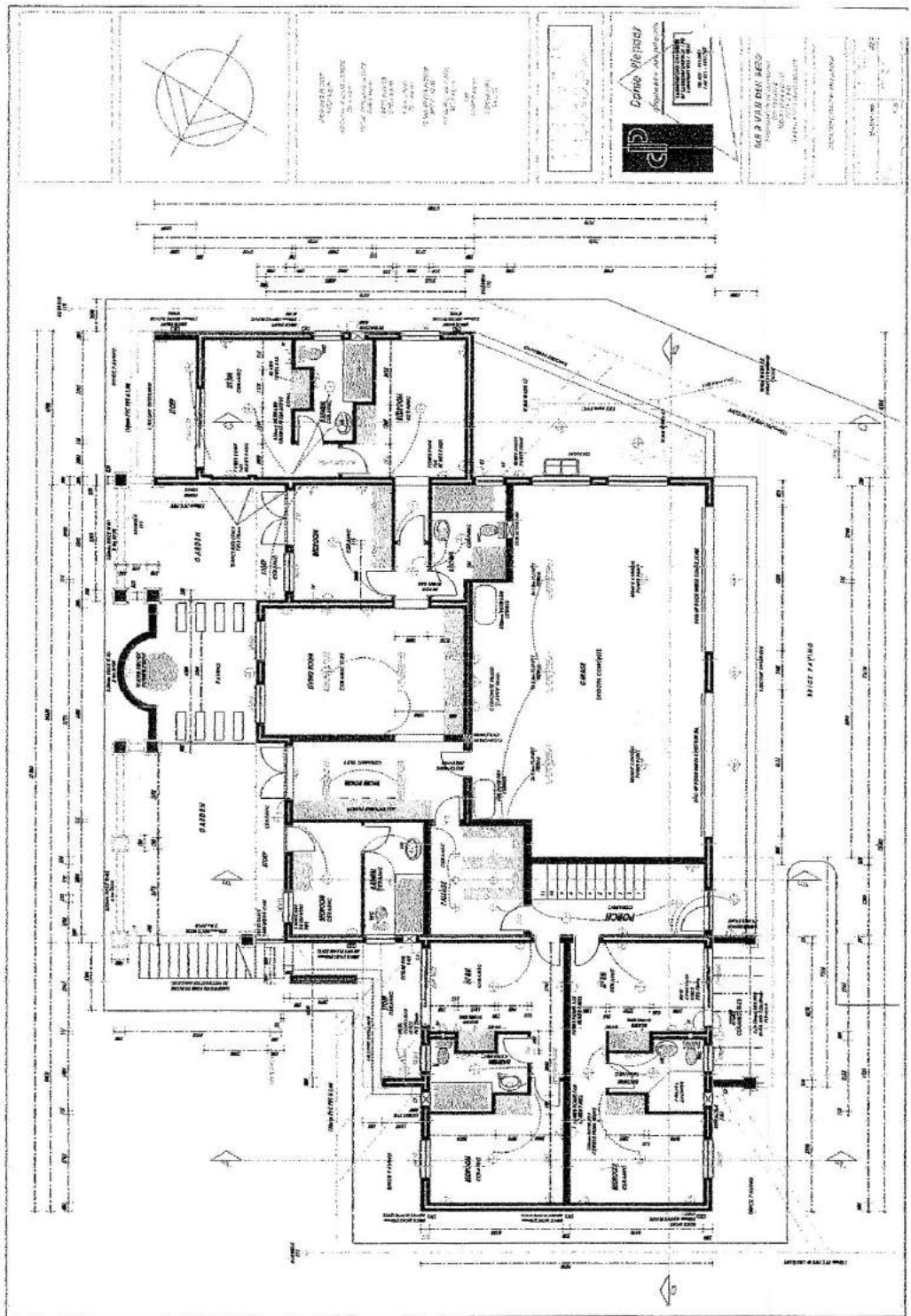


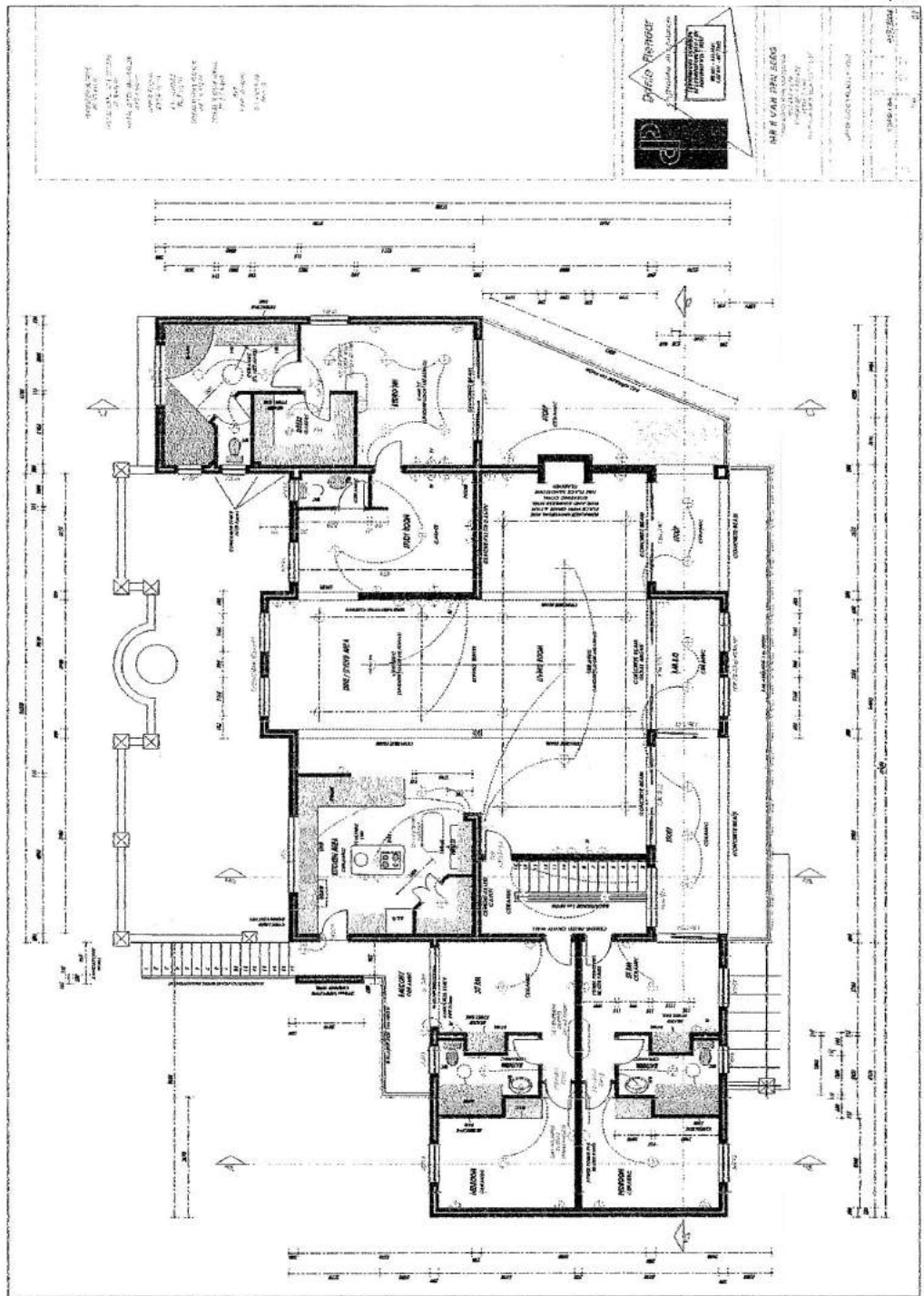
Ent 3273 KBB

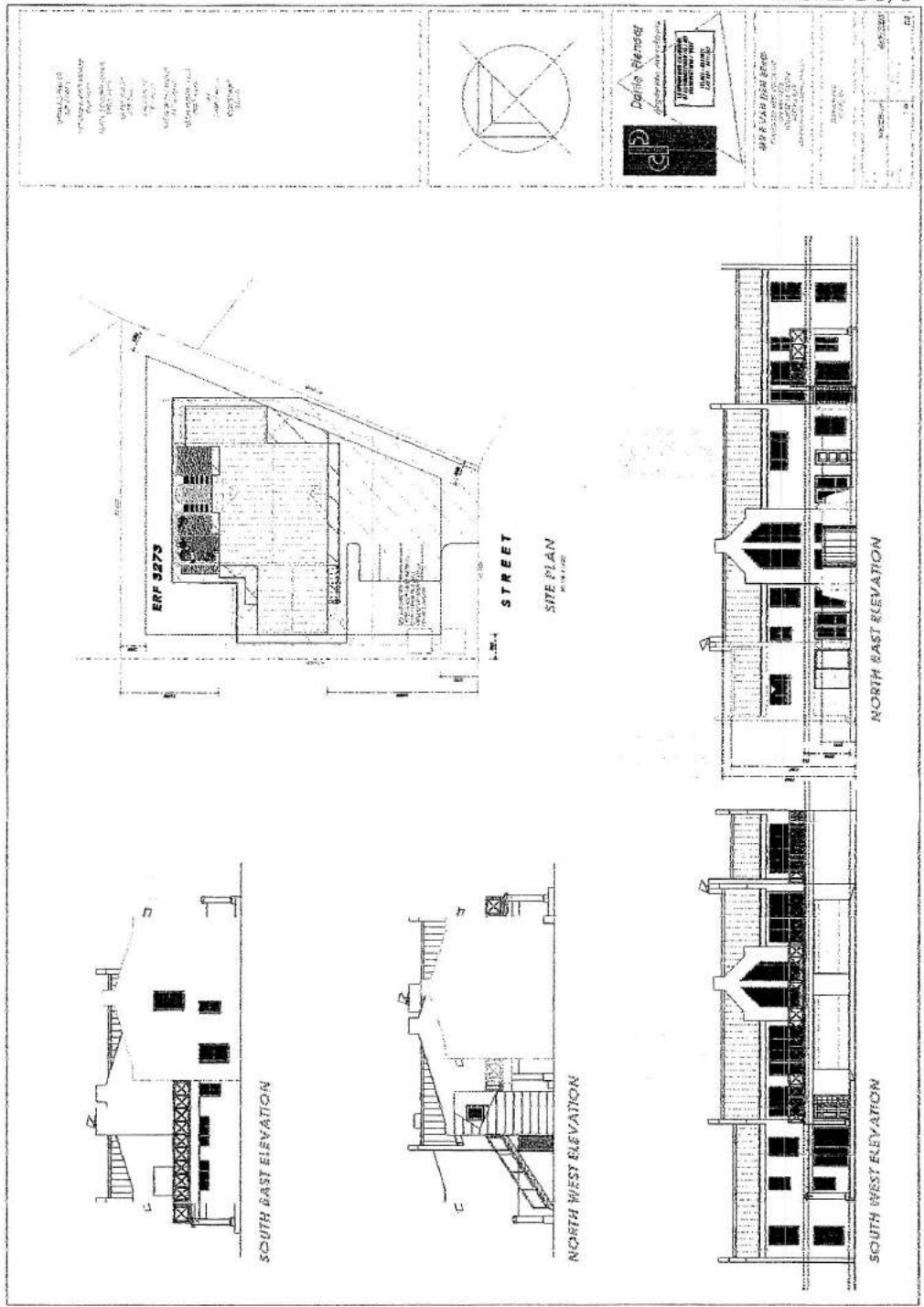
Date: 2018-07-27











**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 3273, BETTY'S BAY (4114)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 3273, Betty's Bay, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

19 DEC 2010

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**21. ERF 5178, 44 DORINGBOOM STREET, KLEINMOND, OVERSTRAND
MUNICIPAL AREA: PROPOSED DEPARTURE: DP DE VAAL**

5178 KKM (4034)

H van der Stoep

(028) 313 8900

Hermanus Administration

13 March 2019

Executive Summary

An application has been received on 29 May 2018 from DP De Vaal on Erf 5178, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 2m to 1,5m and the rear building line from 2m to 1,230m to accommodate an employee unit and a swimming pool.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 5178, Kleinmond for the following departures:

