



**ORDINARY MEETING OF THE MAYORAL
COMMITTEE**

**GEWONE VERGADERING VAN DIE
BURGEMEESTERSKOMITEE**

**INTLANGANISO YESIQHELO YEKOMITI
KASODOLOPHU**

A G E N D A

I-AJENDA

DATE / DATUM / UMHLA : 29 JULY / JULIE / JULAYI 2020
VENUE / PLEK / INDAWO : VIRTUAL
TIME / TYD / IXESHA : 10:00

MUNICIPALITY / MUNISIPALITEIT / UMASIPALA WE-OVERSTRAND

Office of the Municipal
Manager
Municipal Offices
HERMANUS

24 July 2020

NOTICE TO ALL ALDERMEN AND COUNCILLORS

NOTICE IS HEREBY GIVEN that, due to the Covid-19 lockdown, an **ORDINARY MEETING** of the **MAYORAL COMMITTEE** will be held by means of a virtual platform on **WEDNESDAY, 29 JULY 2020 at 10:00** of which the agenda will be available on the Overstrand Website (www.overstrand.gov.za).

**C GROENEWALD
MUNICIPAL MANAGER**

24 Julie 2020

KENNISGEWING AAN ALLE RAADSHERE EN RAADSLEDE

KENNIS WORD HIERMEE GEGEE dat, weens die Covid-19 inperking, 'n **GEWONE VERGADERING** van die **BURGEMEESTERSKOMITEE** gehou sal word by wyse van 'n virtuele platform op **WOENSDAG, 29 JULIE 2020 om 10:00** welke agenda op die Overstrand Webtuiste beskikbaar sal wees (www.overstrand.gov.za).

**C GROENEWALD
MUNISIPALE BESTUURDER**

24 Julayi 2020

ISAZISO ESIYA KUBO BONKE OOCEBAKHULU NOOCEBA

INTLANGANISO YESIQHELO YEKOMITI KASODOLOPHU WE-OVERSTRAND

OKU KUKWAZISA ukuba, ngenxa yokuvalwa okubangelwe yintsolongwane i-Covid-19, intlanganiso **YESIQHELO yeKOMITI KASODOLOPHU**, izakubanjwa ngeqonga elibonakalisayo **NGOLWESITHATHU UMHLA, 29 JULAYI 2020 ngeye-10:00** Apho i-ajenda iya kufumaneka kwiwebhusayithi ye-Overstrand.

**C GROENEWALD
UMPHATHI KAMASIPALA**

AGENDA/...

ORDINARY MAYORAL COMMITTEE MEETING

29 July 2020

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1. OPENING

2. APPLICATIONS FOR LEAVE OF ABSENCE

3. CONFIRMATION OF MINUTES

3.1 Minutes of an **Ordinary Meeting** of the **Mayoral Committee** held on **Wednesday, 24 June 2020 at 10:00**

4. STATEMENTS AND COMMUNICATIONS BROUGHT FORWARD BY THE EXECUTIVE MAYOR / DEPUTY EXECUTIVE MAYOR

**5.
TOWN- & SPATIAL PLANNING REPORT WITH REGARD TO APPLICATIONS
CONSIDERED IN TERMS OF DELEGATED AUTHORITY: FEBRUARY 2020 –
MARCH 2020**

15/3/11

R Kuchar

Senior Manager : Town & Spatial Planning

17 June 2020

(028) 3138900

1. Executive Summary

To report on applications disposed of by the Authorised Official in terms of the Spatial Land Use Management Act (SPLUMA) during the period from 14 February 2020 – 26 March 2020.

2. Service Delivery and Budget Implementation Plan - IGNITE

Infrastructure and Planning
Town- and Spatial Planning

3. Compliance with Strategic Priority

Promotion of tourism, economic and social development

4. Delegated Authority

Executive Mayor

5. Legal Requirements

Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985)

6. Background/Discussion/Evaluation/Conclusion

Background

This item serves to inform Council of matters that were disposed of by the Authorised Official in terms of SPLUMA and the Municipal Planning Tribunal.

7. Financial Implications

None

8. Staff Implications

None

9. Comments from other Departments, Divisions and Administrations

None

10. Annexures

To view, annexures are available at the office of the Senior Manager : Town- and Spatial Planning.

RECOMMENDATION :

that cognisance be taken of the town planning applications disposed of by the Authorised Official in terms of SPLUMA for the period 14 February 2020 – 26 March 2020:

Spatial Land Use Management Act (SPLUMA) Approvals

1.	Erf 970, 9 Moffat Street, Eastcliff, Hermanus	18 February 2020
2.	Erf 4712, 27 Main Road, Northcliff, Hermanus	24 February 2020
3.	Erf 796, 18 Susan Road, Pringle Bay	24 February 2020
4.	Erf 414, 27 Main Road, Sandbaai	24 February 2020
5.	Portion 18 (a portion of Portion 6) of the farm Paapjes Valey No 679	2 March 2020
6.	Remainder Erf 528, Westcliff, Hermanus	3 March 2020
7.	Erf 1244, Beach Club, Zwelihle	4 March 2020
8.	Erf 40, 22 van Bloemenstein Street, Birkenhead	6 March 2020
9.	Remainder of farm Landmeters Kop No 681 and Portion 26 (a portion of Portion 23) of the farm Paapjes Valey 679	6 March 2020
10.	Erf 3821, 95 Viljoen Street, Onrustrivier	9 March 2020
11.	Erf 761, 16 Hope Street, Northcliff, Hermanus	9 March 2020
12.	Erf 9287, Nkwenkwezi Street, Zwelihle	9 March 2020
13.	Erf 5537, 107 First Avenue, Kleinmond	9 March 2020
14.	Erf 6189, 1 Fourteenth Street, Kleinmond	9 March 2020
15.	Erf 6437, 88 Dahlia Street, Mount Pleasant, Hermanus	9 March 2020
16.	Erf 4429, 52 Second Avenue, Kleinmond	9 March 2020
17.	Erf 4065, 301 Tenth Street, Voëlklip, Hermanus	12 March 2020
18.	Remainder of the farm Bosch Heuvel No 819 and Portion 1 of farm Bosch Heuvel No 819	12 March 2020
19.	Erf 2848, 24 Erica Street, Onrustrivier	12 March 2020
20.	Erf 3759, 168 Second Avenue, Kleinmond	13 March 2020
21.	Erf 3933, 127 Second Avenue, Kleinmond	13 March 2020
22.	Erf 8250, 49 Aloe Street, Kleinmond	13 March 2020
23.	Erf 1035, 21 McFarlaine Street, Eastcliff, Hermanus	23 March 2020
24.	Erven 239 and 241, cnr de Goede Street and Rocklands Road, Westcliff, Hermanus	23 March 2020
25.	Erf 3607, 62 Dempers Street, Onrustrivier	25 March 2020

- | | | |
|-----|--|---------------|
| 26. | Erf 2861, Whale Coast Village Mall, Bergsig Street, Sandbaai (Carwash) | 25 March 2020 |
| 27. | Erf 7653, 43 Sixth Avenue, Kleinmond | 25 March 2020 |
| 28. | Erf 5320, 6 Aberdeen Street, Northcliff, Hermanus | 25 March 2020 |
| 29. | Erf 4094, 110 Second Avenue, Kleinmond | 25 March 2020 |
| 30. | Portion 1 of Farm 723 Caledon | 26 March 2020 |

Municipal Planning Tribunal

- | | | |
|----|---|------------------|
| 1. | Erf 2861, Whale Coast Mall, Bergsig Street, Sandbaai | 27 February 2020 |
| 2. | Erf 709, 13 Front Street, De Kelders | 26 March 2020 |
| 3. | Erf 335, 31 Rocklands Road, Westcliff, Hermanus | 26 March 2020 |
| 4. | Erven 1405 and 1406, 18 Branderdraai Street, Sandbaai | 26 March 2020 |
| 5. | Erf 3725, Main Road, Onrustrivier | 26 March 2020 |
| 6. | Remainder Erf 254, Schulphoek Boulevard, Sandbaai, Hermanus (Recycling Plant) | 26 March 2020 |

RESPONSIBLE OFFICIAL :

R VAN ANTWERP

TARGET DATE FOR IMPLEMENTATION :

12 AUGUST 2020

Spatial Land Use Management Act (SPLUMA) Approvals

1. **ERF 970, 9 MOFFAT STREET, EASTCLIFF, HERMANUS: APPLICATION FOR DEPARTURE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF MM SCHULTHEISS**

970 HEC (3451/2019)

P Roux

(028) 313 8900

Hermanus Administration

24 January 2020

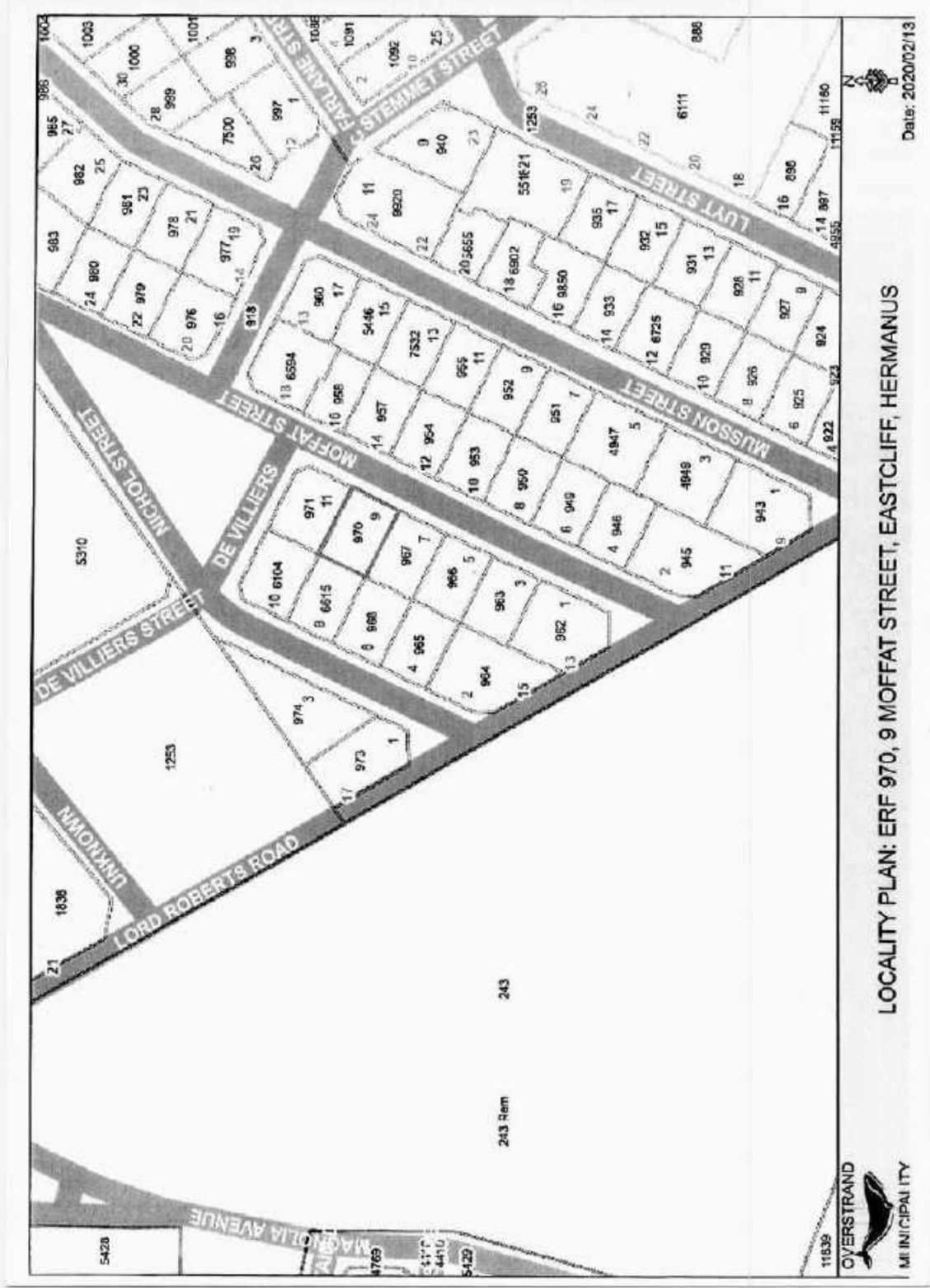
Executive Summary

An application was received on 25 October 2019 from Messrs PlanActive Town- and Regional Planners on behalf of MM Schultheiss for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-law) applicable to Erf 970, Hermanus for the relaxation of the northern lateral building line from 2m to 1,705m and the western rear building line from 2m to 1,575m to accommodate a pergola.

RESOLVED:

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 970, Eastcliff, Hermanus for the relaxation of the northern lateral building line from 2m to 1,705m and the western rear building line from 2m to 1,575m to accommodate a pergola, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval only relates to the proposed Site Development Plan, Drawing no. 830/00-03 as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that all the conditions in the Services Report, be complied with;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.”



LOCALITY PLAN: ERF 970, 9 MOFFAT STREET, EASTCLIFF, HERMANUS

Date: 2020/02/13



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SCALE	1:500
DATE	2014/01/08
PROJECT NO.	2014/01/08
CLIENT	...
DESIGNER	...
DATE	...

NOTES:
 1. All work shall be in accordance with the relevant standards and specifications.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals.
 3. The contractor shall ensure that the work is completed within the agreed time frame.

HOUSE SCHULTZEISE	
ERF 970	
IN MOFAT TOWN, EASTERN NEIGHBOURHOOD	
DATE	
NO.	
DATE	
NO.	
DATE	

DRAWING:
SITE PLAN
DWG NO: 2014/01/08
DATE: 2014/01/08
SCALE: 1:500
PROJECT NO: 2014/01/08

ENERGY EFFICIENCY:

ROOF INSULATION - 150mm THICK BOTHERN TO ACHIEVE A U-VALUE OF 0.17
 WINDOW INSULATION - ENERGY EFFICIENT GLAZING AND DOUBLE GLAZING
 PENETRATION AREA LESS THAN 10% OF FLOOR AREA

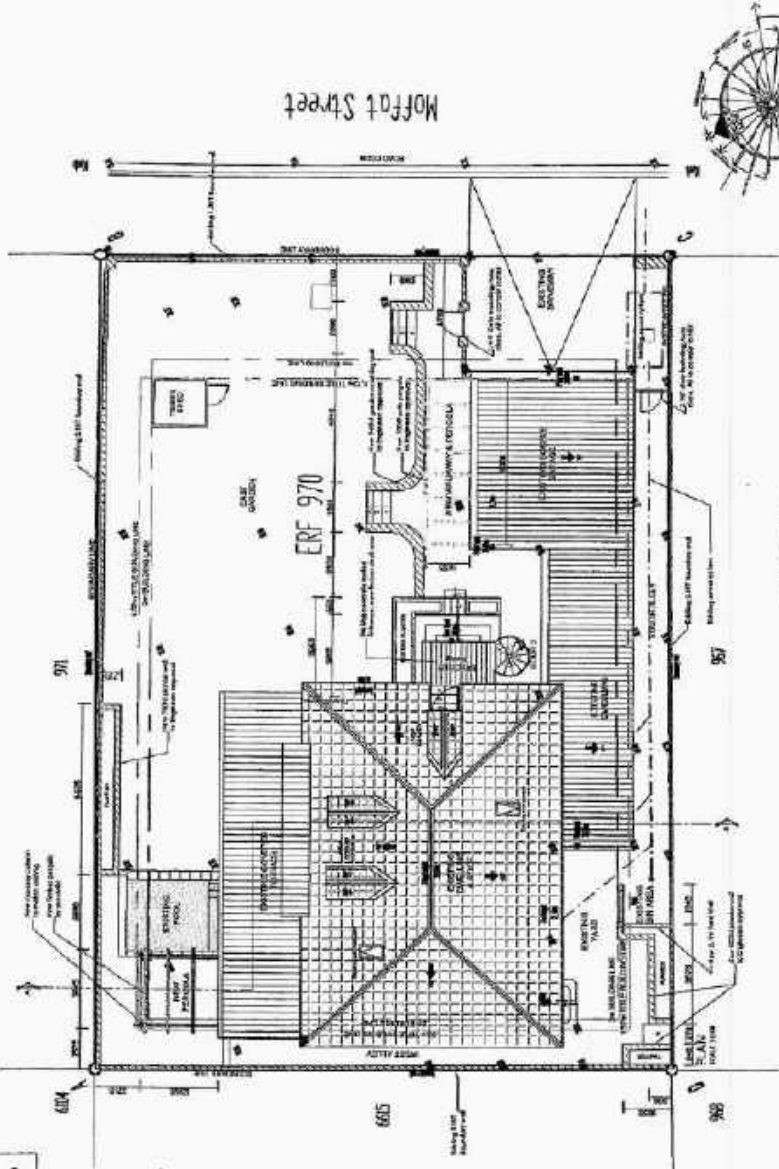
WALLS EXISTING - 200mm

AREAS:

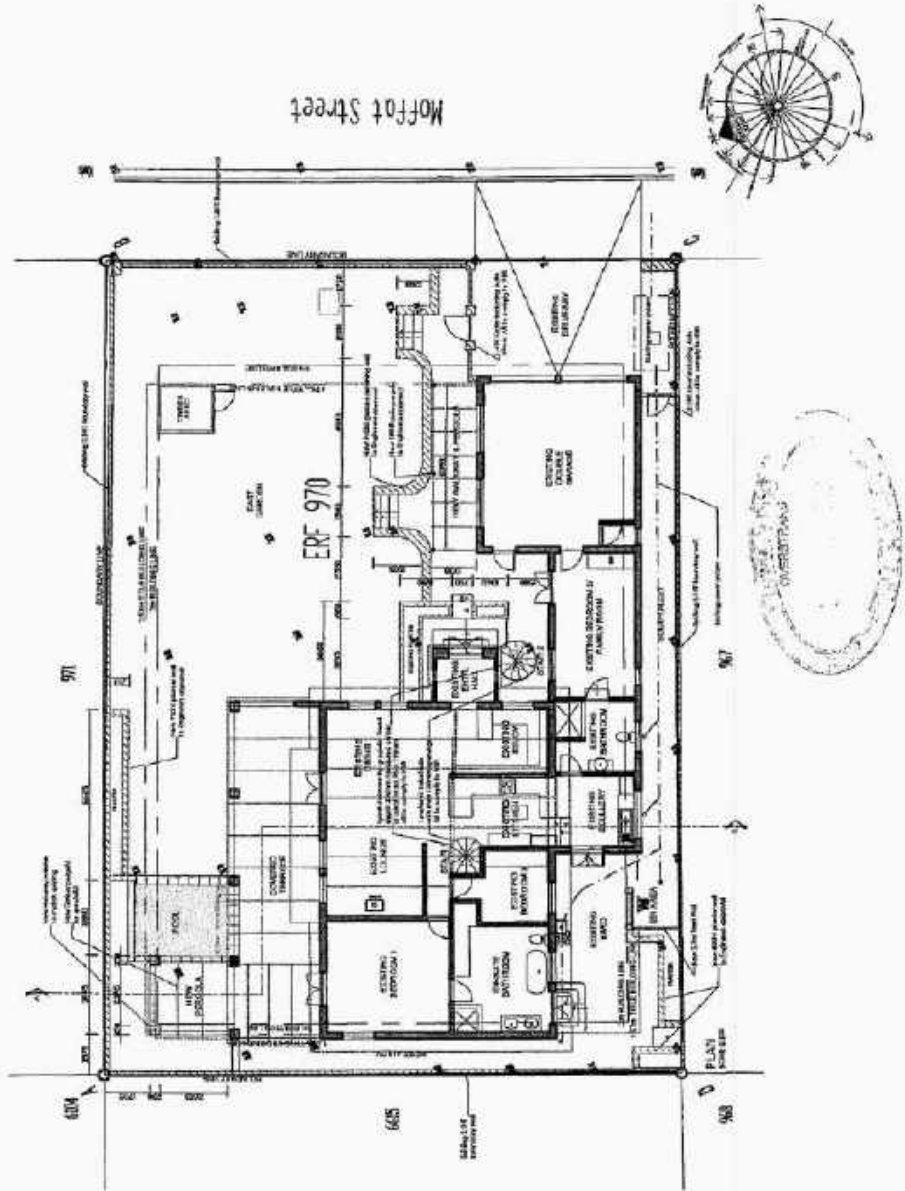
Ground Floor	252.400
1st Floor	4.700
2nd Floor	378.000
TOTAL	635.100

AREA OF SITE: 1000.000
 COVERED: 635.100

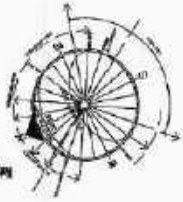
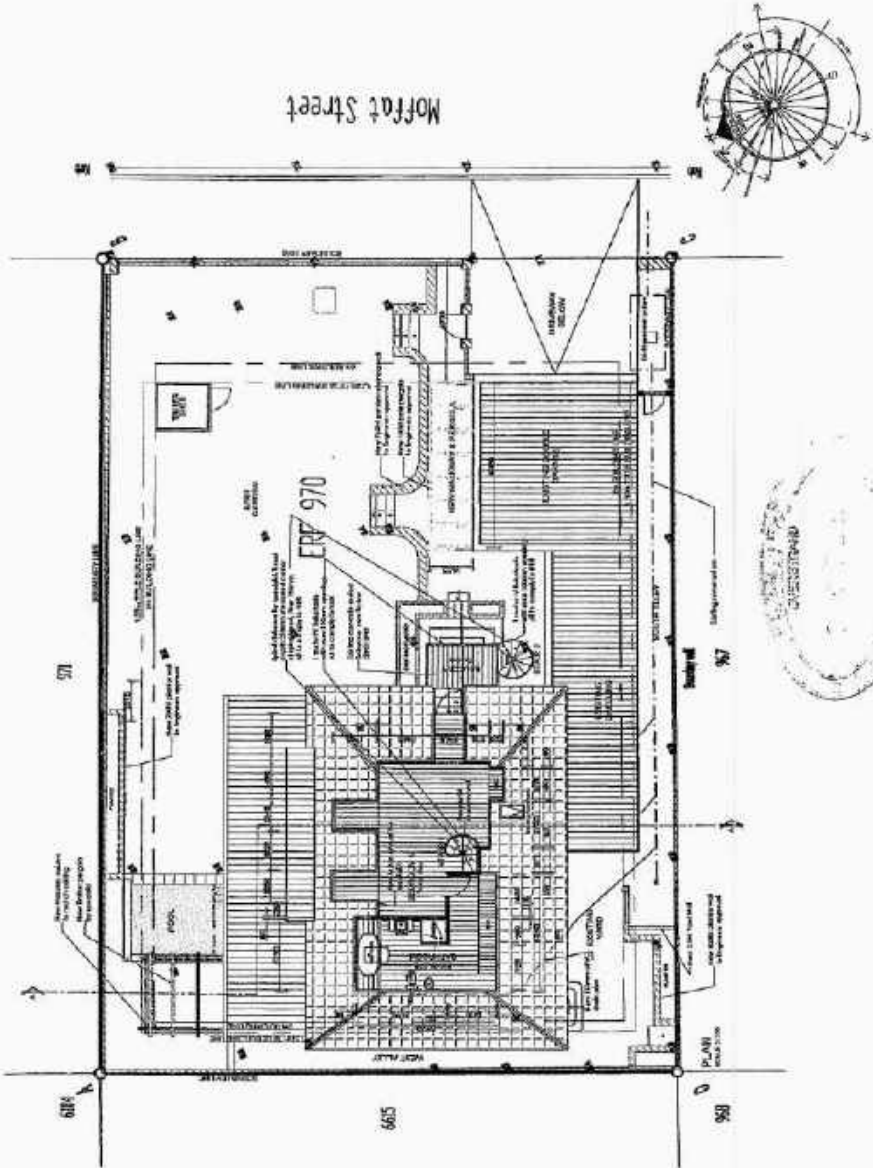
NOTES:
 1. All work shall be in accordance with the relevant standards and specifications.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals.
 3. The contractor shall ensure that the work is completed within the agreed time frame.



ARCHITECT: HOFFMANN & PARTNER ARCHITECTS LLP 1000 AVENUE OF THE STARS SUITE 1000 FALLS CHURCH, VA 22044 TEL: 703.441.1100 FAX: 703.441.1101 WWW.HOFFMANN-PA.COM	NOTES: 1. SEE ALL NOTES TO THIS DRAWING. 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL CODES. 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL CODES.	HOUSE SCHULTHEISS ERF 970 38 NICHOLAS DRIVE SAUTTERVILLE, MISSOURI, U.S.A.	NO. 1 DATE:
DRAWING: HOUSE SCHULTHEISS GROUND FLOOR PLAN			DWG NO.: E30/01 SCALE: AS SHOWN DATE: 01/20/2011 SHEET #



SOCIÉTÉ LYONNAISE ARCHITECTES 10, rue de la République 69001 LYON TEL: 04 78 27 12 12 FAX: 04 78 27 12 13 Email: info@sl-architectes.com	NOTES: 1. Les travaux de construction doivent être effectués conformément aux plans et aux spécifications de la notice. 2. Les matériaux et les finitions doivent être de qualité supérieure. 3. Les travaux doivent être effectués dans les délais et dans le respect de l'environnement.	MAISON SCHLITHEISS ERF 970 57 MOFAT STREET SAUTOUR, LYONNAISE	NO. 1 NO. 2 NO. 3 NO. 4 NO. 5 NO. 6 NO. 7 NO. 8 NO. 9 NO. 10 NO. 11 NO. 12 NO. 13 NO. 14 NO. 15 NO. 16 NO. 17 NO. 18 NO. 19 NO. 20 NO. 21 NO. 22 NO. 23 NO. 24 NO. 25 NO. 26 NO. 27 NO. 28 NO. 29 NO. 30 NO. 31 NO. 32 NO. 33 NO. 34 NO. 35 NO. 36 NO. 37 NO. 38 NO. 39 NO. 40 NO. 41 NO. 42 NO. 43 NO. 44 NO. 45 NO. 46 NO. 47 NO. 48 NO. 49 NO. 50 NO. 51 NO. 52 NO. 53 NO. 54 NO. 55 NO. 56 NO. 57 NO. 58 NO. 59 NO. 60 NO. 61 NO. 62 NO. 63 NO. 64 NO. 65 NO. 66 NO. 67 NO. 68 NO. 69 NO. 70 NO. 71 NO. 72 NO. 73 NO. 74 NO. 75 NO. 76 NO. 77 NO. 78 NO. 79 NO. 80 NO. 81 NO. 82 NO. 83 NO. 84 NO. 85 NO. 86 NO. 87 NO. 88 NO. 89 NO. 90 NO. 91 NO. 92 NO. 93 NO. 94 NO. 95 NO. 96 NO. 97 NO. 98 NO. 99 NO. 100	DRAWING: SUBMISSION FIRST FLOOR PLAN DWG NO: 830/02 DRAWING DATE: DATE: 10/20/2014 DRAWN BY:
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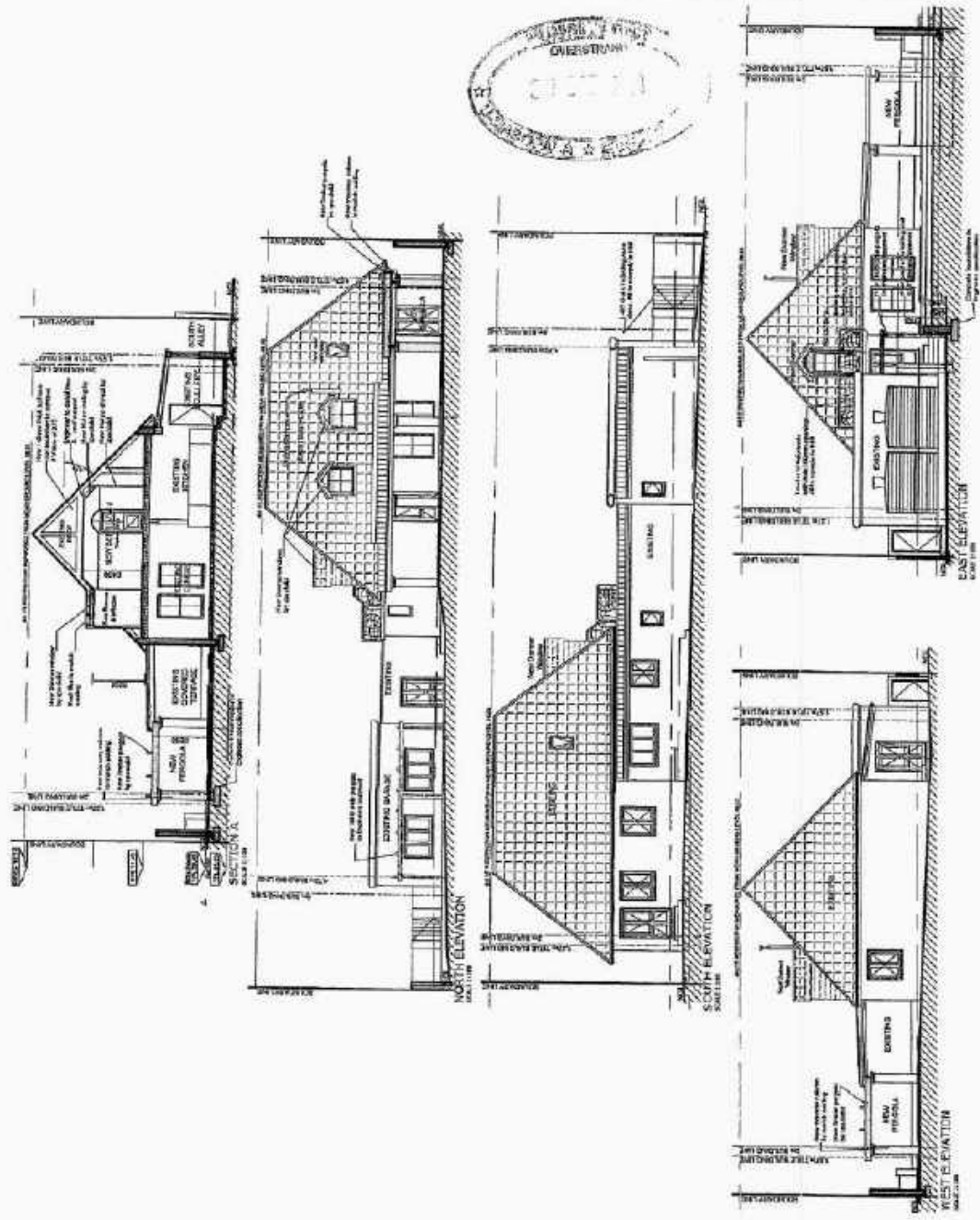


NOTICE:
 ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT PERMITS AND REGULATIONS.
 ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT PERMITS AND REGULATIONS.
 ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT PERMITS AND REGULATIONS.

HOUSE SCHULTHEISS
ERF 970
 ON MORNING LIDGE,
 ERECTED, REMOVABLE

DRAWING
SECTION A
& ELEVATIONS

DWG NO. 830/03
 SCALE 1/8" = 1'-0"
 DATE 10/10/03



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 970, EASTCLIFF (3451/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 970, Eastcliff, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

2. ERF 4712, 27 MAIN ROAD, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED REMOVAL OF RESTRICTIVE CONDITIONS AND DEPARTURE: MESSRS WRAP ON BEHALF OF V & A DI GIANNATALE

4712 HNC (2767)

H van der Stoep

(028) 313 8900

Hermanus Administration

19 December 2019

Executive Summary

Applications have been received on 29 January 2019 from Messrs WRAP on behalf of V & A DI Giannatale on Erf 4712, Hermanus for the following:

- ❖ Amendment and Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with reference: Title Deed T44461/2018, Clause C.(2).1, C.(2).2 and restrictive title conditions read as follows:
 - C.(2).1: *That the erf be used for residential purposes only.*
 - C.(2).2: *That only one dwelling, together with such outbuildings as are ordinarily required to be used therewith, be erected on this erf.*
- ❖ the removal of restrictive conditions Clause C.(2).3 and C.(2).4 applicable to Erf 4712, Hermanus and restrictive title conditions read as follows:
 - C.(2).3: *That no more than half of the area of this erf be built upon.*
 - C.(2).4: *That no building or structure or any portion thereof, except boundary walls and fences shall be erected nearer than 4,72 meters to the street line which forms the boundary of this erf. No such building or structure shall be situated within the 2,37 meters of the lateral boundary common to any adjoining erf.*
- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2016 to relax the western lateral building line from 2m to 0m to accommodate the existing approved outbuilding to be used as storage.

RESOLVED :

1. that the following applications received on 29 January 2019 from Messrs WRAP on behalf of V & A DI Giannatale on Erf 4712, Hermanus for the following:
 - ❖ Amendment and Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with reference Title Deed T44461/2018, Clause C.(2).1, C.(2).2 and

The amendment of Restrictive Title Conditions C.(2).1 and C.(2).2 to read as follows:

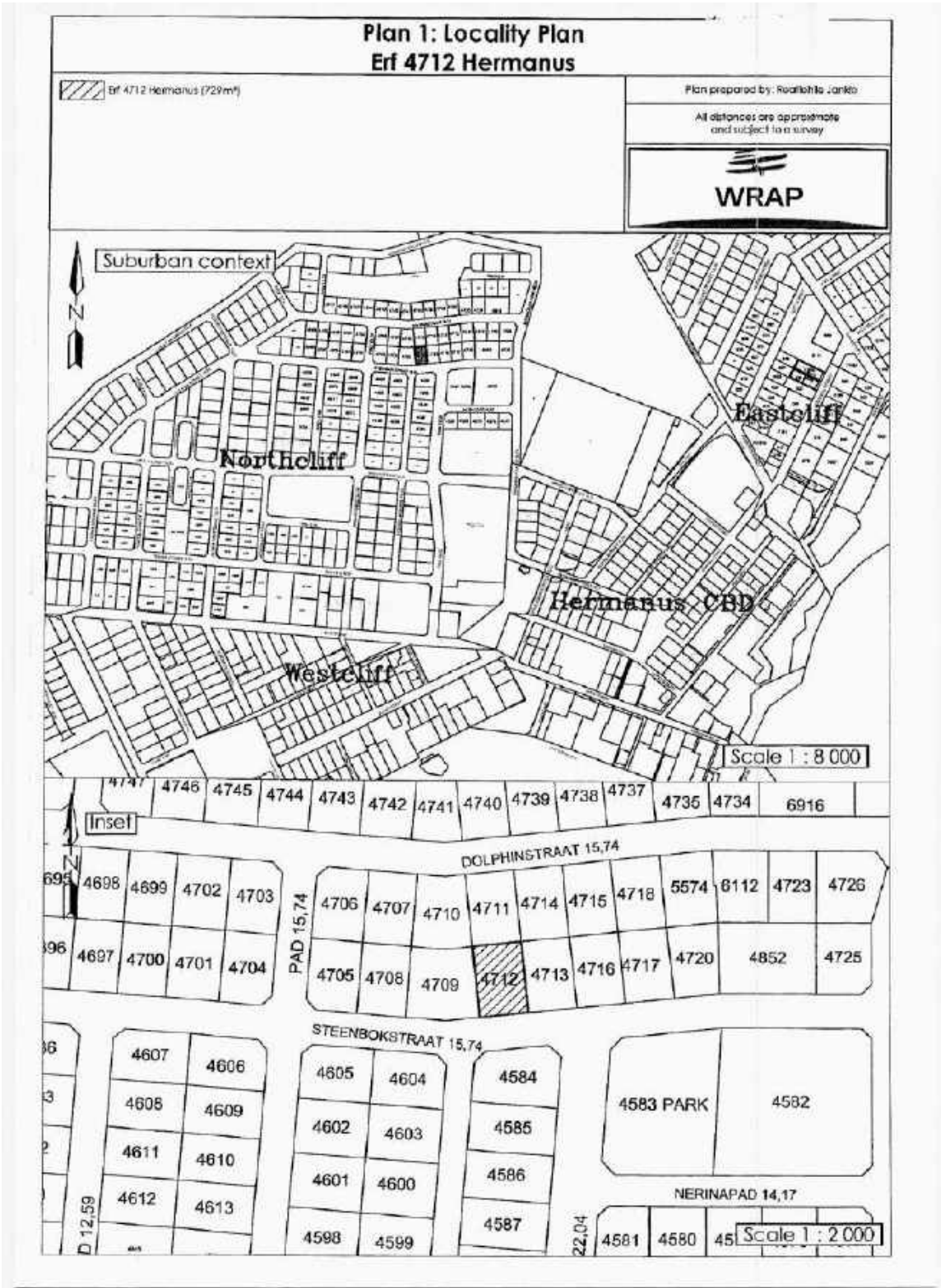
C.(2).1: *“That this erf be used primarily for residential purposes and other primary uses be subservient to the residential use.”*

C.(2).2: *“That dwellings together with such outbuildings as are ordinarily required to be used therewith, be erected on this erf with the approval of the Local Authority.”*

- ❖ The removal of restrictive conditions Clause C.(2).3 and C.(2).4 applicable to Erf 4712, Hermanus, and
- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the western lateral building line from 2m to 0m to accommodate the existing approved outbuilding to be used as storage,

be approved in terms of the provisions of Section 61 of the By-Law in terms of the following conditions:

- (a) that this approval is only for the departure of the street building line indicated on Plan Number 3 submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that all the conditions in the Services Report, be complied with, and
 - (f) that the home occupation is as per approval and not transferable should the property change ownership.
2. that the applicants and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Plan 3: SDP of Erf 4712 Hermanus

Home occupation 65,1m² = 21,40% of the total building footprint
303m² Total building footprint

Plan prepared by: Ren Schille Jankie
All distances are approximate and subject to a survey



Scale 1 : 250

NORTH ELEVATION SCALE 1:100

SOUTH ELEVATION SCALE 1:100

SOUTH ELEVATION SCALE 1:100

EAST ELEVATION SCALE 1:100

SOUTH ELEVATION SCALE 1:100

EAST ELEVATION SCALE 1:100

EAST ELEVATION SCALE 1:100

OWNER'S SIGNATURE

PROPOSED ADDITION TO EXISTING RESIDENCE FOR MRS. E. WORSTER ON STAND 4-712 HERMANUS

Richard Borella Architectural
 Design and Drafting
 Tel: 025 216 3355
 Fax: 083 899 6174
 1075, Ouba
 7700

REGISTERED ARCHITECT
 No. 1836
 16/3/2006
 18/3/2006
 19/3/2006
 20/3/2006
 21/3/2006
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OUT BUILDING PLAN SCALE 1:100

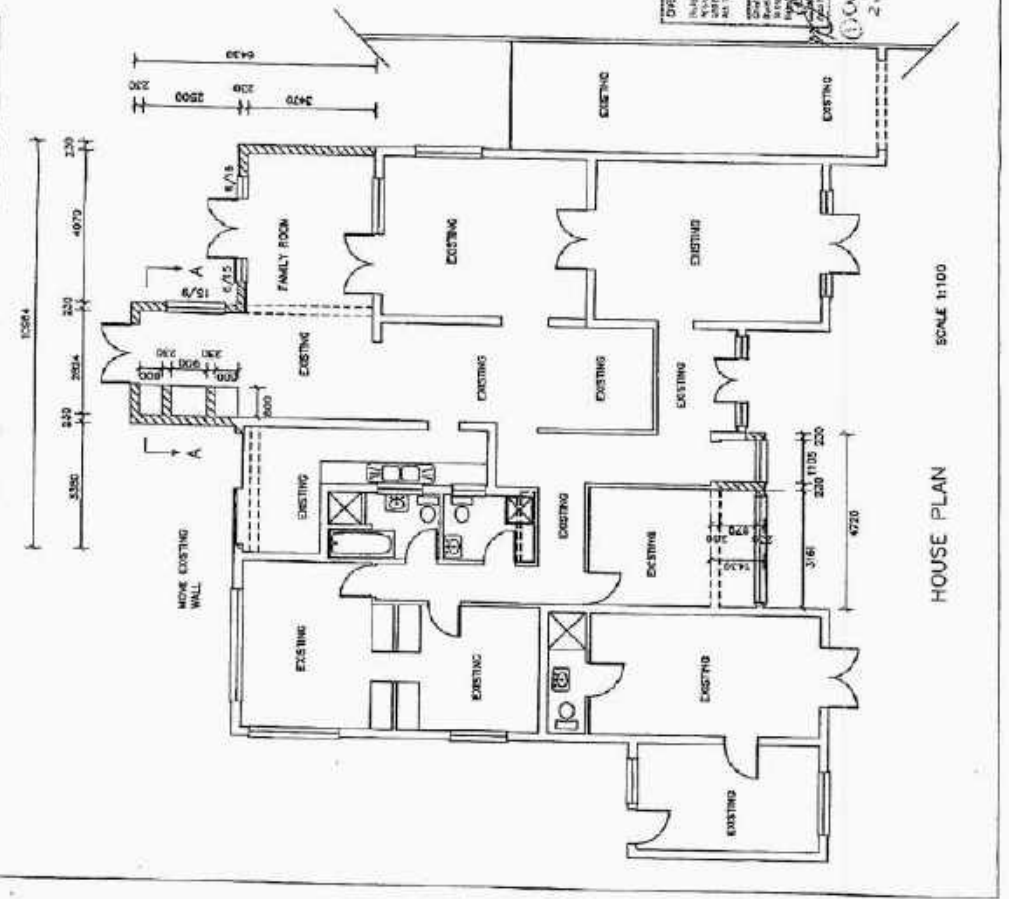
OWNER'S SIGNATURE _____

PROPOSED ADDITION TO
EXISTING RESIDENCE FOR
MRS. E. VORSTER ON
STAND 4712
HERMANUS

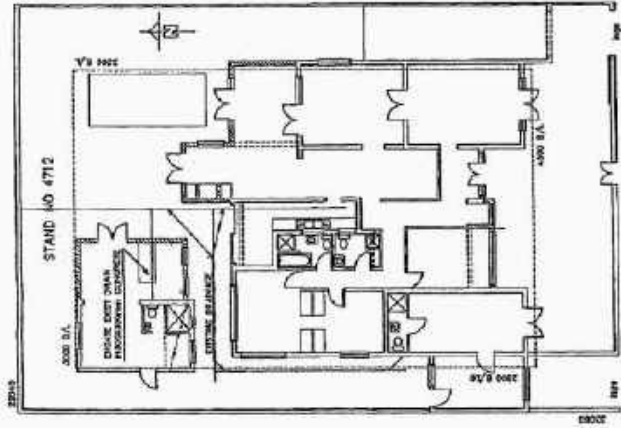
Richard Borelio
Architectural
Richard Borelio
2400 10th Street
Calicut, P.O. Box 1274
P.O. Box 1272
12000

OVERSIGHT BY ARCHITECT
I have examined the drawings and find them to comply with the requirements of the Building Act, 1930, and the regulations thereunder, and I hereby certify that they are correct in accordance with the approved plans.
Richard Borelio
Architect
2400 10th Street
Calicut, P.O. Box 1274
P.O. Box 1272
12000

Construction not to be undertaken until checked by architect



HOUSE PLAN SCALE 1:100



- NOTES**
1. FOUNDATIONS: ALL ON EXISTING FOUNDATIONS AS FOLLOWS: EXISTING WALLS 12" THICK 2000 S.W. ALL NEW FOUNDATIONS TO BE FORMED ON VIBRUM WEL MATERIAL.
 2. WALLS: EXTERIOR WALLS TO BE BUILT IN CLAY BLOCKS OR INTERIOR WALLS TO BE BUILT IN CLAY BLOCK BRICKS PERISHES FLASHED AND PAINTED.
 3. FLOORS: ALL FLOORS TO BE 100mm BRICK 150mm CONCRETE ON 150mm SAND FILL OR MEASURE ON COMPACTED FILL FINISHES TO BE READY FOR OWNER'S CHOICE OF FINISHES.
 4. ROOF: TO MATCH EXISTING.
 5. CEILING: ALL INTERIOR BEARD PAINTED.
 6. DOORS: EXTERIOR DOORS TO BE BELLON OAKS AND HAVE CONSPICUOUS FINISHES TO BE PAINTED.
 7. WINDOWS: ALL TO BE IN METAL SIZES AS SHOWN ON PLAN.
 8. ELECTRICAL: ALL ELECTRICAL LIGHT AND TELEPHONE POSITIONS TO BE MARKED.
 9. PLUMBING: ALL PLUMBING TO CORRELATE WITH S.A.S. 000.
 10. COVERAGE: AREA EXISTING 2200sqm
AREA TO BE ADDED 1100sqm
AREA FINISHED OFF BUILDING ADDITION 1500sqm
TOTAL AREA 4800sqm
TOTAL COVERED 4800sqm
TOTAL UNCOVERED 4800sqm
 11. LEVELS AND DIMENSIONS: THE CONTRACTOR IS TO CHECK AND VERIFY ALL LEVELS AND DIMENSIONS AT THE TIME OF SETTING OUT OF THE BUILDING.

OWNER'S SIGNATURE

PROPOSED ADDITION TO EXISTING RESIDENCE FOR MRS E VORSTER ON STAND 4712 HERMANUS

Richard Borello
Architectural
Design and Drafting
Tel: 021 950 2624
Fax: 021 950 0174
P.O. Box 1172
Hermanus
7200

STEENBOCK STREET
SITE PLAN

1:1000

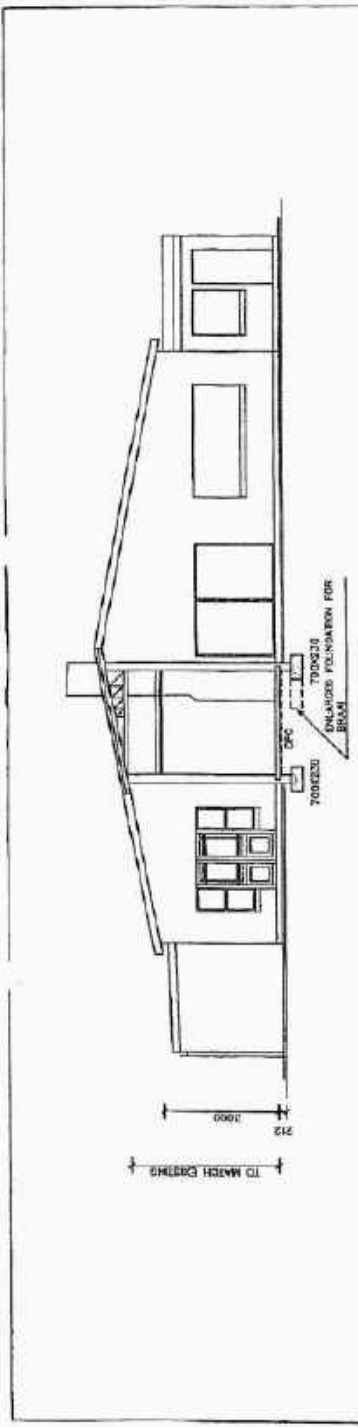
DATE: 11.5.74

BY: [Signature]

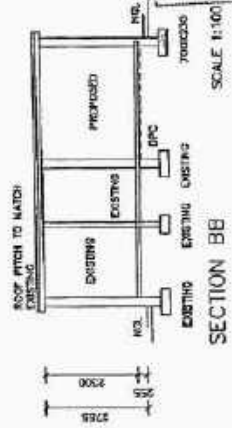
FOR: [Signature]

1:1000

1:1000



SECTION AA SCALE 1:100



SECTION BB SCALE 1:100

OYSTERBAY CONSULTANTS
 85 Spring St. 11th Fl. New York, N.Y. 10012
 Tel: 212 333 3333 Fax: 212 333 3333
 1.5.10/106
 [Handwritten notes and signatures]

OWNER'S SIGNATURE
 PROPOSED ADDITION TO
 EXISTING RESIDENCE FOR
 MRS E VORSTER ON
 STAND 4772
 HERMANUS

Richard Borelio
 Architects
 Design and Drafting
 Tel: 028 316 3058
 Cell: 083 450 8174
 Hermanus 6712
 7200



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & REMOVAL: ERF 4712, NORTHCLIFF
(2767/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 4712, Northcliff, unobstructed;
6. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

3. ERF 796, 18 SUSAN ROAD, PRINGLE BAY, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: GJW & SH BROWN

796 KPRB (2954)

H van der Stoep

23 December 2019

(028) 313 8900

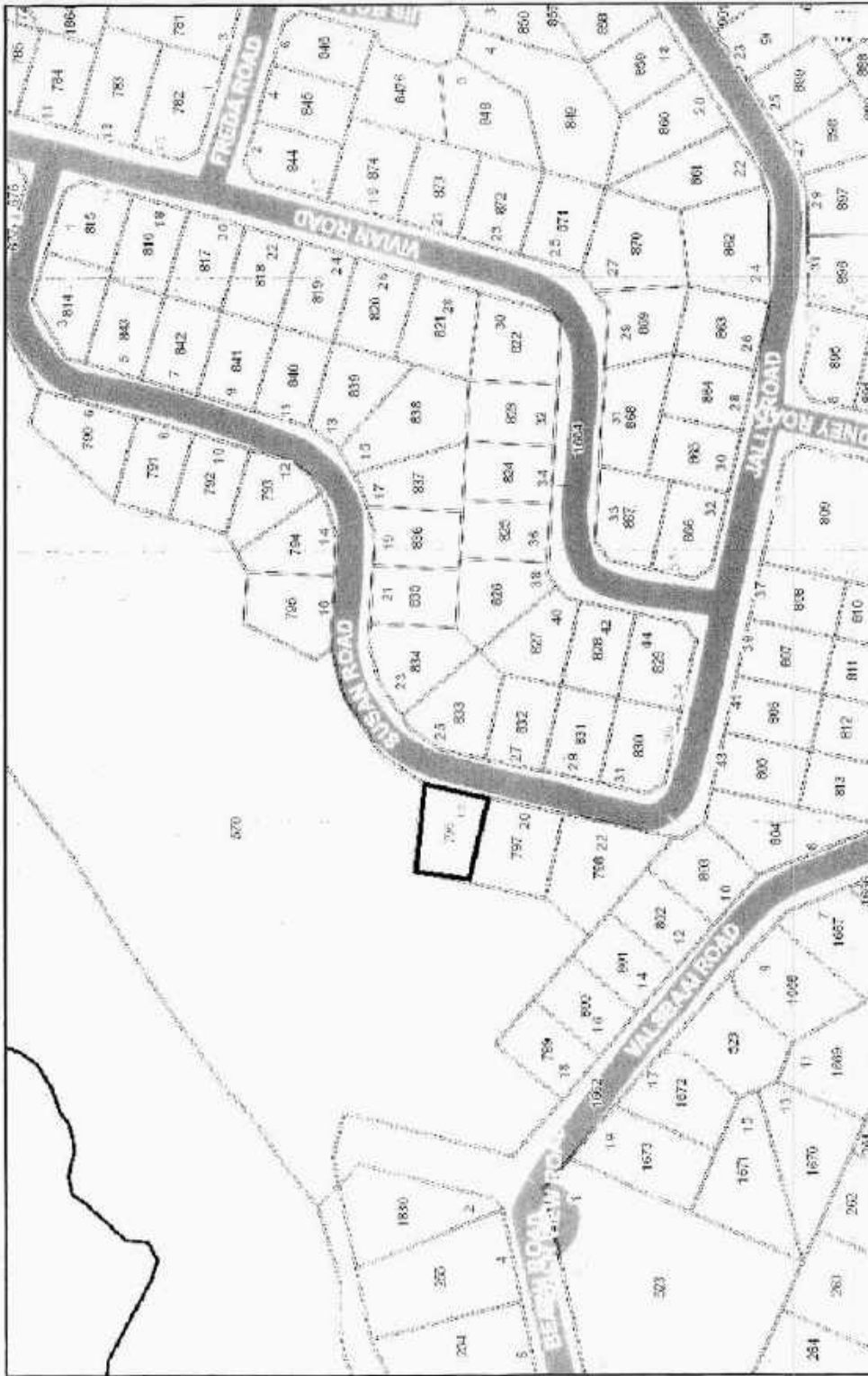
Hermanus Administration

Executive Summary

An application has been received on 22 February 2019 from GJW & SH Brown for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 on Erf 796, Pringle Bay to exceed the height restriction from 8m to 8,11m to accommodate the roof structure of the dwelling on the property.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 796, Pringle Bay to exceed the height restriction from 8,0m to 8,11m to accommodate the roof structure of the dwelling on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that a building plan be submitted to reflect the approval;
 - (b) that the transgression of 11cm is only applicable to the existing house and all other future extensions will have to comply with the 8m height restriction;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Erf 796 Pringle Bay

Date: 2019-05-09

north west elevation
scale 1:100

south west elevation
scale 1:100

south east elevation
scale 1:100

north east elevation
scale 1:100

max height 15.400

max height 6.100

max height 6.100

DISCLAIMER
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INES DESIGN ARCHITECTURE
10011 17th Street, Suite 100
San Diego, CA 92161
Tel: 619.594.1100
Fax: 619.594.1101
www.inesdesign.com

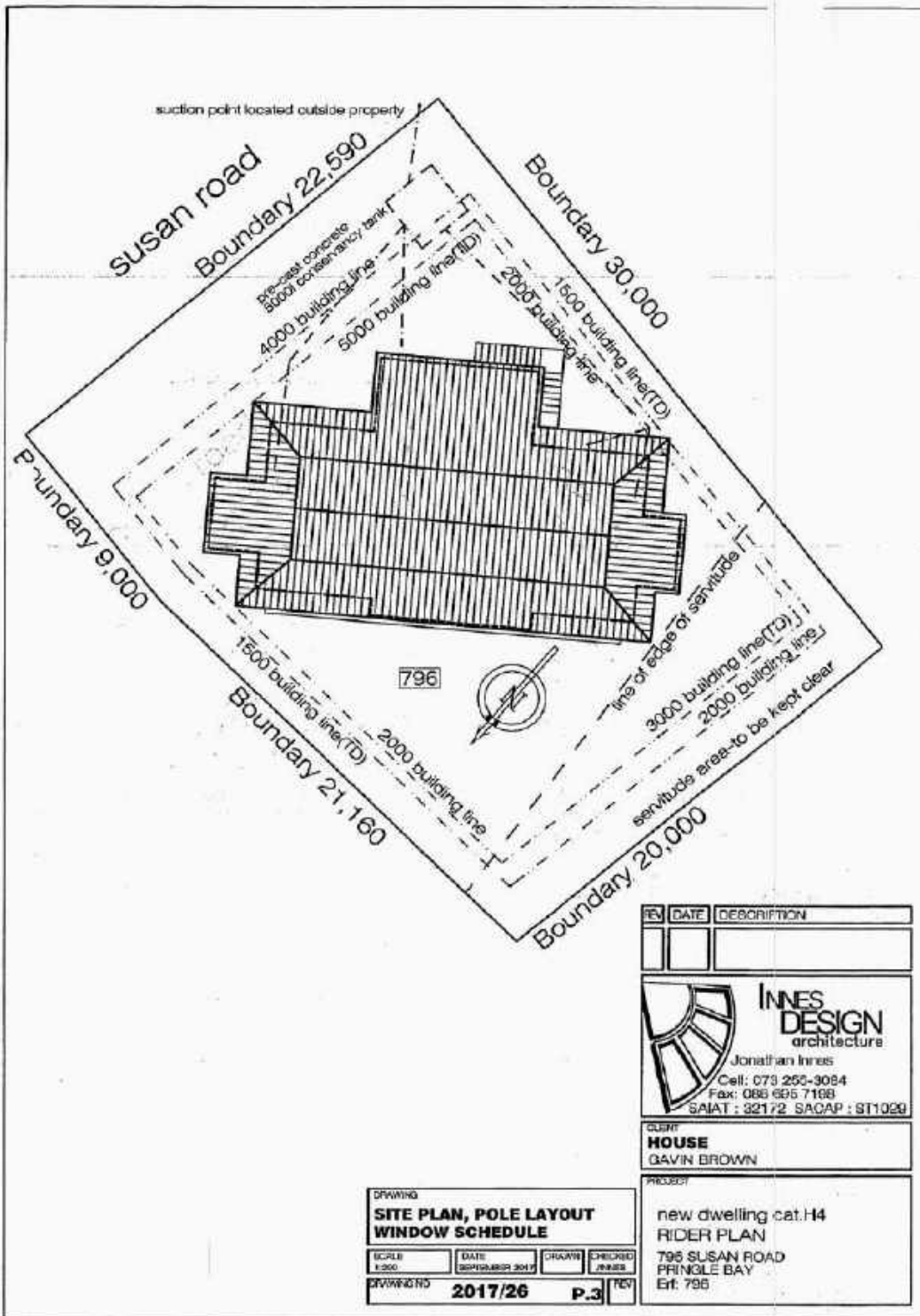
HOUSE
SOUTH BROWNS

PROJECT
NEW DWELLING CASE #14
PROJECT PLAN
THE ALMAN ROAD
PRINCE RAY
SITE #6

ELEVATIONS

DATE	SCALE	PROJECT	DATE
2017/26	1:100		

page 1 of 1



REV	DATE	DESCRIPTION


INNES DESIGN
 architecture
 Jonathan Innes
 Cell: 073 255-3084
 Fax: 086 695 7108
 SAAT: 92172 SAQAP: 911099

CLIENT
HOUSE
 GAVIN BROWN

PROJECT
 new dwelling cat.H4
 RIDER PLAN
 796 SUSAN ROAD
 PRINGLE BAY
 Erf: 796

DRAWING
SITE PLAN, POLE LAYOUT
WINDOW SCHEDULE
 SCALE: 1:200 DATE: SEPTEMBER 2017 DRAWN: JAMES CHECKED: JAMES
 DRAWING NO: **2017/26** P.3 REV:



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 796, PRINGLE BAY (2954)**

Stormwater (SW) : In order
Electricity : Escorn
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that stormwater be allowed to discharge through Erf 796, Pringle Bay, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

4. ERF 414, 27 MAIN ROAD, SANDBAAI: APPLICATION FOR DEPARTURE, OVERSTRAND MUNICIPAL AREA: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF K LOTTER, EXECUTOR OF ESTATE OF THE LATE TI KRITZINGER

414 HSB (3314)

H Boshoff

(028) 313 8900

Hermanus Administration

6 February 2020

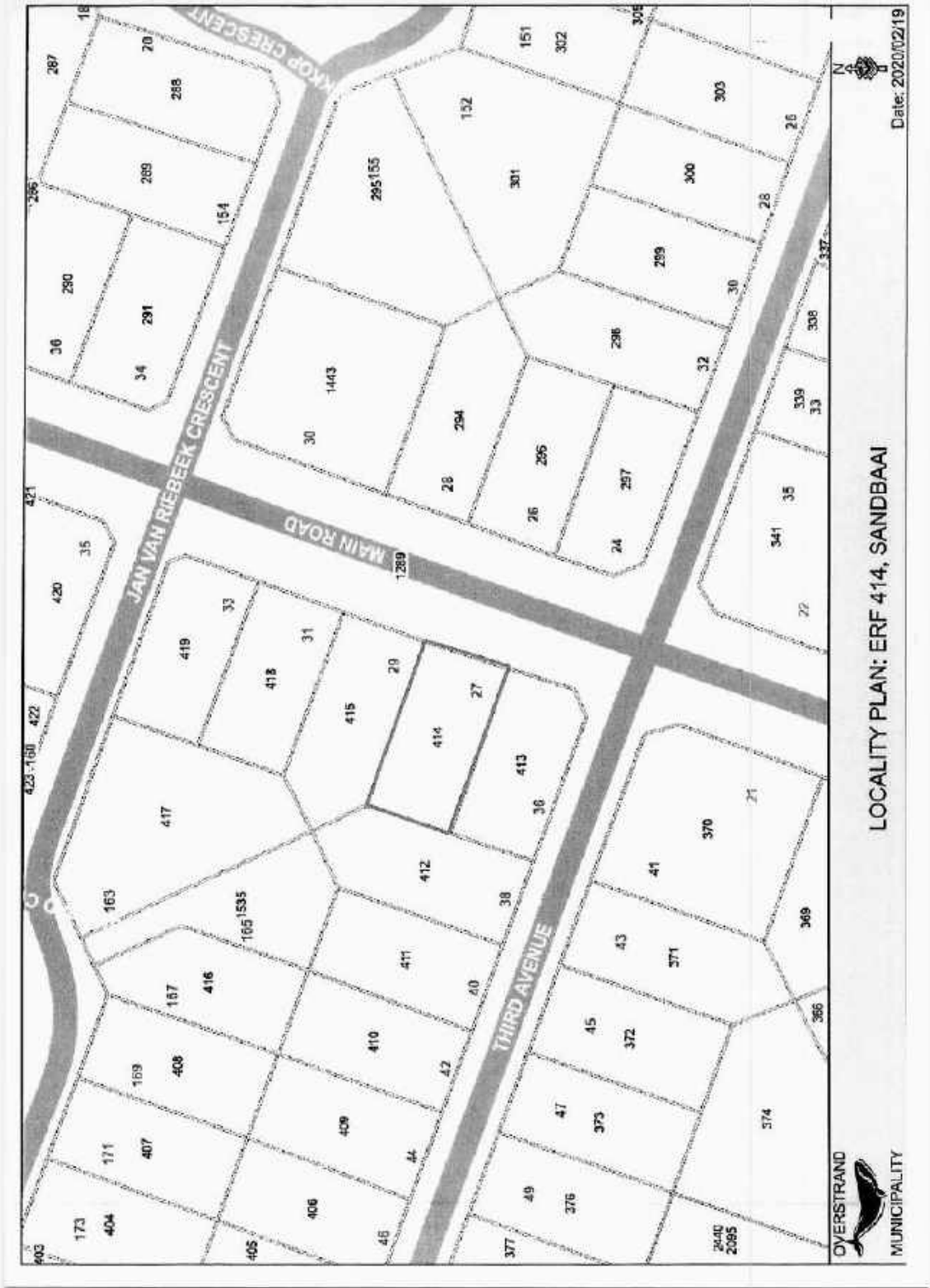
Executive Summary

An application was received on 30 August 2019 from Messrs PlanActive Town- and Regional Planners on behalf of K Lotter, Executor of Estate of the late TI Kritzinger, in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 414, Sandbaai for a departure to relax the southern lateral building line from 2m to 1,099m to accommodate a portion of a braai room and the rear building line from 2m to 1,107m to accommodate a portion of an outbuilding (combined garage and domestic quarters).