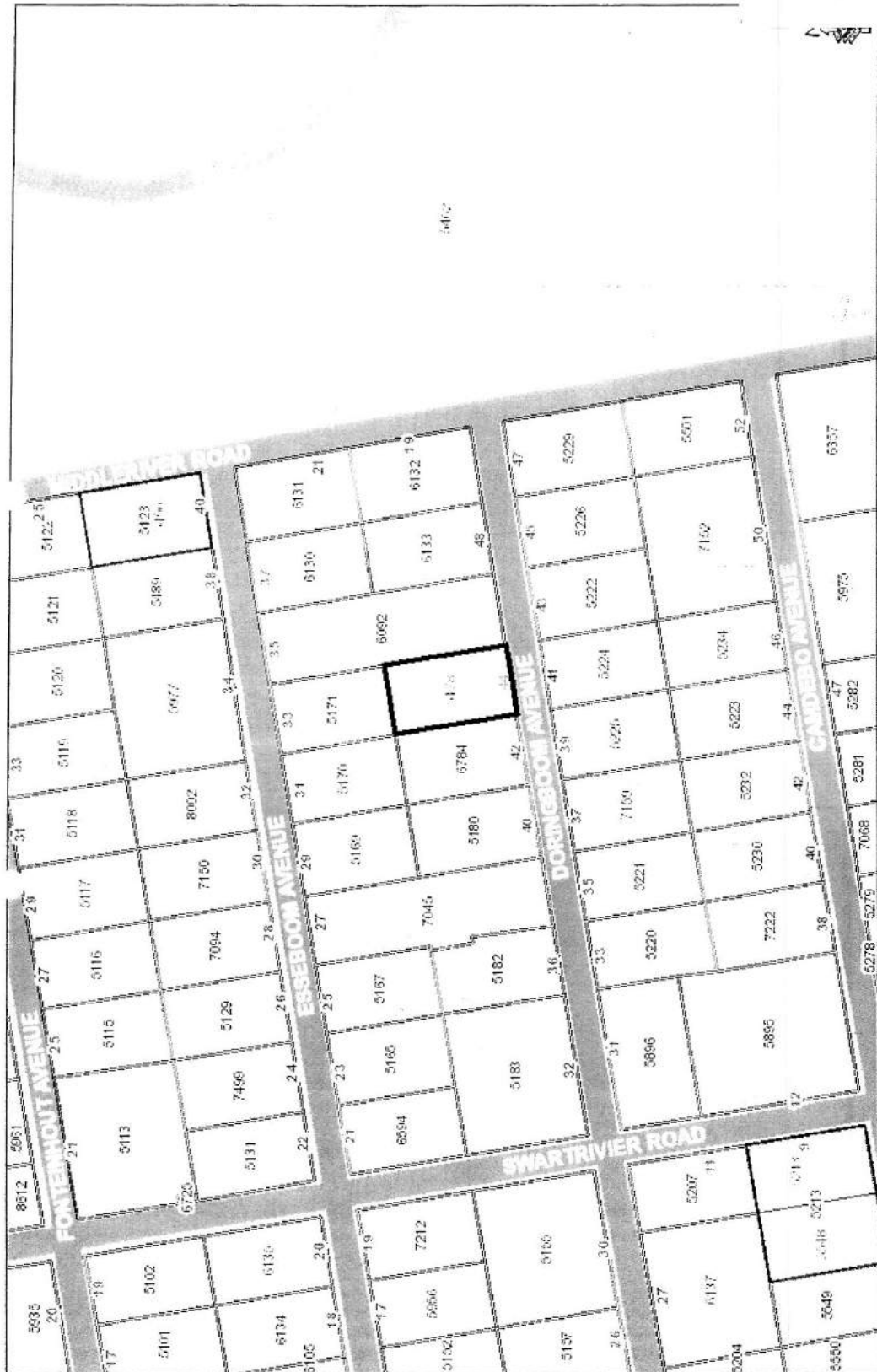
- to relax the western lateral building line from 2m to 1,5m and rear building line from 2m to 1,23m to accommodate an employee unit;
- to relax the northern rear and eastern lateral building lines from 2m to 0m to accommodate a pool; and
- to relax the 9m restriction of buildings over the western lateral building line;

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plan no. 2018-011 dated 2 May 2018, as submitted with the application;
- (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage.
- (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
- (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
- (e) that all the conditions in the Services Report, be complied with.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 5178 Kleinmond

Date: 2018-06-11



ULRICH BRUWER
architecte

HOUSE DE VAAL

CONTRACTOR: V. Vaal
OWNER: M. van der Vaal
ADDRESS: 4 DORINGBOOM STREET, DORINGBOOM, CAPE TOWN

DATE: 2018-05-02
SCALE: 1:100
PROJECT NO: 10000011

GENERAL NOTES

- EXISTING HOUSE: 1100 sqm
- EXISTING GARAGE: 210 sqm
- POOL: 1000 sqm
- ROOF: 1000 sqm
- FOUNDATION: 1000 sqm
- WALLS: 1000 sqm
- FLOORING: 1000 sqm
- MECHANICAL: 1000 sqm
- ELECTRICAL: 1000 sqm
- PLUMBING: 1000 sqm
- PAINTS: 1000 sqm
- LANDSCAPE: 1000 sqm
- CONCRETE: 1000 sqm
- GLASS: 1000 sqm
- IRONWORK: 1000 sqm
- STEELWORK: 1000 sqm
- WOODWORK: 1000 sqm
- STONEWORK: 1000 sqm
- BRICKWORK: 1000 sqm
- PLASTER: 1000 sqm
- CEILING: 1000 sqm
- DOORS: 1000 sqm
- WINDOWS: 1000 sqm
- SCREENS: 1000 sqm
- BLINDS: 1000 sqm
- CURTAINS: 1000 sqm
- FURNITURE: 1000 sqm
- APPLIANCES: 1000 sqm
- FIXTURES: 1000 sqm
- ACCESSORIES: 1000 sqm
- FINISHES: 1000 sqm
- DETAILS: 1000 sqm
- CONSTRUCTION: 1000 sqm
- INSTALLATION: 1000 sqm
- OPERATION: 1000 sqm
- MAINTENANCE: 1000 sqm
- REPAIRS: 1000 sqm
- RENOVATION: 1000 sqm
- RESTORATION: 1000 sqm
- RECONSTRUCTION: 1000 sqm
- DEMOLITION: 1000 sqm
- FOUNDATION: 1000 sqm
- WALLS: 1000 sqm
- FLOORING: 1000 sqm
- MECHANICAL: 1000 sqm
- ELECTRICAL: 1000 sqm
- PLUMBING: 1000 sqm
- PAINTS: 1000 sqm
- LANDSCAPE: 1000 sqm
- CONCRETE: 1000 sqm
- GLASS: 1000 sqm
- IRONWORK: 1000 sqm
- STEELWORK: 1000 sqm
- WOODWORK: 1000 sqm
- STONEWORK: 1000 sqm
- BRICKWORK: 1000 sqm
- PLASTER: 1000 sqm
- CEILING: 1000 sqm
- DOORS: 1000 sqm
- WINDOWS: 1000 sqm
- SCREENS: 1000 sqm
- BLINDS: 1000 sqm
- CURTAINS: 1000 sqm
- FURNITURE: 1000 sqm
- APPLIANCES: 1000 sqm
- FIXTURES: 1000 sqm
- ACCESSORIES: 1000 sqm
- FINISHES: 1000 sqm
- DETAILS: 1000 sqm
- CONSTRUCTION: 1000 sqm
- INSTALLATION: 1000 sqm
- OPERATION: 1000 sqm
- MAINTENANCE: 1000 sqm
- REPAIRS: 1000 sqm
- RENOVATION: 1000 sqm
- RESTORATION: 1000 sqm
- RECONSTRUCTION: 1000 sqm
- DEMOLITION: 1000 sqm

GENERAL NOTES

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

13. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

14. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

15. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

16. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

17. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

18. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

19. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

20. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

DOOR & WINDOWS

1. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

2. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

3. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

4. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

5. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

6. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

7. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

8. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

9. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

10. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

11. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

12. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

13. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

14. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

15. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

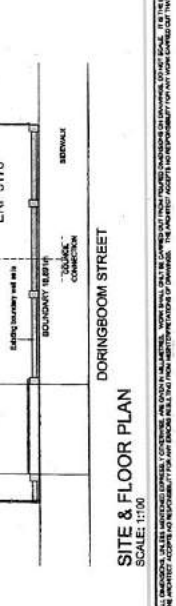
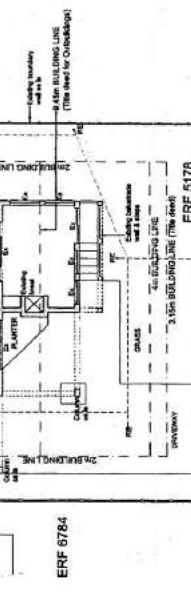
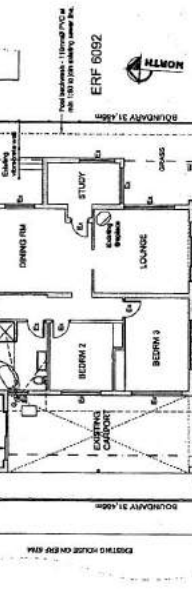
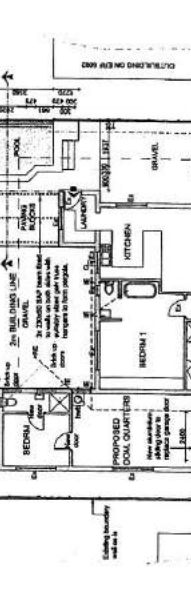
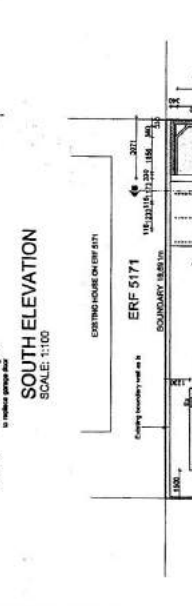
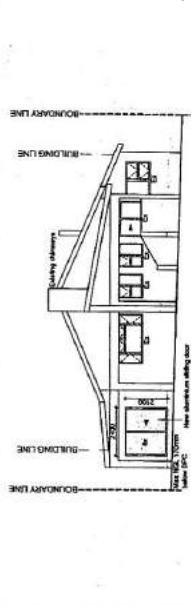
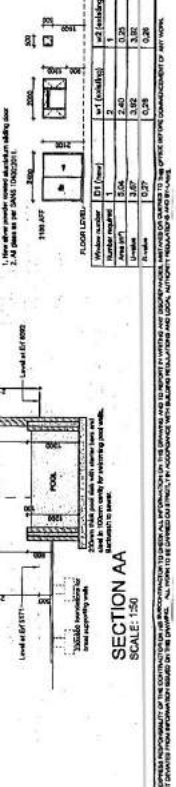
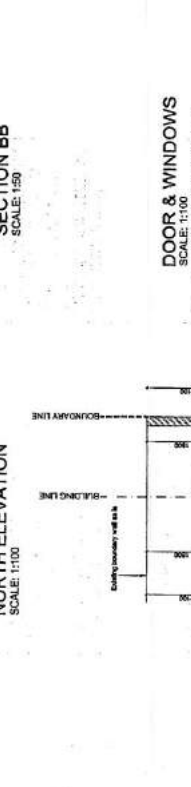
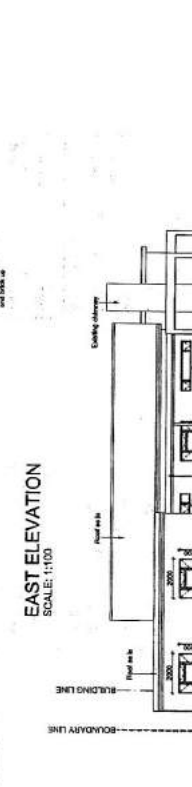
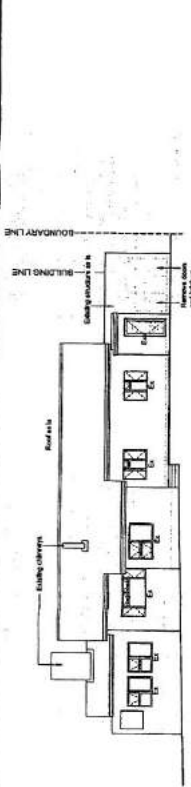
16. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

17. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

18. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

19. ALL DOORS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

20. ALL WINDOWS TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.



GENERAL NOTES

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

13. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

14. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

15. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

16. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

17. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

18. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

19. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

20. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5178, KLEINMOND (4034)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 5178, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

Municipal Planning Tribunal

**1. ERF 1447, LYNX ROAD, VERMONT, OVERSTRAND MUNICIPAL AREA:
REZONING, SUBDIVISION AND DEPARTURE: MESSRS WRAP ON
BEHALF OF HENQUE 3030 CC**

1447 HVM (3853)

H Olivier

(028) 313 8900

Hermanus Administration

17 January 2019

Executive Summary

An application has been received on 16 November 2017 from Messrs WRAP on behalf of Henque 3030 CC on Erf 1447, Vermont in terms of the Overstrand Municipality By-Law on Land Use Planning, 2015 for the following:

- a rezoning in terms of Section 16(2)(a) of the above-mentioned By-Law from Residential Zone I : Single Residential (SR1) to Subdivisional Area (SA);
- a subdivision in terms of Section 16(2)(d) of the abovementioned By-Law, read with Section 22 to create -
17 (seventeen) Residential Zone I erven,
13 (thirteen) General Residential Zone I erven,
1 (one) Open Space Zone II erf and
1 (one) Transport Zone II erf
- a departure in terms of Section 16(2)(b) to relax internal street and lateral building lines applicable to new Residential Zone I and General Residential Zone I erven to be created, as indicated below.