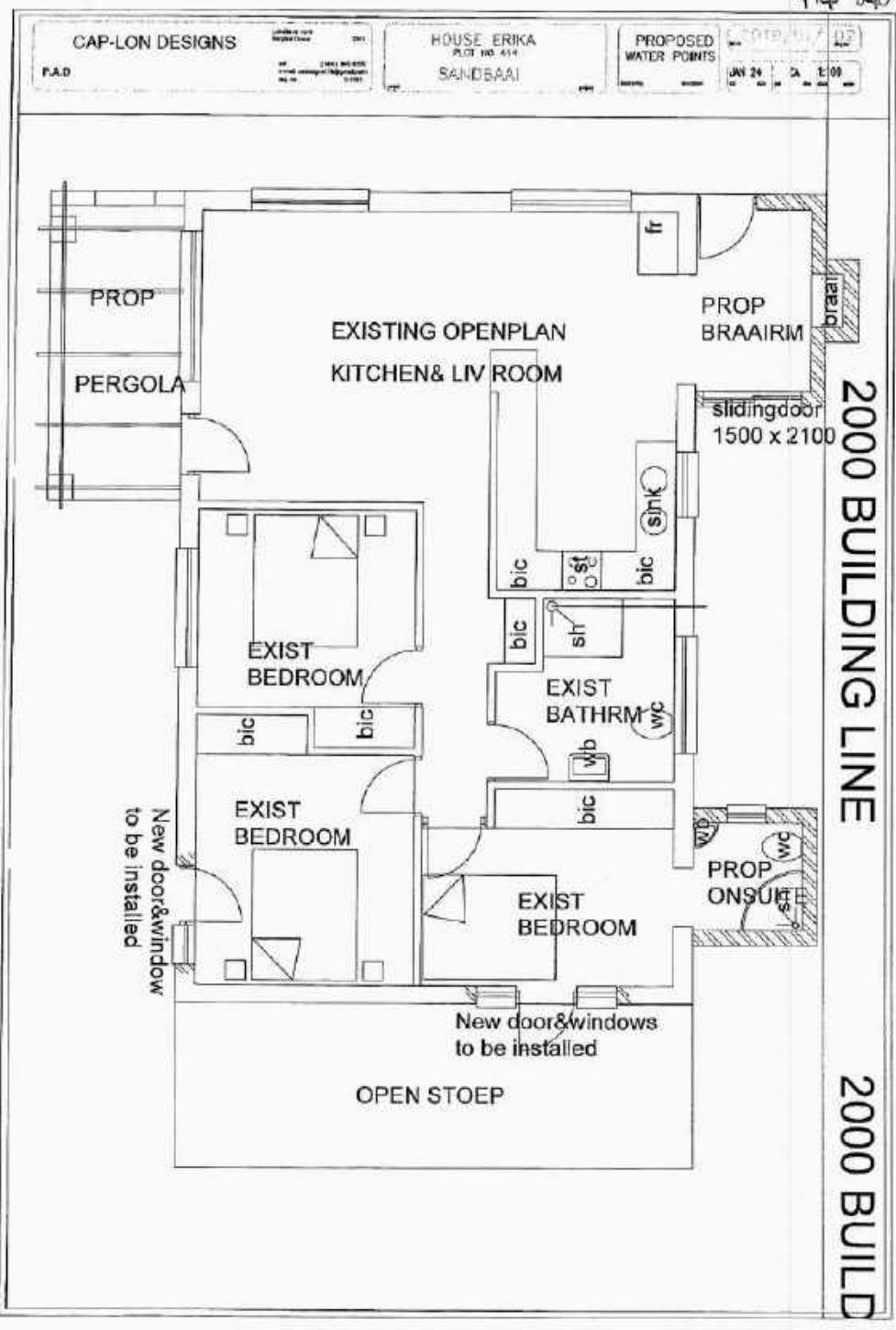
RESOLVED :

1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 414, Sandbaai for the relaxation of the southern lateral building line from 2m to 1,099m to accommodate a portion of a braai room and the rear building line from 2m to 1,107m to accommodate a portion of an outbuilding (combined garage and domestic quarters), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that building plans be submitted to the Building Department for approval and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (b) that the encroachments be restricted to the dimensions as indicated on plan nos. 414-1/6-2019 to 414-6/6-2019 that was submitted with the application;
 - (c) that the domestic quarters may not be utilised as a second dwelling unit without the written approval of the Municipality;
 - (d) that the conditions of Engineering Services, be complied with;

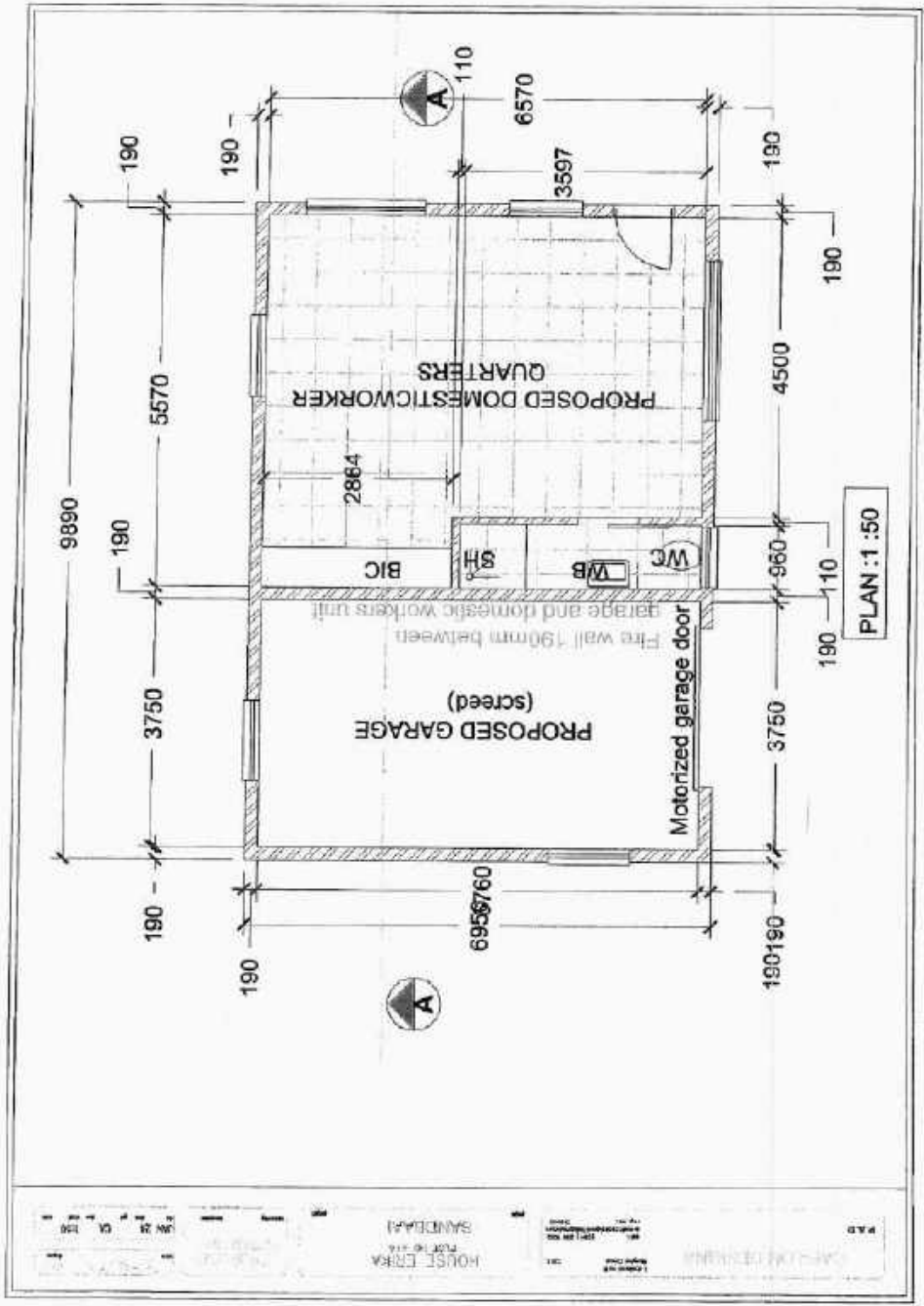
- (e) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (f) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



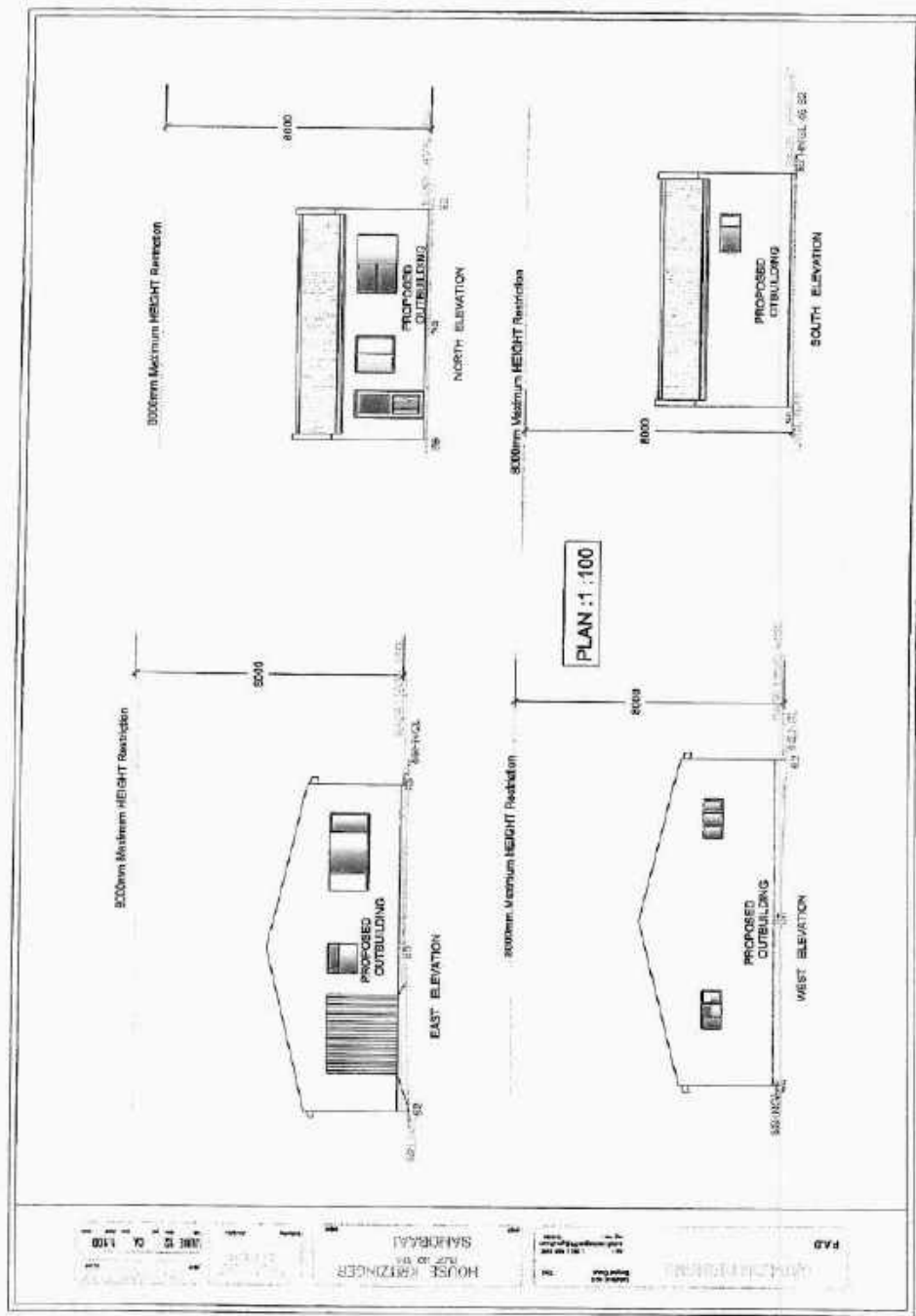
414-26-1010



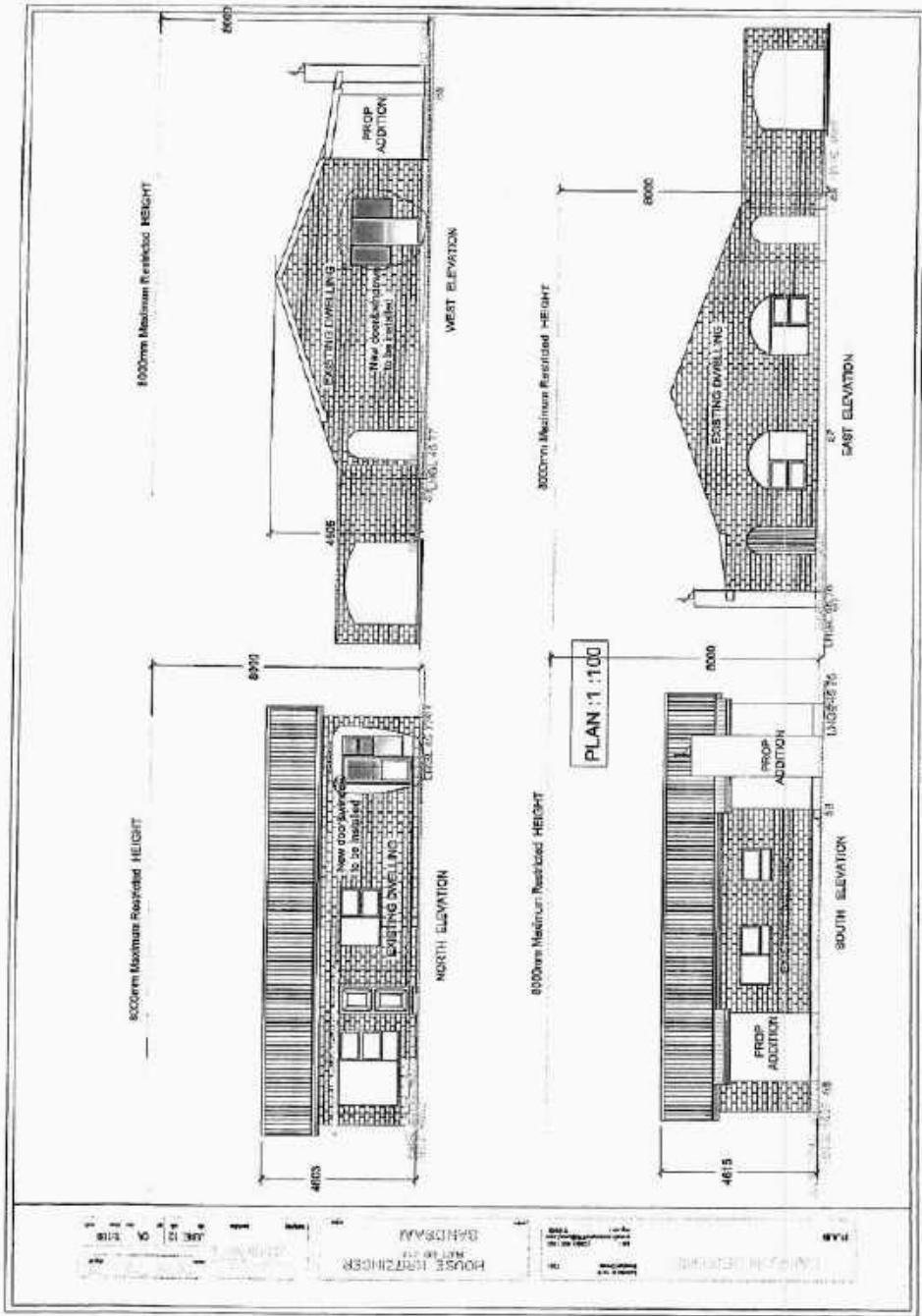
15x 1/3-714



444-5/6-2019



414-6/6-2019



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 414, SANDBAAI (3314/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager, Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 414, Sandbaai, unobstructed;
7. that no on-street parking be allowed.

Dennis Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/11/2019
DATE

5. PORTION 18 (A PORTION OF PORTION 6) OF THE FARM PAAPJES VALEY NO 679, DIVISION CALEDON, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USES: MESSRS WRAP CONSULTANCY ON BEHALF OF GRT GILLMAN

18/679 GRCA (3037/2019)

P Roux

(028) 313 8900

Hermanus Administration

3 February 2020

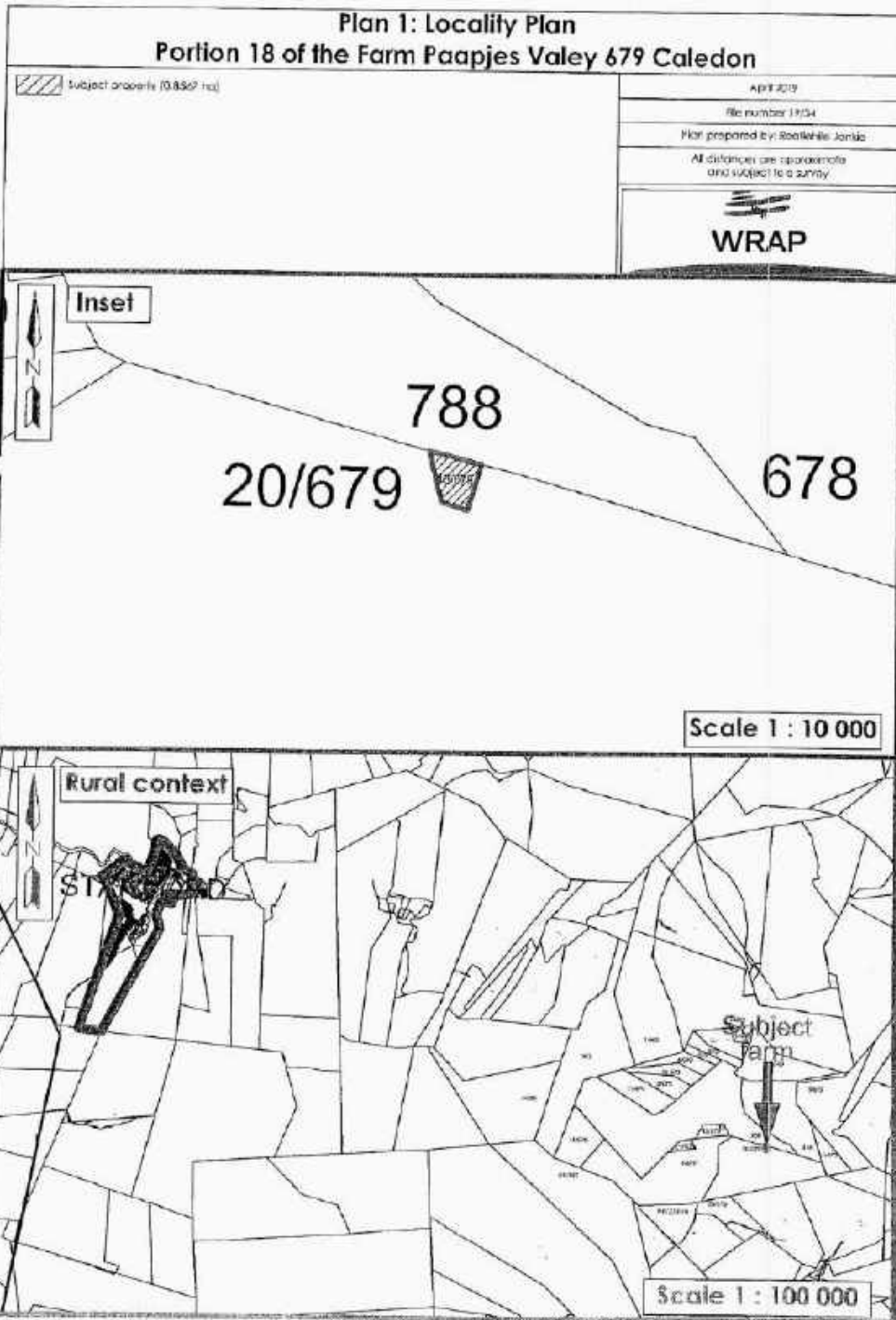
Executive Summary

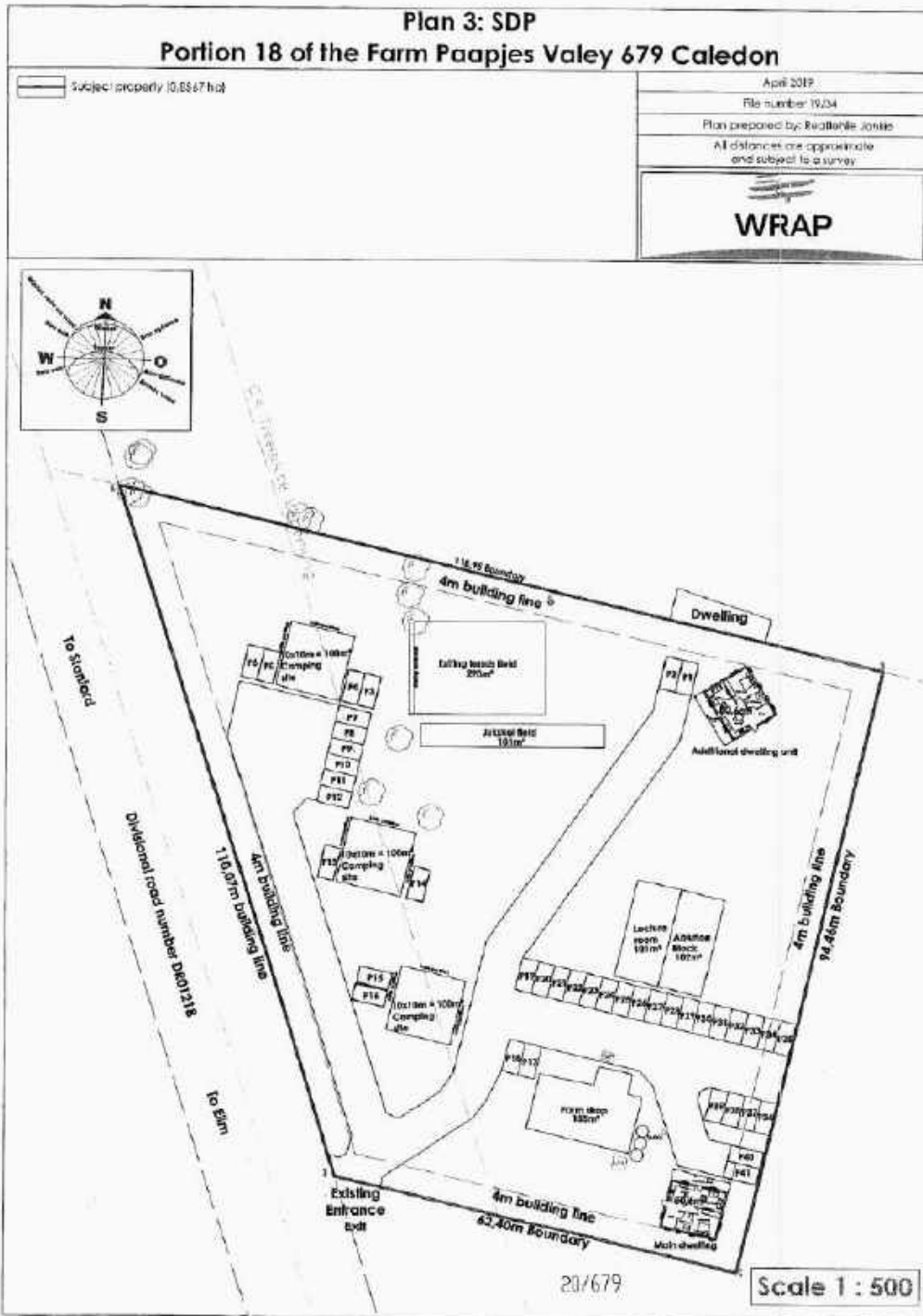
An application was received on 29 April 2019 from Messrs WRAP Consultancy on behalf GRT Gillman for consent uses in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Portion 18 (a portion of Portion 6) of the Farm Paapjes Valey No. 679, Division Caledon in order to accommodate one (1) additional dwelling unit, farm shop/stall, place of entertainment (meeting/wedding venue/lecture room), recreational facilities [tennis court and jukskei field] and for tourist accommodation (camping site with three (3) camp sites) on the property.

RESOLVED :

1. that the application for consent use in terms of Section 16(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Portion 18 (a portion of Portion 6) of the Farm Paapjes Valey No. 679, Division Caledon in order to accommodate one (1) additional dwelling unit, farm shop/stall, place of entertainment (meeting/wedding venue/lecture room), recreational facilities [tennis court and jukskei field] and tourist accommodation (camping site with three (3) camp sites), **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the above approval are only for the consent uses as indicated on the Site Development Plan, *File number 19/34* dated *April 2019*, as submitted with the application;
 - (b) that the operation of the tourist facility be limited to 23:00, cleaning of the venue may take place after the set time;
 - (c) that all measures should be taken to prohibit noise pollution i.e soundproofing and that should any justified complaint be received regarding noise pollution, the Municipality may request expert analysis at the account of the property owner;

- (d) that the building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
 - (e) that the conditions by Tourism, District Health, Overstrand Environment Section, Department of Transport and Public Works, Breede-Gouritz Catchment Management Agency, Telkom and Eskom, be complied with;
 - (f) that the conditions compiled in the Services Report, be complied with;
 - (g) that the applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (h) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises;
 - (i) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (j) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: PORTION 18 (A PORTION OF
PORTION 6) OF THE FARM PAAPJES VALLEY NO. 679, CALEDON
DIVISION (3037/2019)**

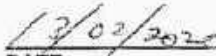
Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water service from Overstrand Municipality is available and the developer is responsible for the provision of any water supply and/or services to the development;
3. that the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
4. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality (Tel: 028 313 5046, email: probinson@overstrand.gov.za);
5. that no sewerage service from Overstrand Municipality is available and no municipal sewerage services will rendered to the development;
6. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility;
7. that the proposed development must be provided with adequate sewer conservancy tanks, which must comply with the relevant legislation;
8. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;

9. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
10. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;
11. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
12. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
13. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

6. REMAINDER ERF 528, 5 MARINE DRIVE, WESTCLIFF, HERMANUS: APPLICATION FOR CONSENT USE (GUESTHOUSE) AND DEPARTURE, OVERSTRAND MUNICIPAL AREA: MESSRS WRAP CONSULTANCY ON BEHALF OF AP VAN DER MERWE

Rem 528 HWC (4171)

SW van der Merwe

(028) 313 8900

Hermanus Administration

2 December 2019

Executive Summary

Applications were received on 12 December 2018 from Messrs WRAP Consultancy on behalf of AP van der Merwe in terms of Sections 16(2)(b) and 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 applicable to Remainder Erf 528, Hermanus for the following:

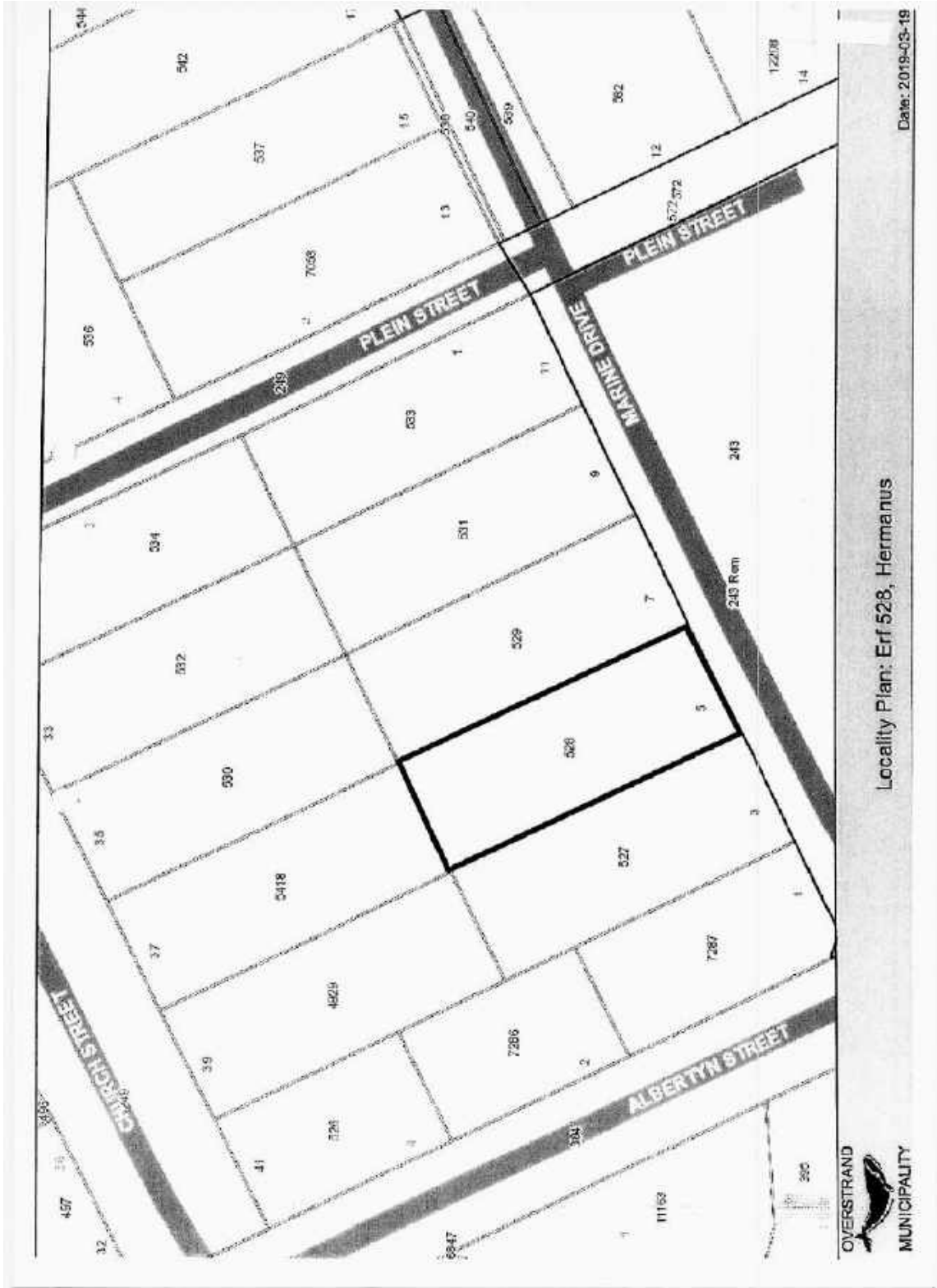
- relaxation of the western lateral building line from 2m to $\pm 1,68\text{m}$ to accommodate the use change of the outbuilding to a second dwelling unit, as well as to accommodate the height of the load bearing wall of the building that has been raised by $\pm 600\text{mm}$;
- relaxation of the western lateral building line from 2m to $\pm 1,145\text{m}$ and 0m to accommodate the chimney breast of the inside braai of the existing second dwelling unit and an existing open outdoor braai, and
- consent use in order to operate a three (3) bedroom guesthouse from the main dwelling unit on the property.

RESOLVED :

1. that the application for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law), applicable to Erf 528, Hermanus in order to operate a three (3) bedroom guesthouse from the main dwelling unit on the property, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for departure in terms of Section 16(2)(b) of the By-Law for the relaxation of the western lateral building line from 2m to $\pm 1,68\text{m}$ to accommodate the use change of the outbuilding to a second dwelling unit, as well as to accommodate the height of the load bearing wall of the building that has been raised by $\pm 600\text{mm}$, **be approved** in terms of the provisions of Section 61 of the By-Law, and
3. that the application for departure in terms of Section 16(2)(b) of the By-Law for the relaxation of the western lateral building line from 2m to $\pm 1,145\text{m}$ and 0m to accommodate the chimney breast of the inside braai of the existing second dwelling unit and an existing open outdoor braai, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the above approvals be subject to the following conditions:

- (a) that six (6) permanently demarcated parking bays be provided within the erf boundaries;
- (b) that the consent use to conduct a guest house be valid for a period of two (2) years only, which period may upon application be extended for a further period;
- (c) that the main dwelling unit be utilized as a guest house with a maximum of three (3) lettable bedrooms;
- (d) that building plans be submitted to the Building Department for approval indicating the three (3) lettable guestrooms, the owner's/manager's accommodation, the parking layout, and that all conditions of the Building- and the Fire Department be complied with at that stage;
- (e) that the second dwelling unit may not be utilised for accommodation purposes for tourists at all without the written approval of the Municipality;
- (f) that the section of the western boundary wall that forms part of the courtyard braai area be raised to 2,1m by the land owner to the satisfaction of the Municipality - the landowner must ensure that the section of the boundary wall that faces the adjacent Erf 527 be maintained at all times in such a manner that it does not impact negatively on Erf 527;
- (g) that the conditions imposed by the Engineering Services and Telkom, be complied with prior to conducting the accommodation establishment;
- (h) that all conditions imposed by the Fire Department, be complied with and proof of compliance be submitted to the Municipality prior to the operation of the three (3) bedroom guest house;
- (i) that the owner/manager resides on the premises and be responsible for the proper management of the guest house;
- (j) that the guest house is utilized as such – no self-catering will be permitted;
- (k) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
- (l) that the selling or serving of liquor on the premises will be subject to the applicant obtaining the necessary Liquor Licence;

- (m) that applicable rates and service tariffs, as determined by the annual budget be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (n) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (o) that a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
 - (p) that the guest house be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
 - (q) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
 - (r) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;
 - (s) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (t) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
5. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Plan: Erf 528, Hermanus

Date: 2019-03-19

Mr. A.P. Van Der Merwe
Erff 528, 5 Marine Drive,
West Cliff, Hermanus

1/3
A3

NOTES
REVISIONS

NOTES
REVISIONS

NOTES
REVISIONS

Size Area:
 - 53.76 m²
 - 180.20 m²
 - 95.00 m²
 - 24.19 m²
 - 205.55 m²
 - 200.32 m²
 - 21.48 m²

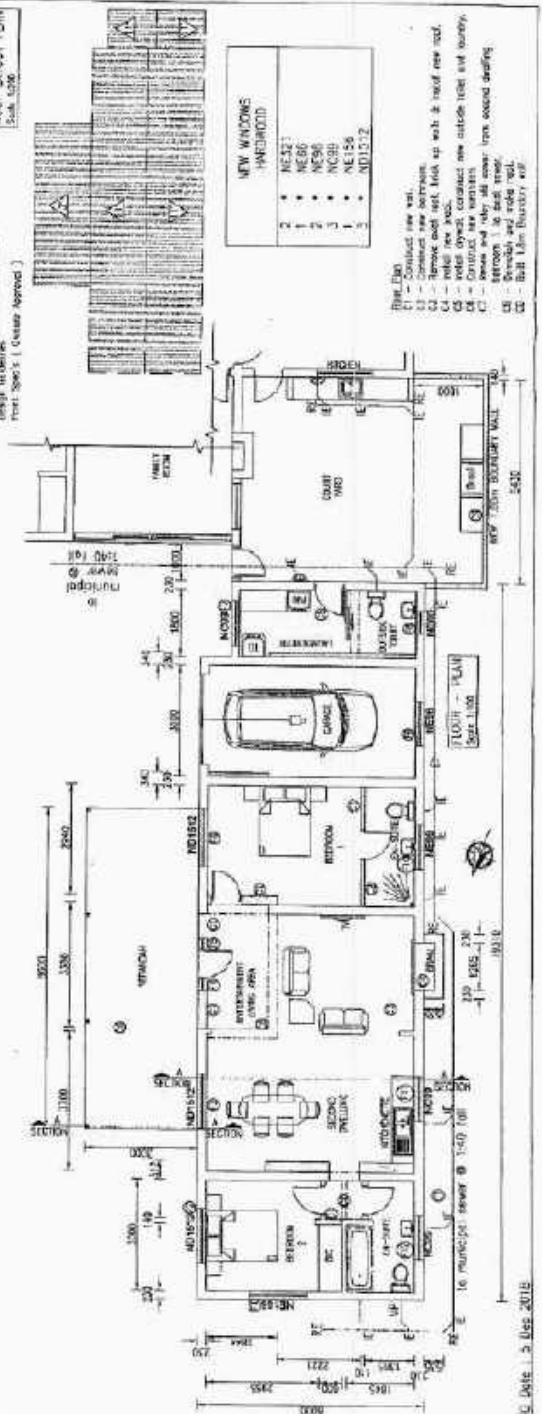
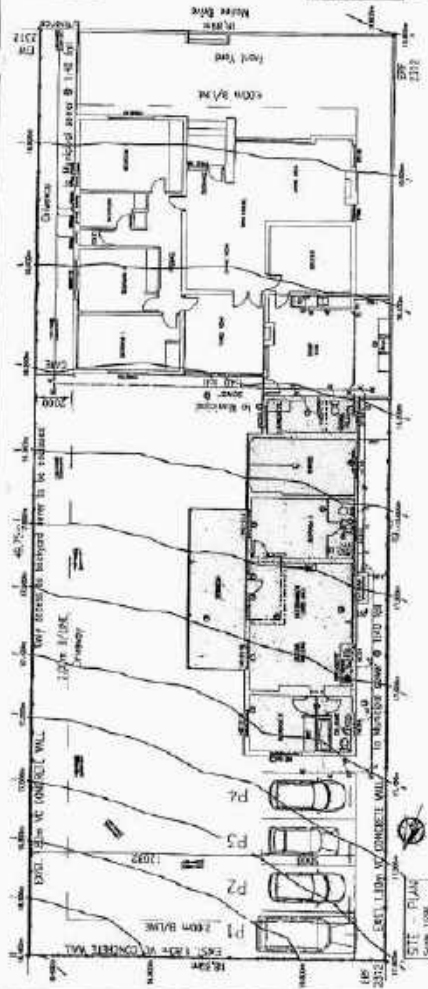
Lot: 528
 Coverage: 24.19%
 Coverage: 21.48%

ALL DIMENSIONS MUST BE CORRELATED BEFORE ORDERING OR ANY BUILDING WORK COMMENCES. ANY DIMENSIONS NOT IN ACCORDANCE WITH THE ATTACHED DRAWINGS MUST BE CORRECTED PRIOR TO THE COMMENCEMENT OF WORK. WORK SHOULD ONLY BE CARRIED OUT TO DIMENSIONS AND LEVELS AS SHOWN. ANY DIMENSIONS NOT SHOWN SHOULD NOT BE SCALED. CONTACT THE ARCHITECT IMMEDIATELY IF ANY ADDITIONAL DIMENSIONS ARE NEEDED.

NOTES AND DETAILS ARE COPYRIGHT PROTECTED

Mess. J. de. Conslabou. Architect. Etienne
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ROOF LAYOUT PLAN
Scale: 1:500

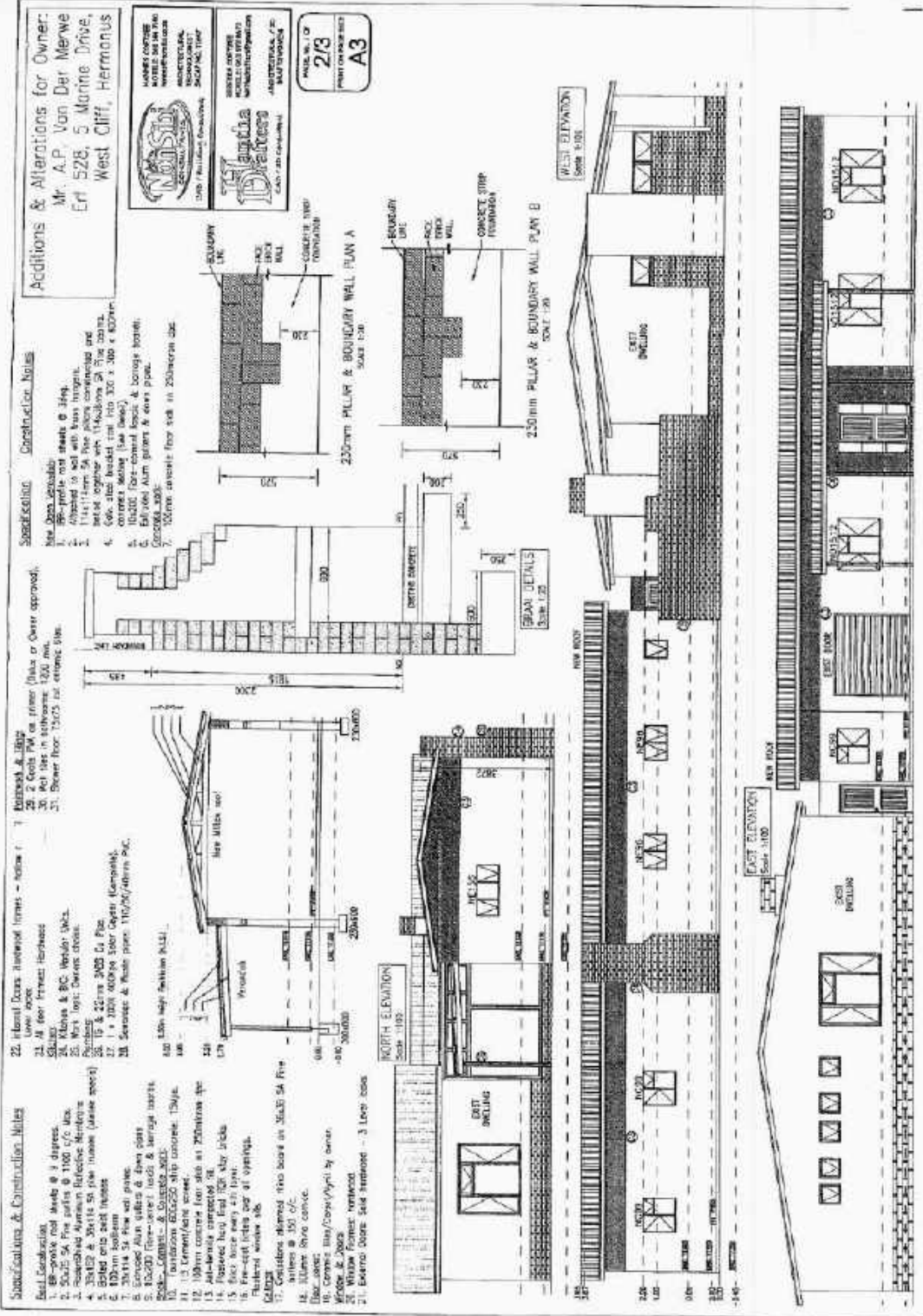


NEW WINDOWS
HARDWOOD

2	NEA21
1	NEB01
2	NEB02
3	NEC01
1	NE126
1	ND127

- REVISIONS
- 1 - Contact new vendor
 - 2 - Contact new vendor
 - 3 - Remove each unit, lock up walls & install new roof.
 - 4 - Install new windows.
 - 5 - Install new windows, contact new outside toilet and laundry.
 - 6 - Remove and replace kitchen sink and shower pan.
 - 7 - Remove and replace kitchen sink and shower pan.
 - 8 - Remove and replace kitchen sink and shower pan.
 - 9 - Remove and replace kitchen sink and shower pan.
 - 10 - Remove and replace kitchen sink and shower pan.

DATE: 12.15.2018



Additions & Alterations for Owner:
 Mr. A.P. Van Der Merwe
 Erf 528, 5 Marine Drive,
 West Cliff, Hermanus

NOTES
 HANES OFFICE
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- Specifications**
1. 200mm concrete
 2. 100mm brick
 3. 250mm pillar
 4. 250mm boundary wall
 5. 100mm concrete floor slab
 6. 100mm concrete floor slab
 7. 100mm concrete floor slab

- Internal Doors**
1. 200mm concrete
 2. 100mm brick
 3. 250mm pillar
 4. 250mm boundary wall
 5. 100mm concrete floor slab
 6. 100mm concrete floor slab
 7. 100mm concrete floor slab

- Roof**
1. 200mm concrete
 2. 100mm brick
 3. 250mm pillar
 4. 250mm boundary wall
 5. 100mm concrete floor slab
 6. 100mm concrete floor slab
 7. 100mm concrete floor slab

- Construction Notes**
1. 200mm concrete
 2. 100mm brick
 3. 250mm pillar
 4. 250mm boundary wall
 5. 100mm concrete floor slab
 6. 100mm concrete floor slab
 7. 100mm concrete floor slab

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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE & CONSENT USE: REMAINDER ERF 528,
WESTCLIFF (4171)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	Refer to Conditions 7, 9 & 11

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that the consent use to conduct a guest house be valid for a period of 2 years only, which period may upon application be extended for a further period;
7. that should the operation of the guest house result in traffic flow and/or parking problems detrimental to road safety, or should the owner in future redevelop or expand the accommodation facility, the access to the rear parking area on the property must be upgraded or alternatively the owner must make suitable road access and parking arrangements in accordance with the Scheme Regulations and engineering norms/standards to the satisfaction of the Municipality;
8. that stormwater be allowed to discharge through Remainder Erf 528, Westcliff, unobstructed;
9. that any additional and / or extended vehicle entrances will be for the owner's account;

2

10. that refuse will be removed from the sidewalks as per municipal arrangement;
11. that no on-street parking be allowed.

p.p. R. Chopra
DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES

03/03/2020
DATE

**7. ERF 1244, BEACH CLUB, ZWELIHLE, OVERSTRAND MUNICIPAL AREA:
PROPOSED DEPARTURE: DR MJ STRUWIG ON BEHALF OF THE
PHOENIX TRUST**

1244 HZW (3455)

H Olivier

(028) 313 8900

Hermanus Administration

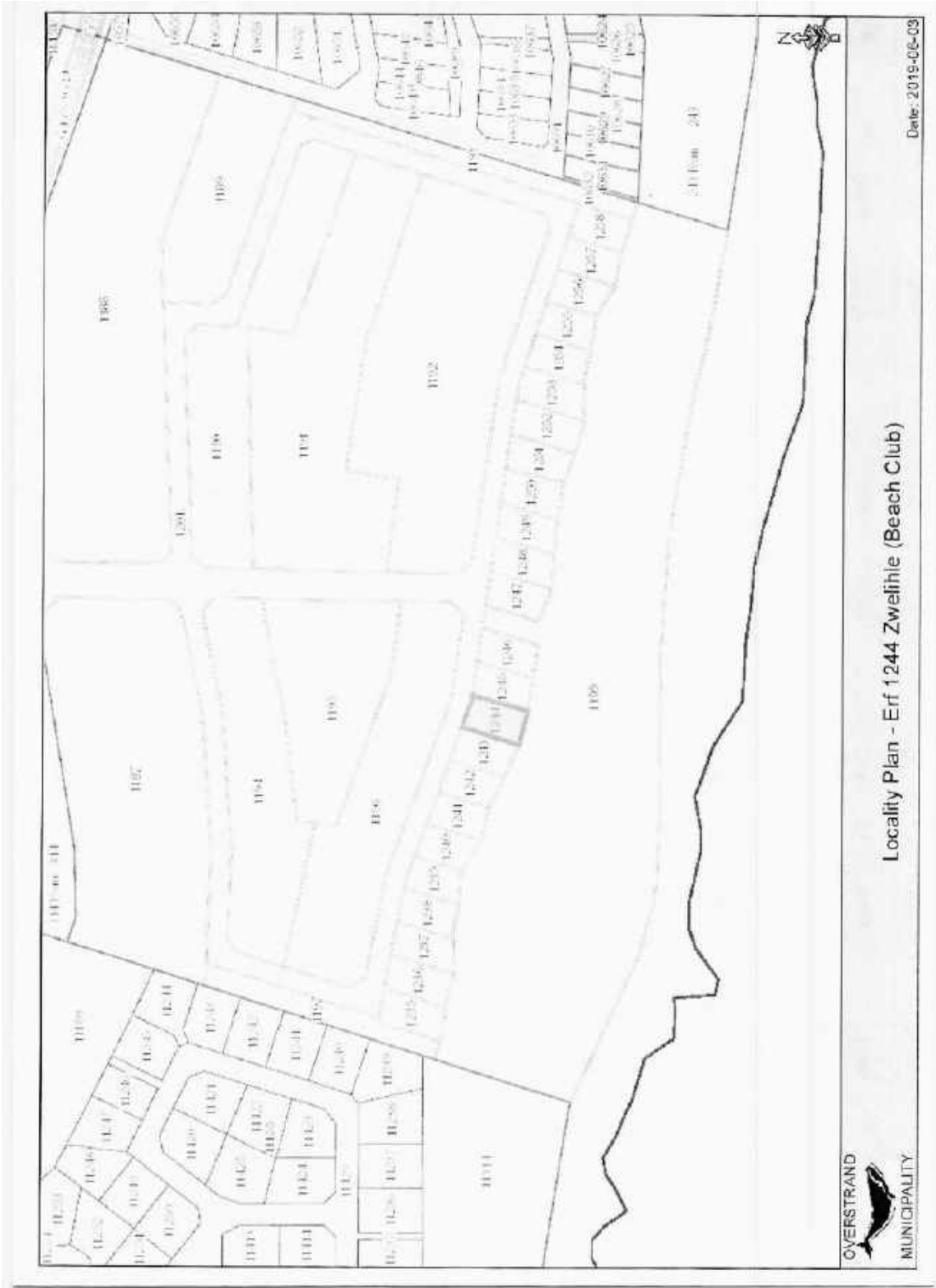
15 November 2019

Executive Summary

An application has been received on 9 September 2016 from Dr MJ Struwig on behalf of the Phoenix Trust on Erf 1244, Zwelihle (Beach Club) for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the 4m street building line to enlarge the existing single garage to a double garage, up to 1m from the internal street.

RESOLVED :

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 1244, Zwelihle (Beach Club) to relax the 4m street building line to extend the existing single garage into a double garage, up to 1m from the internal street, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the street building line as indicated on plan struwig - 100-00 dated 4/04/2019 submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building and the Fire Department be complied with;
 - (e) that all the conditions by Telkom, be complied with; and
 - (f) that an electronic roll-up door be fitted to the garage.
2. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval."

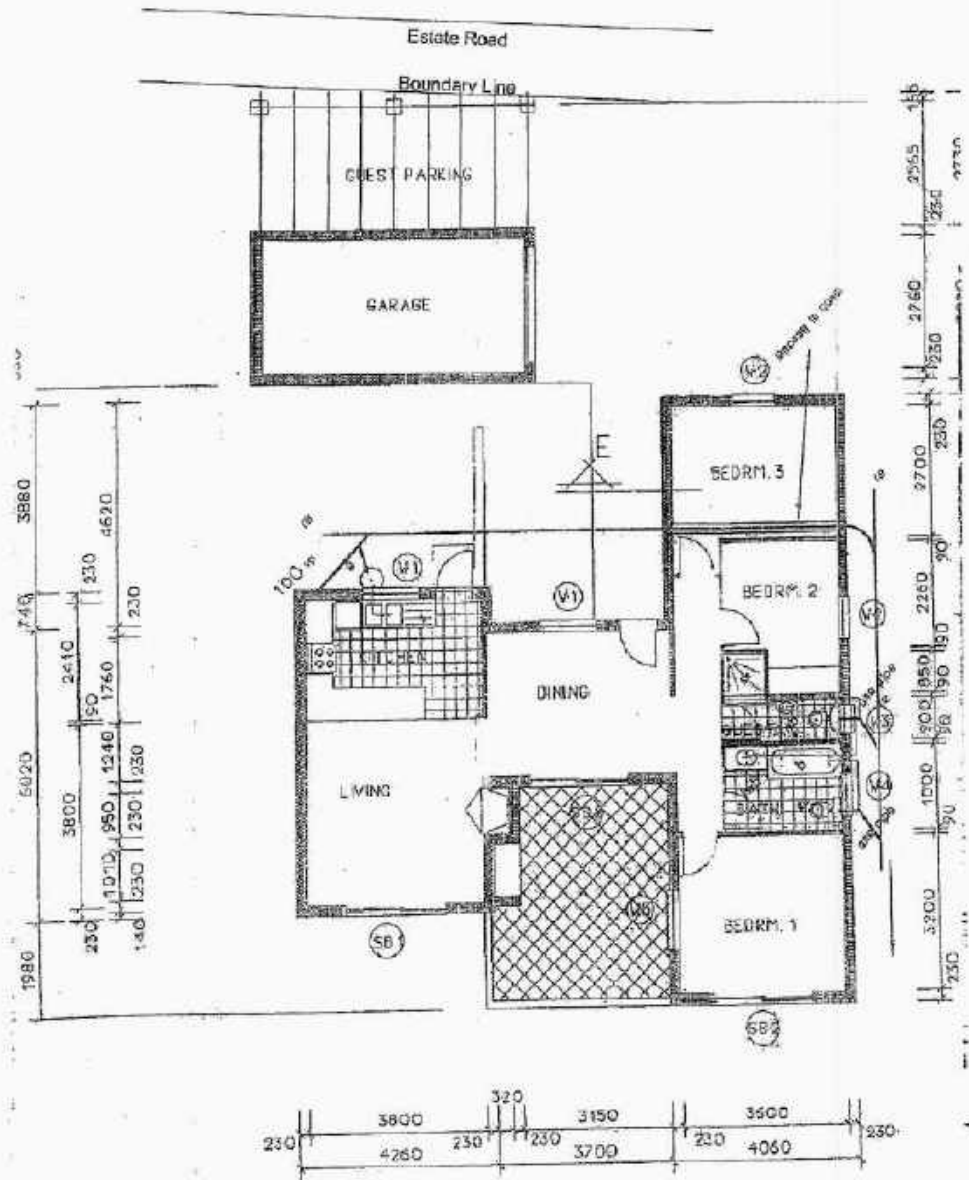


Locality Plan - Erf 1244 Zwellhle (Beach Club)



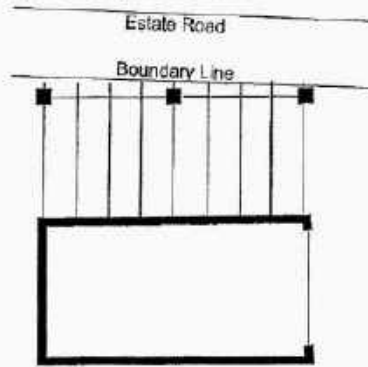
Date: 2019-06-09

Floor Plan Attached to Development Plan

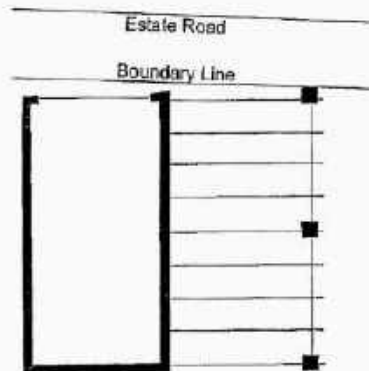


PLAN - UNIT TYPE E
FOR UNITS

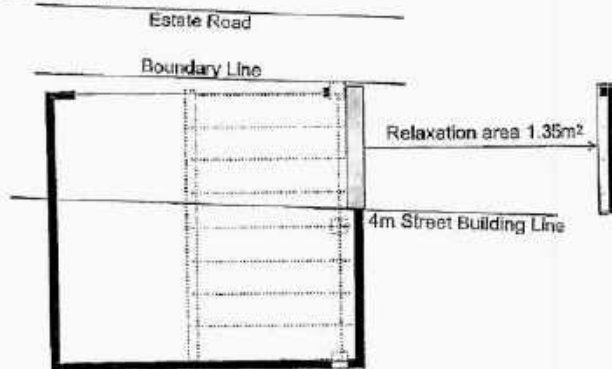
Garage as specified by Development Plan

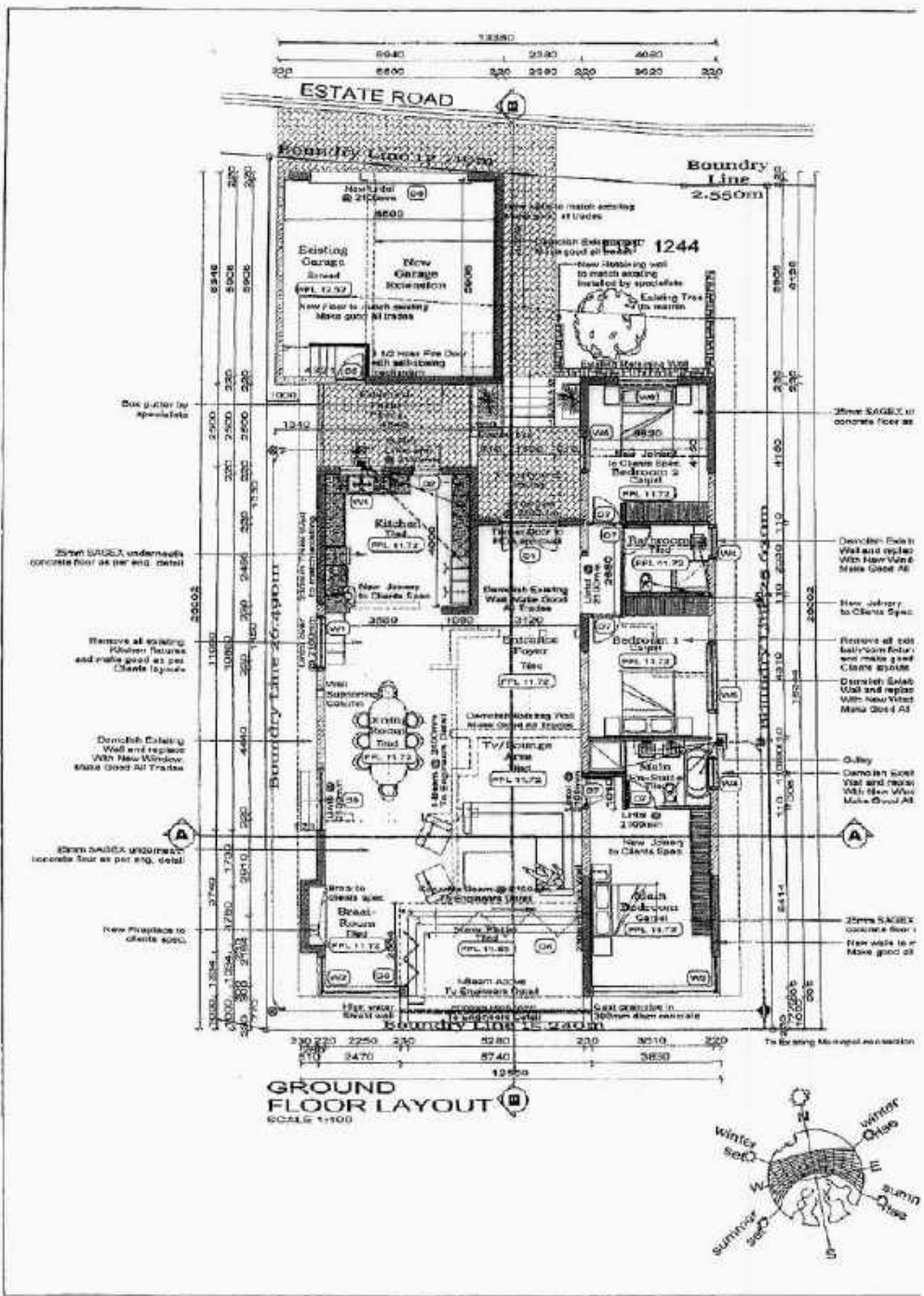


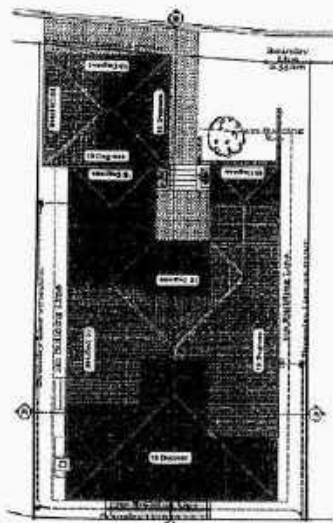
Current Garage



Garage as per Proposed Application







SITE PLAN
SCALE: 1/8"=1'-0"

MINIMUM SUBMITTAL REQUIREMENTS

Disturbance: 20% of the site area shall be disturbed. The remaining 80% shall be planted with native vegetation.

Planting: 10% of the site area shall be planted with native vegetation. The remaining 90% shall be planted with native vegetation.

Item	Quantity	Unit	Notes
Planting	10%	of site area	Native vegetation
Disturbance	20%	of site area	Native vegetation

Setback: 5 feet from all property lines.

Item	Quantity	Unit	Notes
Planting	10%	of site area	Native vegetation
Disturbance	20%	of site area	Native vegetation

VEGETATION

Item	Quantity	Unit	Notes
Planting	10%	of site area	Native vegetation
Disturbance	20%	of site area	Native vegetation

UTILITIES

Item	Quantity	Unit	Notes
Planting	10%	of site area	Native vegetation
Disturbance	20%	of site area	Native vegetation

Item	Quantity	Unit	Notes
Planting	10%	of site area	Native vegetation
Disturbance	20%	of site area	Native vegetation

NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN JOSE ORDINANCES AND REGULATIONS.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE.
4. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE.

Item	Quantity	Unit	Notes
Planting	10%	of site area	Native vegetation
Disturbance	20%	of site area	Native vegetation

AREAS:
EXISTING GARAGE: 15 sqm
NEW ADDITIONS: 85 sqm
NEW GARAGE: 25 sqm
TOTAL GROUND COVERED: 125 sqm
TOTAL: 257 sqm
Site: 300 sqm
Coverage: 85%

HOUSE STRUWIG

Author: G.R. Hensley, P.E. (Professional Engineer)
Date: 10/15/2010

PROPOSED ADDITIONS AND IMPROVEMENTS ON SHEET 124

GROUND FLOOR LAYOUT
SITE PLAN

DATE: 10/15/2010
PROJECT: C.R. Hensley, P.E. (Professional Engineer)

PROJECT: C.R. Hensley, P.E. (Professional Engineer)

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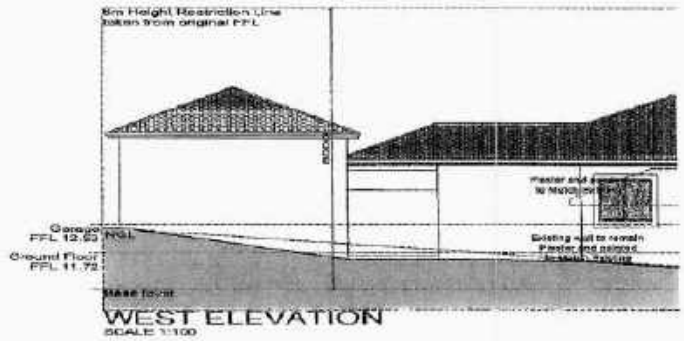
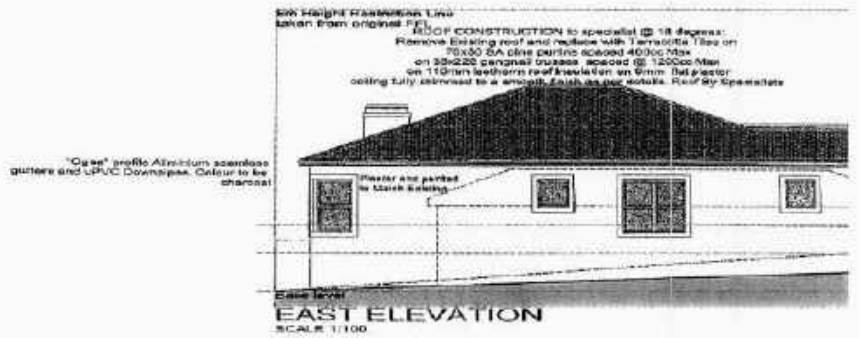
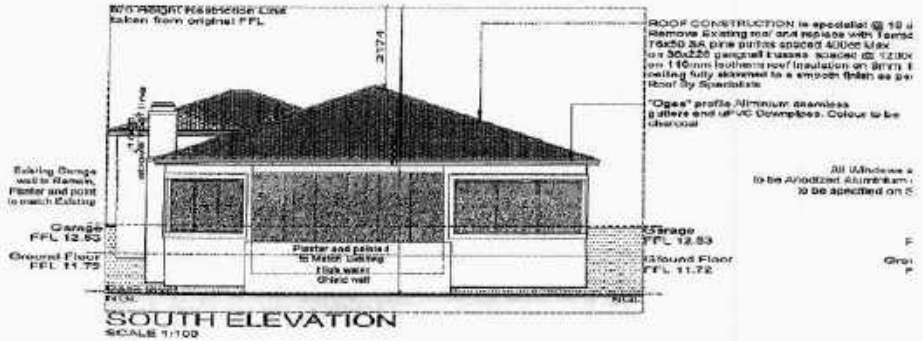
PROJECT: C.R. Hensley, P.E. (Professional Engineer)

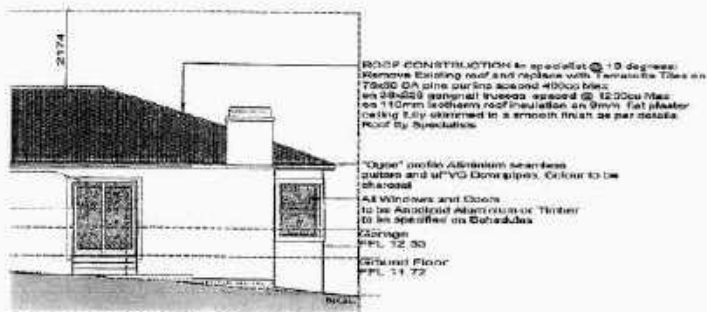
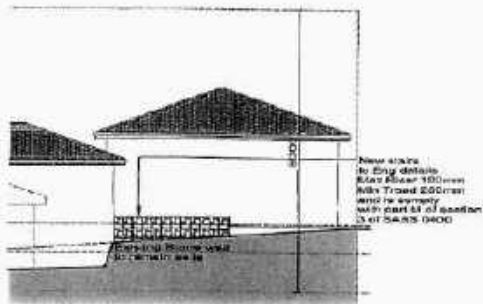
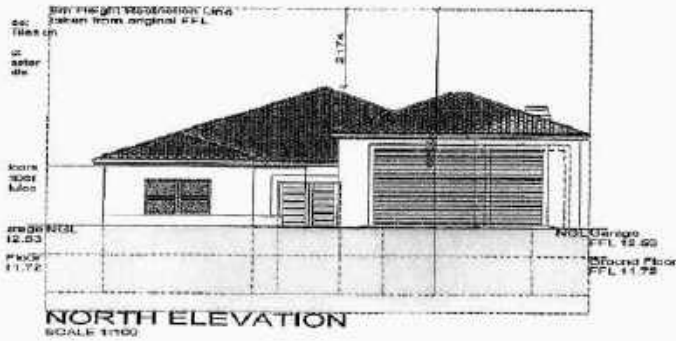
PROJECT: C.R. Hensley, P.E. (Professional Engineer)

PROJECT: C.R. Hensley, P.E. (Professional Engineer)

PROJECT: C.R. Hensley, P.E. (Professional Engineer)

PROJECT: C.R. Hensley, P.E. (Professional Engineer)





1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC) OF ZAMBIA.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

VVVG DESCRIPTIONS			
NO.	DESCRIPTION	QTY	UNIT

AREAS:

EXISTING GROUND:	85 sqm
EXISTING GARAGE:	15 sqm
NEW ADDITIONS:	23 sqm
NEW GARAGE:	29 sqm
TOTAL GROUND:	152 sqm
C VERANDA:	25 sqm
TOTAL:	177 sqm
Site:	306 sqm
Coverage:	58%

SUBTITLE:

HOUSE STRUWIG

DATE: 15.12.2023
DRAWN BY: [Name]
CHECKED BY: [Name]

PROJECT INFO:

PROPOSED ADDITIONS AND ALTERATIONS ON 88 P 1344 - 1345

CLIENT INFO:

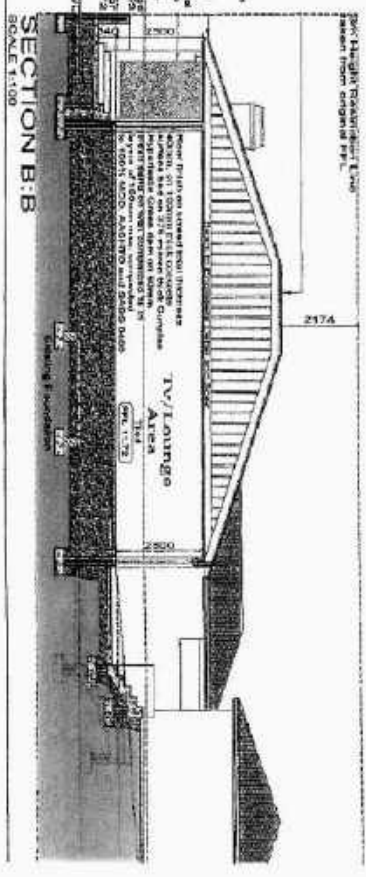
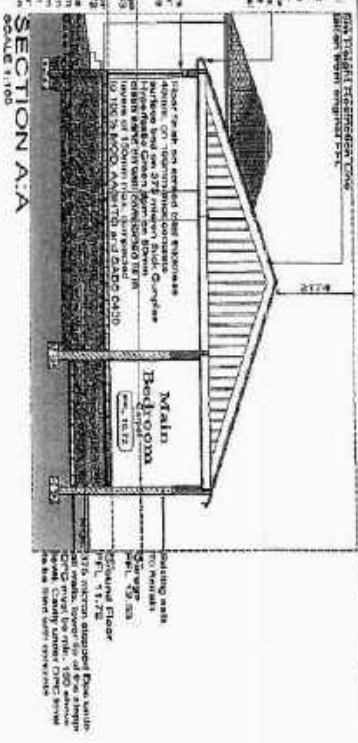
SUBTITLE

SCALE:	1:100	DATE:	15.12.2023
DESIGNER:	F. de Lange	CLIENT:	G.S. Housing STORES
PROJECT NO.:	00	PROJECT NAME:	STRUWIG 20189

ROOF CONSTRUCTION TO SPECIFICATIONS TO BE OBTAINED FROM THE ARCHITECT. THE ROOF SHALL BE CONSTRUCTED WITH 18 GAUGE GALVALUMED STEEL DECKING OVER 2" X 4" JOISTS. THE ROOF SHALL BE FINISHED WITH 2" MINIMUM THICKNESS OF 30 YEAR WEATHER RESISTANT INSULATION OVER THE JOISTS. THE ROOF SHALL BE FINISHED WITH 2" MINIMUM THICKNESS OF 30 YEAR WEATHER RESISTANT INSULATION OVER THE JOISTS. THE ROOF SHALL BE FINISHED WITH 2" MINIMUM THICKNESS OF 30 YEAR WEATHER RESISTANT INSULATION OVER THE JOISTS.

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GENERAL NOTES

ROOF CONSTRUCTION TO SPECIFICATIONS TO BE OBTAINED FROM THE ARCHITECT. THE ROOF SHALL BE CONSTRUCTED WITH 18 GAUGE GALVALUMED STEEL DECKING OVER 2" X 4" JOISTS. THE ROOF SHALL BE FINISHED WITH 2" MINIMUM THICKNESS OF 30 YEAR WEATHER RESISTANT INSULATION OVER THE JOISTS. THE ROOF SHALL BE FINISHED WITH 2" MINIMUM THICKNESS OF 30 YEAR WEATHER RESISTANT INSULATION OVER THE JOISTS.

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8. ERF 40, 22 VAN BLOEMENSTEIN STREET, BIRKENHEAD : APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND CONSENT USE : MESSRS PDM CONSULTING ON BEHALF OF WHITE SHARK PROMOTIONS (PTY) LTD

40 GBH (2835)

SW van der Merwe

(028) 313 8900

Hermanus Administration

13 February 2020

Executive Summary

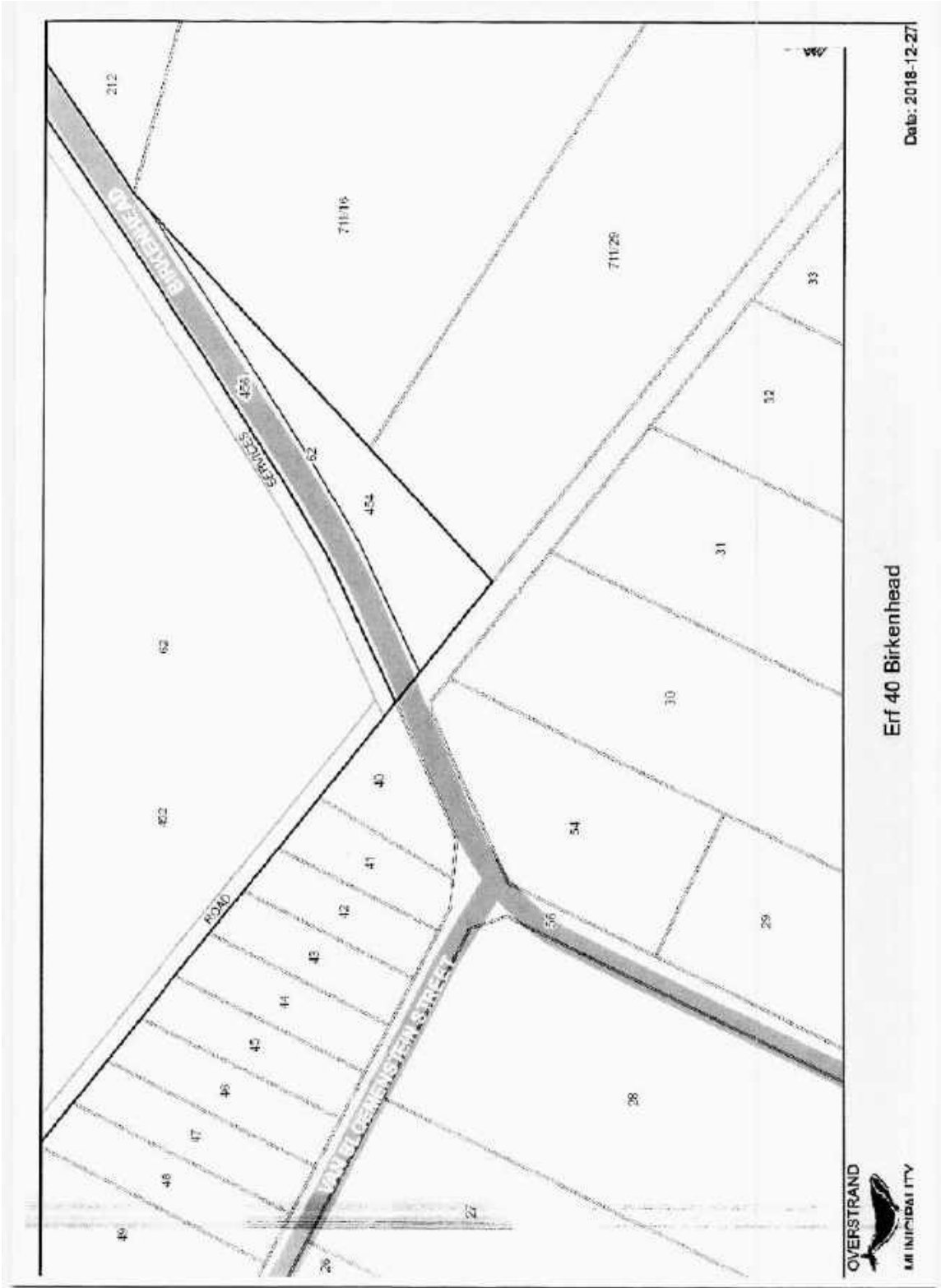
An application has been received on 18 December 2018 from Messrs PDM Consulting on behalf of White Shark Promotions (Pty) Ltd on Erf 40, Birkenhead for the following:

- ❖ removal of restrictive title conditions B, C.a, C.b, C.c, C.d, C.e, and C.g of Title Deed T55398/2018 in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) to accommodate a proposed residential building, and
- ❖ consent use in order to develop a residential building in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to accommodate a proposed residential building.

RECOMMENDATION

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 40, Birkenhead for the removal of restrictive conditions B, C.a, C.b, C.c, C.d, C.e, and C.g of Title Deed T55398/2018, **be approved** in terms of the provisions of Section 61 of the By-Law;
2. that the application for consent use in terms of Section 16(2)(o) of the By-Law, applicable to Erf 40, Birkenhead in order to develop a residential building, **be approved** in terms of the provisions of Section 61 of the By-Law, and ,
3. that the approvals in paragraph 1. and 2. above be subject to the following conditions:
 - (a) that the property be used as a residential building in accordance with the provisions of the Scheme Regulations only;
 - (b) that prior to the submission of building plans a Site Development Plan be submitted for municipal approval demonstrating compliance with the requirements of the Department of Transport and Public Works;
 - (c) that the development occur strictly in accordance with the approved Site Development Plan;

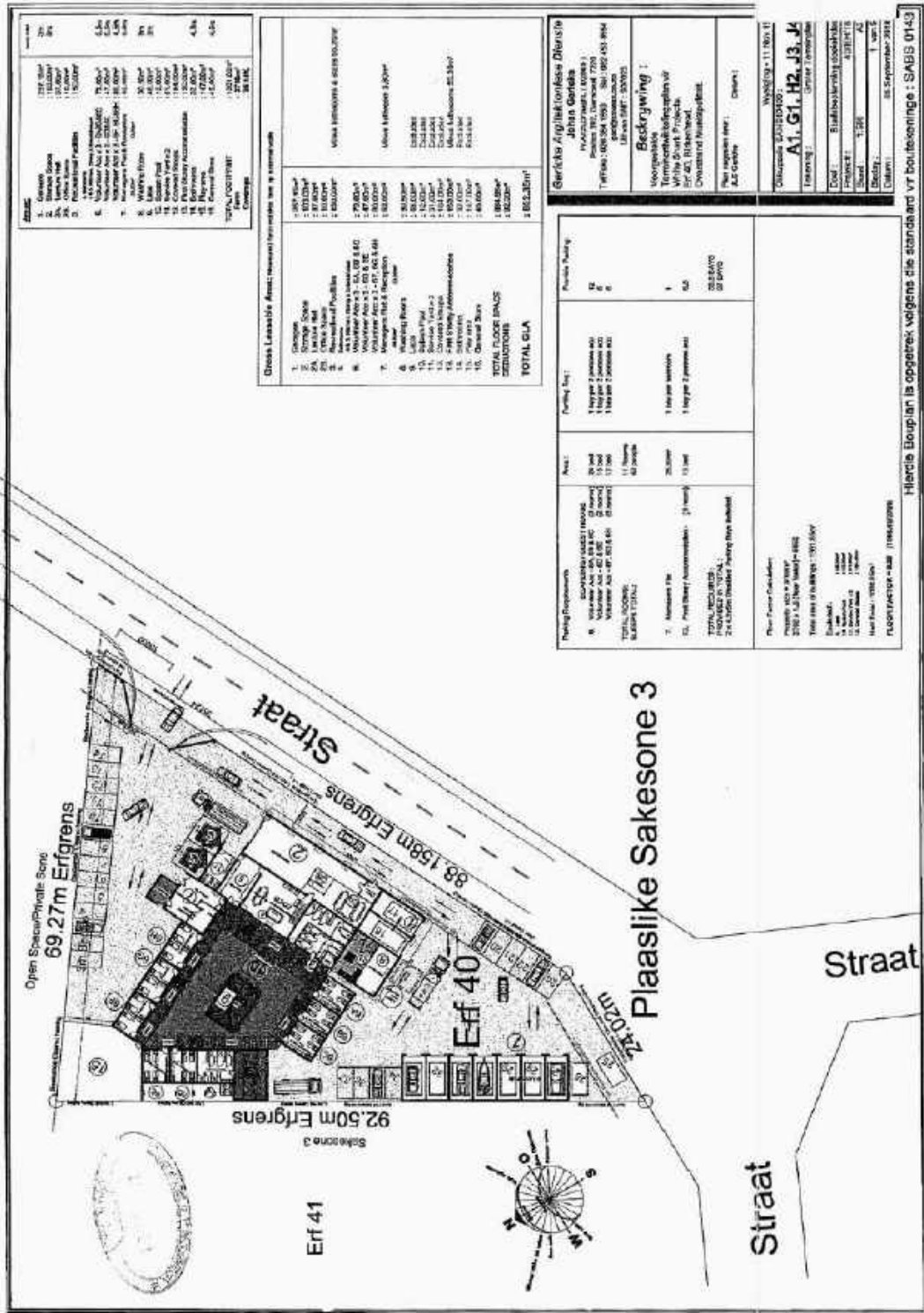
- (d) that building plans be submitted to the Building Department for approval and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (e) that the applicable tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (f) that all conditions imposed by the Fire Department, be complied with;
 - (g) that all the conditions in the Services Report, be complied with;
 - (h) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
 - (i) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation, and
 - (j) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
4. that the applicant/person who commented be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 40 Birkenhead

Date: 2018-12-27





Area's

1. Gravel	127,20m²	0,2%
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Check Leaseable Area's (measured from outside wall to a maximum)

1. Decking	1.000,00m²
2. Storage	1.000,00m²
3. Office	1.000,00m²
4. Other	1.000,00m²
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Gericks Afdeling (onafhanklik Dierstaf)
John Gericks
 Telfoon: 082 54 1953 - 381 - 982 43 884
 jgericks@gericks.co.za

Bevestiging:
 Voorliggende plan is goedgekeur deur die Owerheid van die Plaaslike Sakesone 3, Erf 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Plan oopmaak deur: 082 54 1953

Wagting: 11 800 11

Uitgawe: 2019/09/01

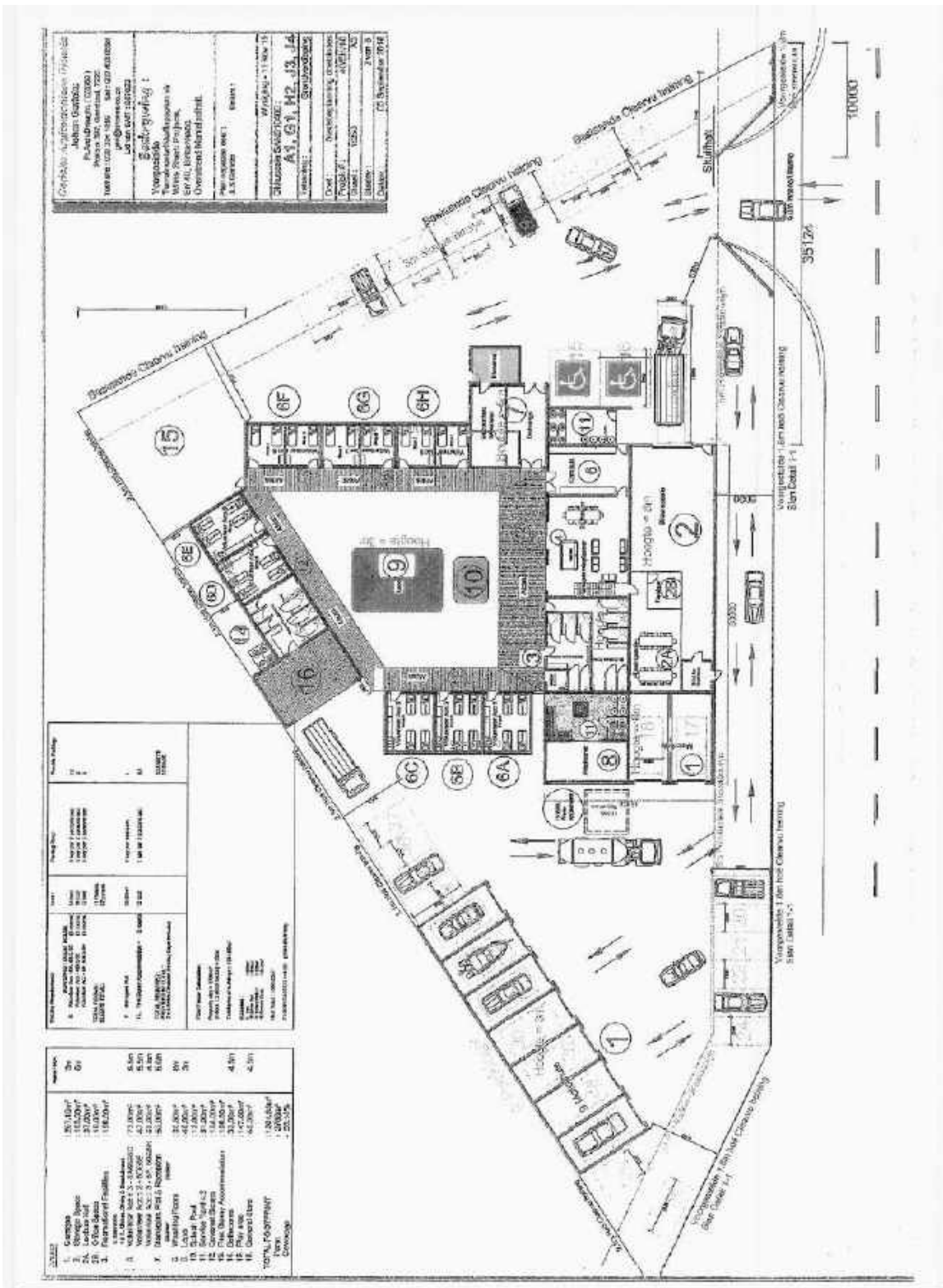
A1, G1, H2, J3, J4

Doel: Erfbesiters se eiendomme
Plan: 1:500
Skale: 1:500
Bladsy: 1 van 1
Datum: 05 September 2019

Check Leaseable Area's (measured from outside wall to a maximum)

Item	Area (m²)	Notes
1. Decking	1.000,00	1.000,00m²
2. Storage	1.000,00	1.000,00m²
3. Office	1.000,00	1.000,00m²
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Hierdie Bouplan is opgetreks volgens die standaard vr bouvoorskrif : SABS 0143



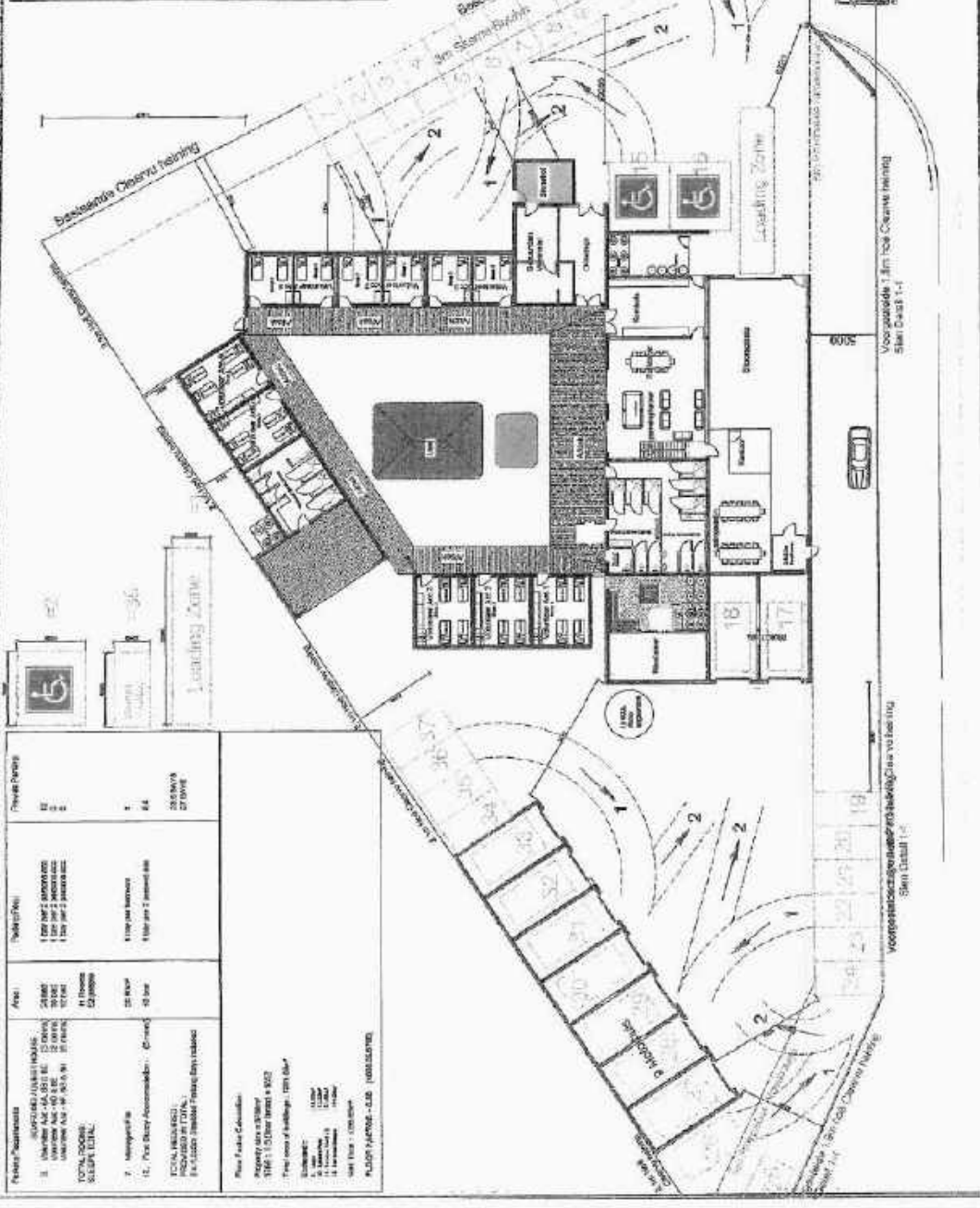
Overloopte Architectuurplanning
Wolven Diercke
 Architectuur (1999)
 Postbus 402, 1017 CA Amsterdam
 Telefoon: (020) 381 1301 Fax: (020) 424 2324
 e-mail: w.diercke@overloopte.nl

Bestuurlijke informatie:
 Gemeente Amsterdam
 Wijkvervalsing van
 de wijk Oud-Zuid
 Eiland, Buiten Noord
 Overstroomingsgebied
 Oudezijde Voorburgwal

Projectgegevens:
 Projectnaam: Oudezijde Voorburgwal
 Locatie: Oudezijde Voorburgwal 111-113
 Datum: 11-09-10

Ontwerp:
 Ontwerper: WOLVEN DIERCKE
 Team: A1, B1, H2, H3, J4
 Toetsing: 11-09-10

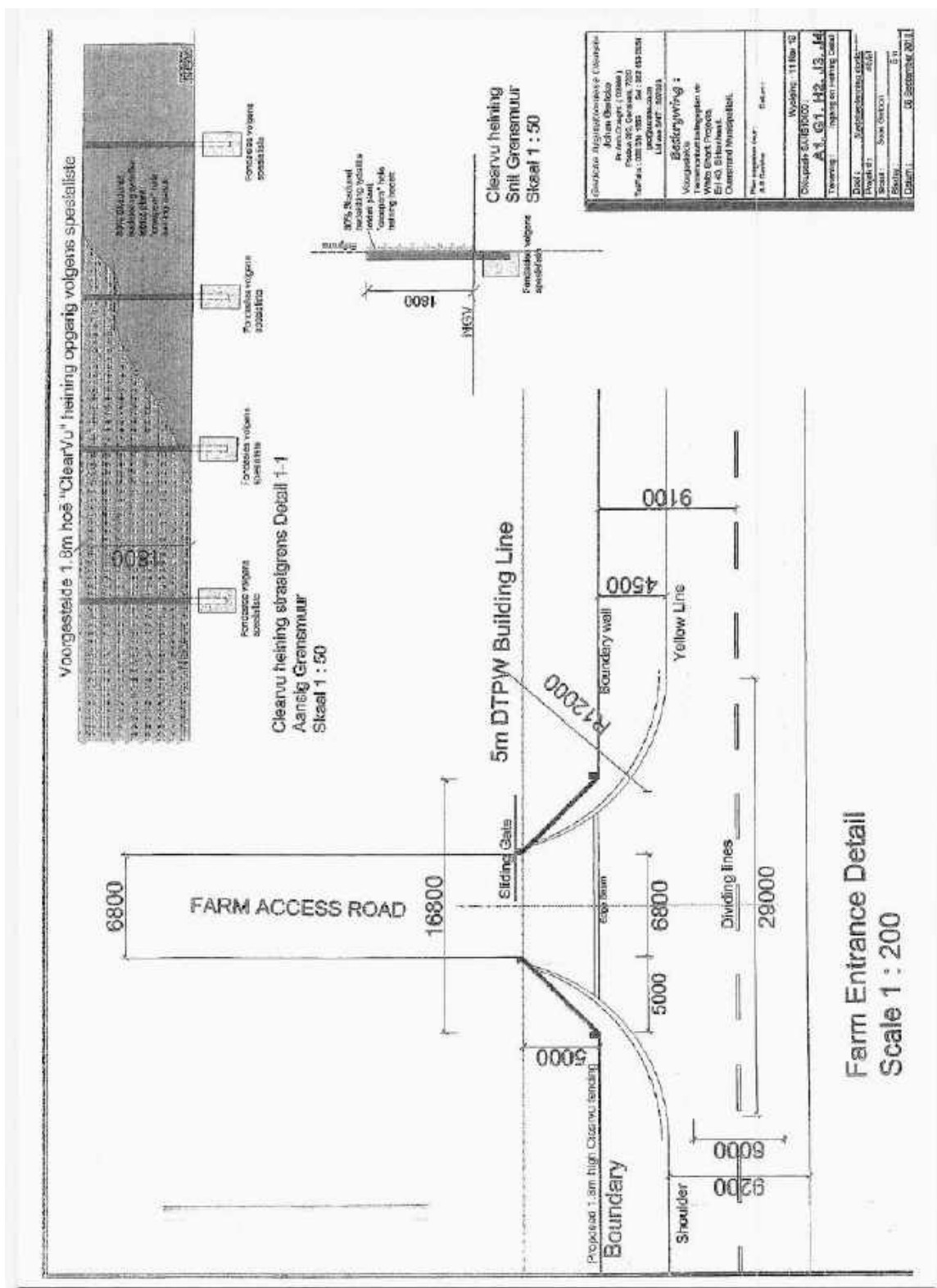
Doel: Architectuurplan (overstroomingsgebied)
 Toetsing: 11-09-10
 Schaal: 1:200
 OOR: 1:50
 Bladzijde: 4 van 16
 Datum: 11-09-2010 10:11



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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED
CONDITIONS & CONSENT USE: ERF 40, BIRKENHEAD (2835/2018)**

Electricity	:	Refer to conditions
Stormwater	:	Refer to conditions
Water	:	Refer to conditions
Sewer	:	Refer to conditions
Roads and traffic	:	Refer to conditions

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of actual payment. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 **Developments with free standing properties** (property that is subdivided and plots to be sold individually)

- 1.2 The BICLs are payable prior to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2019/2020) is as follows:

Water	R 22 925.00 x 3.7694	=	R 86 413.49
Sewerage	R 15 457.00 x 3.7694	=	R 58 263.62
Roads	R 6 931.00 x 26.5791	=	<u>R184 219.74</u>
TOTAL (inclusive of VAT)		=	<u>R328 896.85</u>

Note:

- 1.2.1 The above figures are estimates and do not include connection fees.
2. that the developer at his/her cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
3. that the developer shall apply to the Gansbaai Electrical Department for municipal electrical supply. The relevant bulk infrastructure levies shall be payable and the standard application procedures and fees will be applicable;
4. that the developer may apply to the Gansbaai Operational Department for municipal water supply. The relevant bulk

infrastructure levies shall be payable and the standard application procedures and fees will be applicable;

5. Alternatively, that the developer shall be responsible to provide potable water to the development that complies with SANS0241 standards and that relevant proof be submitted to the Manager: Water Infrastructure & Quality Overstrand Municipality (Tel-028 313 5072);
6. that the developer will be responsible to obtain the necessary approval, licence and permits from the applicable authorities (Water and Sanitation, Health, Bocma etc.) for the use of any other alternative water resources and the extraction thereof;
7. that the proposed development be provided with adequate sewer conservancy tanks, which must comply with the standards of the Department: Operational Services (Gansbaai);
8. that waste water disposal for the proposed development be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and DWA for approval;
9. that the developer complies to all the conditions set by Department Of Water Affairs & BOCMA in this regard;
10. that refuse removal will be removed from sidewalks as per municipal arrangement;
11. that on-site parking facility is provided as per Planning Schedule, and to the satisfaction of the Department: Operational Services.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

9. REMAINDER OF THE FARM LANDMETERS KOP NO 681 AND PORTION 26 (A PORTION OF PORTION 23) OF THE FARM PAAPJES VALEY NO 679, CALEDON DIVISION, OVERSTRAND MUNICIPAL AREA; PROPOSED SUBDIVISION AND CONSOLIDATION: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF LOT 1567 EMPANGENI (PTY) LTD

Ptn 26/679 RCAL (2987/2019)

SW van der Merwe (028) 313 8900

Hermanus Administration

7 February 2020

Executive Summary

Applications were received on 11 March 2019 from Messrs PlanActive Town- and Regional Planners on behalf of Lot 1567 Empangeni (Pty) Ltd on Remainder of the Farm Landmeters Kop No 681 and Portion 26 (a Portion of Portion 23) of the Farm Paapjes Valey No 679, Caledon Division, which applications is set out as follows:

- subdivision in terms of Section 16(2)(d) of the Overstrand Municipal Land Use Planning By-Law, 2015 (By-Law) of the Remainder of the Farm Landmeters Kop No 681 into two (2) portions, namely a Remainder (± 278 ha) and Portion A (± 282 ha), and
- consolidation in terms of Section 16(2)(e) of the By-Law of Portion A with Portion 26 (a Portion of Portion 23) of the Farm Paapjes Valey No 679.

RECOMMENDATION

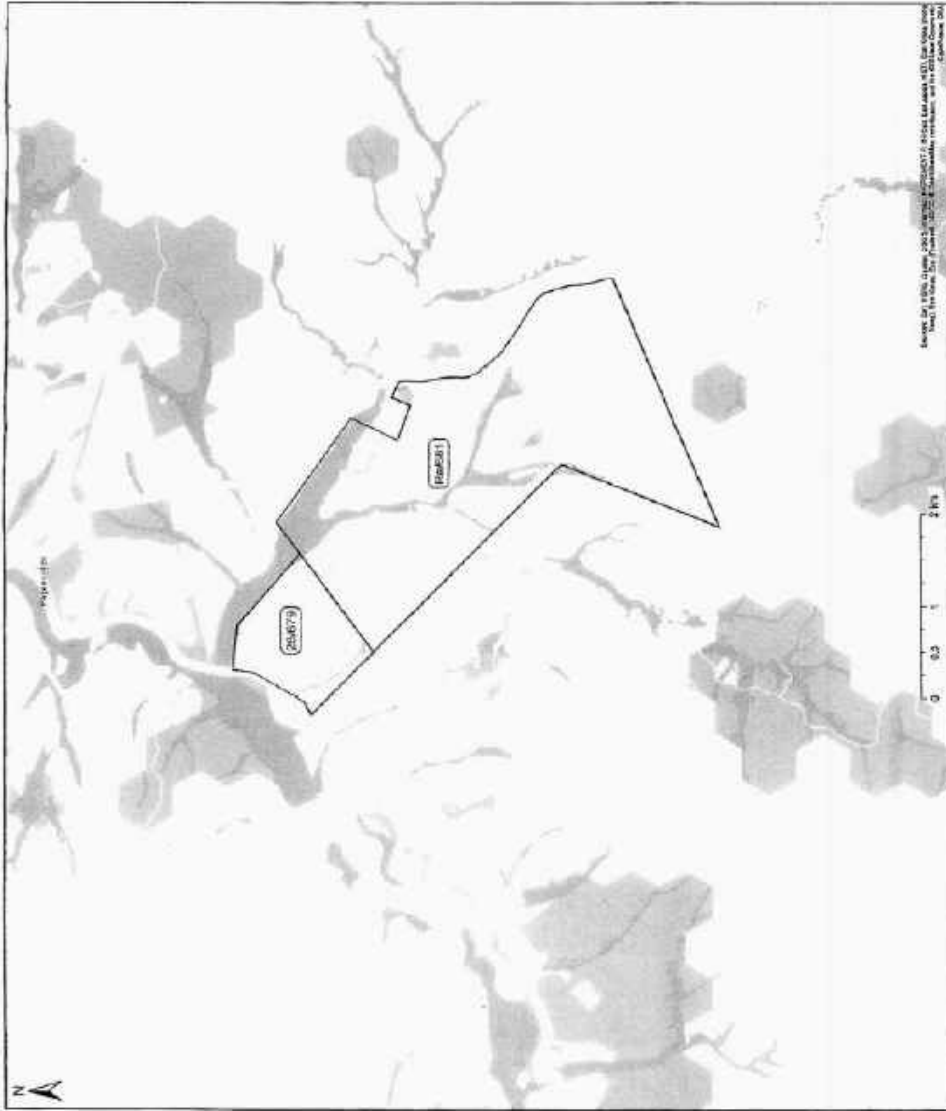
1. that the application in terms of Section 16(2)(d) and (e) of the Overstrand Municipal Land Use Planning By-Law, 2015 (By-Law) for the subdivision of the Remainder of the Farm Landmeters Kop No 681 into two (2) portions, namely a Remainder (± 278 ha) and Portion A (± 282 ha) and the consolidation of Portion A with Portion 26 (a Portion of Portion 23) of the Farm Paapjes Valey No 679, Division Caledon, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the consolidation of Portion A with Portion 26 (a Portion of Portion 23) of the Farm Paapjes Valey No 679, Division Caledon be registered simultaneous with the registration of the subdivision of the Remainder of the Farm Landmeters Kop No 681, Division Caledon;
 - (b) that the conditions by Eskom, Telkom, Department of Transport and Public Works and Department of Environmental Affairs and Development Planning: *Component: Development Planning Region 1*, be complied with;
 - (c) that the conditions compiled in the Services Report, be complied with;

- (d) that it is the owner's/applicant's responsibility to register the approved subdivision within five (5) years from the date of approval;
 - (e) that the applicable development parameters in terms of the Zoning Scheme Regulations be adhered to, and
 - (f) that this approval does not absolve the applicant from compliance with any other relevant legislation.
2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

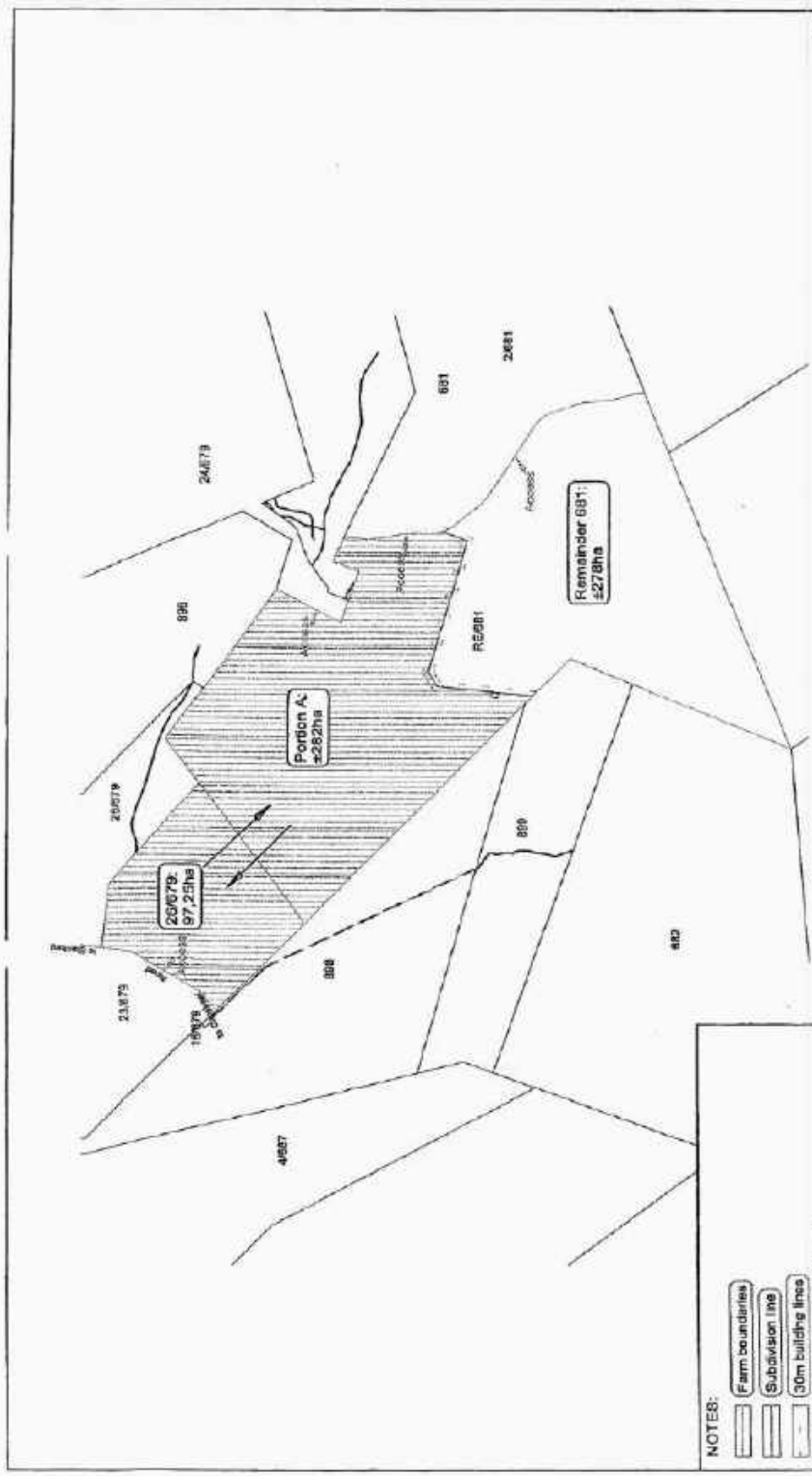
ANNEXURE A 1/1

- Legend**
- BBP OBA
 - CBA: Tamarisk
 - CBA: Tamarisk (CT)
 - CBA: Fomes
 - CBA: R-14W
 - CBA: E-Study
 - CBA: Wetland
 - CBA: Aquatic (CT)

Scale: 1:28 152
 Date created: February 4, 2019



Map created by: [unreadable]
 Date: 14/02/2019
 Project: [unreadable]
 Scale: 1:28 152
 Date created: February 4, 2019



NOTES:

- 1. Farm boundaries
- 2. Subdivision line
- 3. 30m building lines
- 4. Newly consolidated Ptn 26
- 5. Proposed subdivision of Farm farm Landmeter's No. 081
- 6. Ptn A, 2282ha
- 7. Remainder, 4278ha
- 8. Proposed connection:
- 9. Ptn A, a portion of Farm farm no. 081, of 97.25ha with
- 10. Proposed subdivision of Ptn A, 2282ha
- 11. No. 2282ha is newly consolidated portion of 8714.25ha.

PIA Active Sads-on Streetscape Town & Regional Planners

All drawings submitted are here subject to survey. Copy right reserved

Primary description: REM. FARM LANDMETER'S NO. 681 & PTN 26 OF FARM PVA-PIES VALLEY NC. 678

Plan Description: FARM BOUNDARY (Application & Certificate) PLAN

Scale: 1:22 800
Drawing No: 2018/01/01
Date: 15/01/2018



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION & CONSOLIDATION: REMAINDER
FARM LANDMETERSKOP NO. 681 & PORTION 26 OF THE FARM
PAAPJES VALLEY NO. 679, CALEDON DIVISION (2987/2019)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

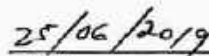
Conditions:

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water service from Overstrand Municipality is available and the developer is responsible for the provision of any water supply and/or services to the development.
3. that he developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
4. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality (Tel: 028 313 5046, email: probinson@overstrand.gov.za) ;
5. that no sewerage service from Overstrand Municipality is available and no municipal sewerage services will rendered to the development.
6. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility.
7. that the proposed development must be provided with adequate sewer conservancy tanks, which must comply with the relevant legislation.
8. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;

2 JUN 2019

9. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or -waste disposal facility.
10. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;
11. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
12. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
13. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

10. ERF 3821, 95 VILJOEN STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS FOR.SITE DESIGN ON BEHALF OF H BURGER

3821 HON (3075/2019)

H Olivier

(028) 313 8900

Hermanus Administration

8 January 2020

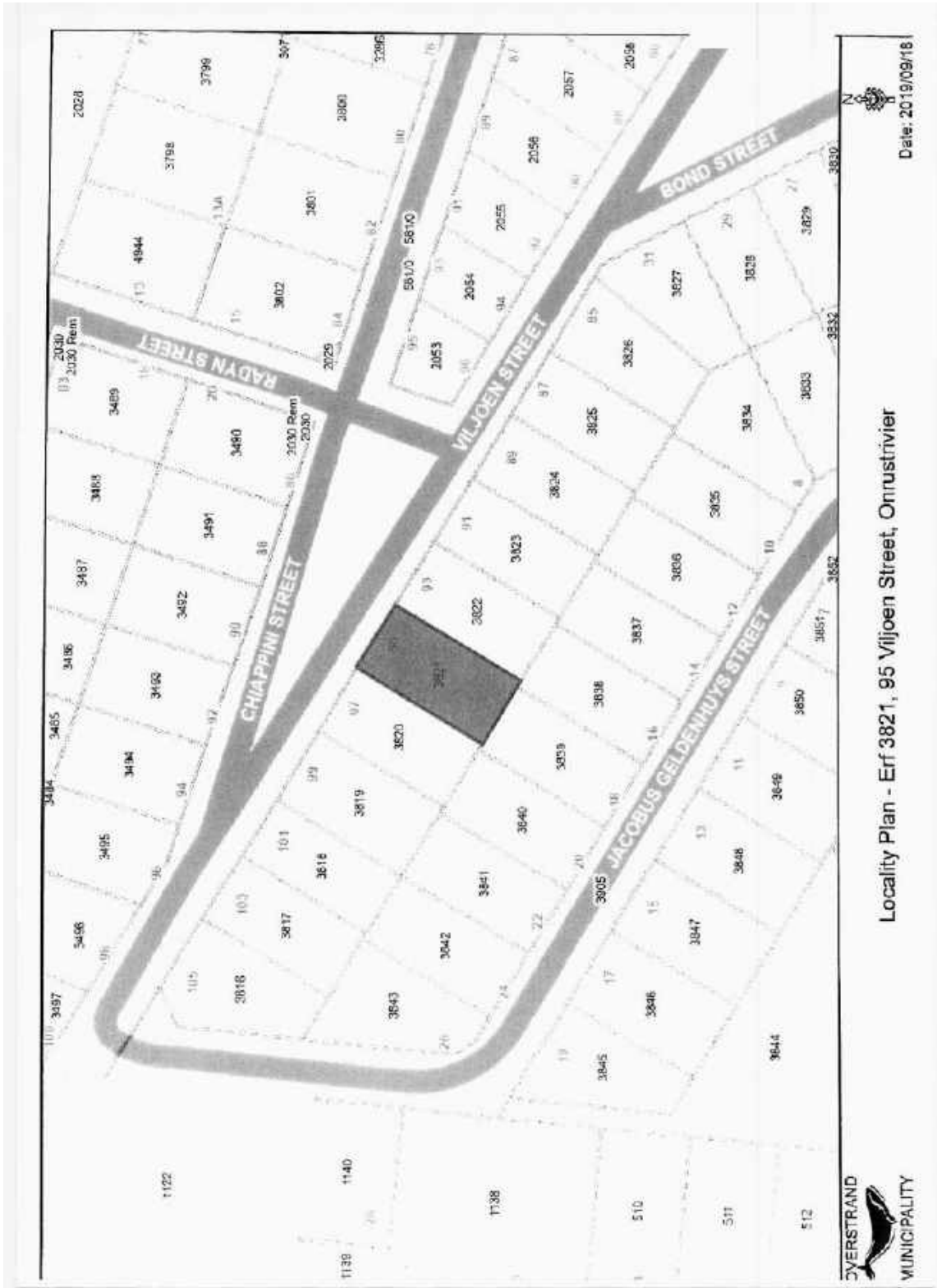
Executive Summary

An application has been received on 15 May 2019 from Messrs For.Site Design on behalf of H Burger on Erf 3821, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure from the Driehoek Special Zone to relax the western lateral building line from 2m to 1,12m to accommodate a built braai and to relax the eastern lateral building line from 2m to 0m to accommodate a shade port.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 3821, Onrustrivier to depart from the Driehoek Special Zone to relax the western lateral building line from 2m to 0,12m to accommodate a built braai and to relax the eastern lateral building line from 2m to 0m to accommodate a shade port, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the street building line as indicated on plan VL958 dated 20 November 2018 submitted with the application;
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with;
 - (f) that all the conditions by Telkom, be complied with, and
 - (g) that all the conditions by Eskom, be complied with.

2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



RATIONAL DESIGN
 17 TEMPS OF JUNE 2022 (A)

Client: [Redacted]
 Project: [Redacted]
 Date of drawing print: [Redacted]

Scale: 1:500

Location: [Redacted]

Notes: [Redacted]

Item	Description	Value
Area	1000.00	1000.00
Perimeter	100.00	100.00
Volume	1000.00	1000.00
Weight	1000.00	1000.00
Temperature	1000.00	1000.00
Humidity	1000.00	1000.00
Wind speed	1000.00	1000.00
Pressure	1000.00	1000.00
Altitude	1000.00	1000.00
Latitude	1000.00	1000.00
Longitude	1000.00	1000.00

Actual Building

FINE LINE

Professional Engineer
 License No. [Redacted]
 State of [Redacted]

ARBS:
 E1 300*
 E1 300*
 Address: [Redacted]
 Date: 2022-06-17

General Notes:
 This plan shows the property of the ARBS.
 The plan must be reproduced in any way without
 written consent of the ARBS.
 These plans are for general reference purposes only.
 All dimensions to be checked on site before
 construction of any
 structure.
 Do not scale this plan, use written instructions.
 All work to be carried out in accordance with OHS
 10000

For.Site
 design · CONSULT

office contact: Joel Cooley
 joelcooley@for.site.com
 075 512 1811

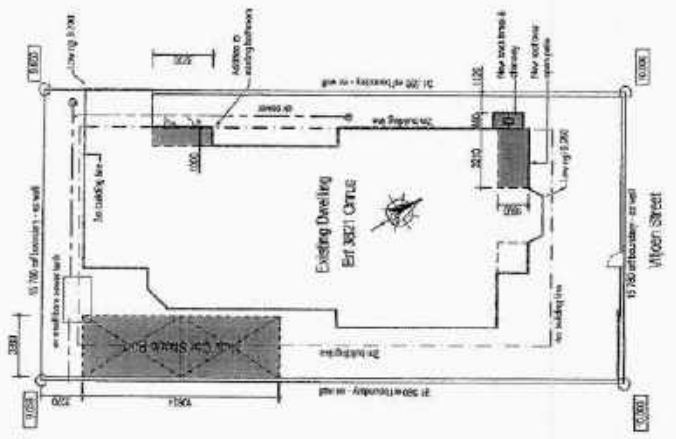
Project: **House Buyer**
 Alterations to Existing
 Council Approval drawing only

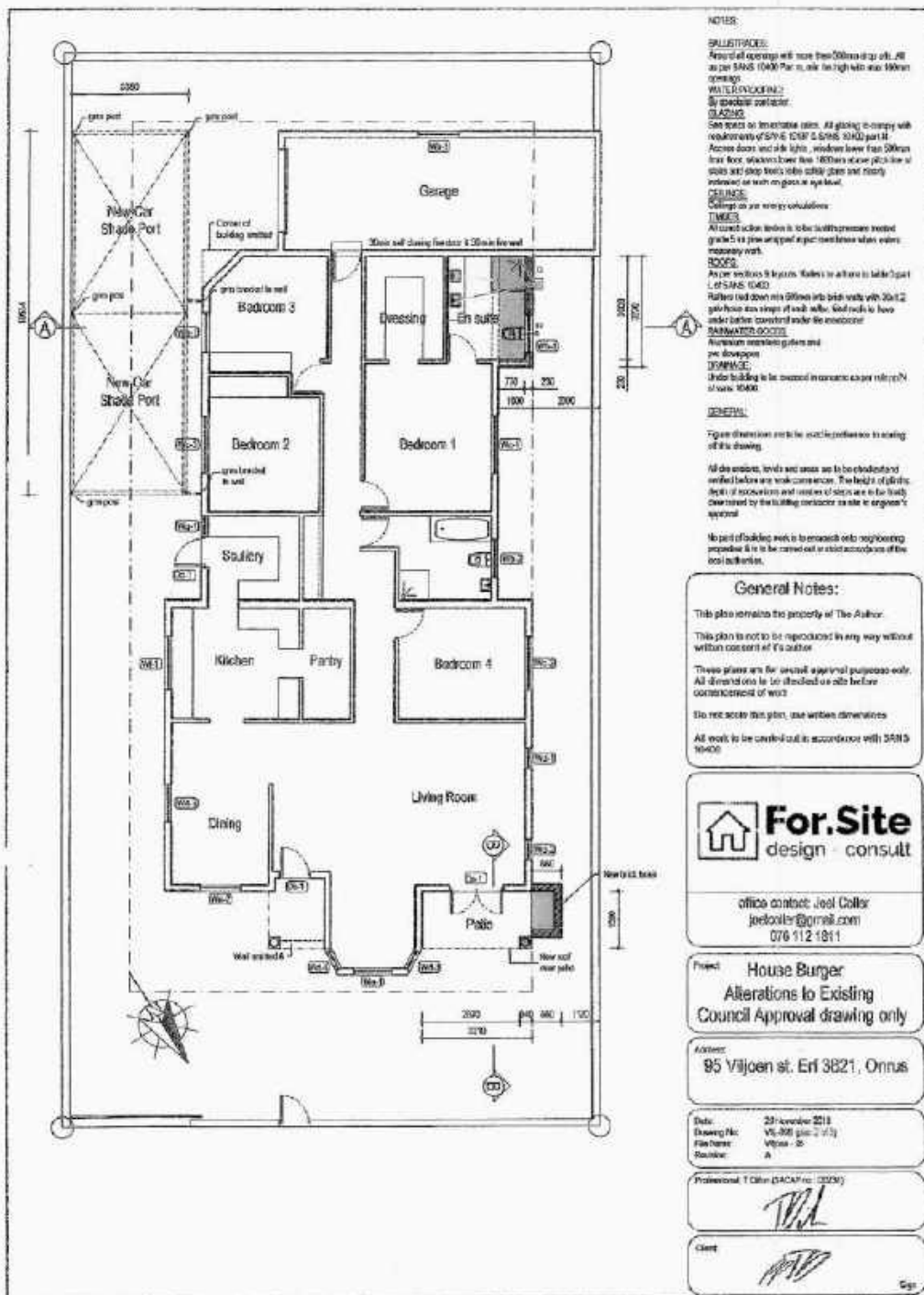
Address: **95 Viljoen st, Erf 3821, Ottens**

Date: 20 November 2025
 Drawn by: [Redacted]
 Checked by: [Redacted]

Professional Engineer (No. 123456)

Client: [Redacted]





NOTES:

QUALITY:
 All work to be done in accordance with the SANS 10400 Part 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

WATER/LOADING:
 See notes on structural plans. All glazing to comply with requirements of SANS 10400 Part 14.

GLAZING:
 All glazing to be done in accordance with the SANS 10400 Part 14. All glazing to be done in accordance with the SANS 10400 Part 14. All glazing to be done in accordance with the SANS 10400 Part 14.

CEILING:
 Ceiling to be done in accordance with the SANS 10400 Part 14.

FLOORING:
 All floor covering to be done in accordance with the SANS 10400 Part 14.

ROOFING:
 All roof covering to be done in accordance with the SANS 10400 Part 14.

PAINTING:
 All painting to be done in accordance with the SANS 10400 Part 14.

GENERAL:
 All work to be done in accordance with the SANS 10400 Part 14.

General Notes:

This plan remains the property of The Author.

This plan is not to be reproduced in any way without written consent of the Author.

This plan is for general informational purposes only. All dimensions to be checked on site before commencement of work.

No part of building work is to proceed until engineering approval is obtained.

For.Site
 design - consult

office contact: Joel Coller
 joelcoller@for.site.com
 076 112 1811

Project: **House Burger**
 Alterations to Existing
 Council Approval drawing only

Address:
85 Viljoen st. Erf 3821, Onrus

Date: 28 November 2018
 Drawing No: V18-001 (plan 2 of 3)
 File Name: V1801 - 20
 Revision: A

Professional T Oth (SACAP No: 02296)

[Signature]

Client

[Signature]

General Notes:

The plan shows the property of the clients.
 This plan is not to be reproduced in any way without written consent of the author.

These plans are not to be used for any purpose other than the construction of the building as shown on the drawings.
 All work to be carried out in accordance with S.A. 102 (1965).

Do not scale the drawings, use written dimensions.

All work to be carried out in accordance with S.A. 102 (1965).

For.Site
 design · consult

office contact: Jod Collins
 jcollins@for.site.com
 076 712 1611

Project: House Burger
 Alterations to Existing
 Council Approval drawing only

Address: 95 Viljoen st. Erf 3821, Onrus

Date: 30 November 2013
Drawn by: J.C.
Checked by: J.C.
Scale: 1:100

Prepared by: (Mark Gurnell) (S. 3007)

Client:

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3821, ONRUS RIVER (3075/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 3821, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.

p.p. R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/10/2019
DATE

11. ERF 761, 16 HOPE STREET, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED REZONING & DEPARTURE : INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF LEDNURA CONSULTING (PTY) LTD

761 HNC (3768)

H van der Stoep

(028) 313 8900

Hermanus Administration

30 December 2019

Executive Summary

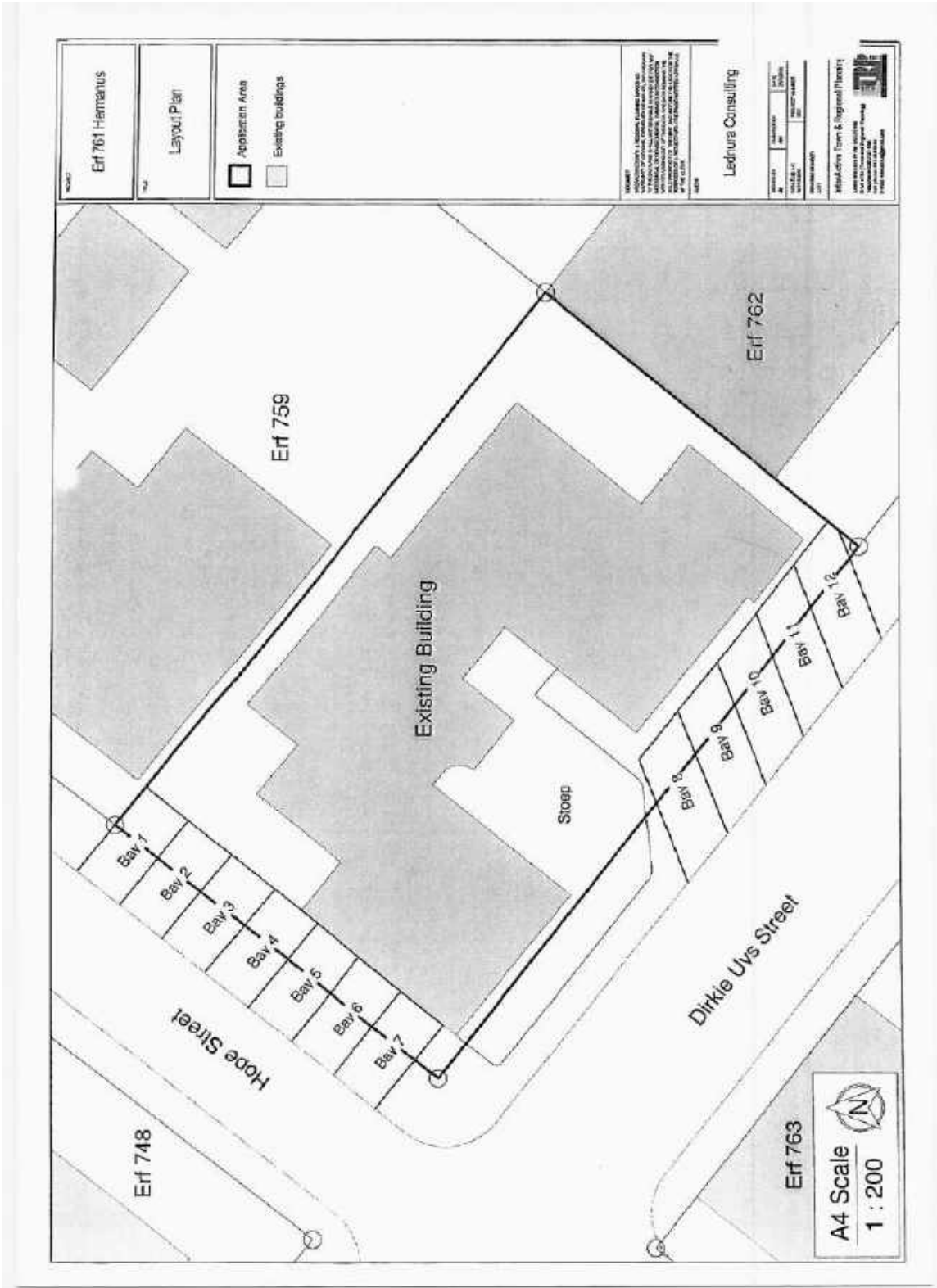
An application has been received on 5 October 2018 from Messrs InterActive Town & Regional Planning on behalf of Lednura Consulting (Pty) Ltd on Erf 761, Hermanus for the following:

- ❖ Rezoning in terms of Section 16(2)(a) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to rezone Erf 761, Hermanus from General Residential Zone 1: Town Housing (GR1) to Business Zone 1: General Business (B1).
- ❖ Departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the required parking bays from sixteen (16) bays to twelve (12) bays.

RECOMMENDATION

1. that the application in terms of Section 16(2)(a) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) to rezone Erf 761, Hermanus from General Residential Zone 1: Town Housing (GR1) to Business Zone 1: General Business (B1), **be approved** in terms of the provisions of Section 61, subject to the following conditions:
 - (a) that a parking lay-out compliant with the Overstrand Zoning Scheme and parkingstandards be submitted within thirty (30) days after the appeal period;
 - (b) that discussions entered into between the applicant and the Municipality within one (1) month after the appeal period has lapsed;
 - (c) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (d) that this approval does not absolve the applicant from compliance with any other relevant legislation;

- (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.
2. that the application for departure in terms of Section 16(2)(b) of the By-Law on Erf 761, Hermanus in order to relax the required parking bays from sixteen (16) bays to twelve (12) bays, **not be approved**.
 3. that should no agreement be reached, the property reverts to its original zoning of General Residential Zone I.
 4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above decision.



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING & DEPARTURE: ERF 761, NORTHCLIFF (3768)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	Refer to Condition 6 & 7

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of actual payment. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

1.1 Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)

The BICLs are to be paid in full prior to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

1.2 Developments with free standing properties (property that is subdivided and plots to be sold individually).

The BICLs are payable prior to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2019/2020) is as follows:

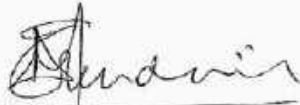
Freehold erven:

Water	R 22 925.00 x 0.012=	R 275.10
Sewerage	R 15 457.00 x 0.012=	R 185.48
Roads	R 6 931.00 x 6.1358=	R 42 527.23
Stormwater	R 7 997.00 x 0.7933=	R 6 344.02
Solid Waste	R 1 386.00 x 0.4875=	R 675.68
TOTAL (inclusive of VAT)	=	<u>R 50 007.51</u>

Note:

- 1.3 The above figures are estimates and exclude investigation and connection fees and tariffs.**
2. that only the standard water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;

3. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
4. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
5. that any commercial food preparation facilities (e.g. restaurant / guest house etc.) must be provided with a grease trap, which must comply with the standards and specification of the Department: Operational Services;
6. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that, the developer shall enter into a service agreement with the Council to provide alternative parking in terms of Section 17.1.2 (Alternative parking provision) of the Zoning Scheme Regulations (or as amended) and/or in accordance with applicable Overstrand municipal policies and council resolutions.
8. that stormwater be allowed to discharge through Erf 761, Northcliff, unobstructed



DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES

08/10/2019
DATE

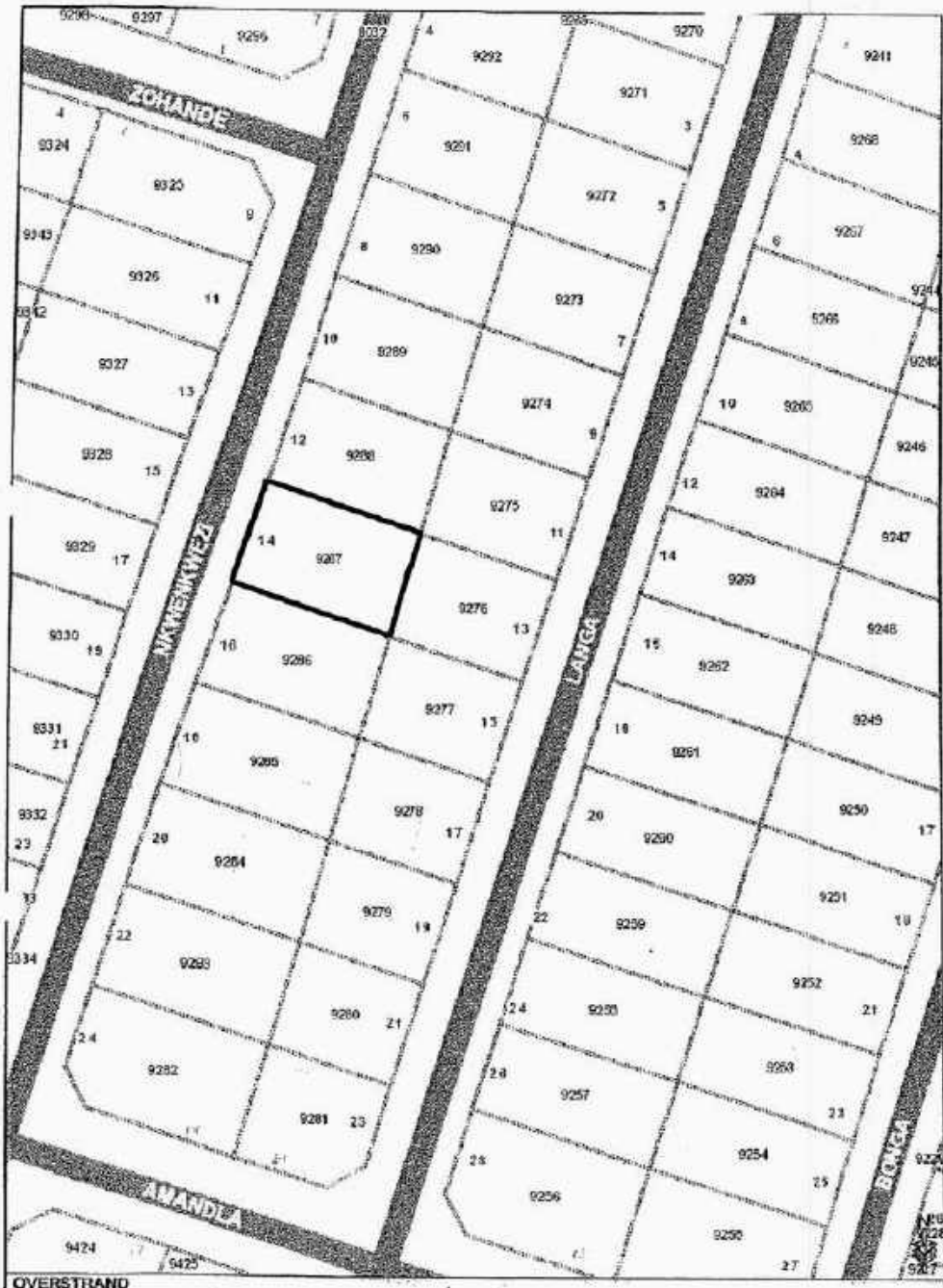
12. ERF 9287, NKWENKWEZI STREET, ZWELIHLE, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: S CALATA**9287, HWZ (3192/2019)****H Olivier****(028) 313 8900****Hermanus Administration****6 January 2020**

Executive Summary

An application has been received on 4 June 2019 from S Calata on Erf 9287, Zwelihle for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the street building line from 4m to 2m to accommodate an extension to the garage and the lateral western building from 1m to 0m to accommodate a portion of the garage and first storey portion of the dwelling on first storey level.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 9287, Zwelihle to relax the 4m street building line to 2m and the western lateral building line from 1m to 0m to accommodate an extension to the garage and dwelling, be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of the building lines as indicated on Plan No. ZWL/0419 dated 8 April 2019 submitted by the architect;
 - (b) that all the conditions by Telkom, be complied with;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (e) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with, and
 - (f) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



ERF 9287, NKWENKWEZI STREET, ZWELIHLE

Date: 2019-10-17

GENERAL NOTES

THIS DRAWING IS CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS ON SITE AND TO CORRECT ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.

ALL DIMENSIONS TO BE READ IN CONNECTION WITH SPECIFICATIONS AND NOTES.

ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.

ALL DIMENSIONS ARE IN METERS.

NO.	REVISION	DATE

PROPOSED ADDITIONS & ALTERATIONS

HOUSE NONE

ERF. 9287

KWABA KWASA STR.

20MELINLE

OVERSTRAND

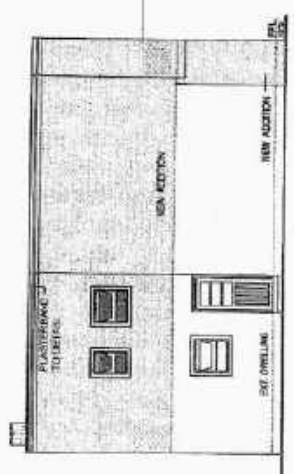
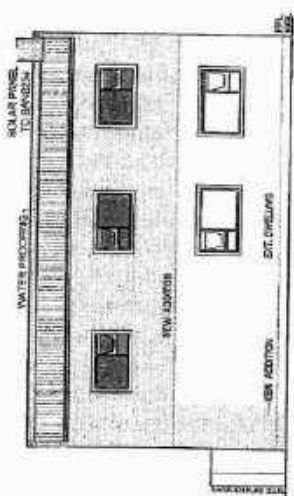
CHP

CHP CONSULTANTS

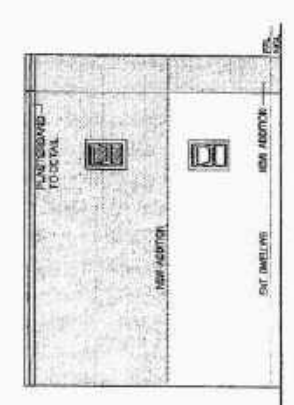
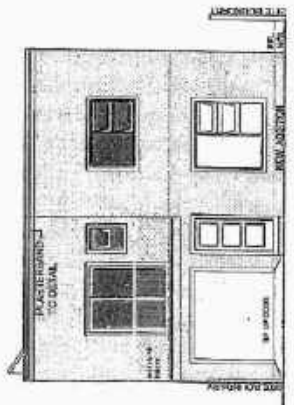
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DWG. NO. 1/3

Scale: 1:100



RAM BLOCKS:
 1. TO BE USED FOR ALL EXTERIOR WALLS.
 2. TO BE USED FOR ALL EXTERIOR CORNERS.
 3. TO BE USED FOR ALL EXTERIOR ROOF EDGES.
 4. TO BE USED FOR ALL EXTERIOR WALLS OVER 2.0M HIGH.
 5. TO BE USED FOR ALL EXTERIOR WALLS OVER 2.0M HIGH.
 6. TO BE USED FOR ALL EXTERIOR WALLS OVER 2.0M HIGH.



ENERGY CONSUMPTION ALLOWED:

RESIDENTIAL: 120 kWh/m²/yr (170 kWh/m²/yr max)

COMMERCIAL: 200 kWh/m²/yr (250 kWh/m²/yr max)

INDUSTRIAL: 300 kWh/m²/yr (350 kWh/m²/yr max)

MAX. ENERGY DEMAND ALLOWED: 150 W/m²

MAX. ENERGY USED: 150 W/m²

OR: 150 W/m²

OR: 150 W/m²

LIGHTING: OCCUPANCY CLASS 24

TOTAL NET FLOOR AREA: 68.3m²

ENERGY DEMAND: 5.0kWh/m²/yr

MAX. ENERGY DEMAND ALLOWED: 150 W/m²

TOX T1W: 110.0kWh/m²/yr

ENERGY USED: 1.32kWh/m²/yr

OR: 1.32kWh/m²/yr

OR: 1.32kWh/m²/yr

S&S NOTES:

ORIENTATION: EAST, WEST

POT. WATER SUPPLY: TO BE CONNECTED TO 100L GEYSER

SOLAR PANELS CONNECTED TO RELEVANT SANS CODES

CAPACITY TO HAVE MIN. RAINWATER INSULATION TO HAVE MIN. RAINWATER FOR HOT AND COLD WATER PIPES

S&S:

- 1. 100mm
- 2. 100mm
- 3. 100mm
- 4. 100mm
- 5. 100mm
- 6. 100mm
- 7. 100mm
- 8. 100mm
- 9. 100mm
- 10. 100mm
- 11. 100mm
- 12. 100mm
- 13. 100mm
- 14. 100mm
- 15. 100mm
- 16. 100mm
- 17. 100mm
- 18. 100mm
- 19. 100mm
- 20. 100mm

CLIENT NOTES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 ALL WORKS TO COMPLY WITH NATIONAL, STATE AND LOCAL BUILDING AND ELECTRICAL CODES.
 ALL DIMENSIONS TO BE TAKEN IN CONNECTION WITH RESPECTIVE PLANS.
 ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER IMMEDIATELY.
 ALL DIMENSIONS ARE IN METERS.

PROPOSED ADDITIONS & ALTERATIONS:
 HOUSE NONE
 ER# 5307
 KWASA KWASA STE.
 ZWELIPILE
 OVERSTRAND

CH F

CLIENT: S. BRALDWIN
 ARCHITECT: S. BRALDWIN
 Call: 074 877 8027
 EMAIL: sbraldwin@gmail.com
 A114 ALDRICH CREED
 HAWTORN T122

PROJECT: DWG NO. 3/3
 DATE: 16/10/19
 SHEET: 4 OF 04



FIRST STOREY PLAN 1:100



GROUND PLAN 1:100

GENERAL NOTES:
 ALL LEVELS AND DIMENSIONS MUST BE DECIDED ON SITE BEFORE COMMENCEMENT OF WORK.
 ALL DIMENSIONS TO BE TAKEN IN CONNECTION WITH RESPECTIVE PLANS.
 ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER IMMEDIATELY.
 ALL DIMENSIONS ARE IN METERS.

REVISIONS:
 NO. DATE DESCRIPTION

WALLS:
 ALL WALLS TO BE 100mm THICK UNLESS OTHERWISE SPECIFIED.
 ALL EXTERNAL WALLS TO BE 200mm THICK.
 ALL INTERNAL WALLS TO BE 100mm THICK.
 ALL WALLS TO BE FINISHED WITH 10mm GYPSUM BOARD AND 10mm PLASTER.
 ALL WALLS TO BE FINISHED WITH 10mm GYPSUM BOARD AND 10mm PLASTER.
 ALL WALLS TO BE FINISHED WITH 10mm GYPSUM BOARD AND 10mm PLASTER.

FLOORS:
 ALL FLOORS TO BE FINISHED WITH 100mm SAND AND 100mm CONCRETE.
 ALL FLOORS TO BE FINISHED WITH 100mm SAND AND 100mm CONCRETE.
 ALL FLOORS TO BE FINISHED WITH 100mm SAND AND 100mm CONCRETE.