Erf	Applicable Boundary	Proposed Use	From	To	Proposed Zoning
1	Northern Boundary	Garage	2m	0m	SR1
2	Northern Boundary	Garage	2m	0m	SR1
3	Southern Boundary	Garage	2m	0m	SR1
4	Northern Boundary	Garage	2m	0m	SR1
5	Southern Boundary	Garage	2m	0m	SR1
6	Southern Boundary	Garage	2m	0m	SR1
7	Northern Boundary	Garage	2m	0m	SR1
8	Northern Boundary	Garage	2m	0m	SR1
9	Southern Street Boundary	Dwelling	4m	2m	SR1
9	Northern Boundary	Garage	2m	0m	SR1
10	Southern Street Boundary	Dwelling	4m	2m	SR1
10	Northern Boundary	Garage	2m	0m	SR1
11	Northern Boundary	Garage	2m	0m	SR1
12	Northern Boundary	Garage	2m	0m	SR1
13	Southern Boundary	Garage	2m	0m	SR1
14	Southern Boundary	Garage	1m	0m	GR1

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

14	Street Boundary	Garage / Dwelling	5m	2m	GR1
14	Western Boundary	Garage / Dwelling	3m	2m	GR1
15	Street Boundary	Garage / Dwelling	5m	2m	GR1
16	Street Boundary	Garage / Dwelling	5m	2m	GR1
17	Street, Western & Southern Boundary	Garage / Dwelling	5m	2m	GR1
18	Street, Eastern & Southern Boundary	Garage / Dwelling	5m	2m	GR1
19	Street Boundary	Garage / Dwelling	5m	2m	GR1
20	Street Boundary	Garage / Dwelling	5m	2m	GR1
21	Street Boundary	Dwelling	5m	2m	GR1
21	Southern Boundary	Garage	1m	0m	GR1
21	Eastern Boundary	Garage / Dwelling	3m	2m	GR1
22	Street Boundary	Garage / Dwelling	5m	2m	GR1
22	Northern Boundary	Dwelling	3m	2m	GR1
23	Street Boundary	Garage / Dwelling	5m	2m	GR1
24	Street Boundary	Garage / Dwelling	5m	2m	GR1
25	Street Boundary	Garage / Dwelling	5m	2m	GR1
26	Street Boundary	Garage / Dwelling	5m	2m	GR1
26	Western Boundary	Dwelling	3m	2m	GR1
27	Western Boundary	Garage	2m	0m	SR1
28	Western Boundary	Garage	2m	0m	SR1
29	Western Boundary	Garage	2m	0m	SR1
30	Eastern Boundary	Garage	2m	0m	SR1

RESOLVED :

1. that the application in terms of Section 16(2)(a) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 to rezone from Residential Zone I: Single Residential (SR1) to Subdivisional Area (SA) and for subdivision in terms of Section 16(2)(d) of the above-mentioned By-Law, read with Section 22, to create 17 (seventeen) Residential Zone I erven, 13 (thirteen) General Residential Zone I erven, 2 (two) Open Space Zone II (Public Open Space) erven and 1 (one) Transport Zone II (Public Road) erf, be approved in terms of the provisions of Section 61, subject to the following conditions:

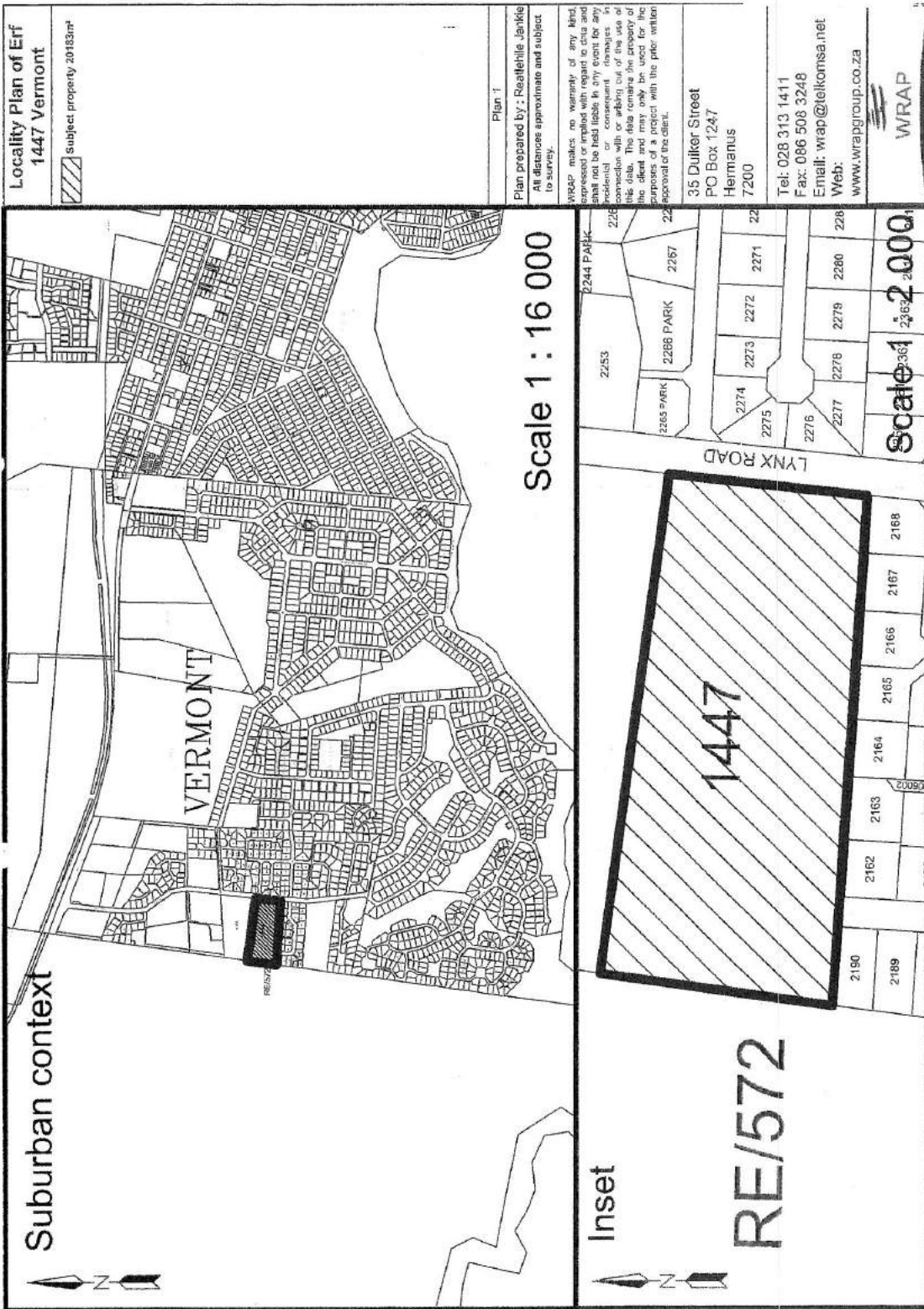
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- (a) that approval is for the revised Layout Plan 3, providing for the 2 (two) Public Open Space;
 - (b) that a minimum of 2 (two) parking bays be provided on each erf, to municipal standards and satisfaction;
 - (c) that the compliance does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (d) that the Architectural Design Guidelines in line with Zoning Scheme parameters and the departure relaxation as dealt with in point 2. below, be submitted for the development to address the style of the houses that will be constructed, to the satisfaction of the Building Control department;
 - (e) that all the conditions of Telkom, be complied with;
 - (f) that all the conditions imposed by Eskom, be complied with;
 - (g) that all conditions in the Services Report, be complied with;
 - (h) that the conditions imposed by the Western Cape Government : Environmental Affairs and Development Planning, be complied with;
 - (i) that the conditions of the Municipal Fire Department, be complied with;
 - (j) that a Home Owners Association be established with compulsory membership for all property owners within the development;
 - (k) that the Constitution of the Home Owners Association be submitted for approval by the Municipality (which reserves the right to impose conditions in this regard), and that the following aspects inter alia be addressed in this document:
 - the approval of building plans by an “estate architect” prior to submission thereof the Municipality, and
 - that the Constitution clarifies at what stage the responsibility would be transferred from the developer to the Home Owners Association to deal with approval of plans.
2. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 to relax internal street building lines and lateral building lines applicable to the following General Residential Zone I erven to be created, **be approved**, as follows:

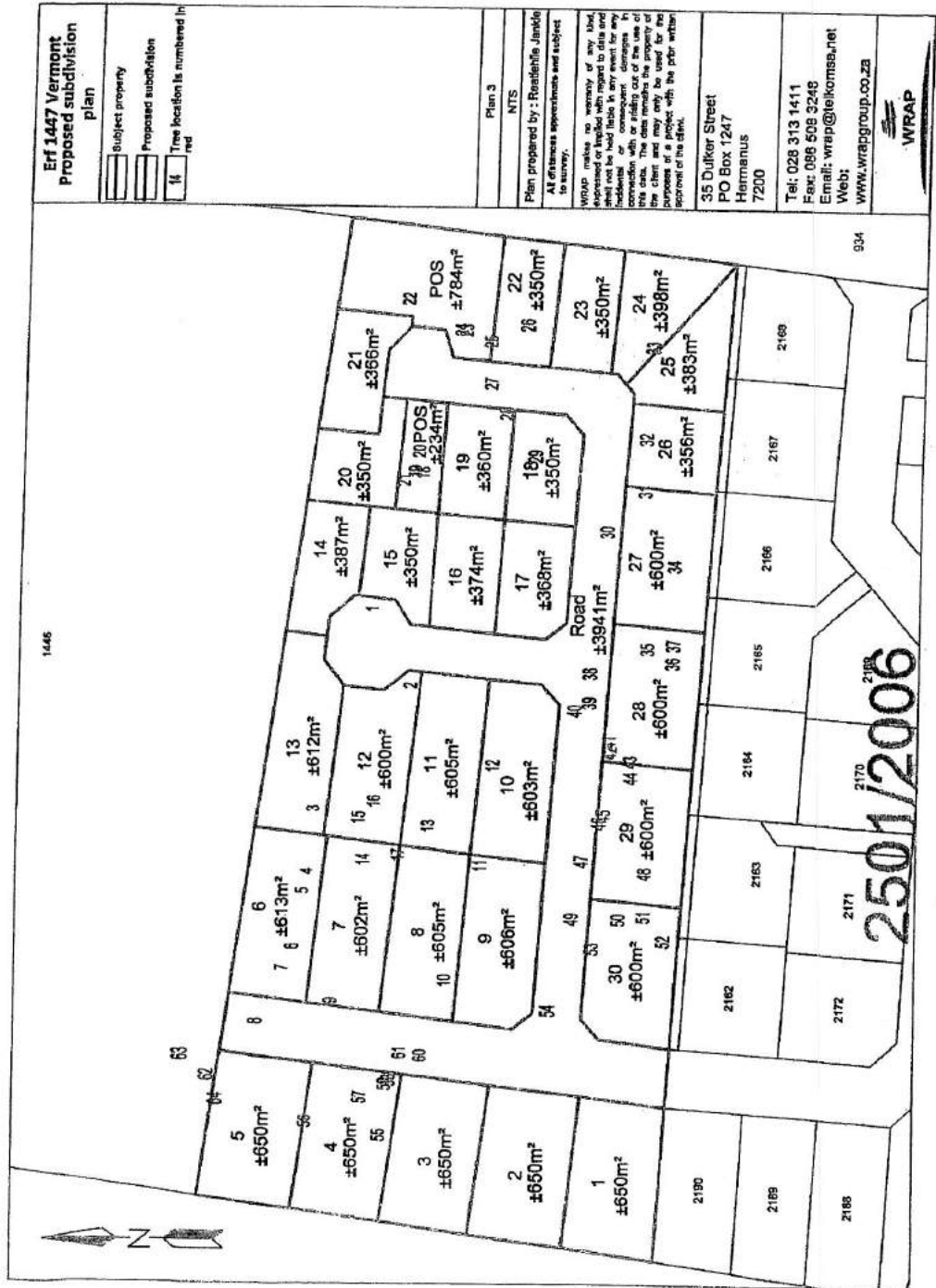
**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