DOORS:
 ALL DOORS TO BE 2100mm HIGH AND 900mm WIDE.
 ALL DOORS TO BE 2100mm HIGH AND 900mm WIDE.
 ALL DOORS TO BE 2100mm HIGH AND 900mm WIDE.

WINDOWS:
 ALL WINDOWS TO BE 1200mm HIGH AND 1500mm WIDE.
 ALL WINDOWS TO BE 1200mm HIGH AND 1500mm WIDE.
 ALL WINDOWS TO BE 1200mm HIGH AND 1500mm WIDE.

ROOF:
 ALL ROOFS TO BE FINISHED WITH 100mm SAND AND 100mm CONCRETE.
 ALL ROOFS TO BE FINISHED WITH 100mm SAND AND 100mm CONCRETE.
 ALL ROOFS TO BE FINISHED WITH 100mm SAND AND 100mm CONCRETE.

CEILING:
 ALL CEILING TO BE FINISHED WITH 10mm GYPSUM BOARD AND 10mm PLASTER.
 ALL CEILING TO BE FINISHED WITH 10mm GYPSUM BOARD AND 10mm PLASTER.
 ALL CEILING TO BE FINISHED WITH 10mm GYPSUM BOARD AND 10mm PLASTER.

MECHANICAL:
 ALL MECHANICAL TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 ALL MECHANICAL TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 ALL MECHANICAL TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

FINISHES:
 ALL FINISHES TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE.
 ALL FINISHES TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE.
 ALL FINISHES TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE.

UNLATCHED SCHEDULE:

ITEM	QTY	UNIT	AREA	MAT.
1	1	sqm	1.00	100
2	1	sqm	1.00	100
3	1	sqm	1.00	100
4	1	sqm	1.00	100
5	1	sqm	1.00	100
6	1	sqm	1.00	100
7	1	sqm	1.00	100
8	1	sqm	1.00	100
9	1	sqm	1.00	100
10	1	sqm	1.00	100
11	1	sqm	1.00	100
12	1	sqm	1.00	100
13	1	sqm	1.00	100
14	1	sqm	1.00	100
15	1	sqm	1.00	100
16	1	sqm	1.00	100
17	1	sqm	1.00	100
18	1	sqm	1.00	100
19	1	sqm	1.00	100
20	1	sqm	1.00	100

NOTES:
 ALL DIMENSIONS ARE IN METERS.
 ALL DIMENSIONS TO BE TAKEN IN CONNECTION WITH RESPECTIVE PLANS.
 ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER IMMEDIATELY.
 ALL DIMENSIONS ARE IN METERS.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 9287, ZWELIHLE (3192/2019)**

Stormwater (SW) : In Order
 Electricity : In Order
 Water : In Order
 Sewer : In Order
 Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 9287, Zwelihle, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES


 DATE

13. ERF 5537, 107 FIRST AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: S SCHUTTE ON BEHALF OF LM STEYN AND M STEYN

5537 KKM (3418/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

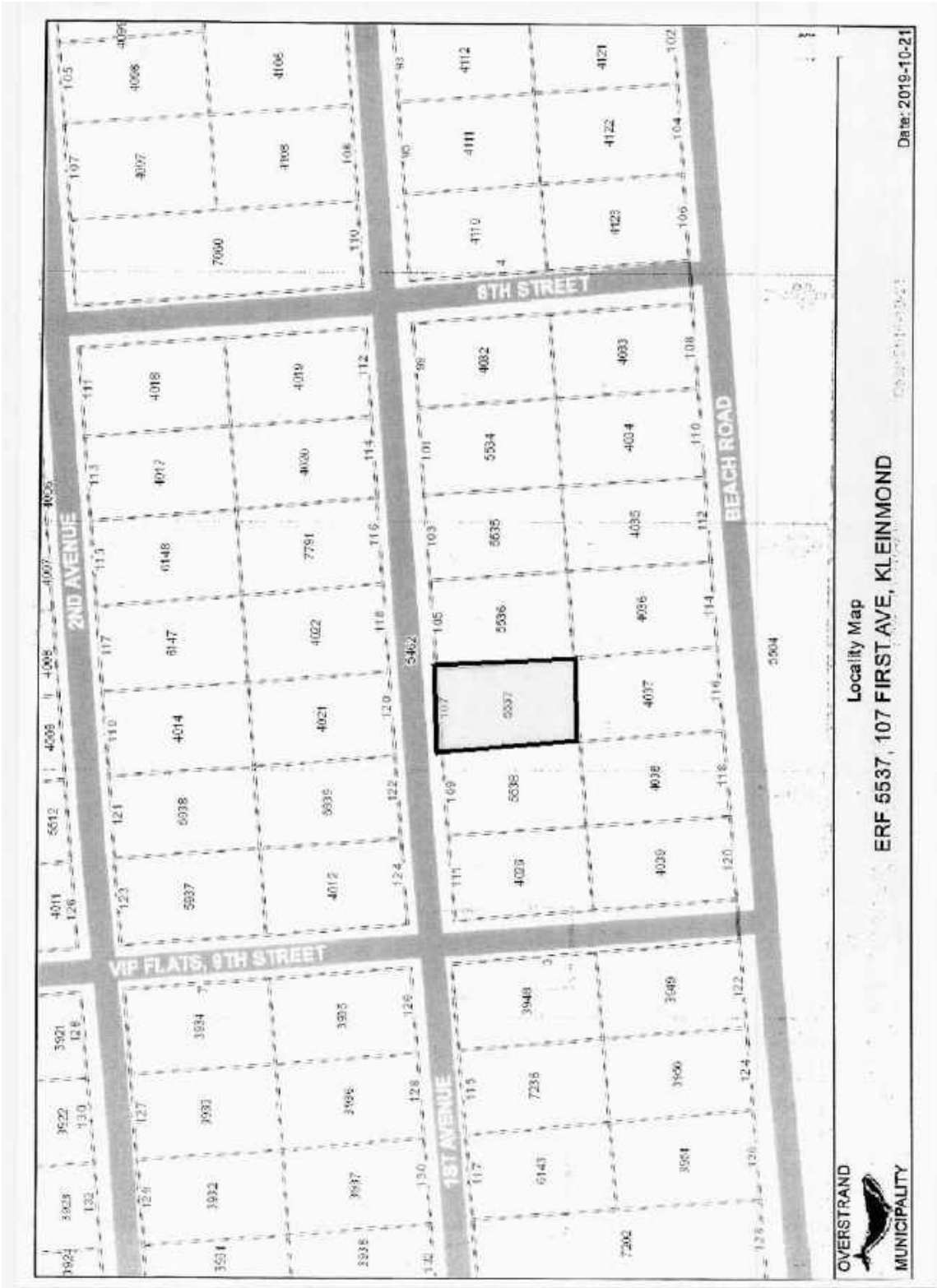
30 December 2019

Executive Summary

An application has been received on 3 October 2019 from S Schutte on behalf of LM and M Steyn on Erf 5537, Kleinmond in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a departure in order to relax the lateral building line from 2m to 1,5m and to depart from the 9m or third of the boundary restriction of buildings over the building line to accommodate the pool and extension of the garage.

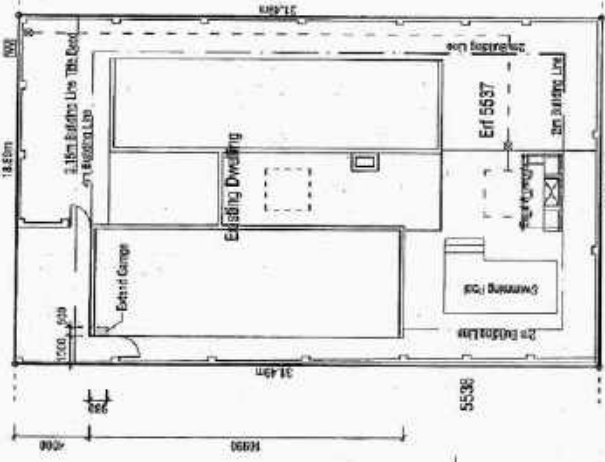
RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 5537, Kleinmond for a departure in order to relax the lateral building line from 2m to 1,5m and to depart from the 9m or third of the boundary restriction of buildings over the building line to accommodate the pool and extension of the garage, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan no. D1300.K 1-3 dated 3 October 2019, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



All details here plus however minor, require notes to and approved by the Architect in writing. Failure to do so will make the Architect or JRF liable for responsibility relating directly or indirectly to an omission.

1st Avenue



Site Plan
Scale 1:200

Project:		Town Planning Application	
Site Plan		Extend Garage	
Erf No. 5537		107 1st Avenue	
Kleinmond		Kleinmond	

Drawn	Scale	1:200
Checked	1:5	SS
Project No.	Project Title	207 9/10/03
D.1300.K	Sheet No.	1 of 3

Client:	Steyn	1848
Client Signature:		
Project Reg No.:	PA 001 7/07	

Architect:	Sandra Schutte	
Address:	14001 1st Ave Kleinmond	
Phone:	083 271 2226	
Fax:	021 954 002	
Cell:	082 992 7195	
Email:	sandra@schuttearchitect.com	

Area:	0.47m ²
Balance:	54.45m ²
Footing:	55m ²
Coverage:	54%

Class of occupancy of building:	Residential
Occupancy:	Dwelling House
Provision:	B
Direction:	South
Climate Zone:	4 - Transitional Coastal

Section dimensions apply. All measurements shall be based on the below section dimensions. Copyright © 2003 Sandra Schutte Architects or agents must be referred to by the Architect.

All divisions from plan, however noted, must be reported to and approved by the Architect in writing. Failure to do so will absolve the Architect of ANY/LITTLE responsibility relating directly or indirectly to the divisions.

270
270
270



Ground Storey Plan
Scale 1:100

Special Specifications
 All building work in accordance with the National Building Regulations and the South African Standard Code of Practice SANS 10400.
 Sewer work in accordance with the National Building Regulations and Municipal By-laws.
 All electrical work in accordance with the National Building Regulations and the Occupational Health and Safety Act.
 All concrete work in accordance with SANS 2010-211 & SANS 10454-1.
 Fire safety in compliance with SANS 10600-1 and SA Government Fire Safety By-Law No. 10654 - 2003.
 All materials and fittings used to be SABS approved.
 It is the responsibility of the Client to appoint a Land Surveyor to provide a survey of the site.
 It is the responsibility of the Client to appoint a Health and Safety Agent to comply with the Construction Regulations 2014 and the Occupational Health and Safety Act.
 All concrete work to comply with SANS 2010-211 & SANS 10454-1.
 All construction plans to be submitted by retailers in accordance with the relevant legislation.

Scale dimensions in feet. All measurements have to be checked on the before work can commence. Copyright reserved by the architect. All rights reserved.

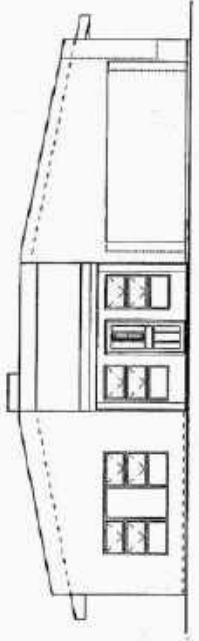
Sandra Schutte
 Architect (S.A.)
 in Public Practice
 Tel & Fax
 083 271 4336
 111 Main Road
 P.O. Box 50
 Kleinmond
 7125
 Email: sds@schutte.co.za

Client: **Shayn**
 Scale: 1/648
 Date: 16/04/2017

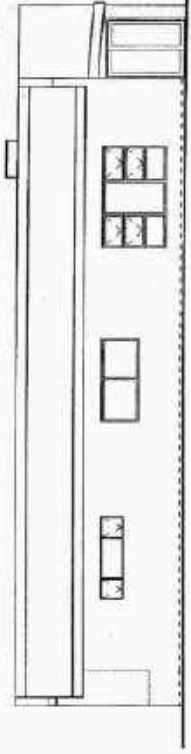
Project:
**Town Planning Application
 Extend Garage
 Erf No. 5537
 107 1st Avenue
 Kleinmond**

Drawing Ground Storey Plan	
Scale	1:100
Drawn	J.S. (checked) SS
Project No	2016/1002
Revision No	1
Sheet No	2 of 3

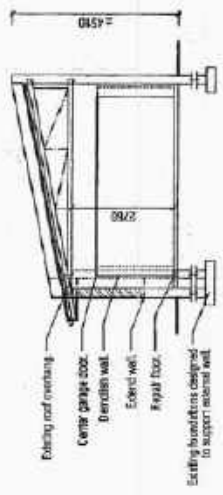
All sections herein are the owner's risk. They must be checked to and approved by the architect or engineer before being used for construction. The architect or engineer is not responsible for any errors or omissions in this document.



North Elevation



West Elevation



Section A-A
Scale 1:100

Standard drawings based on measurements were taken to develop an architectural drawing. Any dimensions or errors must be corrected by the architect.

Sandra Schutte



ARCHITECT
121 Main Road
PO Box 22
Kalamazoo, MI 49001
Tel: 269-771-4200
Fax: 269-771-4200

Client: Steyn
Owner Signature: [Signature]
Project No.: 1648

Project:
Town Planning Application
Extend Garage
Eri No. 5537
107 1st Avenue
Kalamazoo

Drawing:
Elevations, Section
Scale: 1:100

Drawn	LS	Checked	SS
Project No.	Revision	Date	2019/10/03
D:\1200LK	1	Sheet No.	3 of 3

14. ERF 6189, 1 FOURTEENTH STREET, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS PLAN ACTIVE TOWN- AND REGIONAL PLANNERS ON BEHALF OF LETS TRADE 1237 CC

6189 KKM (3036/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

24 December 2019

Executive Summary

An application has been received on 29 April 2019 from Messrs Plan Active Town and Regional Planners on behalf of Lets Trade 1237 CC on Erf 6189, Kleinmond in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following departures:

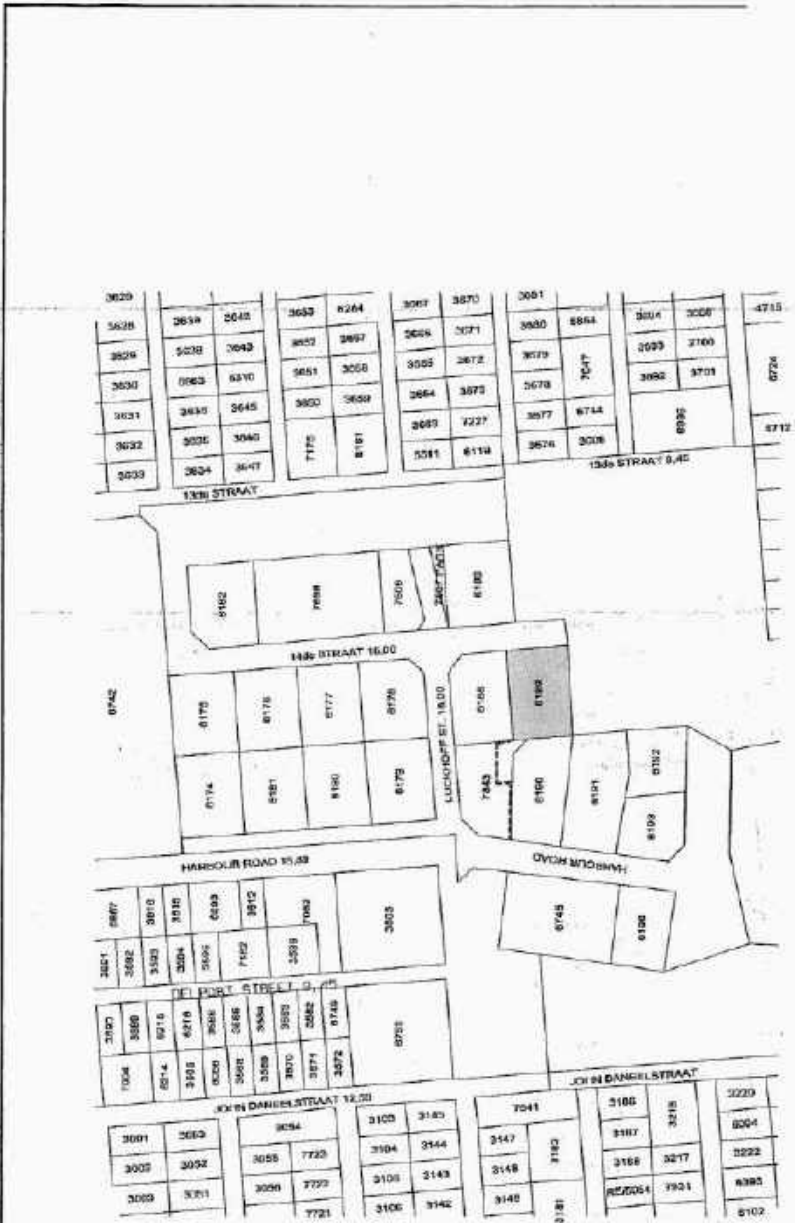
- to relax the northern lateral building line from 2m to 1m in order to make provision for twelve (12) storage units (G1 to G12);
- to relax the southern street building line from 5m to 2m to make provision for the building line encroachment of thirteen (13) proposed single storey units (G17 to G29);
- to relax the western/rear building line from 2m to 0m to make provision for the building line encroachment of six (6) single storey storage units (G12 – G17), and
- departure of parking requirements from 2/100m² to 1/100m² for storage units.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 6189, Kleinmond for the following departures:
 - to relax the northern lateral building line from 2m to 1m in order to make provision for twelve (12) storage units (G1 to G12);
 - to relax the southern street building line from 5m to 2m to make provision for the building line encroachment of thirteen (13) proposed single storey units (G17 to G29);
 - to relax the western/rear building line from 2m to 0m to make provision for the building line encroachment of six (6) single storey storage units (G12 - G17), and
 - departure of parking requirements from 2/100m² to 1/100m² for storage units,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that this approval is only for the development as indicated on plan no. D.1215K 1-3 dated 15 April 2019, as submitted with the application;
 - (b) that should the use change from storage to any other land use under Industrial Zone 1, the parking requirements for Industrial Zone 1 of two (2) parking bays per 100m² the required loading bays have to be provided;
 - (c) that the height be restricted to single storey of 5,5m in height;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



PLAn Active Stads- en Streeksbeplanners
Town & Regional Planners

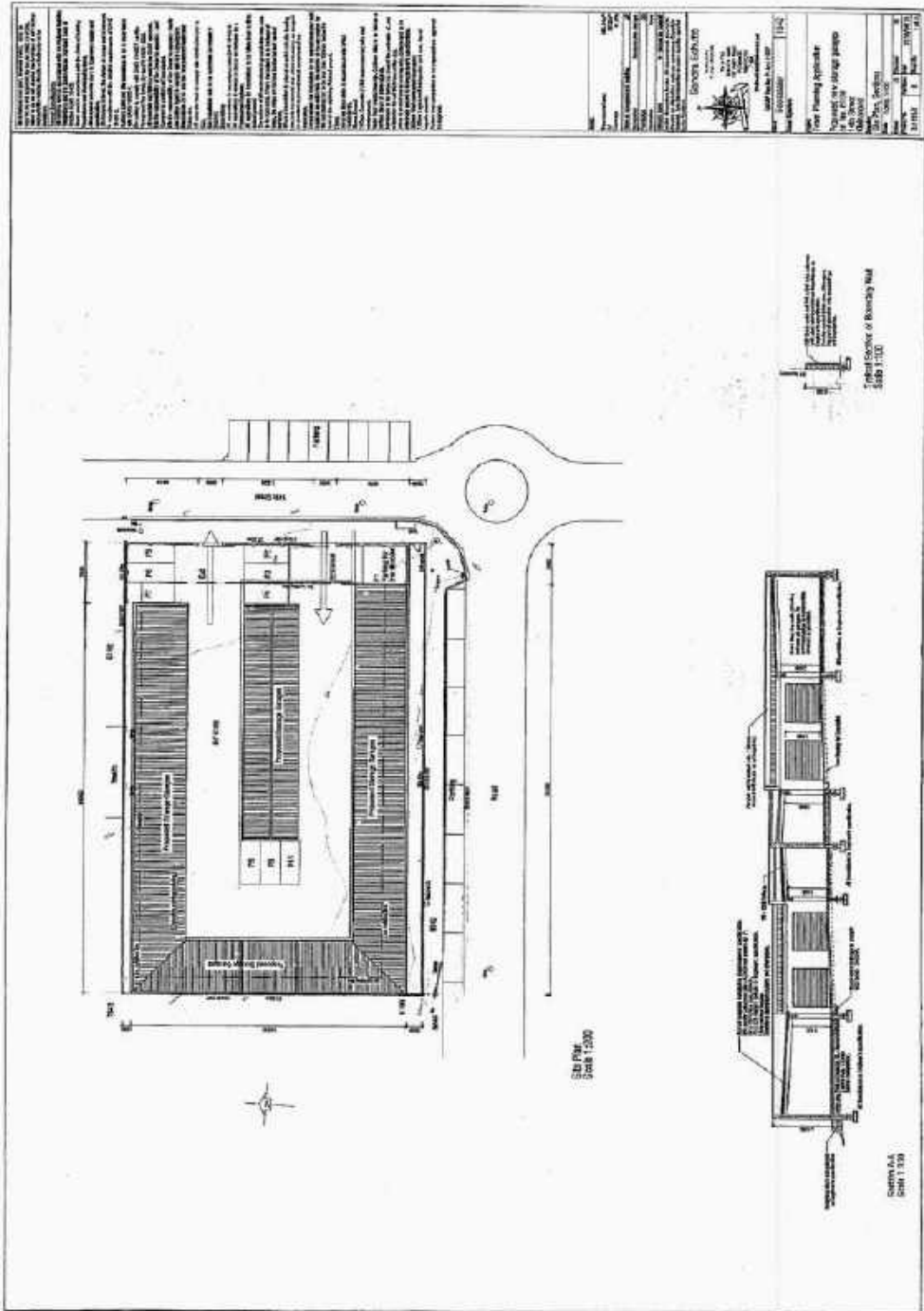
Property Description:
ERF 6189
KLEINMOND

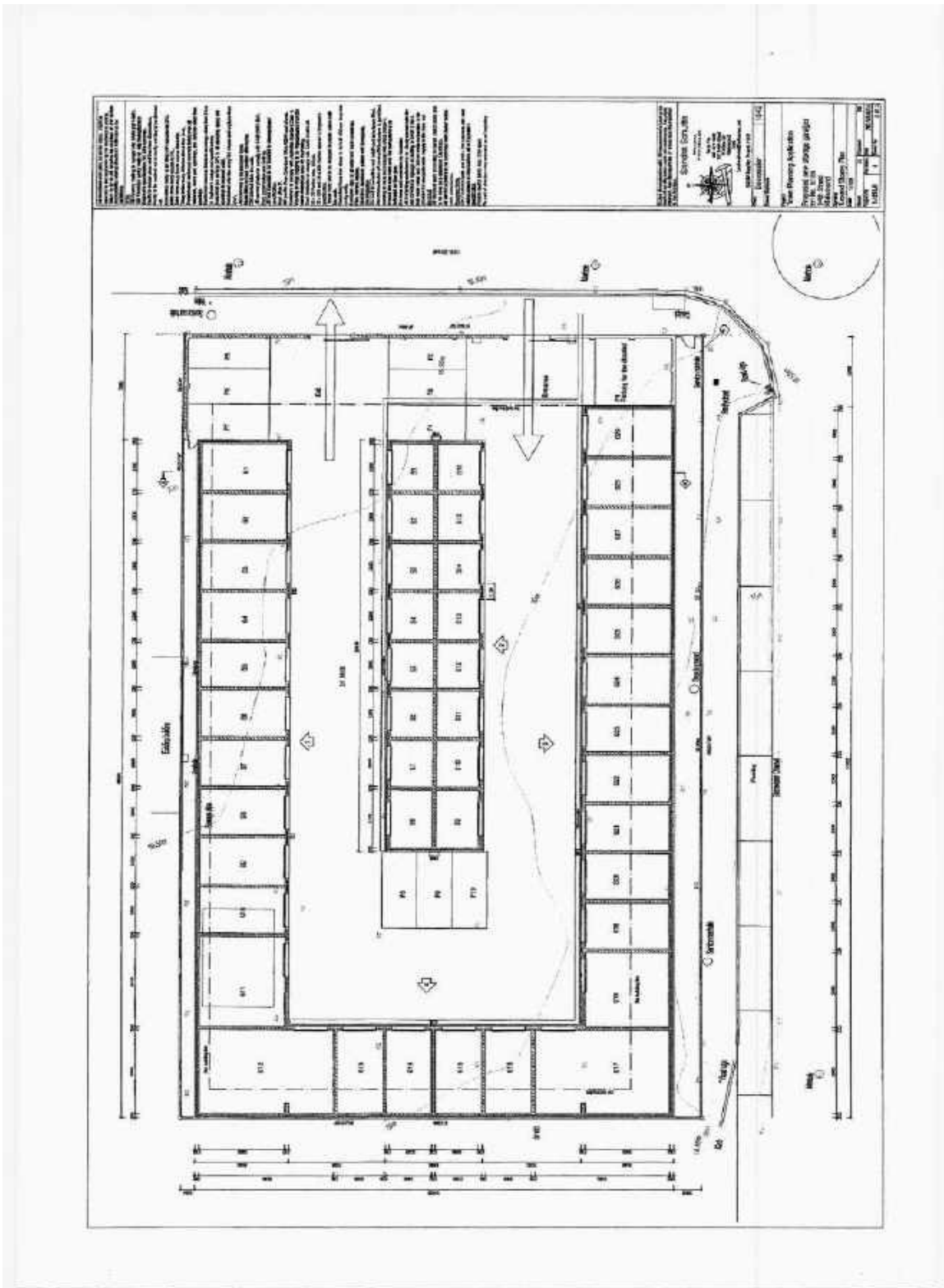
Plan Description:
LOCALITY MAP

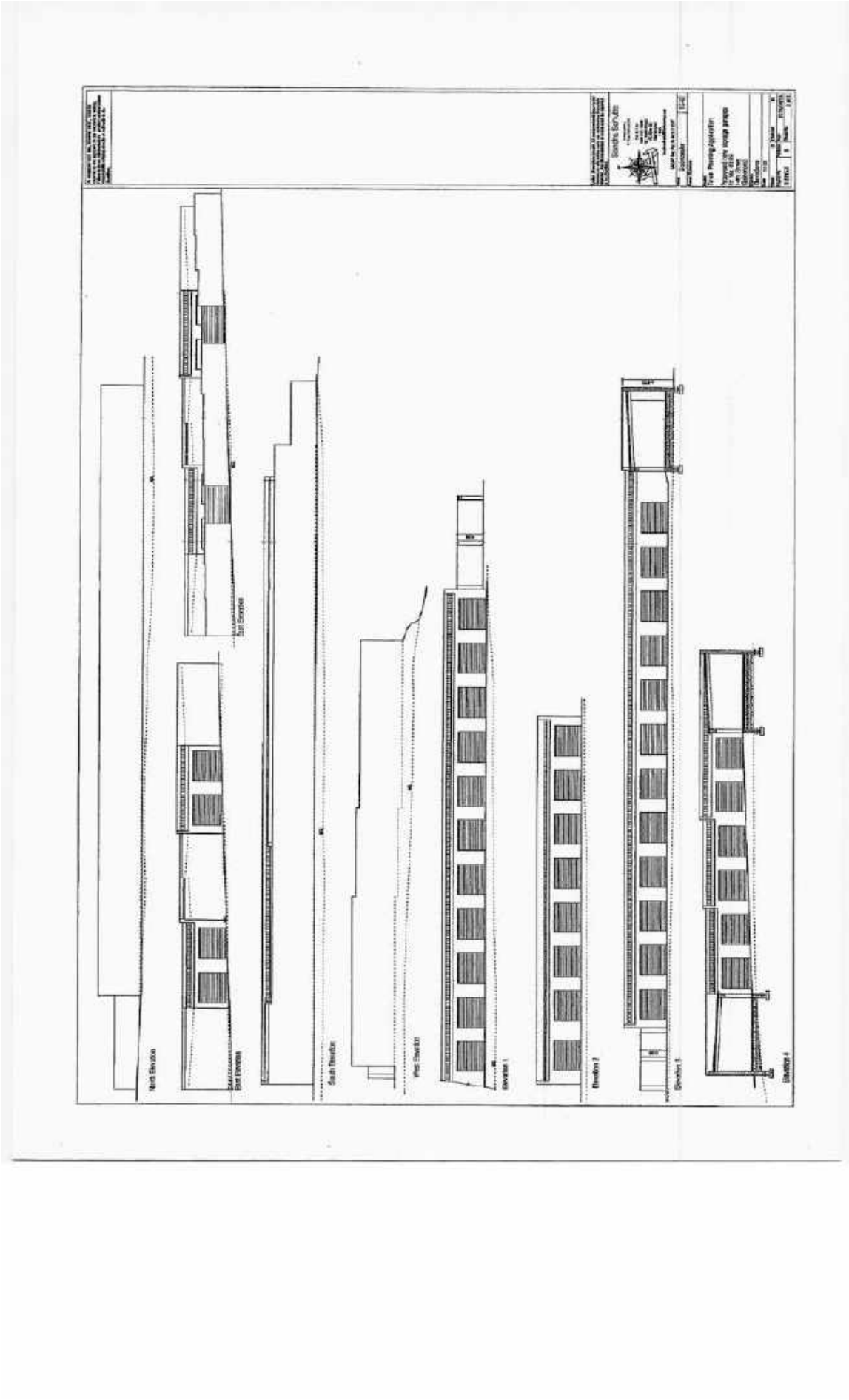
Scale: NTS
Drawing Nr: Kalm3189.dwg
Date: 04/2019

All distances approximate and subject to survey.
COPY RIGHT RESERVED









**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 6189, KLEINMOND (3036/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 6189, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

Dennis Hendriks
DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

14/09/2019
DATE

15. ERF 6437, 88 DAHLIA STREET, MOUNT PLEASANT, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: CJ & D ABRAHAMS

6437 HMP (2944/2019)

H Olivier

(028) 313 8900

Hermanus Administration

11 December 2019

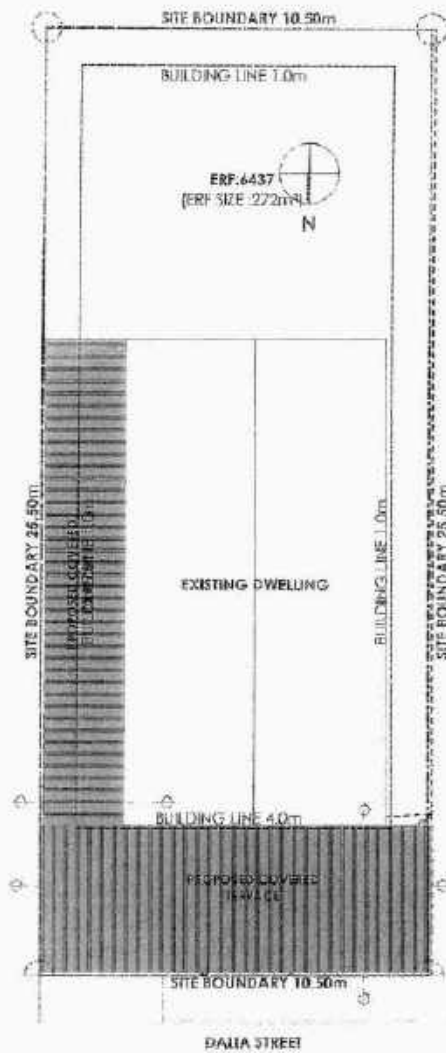
Executive Summary

An application has been received on 13 February 2019 from CJ & D Abrahams on Erf 6437, Mount Pleasant for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the street building line from 2m to 0m and the lateral building line with Erf 6346 from 1m to 0m to accommodate a built braai and covered terrace, and also to relax the lateral building line with Erf 6438 from 1m to 0m to accommodate a carport structure.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 6437, Mount Pleasant to relax the street building line from 2m to 0m to accommodate a built braai and covered terrace, **not be approved.**
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 6437, Mount Pleasant to relax the western lateral building line with Erf 6436 from 1m to 0m to accommodate a built braai and covered terrace, **not be approved.**
3. that the decisions in Points 1., and 2. above be subject to the following condition:
 - (a) that all buildings or structures not approved be demolished to the satisfaction of the Building Control Department.
4. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 6437, Mount Pleasant to relax the eastern lateral building line from 1m to 0m to accommodate a carport structure, **be approved**, subject to the following conditions:
 - (a) that this approval is only for the carport structure up to and in line with the northern front wall of the existing dwelling;

- (b) that building plans [for the carport] be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
5. that the applicant and objector be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



15 MAR 2018

1:100

SITE PLAN LAYOUT

1:100

SAFA Architecture

Project Name
HOUSE ADAPTATIONS

Client Name

Design No.
MP/0119-100

Scale
1:100
Drawing No.
SA/0119-100

Date

15/03/18

15/03/18

15/03/18

15/03/18

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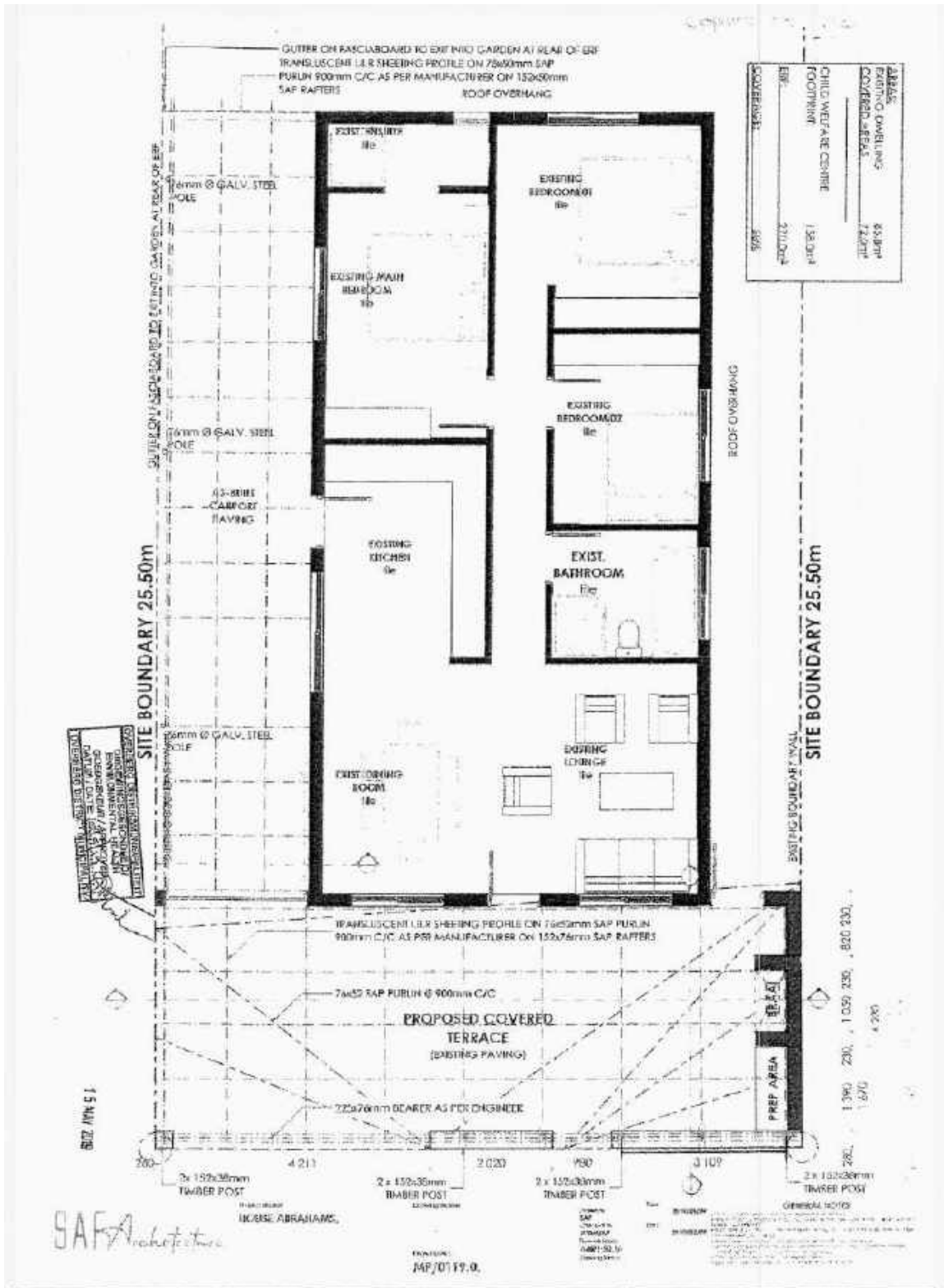
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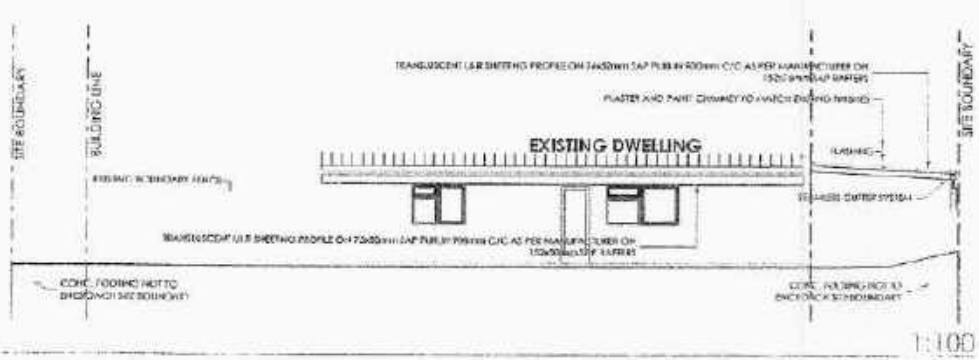
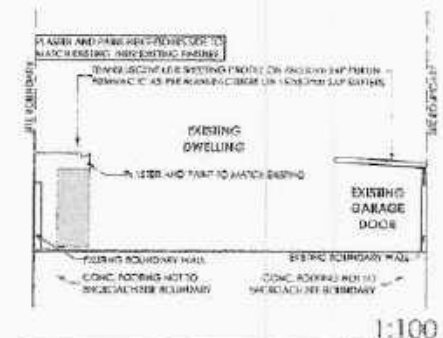
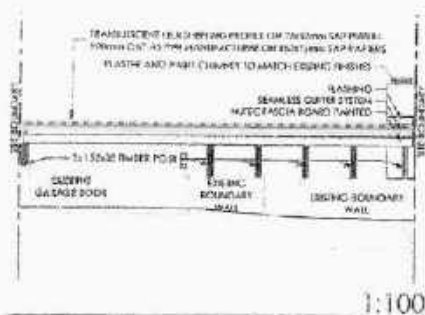
15/03/18

15/03/18

GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 3. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.
- 4. THE DESIGNER IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
- 5. THE DESIGNER IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.
- 6. THE DESIGNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE PROJECT.
- 7. THE DESIGNER IS NOT RESPONSIBLE FOR THE ENVIRONMENTAL IMPACT OF THE PROJECT.
- 8. THE DESIGNER IS NOT RESPONSIBLE FOR THE SOCIAL IMPACT OF THE PROJECT.
- 9. THE DESIGNER IS NOT RESPONSIBLE FOR THE ECONOMIC IMPACT OF THE PROJECT.
- 10. THE DESIGNER IS NOT RESPONSIBLE FOR THE CULTURAL IMPACT OF THE PROJECT.





800 1000 1:1

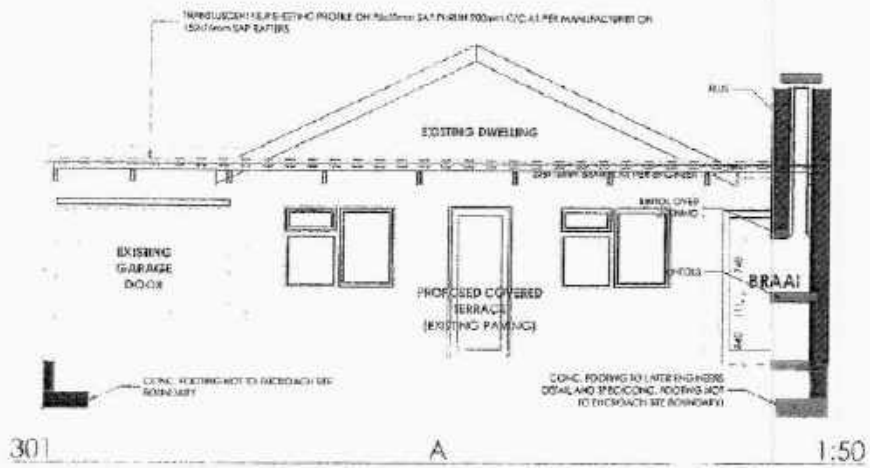
SAF Architects

Project Name
BOISE AREA HAAL

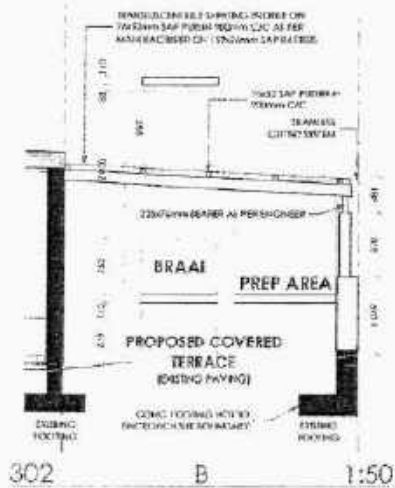
Drawing No.
MP/0119.001

Scale
DATE
BY
CHECKED
DATE

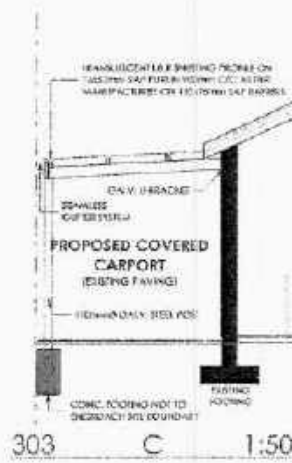
GENERAL NOTES
1. ALL WORK TO BE ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND THE NEW ZEALAND BUILDING REGULATIONS (NZBR).



301 A 1:50



302 B 1:50



303 C 1:50

15 MAR 2010

SAF Architects

PROJECT: HOUSE ABRAHAMS

PROJECT NO:

DATE: 01/11/09
MP/0111.303, 302, 301

SCALE: AS SHOWN
DRAWN: J. VAN DER MERWE
CHECKED: J. VAN DER MERWE
DATE: 01/11/09

GENERAL NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH THE SANS 10400 SERIES.
2. ALL MATERIALS TO BE OF GRADE AND QUALITY AS SPECIFIED.
3. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ENVIRONMENTAL REQUIREMENTS.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE HEALTH AND SAFETY REQUIREMENTS.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SOCIAL AND ETHICAL REQUIREMENTS.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ECONOMIC REQUIREMENTS.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CULTURAL REQUIREMENTS.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LEGAL REQUIREMENTS.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 6437, MOUNT PLEASANT (2944/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 – P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 6437, Mount Pleasant, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

16. ERF 4429, 52 SECOND AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR DEPARTURE: R MALHERBE

4429 KKM (3272)

H van der Stoep

(028) 313 8900

Hermanus Administration

3 January 2020

Executive Summary

An application has been received on 14 August 2019 from R Malherbe on Erf 4429, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following:

- ❖ to relax the rear building line from 2m to 1,5m and 0,21m to accommodate the use change of the existing outside braai to a braai/living room, and
- ❖ to deviate from the 9m and or third of the boundary of structures built over the building line.

RECOMMENDATION

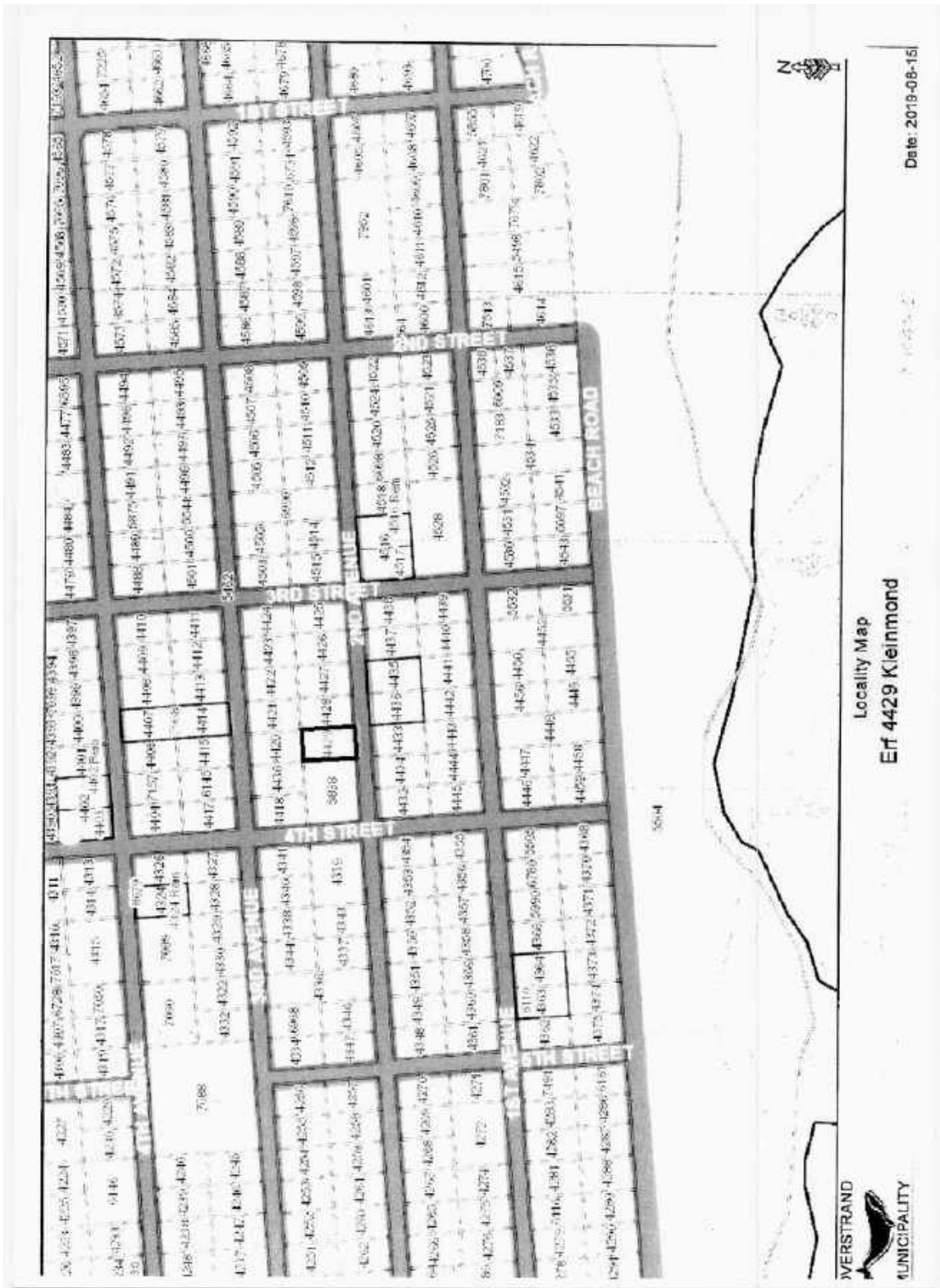
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 4429, Kleinmond for the following:

- ❖ to relax the rear building line from 2m to 1,5m and 0,21m to accommodate the use change of the existing outside braai to a braai/living room, and
- ❖ to deviate from the 9m and or third of the boundary of structures built over the building line;

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

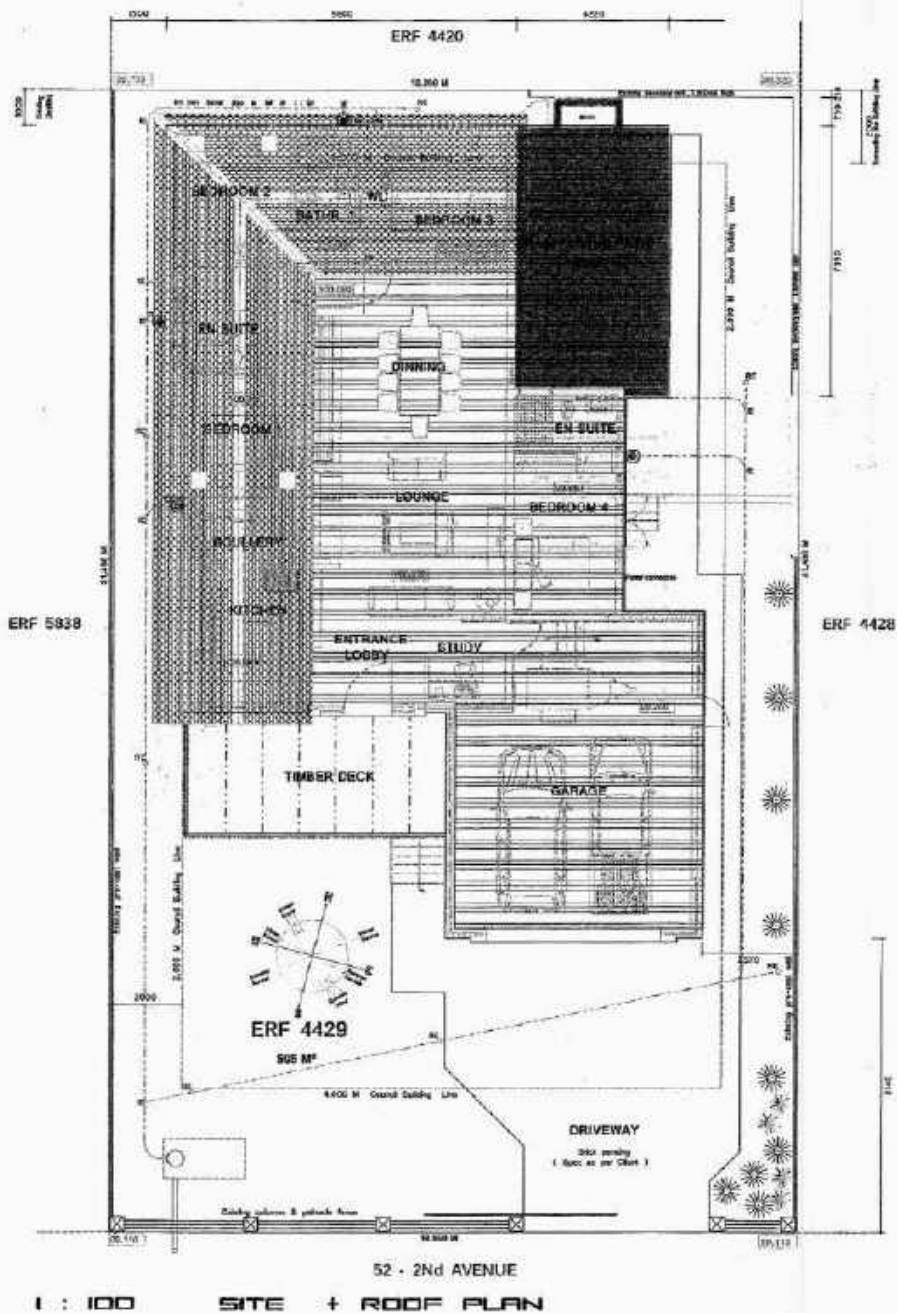
- (a) that this approval is only for the development as indicated on plan numbers 2019/05/010A-1 and 2019/05/010A-2 dated 28 April 2019, as submitted with the application,
- (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme;
- (c) that the coverage of 50% be maintained;
- (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;

- (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

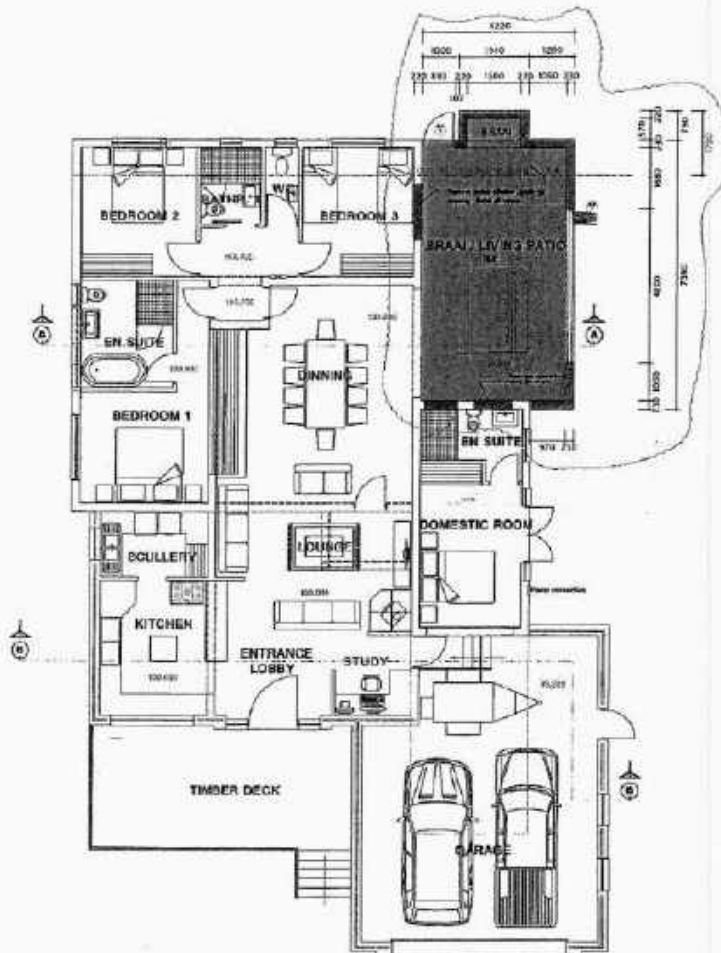


Locality Map
Erf 4429 Kleinmond

Date: 2018-08-15



<p>PROJEC</p> <p>NO. 10112/2018</p> <p>DATE 10/12/2018</p> <p>FLAT SIZE - A.3</p>	<p>PROJECT</p> <p>APPLICATION TO EXCEED 2 M COURSE BUILDING LINE WITH THE BRASS PATIO STRUCTURE ON ERF 4429 - No 52 2nd AVENUE, KLEINMOND.</p>	<p>DATE</p> <p>DATE 26 / 04 / 2019</p>	<p>CLIENT</p> <p>M. PHILIPPOUS</p> <p>DATE 2019 / 05 / 030A - 1</p>	<p>DESIGNER</p> <p>D. L. R.</p> <p>TEL: 021 491 8117</p> <p>FAX: 021 862 8832</p> <p>E-MAIL: dlo@dlr.co.za</p> <p>DLR No. 37 3541</p>
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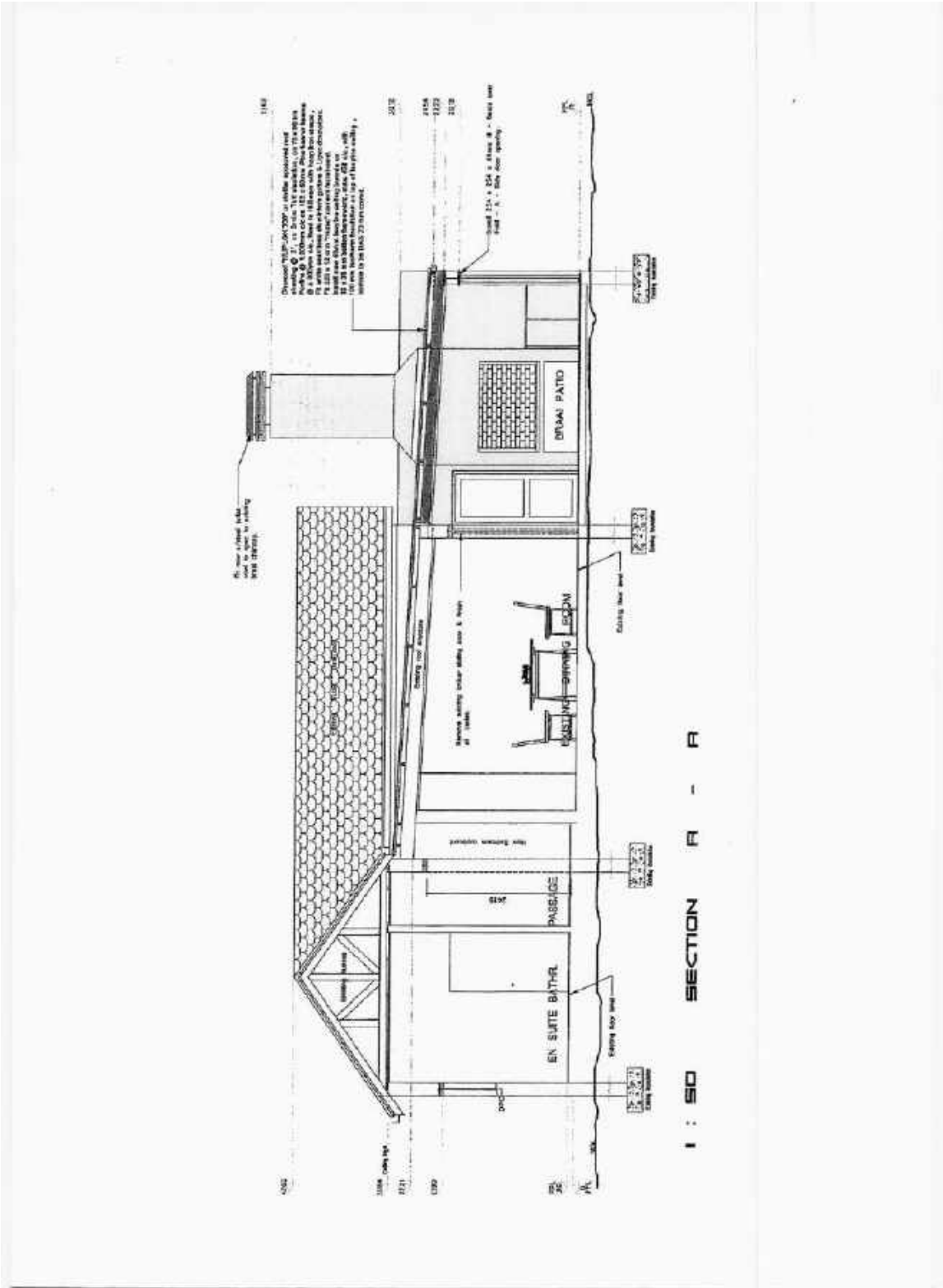


1 : 100 GROUND FLOOR PLAN



1 : 100 EAST ELEVATION

<p>Project No. _____ Date _____</p> <p>Project Name _____</p>	<p>Project Description</p> <p>APPLICATION TO EXCEED 2 M CONCISE BUILDING LINE WITH THE BRAAI PATIO STRUCTURE ON ERZ 4429 - No 52 2nd AVENUE, KLEINMOND.</p> <p>PLOT SIZE - A 3</p>	<p>Client Name _____</p> <p>Client Address _____</p> <p>Client Contact _____</p>	<p>Project Name</p> <p>GROUND FLOOR PLAN</p> <p>EAST ELEVATION</p> <p>Scale 1 : 100 Date 01/01/2019</p> <p>Project No. 2019 / 05 / 010A - 2</p>	<p>Architect Name</p> <p>DR. L. P. ...</p> <p>Professional No. _____</p>	<p>The drawing was designed to comply with the requirements of the National Building Regulations and Building Standards Act, 1977 (Act No. 103 of 1977) and the relevant provisions of the City of Johannesburg Local Government Act, 2000 (Act No. 107 of 2000).</p> <p>The drawing is not to be used for any other purpose without the written consent of the architect.</p>	<p>Professional No. _____</p> <p>Professional No. _____</p> <p>Professional No. _____</p>	<p>P.O. BOX 12312 MICHELE 162 481 821 7</p> <p>PRETORIA TEL / FAX 021 957 8552</p> <p>17015 G. BAYL G. BAYL 010 666 6666</p> <p>SACAP No. SF 2541</p>
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1:50 SECTION A - A

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4429, KLEINMOND (3272/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4429, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

2019 -10- 25

17. ERF 4065, 301 TENTH STREET, VOËLKLIP, HERMANUS, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: HP ELLIS

4065 HVK (3123/2019)

P Roux

(028) 313 8900

Hermanus Administration

21 February 2020

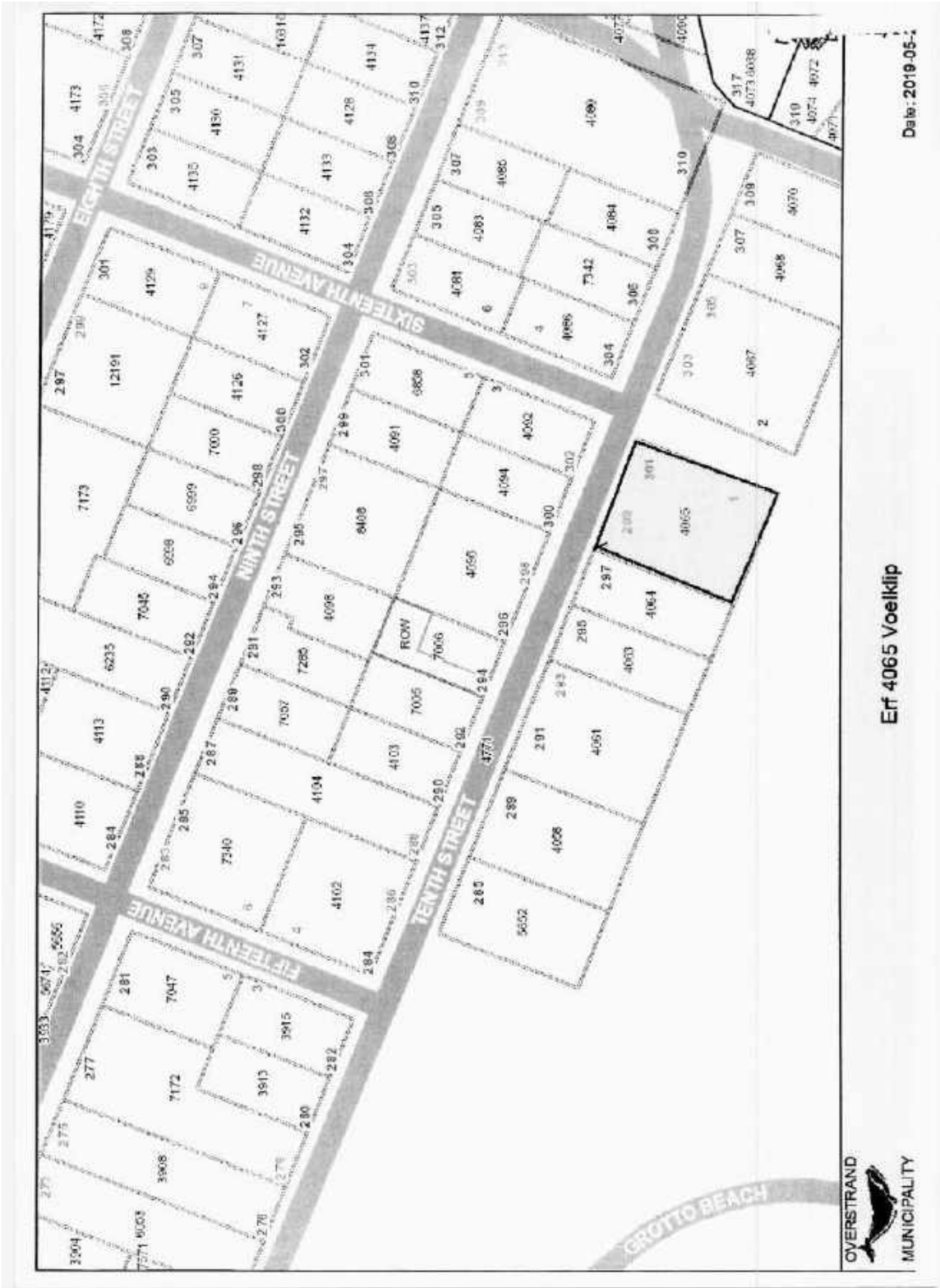
Executive Summary

An application was received on 20 May 2019 from HP Ellis in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 4065, Hermanus for a departure to relax the street building line from 4m to 1,1m and lateral building line from 2m to 1,22m in order to accommodate the proposed outbuilding (general store room, gardeners ablution and utility room [laundry room]) on ground floor and to provide staff accommodation in the loft.

RECOMMENDATION

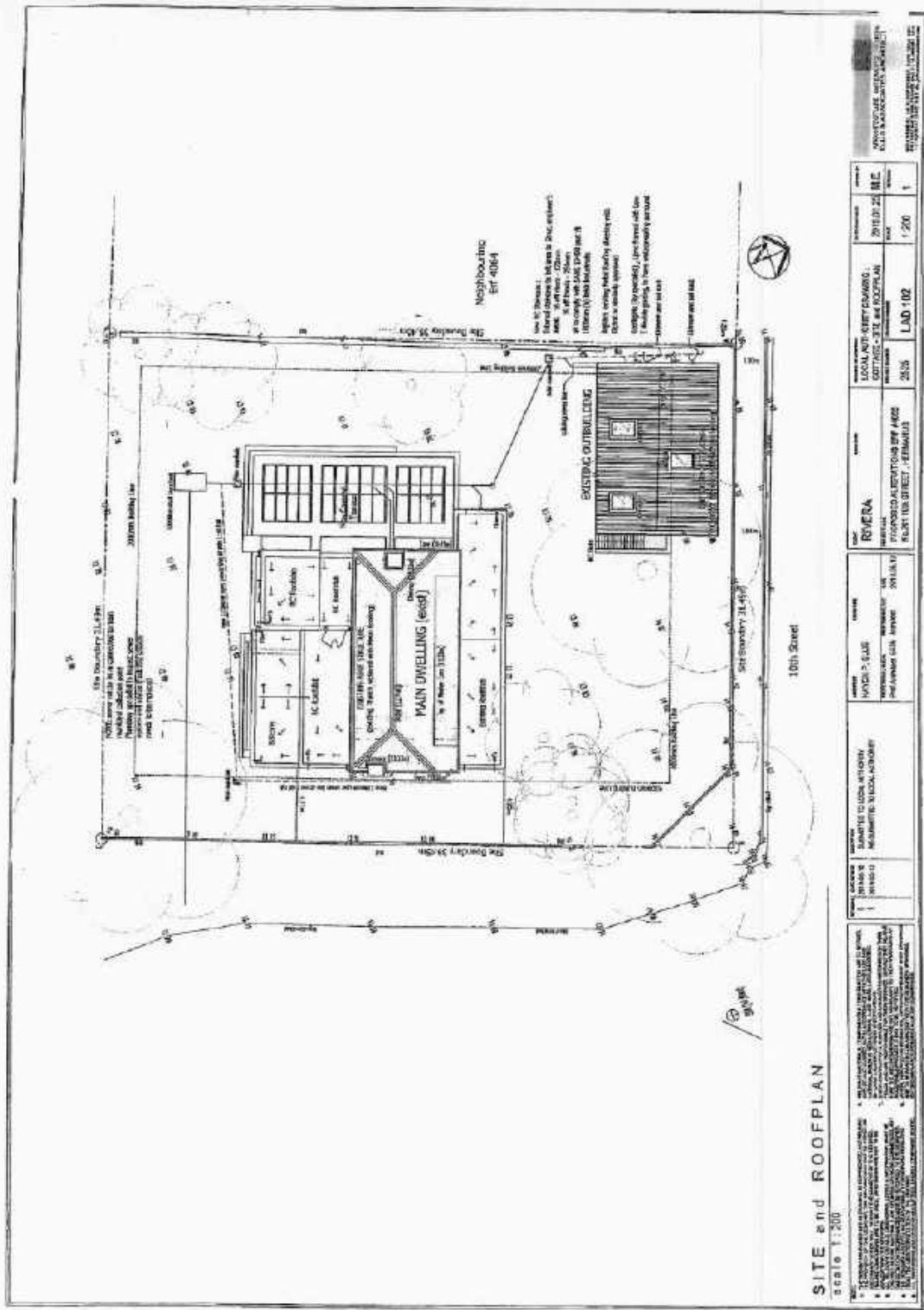
1. that the application for departure in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 4065, Hermanus to relax the street building line from 4m to 1,1m and the lateral building line from 2m to 1,22m in order to accommodate the proposed outbuilding (general store room, gardeners ablution and utility room [laundry room]) on ground floor and to provide staff accommodation in the loft, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that the above approval is for the development with the dimensions indicated on *Drawing No. LAD 101 to 104* dated 2019-01-25 which was submitted with the application;
 - (b) that the first floor bathroom window be fixed closed and frosted in order to mitigate any possible privacy issues on the next door property;
 - (c) that the building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
 - (d) that the conditions of Engineering Services, be complied with;
 - (e) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (f) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.

2. that the applicant be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

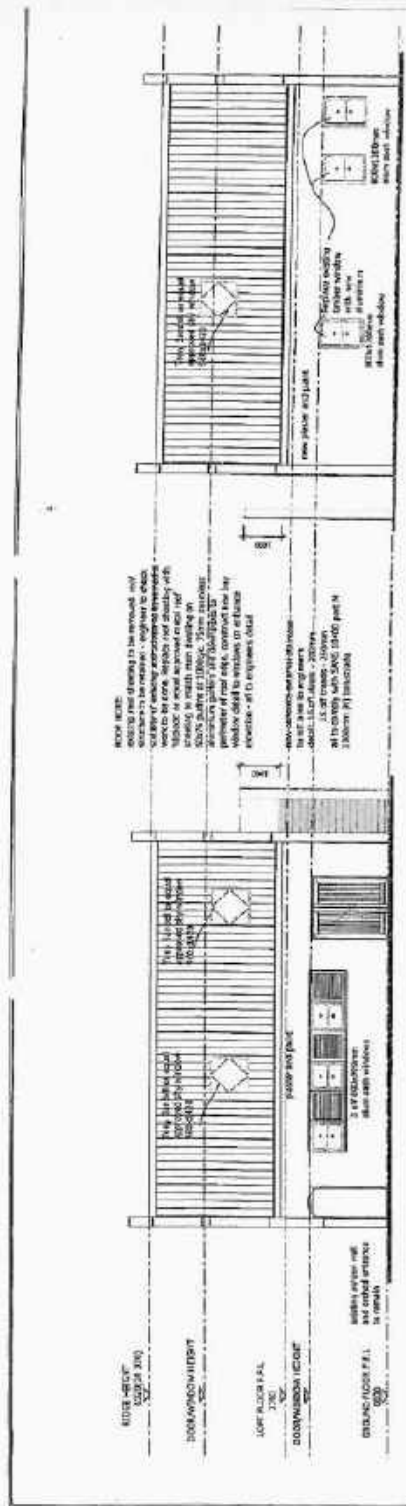


Erf 4065 Voelklip





<p>1. THE ARCHITECT HAS PREPARED THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL ACTS AND REGULATIONS.</p> <p>2. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SITE CONDITIONS SINCE THE DATE OF HIS VISIT TO THE SITE.</p> <p>3. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE LOCAL ACTS AND REGULATIONS SINCE THE DATE OF HIS VISIT TO THE SITE.</p> <p>4. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE SITE CONDITIONS SINCE THE DATE OF HIS VISIT TO THE SITE.</p>	
<p>DATE: 20/10/2014</p> <p>PROJECT: RIVERA</p> <p>CLIENT: RIVERA</p> <p>ADDRESS: 10th Street, 16th Street</p>	<p>LOCAL ACTS: LOCAL ACTS AND REGULATIONS</p> <p>DATE: 20/10/2014</p> <p>SCALE: 1:200</p> <p>PROJECT: RIVERA</p> <p>CLIENT: RIVERA</p> <p>ADDRESS: 10th Street, 16th Street</p>



ELEVATION 1
SCALE 1:100

ROOF NOTE:
ROOF TO BE DEMOLISHED TO BE RECONSTRUCTED WITH
EXISTING ROOF MATERIAL - ROOF TO BE CHECKED
FOR LEAKS AND REPAIRED AS NECESSARY
ROOF TO BE RECONSTRUCTED WITH
EXISTING ROOF MATERIAL - ROOF TO BE CHECKED
FOR LEAKS AND REPAIRED AS NECESSARY
ROOF TO BE RECONSTRUCTED WITH
EXISTING ROOF MATERIAL - ROOF TO BE CHECKED
FOR LEAKS AND REPAIRED AS NECESSARY

ELEVATION 3
SCALE 1:100



ELEVATION 2
SCALE 1:100

ELEVATION 4
SCALE 1:100

<p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p> <p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p>	<p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p> <p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p>	<p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p> <p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p>	<p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p> <p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p>	<p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p> <p>PROJECT: 2024-01-15</p> <p>DATE: 2024-01-15</p> <p>SCALE: 1:100</p>
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**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4065, VOELKLIP (3123/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 4065, Voelklip, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

18. REMAINDER OF THE FARM BOSCH HEUVEL NO. 819 AND PORTION 1 OF FARM BOSCH HEUVEL NO. 819, OVERSTRAND MUNICIPAL AREA, DIVISION OF CALEDON: APPLICATION FOR DEPARTURE, SUBDIVISION, CONSOLIDATION AND CONSENT USE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF WYNA REND BOERDERY (PTY) LTD & JN LOURENS

Rem Farm 819 & Ptn 1/819, RCAL (3128/2019)

P Roux

(028) 313 8900

Hermanus Administration

30 January 2020

Executive Summary

Applications were received on 24 May 2019 from Messrs PlanActive Town and Regional Planners on behalf of Wyna Rend Boerdery (Pty) Ltd & JN Lourens on Remainder Farm Bosch Heuvel No. 819 and Portion 1 of Farm Bosch Heuvel No. 819, which applications is set out as follow:

- subdivision in terms of Section 16(2)(d) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) to subdivide Remainder Farm Bosch Heuvel No. 819 into two (2) portions, namely Portion A (±369,45 ha in extent) and a Remainder (±406,6466 ha in extent);
- consolidation in terms of Section 16(2)(e) of the By-Law to consolidate Portion 1 of Farm Bosch Heuvel No. 819 with the newly created Portion A to create a consolidated property of ±583,9 ha in extent;
- consent use in terms of Section 16(2)(o) of the By-Law to accommodate three (3) self-catering units and agri industry (dairy) on Remainder Farm Bosch Heuvel No. 819, and
- departure in terms of Section 16(2)(b) of the by-Law to relax the western lateral boundary line applicable to Remainder Farm Bosch Heuvel No. 819 from 30m to ±3m to accommodate an existing structure.

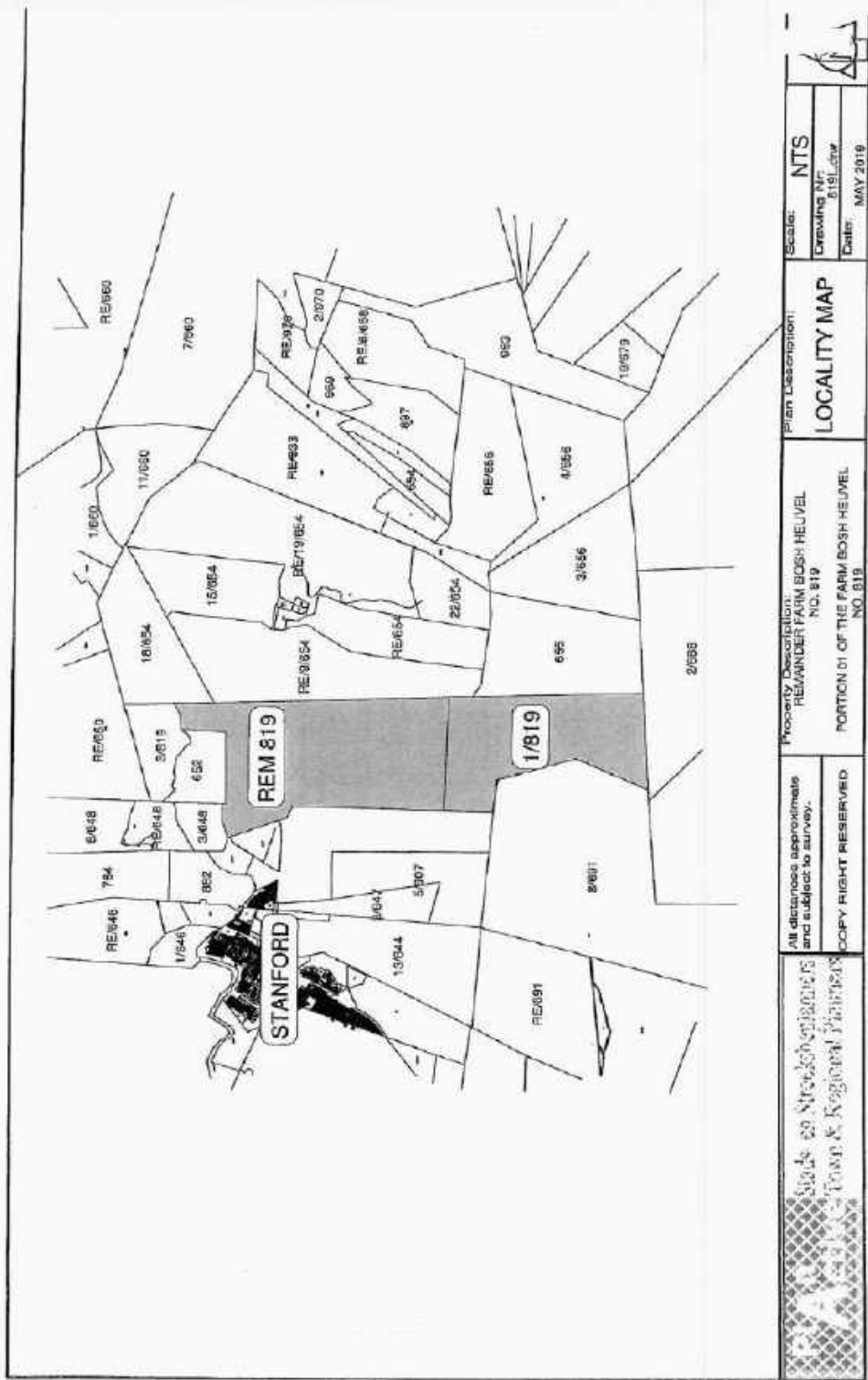
RECOMMENDATION

1. that the applications submitted by Messrs PlanActive Town and Regional Planners on behalf of Wyna Rend Boerdery (Pty) Ltd & JN Lourens on Remainder Farm Bosch Heuvel No. 819 and Portion 1 of Farm Bosch Heuvel No. 819, Division Caledon, which applications is set out as follow:
 - subdivision in terms of Section 16(2)(d) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) to subdivide Remainder Farm Bosch Heuvel No. 819 into 2 portions, namely Portion A (±369,45 ha in extent) and a Remainder (±406,6466 ha in extent);
 - consolidation in terms of Section 16(2)(e) of the By-Law to consolidate Portion 1 of Farm Bosch Heuvel No. 819 with the newly created Portion A to create a consolidated property of ±583,9 ha in extent;
 - consent use in terms of Section 16(2)(o) of the By-Law to accommodate three (3) self-catering units and agri industry (dairy) on Remainder Farm Bosch Heuvel No. 819, and

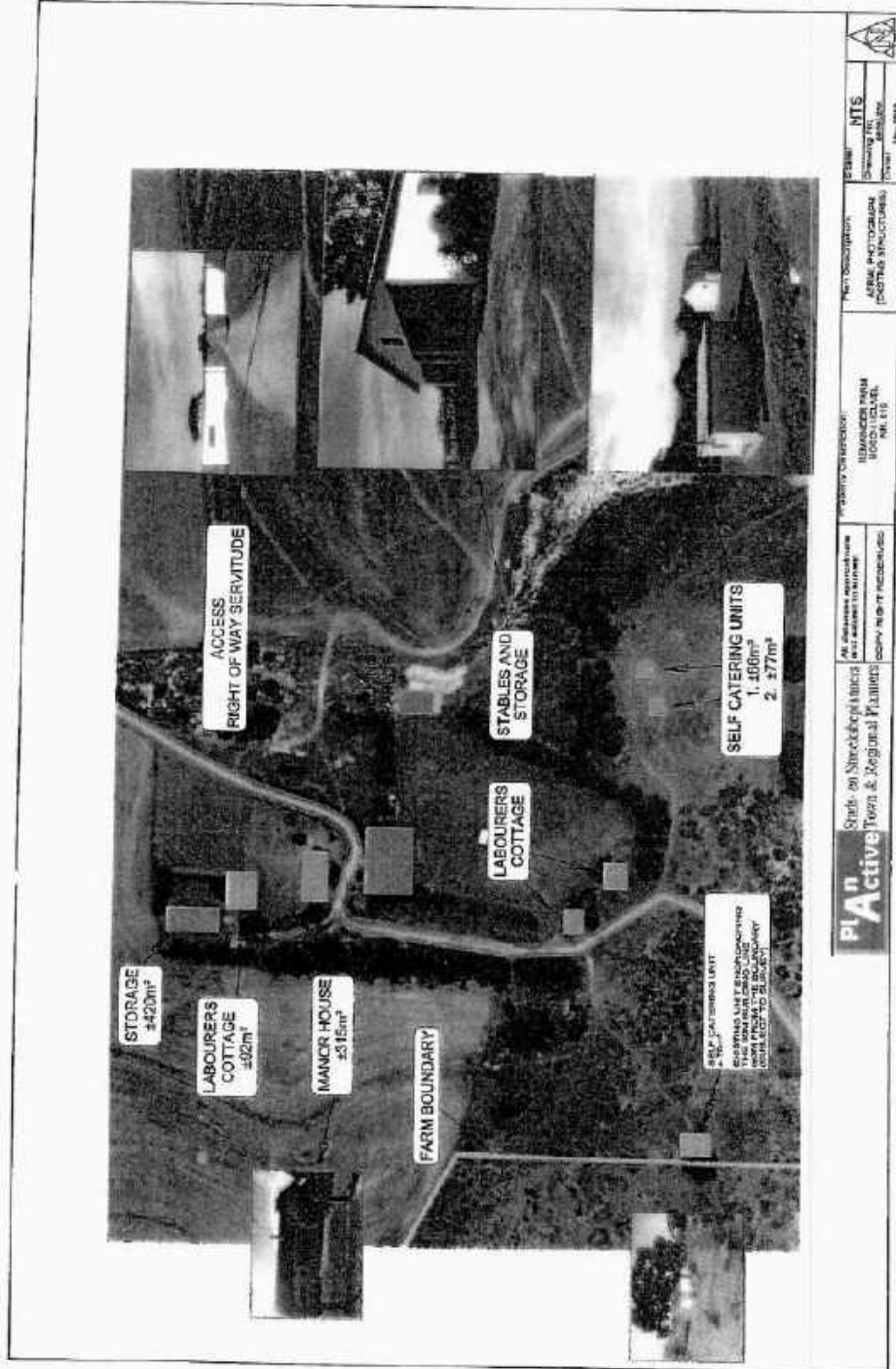
- departure in terms of Section 16(2)(b) of the By-Law to relax the western lateral boundary line applicable to Remainder Farm Bosch Heuvel No. 819 from 30m to ± 3 m to accommodate an existing structure,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the above approval is only for the subdivision, consolidation, consent use and departure as indicated on plans with *Drawing No. aerial.drw* dated May 2019, consolidation plan1.drw dated July 2019 and subdivision plan1ror.drw dated April 2019 which was submitted with the application,
 - (b) that the building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
 - (c) that the conditions by Department of Environmental Affairs and Development Planning, *Component: Development Planning*, Telkom, District Health, Department of Transport and Public Works and Department of Agriculture, Forestry and Fisheries, be complied with;
 - (d) that the conditions compiled in the Services Report, be complied with;
 - (e) that the applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (f) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises;
 - (g) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (h) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicants be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



	Scale: NTS Drawing No: 819L01W Date: MAY 2019
	Plan Description: LOCALITY MAP
Property Description: REMAINDER FARM BOSH HELVEL NO. 819 PORTION 01 OF THE FARM BOSH HELVEL NO. 819	
All distances approximate and subject to survey.	
State of Michigan Department of Natural Resources Copy Right Reserved	



<p>PLA II Study on Shropshire's Rural and Regional Planning</p> <p>PLA Active</p>	<p>All address structures are not shown in this plan</p> <p>Copy for reference</p>	<p>Property Description:</p> <p>LABOURERS COTTAGE AND STABLES</p> <p>ML 119</p>	<p>Plan Description:</p> <p>AGRICULTURAL PHOTOGRAPHY (COTTAGE STRUCTURES)</p>	<p>NTS</p> <p>Drawing No. 1000000000</p> <p>Date: 04/01/2010</p>
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13 JAN 2010



NO. 1078	
FARM BOUNDARIES	
SUBDIVISION LINE	
AREA BELONGING TO	
RIGHT OF WAY	
BETWEEN	
FROM PLAN	
PREVIOUS FARM BOUICH HELVEL	4778/2014
NO. 811	
REMARKS	4611/2014
PORTION A	5192/2014
PORTION B	5214/2014
PORTION C	5214/2014
UNDEVELOPED PORTION	4603/2014

PLAⁿ Active State-owned Infrastructure
 Towns & Regional Planning
 100% SOUTH AFRICAN
 100% LOCAL EMPLOYMENT
 100% LOCAL INVESTMENT
 100% LOCAL SUPPLY CHAIN
 100% LOCAL SKILLS DEVELOPMENT
 100% LOCAL INFRASTRUCTURE
 100% LOCAL SERVICES
 100% LOCAL EMPLOYMENT
 100% LOCAL INVESTMENT
 100% LOCAL SUPPLY CHAIN
 100% LOCAL SKILLS DEVELOPMENT
 100% LOCAL INFRASTRUCTURE
 100% LOCAL SERVICES



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE, SUBDIVISION, CONSOLIDATION &
CONSENT USE: REMAINDER FARM 819 AND PORTION 1 OF FARM
BOSCH HEUVEL NO.819, CALEDON DIVISION (3128/2019)**

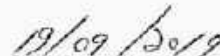
Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water service from Overstrand Municipality is available and the developer is responsible for the provision of any water supply and/or services to the development;
3. that the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
4. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality (Tel: 028 313 5046, email: probinson@overstrand.gov.za);
5. that no sewerage service from Overstrand Municipality is available and no municipal sewerage services will rendered to the development;
6. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility;
7. that the proposed development must be provided with adequate sewer conservancy tanks, which must comply with the relevant legislation;
8. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;

9. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
10. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;
11. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
12. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
13. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

19. ERF 2848, 24 ERICA STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS INTERACTIVE TOWN & REGIONAL PLANNING ON BEHALF OF THE BOTHA MUNNIK TRUST

2848 HON (3145/2019)

H Olivier

(028) 313 8900

Hermanus Administration

14 February 2020

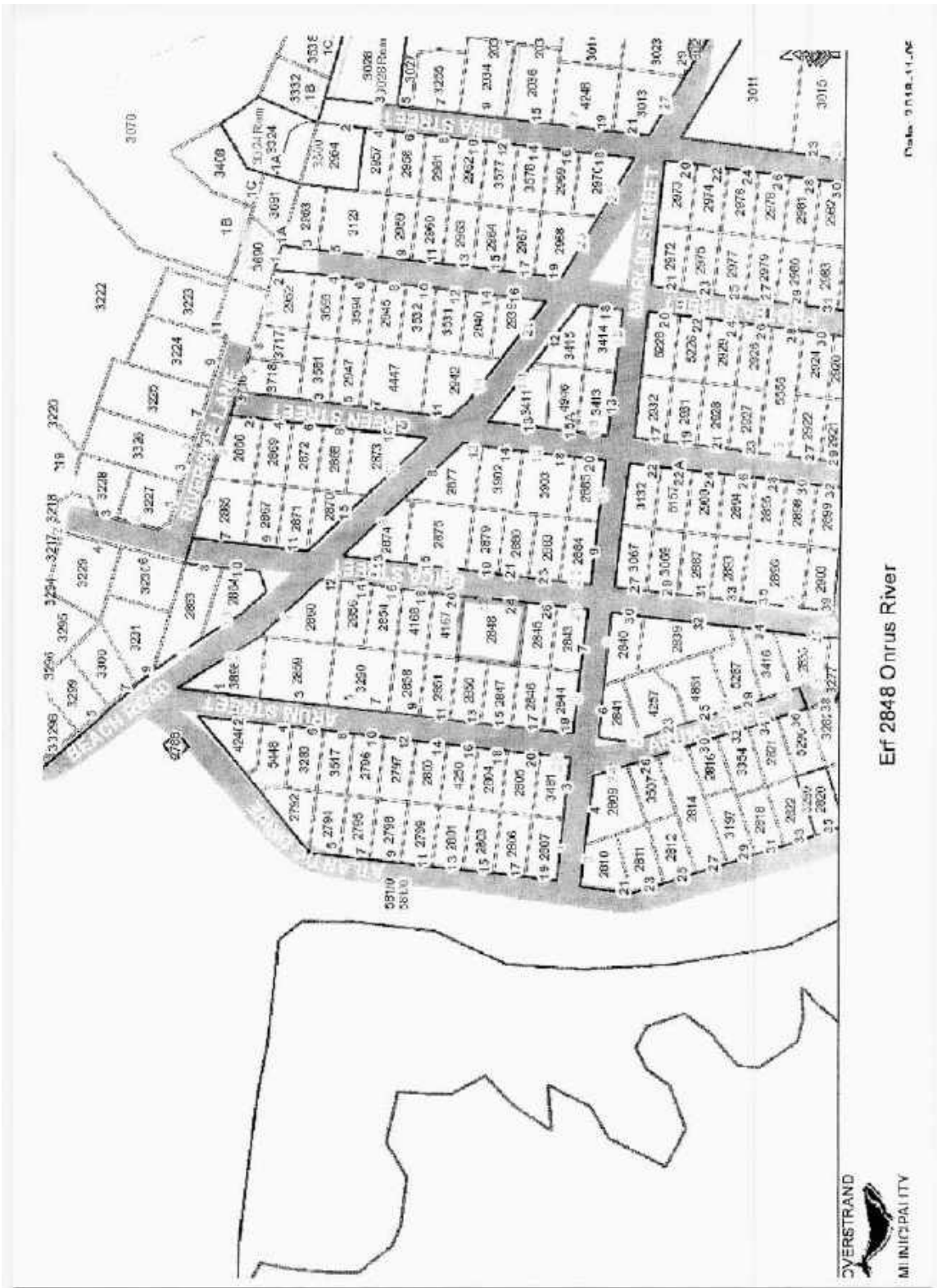
Executive Summary

An application has been received on 22 May 2019 from Messrs Interactive Town & Regional Planners on behalf of the Botha Munnik Trust on Erf 2848, Onrustrivier for an application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the 4m street building line to 0m and the southern 2m building line to 0 to accommodate an existing carport, and also to relax the 2m rear building line to 1,55m to accommodate a proposed roof and wall extension.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a departure on Erf 2848, Onrustrivier to relax the 4m street building line to 0m and the southern 2m lateral building line to 0m to accommodate an existing carport, and also to relax the 2m rear building line to 1,55m to accommodate a proposed roof and wall extension, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the relaxation of building lines as indicated on the plan submitted by the architect (Plan No. 1,1 to 1,4 and 3,1 to 3,2 dated 30/05/2018);
 - (b) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (c) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with;
 - (e) that all the conditions in the Services Report, be complied with, and
 - (f) that all the conditions by Telkom, be complied with.

2. that the applicant and objector be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Erf 2848 Onrus River



SRT ARCHITECTS CO
 1000 UNIVERSITY AVENUE
 SUITE 100
 BOSTON, MASSACHUSETTS 02118
 TEL: 617-552-1234
 FAX: 617-552-1235
 WWW.SRTARCHITECTS.COM

PROJECT: HOUSE BOTHA MURNIK TRUST
DATE: 08/27/18
SCALE: 1/4" = 1'-0"

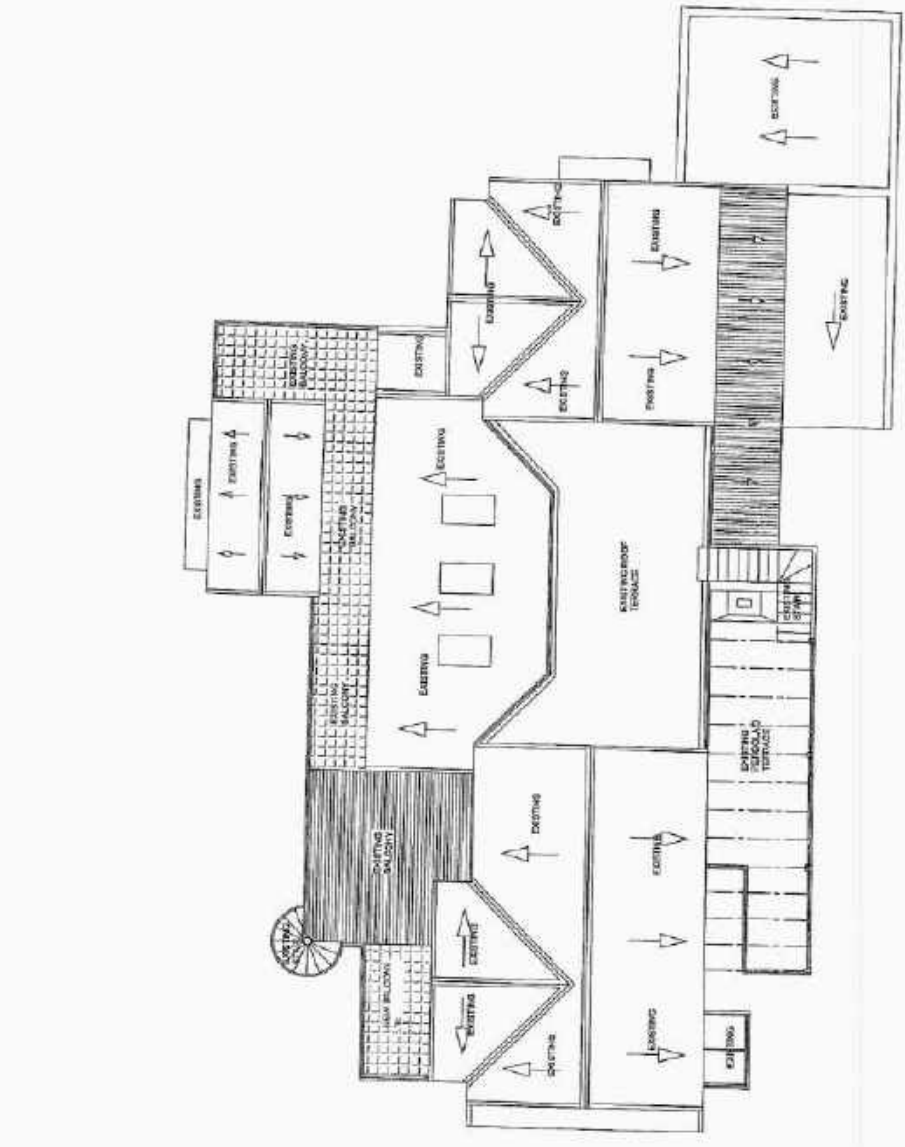
ADDITIONS AND ALTERATIONS
ROOF TERRACE PLAN

HOUSE BOTHA MURNIK TRUST
 888 3848
 1000 UNIVERSITY AVENUE
 SUITE 100
 BOSTON, MASSACHUSETTS 02118

CLIENT: HOUSE BOTHA MURNIK TRUST
ARCHITECT: SRT ARCHITECTS CO

NO.: 1
DATE: 08/27/18
SCALE: 1/4" = 1'-0"

DWG. NO.: 1.4



SART ARCHITECTS CO.
 2008 MAIN STREET
 SUITE 100
 BOSTON, MA 02111
 TEL: 617.552.1111
 FAX: 617.552.1112
 WWW.SARTARCH.COM

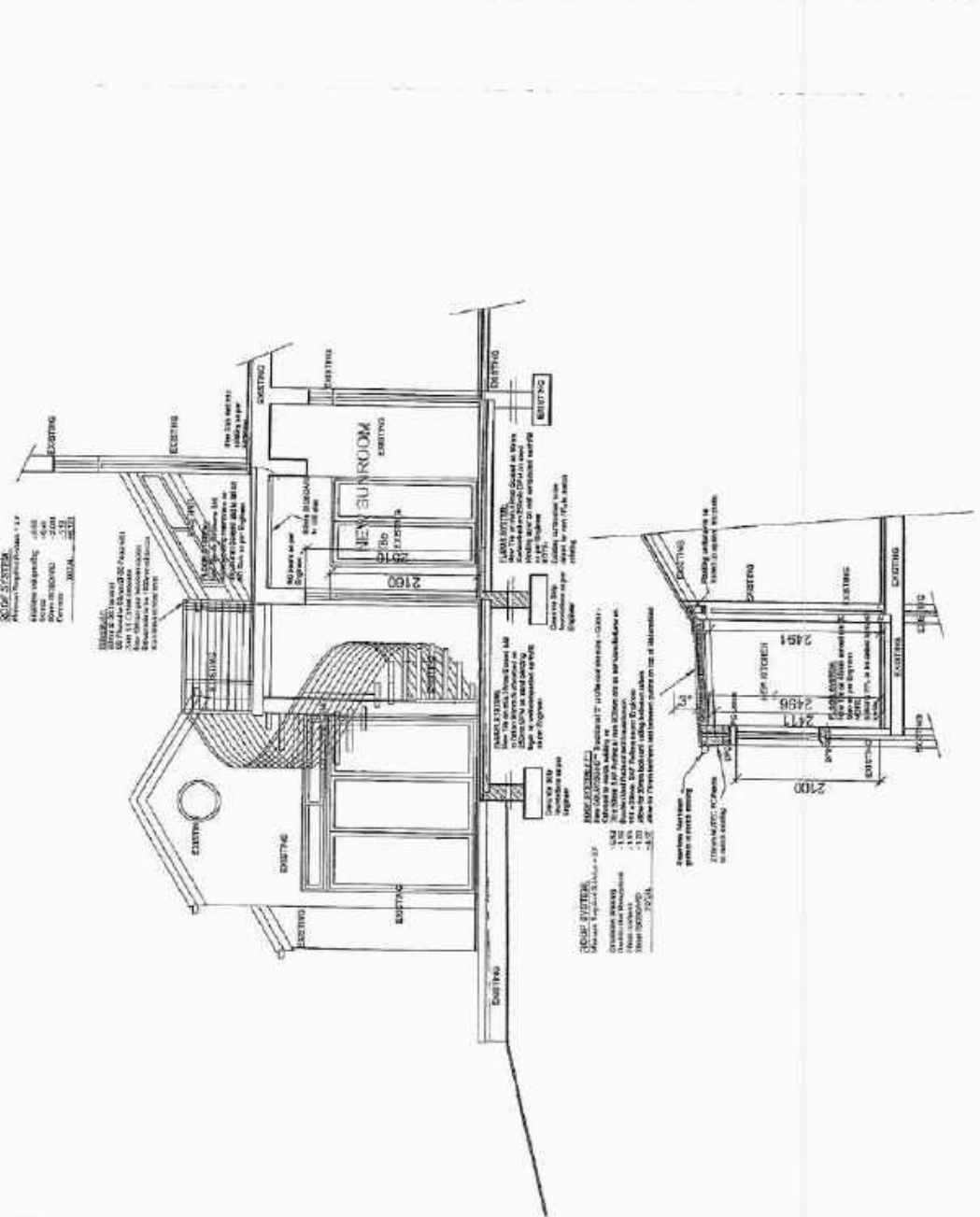
THE BOARD IS COMPOSED:
 CONTRACTOR NOTIFIED ALL DIMENSIONS
 ON THESE DOCUMENTS ARE CORRECT.
 USE THESE DIMENSIONS FOR ALL
 WORK. DO NOT SCALE DRAWINGS.
 ALL WORK TO BE DONE WITH NATIONAL
 SPECIFICATIONS AND LOCAL, STATE,
 FEDERAL AND ALL APPLICABLE
 REGULATIONS.
 ALL DIMENSIONS TO BE INDICATED
 ON DRAWINGS TO BE IN ACCORDANCE
 WITH THE INTERNATIONAL
 CONSTRUCTION CODE (ICC) AND ALL
 APPLICABLE LOCAL, STATE,
 FEDERAL AND ALL APPLICABLE
 REGULATIONS.
 ALL DIMENSIONS TO BE INDICATED
 ON DRAWINGS TO BE IN ACCORDANCE
 WITH THE INTERNATIONAL
 CONSTRUCTION CODE (ICC) AND ALL
 APPLICABLE LOCAL, STATE,
 FEDERAL AND ALL APPLICABLE
 REGULATIONS.

ADDITIONS AND ALTERNATIONS

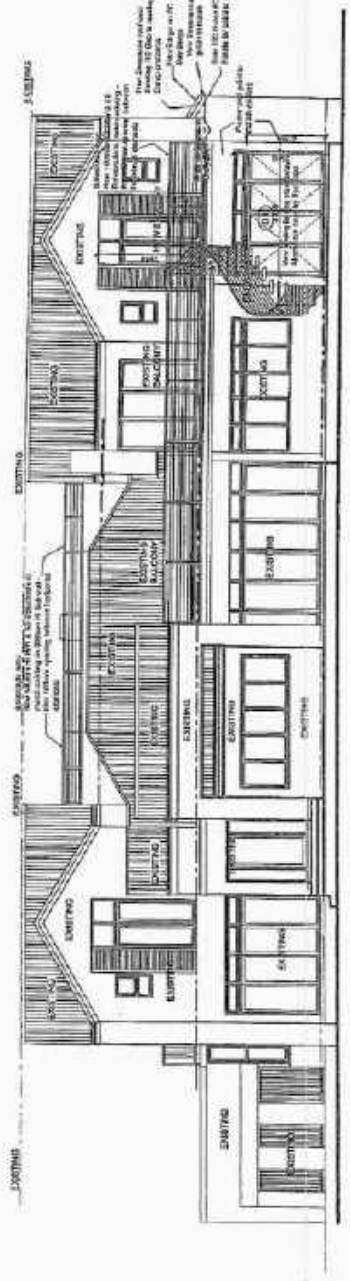
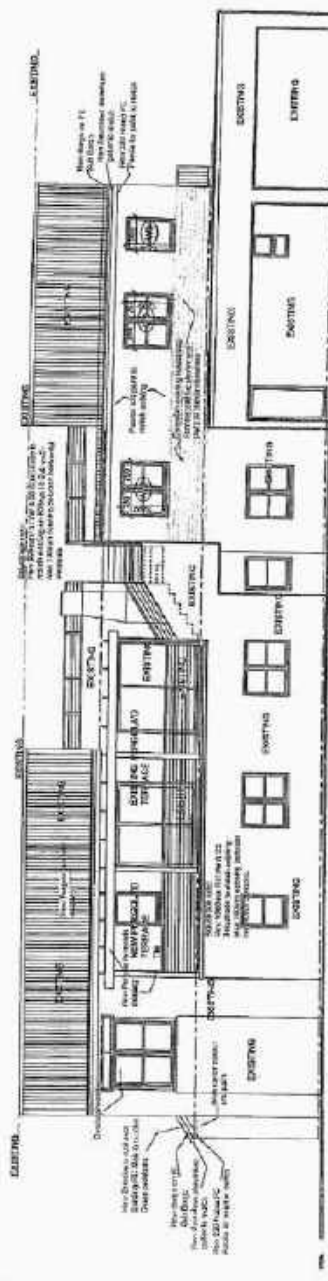
SECTION A - A & SECTION B - B

HOUSE BOYHA HUNNIK TRUST
 871-2548
 ERICA STREET
 OMBUS RIVER
 OVERSEAS

DATE: 07/18
 DWG. NO: 2.1
 SCALE: 1/8" = 1'-0"



<p>SRT ARCHITECTS CO. 1000 W. 10th St. Wichita, KS 67202 Tel: 316.261.1234 Fax: 316.261.1235 www.srtarchitects.com</p>	<p>THE OWNER'S CONTRACT CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. USE DIMENSIONS IN ALL WORK. ALL WORK TO COMPLY WITH NATIONAL, STATE AND LOCAL BUILDING CODES AND ALL APPLICABLE REGULATORY REQUIREMENTS. ALL DIMENSIONS REFER TO FINISH SURF UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO EXTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO INTERIOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO EXTERIOR UNLESS OTHERWISE NOTED.</p>												
	<p>CLIENT: _____ ARCHITECT: _____</p>												
<table border="1"> <tr> <th>No.</th> <th>Revision/Date</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Revision/Date	Date										<p>ADDITIONS AND ALTERATIONS</p>
No.	Revision/Date	Date											
<p>NORTH & SOUTH ELEVATION</p>													
<p>HOUSE BOTHA HUNNIK TRUST 816.261.1234 816.261.1235 816.261.1236 816.261.1237</p>													
<p>DATE: 10/11/11 SCALE: 1/8" = 1'-0"</p>	<p>DWG. NO. 3.1</p>												



SRT ARCHITECTS INC.
 10701 205th Street
 Everett, WA 98203
 (206) 835-1234
 www.srtarchitects.com

HOUSE BOYHA MUNNIK TRUST
 6914 4TH STREET
 EVERETT, WA 98203

ADDITONS AND ALTERATIONS

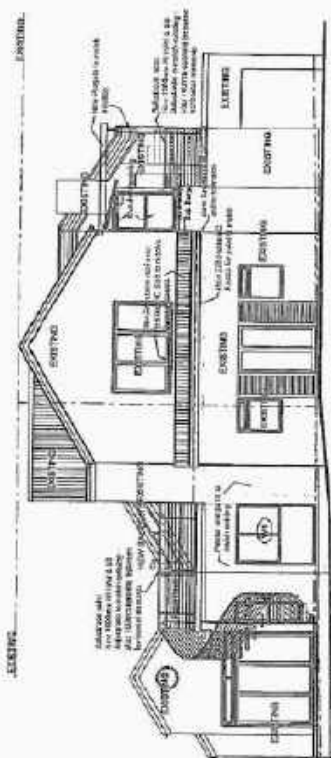
EAST & WEST ELEVATION

HOUSE BOYHA MUNNIK TRUST
 6914 4TH STREET
 EVERETT, WA 98203

DWG. NO. 3.2

DATE: 08/18/18

SCALE: 1/8" = 1'-0"



WEST ELEVATION 1:100



EAST ELEVATION 1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 2848, ONRUS RIVER (3145/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of *SANS 10400 - P:2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 2848, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

20. ERF 3759, 168 SECOND AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: OVERSTRAND ARCHITECTURE ON BEHALF OF AC COETZEE

3759 KKM (3541)

H van der Stoep

7 January 2020

(028) 313 8900

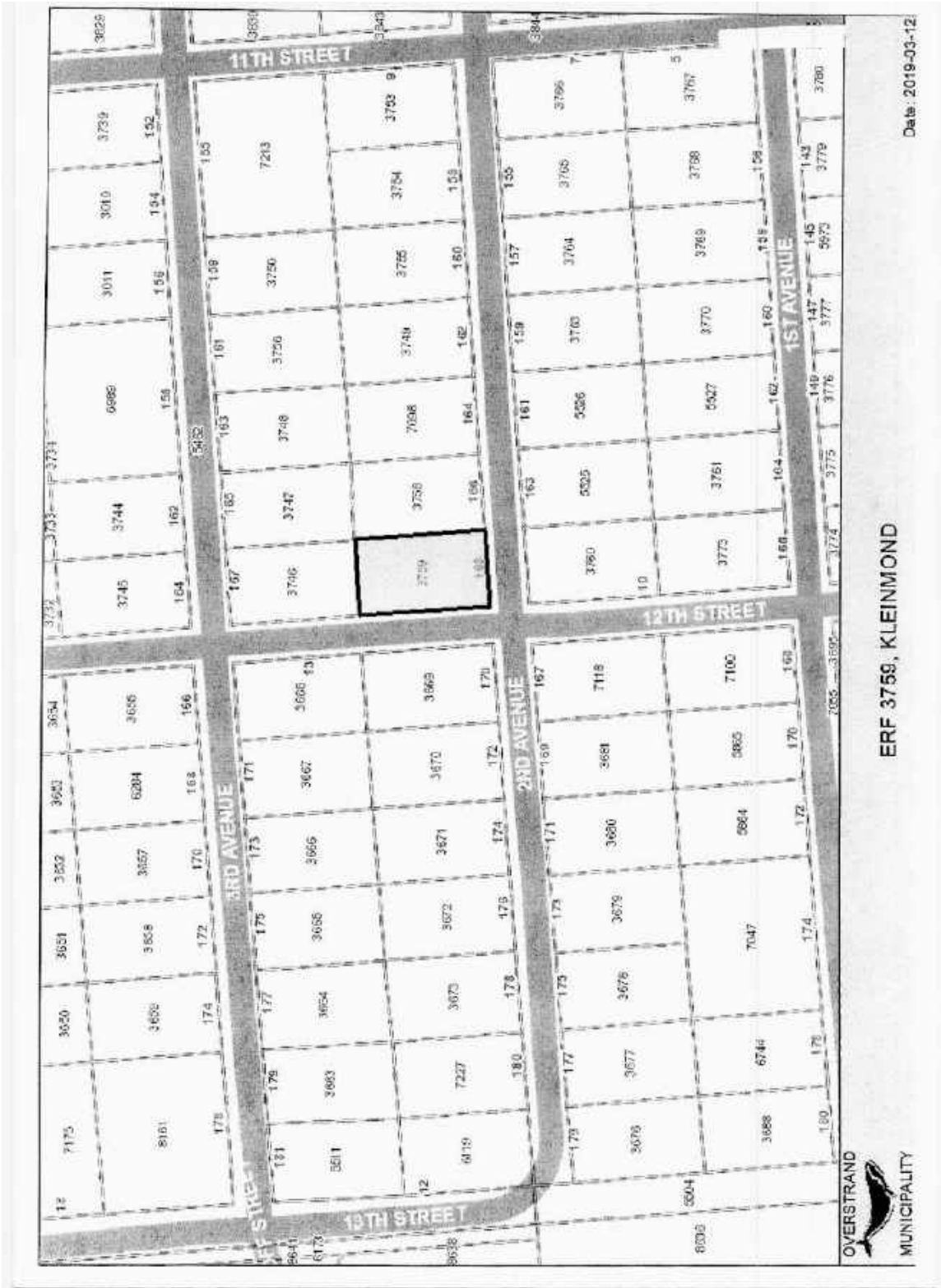
Hermanus Administration

Executive Summary

An application has been received on 2 December 2019 from Overstrand Architecture on behalf of AC Coetzee on Erf 3759, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 2m to 1,5m

RECOMMENDATION

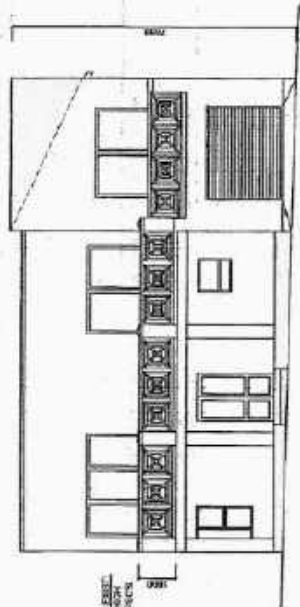
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 3759, Kleinmond in order to relax the lateral building line from 2m to 1,5m to accommodate parapet wall, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan no. 15104_rev01 dated 10 June 2018, as submitted with the application,
 - (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme;
 - (c) that the coverage of 50% be maintained;
 - (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage.
 - (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



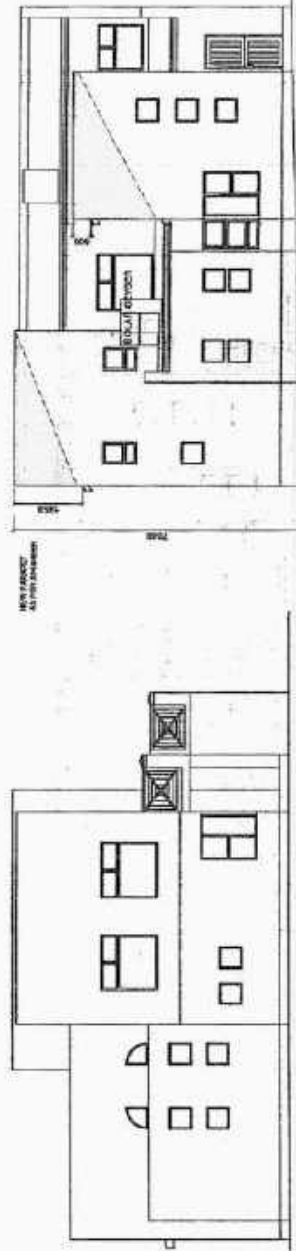
OVERSTRAND ARCHITECTURE

303 04 727
314 84 84 84
314 84 84 84

CLIENT: MRS. & MRS. ODEITZEE
CONTACT #:
SUBJECT: AS-BUILT PLAN
LOCATION: ERF 3750, KLENKIND
ADDRESS:
CATEGORY: HA
COUNTY: 2208 AS PER CAD 1000/41.4
DATE: 10/08/2016 REV. DATE:
AUTHOR: M DE JAGER (ST 2007)
DRAWING: 15104_rev01



SOUTH ELEVATION 1:100



WEST ELEVATION 1:100

NORTH ELEVATION 1:100

21. ERF 3933, 127 SECOND AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA : APPLICATION FOR DEPARTURE : M LIEBENBERG

3933 KKM (2963/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

30 December 2019

Executive Summary

An application has been received on 1 March 2019 from M Liebenberg on Erf 3933, Kleinmond in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the following departures:

- to relax the western lateral building line from 2m to 0m to accommodate a bathroom and garage;
- to relax the eastern lateral building line from 2m to 0,58m to accommodate a veranda.
- to deviate from the 9m and third of the boundary of structures built over the building line.

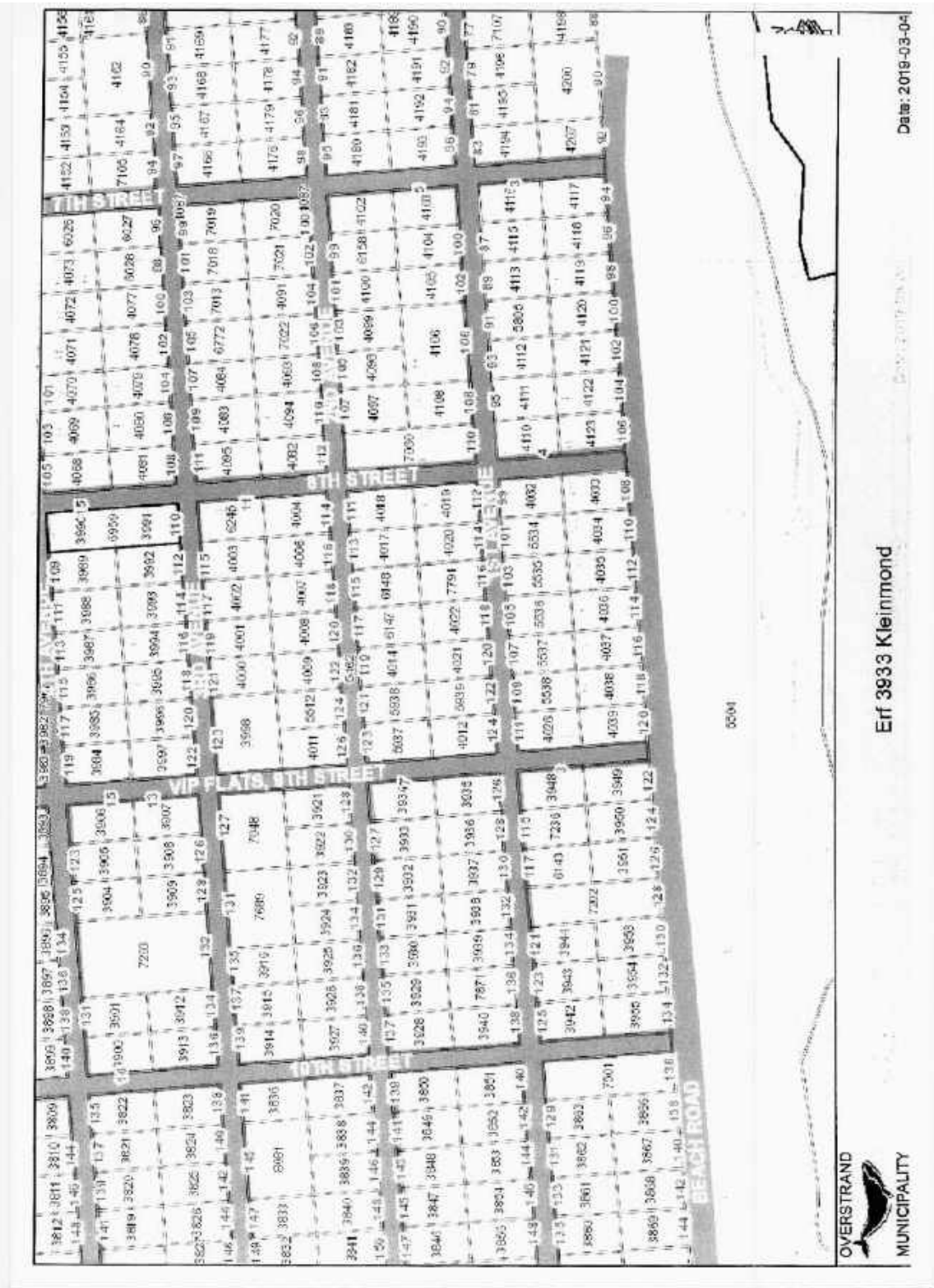
RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 3933, Kleinmond for the following departures:
 - to relax the western lateral building line from 2m to 0m to accommodate a garage;
 - to relax the eastern lateral building line from 2m to 0,58m to accommodate a veranda;
 - to deviate from the 9m and third of the boundary of structures built over the building line;

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

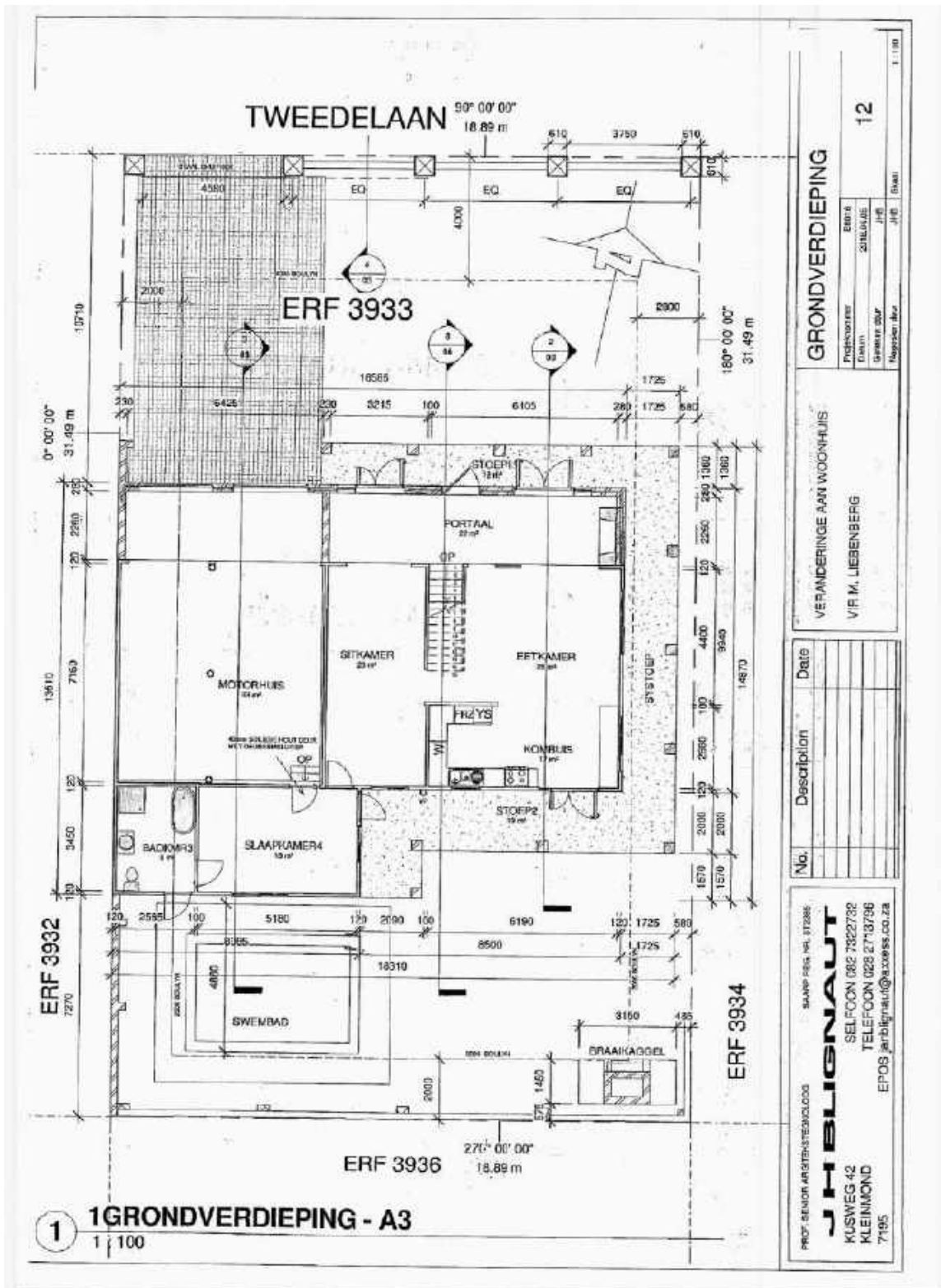
- (a) that this approval is only for the development as indicated on the plan no. B 8016 dated 5 June 2018, as submitted with the application,
- (b) that no further transgression over the building lines will be allowed, except that is sanctioned by the Overstrand Zoning Scheme;
- (c) that the veranda on the eastern lateral boundary may not be enclosed;
- (d) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;

- (e) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that all the conditions in the Services Report, be complied with.
2. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for a departure on Erf 3933, Kleinmond in order to relax the western lateral building line from 2m to 0m to accommodate the conversion of a store room into a bathroom, **not be approved**;
 3. that the property owner/applicant be informed that the braai transgressing the rear- and eastern lateral building lines be moved, demolished or an application in this regard be lodged within three (3) months; and
 4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Erf 3933 Kleinmond

Date: 2019-03-04



1 1GRONDVERDIEPING - A3
1 : 100

GRONDVERDIEPING

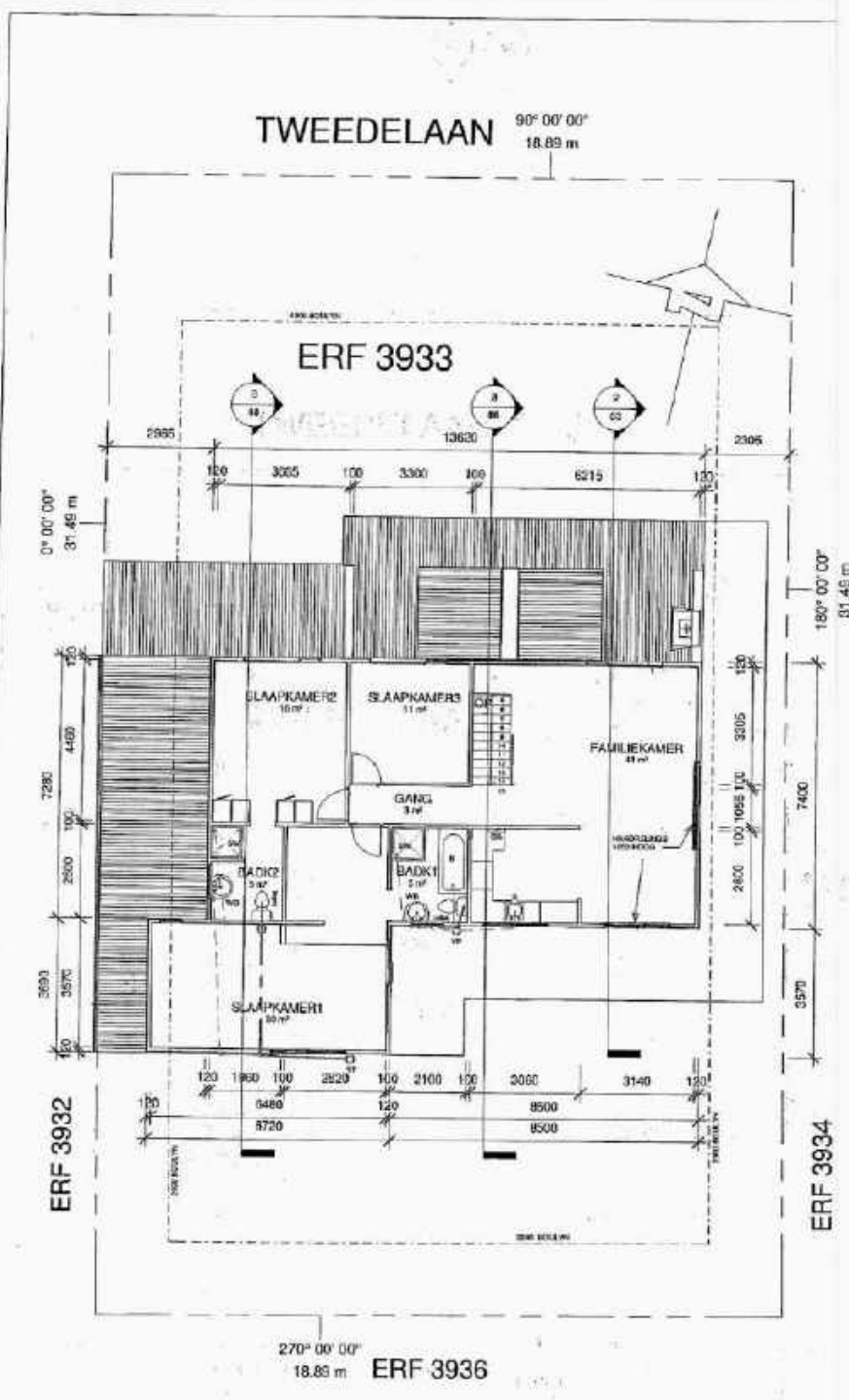
Professioner: ERF 12
 Datum: SKEDULE
 Getuig deur: JHB
 Nagaan deur: JHB (Nan)

VERANDERINGE AAN WOONHUIS
 VIR M. LIEBENBERG

No.	Description	Date

PROF. SENIOR ARBESISTENTSIKUSLOG

J H BLIGNAUT SKAMP F&S, TEL. 372886
 KUSWEG 42 SELFOON 082 7822732
 KLEINMOND TELEFOON 028 2713736
 7195 EPOS jhblignaut@sa.co.za



1 **3EERSTEVERDIEPING - A3**
1 : 100

EERSTEVERDIEPING	
Programmer	88116
Tekenaar	25161942
Checktekening	13
Projectnummer	13

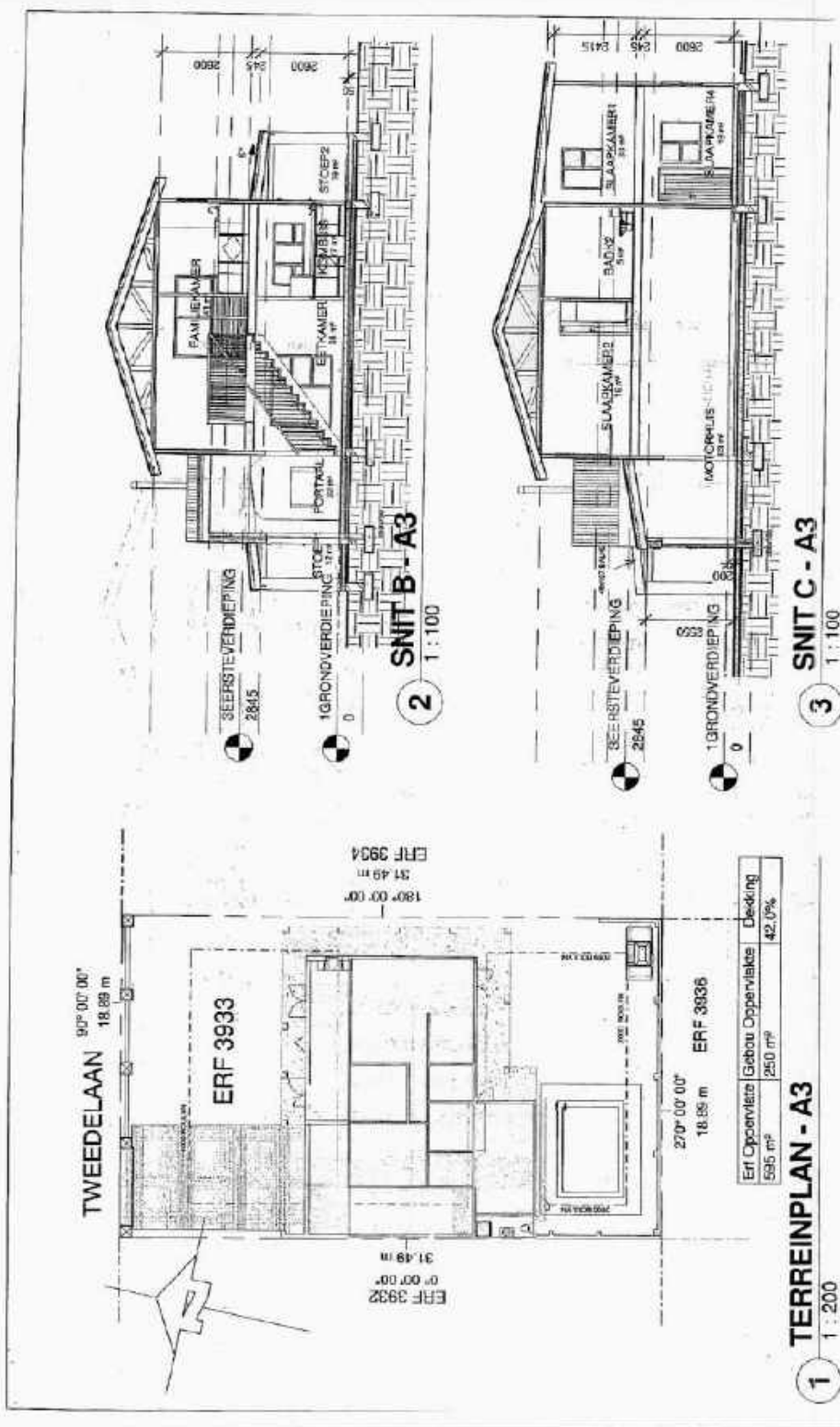
VERANDERINGE AAN WOONFLUIS
VTR M. LIEBENBERG

No.	Description	Date

PRICE SERVICE ARCHITECTENBUREAU
SMAAR REG. NR. 572395

J H BLIGNAULT
KLUISWEG 42
KLEINMOND
7195

SELEFOON 028 7532732
TELEFOON 028 2713796
EPOS janh@signaut@access.co.za



1 TERREINPLAN - A3
1 : 200

2 SNIT B - A3
1 : 100

3 SNIT C - A3
1 : 100

Erf Oopervlakte	595 m ²
Gebou Oopervlakte	250 m ²
Dekking	42,0%

PROF. SENIOR-ARCHITECTENBUREAU
JH BLIGNAUT
 KUNSWEG 42
 KLEINMOND
 7195

SWAPP REG. NR. 172385
 SELFPOON 082 7522732
 TELEFOON 025 2715796
 EPCS.janblignaut@ia.sswess.co.za

No.	Description	Date

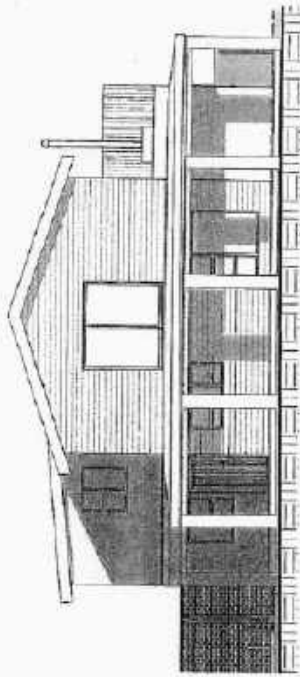
VERANDERINGE AAN WOONHUIS
 VIR M. JEBENBERG

TERREINPLAN

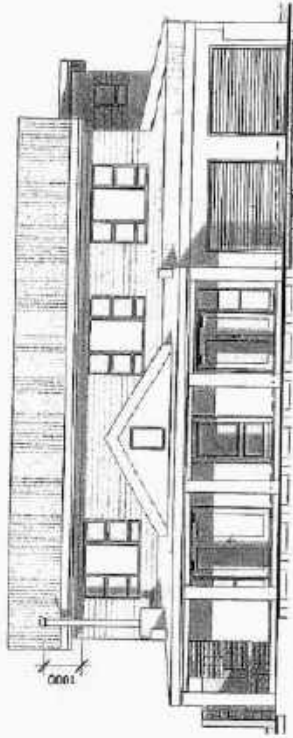
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 Datum: 2012.05.01
 Getekendeur: JHB
 Nagskiedendeur: JHB

14

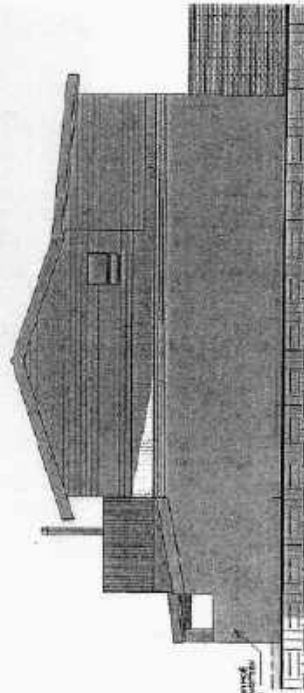
As inwoner



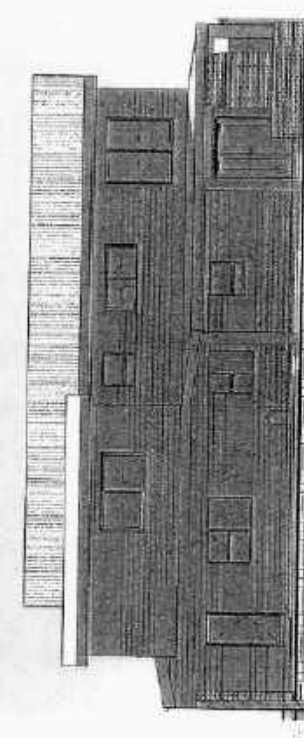
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1 : 100