Erf	Applicable Building line	From	To
14	Street	5m	2m
	Street – garage with direct access	5m	4m
	Western lateral boundary	3m	2m
15	Street	5m	2m
	Street – garage with direct access	5m	4m
16	Street	5m	2m
	Street – garage with direct access	5m	4m
17	Streets	5m	2m
	Street – garage with direct access	5m	4m
18	Streets	5m	2m
	Street – garage with direct access	5m	4m
19	Street	5m	2m
	Street – garage with direct access	5m	4m
	Northern lateral	3m	2m
20	Street	5m	2m
	Street – garage with direct access	5m	4m
	Southern lateral	3m	2m
21	Street	5m	2m
	Street – garage with direct access	5m	4m
	Eastern lateral	3m	2m
22	Street	5m	2m
	Street – garage with direct access	5m	4m
	Northern lateral	3m	2m
23	Street	5m	2m
	Street – garage with direct access	5m	4m
24	Street	5m	2m
	Street – garage with direct access	5m	4m
25	Street	5m	2m
	Street – garage with direct access	5m	4m
26	Street	5m	2m
	Street – garage with direct access	5m	4m
	Western lateral	3m	2m








3. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 to relax internal street building lines and lateral building lines for proposed Residential Zone I sites 1 to 13, and 27 to 30, and also the southern lateral building lines for proposed General Residential sites 14 and 21, **not be approved.**
4. that the applicant and objectors be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



SITE PLAN



**Proposed subdivision
and zoning plan of
Erf 1447
Vermont**

-  Subject property
-  Proposed subdivision lines
-  Residential Zone 1 : Single Residential
-  General Residential Zone 1
-  : Town Housing
-  Open Space Zone 1 : Public Open Space
-  Transport Zone 2 : Road and Parking

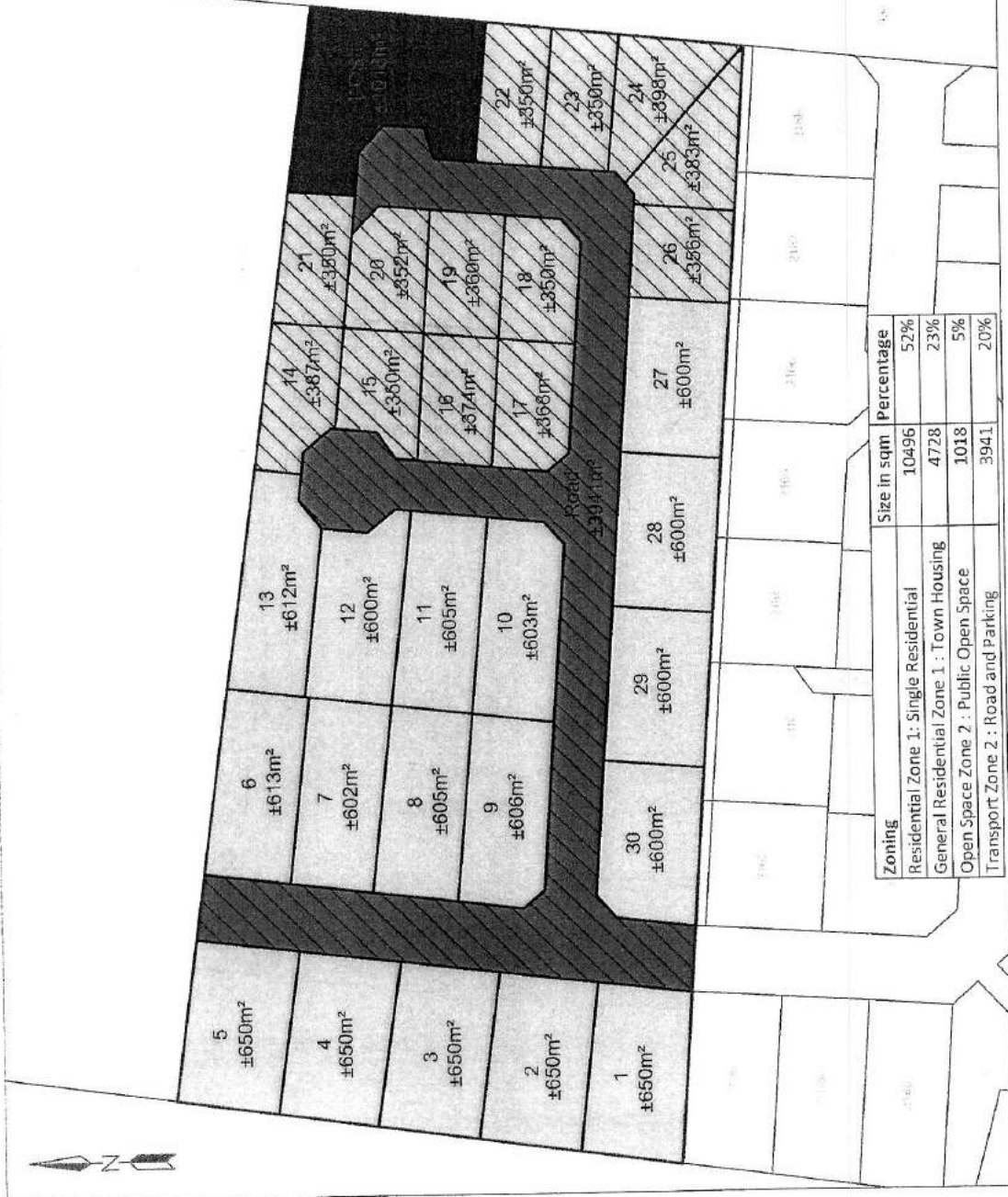
Plan 4
Scale 1 : 1 000

Plan prepared by : Reatielille Jantjie
All distances approximate and subject to survey.

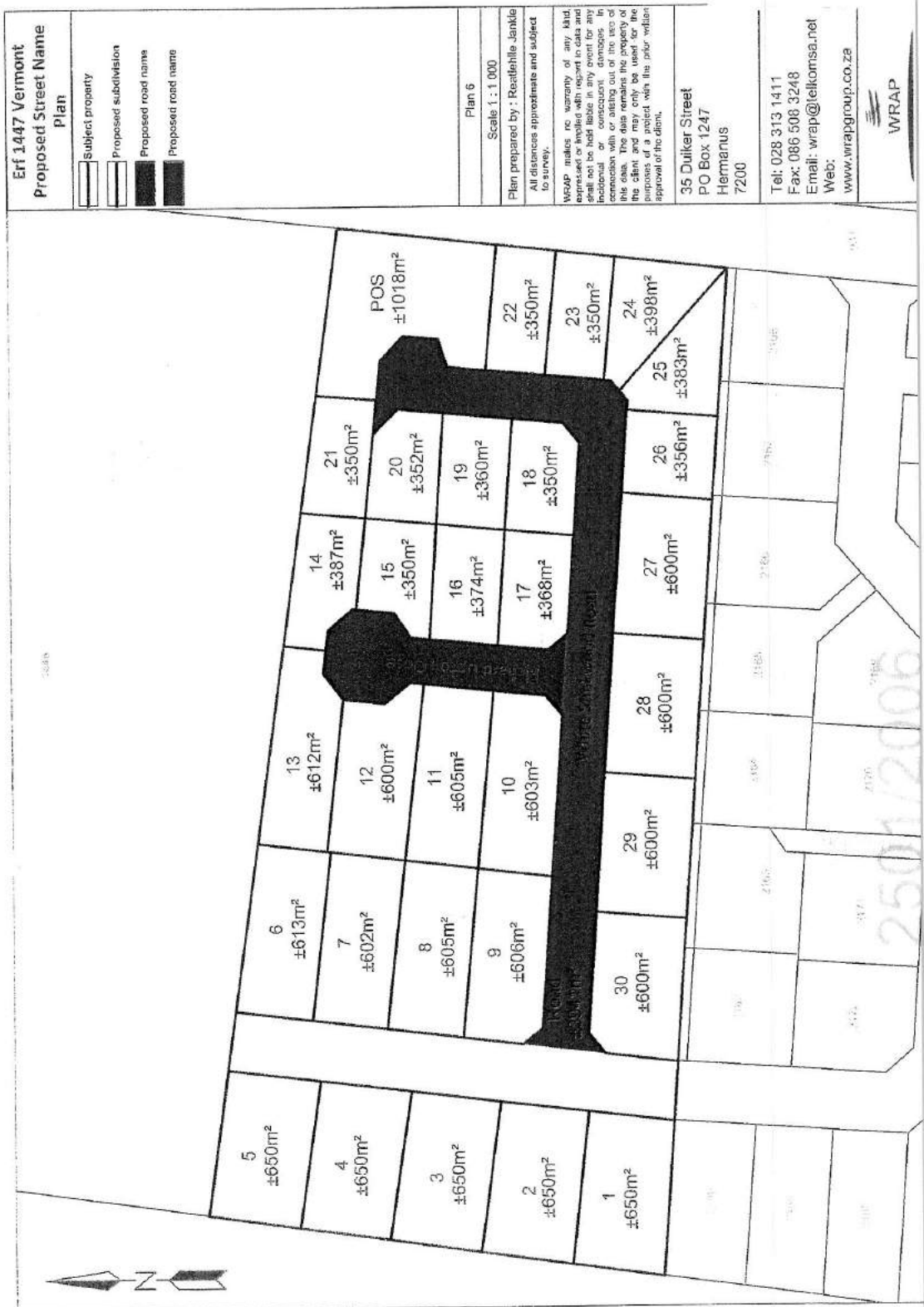
WRAP makes no warranty of any kind, expressed or implied, in regard to the accuracy, reliability or completeness of any information or data contained herein, or any consequential damages in connection with or arising out of the use of this data. The data remains the property of the client and may only be used for the purposes of a project with the prior written approval of the client.