3 NOORDAANSIG - A3
1 : 100



1 WESAANSIG - A3
1 : 100



4 SUIDAANSIG - A3
1 : 100

PROF. BRUNO ARNTS/STENOLOGOOS
J H BLIGNAUT
 KUSWEG 4E
 KLEINMOND
 7195

SKAARP REG. NR. 57285
 BELFOON 062 7322732
 TELEFOON 062 2713796
 EPODS: jh.blignaut@esoodas.co.za

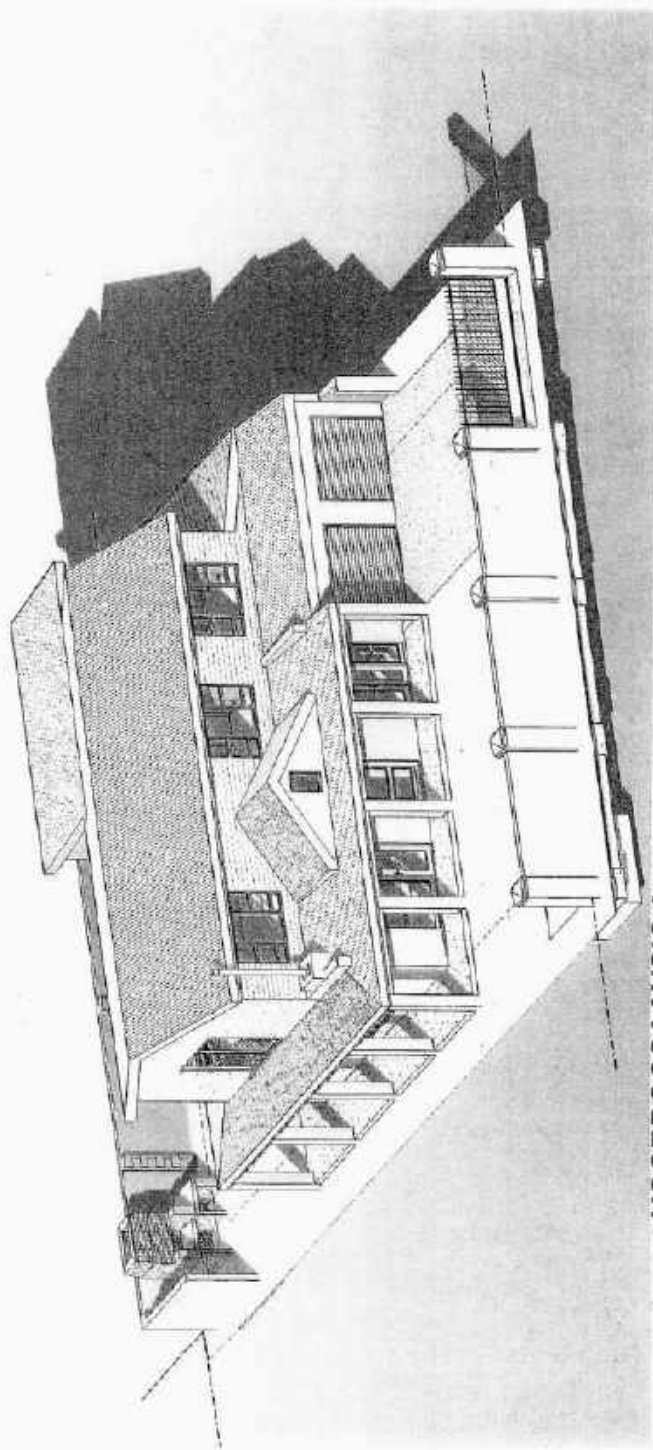
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VERANDERINGE AAN WOONHUIS
 VIR M. LIEBENBERG

AANSIGTE

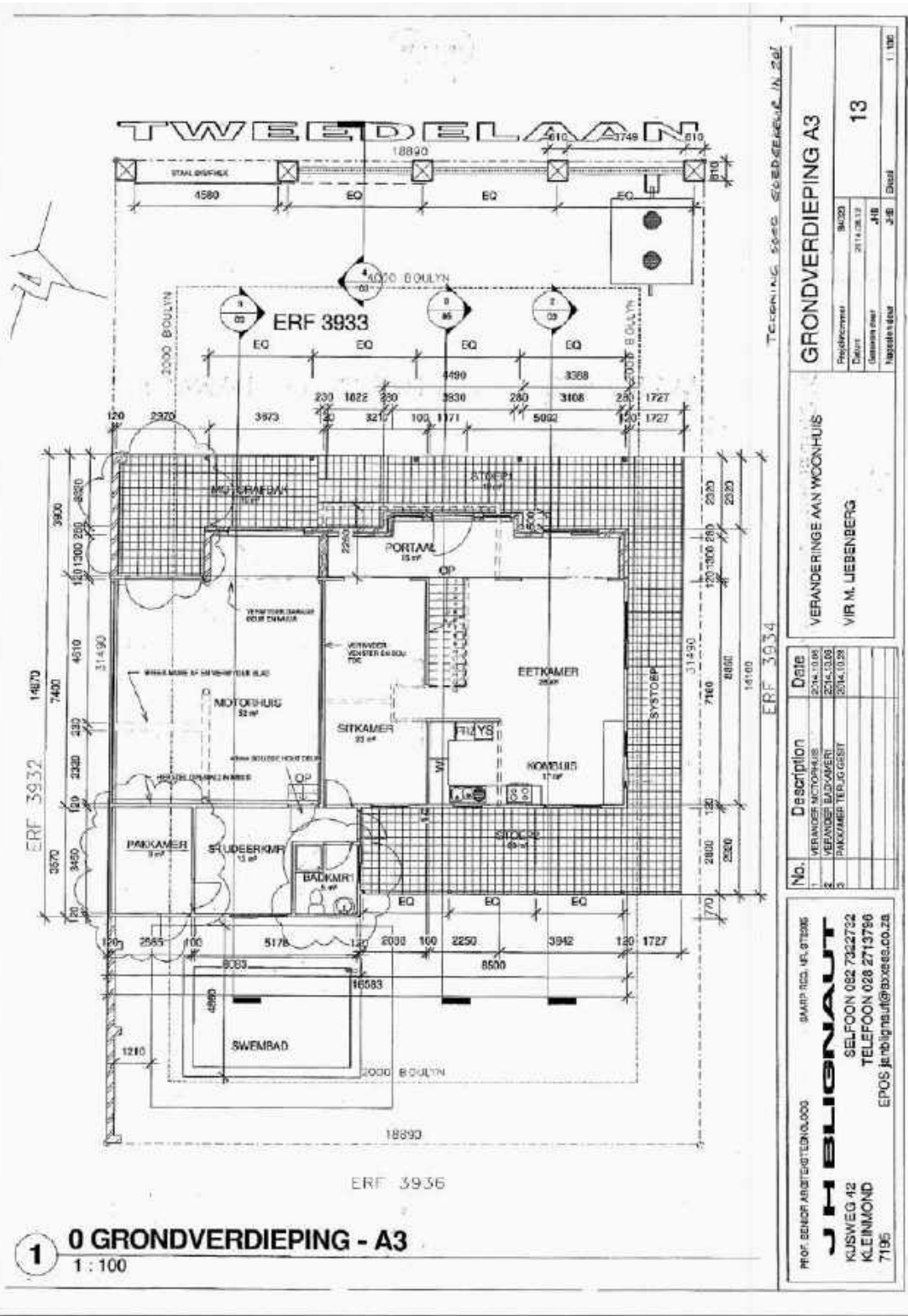
Projektnummer	158116
Datums	2010/02/22
Ontwerper	JHB
Maatstaf	1:100

15



1 NOORDOOSAANSIG 2

PROF. SENIOR ARCHITECT/ARCHIT. CO. JH BIGNAUT KUSWEG 42 KLEINMOND 7155 SWAPF REG. NR. 573285 SELFON 082 7322732 TELEFON 028 2713786 EPOS jh@bignaut.com www.bignaut.com		VERANDERINGE AAN WOONHUIS VIR M. JEBENBERG		NOORDOOS AANSIG	
No.	Description	Date	PROJECT NOME	BLADE	10
			DRIFAT	2014/06/03	
			Getekende Byw.	JHB	
			Registreer Oms.	JHB	



1 0 GRONDVERDIEPING - A3
1 : 100

TENNIS 5500 SEEDERBURG IN 201

GRONDVERDIEPING A3

VERANDERING AN WOONHUIS
VIR M. LIEBENBERG

Projektnummer	94293	Bladsyfer	13
Datum	21.11.2012	Geneser naam	JHB
Opsteller	JHB	Doel	1:100

No.	Description	Date
1	VERANDER MOTORSLUIS	2014-10-05
2	VERANDER BADKAMER	2014-10-05
3	PARKAMER TEG AG GEBIT	2014-10-28

STAMP NO. 45.872895

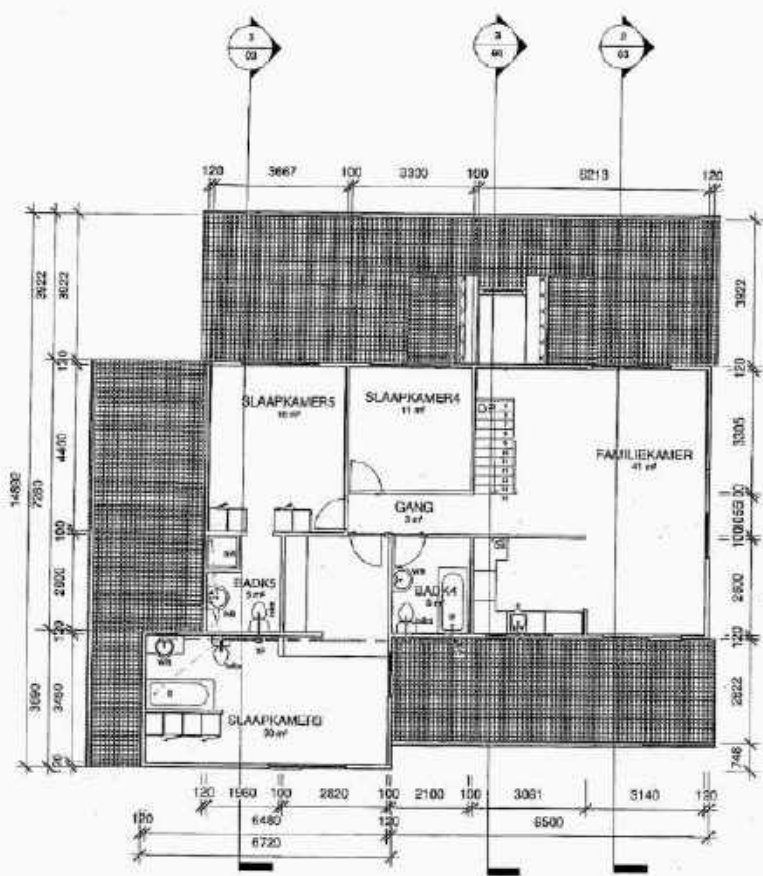
J H BLIGNAUT

KUSWEG 42
KLEINMOND
7195

SELFOON 082 7342752
TELEFOON 028 2713750
EPOS jh@blignaut@essexes.co.za

ERF 3932

ERF 3934



1 1 EERSTEVERDIEPING - A3
1:100

TERRASLINS VOET GOSSELGEBOUW IN 2014

EERSTEVERDIEPING A3	
Projectnummer	54620
Datum	2014.01.12
Getuimd door	J.H.
Gegevens van	J.H. SHM
1:100	

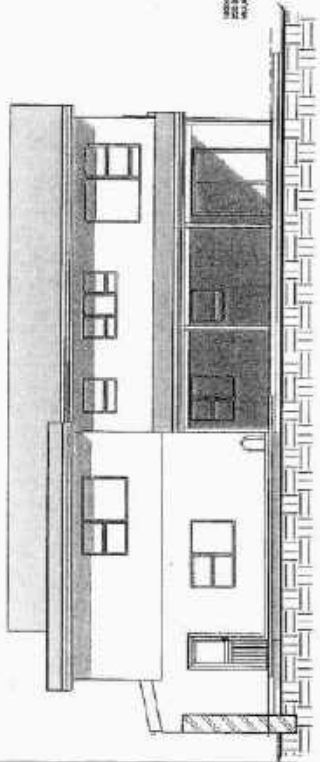
VERANDERINGE AAN WOONHUIS
VIR M. LIEBENBERG

Nr.	Description	Date

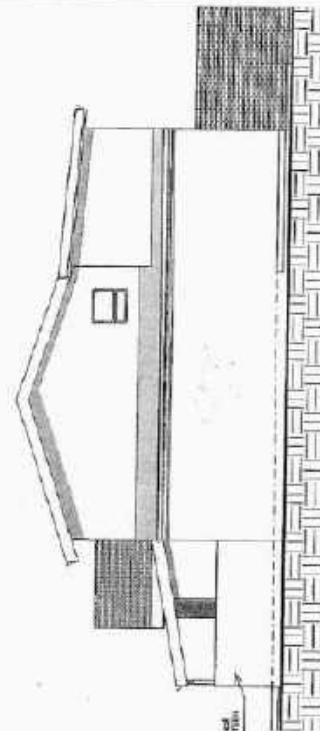
PROF. SINDY APOSTOLISCHOULOS
SARIPPELRIK 5728B

JH BLIGNAUT
KUSWEG 42
KLEINMOND
7165

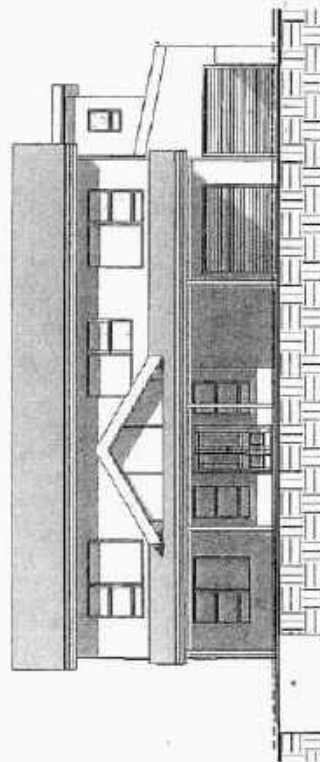
SELEFOON 082 7322732
TELEFOON 028 2713795
EPOS jant@grauj@awwies.co.za



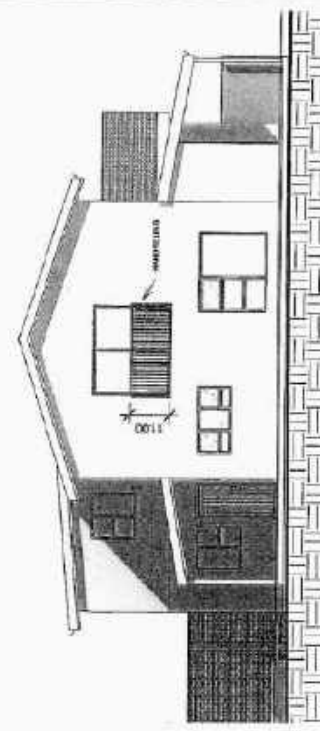
2 SUIDAANSIG - A3
1 : 100



4 WESAANSIG - A3
1 : 100



1 NOORDAANSIG - A3
1 : 100



3 OOSAANSIG - A3
1 : 100

PROF. BIRCHIE ANCHUTESTEKNOLOG
J-H BLIGNAUT
 KUSWEG 42
 KLEINMOND
 7195
 SKAPP REA. NR. B1288
 SELFOON 082 7322732
 TELEFOON 026 2713796
 EPOS jhanchut@access.co.za

No.	Description	Date

VERANDERINGE AAN WOONHUIS
 VIR M. LIEBENBERG

AANSIGTE

Projektnommer	SAKES
DBM	20140812
Skedule No.	JHS
Registreer No.	JHS

15

T. 026 271 3796

1:100

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 3933, KLEINMOND (2963/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 3933, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

22. ERF 8250, 49 ALOE STREET, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE: J ADONIS

8250 KKM (3164)

H van der Stoep

24 December 2019

(028) 313 8900

Hermanus Administration

Executive Summary

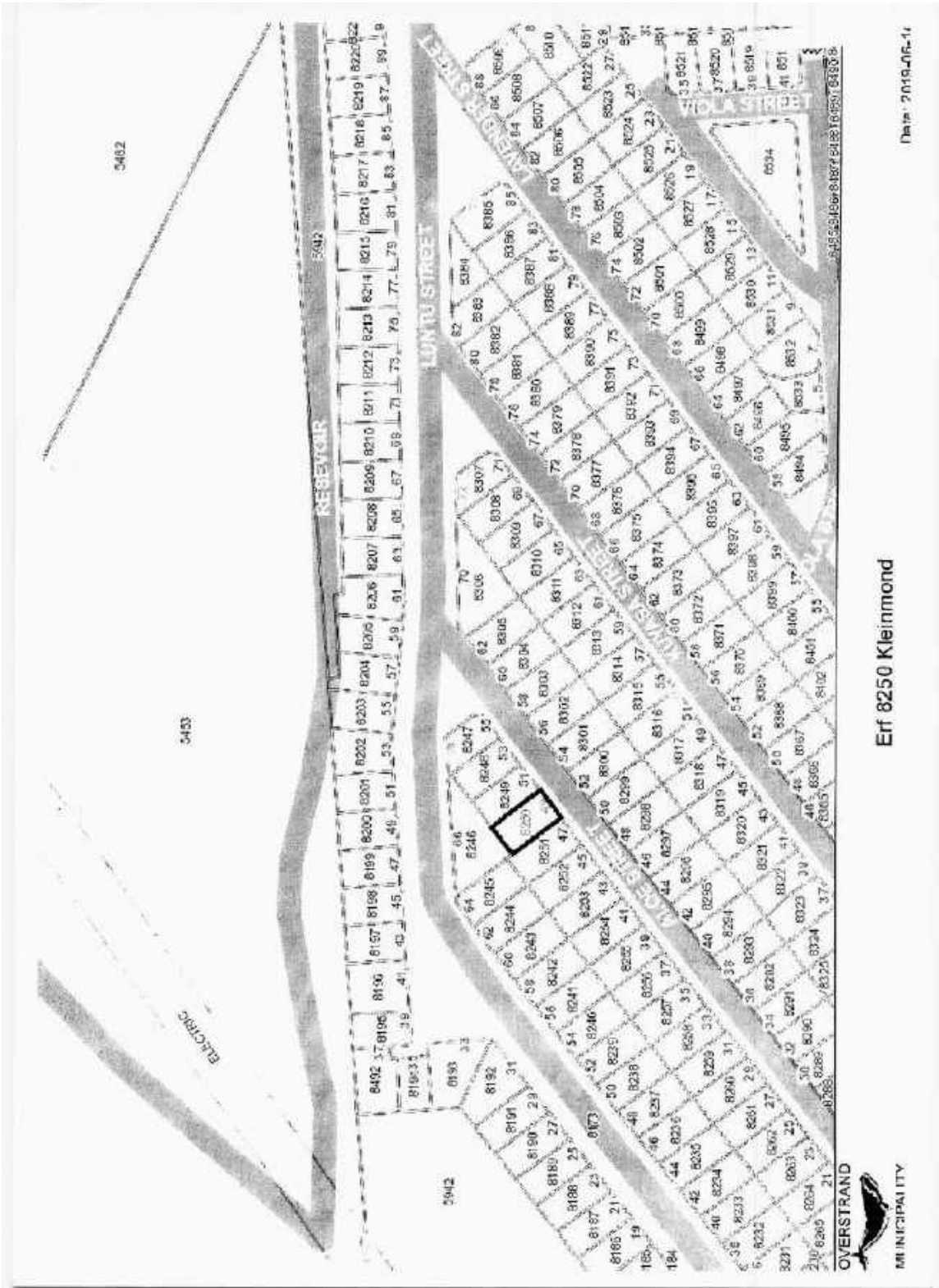
An application has been received on 14 June 2019 from J Adonis on Erf 8250, Kleinmond in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use in order to utilize a portion of the existing dwelling as a house shop.

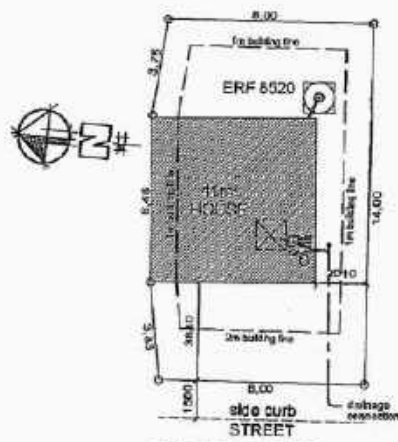
RECOMMENDATION

1. that the application in terms of Section 16(2)(o) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 8250, Kleinmond for a consent use in order to utilize a portion of the existing dwelling as a house shop, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that only a portion of the dwelling, not exceeding 25% of all the buildings on the property or 30m², whichever is the greatest, may be utilized as a house shop;
 - (b) that no more than one (1) vehicle, not exceeding 3500kg gross weight, may be utilized to make deliveries at the house shop at any one time;
 - (c) that adequate provision be made to manage the behaviour of patrons (both inside and outside the building) and for security and protection of surrounding properties, patrons, vehicles, etc. to the satisfaction of the Senior Manager: Town and Spatial Planning;
 - (d) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that the house shop may not be used for the purposes of noxious trade, risk activity, sale of alcoholic beverages, place of entertainment or gambling purposes;
 - (f) that no products, goods or supplies connected to the house shop may be stored on the property outside the building;
 - (g) that a single non-illuminated sign, that complies with the Municipal By-Law on Signage, may be displayed on the premises;

- (h) that the trading hours of business only be between 07:00 to 21:00, and should the extended hours be to the detriment of the adjacent neighbours such as noise and waste pollution, the consent be withdrawn;
- (i) that the number of people employed be restricted to three (3);
- (j) that the owner/manager resides on the premises;
- (k) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (l) that the approval is not transferable, and the house shop area may not be sublet to any other person by the applicant;
- (m) that the conditions in the Engineering Report, be adhered to;
- (n) that the Overstrand Municipality retains the right to enforce any relevant legislation, regulations, law and order regarding these premises, the applicant and the departure in land use;
- (o) that this consent use approval is valid for a maximum period of five (5) years, after which it will expire if application is not made for the extension of the validity period within the five (5) year period;
- (p) that on-site parking be provided to the satisfaction of the Senior Manager: Town- and Spatial Planning;
- (q) that Council reserves the right to rescind the approval without payment of compensation, should any justified objection be received to the manner in which the house shop is functioning or should the operation of the house shop be found to be detrimental to the peacefulness and amenity of the surrounding area;
- (r) that commercial rates and service tariffs as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (s) that application is made for a Business Licence at the Overstrand Municipality, prior to operation of the house shop;
- (t) that building plans be submitted to the Municipality showing all building changes and partitioning of the house shop in the dwelling to the satisfaction of the Fire Department and Building Control Department;
- (u) that no accumulation of refuse occur on the premises, and

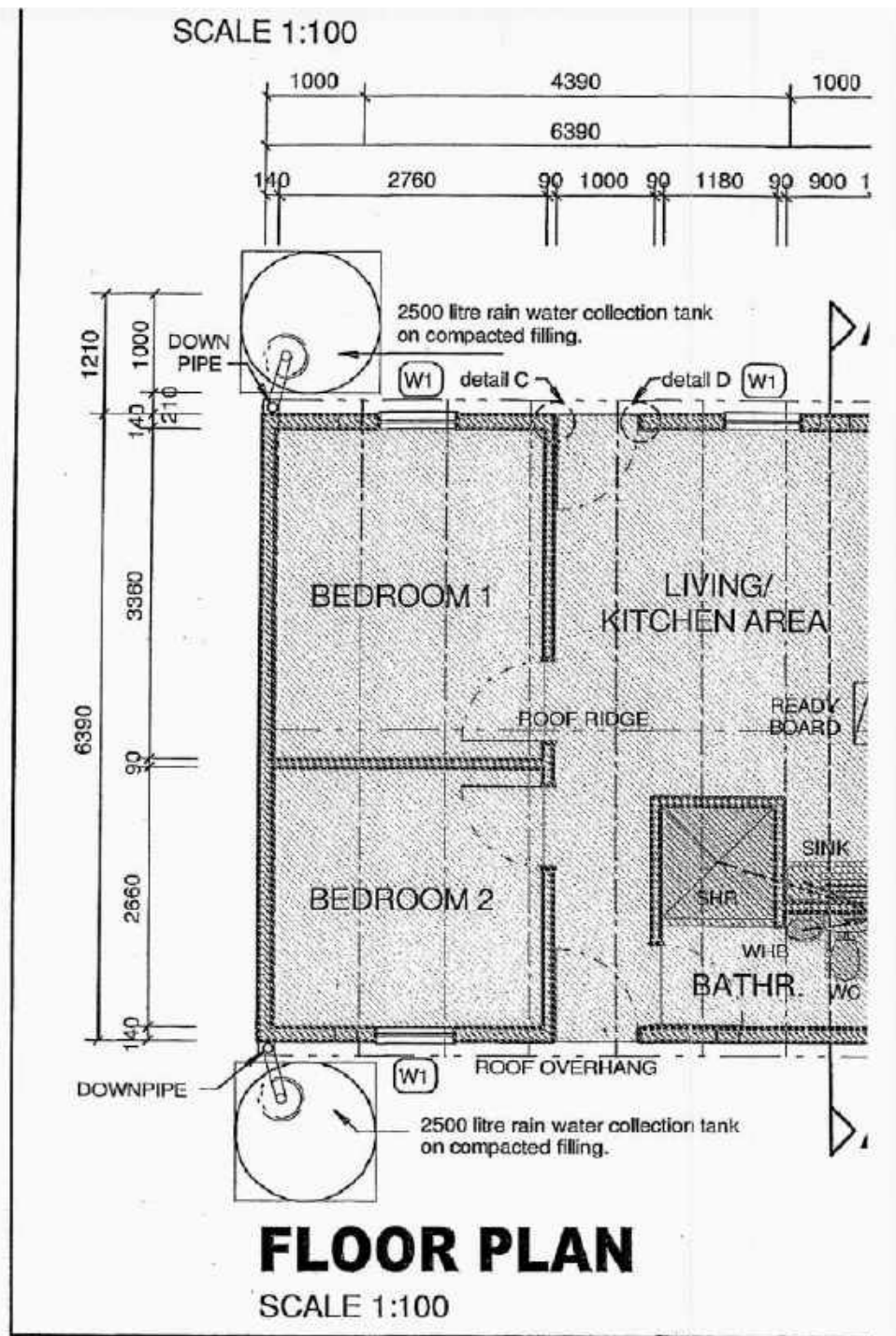
- (v) that no sleeping be allowed in the house shop/store.
- 2. that the applicant be notified of their right of appeal in terms Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.





SITE PLAN
SCALE 1:200

PROJECT DESCRIPTION KLEINMOND HOUSING			 PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST 8500-16th Street, Suite 100, Aurora, CO PO Box 124, Aurora, CO 80015 Tel: 303-751-4171 Fax: 303-751-4172 E: oscar@oscararch.com	 
TECHNISCHE BESCHREIBUNG NEW HOUSE - 41m²				
Projekt 747	Bauteil ERF 8520	Skizze -		
Version 1.000	Datum NOV 2011	Ersteller -		



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 8250, KLEINMOND (3164/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 8250, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

14/08/2019
DATE

**23. ERF 1035, 21 McFARLANE STREET, EASTCLIFF, HERMANUS:
APPLICATION FOR DEPARTURE: C McLAGEN ON BEHALF OF THE
MACS PROPERTY (PTY) LTD**

1035 HEC (3290/2019)

P Roux

(028) 313 8900

Hermanus Administration

12 January 2020

Executive Summary

An application was received on 21 August 2019 from C McLagen on behalf of The Macs Property (Pty) Ltd for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1035, Hermanus for the relaxation of the following building lines:

- the southern lateral building line from 2m to 1,350m to accommodate a proposed new bathroom;
- the northern lateral building line from 2m to 0m and rear building line from 2m to 0m to accommodate a shade port, and
- the southern lateral line from 2m to 0m to accommodate the change of use of an outbuilding from a garage to a store room/garden room,

RECOMMENDATION

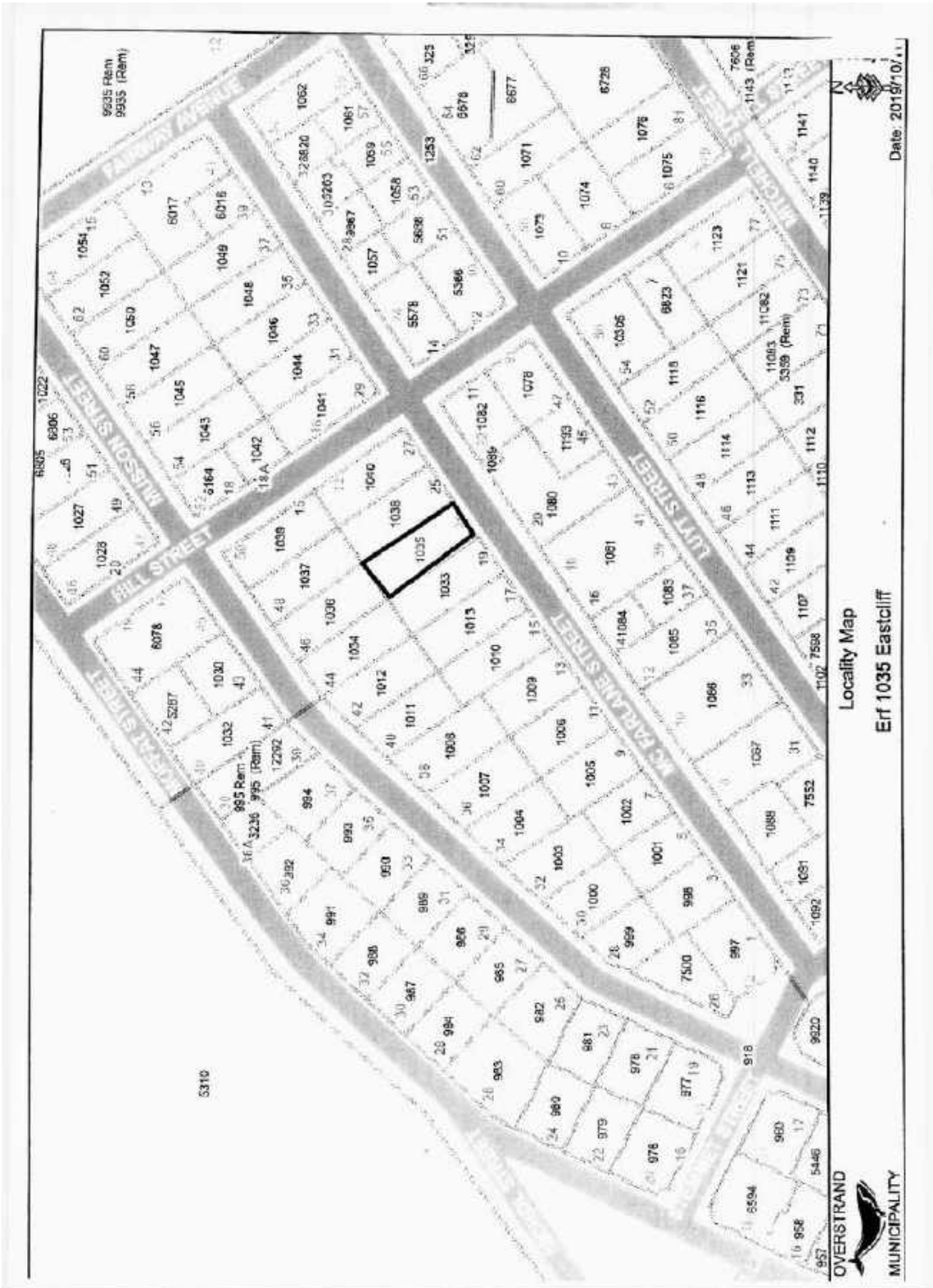
1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 1035, Hermanus for the relaxation of the following building lines:

- the southern lateral building line from 2m to 1,350m to accommodate a proposed new bathroom;
- the northern lateral building line from 2m to 0m and rear building line from 2m to 0m to accommodate a shade port, and
- the southern lateral line from 2m to 0m to accommodate the change of use of an outbuilding from a garage to a store room,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the above approval is for the development with the dimensions indicated on *Drawing No. MP 19010/1 to 4* which was submitted with the application,

- (b) that the outbuilding on the southern boundary can only be utilised for storage purposes and that no stacking doors can be developed on the side of the structure,
 - (c) that prior to the submission of building plans a revised site development plan be submitted indicating that there will be no stacking doors on the side of the outbuilding (which is on the southern boundary) and that it will only be utilised for storage purposes,
 - (d) that the building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
 - (e) that all the applicable conditions as contained in the Services Report and Telkom, be complied with;
 - (f) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (g) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval



Locality Map
Erf 1035 Eastcliff



ALL REQUIREMENTS OF MUNICIPAL AND AUTOMATIC CONCERNED MUST BE FURNISHED TO CITY ENGINEER AND S.A. CONTRACTOR MUST CHECK ALL DIMS AND LEVELS ON THE SITE BEFORE COMMENCING WORK. DIMENSIONS MUST BE USED IN CONSTRUCTION. ALL DIMENSIONS MUST BE USED IN CONSTRUCTION. ALL DIMENSIONS MUST BE USED IN CONSTRUCTION. ALL DIMENSIONS MUST BE USED IN CONSTRUCTION.

COUNCIL SUBMISSION

TO S.A. CONTRACTOR

COVER LEVEL	EX. C.1	EX. C.2	EX. C.3	EX. C.4
INVERT LEVEL	10 000	10 000	10 000	10 000
DEPTH	0 500	0 500	0 500	0 500
DISTANCE	0 500	0 500	0 500	0 500
FALL	1:80	1:80	1:80	1:80

1000 mm dia. vent

1000 mm dia. vent

CLIENT: THE MACS PROPERTY DATE: 19/06/2018

DESIGNER: N. McLAGAN DATE: 19/06/2018

SIGNATURE: [Signature] DATE: 19/06/2018

REG. NO. ST1287

Neil McLagan
1A Kelvin Road
Newlands
7700
021 6892216
083 2062004
mactoplan.nm@gmail.com

PROJECT: PROPOSED ADDITIONS

CLIENT: THE MACS PROPERTY

ON REF: REM. 1035
No.21 McFARLANE STREET
HERMANUS

DRAWING: DRAINAGE TITLE & SECTIONS

SCALE 1:100

DATE: JULY 2018
DRAWN: D.A.T

DRAWING No. MP 19010/4

REVISION A

ISSUED DATE: 19/08/2018

DRAINAGE SECTION

ALL UNDERGROUND SEWER & VENT PIPES TO BE 450mm DIA. GALVANIZED STEEL WITH 100mm ABOVE & 50mm BELOW LOWEST TRAP. WATER SEWER PIPE PASSES LEANT BUILDING TO BE INSTALLED IN CONCRETE ALL ROUND.

WHERE DRAINAGE PIPE IS CLOSER THAN 100mm FROM FOUNDATION LEVEL, IT SHALL BE COVERED IN CONCRETE WITH A MINIMUM COVER OF 100mm FOR BELT AND ABOVE THE FOUNDATION LEVEL.

GROUND FENESTRATION

CODE	QUANTITY	HEIGHT	WIDTH	AREA	MIN/JOINT
B-1	1	2 100	800	1 680m ²	2 100
B-2	1	2 100	800	1 680m ²	2 100
W-1	1	1 200	1 800	2 160m ²	2 100
W-2	1	800	1 800	1 440m ²	2 100
W-3	1	1 500	1 500	2 250m ²	2 100
W-4	1	1 500	1 500	2 250m ²	2 100
W-5	1	800	1 300	1 040m ²	2 100
W-6	1	800	1 300	1 040m ²	2 100
W-7	1	1 500	1 000	1 500m ²	2 100
W-8	1	1 500	1 000	1 500m ²	2 100
W-9	1	1 200	2 400	2 880m ²	2 100
W-10	1	1 200	2 400	2 880m ²	2 100

NOTES:
ALL INSTALLATIONS TO BE DONE IN ACCORDANCE TO SANS 1020-1 & SANS 1026. ALL HOT WATER SUPPLY & PIPES TO BE CLAD WITH INSULATION - MIN. R VALUE 1/6.
ALL TO COMPLY WITH SANS 1040 - PART 5A.

LIGHTS TO BE ENERGY SAVING CFL LED TO SANS 264

FLOOR AREA = 100,0m²
FEN. AREA = 19,0m²
PERCENTAGE = 19%

NB: GLAZING TO COMPLY WITH PART 5 OF SANS 1040

SECTION A.-A.

SECTION B.-B.

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 1035, EASTCLIFF (3290/2019)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 1035, Eastcliff, unobstructed;
6. that no on-street parking be allowed.


 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES


 DATE

24. **ERF 239 AND REMAINDER ERF 241, CORNER OF DE GOEDE STREET AND ROCKLANDS ROAD, HERMANUS (WESTCLIFF), OVERSTRAND MUNICIPAL AREA: APPLICATION FOR SUBDIVISION, CLOSURE OF A PORTION OF PUBLIC ROAD, REZONING, CONSOLIDATION AND AMENDMENT OF GENERAL PLAN: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF DJ JORDAAN**

239 & 241 HWC (3203)

**H van der Stoep
27 January 2020**

(028) 313 8900

Hermanus Administration

Executive Summary

An application has been received on 4 June 2019 from Messrs Plan Active Town and Regional Planners on behalf of DJ Jordaan applicable to Erf 239 and Remainder Erf 241, Hermanus (Westcliff) for the following:

- ❖ subdivision of Remainder Erf 241, Hermanus in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) into two (2) portions, namely Portion A ($\pm 256\text{m}^2$) and the Remainder;
- ❖ closure in terms of Section 16(2)(n) of the By-Law of the above Portion A ($\pm 256\text{m}^2$) of public road Remainder Erf 241, Hermanus;
- ❖ rezoning in terms of Section 16(2)(a) of the By-Law of the above Portion A from Transport Zone 2: Road and Parking to Residential Zone 1: Single Residential;
- ❖ consolidation in terms of Section 16(2)(e) of the By-Law of Erf 239, Hermanus with the above Portion A, and
- ❖ amendment in terms of Section 25(2) of the By-Law of General Plan No. TP 14 Hermanus Township Ext. No. 2 by the addition of the above road portion, as an ordinary erf.

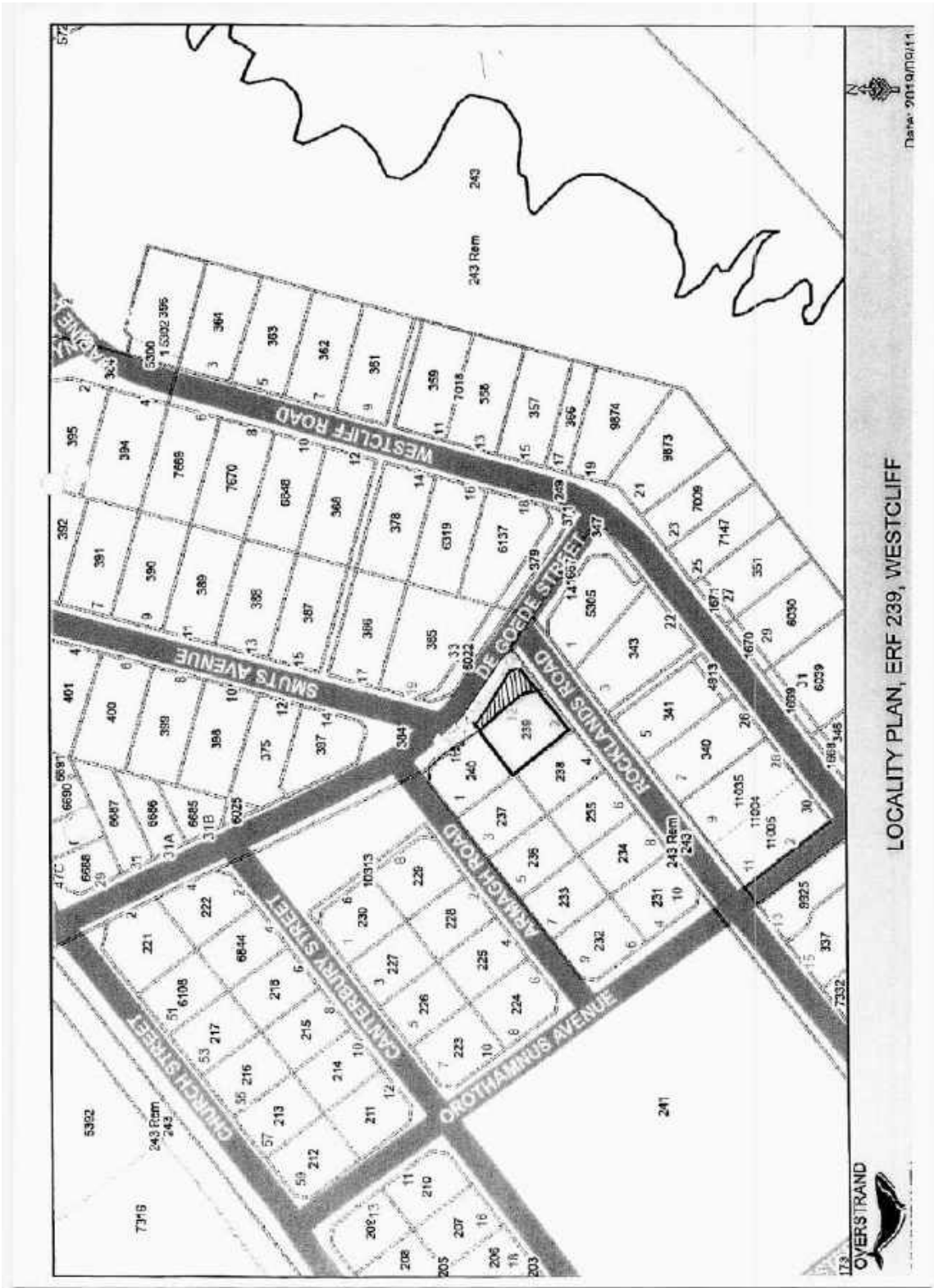
RECOMMENDATION

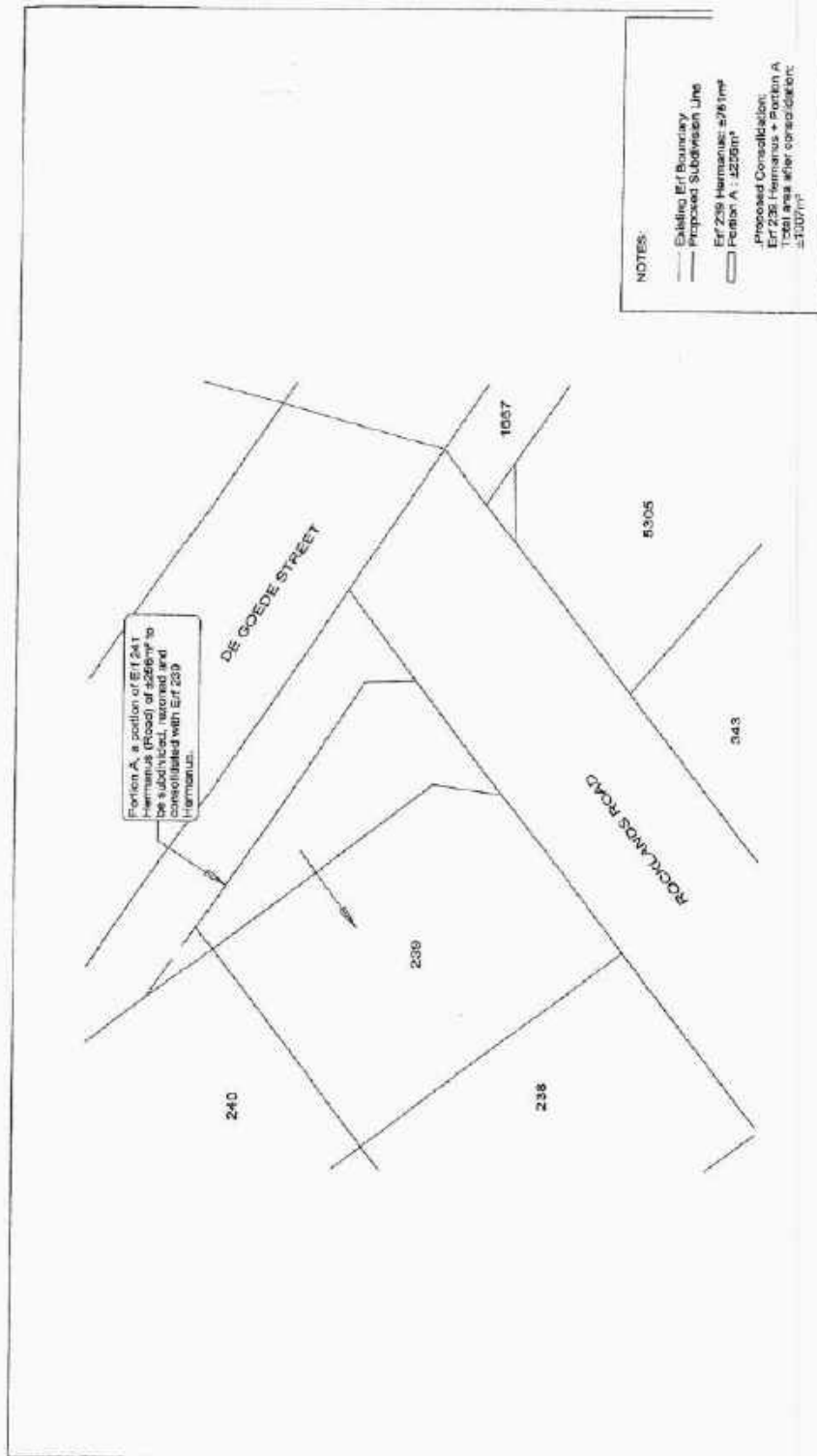
1. that the application received from Messrs Plan Active Town and Regional Planners on behalf of DJ Jordaan applicable to Erf 239 and Remainder Erf 241, Hermanus for the:
 - ❖ subdivision of Remainder Erf 241, Hermanus in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) into two (2) portions, namely Portion A ($\pm 256\text{m}^2$) and the Remainder;
 - ❖ closure in terms of Section 16(2)(n) of the By-Law of the above portion A ($\pm 256\text{m}^2$) of public road Remainder Erf 241, Hermanus;

- ❖ consolidation in terms of Section 16(2)(e) of the By-Law of Erf 239, Hermanus with the above Portion A, and
- ❖ amendment in terms of Section 25(2) of the By-Law of General Plan No. TP 14 Hermanus Township Ext. No. 2 by the addition of the above road portion, as an ordinary erf,

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the above Portion A of Remainder Erf 241, Hermanus acquired by the landowners of Erf 239, Hermanus may solely be utilized for gardening purposes – no structures of any kind, except boundary walls/fences, are allowed;
 - (b) that the relevant conditions of Engineering Services and Telkom, be complied with;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
2. that the applicant be notified of its appeal right in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.





	All distances approximate and subject to survey. COPY RIGHT RESERVED	Property Description: ERVEN 239 & 241 HERMANUS	Plan Description: SUBDIVISION PLAN	Scale: 1:500 Drawing Nr: nr239.dwg Date: 00/2019

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR SUBDIVISION, REZONING, CONSOLIDATION & CLOSURE
OF PUBLIC PLACE: ERVEN 239 & 241, WESTCLIFF (3203/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that the developer will be responsible for the cost of relocating the existing municipal electrical supply cable located on the land.
4. that no buildings or structures shall be constructed on Portion A, a portion of Erf 241, Hermanus after consolidation, except for a boundary wall or fence.
5. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
6. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
7. that stormwater be allowed to discharge through Erven 239 & 241, Westcliff, unobstructed;
8. that no on-street parking be allowed.

pp R. Hendriks
DENNIS HENDRIKS
SENIOR MANAGER: ENGINEERING SERVICES

14/11/2019
DATE

25. ERF 3607, 62 DEMPERS STREET, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: REMOVAL OF RESTRICTIVE CONDITIONS & DEPARTURE: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF JA PRETORIUS AND SJ DU TOIT

3607 HON (3301)

H Olivier

(028) 313 8900

Hermanus Administration

12 March 2020

Executive Summary

An application has been received on 30 August 2019 from Messrs Plan Active Town & Regional Planners on behalf of JA Pretorius and SJ du Toit on Erf 3607, Onrustrivier for the following:

- ❖ Removal of restrictive title conditions in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for the removal of the restrictive condition in Title Deed T46790/2015, Clause D.(c):
 - “D. *FURTHER SUBJECT to the following special conditions contained in the said Deed of Transfer No. T1022/1944, imposed by the Municipality of Onrust River for their benefit, as contained in Certificate of registered Title No. T12224/1991, namely:-*
 - (a)
 - (b)
 - (c) *That no building shall be erected within one comma eight nine metres of any street line which forms a boundary of this erf. No building shall be situated within comma nine four metres of the lateral boundary common to any adjoining erf.*
- ❖ Departure in terms of Section 16(2)(d) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the eastern lateral building line from 2m to 0m to accommodate the existing built braai and pergola, and to relax the western lateral building line from 2m to 0,98m to accommodate the use change of the existing single garage into a fourth bedroom with en-suite.

RECOMMENDATION

1. that the application in terms of Section 16(2)(f) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 3607, Onrustrivier for the removal of restrictive condition D.(c) of Title Deed T46790/2015, **be approved** in terms of the provisions of Section 61 of the By-Law;

2. that the application in terms of Section 16(2)(d) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 for a departure to relax the eastern lateral building line from 2m to 0m to accommodate an existing built braai and pergola, and to relax the western lateral building line from 2m to 0,98m to accommodate the use change of the existing single garage into a fourth bedroom with en-suite, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in Points 1. and 2. be subject to the following conditions:
 - (a) that building plans be submitted to the Building Department for approval, prior to any future building work, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (b) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (d) that all the conditions in the Services Report, be complied with;
 - (e) that all the conditions of Telkom, be complied with, and
 - (f) that all the conditions of Eskom, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



PLAN Active State of Illinois's Planning Town & Regional Planners

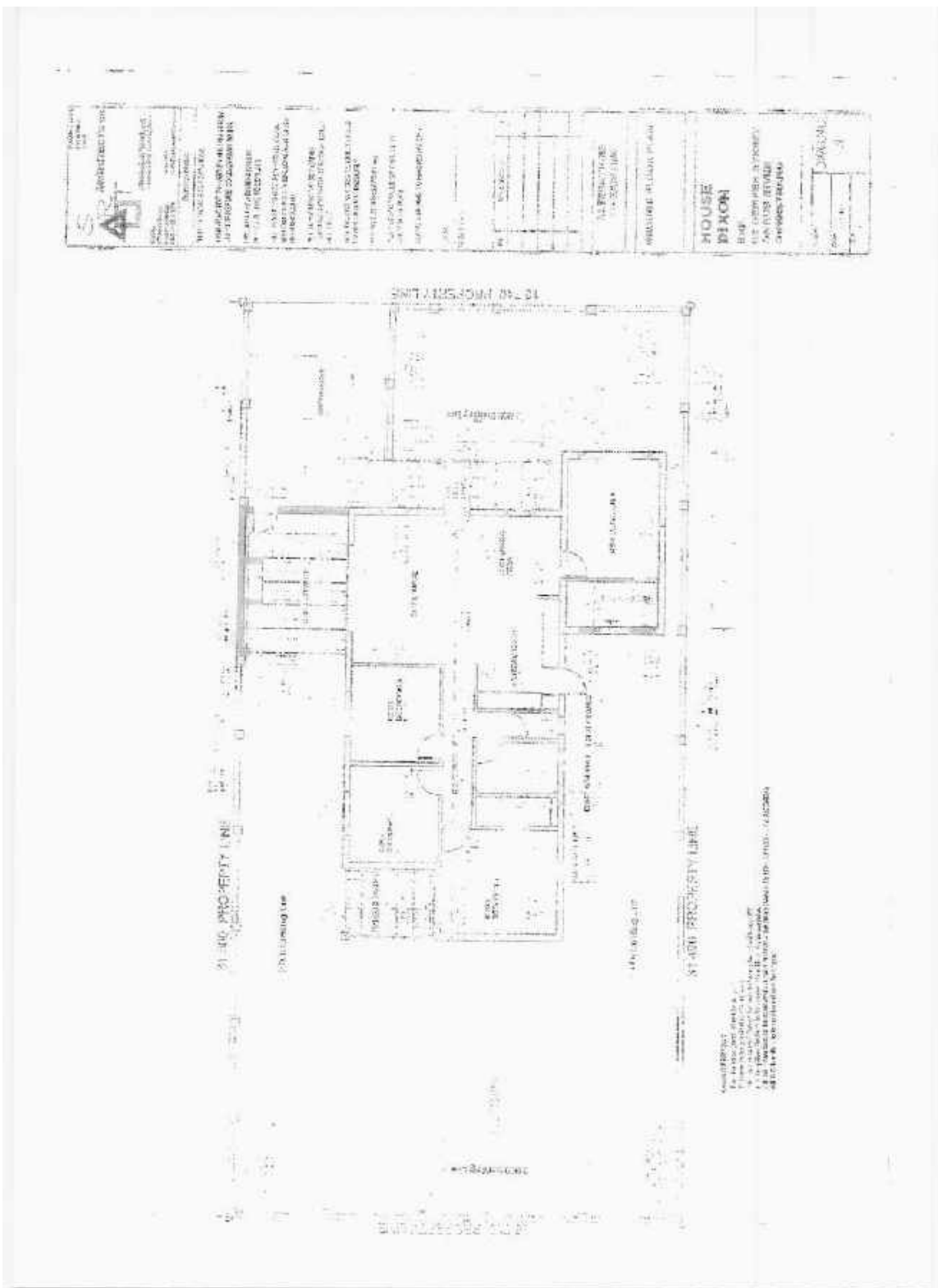
All measures appropriate for subject to review. Code subject matter not.

Project No. 17100
 Project Name: **ERF 3607**
CONTRASTRIER

Scale: **SITE PLAN**

Scale: 1" = 100'

Date: 08/20/11



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS &
DEPARTURE: ERF 3607, ONRUS RIVER (3301/2019)**

Stormwater (SW) : In order
Electricity : Escom
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that should additional services connections be required, the owner will be responsible for the payment of bulk services levies;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to minimum requirements of SANS 10400 - P:2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Erf 3607, Onrus River, unobstructed;
6. that any additional and / or extended vehicles entrances will be for the owner's account;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

26. ERF 2861, WHALE COAST VILLAGE MALL, BERGSIG STREET, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR AMENDMENT OF SITE DEVELOPMENT PLAN: JH VENTER ON BEHALF OF WHALE COAST VILLAGE MALL (PTY) LTD

2861 HSB (3222)

H van der Stoep

24 February 2020

(028) 313 8900

Hermanus Administration

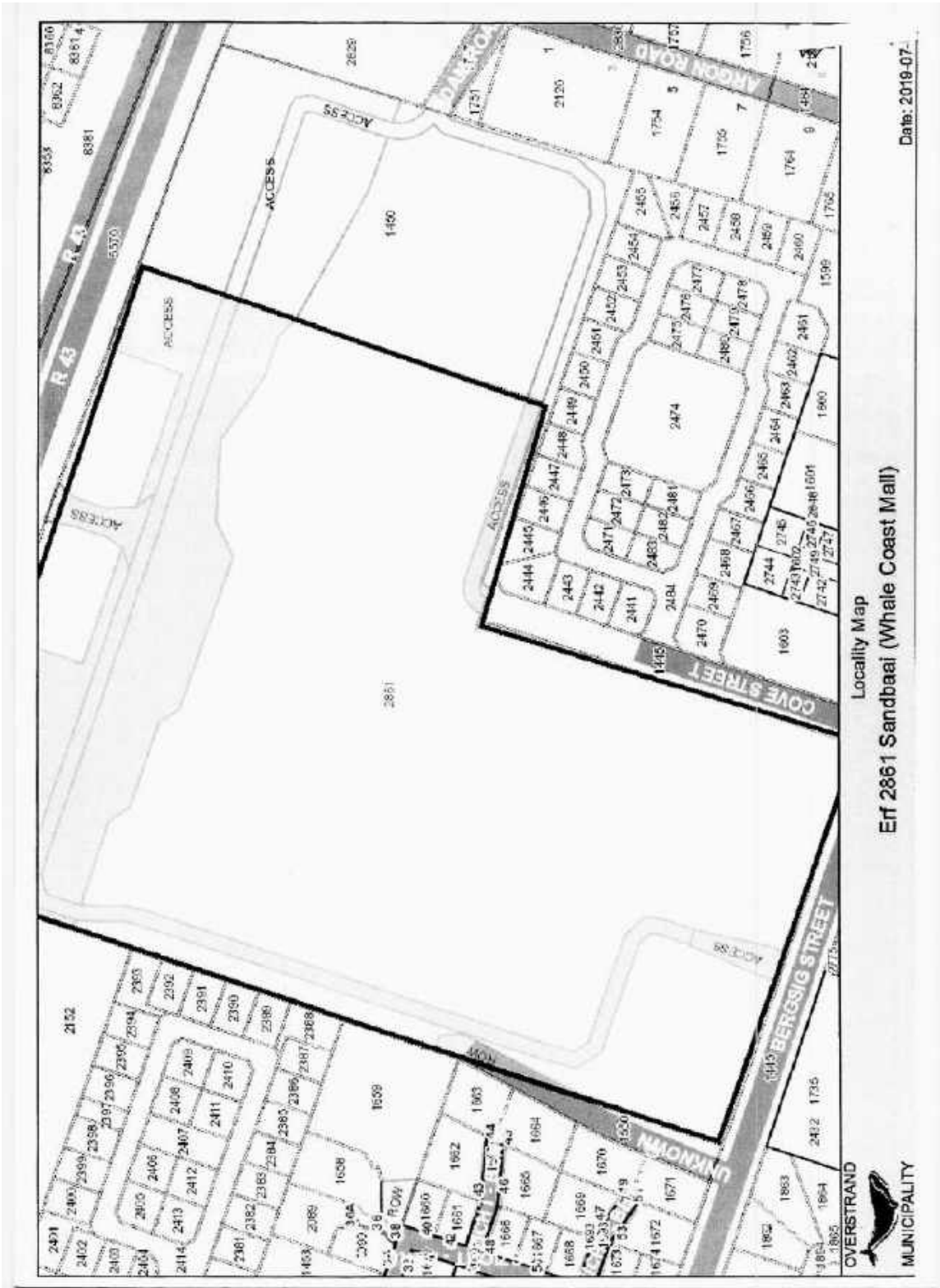
Executive Summary

An application in terms of the provisions of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 has been received on 19 August 2019 from JH Venter on behalf of Whale Coast Village Mall (Pty) Ltd for the amendment of the approved Site Development Plan (SDP) in order to accommodate a car wash on a designated area on Erf 2861, Sandbaai.

RECOMMENDATION

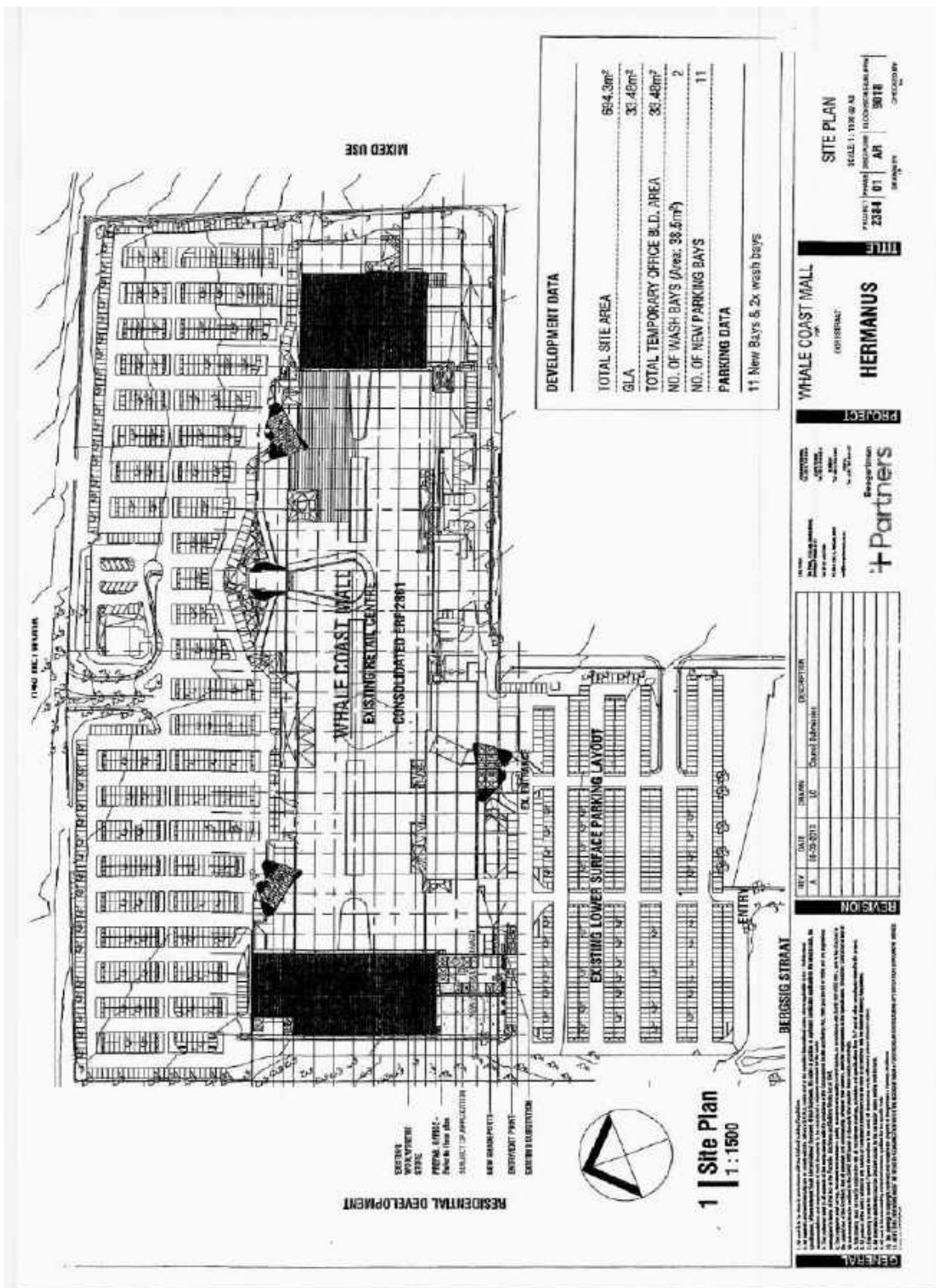
1. that the application in terms of Section 16(2)(l) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) applicable to Erf 2861, Sandbaai for the amendmend of the approved Site Development Plan in order to accommodate a carwash business on the property, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions;
 - (a) that the carport development be restricted to the layout as per plan Nos. 9017 and 9018 dated 06-03-2019 as submitted with the application;
 - (b) that the applicant provide the Municipality with a complete Site Development Plan for approval, indicating the carwash and surplus Gross Leasable Area and the surplus parking available for the mall development;
 - (c) that building plans be submitted to the Building Department for approval and that any conditions by the Building Department and Fire Services at the time, be adhered to;
 - (d) that business hours of the carwash be limited from 07:00 to 19:00 from Monday to Saturday and closed on Sundays and public holidays;
 - (e) that the owner of the business make use of harvested rainwater as far as possible, but not limited to harvested rainwater only;
 - (f) that the conditions of Engineering Services, be adhered to;
 - (g) that this approval does not absolve the applicant from compliance with any other relevant legislation, and

- (h) that all other development parameters as prescribed in the relevant Zoning Scheme, be complied with.
2. that the applicant and the objectors be notified of its respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



Locality Map
 Erf 2861 Sandbaai (Whale Coast Mall)
 Date: 2019-07-





MIXED USE

RESIDENTIAL DEVELOPMENT

EXISTING
WALL/FLOOR
EXISTING
PROPOSED LEVELS
SHOW IN THIS PLAN
SUBJECT TO APPROVAL
NEW MARKING
EXISTING PAVEMENT
EXISTING SUBSTITUTION



1 | Site Plan
1 : 1500

DEVELOPMENT DATA

TOTAL SITE AREA	664,3m ²
GLA	33,46m ²
TOTAL TEMPORARY OFFICE BLD. AREA	33,46m ²
NO. OF WASH BAYS (Area: 38,6m ²)	2
NO. OF NEW PARKING BAYS	11
PARKING DATA	
11 New Bays & 2x wash bays	

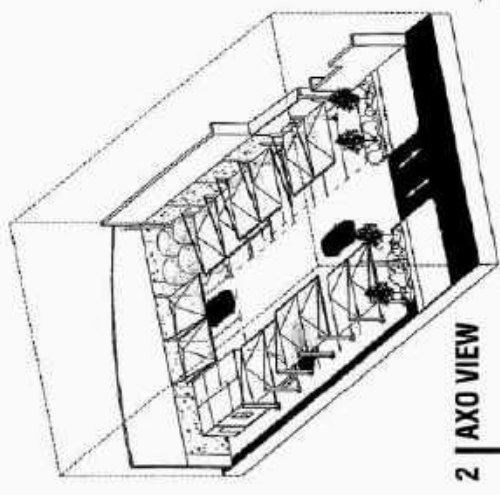
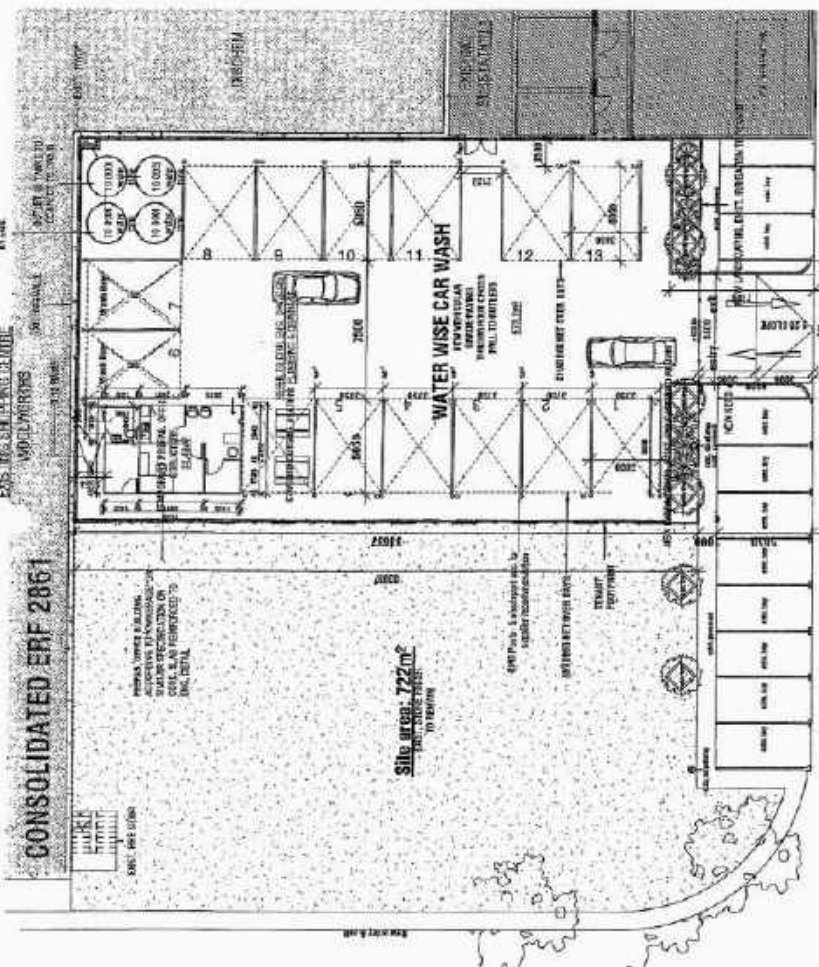
WHALE COAST MALL
PROJECT
HERIMANUS
CONSULTANT
SITE PLAN
SCALE: 1:1500 @ A3
PROJECT NUMBER: 2384 01 AR 3012
DATE: 2012

CLIENT:
DATE:
PROJECT NO:
DRAWN BY:
CHECKED BY:
+Partners
Engineering

REV	DATE	BY	DESCRIPTION
A	02-2012	LD	Final Submission

REVISION

GENERAL NOTES:
1. This site plan is prepared in accordance with the provisions of the Planning and Building Act 2003 and the Planning and Building Regulations 2004.
2. The site plan is based on the information provided by the client and is not to be used for any other purpose without the written consent of the consultant.
3. The consultant is not responsible for any errors or omissions in this site plan or for any consequences arising from its use.
4. This site plan is the property of the consultant and is to be kept confidential.
5. The consultant is not responsible for any changes to the site plan after it has been approved by the relevant authority.



1 | FLOOR PLAN
1 : 200

GENERAL

1. This drawing is the property of the Architect and shall remain confidential. It is to be used only for the project and site for which it is prepared. It is not to be used for any other purpose without the written consent of the Architect.
2. The Architect is not responsible for any errors or omissions in this drawing or for any consequences arising therefrom, whether or not such errors or omissions are caused by negligence or otherwise.
3. The Architect is not responsible for any construction methods or materials used in the construction of the building, whether or not such methods or materials are specified in this drawing.
4. The Architect is not responsible for any construction methods or materials used in the construction of the building, whether or not such methods or materials are specified in this drawing.
5. The Architect is not responsible for any construction methods or materials used in the construction of the building, whether or not such methods or materials are specified in this drawing.

REV.	DATE	REASON	DESCRIPTION
A	04-23-2015	1st	Issue for Construction

PROJECT

WHALE COAST MALL
CONSTRAINT

HERMANUS
Group of Partners

FLOOR PLAN

SCALE: 1:200 @ A3

PROJECT FILE NO: 2384 01 AR 9917

DATE: 04/23/15

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR AMENDMENT OF SITE DEVELOPMENT PLAN: ERF 2861,
WHALE COAST VILLAGE MALL, SANDBAAI (3222/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 - P: 2010: Drainage*;
4. that any proposed building or alterations / additions to the existing structure, requires a Building Plan Application compliant with all applicable law;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 2861, Sandbaai, unobstructed;
7. that any additional and / or extended vehicle entrances will be for the owner's account;
8. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

27. ERF 7653, 43 SIXTH AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: WP BURGER

7653 KKM (3072)

H van der Stoep

18 March 2020

(028) 313 8900

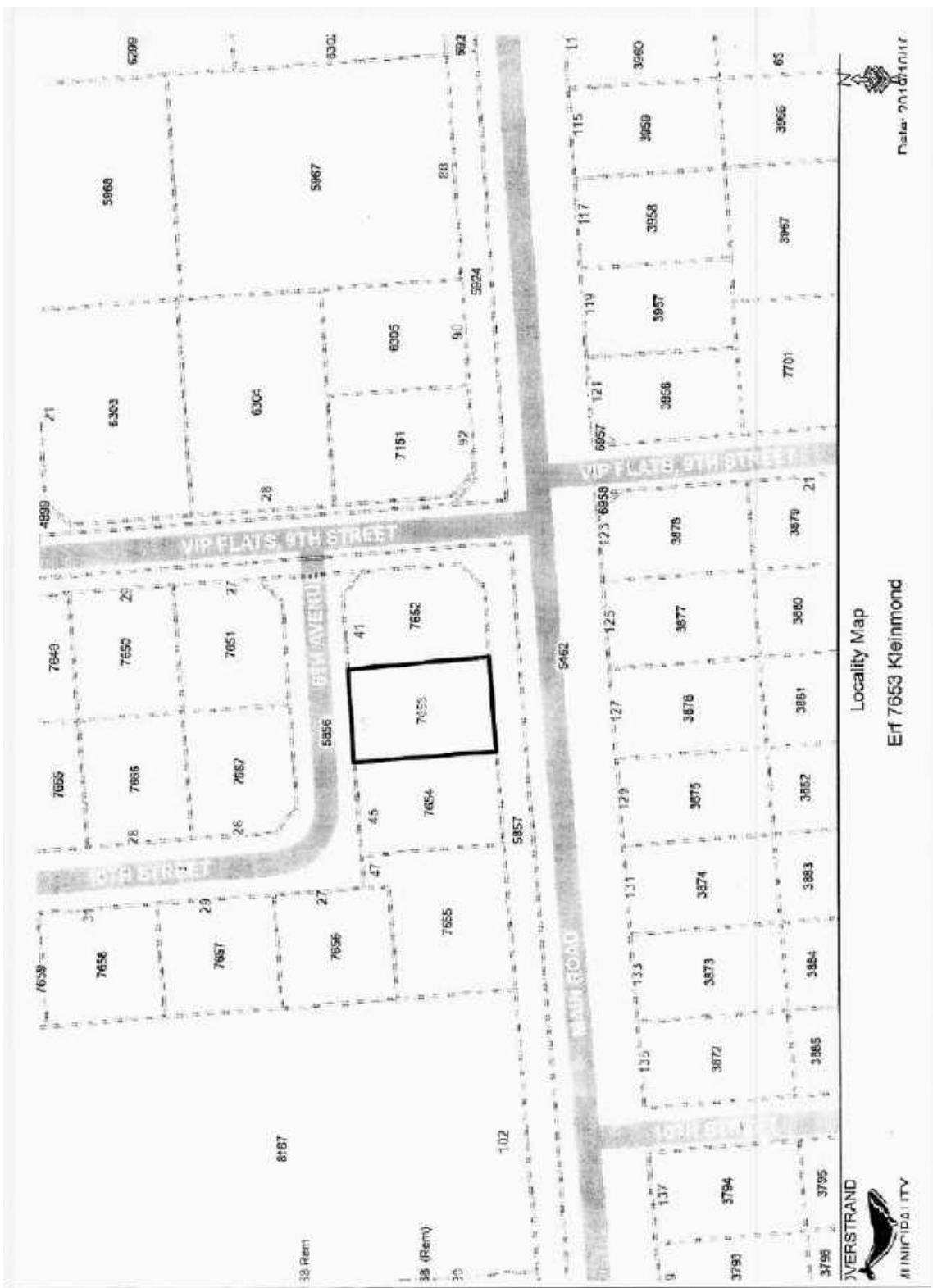
Hermanus Administration

Executive Summary

An application has been received on 20 May 2019 from WP Burger on Erf 7653, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the street building line from 4m to 0,9m to accommodate a carport.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 on Erf 7653, Kleinmond for a departure in order to relax the street building line from 4m to 0,9m to accommodate a double carport, **be approved** subject to the following conditions:
 - (a) that this approval is only for the development as indicated on the plan no. 190307/03 dated 29 April 2019, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 7653, KLEINMOND (3072/2019)**

Stormwater (SW)	:	In order
Electricity	:	In order
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 7653, Kleinmond, unobstructed;
4. that no on-street parking be allowed.

p.p. R. Hendriks

DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES

25/10/2019

DATE

28. ERF 5320, 6 ABERDEEN STREET, HERMANUS (NORTHCLIFF), OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE AND CONSENT USE: MESSRS INTERACTIVE TOWN AND REGIONAL PLANNING ON BEHALF OF RJ SCHIEL

5320 HNC (3373)

H van der Stoep

(028) 313 8900

Hermanus Administration

17 March 2020

Executive Summary

An application has been received on 1 August 2020 from Messrs Interactive Town and Regional Planning on behalf of RJ Schiel on Erf 5320, Hermanus for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 to relax the buildings as follows:

- western lateral building line from 3m to 0,2m to accommodate a proposed and approved building
- eastern lateral building line from 3m to 1,7m to accommodate a proposed and approved building and
- street building line from 4m to 0,8m to accommodate an approved building

Simultaneously an application was lodged in terms of terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for a consent use to accommodate a dwelling unit on the property

RECOMMENDATION

1. that the application for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 5320, Hermanus to relax the building lines as follows:

- western lateral building line from 3m to 0,2m to accommodate a proposed and approved building
- eastern lateral building line from 3m to 1,7m to accommodate a proposed and approved building and
- street building line from 4m to 0,8m to accommodate an approved building,

be approved in terms of the provisions of Section 61 of the By-Law;

2. that the application for a consent use in terms Section 16(2)(o) of the By-Law on Erf 5320, Hermanus to accommodate a dwelling unit on the property, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the approvals in 1. and 2. be subject to the following conditions:

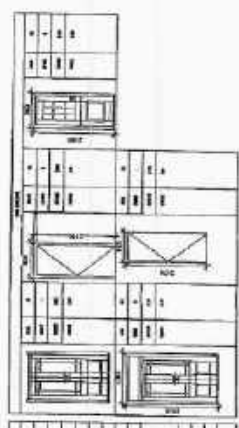
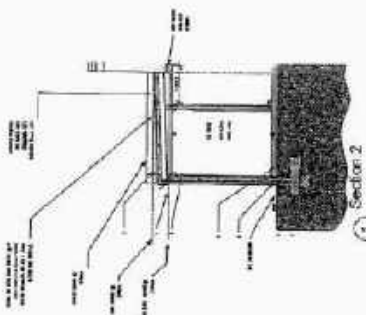
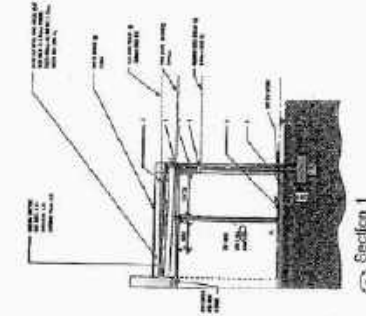
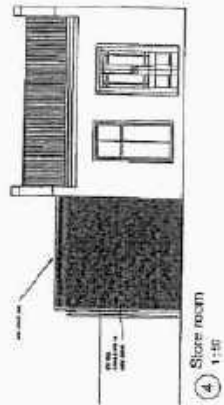
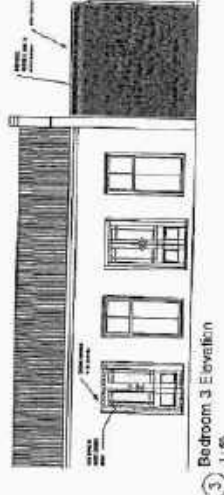
- (a) that this approval is only for the development as indicated on the plan 101 dated 4 June 2019, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building – and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
4. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING OFFICIALS.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXECUTION OF THE WORK.
5. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.
6. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.

ENGINEER CERTIFICATION:

BY: *[Signature]*
 TITLE: *[Title]*
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 No. *[No.]* - *[No.]*
 REGISTERED WITH THE BOARD OF PROFESSIONAL ENGINEERS
 CIVIL ENGINEERING
 PHILIPPINES



Section 1:10

1. BRICKS
2. CONCRETE
3. PLASTER
4. PAINT
5. WOOD
6. GLASS

FOR MUNICIPAL APPROVAL

grew architecture

PROJECT: HOUSE SCHBI-ADDITIONS

LOCATION: LASREPUER, HERMANAS

DATE: 10/10/19

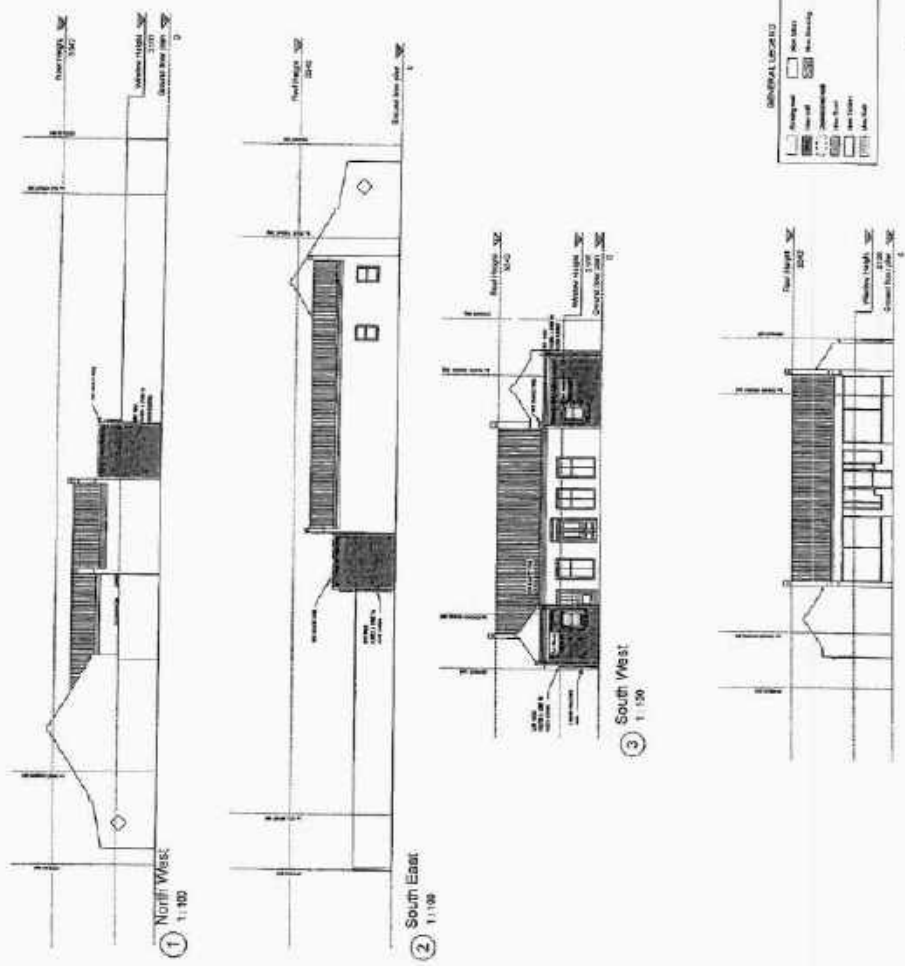
DESIGNER: *[Signature]*

ARCHITECT: *[Signature]*



NOTES:

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. THE ARCHITECT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT AND THE CONSULTANTS.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SPECIALTY SYSTEMS.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.
5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.
7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.
8. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.
9. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.
10. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF FOUNDATIONS OR OTHER SPECIALTY SYSTEMS.



FOR MUNICIPAL APPROVAL

grew architecture

PROJECT: HOUSE SCHEMATIC ADDITIONS

LOCATION: 3 ARDEN STREET, ROSMARE

DRAWING: ELEVATIONS

DATE: 10/10/2014

DESIGNED BY: NADIA

SCALE: 1:100

CLIENT: JESSIE & JAMES

PROJECT NO: 10/10/2014

DATE: 10/10/2014

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/10/2014	ISSUED FOR APPROVAL

ENGINEER CERTIFICATION:

REGISTERED ARCHITECT


**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 5320, NORTHCLIFF (3273/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that any additional and / or extended vehicle entrances will be for the owner's account;
6. that stormwater be allowed to discharge through Erf 5320, Northcliff, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

29. ERF 4094, 110 SECOND AVENUE, KLEINMOND, OVERSTRAND MUNICIPAL AREA: PROPOSED DEPARTURE: MESSRS SCHOONRAAD ARCHITECTS ON BEHALF OF M DE KOCK

4094 KKM (3339/2019)

H van der Stoep

(028) 313 8900

Hermanus Administration

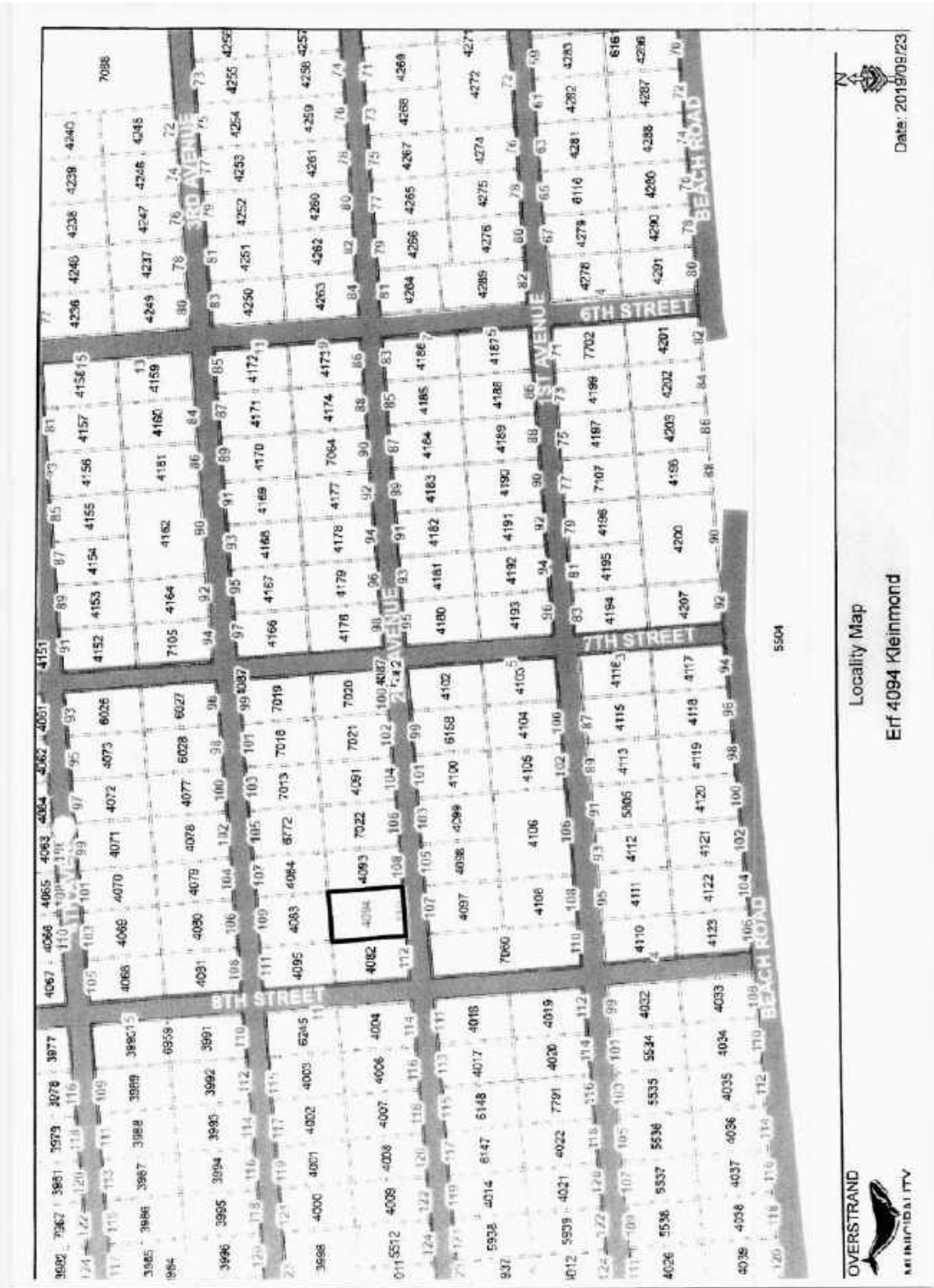
18 March 2020

Executive Summary

An application has been received on 20 September 2019 from Messrs Schoonraad Architects on behalf of M de Kock on Erf 4094, Kleinmond for a departure in terms of Section 16(2)(b) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 in order to relax the lateral building line from 2m to 1,5m to accommodate the conversion of a single garage into a bedroom and an en-suite bathroom.

RECOMMENDATION

1. that the application in terms of Section 16(2)(b) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (By-Law) on Erf 4094, Kleinmond for a departure in order to relax the western lateral building line from 2m to 1,5m to accommodate a bedroom and en-suite bathroom, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that this approval is only for the development as indicated on plan No. SD100.00 dated 26 June 2019, as submitted with the application;
 - (b) that building plans be submitted to the Building Department for approval, and that all conditions of the Building- and the Fire Department be complied with at that stage;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation;
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (e) that all the conditions in the Services Report, be complied with.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.



Locality Map
Erf 4094 Kleinmond

Date: 2018/09/23

5504

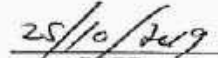
**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR DEPARTURE: ERF 4094, KLEINMOND (3339/2019)**

Stormwater (SW) : In order
Electricity : In order
Water : In order
Sewer : In order
Roads and traffic : In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the developer's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the developer's cost;
3. that stormwater be allowed to discharge through Erf 4094, Kleinmond, unobstructed;
4. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

30. REMAINDER PORTION 1 OF THE FARM WORTEL GAT NO. 723, DIVISION CALEDON, OVERSTRAND MUNICIPAL AREA: PROPOSED CONSENT USE AND AMENDMENT OF CONDITIONS OF APPROVAL: MESSRS WRAP ON BEHALF OF HERMANUS RIVIERA ESTATES CC

Farm 723/1 (2911/2019)

P Roux

(028) 313 8900

Hermanus Administration

20 February 2020

Executive Summary

An application was received on 13 December 2018 from Messrs WRAP Consultancy on behalf of Hermanus Riviera Estates CC on Remainder Portion 1 of the Farm Wortel Gat No. 723, Division Caledon for the following:

- ❖ consent use in terms of Section 16(2)(o) in order to accommodate five (5) additional dwelling units, a farm shop/farm stall, tourist facilities (club house/lecture room/events facility and pool) and a wellness center on the property, and
- ❖ amendment of conditions of approval in terms of Section 16(2)(h) to remove condition 1.(b).

RECOMMENDATION

1. that the applications submitted by Messrs WRAP Consultancy on behalf of Hermanus Riviera Estates CC on Remainder Portion 1 of the Farm Wortel Gat No. 723, Division Caledon, for the following:

- ❖ consent use in terms of Section 16(2)(o) of the Overstrand By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to accommodate five (5) additional dwelling units, a farm shop/farm stall, tourist facilities (club house/lecture room/events facility and pool) and a wellness center on the property, and
- ❖ amendment of conditions of approval dated 28 May 2008 in terms of Section 16(2)(h) of the By-Law to remove condition 1.(b),

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions

- (a) that the above approval are only for the consent uses as indicated on the Site Development Plan, as submitted with the application;
- (b) that prior to the submission of building plans a Site Development Plan is submitted to the Town Planning Department for approval and that the Site Development Plan indicates a schedule for the parking ratio and footprint sizes of the proposed structures;

- (c) that the additional dwelling units can only utilized as defined in the Zoning Scheme and cannot be marketed or rented to transient guests on a temporary basis;
- (d) that the property and its amenities remain in the ownership of one owner (including company/trust);
- (e) that the building plans be submitted to the Building Department for approval, and that any conditions by the Fire- and Building Departments be complied with at that stage;
- (f) that approval for the water usage is obtained from Breede-Gouritz Catchment Management Agency and submitted to the Town Planning department prior to the submission of building plans;
- (g) that the conditions compiled in the Services Report, be complied with;
- (h) that conditions 1.(b.) of the approval dated 28 May 2008 be removed in order to allow for additional residential accommodation;
- (i) that the conditions by Department of Transport and Public Works, Department of Environmental Affairs and Development Planning: Region 1 and Department of Environmental Affairs and Development Planning: Region 2, Telkom, CapeNature, Breede-Gouritz Catchment Management Agency and Heritage Western Cape, be complied with;
- (j) that the applicable rates and service tariffs, as determined by the annual budget, be made applicable, which tariffs are automatically adjusted in terms of the annual budget;
- (k) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Coordinator and the Health Inspector;
- (l) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
- (m) that the operation of the tourist facility be limited to 23:00 at night, cleaning of the venue may take place after the set time;
- (n) that all measures should be taken to prohibit noise pollution i.e. soundproofing and that should any justified complaint be received regarding noise pollution, the Municipality may request expert analysis at the account of the property owner;
- (o) that a single non-illuminated sign that complies with the Municipal By-Law on signage, may be displayed on the premises;

- (p) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with, and
 - (q) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation.
2. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditions of approval.

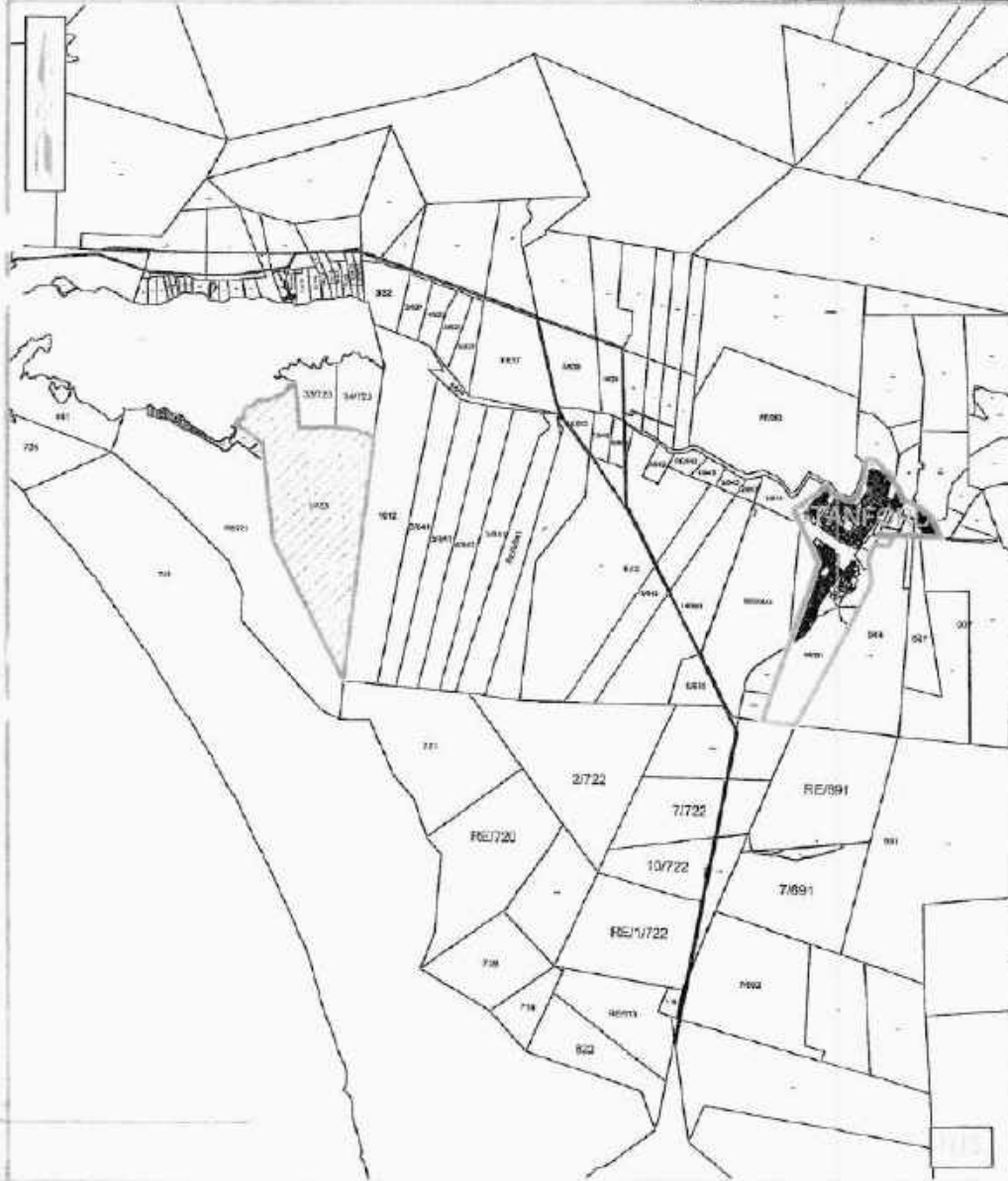
Plan 1: Locality Plan Portion 1 of Farm 723 Caledon

Subject property 463,6733 ha

Plan prepared by: Realista Jankko

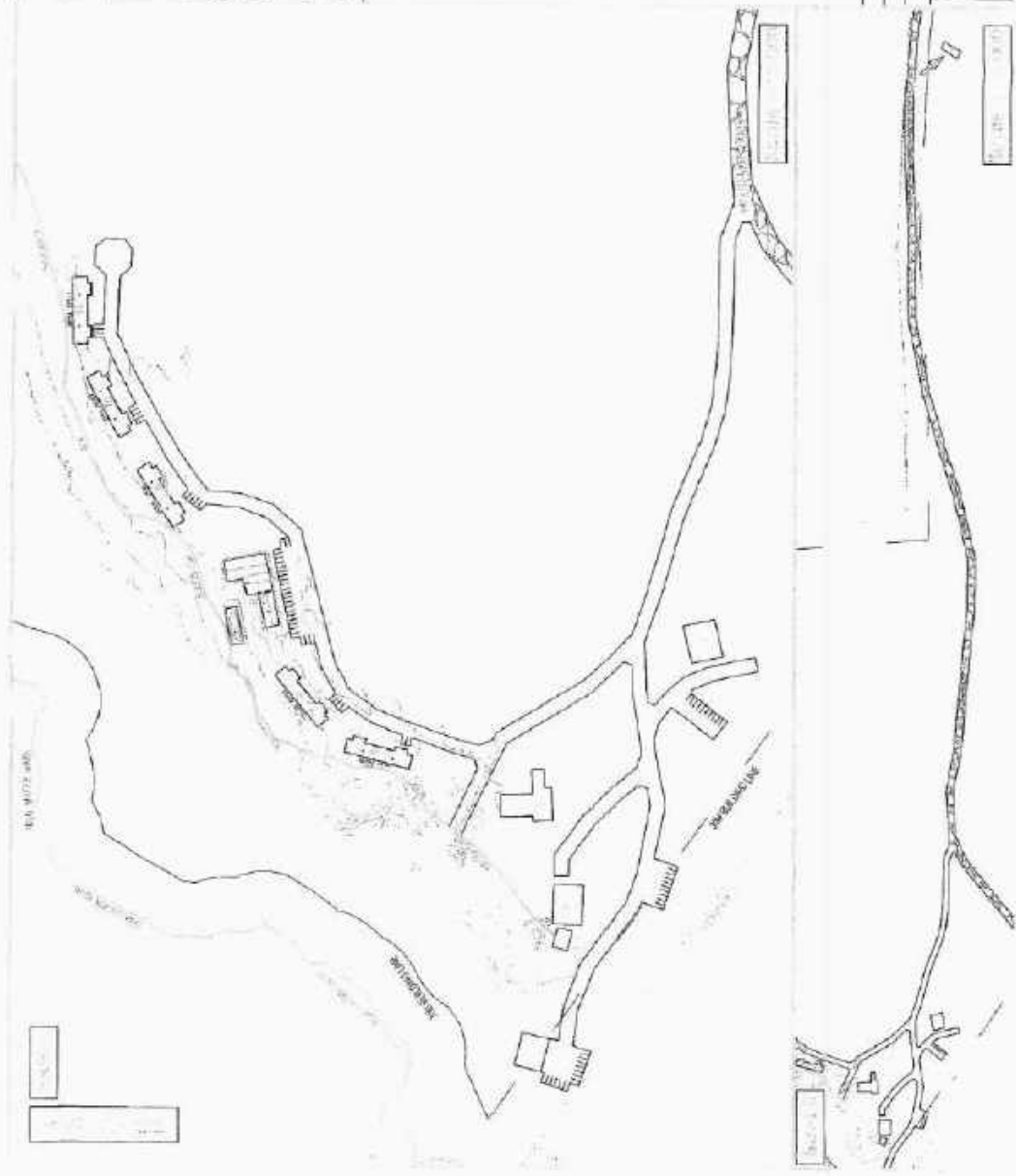
All distances are approximate
and subject to a survey

WRAP



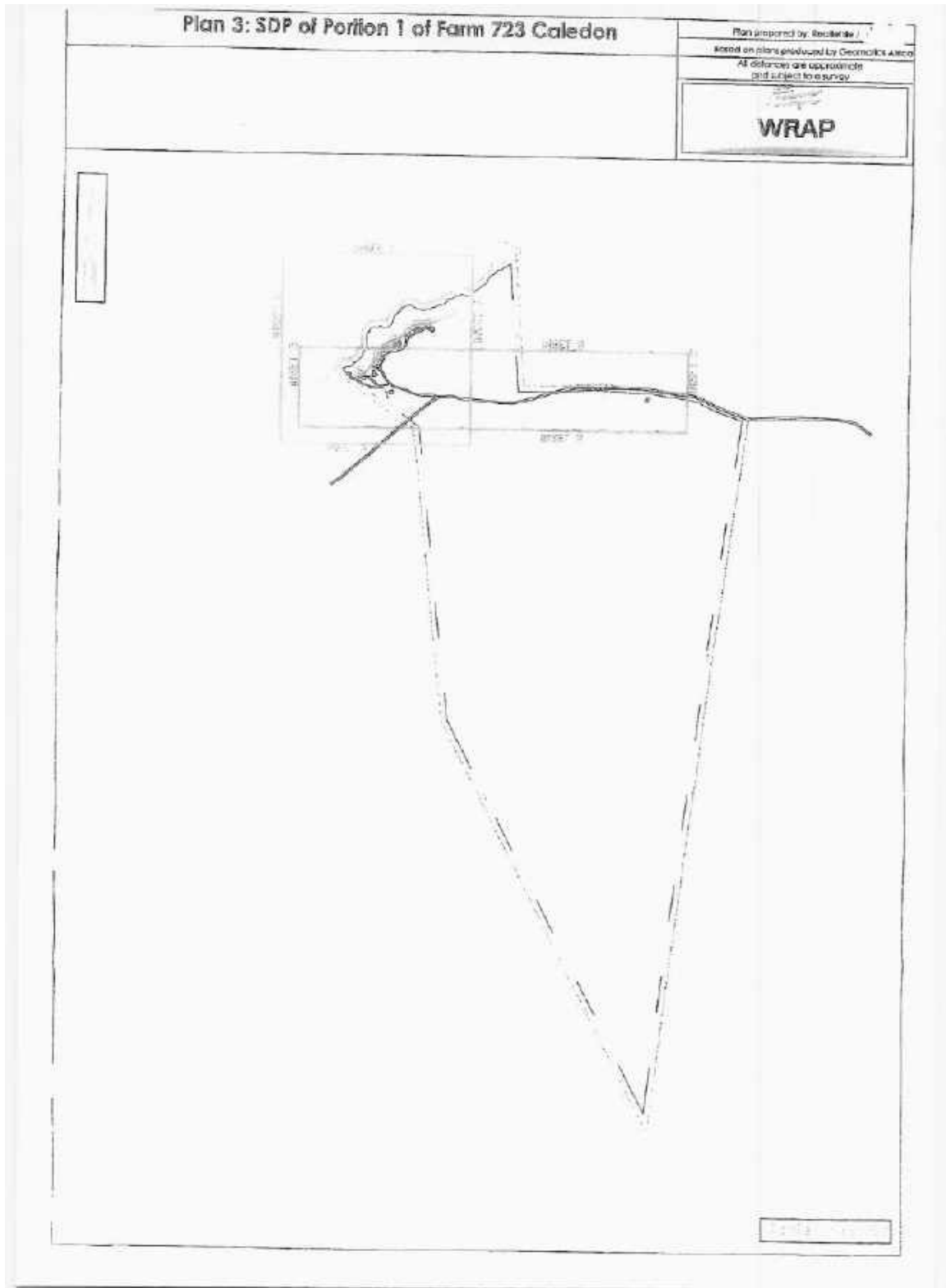
Plan 3: SDP of Portion 1 of Farm 723 Caledon

- 1: Restaurant ("Spaathuis")
- 2: Farm shop/farm stall and workshop centre
- 3: Main dwelling
- 4: Washsheds, storage and laundry
- 5: Staff accommodation
- 6: Additional dwelling unit 1
- 7: Additional dwelling unit 2
- 8: Tourist facility
(Clubhouse/recreational facility/lecture room)
- 9: Additional dwelling unit 3
- 10: Additional dwelling unit 4
- 11: Additional dwelling unit 5



Plan prepared by: Featherfield Jones
 Based on plans produced by Geomatics A
 All distances are approximate
 and subject to survey

WRAP



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & AMENDMENT OF CONDITIONS OF
APPROVAL: PORTION 1 OF FARM 723, DIVISION OF CALEDON
(29211/2019)**

Electricity	:	Eskom area
Stormwater	:	No services available
Water	:	No services available
Sewer	:	No services available
Roads and traffic	:	No services available

Conditions:

1. that the developer arrange with ESKOM for the provision of electricity and that he complies with all conditions as may be set by ESKOM;
2. that no water service from Overstrand Municipality is available and the developer is responsible for the provision of any water supply and/or services to the development;
3. that the developer will be responsible to obtain the necessary approval, licence and permit from the applicable authorities (water affairs, health, BOCMA etc.) for the use of any other water resources and the extraction thereof;
4. that the quality of potable water comply with SANS0241 standards and that relevant proof be submitted to the Manager : Water Infrastructure & Quality, Overstrand Municipality (Tel: 028 313 5046, email: probinson@overstrand.gov.za);
5. that no sewerage service from Overstrand Municipality is available and no municipal sewerage services will rendered to the development;
6. that the owner will be responsible for the removal of sewerage from the proposed development, and the safe disposal thereof at a licensed municipal sewerage treatment facility;
7. that the proposed development must be provided with adequate sewer conservancy tanks, which must comply with the relevant legislation;
8. That any commercial food preparation (eg. restaurant/ guesthouse etc.) must be provided with a grease trap, which must comply with the standards and specifications of the Overstrand Operational Services Department.

9. that, alternatively, the developer will be responsible to obtain the necessary approval, licences and permits from the applicable authorities (water affairs, health, etc.) for the use of any other method of sewage disposal;
10. that the owner is responsible for the removal of all refuse generated on the property and the disposal thereof at a registered municipal waste transfer station or –waste disposal facility;
11. that waste water disposal be done in a safe and healthy manner and that plans thereof be submitted to the Municipality and the Department of Water Affairs for approval;
12. that the developer complies to all the conditions set by Department Of Water & Environmental Affairs;
13. that on-site parking facilities are provided as per Planning Schedule and to the satisfaction of the Department: Operational Services;
14. that the developer will arrange with Provincial Administration to obtain approval for any new access from the Provincial road.


DENNIS HENDRIKS

SENIOR MANAGER: ENGINEERING SERVICES


DATE

Municipal Planning Tribunal

1. **ERF 2861, WHALE COAST MALL, BERGSIG STREET, SANDBAAI: APPLICATION FOR CONSENT USE AND DEPARTURE: MESSRS WARREN PETTERSON PLANNING ON BEHALF OF WHALE COAST VILLAGE MALL PROPRIETARY LIMITED, THE SANDBAAI DEVELOPMENT TRUST AND HCI-PROPC07 PROPRIETARY LIMITED**

2861 HSB (2930)

H van der Stoep

17 December 2019

(028) 313 8900

Hermanus Administration



Executive Summary

An application has been received on 1 February 2019 from Messrs Warren Petterson Planning Town and Regional Planning Consultants (WPP) on behalf of Whale Coast Village Mall Proprietary Limited, The Sandbaai Development Trust and HCI-PROPC07 Proprietary Limited applicable to Erf 2861, Sandbaai for the following:

- ❖ consent use (transmission tower) in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) in order to accommodate a free standing cellular communication base station consisting of a 25m high lattice type transmission tower, 3x3 sector antennas and microwave dishes attached to the tower, together with three (3) equipment containers; and
- ❖ departure in terms of Section 16(2)(b) of the above By-Law to exceed the 14m height restriction applicable to the property in order to accommodate the 25m high mast of the cellular communication base station.

RESOLVED :

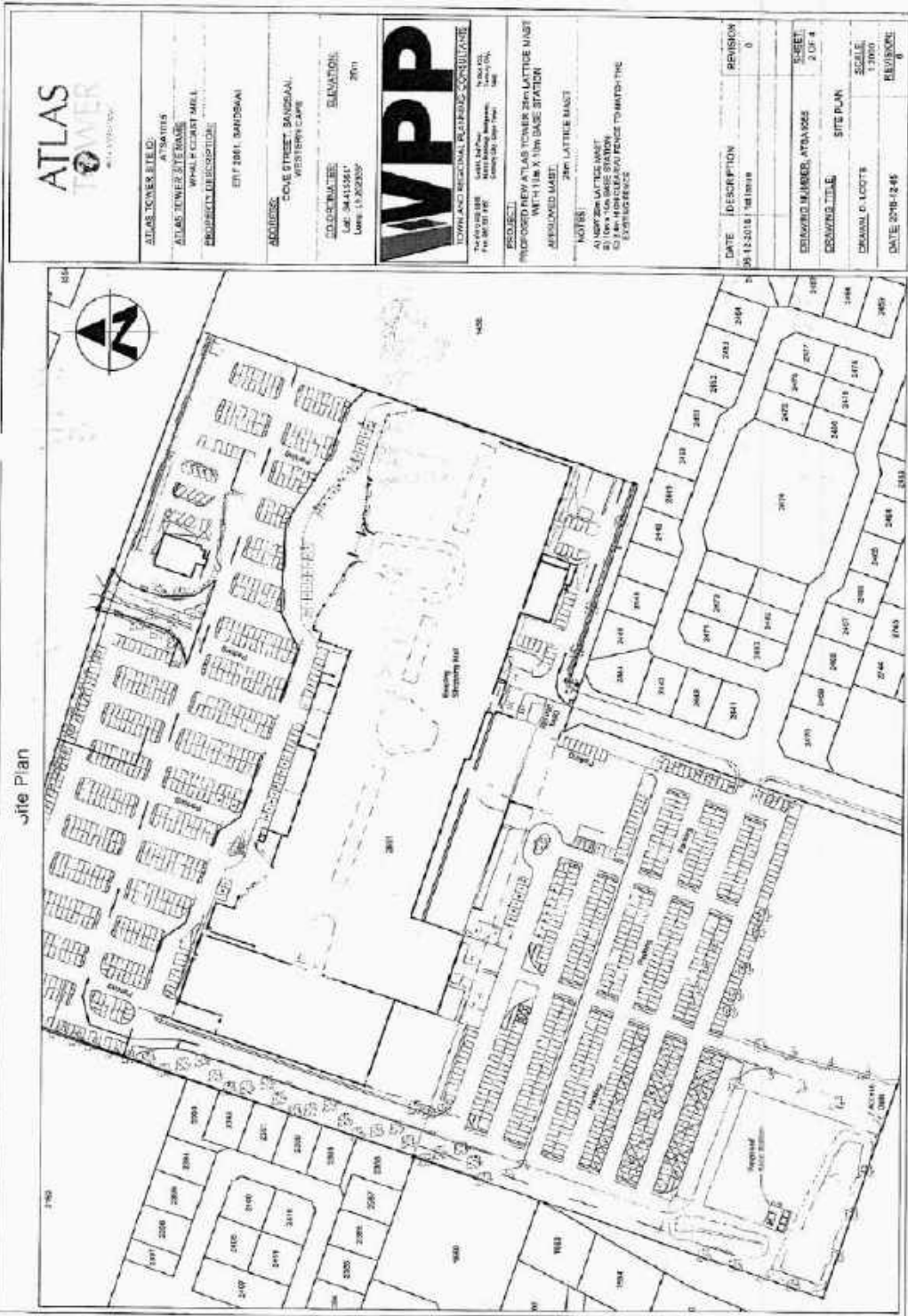
1. that the objections be noted;
2. that the application in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) for a consent use to accommodate a 25m high transmission tower with associated equipment on Erf 2861, Sandbaai, as well as the departure in terms of Section 16.(2)(b) of the By-Law to exceed the applicable 14m height restriction with 11m to accommodate the transmission tower on the property, **not be approved** in terms of the provisions of Section 61 of the By-Law; and
3. that the applicant be notified of its right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 with regard to the above decisions.

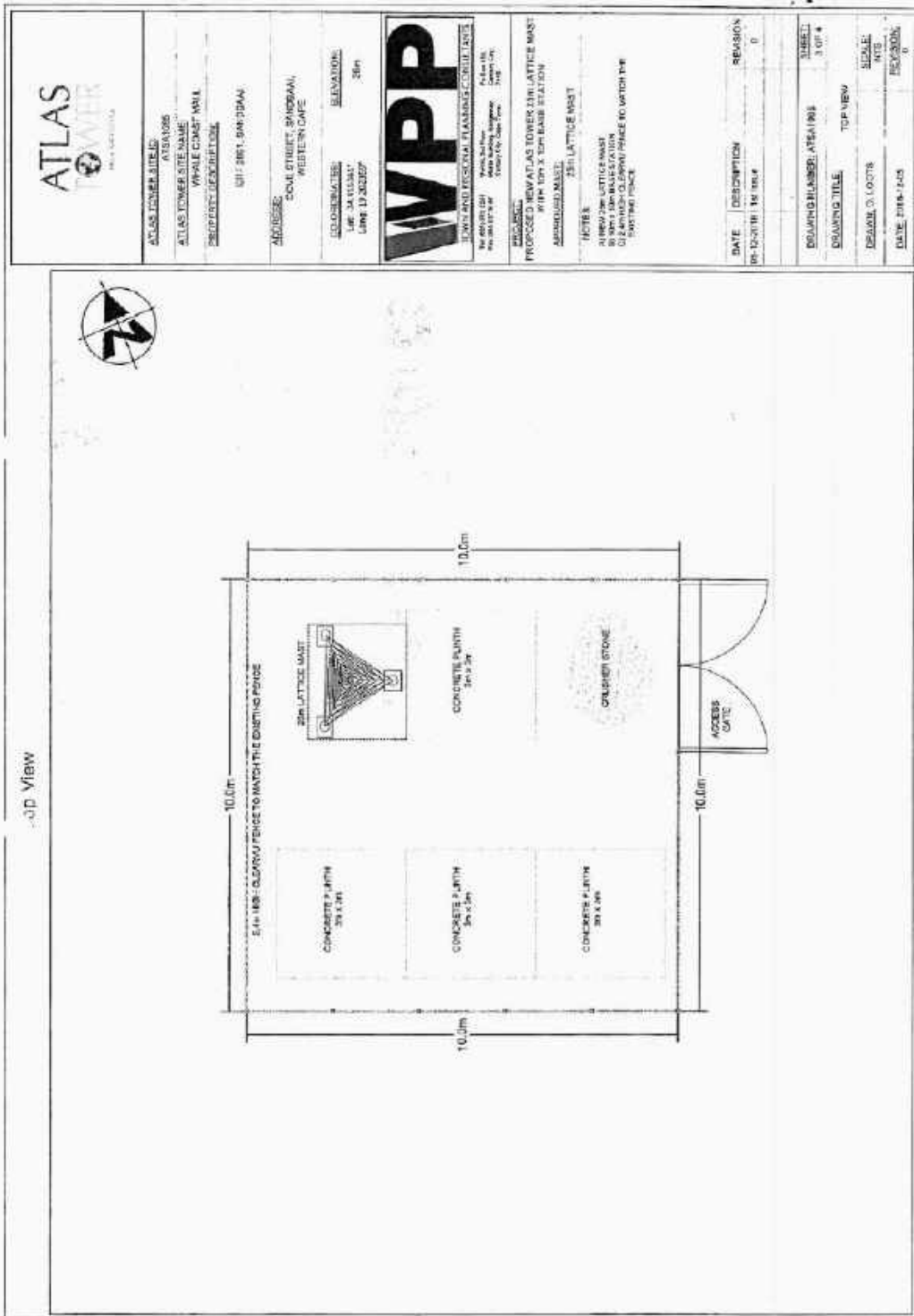
	
ATLAS TOWER FIELD: ATLAS TOWER SITE NAME: ATLAS TOWER SITE NAME: WHALE COAST MALL DISPERSEY DESCRIPTION: ETC 081, SACHUJAA	
ADDRESS: DOVE STREET, SANDHAI, WESTERN CAFE ELEVATION: 25M	
COORDINATES: LAT: 28.415351 LONG: 76.303527	
	
WORK AND ADDRESS CHANGES: No. of sheets: 1 No. of sheets: 1 No. of sheets: 1 No. of sheets: 1	
PROJECT: PROPOSED NEW ATLAS TOWER 23G LATTICE MAST WITH THE X-TURN BASE SECTION APPROVED MAST: 23H LATTICE MAST NOTES: A NEW 23H LATTICE MAST IS TO BE INSTALLED AT THE EXISTING LOCATION TO MATCH THE EXISTING GRID.	
DATE: 05-13-2018 DESCRIPTION: 18 ISSUES	REVISION: 0
DESIGNED BY: P. B. B. B. B. LOCALITY MAP:	SHEET: 1 OF 1
DESIGNED BY: P. B. B. B. B. LOCALITY MAP:	SCALE: 1:1000 REVISION: 0



Locality Map

Aerial Map





ATLAS TOWER
POWER
THE TOWER GROUP

ATLAS TOWER SITE:
 AT561026
 ATLAS TOWER SITE NAME:
 WHOLE COMPT MALL
 PROJECT DESCRIPTION:
 U11-201-304-10041

ADDRESS:
 SOUL STREET, SANDRAH,
 WESTERN CAPE

COORDINATES:
 LAT: 34 15 54.4
 LONG: 19 32 27.7
 ELEVATION:
 261

WPP

25M LATTICE MAST
 APPROACH MAST
 CONCRETE PLATH
 CRUSHED STONE
 ACCESS GATE

PROPOSED NEW ATLAS TOWER 25M LATTICE MAST
 WITH 10M X 10M BASE STATION

APPROACH MAST
 25M LATTICE MAST
 10M X 10M BASE STATION
 CONCRETE PLATH
 CRUSHED STONE
 ACCESS GATE

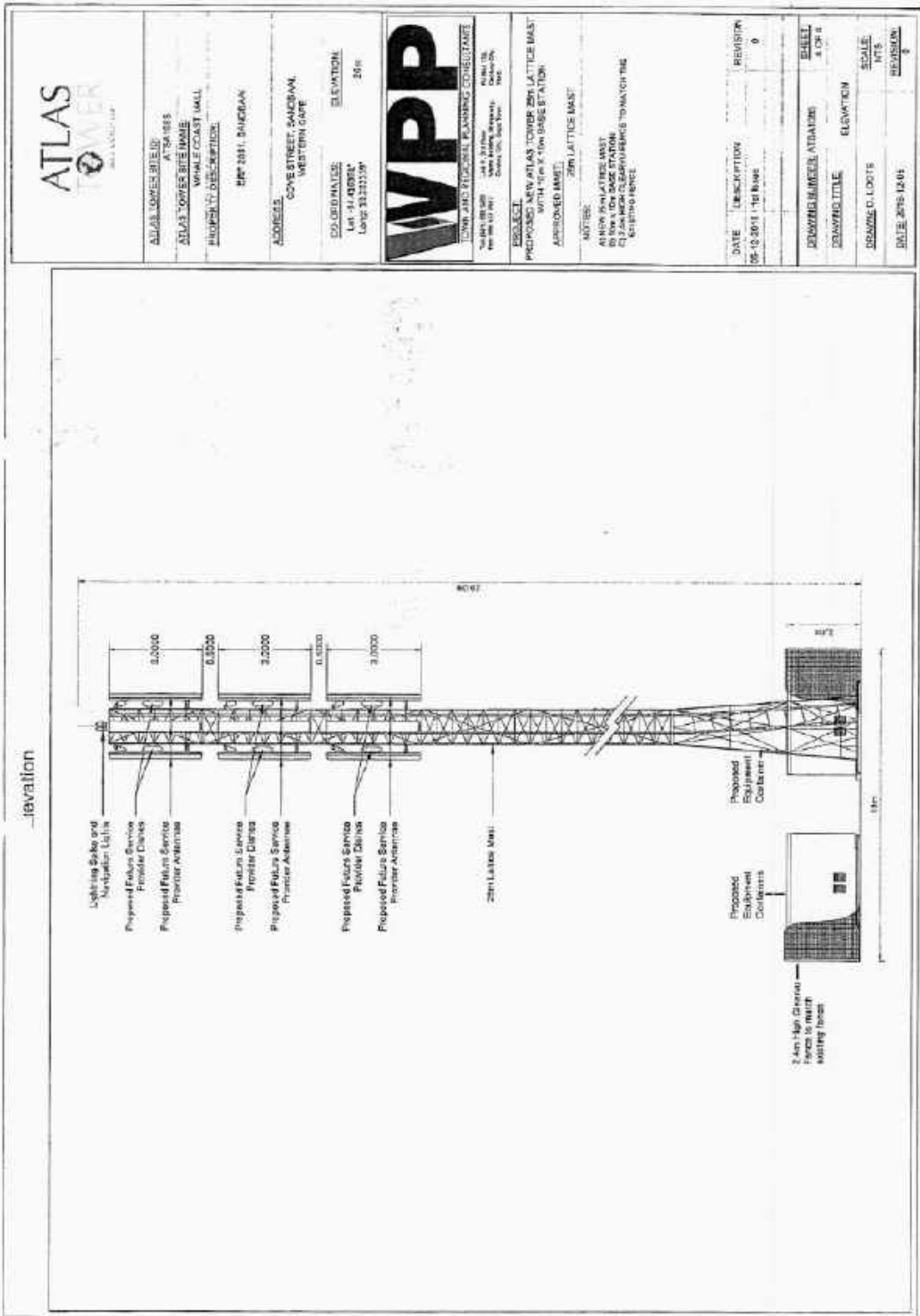
DATE	DESCRIPTION	REVISION
10-12-2018	1st issue	0

DRAWING NUMBER	ATLAS (P)	SHEET
		3 OF 4

DRAWING TITLE	TOP VIEW

DESIGNER'S LOGS	SCALE
	1:100

DATE	TIME	LOCATION



ATLAS TOWER SITE
 ATLAS TOWER SITE NAME
 ATLAS TOWER SITE NAME
 ATLAS TOWER SITE NAME

PROJECT DESCRIPTION
 PROJECT DESCRIPTION
 PROJECT DESCRIPTION

ADDRESS
 100 WEST STREET, SANDHIA,
 WESTERN GATE

COORDINATES
 LAT: 33.0000
 LONG: 111.0000
 ELEVATION: 200



WPP PROJECT MANAGING CONSULTANT
 WPP PROJECT MANAGING CONSULTANT
 WPP PROJECT MANAGING CONSULTANT

PROJECT
 PROPOSED NEW ATLAS TOWER 20M LATTICE MAST
 WITH 24M X 10M BASE STATION

APPROVED NAME
 20M LATTICE MAST

NOTES
 ATLAS TOWER MAST
 20M X 10M BASE STATION
 CLIMBING PLATFORMS TO MATCH THE
 EXISTING MAST

DATE	DESCRIPTION	REVISION
06-18-2011	1st Issue	0

DRAWING NUMBER	ATTACHMENT	SHEET
		4 OF 4

DRAWING TITLE	ELEVATION	SCALE
		1:1

DRAWING DATE	DATE	REVISION
		0

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE & DEPARTURE: ERF 2861, WHALE COAST
MALL, SANDBAAL (2930/2019)**

Stormwater (SW) : In Order
Electricity : In Order
Water : In Order
Sewer : In Order
Roads and traffic : In Order

Conditions:

1. that only the existing water connection to- and sewer conservancy tanks on Erf 2861 shall be used to service Erf 2861;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that any additional and / or extended vehicle entrances will be for the owner's account;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
6. that stormwater be allowed to discharge through Erf 2861, Sandbaai, unobstructed;
7. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

2. **ERF 709, 13 FRONT STREET, DE KELDERS, OVERSTRAND MUNICIPAL AREA: PROPOSED REMOVAL OF RESTRICTIVE TITLE DEED CONDITION, SUBDIVISION AND EXEMPTION OF SUBDIVISION TO REGISTER A SERVITUDE: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF MC & BM RECKHARDT AND KJ & SI SCHNEIDER**

709 GDK (3328)

P Roux

(028) 313 8900

Hermanus Administration

17 January 2020

Executive Summary

An application was received on 10 September 2019 from Messrs Plan Active Town- and Regional Planners on behalf of MC & BM Reckhardt and KJ & SI Schneider applicable to Erf 709, De Kelders for the following:

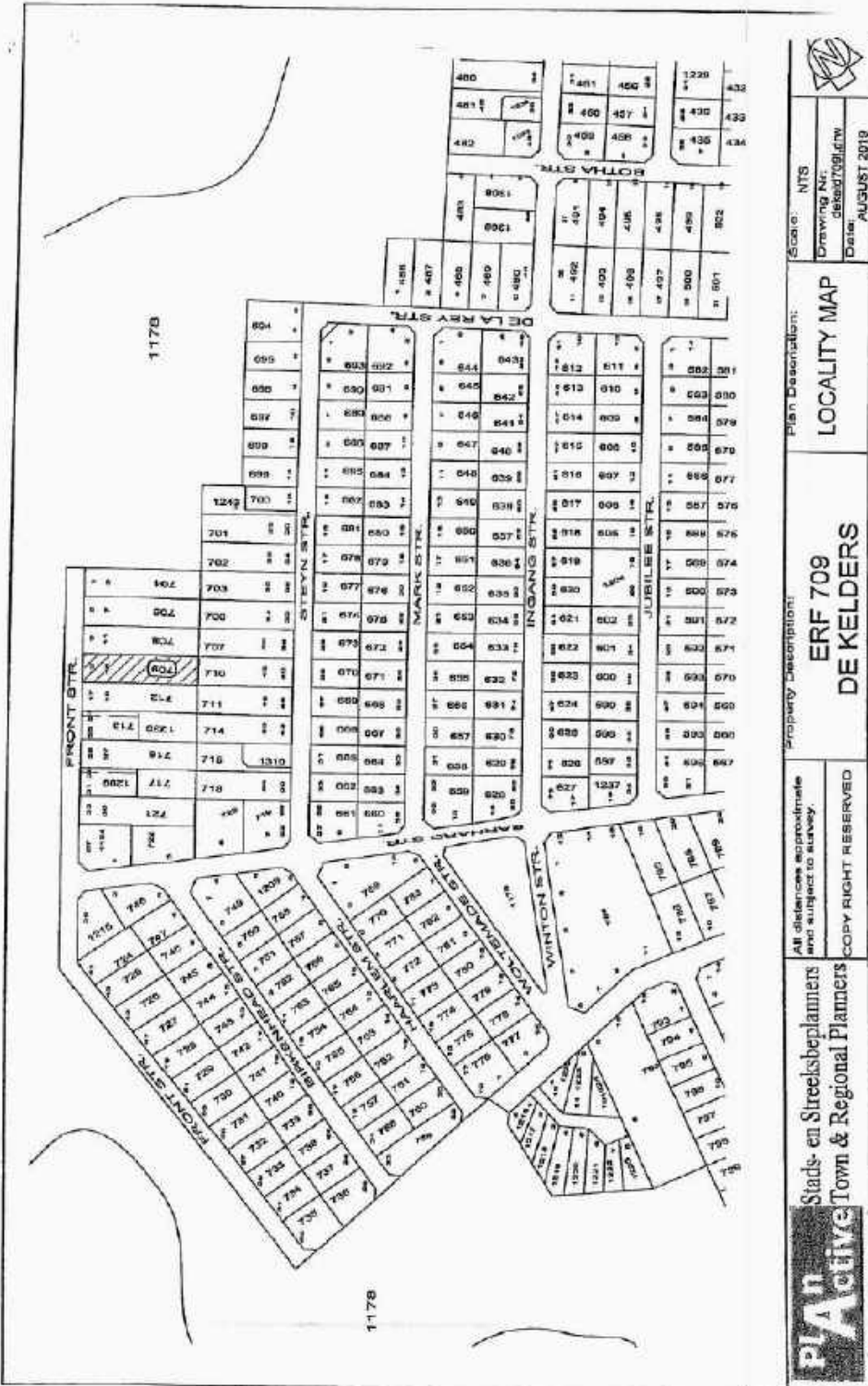
- ❖ removal of restrictive title deed condition D.(e) as contained in Title Deed T60346/2018 applicable to Erf 709, De Kelders in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law); and
- ❖ application for subdivision in terms of Section 16(2)(d) of the By-Law in order to subdivide the property into two (2) portions, namely Portion A (approximately 700m² in extent) and a Remainder (approximately 699m² in extent);

RESOLVED :

1. that the objector be notified of the decision that the objection submitted is not compliant in terms of Section 52 of the with the Overstrand Municipality By-Law on Land Use Planning, 2016 and that the objection is therefore dismissed;
2. that the application received from Messrs Plan Active Town and Regional Planners on behalf of MC & BM Reckhardt and KJ & SI Schneider applicable to Erf 709, De Kelders for the following:
 - removal of restrictive title deed condition D.(e) as contained in Title Deed T60346/2018 applicable to Erf 709, De Kelders in terms of Section 16(2)(f) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law); and
 - application for subdivision in terms of Section 16(2)(d) of the By-Law in order to subdivide the property into two (2) portions, namely Portion A, (approximately 700m² in extent) and a Remainder (approximately 699m² in extent);

be approved in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:

- (a) that the approval is only for the subdivision as indicated on the Subdivisional Plan as submitted with the application;
 - (b) that the conditions in the Services Report be complied with;
 - (c) that this approval does not absolve the owner/applicant from compliance with any other relevant legislation; and
 - (d) that all other development parameters as prescribed in the relevant Zoning Scheme be complied with.
3. that the applicants be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2016 with regard to the above conditions of approval.



PLAN Active

Stads- en Streetsplanners
Town & Regional Planners

All distances approximate
and subject to survey.

COPY RIGHT RESERVED

Property Description:
**ERF 709
DE KELDERS**

Plan Description:
LOCALITY MAP

Scale: NTS
Drawing No: dekad709/1/17
Date: AUGUST 2019

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITION,
SUBDIVISION & EXEMPTION OF SUBDIVISION TO REGISTER A SERVITUDE:
ERF 709, DE KELDERS (3388/2019)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of actual payment. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.

- 1.1 **Developments containing Sectional Title Units/ Commercial Buildings (non-free standing properties – property is not to be subdivided)**

The BICLs are to be paid in full prior to submission of the building plans. Building Plans will not be accepted unless the BICL is paid in full.

- 1.2 **Developments with free standing properties (property that is subdivided and plots to be sold individually).**

The BICLs are payable prior to clearance being issued by the Income Department of the Municipality.

The contribution according to the current policy (2019/2020) is as follows:

Freehold erven:

Water	R 22 925.00 x 1	=	R 22 925.00
Sewerage	R 15 457.00 x 1	=	R 15 457.00
Roads	R 6 931.00 x 1	=	R 6 931.00
Stormwater	R 7 997.00 x 1	=	R 7 997.00
Solid Waste	R 1 386.00 x 1	=	R 1 386.00
Electricity	R 32 139.45 x 1	=	<u>R 32 139.45</u>
TOTAL (inclusive of VAT)		=	R 86 835.45

Note:

- 1.3 **The above figures are estimates**
- 1.4 **The above figures do not include connection fees**
2. that the existing water and sewer connection to the Remainder of Erf 709 shall be used to service the proposed Remainder of Erf 709;

3. that any part of the existing water and sewer services on the Remainder of Erf 709 that crosses the common boundary of Portion A and the Remainder of Erf 709 shall be disconnected and sealed off;
4. that Portion A of Erf 709 must be serviced with individual and separate water and sewer connections, which must comply with the standards of the Department: Operational Services;
5. that application for the municipal connections of Portion A and Remainder of Erf 709 must be made at least 3 weeks prior to requirement. A job card will be opened, and the will be responsible for all costs;
6. that only a standard 60 Amp single phase electricity connection will be available per erf;
7. that the developer must investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
8. that servitudes for municipal services be registered in favour of the council at the developer's cost in respect of all main services to be taken over by the council and all existing municipal services concerned crossing private property;
9. that stormwater be allowed to discharge through the proposed Erven, De Kelders, unobstructed;
10. that any additional and / or extended vehicle entrances will be for the owner's account;
11. that no on-street parking be allowed.


DENNIS HENDRIKS
SENIOR MANAGER:
ENGINEERING SERVICES


DATE

3. ERF 335, 31 ROCKLANDS ROAD, WESTCLIFF, HERMANUS, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE: MESSRS PLAN ACTIVE TOWN & REGIONAL PLANNERS ON BEHALF OF MI EDWARDS

335 HWC (3161)

**H van der Stoep
10 February 2020**

(028) 313 8900

Hermanus Administration

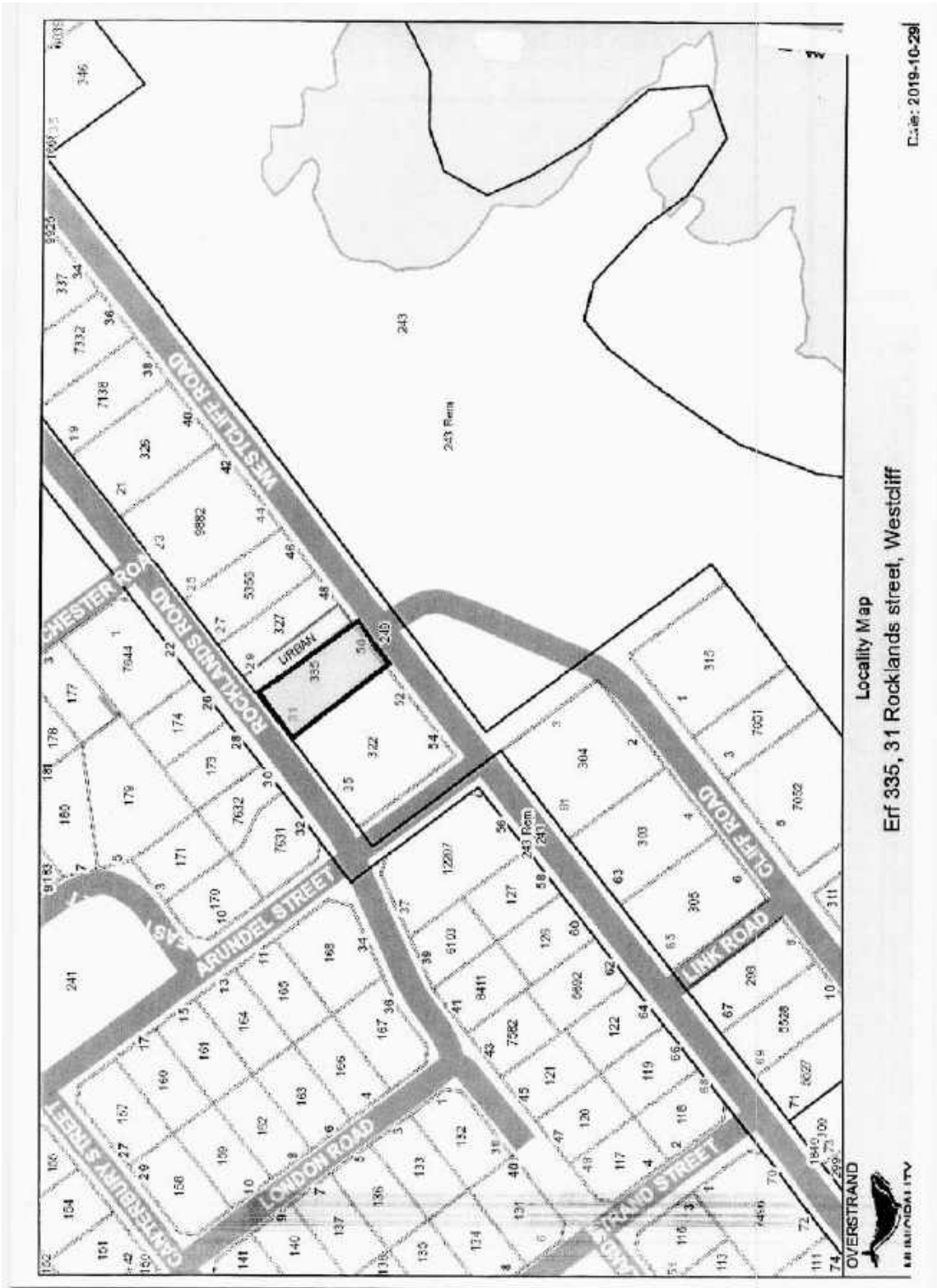
Executive Summary

An application for consent use in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Land Use Planning, 2015 was received on 30 May 2019 from Messrs Plan Active Town & Regional Planners on behalf of MI Edwards in order to conduct a guesthouse with five (5) guestrooms from the primary dwelling on Erf 335, Hermanus.