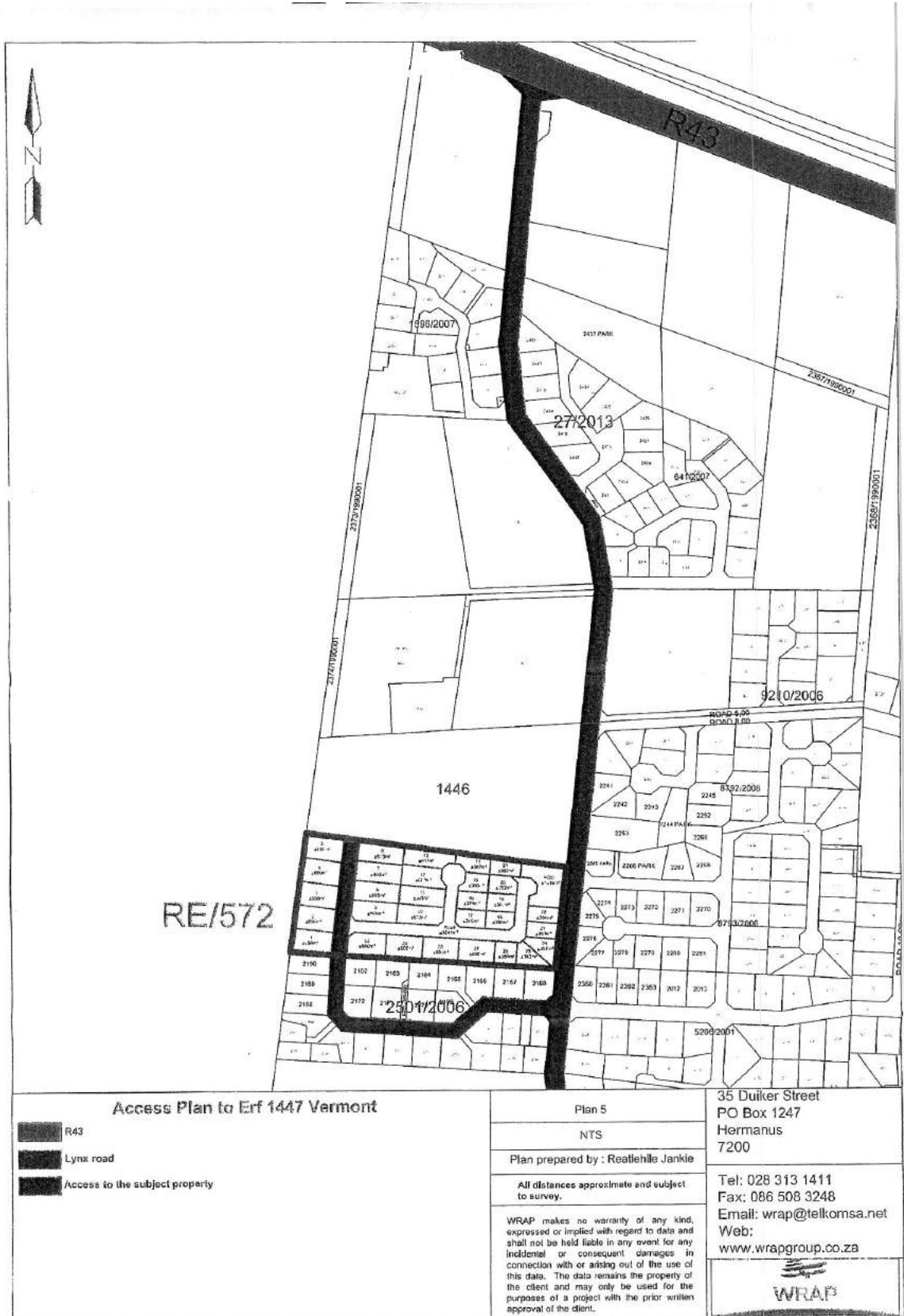
35 Dulker Street
PO Box 1247
Hermanus
7200

Tel: 028 313 1411
Fax: 086 508 3248
Email: wrap@telkomsa.net
Web: www.wrapgroup.co.za






Zoning	Size in sqm	Percentage
Residential Zone 1 : Single Residential	10496	52%
General Residential Zone 1 : Town Housing	4728	23%
Open Space Zone 2 : Public Open Space	1018	5%
Transport Zone 2 : Road and Parking	3941	20%





Access Plan to Erf 1447 Vermont

-  R43
-  Lynx road
-  Access to the subject property

Plan 5

NTS

Plan prepared by : Reatlehill Jankie

All distances approximate and subject to survey.

WRAP makes no warranty of any kind, expressed or implied with regard to data and shall not be held liable in any event for any incidental or consequent damages in connection with or arising out of the use of this data. The data remains the property of the client and may only be used for the purposes of a project with the prior written approval of the client.

35 Duiker Street
PO Box 1247
Hermanus
7200

Tel: 028 313 1411
Fax: 086 508 3248
Email: wrap@telkomsa.net
Web:
www.wrapgroup.co.za



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING, SUBDIVISION & DEPARTURE: ERF 1447,
VERMONT (3853)**

Stormwater (SW)	:	According to the master plan by the Developer
Electricity	:	Escom
Water	:	According to GLS Report
Sewer	:	According to GLS Report
Roads and traffic	:	In order

Conditions:

- That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings
(non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full **prior** to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable **prior** to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (**2018/2019**) is as follows:

Freehold erven:

Water	R 21 688.60 x 26.3999=	R 572 576.87
Sewerage	R 14 623.16 x 26.3999=	R 386 049.96
Roads	R 6 577.01 x 28.9118=	R 190 153.20
Stormwater	R 7 565.79 x 4.1973 =	R 31 755.89
Solid Waste	R 1 311.40 x 29.000 =	R 38 030.60
TOTAL (inclusive of VAT)	=	R1 218 566.52

Note:

1.3 The above figures are estimates

1.4 The above figures do not include connection fees

- that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;

19 DEC 2018

- 2.1 the Director: Infrastructure and Planning may require the developer to construct internal, link, and/or bulk municipal services to a higher capacity than warranted by the development for purposes of allowing other existing or future developments to also utilise such services, provided:
 - 2.2 the rates and prices of such work be established in terms of a system which is fair, equitable, transparent and cost effective;
 - 2.3 if link municipal services have already been provided, the developer to contribute towards the cost thereof, the Director: Infrastructure and Planning to determine the amount of such contribution in terms of a system which is fair and equitable;
3. that servitudes for municipal services be registered in favour of the Council at the developer's cost in respect of all main services to be taken over by the Council and all existing municipal services concerned crossing private property;
4. that the developer indemnifies and keep the Council indemnified against all actions, proceedings, claims and demands, costs, damages and expenses arising out of the establishment of the township, the provision of services to the township or the use of servitude areas or municipal property:
 - 4.1 for a period which shall commence on the date that the installation of the services to the township are commenced with and shall expire after completion of the maintenance period;
 - 4.2 the developer to submit an acceptable public liability insurance policy to the Council and to pay the premium in advance for the period as set out above before any work concerned may commence;
 - 4.3 the insurance to be to an amount which shall not be less than that required by the SAACE;
 - 4.4 such indemnification against loss, claims or damages, to include claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the Council's services or apparatus or otherwise;
5. that a plan of all existing services be submitted to the Director: Infrastructure and Planning, by the developer and that any of the services that need to be relocated, be done by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning:
 - 5.1 way-leaves must be obtained from the Operational Manager;
 - 5.2 such way-leaves to be obtained prior to any excavation on public property or property where existing services are located;

6. that the developer may enter into an agreement with the Council to install or upgrade bulk and/or link municipal services and amenities at an agreed cost, subject to the following:
 - 6.1 such costs to be established in accordance with a system which is fair, equitable, transparent, competitive and cost effective;
 - 6.2 such costs shall be set-off against (part or full) development contributions payable in respect of engineering services;
 - 6.3 to the extent that such costs exceed the development contributions payable, the Council will refund the developer the difference with interest calculated at the prime rate, when funds are available;
7. that plans of all the internal municipal civil and electrical (high and low voltage supply) services and such link services as required by the Director: Infrastructure and Planning, prepared by an ECSA registered professional engineer/technologist, be submitted to the Director: Infrastructure and Planning for his prior approval;
8. the "Guidelines for the Provision of Engineering Services in Residential Townships" (Blue Book), SABS 1200 specifications and the Design and Construction Standards for civil and electrical services of the Council to be used as the standard design and construction criteria with which such plans must comply;
9. the Director: Infrastructure and Planning to be notified in writing of all deviations from the Standard Design and Construction Criteria when plans are submitted for his approval and such deviations to be separately approved in writing by the Director: Infrastructure and Planning;
10. the successful completion of such works to be supervised and certified by an independent professional civil engineer/technologist i.e. a professional civil engineer/technologist who has no direct financial interest in the development, other than payment as standard professional fees for the work concerned; and
11. such independent professional civil engineer/technologist to furnish the Director: Infrastructure and Planning with satisfactory proof of his professional indemnity insurance to an amount which shall not be less than that required by the SAACE and which insurance shall be valid for the relevant contract and maintenance period;
12. that all municipal civil and electrical services installed or constructed by the developer, be maintained after completion thereof for a maintenance period, as described in the General Condition of Contract for works of Civil Engineering Construction – 2004, of 12 months, and

13. that a Certificate of Completion together with as-built services plans be provided by the independent professional engineer/technologist to the Overstrand Municipality. As-built plans to be on quality paper, together with a DXF file thereof;
14. that refuse will be removed from sidewalks as per municipal arrangements;
15. that a stormwater management plan, which may include attenuation facilities to ensure that the pre-development run-off is not exceeded and that erosion and pollution is minimised, be submitted to the Director: Infrastructure and Planning for approval and that the approved management plan be implemented by the developer at his cost to the satisfaction of the Director: Infrastructure and Planning;
16. that the above stormwater management plan include the following:
 - 16.1 pre-development run-off from the catchment area;
 - 16.2 post-development run-off from catchment area;
 - 16.3 existing stormwater reticulation system and the capacity thereof;
 - 16.4 connection of internal stormwater reticulation system;
 - 16.5 overland escape routes;
17. that the connection to the stormwater reticulation system be provided according to the stormwater management plan, by the developer at his cost and approved by Overstrand Municipality;
18. that the existing water connection to Erf 1447 shall be used to service the proposed Erf 1447;
19. that the developer apply for a temporary water connection on the prescribed application form at Overstrand Municipality's Finance Department, before commencement of construction;
20. that the connection to the main water line will only be done by the Operational Department after payment of the connection fee, by the developer;
21. that all erven must be provided with individual sewer (interceptor) conservancy tanks and the developer must install a sewer line that connects to the Municipal system. The sewer system must comply with the standards of the Department: Operational Services (Hermanus) and an application must be made to the Senior Manager: Engineering Services for written approval. Please note there is a smallbore sewer system in Vermont;
22. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
23. that any additional cost related to the upgrading of bulk civil services will be for the developer's account;

24. that the access to the proposed development can be obtained via the new access from Francolin close;
25. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
26. that any additional and / or extended vehicle entrances will be for the developer's account;
27. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
28. that damage to the existing roads, used as routes for access to the development, for the provision of services, be repaired by the developer.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

**2. ERF 1746, MAIN ROAD, SANDBAAI, OVERSTRAND MUNICIPAL AREA :
PROPOSED CONSENT USE AND DEPARTURE : MESSRS WPP TOWN
AND REGIONAL PLANNING CONSULTANTS ON BEHALF OF SOBREY
EIENDOMS BELEGGINGS BK**

1746 HSB (3523)

H van der Stoep

(028) 313 8900

Hermanus Administration

3 September 2018

Executive Summary

An application has been received on 25 November 2016 (revised 7 July 2017) from Messrs WPP Town and Regional Planning Consultants on behalf of Sobrey Eiendoms Beleggings BK, applicable to Erf 1746, Sandbaai for the following:

- ❖ Consent use (transmission tower) in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to accommodate a 25m high free standing cellular communications base station on the above property;
- ❖ departure in terms of Section 16(2)(b) of the above By-Law comprising the following:
 - to exceed the applicable 8,5m height restriction in order to accommodate the 25m high transmission tower; and
 - to relax the northern lateral building line from 4,5m to 0m and the eastern lateral building line from 3m to 0m to accommodate the cellular communications base station.