RESOLVED :

1. that the comments be noted;
2. that the application in terms of Section 16(2)(o) of the Overstrand Municipality By-Law on Land Use Planning, 2015 (By-Law) for consent use in order to utilise the existing primary dwelling on Erf 335, Hermanus as a five (5) bedroom guesthouse, **be approved** in terms of the provisions of Section 61 of the By-Law, subject to the following conditions:
 - (a) that a maximum of five (5) bedrooms be let to guests/tourists from the existing primary dwelling unit;
 - (b) that the existing second dwelling unit may not be utilised as a self-catering unit for as long as the guesthouse is in operation – it is to be utilised by the manager of the guesthouse;
 - (c) that the owner obtains written approval from the Area Manager: Hermanus to develop and construct the additional access point from Westcliff Road;
 - (d) that the landowner investigate and determine the limitations of the site in terms of sewerage drainage and implement any upgrades if required;
 - (e) that building plans be submitted to the Building Department for approval and that all conditions of the Building Department and the Fire Department be complied with at that stage;
 - (f) that the owner/manager resides permanently on the premises, and be responsible for the proper management of the guest house;

- (g) that the guesthouse is utilised as such – no self-catering will be permitted;
 - (h) that no kitchen facilities and/or prep bowls be allowed in the guestrooms;
 - (i) that no facilities (bar/restaurant or any other) be provided for non-residents of the accommodation establishment and that these facilities only be used by bona-fide guests of the establishment;
 - (j) that the selling or serving of liquor on the property will be subject to the owner obtaining the necessary Liquor Licence;
 - (k) that a minimum of one (1) permanently demarcated parking bay per guestroom, two (2) for the owner/manager and one (1) for the second dwelling unit be provided within the erf boundaries;
 - (l) that the applicable rates and service tariffs, as determined by the annual budget be applicable, which tariffs are automatically adjusted in terms of the annual budget;
 - (m) that the accommodation facility complies with Health and Safety Legislation and that this approval will be subject to regular inspections by the Fire Control Co-ordinator and the Health Inspector;
 - (n) that only a single non-illuminated sign that complies with the Municipal By-Law on Signage, may be displayed on the premises;
 - (o) that the guesthouse be conducted in such a manner that it is not found to be detrimental to the peacefulness and amenity of the surrounding area;
 - (p) that a Certificate of Acceptability from the Health Department of the Overberg District Council and Fire Prevention Certificate be obtained from the Municipal Fire Department;
 - (q) that the conditions of Engineering Services be complied with;
 - (r) that this approval does not absolve the landowner from compliance with any other relevant legislation; and
 - (s) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
3. that the applicant and the commenter be notified of their respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approval.



Date: 2019-10-29

Locality Map
Erf 335, 31 Rocklands street, Westcliff



SRT ARCHITECTS & ASSOCIATES
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112

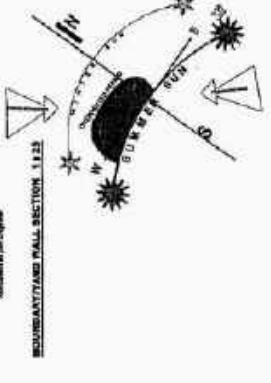
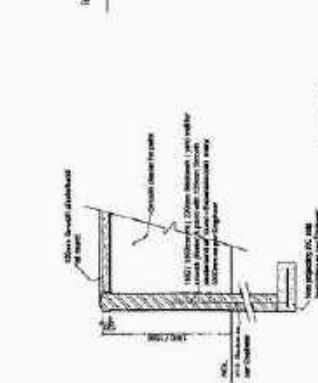
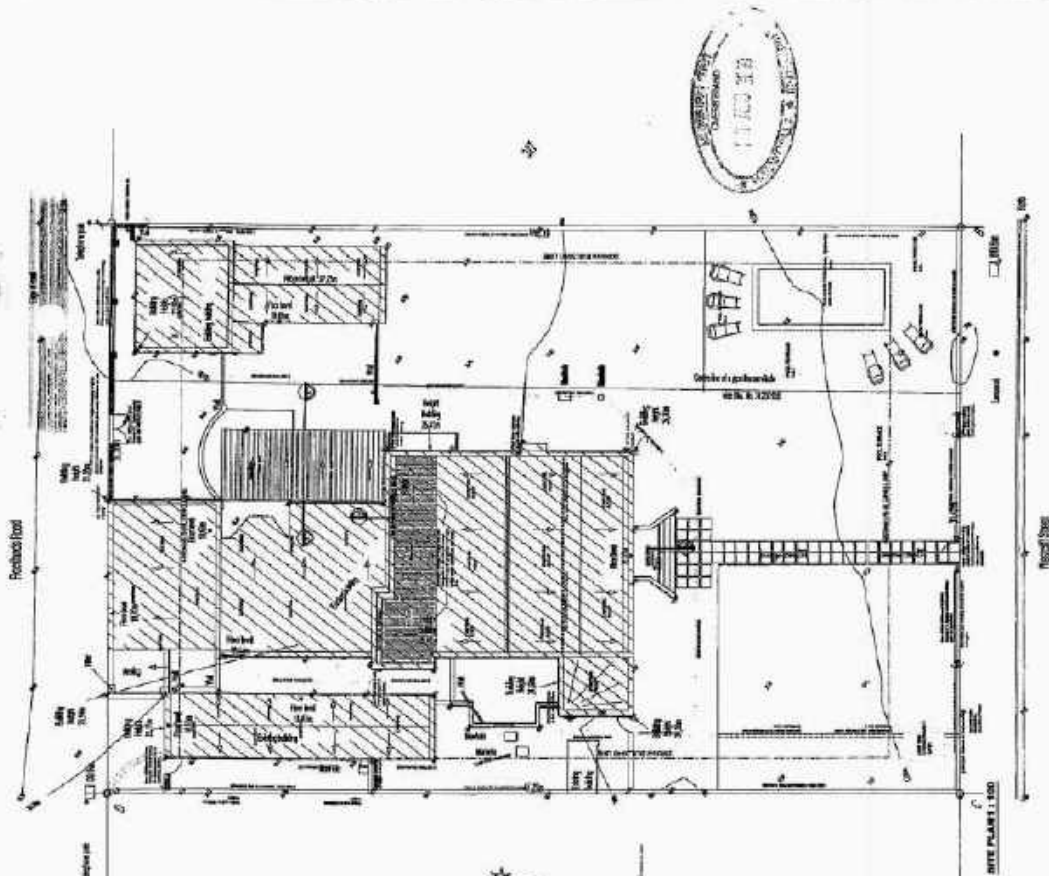
THE DRAWING COPYRIGHT:
 CONTRACTOR TO VERIFY ALL DIMENSIONS
 ON SITE BEFORE COMMENCING WORK.
 USE CORRECT DIMENSIONS IN
 PROTECTIVE TOOLS.
 ALL WORK TO COMPLY WITH NATIONAL,
 STATE AND LOCAL APPLICABLE
 REQUIREMENTS.
 ALL DIMENSIONS TO BE SHOWN IN
 CONNECTION WITH THE DRAWING.
 ALL TIES
 ARE TO BE SHOWN IN CONNECTION WITH
 THE DRAWING.
 ALL DIMENSIONS ARE TO BE SHOWN
 UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO BE SHOWN IN
 CONNECTION WITH THE DRAWING.
 ALL DIMENSIONS ARE TO BE SHOWN
 UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS TO BE SHOWN IN
 CONNECTION WITH THE DRAWING.

ADDITIONS AND ALTERATIONS

SITE, ROOF & DRAINAGE PLAN
BOUNDARY WALL AND POOL SECTION

HOUSE EDWARDS
 89F.335
 WESTGLEFF ROAD
 HERRINGHAM
 OVERSTONHAM

DWG. NO.
 1.1



1.480sq'	
EXISTING FLOOR	388.0sq'
EXISTING	388.0sq'
NEW CONCRETE TERRACE	70.0sq'
NEW CONCRETE TERRACE	70.0sq'
SUB TOTAL	458.0sq'
EXISTING FLOOR	388.0sq'
NEW	70.0sq'
SUB TOTAL	458.0sq'
TOTAL AREA	458.0sq'
TOTAL NEW AREA	70.0sq'
ANGLE RESIDENTIAL	475.0sq'
CONTRAST (STRAY)	31.0%

SRT ARCHITECTS LLC
 ARCHITECTS
 10000 W. WASHINGTON AVE. SUITE 100
 DENVER, CO 80231
 TEL: 303.733.8877 FAX: 303.733.8878
 WWW.SRTARCHITECTS.COM

PROJECT NO. 11104
 SHEET NO. 12

HOUSE EDWARDS
 877-335 WESTCLIFF ROAD
 HERNANDUS OVERSTRAND

GROUND & FIRST STOREY PLANS

ADDITIONS AND ALTERATIONS

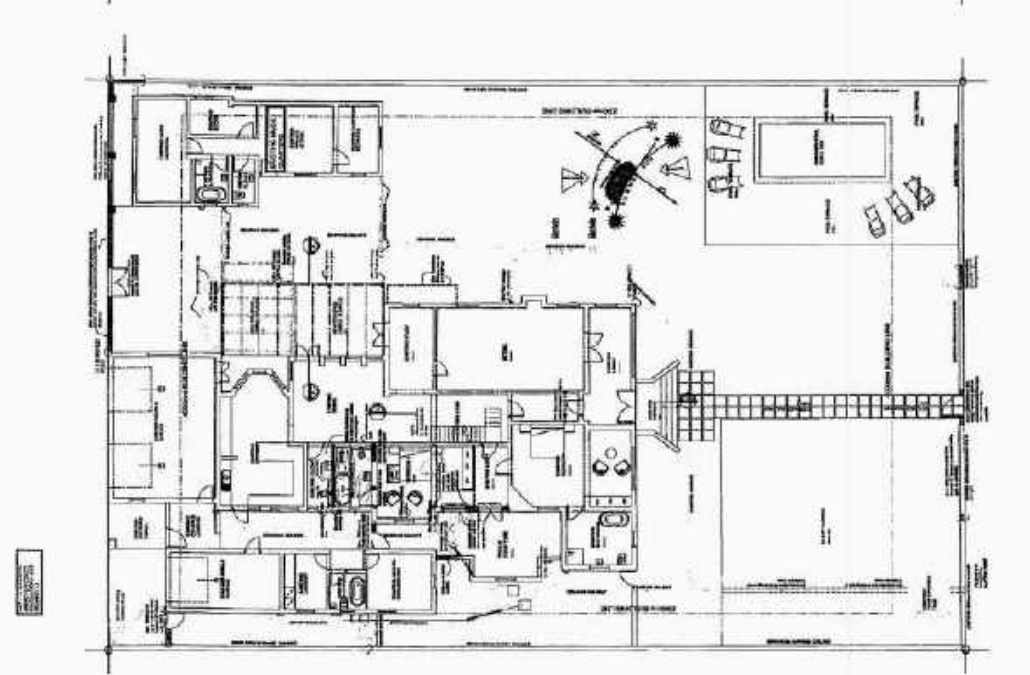
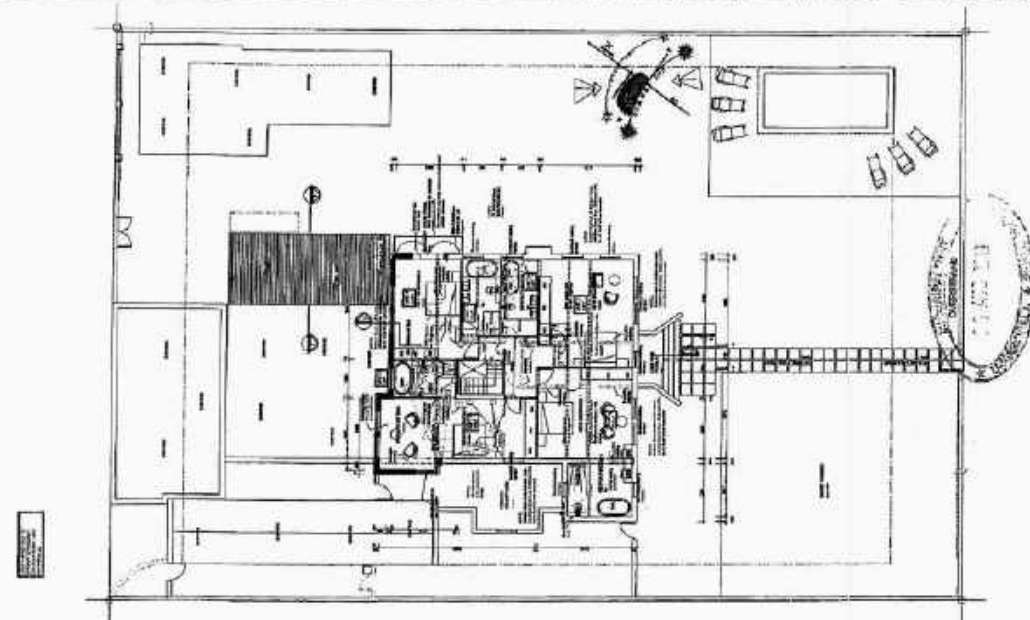
DATE: _____
 NO. _____
 PROJECT NAME _____

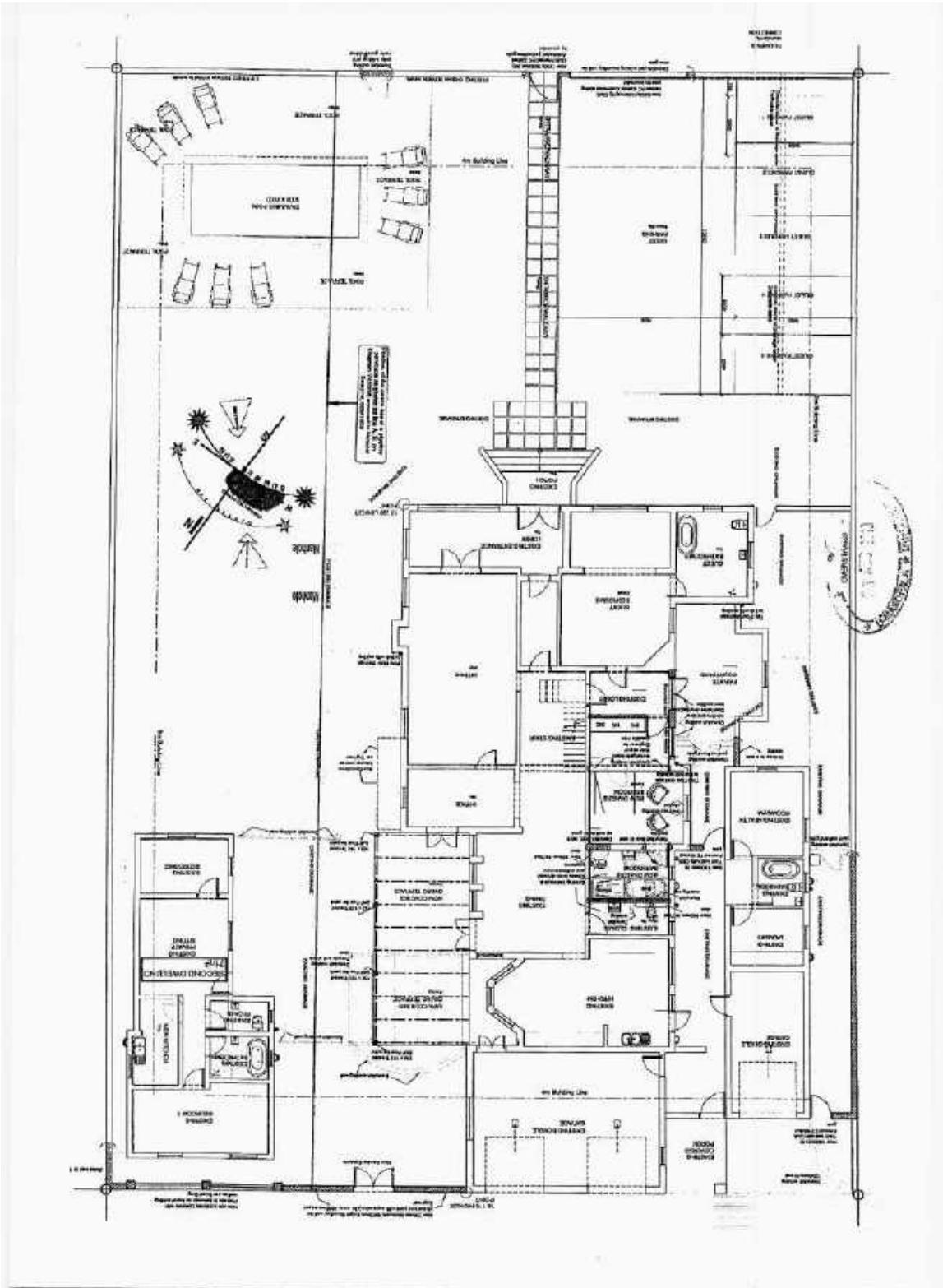
ALL DIMENSIONS TO BE REPORTED TO APPLICABLE AGENCIES.
 ALL DIMENSIONS USE IN INCHES.
 SLOPE INDICATED BY THICKNESS SHOWN IN S.E.A.
 STAIRS TO BE TO DIMENSIONS SPEC.

NOT TO SCALE

ALL CHANGES TO BE REPORTED TO ARCHITECT IMMEDIATELY.
 ALL DIMENSIONS TO BE REPORTED TO APPLICABLE AGENCIES.
 ALL DIMENSIONS USE IN INCHES.
 SLOPE INDICATED BY THICKNESS SHOWN IN S.E.A.
 STAIRS TO BE TO DIMENSIONS SPEC.

BY: _____
 PROJECT ARCHITECT



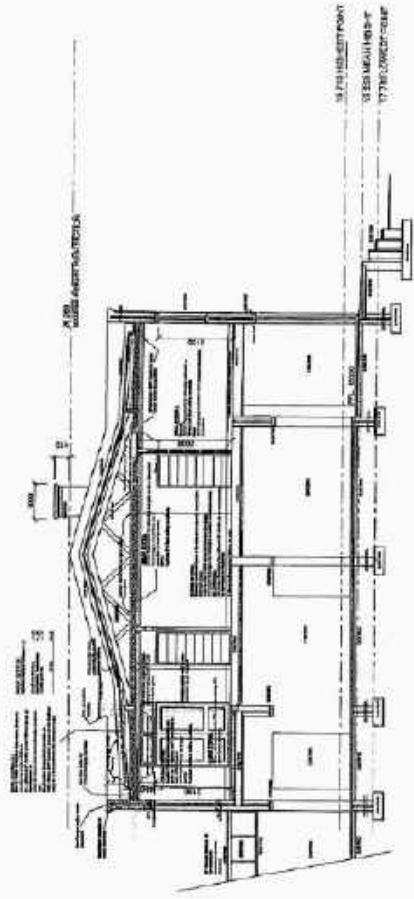


SRT ARCHITECTS 60
 1000 WEST 10TH AVENUE
 DENVER, CO 80202
 TEL: 303.733.8888
 FAX: 303.733.8889
 WWW.SRTARCHITECTS.COM

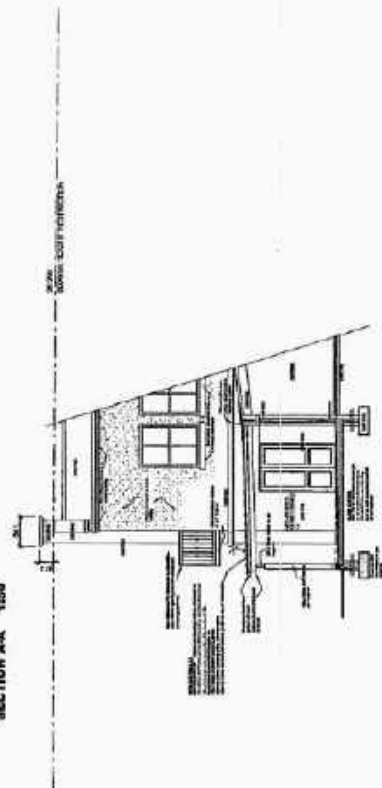
PROJECT NAME
 HOUSE EDWARDS

CONSULTED BY ARCHITECTS AND ENGINEERS
 ON SITE LEGAL COMPLIANCE WORK
 USE FOR 2-DIMENSIONAL
 ARCHITECTURAL DRAWINGS
 ALL WORK TO CONFORM WITH NATIONAL
 BUILDING CODES AND LOCAL AUTHORITY
 REQUIREMENTS.
 ALL DIMENSIONS TO BE READ IN
 CONJUNCTION WITH SPECIFICATION AT
 ALL TIMES.
 ANY SPECIFICATIONS TO BE REPORTED
 TO ARCHITECT THROUGHOUT.
 ALL DIMENSIONS SAFE IN MIN.
 CLAY BRICK WALLS OF EXTERIOR
 SHOWN IN PLAN.
 BASIS IS TO BE IN ACCORDANCE WITH
 ALL APPLICABLE CODES.

DATE: 11/11/13
 DWG. NO. 2.1



SECTION A-A 1520



SECTION B-B 1530



SAR ARCHITECTS 66
 1100 WEST 10TH AVENUE
 DENVER, CO 80202
 TEL: 333-4444
 FAX: 333-4444
 WWW: SARARCHITECTS.COM

THE DRAWING CONTAINS:
 CONTRACT DOCUMENTS, ALL DIMENSIONS
 ON SITE BEFORE COMMENCING WORK.

USAGES: UNLESS NOTED OTHERWISE,
 PRELIMINARY TO SOURCE.

**ALL WORK TO COMPLY WITH NATIONAL
 AND LOCAL BUILDING DEPARTMENT
 REQUIREMENTS.**

**ALL WORK TO BE DONE IN
 CONFORMANCE WITH SPECIFICATIONS
 ALL TRADES.**

**ANY CHANGES TO BE REPORTED
 TO ARCHITECT IMMEDIATELY.**

**ALL DIMENSIONS ARE IN FEET
 AND INCHES UNLESS OTHERWISE
 SPECIFIED.**

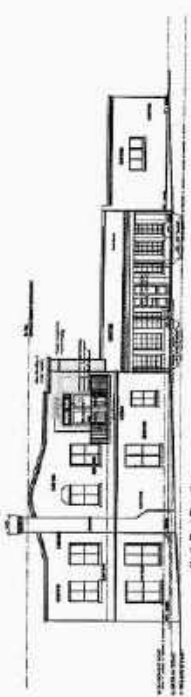
SCALE & SHOWN TO INDICATE ONLY.

NO.	DESCRIPTION	DATE

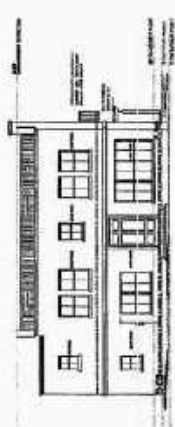
RESIDENT RESTRICTION 18 718
 HIGHEST POINT 17 799
 MEASUREMENT 18 829
 RESIDENT RESTRICTION 2 512
 TOTAL ALLOWED HEIGHT 24 239



South West Elevation



North East Elevation



South East Elevation



North West Elevation



HOUSE EDWARDS
 666-335
 WESTCLIFF ROAD
 HERMANSBURG
 OVERSTREET

DWG. NO. 3.1
 DATE 11/18/10
 SCALE 1/8" = 1'-0"

**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: ERF 335, WESTCLIFF (3161/2019)**

Stormwater (SW) : In Order
 Electricity : In Order
 Water : In Order
 Sewer : In Order
 Roads and traffic : Refer to Conditions 4 & 5.

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of *SANS 10400 – P: 2010: Drainage*;
4. that should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that the developer lodges a formal, written application to the office of the Area Manager: Hermanus for approval to develop and construct the additional, proposed vehicle entrance in Westcliff Street.
6. that stormwater be allowed to discharge through Erf 335, Westcliff, unobstructed;
7. that no on-street parking be allowed.

p.p. R. Hendriks

DENNIS HENDRIKS

SENIOR MANAGER: ENGINEERING SERVICES

14/11/2019

DATE

4. **ERF 1405 AND 1406, 18 BRANDERDRAAI, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CLOSURE OF PUBLIC PLACE, REZONING, CONSOLIDATION AND AMENDMENT OF GENERAL PLAN: MESSRS PLAN ACTIVE TOWN AND REGIONAL PLANNERS ON BEHALF OF NJ & JL HENZEN, J MARQUART AND JS BROUWER**

1405 & 1406 HSB (3196)

H van der Stoep

(028) 313 8900

Hermanus Administration

9 December 2019

Executive Summary

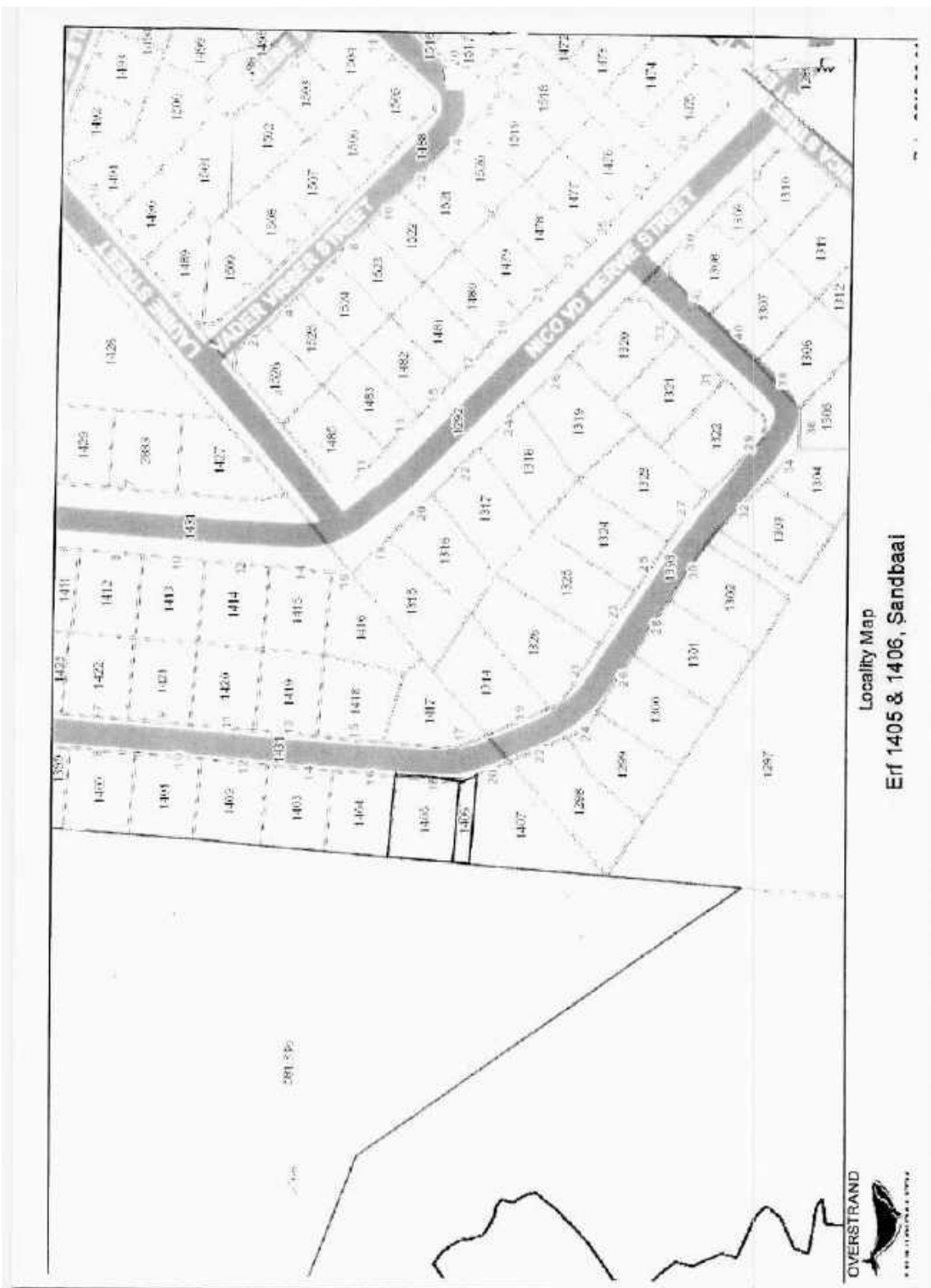
An application was received on 24 May 2019 from Messrs Plan Active Town and Regional Planners on behalf of NJ & JL Henzen, J Marquart and JS Brouwer applicable to Erven 1405 and Erf 1406, Sandbaai for the following:

- ❖ closure in terms of Section 16(2)(n) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 (By-Law) of Public Open Space Erf 1406, Sandbaai;
- ❖ rezoning in terms of Section 16(2)(a) of the By-Law of Erf 1406, Sandbaai from Open Space Zone 2 : Public Open Space to Residential Zone 1 : Single Residential;
- ❖ consolidation in terms of Section 16(2)(e) of the By-Law of Erven 1406 and 1405, Sandbaai; and the
- ❖ amendment in terms of Section 25(2) of the By-Law of General Plan No. TP 9192 Sandbaai Township Ext. No. 2 by the creation of the Public Place Erf 1406, Sandbaai to be closed, as an ordinary erf.

RESOLVED :

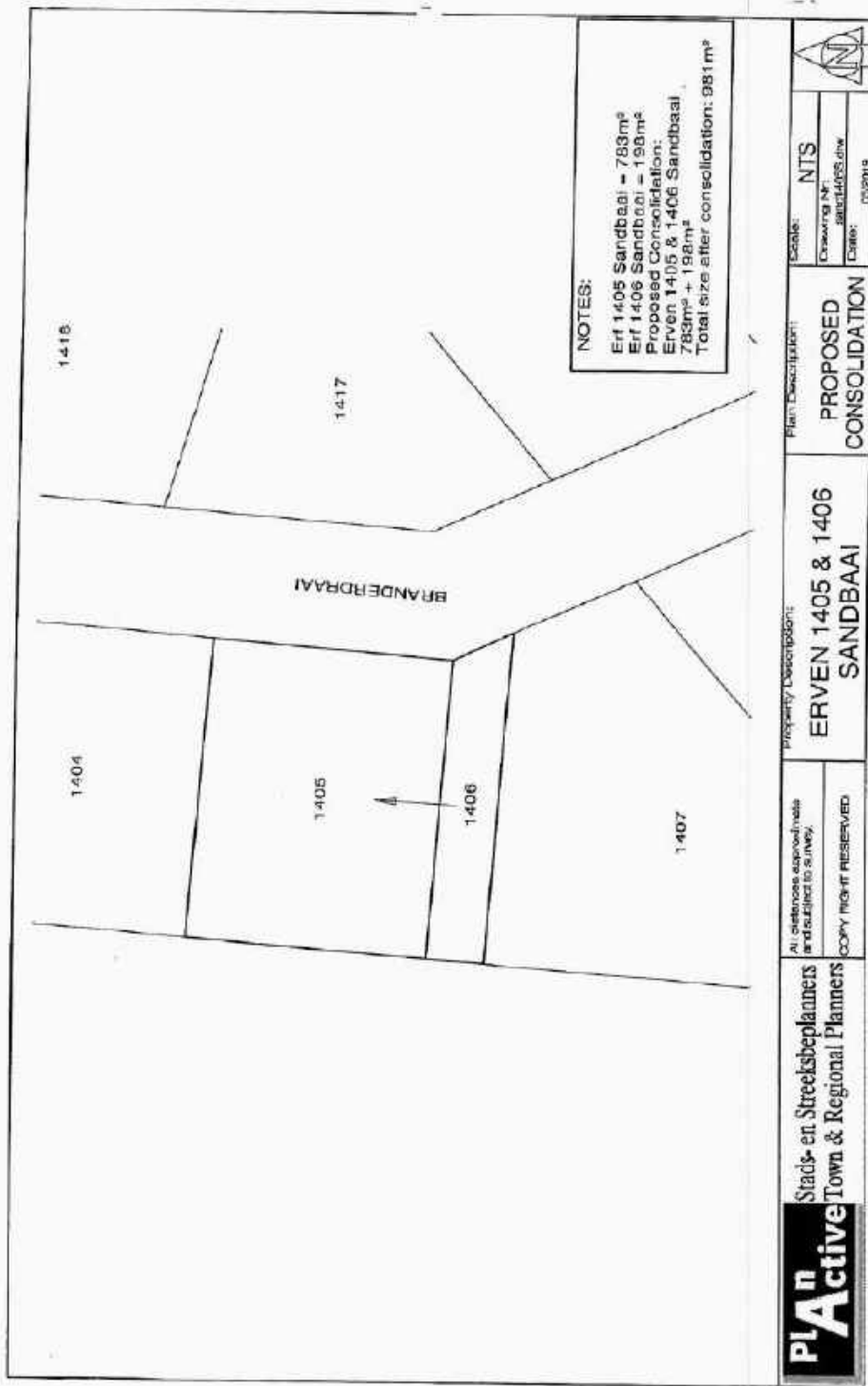
1. that the objections be noted;
2. that the application in terms of Section 16(2)(n) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (the By-Law) for the closure of Public Open Space Erf 1406 Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the application in terms of Section 16(2)(a) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (the By-Law) for the rezoning of Erf 1406, Sandbaai from Open Space Zone 2 : Public Open Space to Residential Zone 1 : Single Residential, **be approved** in terms of the provisions of Section 61 of the By-Law;
4. that the application in terms of Section 16(2)(e) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 (the By-Law) for the consolidation of Erven 1405 and 1406, Sandbaai, **be approved** in terms of the provisions of Section 61 of the By-Law;

5. that the application for an amendment in terms of Section 25(2) of the By-Law of General Plan No. TP 9192 Sandbaai Township Ext. No. 2 by the creation of the Public Place Erf 1406, Sandbaai to be closed, as an ordinary erf, **be approved** in terms of the provisions of Section 61 of the By-Law;
6. that the approvals in Points 1. – 4. be subject to the following conditions:
 - (a) that Erf 1406, Sandbaai acquired by the landowners of Erf 1405, Sandbaai may solely be utilised for gardening purposes – no structures of any kind are allowed;
 - (b) that the relevant conditions of Engineering Services be complied with;
 - (c) that this approval does not absolve the applicant from compliance with any other relevant legislation, and
 - (d) that all other applicable development parameters as prescribed in the relevant Zoning Scheme be complied with.
7. that the applicants and objectors be notified of their respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.



Locality Map
Erf 1405 & 1406, Sandbaai





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR PUBLIC PLACE CLOSURE, REZONING &
CONSOLIDATION: ERVEN 1405 & 1406, SANDBAAI (3196/2019)**

Stormwater (SW)	:	In Order
Electricity	:	In Order
Water	:	In Order
Sewer	:	In Order
Roads and traffic	:	In Order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that any additional and / or extended vehicle entrances will be for the owner's account;
5. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hemanus for written approval;
6. that stormwater be allowed to discharge through Erven 1405 & 1406, Sandbaai, unobstructed;
7. that no on-street parking be allowed.

pp. D. Hendriks
 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES

06/18/2019
 DATE

5. ERF 3725, ONRUSTRIVIER MAIN ROAD, ONRUSTRIVIER, OVERSTRAND MUNICIPAL AREA: REZONING AND SUBDIVISION: MESSRS WRAP ON BEHALF OF GA MUSSON

3725 HON (3058/2019)

H Olivier

(028) 313 8900

Hermanus Administration

15 November 2019

Executive Summary

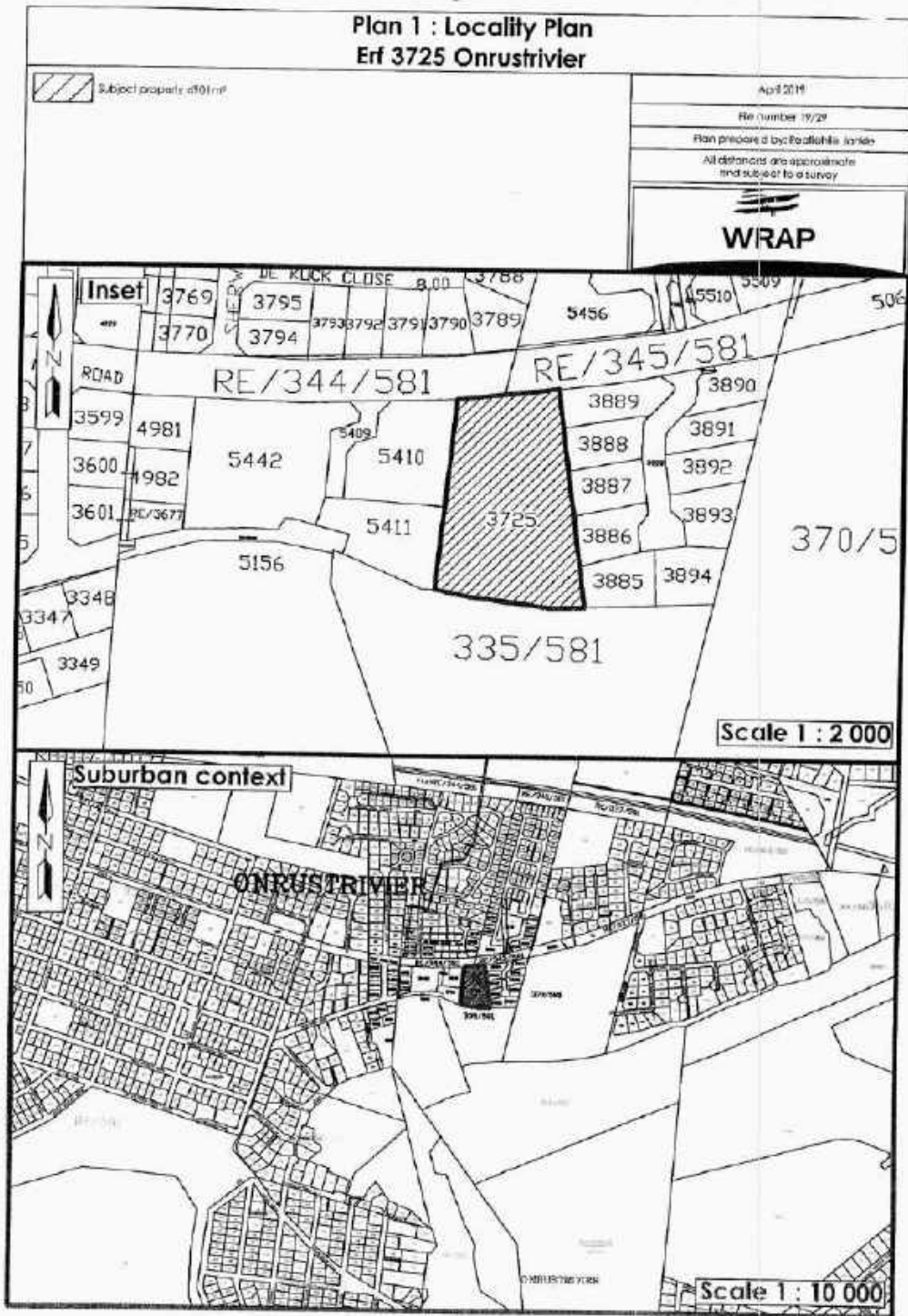
An application was received on 13 May 2019 from Messrs WRAP on behalf of GA Musson on Erf 3725, Onrustrivier in terms of the Overstrand Municipality By-Law on Land Use Planning, 2015 for the following:

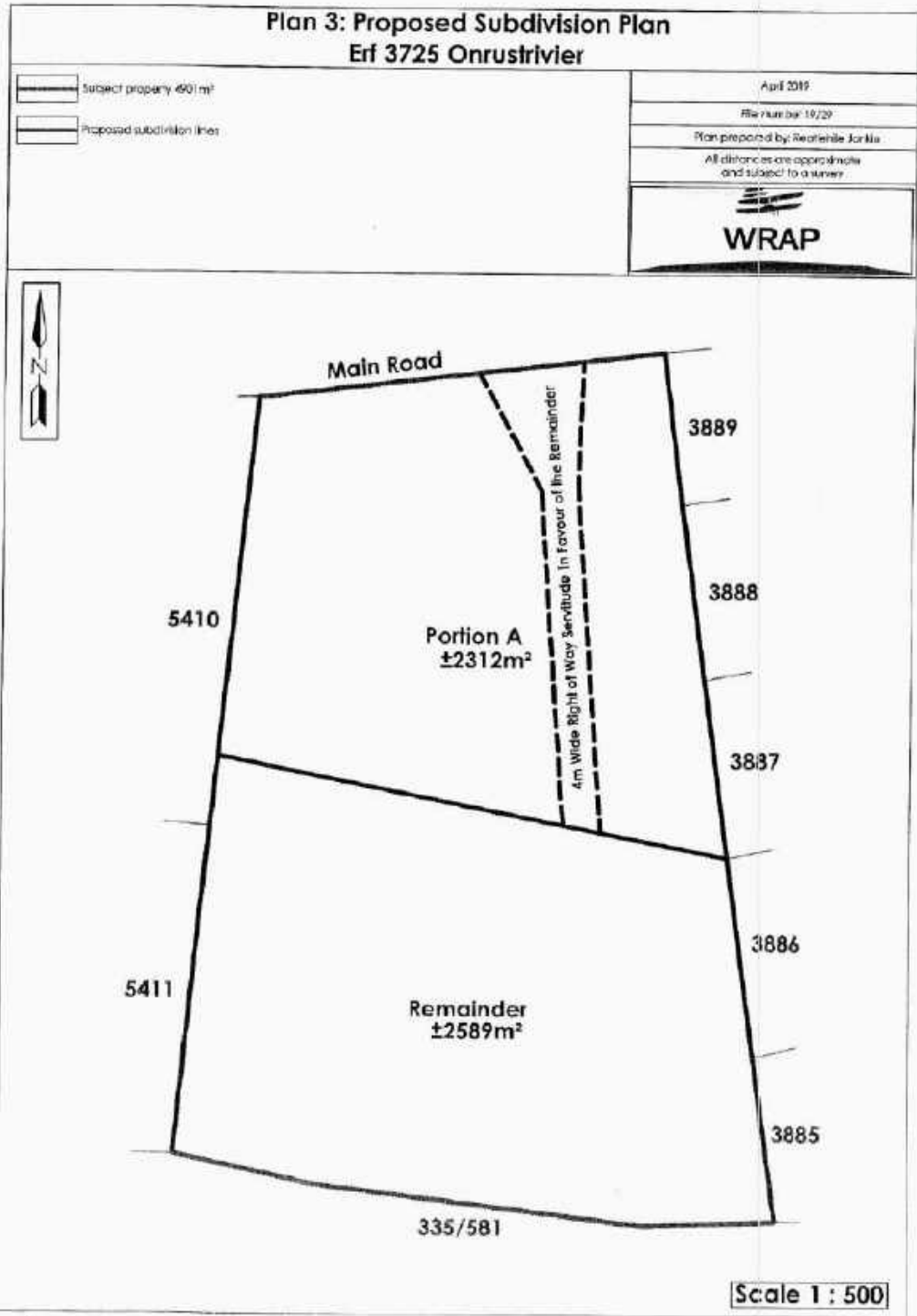
- rezoning in terms of Section 16(2)(a) of the above-mentioned By-Law from Agriculture Zone I : Agriculture to Subdivisional Area (SA) to create residential erven; and
- subdivision in terms of Section 16(2)(d) of the abovementioned By-Law, to create 2 Residential Zone I erven.

RESOLVED :

1. that the objections be noted;
2. that the application in terms of Section 16(2)(a) of the Overstrand Municipal By-Law on Municipal Land Use Planning, 2015 to rezone Erf 3725, Onrustrivier from Agricultural Zone I to Subdivisional Area (SA), and for a subdivision in terms of Section 16(2)(d) of the above-mentioned By-Law, read with Section 22 into two (2) Residential Zone I portions, Portion A measuring $\pm 2312\text{m}^2$ and Remainder measuring $\pm 2589\text{m}^2$ in extent, **be approved** in terms of the provisions of Section 61, subject to the following conditions:
 - (a) that development be in line with Plan 5 dated April 2019 submitted with this application;
 - (b) that the access servitude and if so required a service servitude be registered to the satisfaction of the Engineering Department, prior to the registration of the first erf;
 - (c) that a minimum of 2 (two) parking bays be provided on each erf, to municipal standards and satisfaction;
 - (d) that this decision does not absolve the owner/applicant from compliance with any other relevant legislation;
 - (e) that all the conditions of Telkom be complied with;
 - (f) that all the conditions imposed by Eskom be complied with, and

- (g) that all conditions in the Services Report be complied with.
3. that the applicant and objectors be notified of their right of appeal in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above decision.





**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR REZONING & SUBDIVISION: ERF 3725, ONRUS RIVER
(3058/2019)**

Stormwater (SW)	:	In order
Electricity	:	Eskom Area
Water	:	In order
Sewer	:	In order
Roads and traffic	:	In order

Conditions:

1. That a Bulk Services Contribution Levy (BICL) be paid by the developer to supplement municipal services and amenities in accordance with the relevant legislation and as determined by the Council. The BICL tariff is adjusted by Council annually. The total BICL payable will be the amount as determined by the BICL Policy and tariff at the date of **actual payment**. BICL amounts quoted in any document will normally be applicable to the particular year in which the document was compiled and Council will not be bound by the quoted amounts.
- 1.1 **Developments with free standing properties** (property that is subdivided and plots to be sold individually).
- 1.2 The BICLs are payable **prior to clearance** being issued by the Income Department of the Municipality.

The contribution according to the current policy (2019/2020) is as follows:

Water	R 22 925.00 x 1	=	R 22 925.00
Sewerage	R 15 457.00 x 1	=	R 15 457.00
Roads	R 6 931.00 x 1	=	R 6 931.00
Stormwater	R 7 997.00 x 1	=	R 7 997.00
Solid Waste	R 1 386.00 x 1	=	R 1 386.00
TOTAL (inclusive of VAT)		=	<u>R 54 696.00</u>

Note:

- 1.2.1 The above figures are estimates and do not include connection fees.
2. That the applicant must comply with all statutory requirements that may be applicable to the undertaking of the proposed development of Erf 3725, Onrus River.
3. that the existing water connection, sewer conservancy tank and sewer connections be utilised to service the Remainder of Erf 3725, Onrus River.
4. that Portion A of Erf 3725, Onrus River be provided with individual and separate metered water connections as well as sewer conservancy tanks which must comply with the standards of the Department: Operational Services;

5. that a new suction point for the sewer conservancy tank, which must comply with the standards of the Department: Operations must be provided for Portion A of Erf 3725;
6. that the developer at his cost constructs the internal municipal civil and electrical services for the development as well as any link or bulk municipal services that need to be provided;
7. that servitudes for municipal services be registered at the developer's cost in respect of all existing municipal services concerned crossing private property;
8. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 - P: 2010: Drainage;
9. that on-site parking facilities be provided as per the Planning Schedule, and to the satisfaction of the Department: Operational Services;
10. that any additional and / or extended vehicle entrances will be for the developer's account;
11. that, should any upgrading and / or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
12. that stormwater be allowed to discharge through the proposed erven, unobstructed.

D.D. Hendriks
DENNIS HENDRIKS

SENIOR MANAGER: ENGINEERING SERVICES

17/09/2017
DATE

6. REMAINDER ERF 243, HERMANUS, SCHULPHOEK BOULEVARD, SANDBAAI, OVERSTRAND MUNICIPAL AREA: APPLICATION FOR CONSENT USE (UTILITY SERVICES), MESSRS WRAP CONSULTANCY ON BEHALF OF THE OVERSTRAND MUNICIPALITY

Rem Erf 243, HMS (3489)

H van der Stoep

(028) 313 8900

Hermanus Administration

2 March 2020

Executive Summary

An application for consent use in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning 2015 (By-Law) for “utility services” in order to develop a waste materials recycling plant with associated facilities and infrastructure, as well as a drop off facility on a portion of Remainder Erf 243, Hermanus was received on 7 November 2019 from Messrs WRAP Consultancy on behalf of the Overstrand Municipality.


RESOLVED :

1. that the objections be noted;
2. that the application for consent use in terms of Section 16.(2)(o) of the Overstrand Municipality By-Law on Municipal Land Use Planning, 2015 for “utility services” in order to develop a waste material recycling plant with associated facilities and infrastructure, as well as a drop off facility on a portion of Remainder Erf 243, Hermanus, **be approved** in terms of the provisions of Section 61 of the By-Law;
3. that the following development parameters for the site **be approved**:
 - the height of the main recycling and sorting structure be limited to 11,5m and all other structures be limited to 8m in height;
 - ten meter (10m) building lines to apply to the whole property;
 - site coverage is limited to 75%;
 - thirteen (13) standard parking bays that includes a parking bay for the disabled;
 - a designated parking area for trucks, and
 - two (2) loading bays.
4. that the approval in 2. above be subject to the following conditions:
 - (a) that a Site Development Plan be submitted for approval indicating 10m building lines, the 11,5m maximum height restriction of the main recycling and sorting building only and that the proposed subdivided portion’s coverage be limited to 75%;

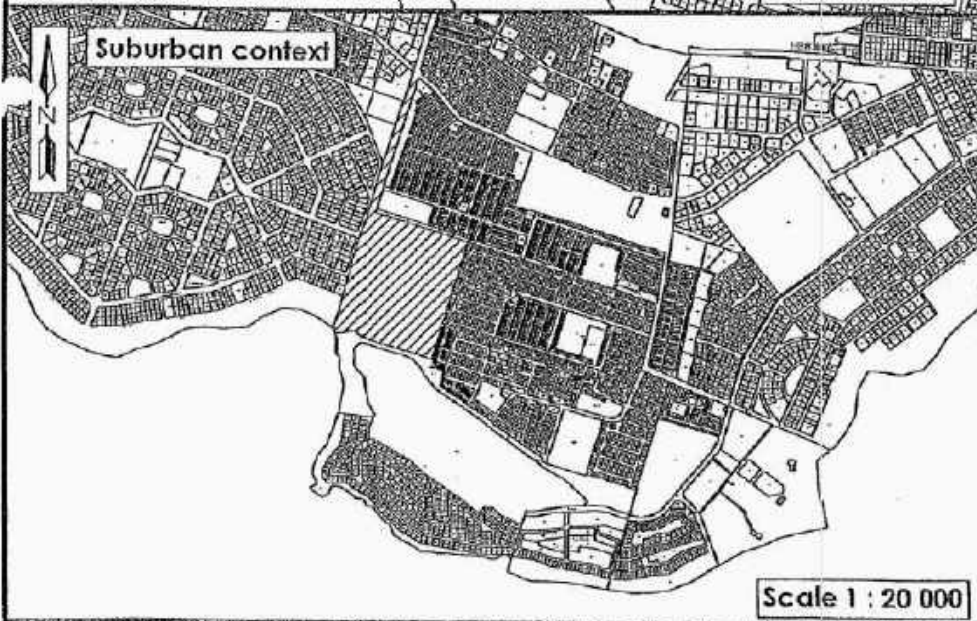
- (b) that building plans be submitted to the Building Department and that all requirements of the Building Department and Fire Services at that stage be complied with - all buildings on the property must be in compliance with SANS10400;
 - (c) that all sewerage must be connected to the main sewer line;
 - (d) that site clearance be done in phases to mitigate dust impact;
 - (e) that the area should be landscaped along Schulphoek Road to such an extent that the recycling plant be concealed as far as possible;
 - (f) that an Operational Management Plan that includes security measurements and a Landscaping Plan must be submitted for approval in order to mitigate any impacts on the environment and the surrounding residential areas – the landscaping plan must provide for the planting of trees at the western side of the site - once approved these plans must be implemented immediately;
 - (g) that the conditions of Telkom and Engineering Services be complied with;
 - (h) the recommendations of the traffic impact statement prepared by Deca Consulting Engineers as set out in paragraph 9 of its statement must be implemented;
 - (i) that no on-street parking be allowed;
 - (j) that the recycling plant with associated infrastructure be conducted in such a manner that it is not detrimental to the surrounding residential areas;
 - (k) that no recycling of waste material may occur outside the main recycling and sorting building;
 - (l) that this approval does not absolve the landowner from compliance with any other relevant legislation, and
 - (m) that all other applicable development parameters as prescribed in the relevant Zoning Scheme, be complied with.
5. that the applicant and the objectors be notified of their respective appeal rights in terms of Section 78 of the Overstrand Municipality By-Law on Land Use Planning, 2015 with regard to the above conditional approvals.

Plan 1: Locality Plan Remainder of Erf 243 Hermanus

Please note that the portion of the subject property which is depicted in this locality plan is only pertinent to this application.

 Subject property

Tel: 028 313 3111
Email: admin@wrap.co.za
Plan prepared in November 2017
File number 19/115
35 Duiker Street, Hermanus, 7200
Plan prepared by: Realtable Jonks
All distances are approximate
and subject to a survey

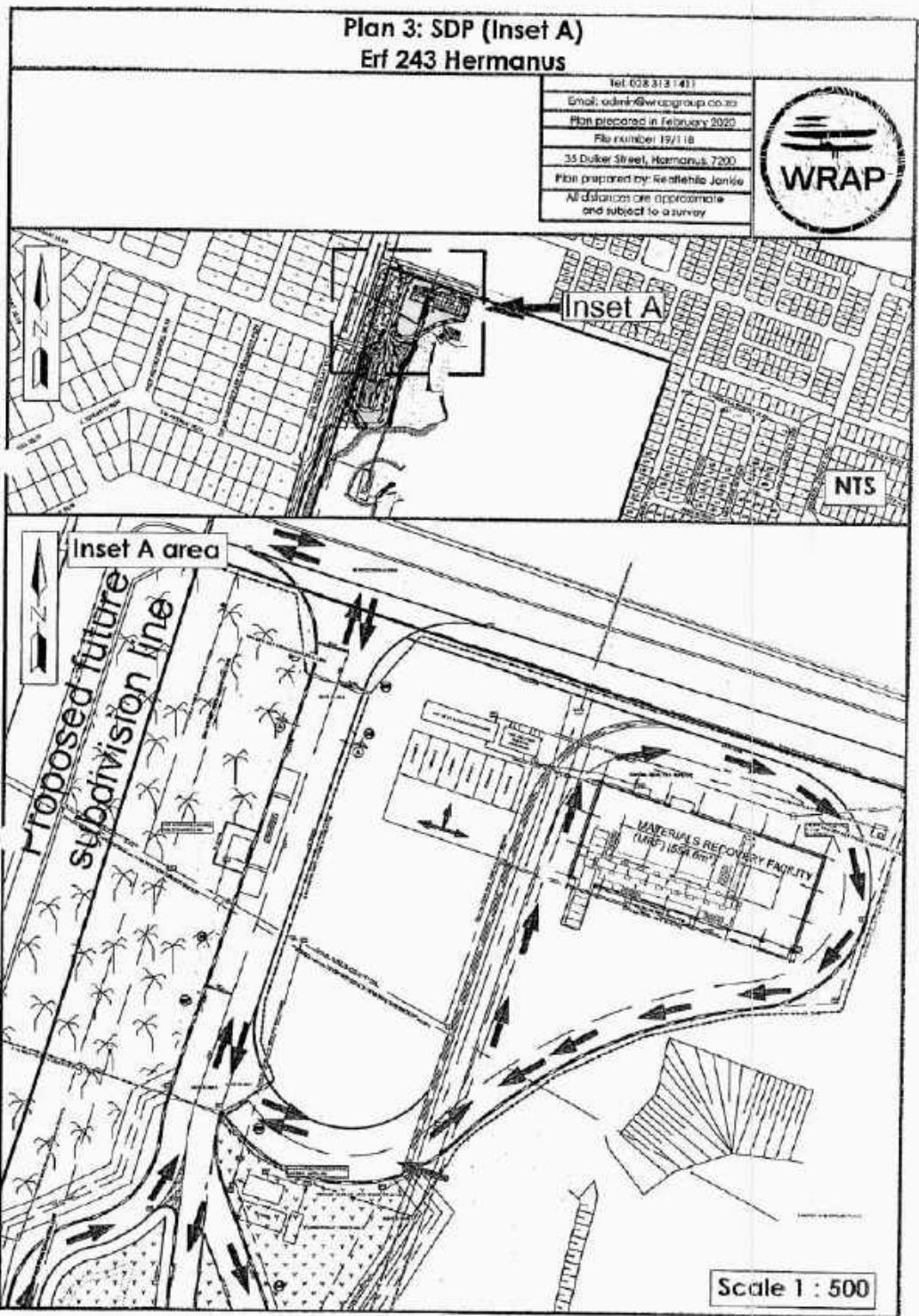


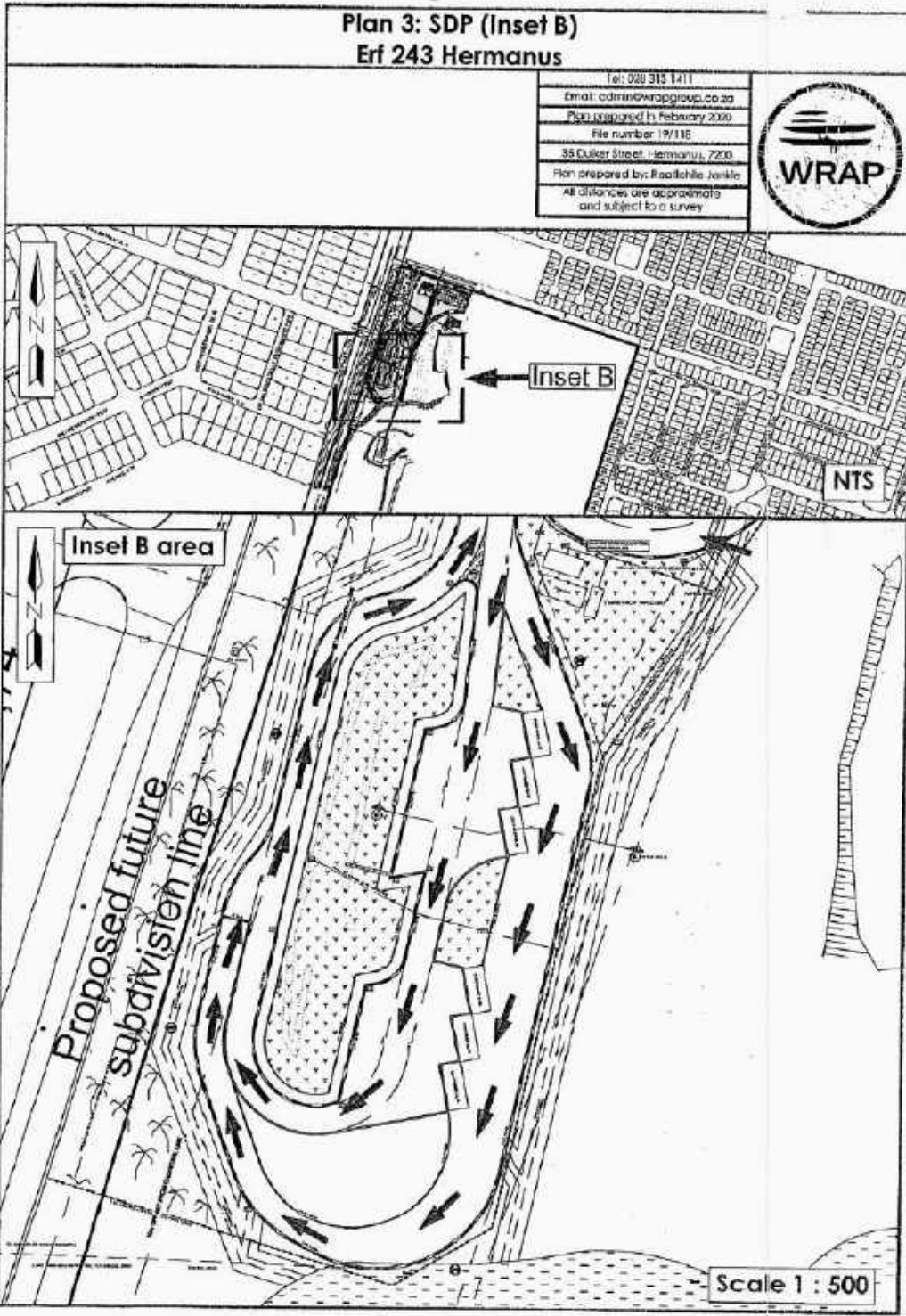
Plan 3: SDP
Erf 243 Hermanus

Tel: 028 313 1411
Email: admin@wrcgroup.co.za
Plan prepared in February 2020
File number 15/118
35 Bulker Street, Hermanus, 7200
Plan prepared by: Reetiekie Jankie
All distances are approximate
and subject to a survey



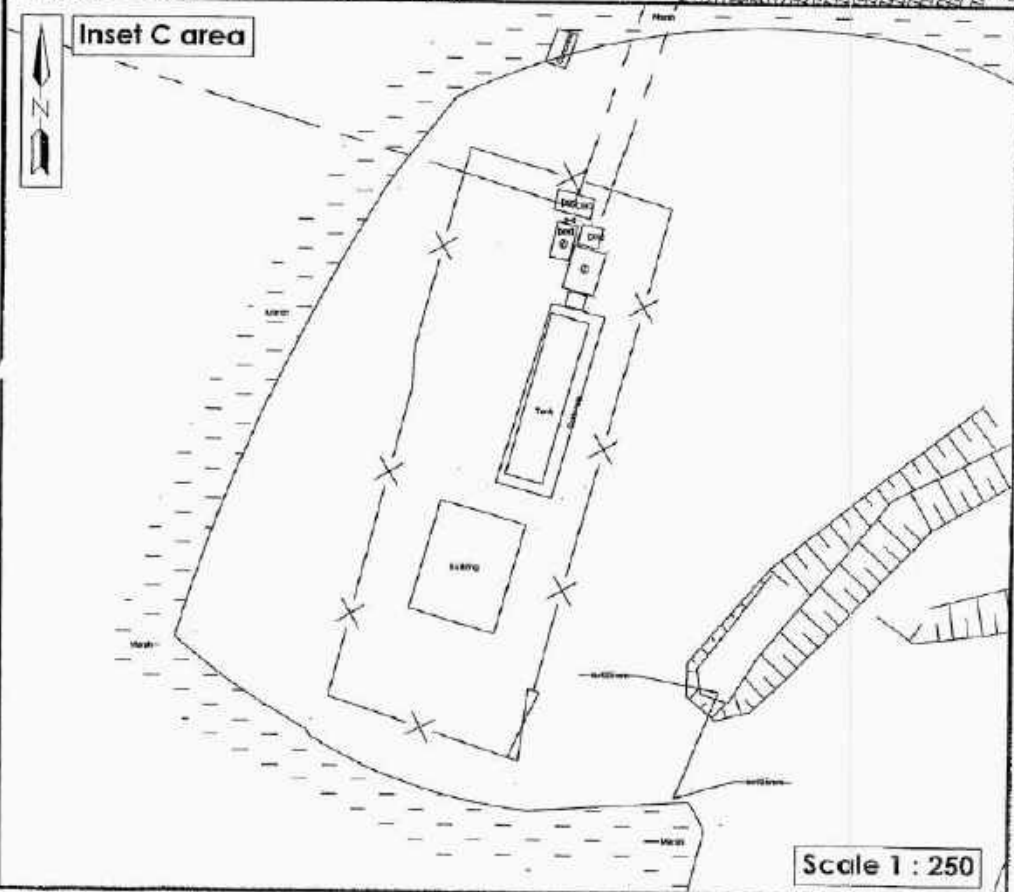
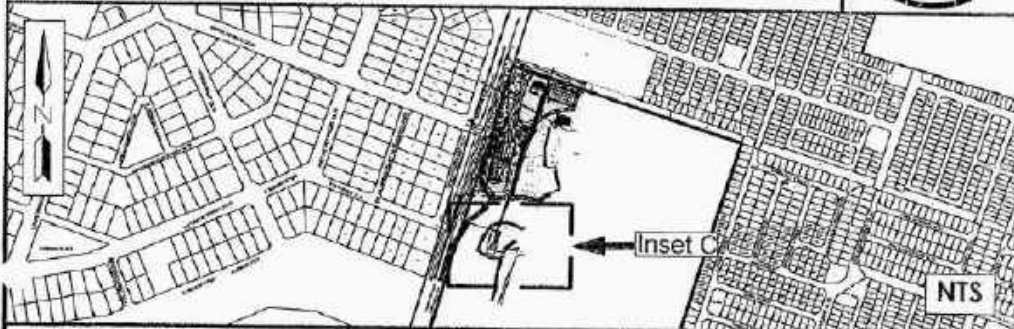
Scale 1 : 1000





Plan 3: SDP (Inset C) Erf 243 Hermanus

Tel: 028 313 1411
Email: admin@wrapgroup.co.za
Plan prepared in February 2020
File number 19/116
35 Duker Street, Hermanus 7200
Plan prepared by: Realetshe Janke
All distances are approximate
and subject to a survey



**COMMENTS FROM THE ENGINEERING SERVICES DEPARTMENT FOR:
APPLICATION FOR CONSENT USE: REMAINDER OF ERF 243,
SCHULPHOEK BOULEVARD (3489/2019)**

Electricity	:	In order
Water	:	In order
Sewer	:	In order
Stormwater	:	In order
Roads and traffic	:	In order

Conditions:

1. that only the existing water and sewerage connections will be available to the development, should larger capacity in any of these services be required, the upgrading will be at the owner's cost;
2. that only the existing electricity connection will be available for the development and that, should additional capacity be required, an investigation be conducted, with regard to the capacity required and that available, at the owner's cost;
3. that the developer investigate and determine the limitations of the site in terms of sewer drainage, subject to the minimum requirements of SANS 10400 – P: 2010: Drainage;
4. that, should any upgrading and/or development of the relevant sidewalks adjacent to the property be required as part of the development, application for such development be made to the office of the Area Manager: Hermanus for written approval;
5. that stormwater be allowed to discharge through Remainder of Erf 243, Schulphoek Boulevard, unobstructed;
6. that any additional and / or extended vehicle entrances will be for the owner's account;
7. that no on-street parking be allowed.


 DENNIS HENDRIKS
 SENIOR MANAGER:
 ENGINEERING SERVICES


 DATE