RESOLVED :

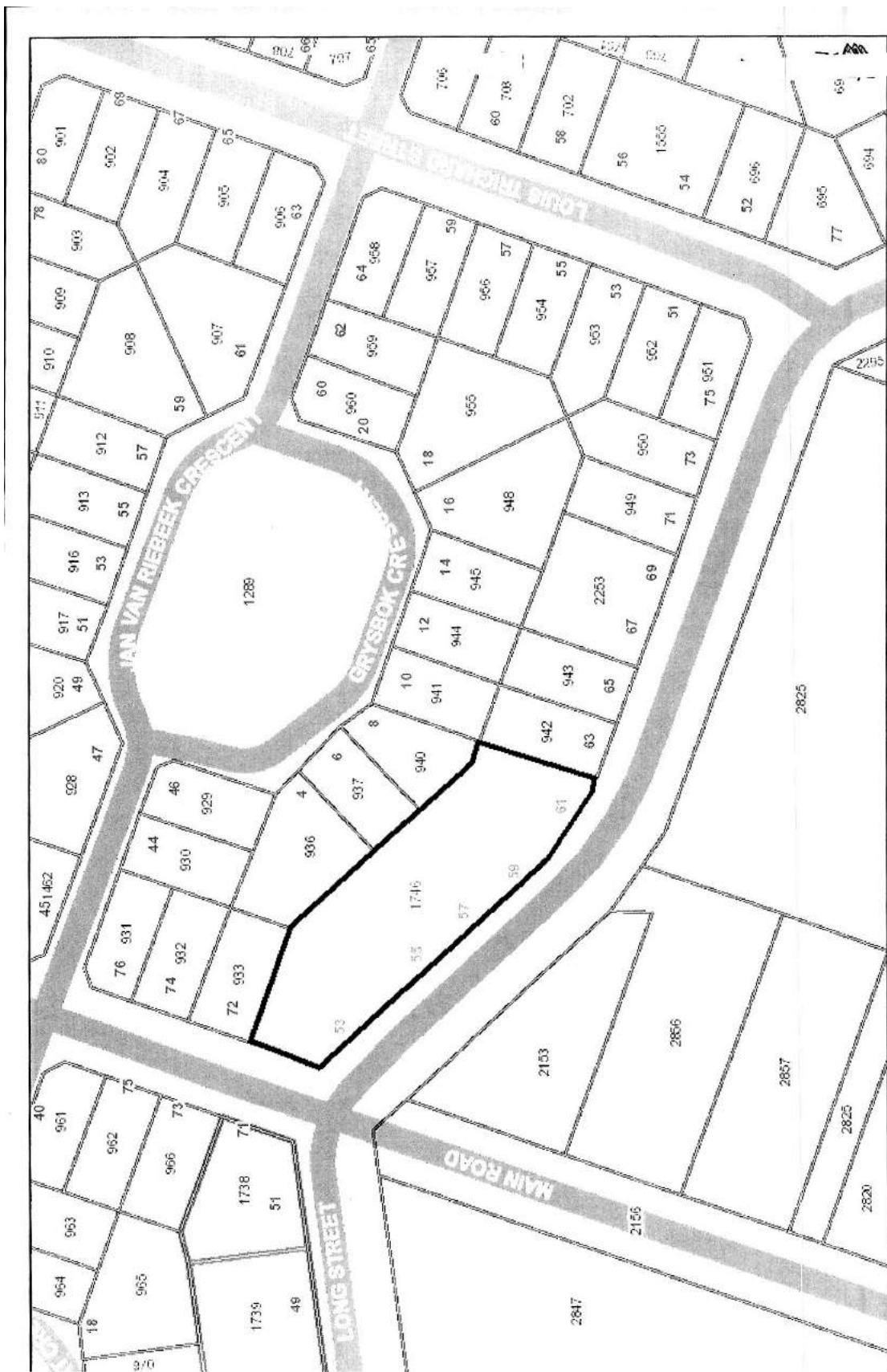
1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 1746, Sandbaai for a consent use in order to accommodate a 25m high free standing cellular communications base station and associated equipment, **be refused** in terms of the provisions of Section 61 of the By-Law.
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 1746, Sandbaai for the following departures:
 - to exceed the applicable 8,5m height restriction in order to accommodate the 25m high transmission tower, and

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

- to relax the northern lateral building line from 4,5m to 0m and the eastern lateral building line from 3m to 0m to accommodate the cellular communications base station,

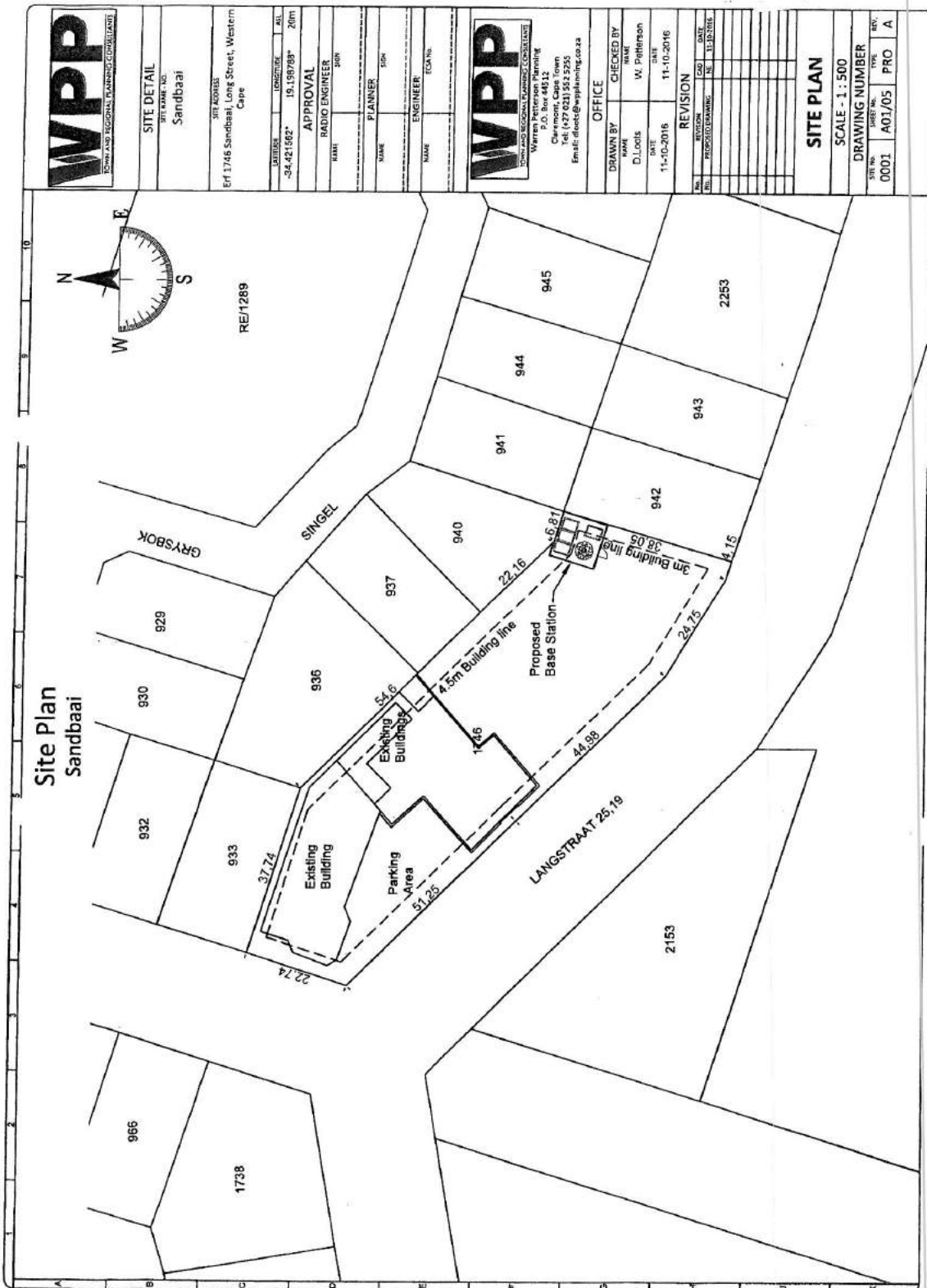
be refused in terms of the provisions of Section 61 of the By-Law, and

3. that the applicant and the objectors be notified of their respective appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with regard to the above decision.



Locality Plan - Erf 1746 Sandbaai

Date: 2017-09-23



SITE DETAIL
 SITE NAME NO.
 Sandbaai

SITE ADDRESS
 Erf 1746 Sandbaai, Long Street, Western Cape

DATE
 -31.01.2016

LENGTH
 19,19778m

WIDTH
 70m

APPROVAL
 RADIO ENGINEER

NAME
 SIGN

PLANNER
 NAME
 SIGN

ENGINEER
 NAME
 SIGN
 ECA No.



WPP TOWN AND REGIONAL PLANNING
 P.O. Box 44512
 Claremont, Cape Town
 Tel: (+27 021) 552 5255
 Fax: (+27 021) 552 5255
 Email: info@wpplanning.co.za

OFFICE

DRAWN BY
 NAME
 DATE

CHECKED BY
 NAME
 DATE

DATE
 11-10-2016

DATE
 11-10-2016

REVISION

NO.	DESCRIPTION	DATE
1	PROPOSED DRAWING	11-10-2016

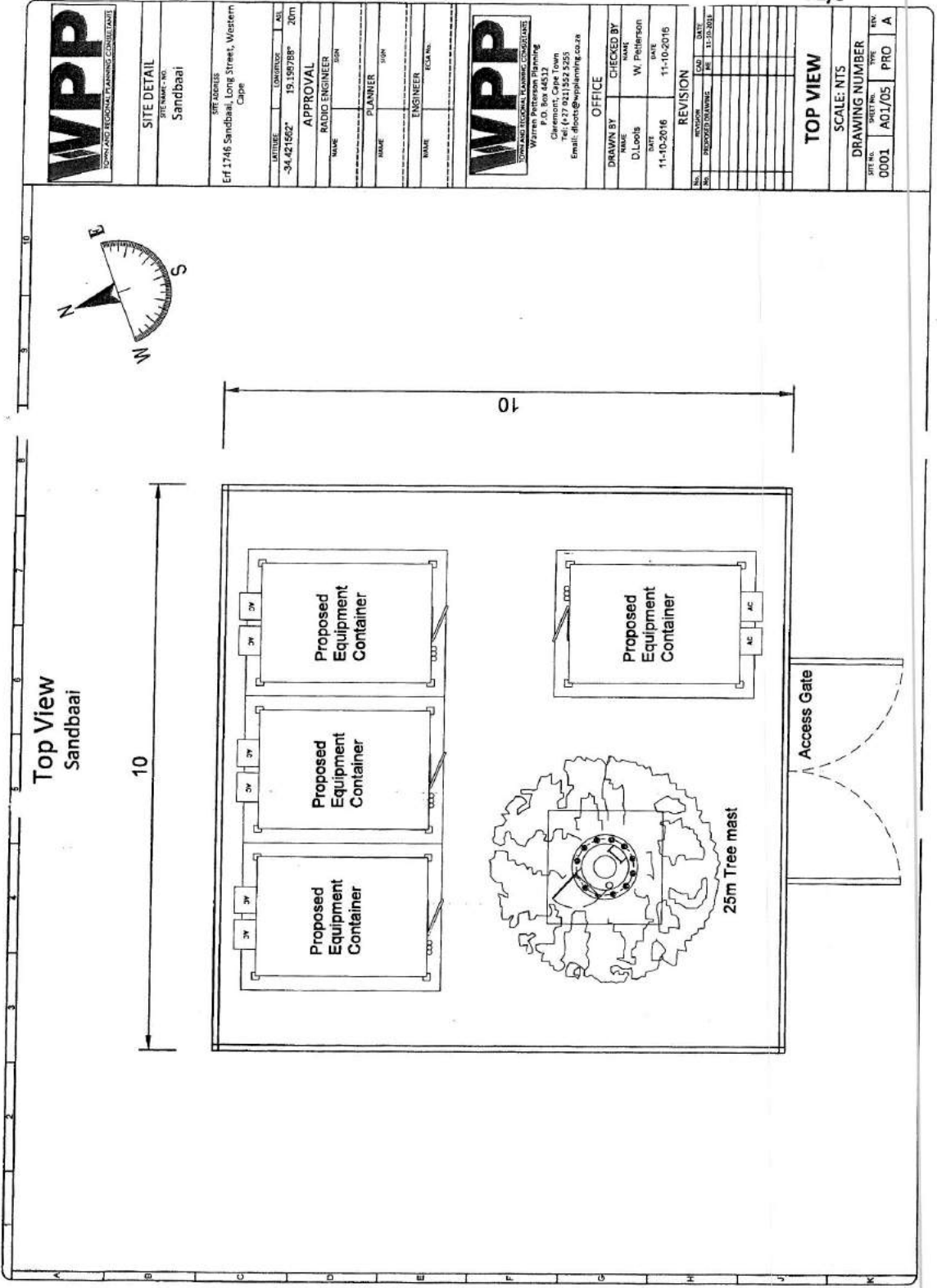
SITE PLAN

SCALE - 1 : 500

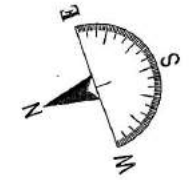
DRAWING NUMBER

SHEET NO.
 0001

PRO
 A



Top View
Sandbaai



WPP DOWNLAND TECHNICAL PLANNING CONSULTANTS		
SITE DETAIL SITE NAME - NO. Sandbaai		
SITE ADDRESS Erf 1746 Sandbaai, Long Street, Western Cape		
DATE:	15.10.2016	
SCALE:	20m	
APPROVAL		
NAME:	PLANNER	
NAME:	ENGINEER	
NAME:	ENGINEER	
NAME:	ENGINEER	
OFFICE		
DRAWN BY:	W. Pieterse	
CHECKED BY:	W. Pieterse	
DRAWN:	DATE	
D.Leeb	11-10-2016	
REVISION		
No.	Description	Date
1	PROPOSED DRAWING	11-10-2016
SCALE: NTS		
DRAWING NUMBER		
0001	PRO	A

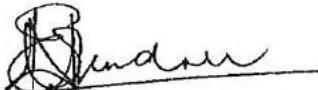


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 1746,
SANDBAAI (3523)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 1746, Sandbaai, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

25/4/2018

DATE

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

3. **ERF 1544 (A PORTION OF ERF 1438), 152 KUSWEG, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR REMOVAL OF A RESTRICTIVE TITLE DEED CONDITION AND DEPARTURE: MESSRS PLANACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF OULAP (PTY) LTD**

1544 HSB (3884)

H van der Stoep

16 October 2018

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 18 December 2017 from Messrs Planactive Town & Regional Planners on behalf of Oulap (Pty) Ltd applicable to Erf 1544 (a portion of Erf 1438), Sandbaai for the following:

- ❖ Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive Title Deed condition 1.D.(d) as contained in Title Deed T950/1994 applicable to the above erf in order to remove the 4,72m street building line restriction.

The restrictive condition 1.D.(d) as contained in Title Deed T950/1994 to be removed reads as follows:

“(d) That no building shall be erected on the above erf or erven within 4,72 metres of any boundary line between the said erf or erven and any street, road or avenue on which such erf or erven abuts, such space may be used as gardens but shall not be built upon.”

- ❖ Application is subsequently made in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following departures:
 - to relax the north-eastern street building line from 4m to 2,215m in order to accommodate new entrance steps to the dwelling from Piet Retief Crescent;
 - to relax the north-western street building line from 4m to 0m to accommodate a new open suspended deck with a swimming pool; and
 - to relax the south-western lateral building line from 2m to 0m to accommodate the new open suspended deck with steps along the relevant lateral boundary.

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

RESOLVED :

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of restrictive Title Deed condition 1.D.(d) as contained in Title Deed T950/1994 applicable to Erf 1544 (a portion of Erf 1438), Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application in terms of Section (16)(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 1544, Sandbaai for a departure in order to relax the north-eastern street building line from 3m to 2,215m in order to accommodate a new open staircase to the dwelling from Piet Retief Crescent, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the above approvals in 1. and 2. above be subject to the following conditions:
 - (a) that this approval is for the dimensions of the open staircase as indicated on Plan Numbers 794/02 to 04 dated November 2017 which was submitted with the application;
 - (b) that the entrance stairs from Piet Retief Crescent to the dwelling may not be enclosed in any way;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (d) that all the conditions in the Engineering Report and Telkom be complied with;
 - (e) that the approvals do not absolve the applicant from compliance with any other relevant legislation; and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
4. that the application in terms of Section (16)(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1544, Sandbaai to relax the north-western street building line from 4m to 0m to accommodate a new open suspended deck with a swimming pool, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to conditions 3. (c) – (f) above;

**AGENDA of the
Portfolio Committee : Infrastructure & Planning
16 April 2019
(Also the agenda for the Mayoral Committee Meeting : 24 April 2019)**

5. that the application in terms of Section (16)(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Erf 1544, Sandbaai to relax the south-western building line from 2m to 0m to accommodate a new open suspended deck with steps along the relevant lateral boundary, **be refused** in terms of the provisions of Section 61 of the By-Law; and
6. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decisions.



Scale: NTS
 Drawing No: 1544/14/15
 Date: DECEMBER 2017

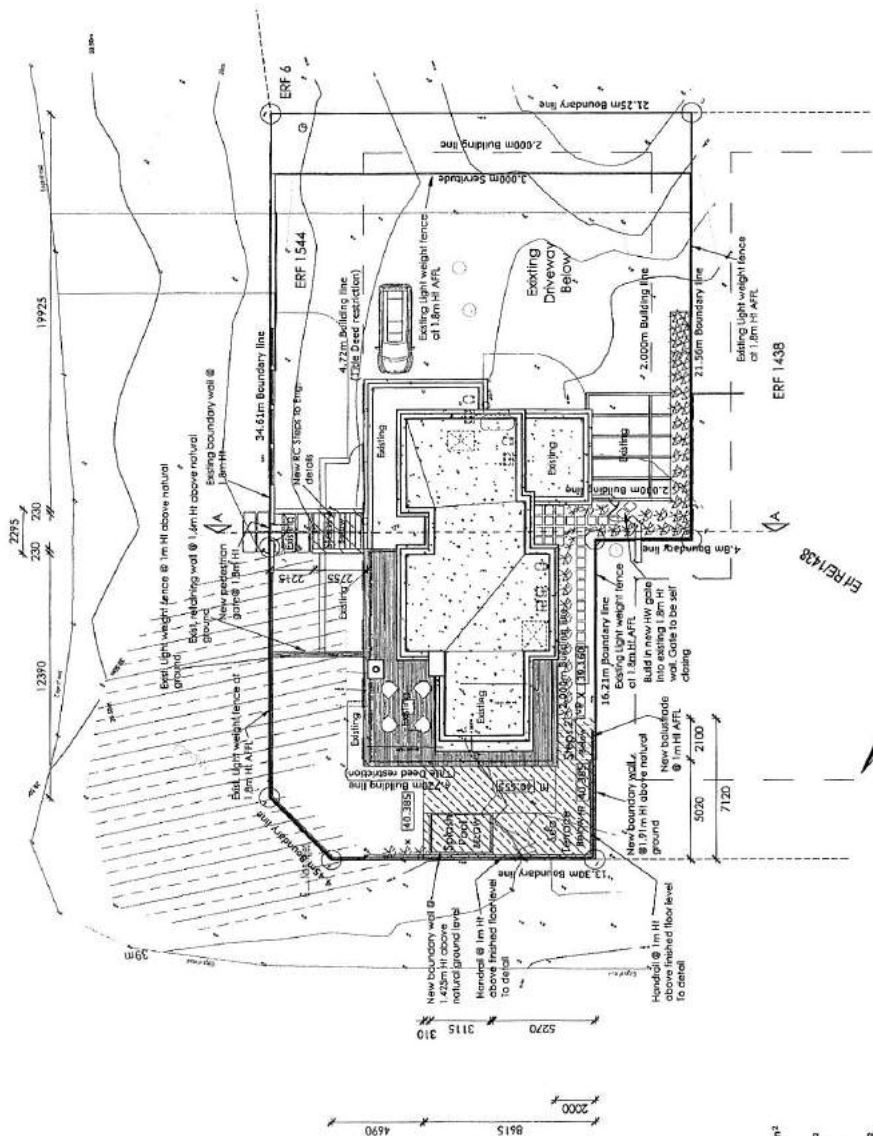
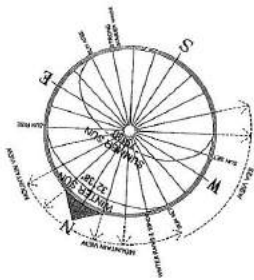
Plan Description:
LOCALITY MAP

Property Description:
ERF 1544
SANDBAAI

All references approximate
 and subject to survey.

Pi'n Stads- en Streeksplanners
 Town & Regional Planners

COPY RIGHT RESERVED



AREAS:
 Existing: 377.3m²
 New External: 39.4m²
 See Terrace
 Steps 1: 5.8m²
 Steps 2: 3.7m²
 Area of Site: 720 m²
 Coverage: 26%

SITE PLAN
 Scale: 1:200

DEPARTURE APPLICATION
 Departure Application

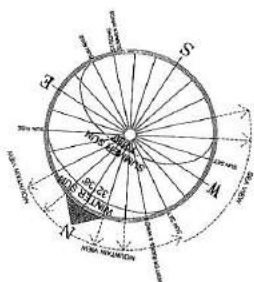
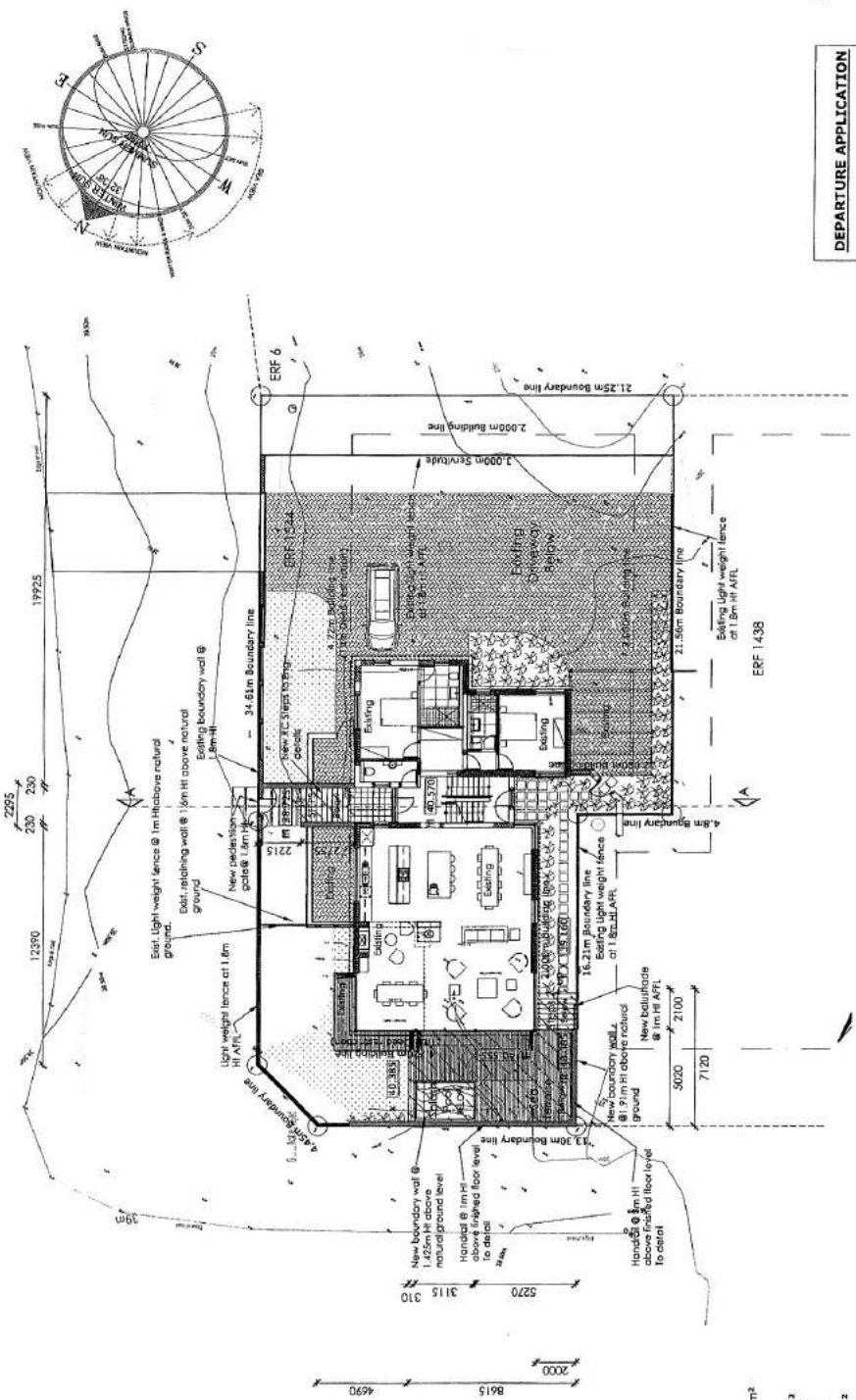
DRAWING:
 DEPARTURE APPLICATION
SITE PLAN
 DWG NO: 794/01
 SCALE: 1 : 200
 DATE: NOVEMBER 2017
 DRAWN: LAS

For Local Council Use

HOUSE PIENAAR
ERF 1544
 No. 152
 KUSWEG
 SANDBAAI
 HERMANUS

Notes:
 1. All works must be approved plans only.
 2. Use figured dimensions only, do not scale off drawings.
 3. Dimensions shown on site include are to all fixed points for construction.
 4. All fixed points for construction are to be shown on the site plan.
 5. Any dimensions are to be as shown on the site plan.
 6. The position of the boundary line is to be as shown on the site plan.
 7. All work to comply with applicable Local Authority requirements.

NICOLETTE LLOYD
 SACAP Reg. no. 571784
 Architectural Designer
 32 Michiel Street
 Hermanus 7200
 Tel: 028 312 3771
 email: nicollette@hermanus.co.za



AREAS:
 Existing: 377.3m²
 New External: 39.4m²
 Site Terrace: 5.8m²
 Steps 1: 3.7m²
 Steps 2:
 Area of Site Coverage: 720 m² 26%
FIRST STOREY
 Scale: 1:200

DEPARTURE APPLICATION
 Departure Application

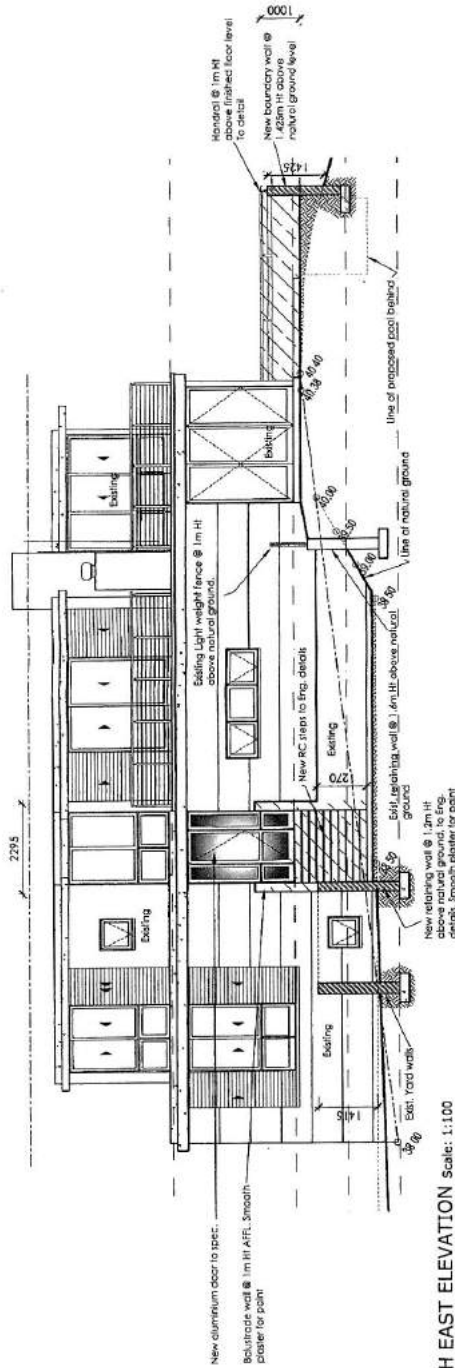
DRAWING:
 DEPARTURE APPLICATION
FIRST STOREY
 DWG NO: 794/02
 SCALE: 1 : 200
 DATE: NOVEMBER 2017
 DRAWN: LAS

For Local Council Use

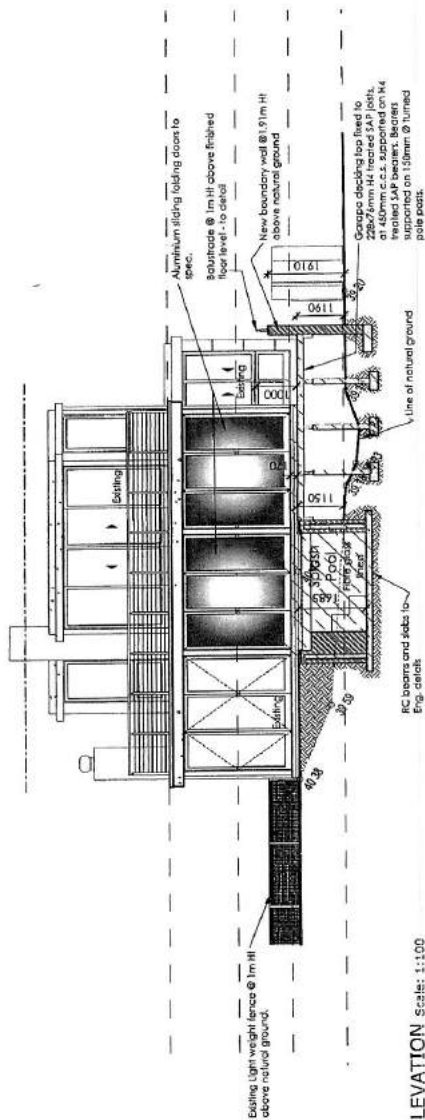
HOUSE PIENAR
ERF 1544
 NO. 152
 KUSWEG
 SANDBAAI
 HERMANUS

Notes
 Set out works from Approved plans only.
 Use figured dimensions only, do not scale off.
 All levels, dimensions, heights and depths are to be verified on site by contractor prior to works commencing. No portion of the plan is to be relied upon for any foundation, structure or building one to provide compliance with NBS and Local Authority requirements.

NICOLETTE LLOYD
 SACAP Reg. no. 311784
 Architectural Designer
 30 Michael Street
 Hermanus 7200
 Tel. 028 312 3771
 email: nloyd@hermanus.co.za



NORTH EAST ELEVATION Scale: 1:100



NORTH WEST ELEVATION Scale: 1:100

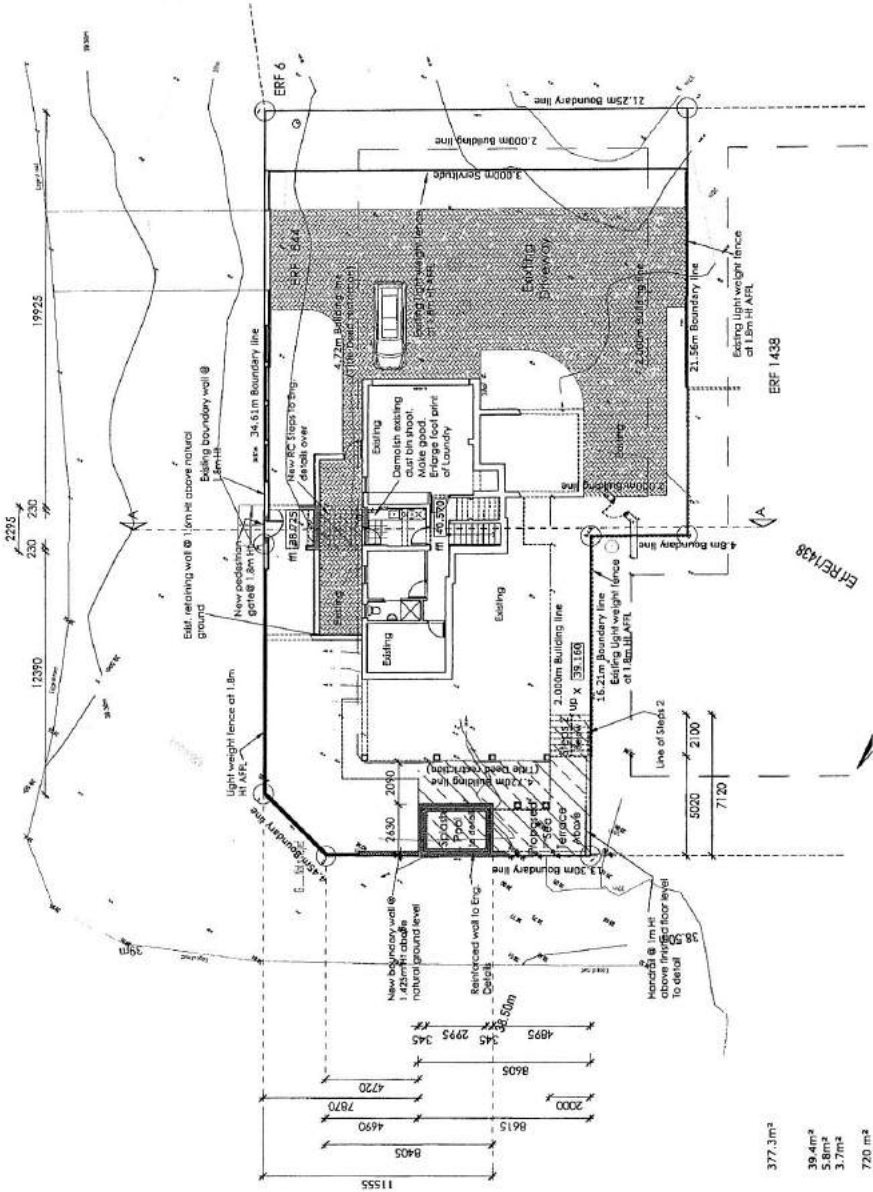
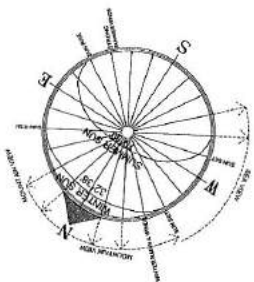
DEPARTURE APPLICATION
Departure Application
DRAWING:
DEPARTURE APPLICATION
North East & North West Elevations
DWG NO: 794/03
SCALE: 1 : 100
DATE: NOVEMBER 2017
DRAWN: LAS

For Local Council Use

HOUSE PIENAAR
ERF 1544
 No. 152
 KUSWEG
 SANDBAAI
 HERMANUS

Please note: Approved plans only. The signed dimensions only, do not scale off drawings. Dimensions, heights and details are to be verified on the site prior to work commencing. Any discrepancies are to be reported immediately. The proposed boundaries, structure or building are to comply over the site boundary line. All work to comply with H&C and Local Authority requirements.

NICOLETTE LLOYD
 SACAP Reg. no. ST1784
 Architectural Designer
 32 Michiel Street
 Hermanus 7200
 Tel: 028 312 3771
 email: nyl@nietmann.co.za



AREAS:

Existing:	377.3m ²
New External:	
Sea Terrace	39.4m ²
Steps 1	5.8m ²
Steps 2	3.7m ²
Area of Site Coverage	700 m ² 25%

GROUND STOREY
Scale: 1:200

DEPARTURE APPLICATION
Departure Application

DRAWING:
Ground DEPARTURE APPLICATION
FIRST STOREY
DWG NO: 794/05
SCALE: 1 : 200
DATE: NOVEMBER 2017
DRAWN: LAS

For Local Council Use

HOUSE PIENAAR
ERF 1544
No. 152
KUSWEG
SANDBAAL
HERMANUS

Notes:
1. All wall heights from Approved plans only.
2. Dimensions are in meters unless otherwise stated.
3. All levels, dimensions, heights and depths are to finished ground level unless otherwise stated.
4. All dimensions are to be taken from the center line of the structure unless otherwise stated.
5. All work to comply with NBR and Local Authority requirements.


NICOLETTE LLOYD
SACAP Reg. no. 311784
Architectural Designer
31 Mitchell Street
Hermanus 7200
Tel. 028 312 3771
email: loydl@hermanus.co.za

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL: ERF 1544, SANDBAAI (3884)**

Electricity : In order
Water : In order
Sewer : In order
Stormwater : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
3. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
4. that stormwater be allowed to discharge through Erf 1544, Sandbaai, unobstructed;
5. that no on-street parking be allowed.



**DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES**

25/4/2018
DATE